



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# AGENDA

## Joint REGULAR Meeting

**Wednesday, June 26, 2024 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



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### PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org). Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

### PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

#### Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another



individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

#### **COUNCIL DISCLOSURE**

*Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.*

#### **SPECIAL ASSISTANCE NEEDED**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u><b>CITY COUNCILMEMBERS</b></u>		
<b>Lesa Heebner</b> Mayor		
<b>Jewel Edson</b> Deputy Mayor / Councilmember District 3		<b>Kristi Becker</b> Councilmember District 2
<b>Jill MacDonald</b> Councilmember District 4		<b>David A. Zito</b> Councilmember District 1

Alyssa Muto  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

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#### **SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

#### **READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

#### **CALL TO ORDER AND ROLL CALL:**

#### **CLOSED SESSION REPORT:**

#### **FLAG SALUTE:**

#### **APPROVAL OF AGENDA:**



## **PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

*None at the posting of this agenda*

## **PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

*None at the posting of this agenda*

## **ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

## **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.8.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

#### **A.1. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for May 18, 2024 – June 07, 2024.

#### **Item A.1. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.2. Appropriations Limit Fiscal Year (FY) 2024/25.** (File 0330-60)

Recommendation: That the City Council

1. Adopt **Resolution 2024-053** establishing the FY 2024/25 Appropriations Limit in accordance with Article XIII B of the California Constitution and Government Code Section 7910 and choosing the County of San Diego's change in population growth to calculate the Appropriations Limit.

#### **Item A.2. Report (click here)**

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**A.3. Annual Investment Policy.** (File 0350-30)

Recommendation: That the City Council

1. Adopt **Resolution 2024-052** approving the City's Investment Policy for Fiscal Year 2024/25.

[Item A.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. Fire Benefit Fee – Fiscal Year 2024-25.** (File 0495-20)

Recommendation: That the City Council

1. Adopt **Resolution 2024-054**:
  - a. Setting the FY 2024/25 Fire Benefit Fee at \$10.00 per unit
  - b. Approving the Fee for levying on the tax roll.

[Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.5. Municipal Improvement Districts Benefit (MID) Fees – FY 2024-25.** (File 0495-20)

Recommendation: That the City Council

1. Approve **Resolution 2024-055**, setting the Benefit Charges for MID No. 9C, Santa Fe Hills, at \$232.10 per unit for FY 2024/25.
2. Approve **Resolution 2024-056**, setting the Benefit Charges for MID No. 9E, Isla Verde, at \$68.74 per unit for FY 2024/25.
3. Approve **Resolution 2024-057**, setting the Benefit Charges for MID No. 9H, San Elijo Hills #2, at \$289.58 per unit for FY 2024/25.
4. Approve **Resolution 2024-058** setting the Benefit Charges for MID No. 33, Highway 101/Railroad Right-of-Way, at \$3.12 per unit for FY 2024/25.

[Item A.5. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.6. Work Plan Adoption – Fiscal Year (FY) 2024/25.** (File 0410-08)

Recommendation: That the City Council

1. Consider and adopt the final Fiscal Year 2024/2025 Work Plan.

[Item A.6. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*



**A.7. 2024 Street Maintenance & Repairs Project.** (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2024-076**:

- a. Awarding a construction contract to Quality Construction & Engineering in the amount of \$927,487.60, for the 2024 Street Maintenance & Repairs Project, Bid 2024-06.
- b. Approving an amount of \$172,512.40 for construction contingency.
- c. Authorizing the City Manager to execute the construction contract on behalf of the City.
- d. Authorizing the City Manager to approve cumulative change orders up to the amount of the construction contingency.

[Item A.7. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.8. Citywide Street Sweeping Services.** (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2024-070**:

- a. Authorizing the City Manager to execute a Professional Services Agreement, on behalf of the City, with Sweeping Corporation of America of California, LLC., for Citywide street sweeping services in Fiscal Year 2024/25 in an amount not to exceed \$99,681 for Fiscal Year 2024/25.
- b. Authorizing the City Manager to extend the agreement for up to four additional years at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
- c. Authorizing the City Manager to increase the annual not to exceed base contract amount by 3% for FY 2025/26, 3% for FY 2026/27, 3% for FY 2027/28, and 3% for FY 2028/29.

[Item A.8. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)**

**C. STAFF REPORTS: (C.1.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*



### **C.1. SANDAG NOP – LOSSAN Rail Realignment Update.** (File 0820-48)

Recommendation: That the City Council

1. Receive the presentation from SANDAG, ask questions of SANDAG staff, provide feedback regarding the proposed Project and alternatives, and allow the public to provide comment on the NOP.

#### **[Item C.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

### **B. PUBLIC HEARINGS:** (B.1.- B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

### **B.1. Public Hearing: Solana Beach Coastal Rail Trail (CRT) Maintenance District Annual Assessments.** (File 0495-20)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Adopt **Resolution 2024-071**, approving the Engineer's Report regarding the Coastal Rail Trail Maintenance District.
3. Adopt **Resolution 2024-072**, ordering the levy and collection of the annual assessments regarding the Coastal Rail Trail Maintenance District for Fiscal Year 2024/25.

#### **[Item B.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*



## **B.2. Public Hearing: Solana Beach Lighting Maintenance District Annual Assessments.** (File 0495-20)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Adopt **Resolution 2024-073** confirming the diagram and assessment and approving the City of Solana Beach Lighting Maintenance District Engineer's Report.
3. Adopt **Resolution 2024-074** ordering the levy and collection of annual assessments for FY 2024/25 and ordering the transmission of charges to the County Auditor for collection.

### [Item B.2. Report \(click here\)](#)

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## **B.3. Public Hearing: 446 Seabright Lane, Applicant: Levitt, Case: MOD24-005, APN: 263-061-14.** (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-075** conditionally approving a Modification to the approved DRP, for a replacement single-family residence at 446 Seabright Lane, Solana Beach.

### [Item B.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **C. STAFF REPORTS: (C.2. – C.3.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*



## **C.2. Community Grant Program Awards – Fiscal Year (FY) 2024/25.** (File 0330-25)

Recommendation: That the City Council

1. Select the FY 2024/25 Community Grant Program recipients and identify an award amount to each recipient.
2. Adopt **Resolution 2024-077** authorizing the funding for the selected community grant applicants for financial assistance under the FY 2024/25 Community Grant Program.

### [Item C.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **C.3. Budget Update Amendments - Fiscal Year (FY) 2025.** (File 0330-30)

Recommendation: That the City Council

1. Adopt **Resolution 2024-059**:
  - a. Approving revised appropriations to the Fiscal Year 2025 Adopted Budget.
  - b. Authorize the City Treasurer to amend the FY25 Adopted Budget accordingly

### [Item C.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **WORK PLAN COMMENTS:**

*Adopted June 28, 2023*

## **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

## **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker



- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

**STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

**CITIZEN COMMISSION(S)**

- a. Climate Action Commission – Zito, Becker

**ADJOURN:**

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***Next Regularly Scheduled Meeting is July 10, 2024***

*Always refer to the City's website Event Calendar for an updated schedule or contact City Hall. [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) 858-720-2400*

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**AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA  
COUNTY OF SAN DIEGO  
CITY OF SOLANA BEACH } §

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the June 26, 2024 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on June 20, 2024 at 5:30 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., June 26, 2024, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk  
City of Solana Beach, CA

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**UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Register of Demands

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## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

### **Register of Demands: 05/18/2024 through 06/07/2024**

Check Register - Disbursement Fund (Attachment 1)		\$ 1,514,824.01
Net Payroll Retiree Health	June 5, 2024	2,975.00
Net Payroll Staff O24	May 24, 2024	256,904.10
Net Payroll Staff O25	June 7, 2024	227,586.73
Net Payroll Staff OM11	June 7, 2024	4,699.24
<b>TOTAL</b>		<b>\$ <u>2,006,989.08</u></b>

## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for May 18, 2024 through June 7, 2024 reflects total expenditures of \$2,006,989.08 from various City sources.

## **WORK PLAN:**

N/A

CITY COUNCIL ACTION: _____ _____
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**OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Check Register – Disbursement Fund





# City of Solana Beach

## Register of Demands

5/18/2024 - 6/7/2024

Department Vendor	Description	Date	Check/EFT Number	Amount
<b>100 - GENERAL FUND</b>				
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O24	05/22/2024	9001470	\$14,681.03
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O25	06/05/2024	9001493	\$28,766.88
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant O24	05/22/2024	9001474	\$900.00
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant O25	06/05/2024	9001498	\$900.00
CALPERS	O24 CALPERS 457	05/23/2024	911032296	\$2,850.40
CALPERS	O24 PERS 05/17/24 PD (05/31/24 PERS)	06/05/2024	106778	\$66,975.70
CALPERS	OC11 PERS 05/09/24 PD (06/06/24 PERS)	06/06/2024	9060624	\$766.93
AFLAC	MAY 24	05/31/2024	106739	\$1,005.18
STUDIO GRIT LLC	RFND-ENC22-0071	06/05/2024	106791	\$793.00
STERLING HEALTH SERVICES, INC.	O24 FSA/DCA CONTRIBUTIONS	05/31/2024	9001487	\$2,054.98
STERLING HEALTH SERVICES, INC.	O24 FSA/DCA CONTRIBUTIONS	05/31/2024	9001487	\$1,325.04
STERLING HEALTH SERVICES, INC.	CY2024 INITIAL FUNDING	05/20/2024	9001465	\$4,370.17
STERLING HEALTH SERVICES, INC.	O22 FSA/DCA FUNDING	05/20/2024	9001465	\$2,054.98
STERLING HEALTH SERVICES, INC.	O22 FSA/DCA FUNDING	05/20/2024	9001465	\$1,325.04
SELF INSURED SERVICES COMPANY	JUN 24-DENTAL	05/31/2024	9001480	\$3,000.50
SELF INSURED SERVICES COMPANY	JUN 24-LIFE & ADD INS	06/05/2024	9001491	\$1,238.30
SELF INSURED SERVICES COMPANY	JUN 24-SUPP LIFE	06/05/2024	9001491	\$350.75
SELF INSURED SERVICES COMPANY	JUN 24-LTD	06/05/2024	9001491	\$1,137.84
INSTATAX	O24 TAX INPUT	05/24/2024	990120308	\$43,784.25
INSTATAX	O24 TAX INPUT	05/24/2024	990120308	\$1,568.70
INSTATAX	O24 TAX INPUT	05/24/2024	990120308	\$9,961.72
INSTATAX	O24 TAX INPUT	05/24/2024	990120308	\$17,447.66
INSTATAX	O24 TAX INPUT	05/24/2024	990120308	\$2,727.57
PAYMENTUS CORPORATION	APR 24 TRANSACTION FEES	05/22/2024	106729	\$805.27
IAFF-MERP	MAY 24- FF TRUST PAYMENT	06/05/2024	9001499	\$4,975.00
ERON JOKIPII	RFND-SBGR-412	05/31/2024	106752	\$146,562.50
LOREN BARNES	RFND- FCCC 04/14/24	05/22/2024	106728	\$500.00
CHARITO SHOOK	RFND-FCCC 05/11/24	05/22/2024	106722	\$500.00
HEIDI & GREGORY BISCONTI	RFND-ENC23-0075	05/31/2024	106755	\$571.00
GEMMA JONES	RFND-BC-012056 ANNUAL FIRE INSPECTION FEE	05/31/2024	106754	\$112.00
PAUL & MARILYN OCHELTREE	RFND-MOD22-001 VAC	05/31/2024	106765	\$600.00
THE MARIANI FAMILY TRUST	RFND-MOD22-001	05/31/2024	106772	\$600.00
LAUGHLIN & MEREDITH STEWART	RFND-MOD22-001 VAC	05/31/2024	106758	\$600.00
SAMUEL & KATHERINE HARTMAN	RFND-MOD22-001 VAC	05/31/2024	106767	\$600.00
TOM GOLICH	RFND-FCCC-5/18/24	05/31/2024	106773	\$500.00
CONERTY-MOLA VISTA	RFND-MOD22-001 VAC	05/31/2024	106747	\$600.00
SHARON HAWKINS	RFND-SBGR-225-241/241 PACIFIC AVE	06/05/2024	106790	\$6,700.00
<b>TOTAL GENERAL FUND</b>				<b>\$374,212.39</b>
<b>1005100 - CITY COUNCIL</b>				
US BANK	CLOSED SESSION	05/31/2024	106744	\$238.96
US BANK	CLOSED SESSION	05/31/2024	106744	\$158.79
<b>TOTAL CITY COUNCIL</b>				<b>\$397.75</b>



**1005150 - CITY CLERK**

DEL MAR BLUE PRINT COMPANY, INC.	USB/LOT SCAN CITY HALL	06/05/2024	106780	\$160.47
DEL MAR BLUE PRINT COMPANY, INC.	CITY HALL BW SCAN/USB	06/05/2024	106780	\$527.66
DEL MAR BLUE PRINT COMPANY, INC.	ST JAMES ACADEMY SCAN/USB	06/05/2024	106780	\$23.93
DEL MAR BLUE PRINT COMPANY, INC.	DISTRICT MAPS	05/22/2024	106726	\$66.88
DEL MAR BLUE PRINT COMPANY, INC.	PRINTS	05/22/2024	106726	\$634.19
PITNEY BOWES GLOBAL FINANCIAL SVC	MAY 24 SEAL REFILL	06/05/2024	9001496	\$180.50
STAPLES CONTRACT & COMMERCIAL	TAPE/PENS	05/22/2024	106733	\$148.90
US BANK	ANNUAL DROP BOX SUBSCRIPTION	05/31/2024	106744	\$119.88
US BANK	PAPERTOWELS	05/31/2024	106744	\$21.64
US BANK	PACKING MATERIAL - PLANS	05/31/2024	106744	\$66.48
US BANK	COUNCIL MEETING ARCHIVE ANNUAL STORAGE	05/31/2024	106744	\$249.99
US BANK	IIMC MEMBERSHIP RENEWAL	05/31/2024	106744	\$210.00
US BANK	FLOOR LAMP	05/31/2024	106744	\$45.66
US BANK	CITY CLERKS OF CA CONFERENCE	05/31/2024	106744	\$376.02
US BANK	SHIPPING SUPPLIES	05/31/2024	106744	\$107.32
US BANK	TRANSCRIPTION SERVICE	05/31/2024	106744	\$28.50
<b>TOTAL CITY CLERK</b>				<b>\$2,968.02</b>

**1005200 - CITY MANAGER**

US BANK	BUSINESS CARDS	05/31/2024	106744	\$35.86
<b>TOTAL CITY MANAGER</b>				<b>\$35.86</b>

**1005250 - LEGAL SERVICES**

HOGAN LAW APC	APR 24-GENERAL LEGAL	05/31/2024	106756	\$1,192.50
HOGAN LAW APC	APR 24- GENERAL LAW	05/31/2024	106756	\$1,375.00
<b>TOTAL LEGAL SERVICES</b>				<b>\$2,567.50</b>

**1005300 - FINANCE**

STATE CONTROLLER'S OFFICE	CY 23-FTB OFFSET FEES	05/31/2024	106770	\$62.03
WILLDAN	APR 24-USER FEE STUDY & COST ALLOCATION PLAN	05/22/2024	9001476	\$3,056.00
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-PEN HOLDER/PENCILS/CALC INK	06/05/2024	9001490	\$38.43
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-POST ITS/LMARKERS/DUSTER	06/05/2024	9001490	\$40.61
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-KEYBOARD	06/05/2024	9001490	\$106.58
<b>TOTAL FINANCE</b>				<b>\$3,303.65</b>

**1005350 - SUPPORT SERVICES**

STAPLES CONTRACT & COMMERCIAL	PAPER	05/31/2024	106769	\$359.27
CULLIGAN OF SAN DIEGO	MAY 24 EQUIPMENT-PW	06/05/2024	106779	\$73.00
CULLIGAN OF SAN DIEGO	APR 24 WATER-CH	06/05/2024	106779	\$249.48
CULLIGAN OF SAN DIEGO	APR 24 - WATER-LC	06/05/2024	106779	\$47.25
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-COFFEE/CREAMER	06/05/2024	9001490	\$76.76
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-SHIPPING LABELS	06/05/2024	9001490	\$11.95
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-SHIPPING LABELS	06/05/2024	9001490	\$11.76
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-KLEENEX/PLATES/BOWLS	06/05/2024	9001490	\$109.55
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-CLOROX WIPES/PENS	05/22/2024	9001467	\$23.48
<b>TOTAL SUPPORT SERVICES</b>				<b>\$962.50</b>

**1005400 - HUMAN RESOURCES**

SHARP REES-STEALY MEDICAL GROUP	PRE-EMPLOYMENT SCREENING	06/05/2024	9001497	\$1,804.00
US BANK	PERSONNEL FILES	05/31/2024	106744	\$84.58
US BANK	STAR AWARD	05/31/2024	106744	\$111.23
ERENDIDA JANET BURKE	MILEAGE-04/24/24-04/25/24	05/31/2024	106757	\$51.46
LUCAS KHATTAR	REIMB-REPORTER TRAINING	05/31/2024	106761	\$7.99
RICH O'REILLY	REIMB-REPORTER TRAINING	05/31/2024	106766	\$7.99



**TOTAL HUMAN RESOURCES****\$2,067.25****1005450 - INFORMATION SERVICES**

COX COMMUNICATIONS INC	0013410039730701-05/19/24-06/18/24	05/31/2024	106748	\$321.49
US BANK	ANNUAL DROP BOX SUBSCRIPTION	05/31/2024	106744	\$119.88
US BANK	CONSTANT CONTACT	05/31/2024	106744	\$86.00
US BANK	LA COLONIA ROUTER LICENSE	05/31/2024	106744	\$82.84
US BANK	DOMAIN NAME REGISTRATION	05/31/2024	106744	\$36.00
US BANK	SECURITY CERTIFICATION	05/31/2024	106744	\$916.00
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-WALL MOUNTS	06/05/2024	9001490	\$61.98
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-ETHERNET CABLES	06/05/2024	9001490	\$140.28
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-OUTDOOR ACCESS POINT	06/05/2024	9001490	\$244.68
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-ROUTER	06/05/2024	9001490	\$65.24
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-HARD DRIVE	06/05/2024	9001490	\$296.16
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-MONITOR	06/05/2024	9001490	\$168.11
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-WIFI ACCESS PNT-PW/FS	05/22/2024	9001467	\$1,386.54
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-STORAGE BOX/PENS/CABLE/MOUNT	05/22/2024	9001467	\$62.42
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-LAPTOP CASE	05/22/2024	9001467	\$40.11
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-NETGEAR PORT	05/22/2024	9001467	\$119.08
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-ROUTER REPLACEMENT	05/22/2024	9001467	\$130.48
360 GLOBAL TECHNOLOGY LLC	APR 24-WEB HOSTING	05/31/2024	9001478	\$600.00
360 GLOBAL TECHNOLOGY LLC	MAY 24-WEB HOSTING	05/31/2024	9001478	\$600.00
360 GLOBAL TECHNOLOGY LLC	JUN 24-WEB HOSTING	05/31/2024	9001478	\$600.00

**TOTAL INFORMATION SERVICES****\$6,077.29****1005550 - PLANNING**

US BANK	WRITING EFFECTIVE CEQA DOCUMENTS	05/31/2024	106744	\$508.61
US BANK	APA ANNUAL MEMBERSHIP	05/31/2024	106744	\$813.00
UT SAN DIEGO - NRTH COUNTY	STMT 587817-DRP22-003/SMAP22-001/SDP22-001	05/31/2024	106774	\$521.66
NATALIE SCHIEFFERLY	MILEAGE-05/17/24	05/31/2024	106764	\$5.03

**TOTAL PLANNING****\$1,848.30****1005560 - BUILDING SERVICES**

AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-CARD STOCK	05/22/2024	9001467	\$20.91
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-PENS/FILE BANDS	05/22/2024	9001467	\$11.98

**TOTAL BUILDING SERVICES****\$32.89****1005590 - CODE ENFORCEMENT**

DATATICKET INC.	APR 24-PARKING CITATION SERVICES	05/31/2024	106750	\$877.98
DATATICKET INC.	APR 24-PARKING CITATION SERVICES	05/31/2024	106750	\$1,001.43
US BANK	CAR WASH	05/31/2024	106744	\$18.00
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$158.70
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-PENS/FILE BANDS	05/22/2024	9001467	\$26.20

**TOTAL CODE ENFORCEMENT****\$2,082.31****1006120 - FIRE DEPARTMENT**

L. N. CURTIS & SONS INC	RESCUE ROPE	05/31/2024	106760	\$46.31
US BANK	NCD BOARD OF CHIEFS MTG SUPPLIES	05/31/2024	106744	\$186.35
US BANK	TRAINING - FIRE INSPECTOR 2C	05/31/2024	106744	\$190.00
US BANK	OFFICE SUPPLIES	05/31/2024	106744	\$43.26
US BANK	SMALL TOOL HARDWARE	05/31/2024	106744	\$58.69
US BANK	FS VACUUM	05/31/2024	106744	\$379.54
US BANK	FS SUPPLIES	05/31/2024	106744	\$525.13
ACE UNIFORMS LLC	BOOTS	05/22/2024	9001466	\$378.86
FIRE STATS, LLC	APR 24-MAINT & OPERATIONS DATA	05/31/2024	106753	\$212.50



WEX BANK	APR 24-FUEL/CR TAX	05/31/2024	106775	\$1,903.93
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$197.88
LINEGEAR FIRE & RESCUE EQUIPMENT	RUFFIAN OUT OF COUNTY BAGS	05/31/2024	106759	\$2,368.58
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-PENS/FILE BANDS	05/22/2024	9001467	\$14.24
<b>TOTAL FIRE DEPARTMENT</b>				<b>\$6,505.27</b>
<b>1006130 - ANIMAL CONTROL</b>				
HABITAT PROTECTION, INC	MAY 24 PEST/RODENT DEAD RECOVERY	05/22/2024	9001469	\$60.00
<b>TOTAL ANIMAL CONTROL</b>				<b>\$60.00</b>
<b>1006170 - MARINE SAFETY</b>				
CAMEO PAPER & JANITORIAL SUPPLY INC	PAPER TOWELS	05/31/2024	106745	\$78.74
US BANK	DETERGENT FOR HQ	05/31/2024	106744	\$61.80
US BANK	SMALL TOOLS	05/31/2024	106744	\$42.39
US BANK	SMALL TOOLS	05/31/2024	106744	\$76.84
US BANK	TOWER KEYS	05/31/2024	106744	\$13.47
US BANK	LUBRICANT FOR PWC	05/31/2024	106744	\$47.81
US BANK	OFFICE SUPPLIES	05/31/2024	106744	\$48.13
US BANK	PWC MAINTENANCE	05/31/2024	106744	\$416.52
US BANK	REPLACEMENT CONSOLE PWC	05/31/2024	106744	\$35.00
CULLIGAN OF SAN DIEGO	MS- WATER-05/01/24-05/31/24	05/31/2024	106749	\$56.89
ORIGINAL WATERMEN, INC	LIFEGUARD UNIFORMS	05/31/2024	9001484	\$266.68
AT&T CALNET 3	9391019469-03/20/24-04/19/24	05/31/2024	106741	\$29.64
AT&T CALNET 3	9391012281-03/25/24-04/24/24	05/31/2024	106741	\$89.75
AT&T CALNET 3	9391053651-03/24/24-04/24/24	05/31/2024	106741	\$293.35
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$1,409.60
<b>TOTAL MARINE SAFETY</b>				<b>\$2,966.61</b>
<b>1006510 - ENGINEERING</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$53.17
US BANK	APWA LUNCHEON	05/31/2024	106744	\$30.00
US BANK	ASCE MEMBERSHIP DUES	05/31/2024	106744	\$311.00
MOHAMMAD SAMMAK	REIMB-BRD FOR PROF ENGINEER RENEWAL	05/31/2024	106763	\$180.00
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$231.98
WEST COAST CIVIL, INC	APR 24 WEST COAST CIVIL ENGINEERING SERVICES	05/22/2024	106736	\$4,375.00
<b>TOTAL ENGINEERING</b>				<b>\$5,181.15</b>
<b>1006520 - ENVIRONMENTAL SERVICES</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$53.17
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	06/05/2024	106784	\$14.81
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$14.81
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$14.82
SAN ELIJO JPA	Q4-FY 24 OPERATIONS & MAINTENANCE	06/05/2024	106788	\$2,971.00
CITY OF SAN DIEGO, CITY TREASURER	FY24 WQIP SAN DIEGUITO WATERSHED MANAGEMENT AREA	05/22/2024	106723	\$22,941.94
SOLANA CENTER FOR ENVIRONMENTAL	SB1383 FOOD RECOVERY TECHNICAL ASSISTANCE	05/22/2024	9001475	\$5.21
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$674.84
IDRAINS LLC	K-STORMDRAIN MAINT	05/31/2024	106738	\$1,700.00
IDRAINS LLC	O- SEWER-STORMDRAIN MAINT	06/05/2024	106776	\$1,340.00
IDRAINS LLC	H -SEWER-STORMDRAIN MAINT	06/05/2024	106776	\$1,700.00
<b>TOTAL ENVIRONMENTAL SERVICES</b>				<b>\$31,430.60</b>
<b>1006530 - STREET MAINTENANCE</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$53.17
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	06/05/2024	106784	\$24.07
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$24.07



MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$24.06
DIXIELINE LUMBER CO INC	CEDAR MULCH	06/05/2024	106782	\$48.88
DIXIELINE LUMBER CO INC	GLUE/VALVE/TRASHCAN/NOZZLE	06/05/2024	106782	\$200.47
DIXIELINE LUMBER CO INC	GLOVES/AEROSOL/CAR SOAP	06/05/2024	106782	\$43.52
DIXIELINE LUMBER CO INC	SCREWDRIVER/RAT TRAPS/PRESSURE SPRAYER	05/31/2024	106751	\$46.07
DIXIELINE LUMBER CO INC	PROPANE EXCHANGE	05/22/2024	106727	\$52.18
DIXIELINE LUMBER CO INC	BATTERIES/CAUTION TAPE/AIR FRESHENER/GLOVES	05/22/2024	106727	\$270.82
SDG&E CO INC	UTILITIES-04/05/24-05/07/24	05/31/2024	106768	\$972.52
SDG&E CO INC	UTILITIES-04/01/24-05/07/24	05/31/2024	106768	\$433.04
WEST COAST ARBORISTS, INC.	MAY 24 CITY-WIDE TREE MAINTENANCE	06/05/2024	106793	\$3,738.85
US BANK	MSA EQUIPMENT SHOW	05/31/2024	106744	\$109.20
US BANK	PW PRIME MEMBERSHIP	05/31/2024	106744	\$151.16
US BANK	GRAFFITI REMOVER	05/31/2024	106744	\$284.90
US BANK	TILES FOR 101 FOUNTAIN	05/31/2024	106744	\$466.07
US BANK	TILE SAMPLE FOR 101 FOUNTAIN REPAIR	05/31/2024	106744	\$3.25
SANDIEGO COUNTY-AIR POLLUTION	EMISSIONS RENEWAL FEE-06/2024-06/2025	06/05/2024	106789	\$620.00
NISSHO OF CALIFORNIA	APR 24 CITY-WIDE LANDSCAPE MAINTENANCE SERVICES	05/22/2024	9001471	\$2,178.12
BILL SMITH FOREIGN CAR SERVICE INC	OIL-F150	05/31/2024	106743	\$57.03
SUNBELT RENTALS, INC.	SAW GAS/DEMOLITION HAMMER/RENTAL	05/31/2024	106771	\$685.54
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$611.58
BJS&T ENTERPRISES, INC.	BENCH POWDER COATING	05/22/2024	9001473	\$1,380.55
PDQ EQUIPMENT	KUBOTA MAINT	06/05/2024	106785	\$391.34
<b>TOTAL STREET MAINTENANCE</b>				<b>\$12,870.46</b>
<b>1006540 - TRAFFIC SAFETY</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$37.98
SDG&E CO INC	UTILITIES-04/05/24-05/07/24	05/31/2024	106768	\$1,293.17
SDG&E CO INC	UTILITIES-04/01/24-05/07/24	05/31/2024	106768	\$637.44
AT&T CALNET 3	9391012279-4/24/2024-05/23/2024	06/05/2024	106777	\$62.43
ALL CITY MANAGEMENT SERVICES, INC	05/12/24-05/25/24- CROSSING GUARD SERVICES	06/05/2024	9001489	\$11,892.00
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARD SERVICES-04/28/24-05/11/24	05/31/2024	9001479	\$11,832.54
YUNEX LLC	OCT 24- TRAFFIC SIGNAL AND SAFETY	05/22/2024	9001477	\$1,494.00
YUNEX LLC	APR 24-TRAFFIC SIGNAL MAINT	05/22/2024	9001477	\$1,120.00
YUNEX LLC	NOV 23 TRAFFIC SIGNAL AND SAFETY	05/22/2024	9001477	\$1,066.00
YUNEX LLC	DEC 23 TRAFFIC SIGNAL AND SAFETY	05/22/2024	9001477	\$449.32
<b>TOTAL TRAFFIC SAFETY</b>				<b>\$29,884.88</b>
<b>1006550 - STREET CLEANING</b>				
PRIDE INDUSTRIES	MAR 24- TRASH ABATEMENT SERVICES	06/05/2024	106786	\$736.00
SCA OF CA, LLC	FY24- STREET SWEEPING-FIESTA DEL SOL	05/31/2024	9001486	\$450.54
SCA OF CA, LLC	MAY 24- CITY-WIDE STREET SWEEPING	05/31/2024	9001486	\$3,988.39
<b>TOTAL STREET CLEANING</b>				<b>\$5,174.93</b>
<b>1006560 - PARK MAINTENANCE</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$75.95
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	06/05/2024	106784	\$17.58
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$17.58
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$17.59
DIXIELINE LUMBER CO INC	GLUE/PAPER TAGS/KEY TAGS	06/05/2024	106782	\$35.46
DIXIELINE LUMBER CO INC	KEY BLANK/TRASH CAN	06/05/2024	106782	\$184.49
DIXIELINE LUMBER CO INC	SPRAYER AND HOSE NOZZLE	05/22/2024	106727	\$26.39
SANTA FE IRRIGATION DISTRICT	005506-015-SOLANA HILLS CT	05/22/2024	106732	\$157.11
SANTA FE IRRIGATION DISTRICT	005506-016-SOLANA HILLS CT	05/22/2024	106732	\$365.91



SANTA FE IRRIGATION DISTRICT	005979-003-MARINE VIEW AVE	05/22/2024	106732	\$303.62
RANCHO SANTA FE SECURITY SYS INC	JUN 24-ALARM MONITORING	06/05/2024	106787	\$331.20
US BANK	ACCESSIBLE RESTROOM SIGN	05/31/2024	106744	\$135.50
US BANK	OUTDOOR LANDSCAPE LIGHTS	05/31/2024	106744	\$79.58
US BANK	MOUNTING POST	05/31/2024	106744	\$30.84
US BANK	BABY CHANING STATIONS (4)	05/31/2024	106744	\$619.84
US BANK	GRAB RAILS	05/31/2024	106744	\$97.00
US BANK	AP-HNDCP BRAILLE SIGN/DOOR CLOSER	05/31/2024	106744	\$536.44
NISSHO OF CALIFORNIA	MAR 24- LANDSCAPING SERVICES	05/31/2024	9001483	\$536.88
NISSHO OF CALIFORNIA	MAY 24 AS NEEDED LANDSCAPING FC	06/05/2024	9001494	\$1,136.57
NISSHO OF CALIFORNIA	APR 24 CITY-WIDE LANDSCAPE MAINTENANCE SERVICES	05/22/2024	9001471	\$31,335.29
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$126.53
HD SUPPLY, INC.	BLEACH / LINERS	06/05/2024	106783	\$977.45

**TOTAL PARK MAINTENANCE****\$37,144.80****1006570 - PUBLIC FACILITIES**

DIXIELINE LUMBER CO INC	PAINT ROLLER/BRUSH/TAPE/LINER	06/05/2024	106782	\$51.17
DIXIELINE LUMBER CO INC	LAMPS	05/22/2024	106727	\$59.69
DIXIELINE LUMBER CO INC	STUCCO PATCH/GLOVES	05/22/2024	106727	\$42.84
DIXIELINE LUMBER CO INC	BARREL BOLT/COUPLING	05/22/2024	106727	\$261.48
DIXIELINE LUMBER CO INC	YALE KEY BLANK	05/22/2024	106727	\$19.12
SDG&E CO INC	UTILITIES-04/05/24-05/07/24	05/31/2024	106768	\$6,546.79
SDG&E CO INC	UTILITIES-04/01/24-05/07/24	05/31/2024	106768	\$1,992.40
SAN ELIJO JPA	Q4-FY 24 OPERATIONS & MAINTENANCE	06/05/2024	106788	\$3,876.00
US BANK	FS EXHAUST FAN	05/31/2024	106744	\$86.99
US BANK	HEPA REPLACEMENT FILTER	05/31/2024	106744	\$177.11
US BANK	WALL MOUNT	05/31/2024	106744	\$32.61
US BANK	FLUORESCENT LIGHT BULBS	05/31/2024	106744	\$110.41
US BANK	YELLOW LED BULB	05/31/2024	106744	\$53.25
US BANK	GAS	05/31/2024	106744	\$19.96
US BANK	POWER SUPPLY	05/31/2024	106744	\$28.26
US BANK	70W METAL HALIDE BULB	05/31/2024	106744	\$38.05
US BANK	MIRROR GLAZE	05/31/2024	106744	\$14.99
NISSHO OF CALIFORNIA	APR 24 CITY-WIDE LANDSCAPE MAINTENANCE SERVICES	05/22/2024	9001471	\$3,416.74
24 HOUR ELEVATOR, INC	MAY 24 ELEVATOR PREVENTATIVE MAINTENANCE	05/22/2024	106721	\$194.48
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-PW	05/31/2024	106746	\$63.79
HABITAT PROTECTION, INC	MAY 24 PEST/RODENT DEAD RECOVERY	05/22/2024	9001469	\$85.00
HABITAT PROTECTION, INC	MAY 24 - DEAD ANIMAL REMOVAL	05/31/2024	9001482	\$145.00
HABITAT PROTECTION, INC	MAY 24 PEST/RODENT CONTROL-LCCC	05/31/2024	9001482	\$64.00
HABITAT PROTECTION, INC	MAY 24 PEST/RODENT CONTROL-CH	05/31/2024	9001482	\$52.00
HABITAT PROTECTION, INC	MAY 24 RODENT CONTROL- FC	05/31/2024	9001482	\$39.00
HABITAT PROTECTION, INC	MAY 24 PEST CONTROL- MS	05/31/2024	9001482	\$35.00
HABITAT PROTECTION, INC	MAY24 PEST CONTROL-FS	05/31/2024	9001482	\$38.00
HABITAT PROTECTION, INC	MAY 24 PEST CONTROL-FCCC	05/31/2024	9001482	\$35.00
HABITAT PROTECTION, INC	MAY 24 PEST CONTROL-PW	05/31/2024	9001482	\$64.00
HABITAT PROTECTION, INC	MAY 24 DEAD ANIMAL RECOVERY BIRD	06/05/2024	9001492	\$145.00
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$210.89
PRIDE INDUSTRIES	MAR 24- TRASH ABATEMENT SERVICES	06/05/2024	106786	\$736.00

**TOTAL PUBLIC FACILITIES****\$18,735.02****1007100 - COMMUNITY SERVICES**

US BANK	MMA MEMBERSHP/TRAINING	05/31/2024	106744	\$125.00
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US BANK	MMA MEMBERSHP/TRAINING	05/31/2024	106744	\$75.00
<b>TOTAL COMMUNITY SERVICES</b>				<b>\$200.00</b>
<b>1007110 - GF-RECREATION</b>				
1 STOP TONER & INKJET, LLC	TONER-PARK & REC	06/05/2024	9001495	\$140.05
<b>TOTAL GF-RECREATION</b>				<b>\$140.05</b>
<b>1205460 - SELF INSURANCE RETENTION</b>				
US BANK	CREDIT LOCK (20)	05/31/2024	106744	\$203.97
US BANK	CLM2404 POSTAGE	05/31/2024	106744	\$9.41
US BANK	CR23.901 POSTAGE	05/31/2024	106744	\$0.92
GEORGE HILLS COMPANY, INC.	GL CLAIMS SERVICES	05/22/2024	9001468	\$73.80
PUBLIC AGENCY RISK MANAGEMENT ASSOC	ANNUAL MEMBERSHIP	05/22/2024	106730	\$300.00
DEAN GAZZO ROISTACHER LLP	APR 24-2308.MACDONALD PROF SVC	05/22/2024	106725	\$4,697.45
<b>TOTAL SELF INSURANCE RETENTION</b>				<b>\$5,285.55</b>
<b>1255465 - WORKERS COMPENSATION</b>				
CORVEL ENTERPRISE COMP INC.	MAR 24- CLAIMS SERVICES	05/22/2024	106724	\$148.00
CORVEL ENTERPRISE COMP INC.	APR 24- CLAIMS SERVICES	05/22/2024	106724	\$4,670.00
<b>TOTAL WORKERS COMPENSATION</b>				<b>\$4,818.00</b>
<b>1355450 - ASSET REPLACEMENT-INFO SYS</b>				
DELL MARKETING L.P.	MONITORS	06/05/2024	106781	\$2,536.29
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-MONITOR	05/22/2024	9001467	\$251.86
<b>TOTAL ASSET REPLACEMENT-INFO SYS</b>				<b>\$2,788.15</b>
<b>1356120 - ASSET REPLACEMENT-FIRE</b>				
W.W. GRAINGER, INC	FIRE HOSE RACK - 2	05/31/2024	9001481	\$6,265.24
<b>TOTAL ASSET REPLACEMENT-FIRE</b>				<b>\$6,265.24</b>
<b>1356170 - ASSET REPLACEMENT-MARN SFTY</b>				
US BANK	TRAILER PARTS	05/31/2024	106744	\$20.34
US BANK	TRAILER PARTS	05/31/2024	106744	\$112.67
US BANK	TRAILER PARTS	05/31/2024	106744	\$312.51
<b>TOTAL ASSET REPLACEMENT-MARN SFTY</b>				<b>\$445.52</b>
<b>1605360 - OPEB OBLIGATION</b>				
MIDAMERICA	JUNE RETIREE HEALTH BENEFITS	06/06/2024	9001501	\$8,515.00
<b>TOTAL OPEB OBLIGATION</b>				<b>\$8,515.00</b>
<b>202 - GAS TAX</b>				
QUALITY CONSTRUCTION & ENGINEERING, INC.	9362.23 PVMT MAINT - RET RELEASE	05/31/2024	9001485	\$7,700.00
<b>TOTAL GAS TAX</b>				<b>\$7,700.00</b>
<b>2037510 - HIGHWAY 101 LANDSC #33</b>				
SANTA FE IRRIGATION DISTRICT	005979-004-N HWY 101	05/22/2024	106732	\$493.51
SANTA FE IRRIGATION DISTRICT	007732-000-650 N HWY 101	05/22/2024	106732	\$168.61
SDG&E CO INC	UTILITIES-04/05/24-05/07/24	05/31/2024	106768	\$2,915.74
NISSHO OF CALIFORNIA	APR 24 CITY-WIDE LANDSCAPE MAINTENANCE SERVICES	05/22/2024	9001471	\$1,803.79
<b>TOTAL HIGHWAY 101 LANDSC #33</b>				<b>\$5,381.65</b>
<b>2117600 - STREET LIGHTING DISTRICT</b>				
VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$15.19
SDG&E CO INC	UTILITIES-04/01/24-05/07/24	05/31/2024	106768	\$9,239.34
YUNEX LLC	APR 24 STREETLIGHT MAINTENANCE	06/05/2024	9001500	\$4,050.75
YUNEX LLC	APR 24 STREETLIGHT MAINTENANCE - LC	06/05/2024	9001500	\$94.25
<b>TOTAL STREET LIGHTING DISTRICT</b>				<b>\$13,399.53</b>
<b>2135550 - DEVELOPER PASS-THRU- PLANNING</b>				
CONSTRUCTION TESTING & ENGINEERING, INC.	MAR 24- MOD24-002 UPPER BLUFF REPAIR	05/31/2024	9001488	\$1,840.00



**TOTAL DEVELOPER PASS-THRU- PLANNING****\$1,840.00****2146120 - FIRE MITIGATION FEES**

ALLSTAR FIRE EQUIPMENT, INC	TURNOUT ITEMS	05/31/2024	106740	\$9,351.03
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**TOTAL FIRE MITIGATION FEES****\$9,351.03****228 - TRANSNET EXTENSION**

QUALITY CONSTRUCTION & ENGINEERING, INC.	9362.23 PVMT MAINT - RET RELEASE	05/31/2024	9001485	\$15,750.00
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**TOTAL TRANSNET EXTENSION****\$15,750.00****2465200 - MISC GRANTS - CM**

STAPLES CONTRACT & COMMERCIAL	RSWA-EEP/HHW-MARKERS/ADHESIVE/CUTLRY/NAPKNS	05/31/2024	106769	\$37.13
STAPLES CONTRACT & COMMERCIAL	RSWA-EEP/HHW-MARKERS/ADHESIVE/CUTLRY/NAPKNS	05/31/2024	106769	\$1,072.70
STAPLES CONTRACT & COMMERCIAL	RSWA-EEP-PAINTBRUSH	05/22/2024	106733	\$12.59
STAPLES CONTRACT & COMMERCIAL	RSWA-EEP-MARKERS/BRUSHES	05/22/2024	106733	\$45.51
US BANK	NG-RSWA-EEP COFFEE POD RECYCLING PROGRAM	05/31/2024	106744	\$691.20

**TOTAL MISC GRANTS - CM****\$1,859.13****2466120 - MISC GRANTS - FIRE**

ALLSTAR FIRE EQUIPMENT, INC	TURNOUT ITEMS	05/31/2024	106740	\$11,200.00
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**TOTAL MISC GRANTS - FIRE****\$11,200.00****2466510 - PER CAPITA GRANT FUND-CIP**

SOLANA CENTER FOR ENVIRONMENTAL	SB1383 FOOD RECOVERY TECHNICAL ASSISTANCE	05/22/2024	9001475	\$1,964.79
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**TOTAL PER CAPITA GRANT FUND-CIP****\$1,964.79****247 - SB1 STREETS & ROADS**

QUALITY CONSTRUCTION & ENGINEERING, INC.	9362.23 PVMT MAINT - RET RELEASE	05/31/2024	9001485	\$20,000.00
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**TOTAL SB1 STREETS & ROADS****\$20,000.00****2505570 - COASTAL BUSINESS/VISITORS**

US BANK	EGG HUNT SUPPLIES	05/31/2024	106744	\$389.92
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**TOTAL COASTAL BUSINESS/VISITORS****\$389.92****2556180 - CAMP PROGRAMS**

US BANK	POWER TOOL BATTERIES	05/31/2024	106744	\$107.66
US BANK	TOOLBOX FOR JG EQUIPMENT STORAGE	05/31/2024	106744	\$600.30
US BANK	JG SWIM TEST FORMS	05/31/2024	106744	\$108.74
US BANK	JG SCHEDULING SUBSCRIPTION	05/31/2024	106744	\$12.00
ORIGINAL WATERMEN, INC	JR GRD UNIFORM	05/22/2024	9001472	\$1,008.54
BERT'S OFFICE TRAILERS	OFFICE TRAILER-JR GRD 05/25-06/24	05/31/2024	106742	\$401.29

**TOTAL CAMP PROGRAMS****\$2,238.53****2706120 - PUBLIC SAFETY- FIRE**

US BANK	CR MDC IPAD MOUNTS	05/31/2024	106744	(\$275.64)
US BANK	MDC IPAD MOUNTS NCDJPA	05/31/2024	106744	\$738.31
US BANK	CSA.17 EMS SHELIVING	05/31/2024	106744	\$304.48
ULINE	CSA.17-MOBILE TRAINING TABLE	05/22/2024	106734	\$3,411.14
RANCHO SANTA FE FIRE PROTECTION DISTRICT	CSA.17-EMS REPORT WRITING	05/22/2024	106731	\$864.91

**TOTAL PUBLIC SAFETY- FIRE****\$5,043.20****459 - MISC. CAPITAL PROJECTS**

QUALITY CONSTRUCTION & ENGINEERING, INC.	9362.23 PVMT MAINT - RET RELEASE	05/31/2024	9001485	\$12,053.39
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**TOTAL MISC. CAPITAL PROJECTS****\$12,053.39****4595450 - MISC.CAPITALPROJECTS-IS**

US BANK	9408 COUNCIL CHAMBER UPGRADES	05/31/2024	106744	\$1,871.19
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-COUNCIL CHAMBER CLICKER	06/05/2024	9001490	\$105.62
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-COUNCIL CHAMBERS CLICKERS	06/05/2024	9001490	\$114.71



AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-MICROPHONE	06/05/2024	9001490	\$276.23
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-CAMERA LENS	06/05/2024	9001490	\$2,554.54
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-COUNCIL CHMBS CAMERA MOUNTS	06/05/2024	9001490	\$85.11
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-DAIS SCREEN EQUIP	06/05/2024	9001490	\$135.61
AMAZON.COM SALES, INC	INV:1MC4-FGRP-6R6F-CHAMBERS CAMERA	06/05/2024	9001490	\$2,608.91
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-PROTECTION PLAN	05/22/2024	9001467	\$120.99
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-CAMERA LENS	05/22/2024	9001467	\$2,554.54
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-PROTECTION PLAN	05/22/2024	9001467	\$159.99
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-CAMERA LENS	05/22/2024	9001467	\$2,554.54
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-9408-PROTECTION PLAN	05/22/2024	9001467	\$339.95
AMAZON.COM SALES, INC	INV:1Y66-YKRM-HQ1L-9408-MONITOR	05/22/2024	9001467	\$1,384.25
<b>TOTAL MISC.CAPITALPROJECTS-IS</b>				<b>\$14,866.18</b>

**5097700 - SANITATION**

VERIZON WIRELESS-SD	362455526-04/02/24-05/01/24	05/22/2024	106735	\$15.19
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	06/05/2024	106784	\$9.26
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$9.26
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	05/31/2024	106762	\$9.25
DIXIELINE LUMBER CO INC	MARKING SPRAY PAINT BLK/GREEN	05/22/2024	106727	\$28.11
SAN ELIJO JPA	Q4-FY 24 OPERATIONS & MAINTENANCE	06/05/2024	106788	\$516,007.00
SAN ELIJO JPA	Q4-FY 24 OPERATIONS & MAINTENANCE	06/05/2024	106788	\$286,220.00
URBAN FUTURES INC	FY 23-ANNUAL CONTINUING DISCLOSURE	06/05/2024	106792	\$4,150.00
AT&T CALNET 3	9391012277 - 04/24/2024-05/23/2024	06/05/2024	106777	\$18.46
WEX FLEET UNIVERSAL	04/08/24-05/07/24-AUTO FUEL	05/22/2024	106737	\$253.07
IDRAINS LLC	O-SEWER MAINT	05/31/2024	106738	\$670.00
IDRAINS LLC	APR 24 O- SEWER-STORMDRAIN MAINT	06/05/2024	106776	\$1,340.00
IDRAINS LLC	E-SEWER-STORMDRAIN CLEANING HOT SPOT	06/05/2024	106776	\$6,315.12
IDRAINS LLC	J SEWER-STORMDRAIN MAINT VACUUM	06/05/2024	106776	\$675.00
<b>TOTAL SANITATION</b>				<b>\$815,719.72</b>

**6527820 - SUCCESSOR AGENCY**

URBAN FUTURES INC	FY 23-ANNUAL CONTINUING DISCLOSURE	06/05/2024	106792	\$1,100.00
<b>TOTAL SUCCESSOR AGENCY</b>				<b>\$1,100.00</b>

**REPORT TOTAL: \$1,514,824.01**





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** **City Council Consideration of Resolution 2024-053**  
**Approving the Fiscal Year 2024/25 Appropriations Limit**

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### **BACKGROUND:**

The Gann Initiative (Proposition 4) was passed in November 1979 by the voters of California, becoming a constitutional amendment. This amendment limited the annual growth of state and local government budgets. The amendment establishes FY 1978/79 as the base year and allows the base to increase in future years by the percentage of growth in population and by the increase in the Consumer Price Index or California Per Capita Personal Income (whichever is lower).

Proposition 4 does not limit all appropriations but does limit appropriations financed from "Proceeds of Taxes". "Proceeds of Taxes" include such revenues as property taxes, sales and use taxes, transient occupancy taxes, and most state subventions. Revenues from other sources such as fees, charges for services and federal grants are considered "Non-Proceeds of Taxes" and are not subject to the Appropriations Limit.

In order to deal with an increasing number of complaints about the restrictions of Proposition 4, and to increase the accountability of local government in adopting their limits, voters approved Proposition 111 in June 1990. Proposition 111 provided new adjustment formulas, which make the Appropriations Limit more responsive to local growth issues. Proposition 111 also requires an annual review of Appropriations Limit calculations.

The statutes regarding the adoption of the Appropriations Limit are contained in California Government Code Section 7910. The law calls for the adoption of the Appropriations Limit by resolution prior to the fiscal year (FY) in question. Following the passage of Proposition 111, the requirements for adopting the Appropriations Limit were changed requiring a recorded vote of the City Council as to which of the annual adjustment factors had been selected for the ensuing year.

CITY COUNCIL ACTION: \_\_\_\_\_

\_\_\_\_\_



The adoption of the Appropriations Limit is done at a regular meeting or a noticed special meeting. There is no required public hearing or special public notice. Once the Appropriations Limit is adopted, the public has forty-five (45) days from the effective date of the resolution to initiate judicial action regarding the Appropriations Limit. The adoption of the Appropriations Limit, and any adjustments to it, are deemed to be legislative acts. This is an important point in that the courts have determined that a future Legislature/Council may modify the acts of a prior legislative decision without violating Article XIIIB.

This item is before the City Council to consider Resolution 2024-053 (Attachment 1) approving the FY 2024/25 Appropriations Limit.

### **DISCUSSION:**

The FY 2024/25 Appropriations Limit is established by adjusting the current Appropriations Limit for growth in changes in California's per capita income and population for the City. Section 7901(b) of the Government Code allows a city to choose between the change in population of the city and the change in population of the County in adjusting the previous year's Appropriations Limit. These figures are provided by the State of California Department of Finance (Attachment 3). Staff historically has used the change in the County of San Diego's population, which decreased by -0.35%, rather than the change in the City's population, which increased by 0.05%.

Section 7901(b) also dictates that the City must select its change in population pursuant to this section annually by a recorded vote of the governing body. Approval of Resolution 2023-073 by the City Council would establish that the City Council chooses to use the County of San Diego's change in population for the calculation of the Appropriations Limit.

Staff has calculated the City's Appropriations Limit for FY 2024/25 to be \$47,468,157 (Attachment 2). Staff has included the following detail involved in calculating the Appropriations Limit: Schedule A – GANN Limit Calculation, Schedule B - Estimated Revenue and Resource Schedule, and Schedule C - Appropriations Subject to Limit.

Staff has also included the Annual Adjustment Factors for FY 2024/25 (Attachment 3). This schedule lists the California change in per capita personal income, and the changes in both the City's and County of San Diego's population that were selected in calculating the Appropriations Limit.

### **CEQA COMPLIANCE STATEMENT:**

Not a project under CEQA.

### **FISCAL IMPACT:**

The FY 2024/25 Appropriations Limit is calculated to be \$49,078,294. The amount of the appropriations (proceeds of taxes) that are subject to the limit is \$20,639,337. This amount is \$28,438,957 under the Appropriations Limit. If the actual receipts of the proceeds of taxes received in FY 2024/25 exceed the Appropriation Limits, then the excess receipts would



have to be refunded within the next two fiscal years, absent a voter approval to increase the limit.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation increasing the City's Appropriations Limit for FY 2024/25.
- Do not approve an increase to the City's Appropriations Limit for FY 2024/25 and provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2024-053 establishing the FY 2024/25 Appropriations Limit in accordance with Article XIII B of the California Constitution and Government Code Section 7910 and choosing the County of San Diego's change in population growth to calculate the Appropriations Limit.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

**Attachments:**

1. Resolution 2024-053
2. Gann Limit Calculation
3. Annual Adjustment Factors FY 2024/25



## **RESOLUTION 2024-053**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ESTABLISHING THE FY 2024/25 APPROPRIATIONS LIMIT IN ACCORDANCE WITH ARTICLE XIII B OF THE CALIFORNIA CONSTITUTION AND GOVERNMENT CODE SECTION 7910 AND CHOOSING THE COUNTY OF SAN DIEGO'S CHANGE IN POPULATION GROWTH TO CALCULATE THE APPROPRIATIONS LIMIT**

**WHEREAS**, Article XIII B of the California Constitution was amended June 5, 1990, by Proposition 111 to change the price and population factors that may be used by local jurisdictions in setting their appropriations limit; and

**WHEREAS**, the appropriations limit may increase annually by a factor comprised of the change in population within the local jurisdiction or within the county in which it is located, combined with either the change in California Per Capita Personal Income or the change in the local assessment roll due to local non-residential construction; and

**WHEREAS**, the FY 2024/25 Appropriations Limit for the City of Solana Beach shall be the FY 1987/88 Appropriations Limit adjusted from that year forward by the new growth factors stated in Proposition 111; and

**WHEREAS**, the City has been provided price and population data from the State Department of Finance; and

**WHEREAS**, the price factor changes resulting from the change in California Per Capita Income and the change in County population are the factors used for the City of Solana Beach in adjusting its Appropriations Limit.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Solana Beach, California, does hereby resolve as follows:

1. That the foregoing recitations are true and correct.
2. That pursuant to the Government Code Section 7901(b), the City Council chooses to use the County of San Diego's change in population, as provided by the Department of Finance of the State of California, in calculating the Appropriations Limit for the City of Solana Beach.
3. The Appropriations Limit for the City of Solana Beach for Fiscal Year 2024/25 shall be \$49,078,294.



**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



**Schedule A**  
**Gann Limit Calculation**  
**Fiscal Year 2024/25**

Appropriations Limit 2023/24		\$ 47,468,157
Increase due to California Per Capita Income	3.62%	<u>1,718,347</u>
Subtotal		49,186,504
Increase due to County population growth	-0.22%	<u>(108,210)</u>
Appropriations Limit 2024/25		<u><u>\$ 49,078,294</u></u>

Note: The source of the California per capita income, as well as the change in population, is the State of California Department of Finance's "Price and Population Information" letter dated May 2024



**Schedule B**  
**Estimated Revenue and Resources**  
**Fiscal Year 2024/25**

<b><u>Revenue/Resource</u></b>	<b><u>Tax Proceeds</u></b>	<b><u>Non-Tax Proceeds</u></b>	<b><u>Total</u></b>
Property Taxes	\$ 9,996,980	\$ 1,180,256	\$ 11,177,236
Sales Tax	4,488,000	-	4,488,000
Other Taxes/Franchise Fees	3,864,448	768,475	4,632,923
Licenses & Permits	-	619,350	619,350
Fines	-	320,200	320,200
Use of Money/Property-Interest	109,909	503,553	613,462
Use of Money/Property-Rental	-	75,575	75,575
Intergovernmental	2,180,000	1,407,137	3,587,137
Service Charges	-	7,573,000	7,573,000
Other Revenue	-	1,770,967	1,770,967
Proceeds from Long Term Debt	-	-	-
Departmental Charges	-	2,298,200	2,298,200
Transfers In	-	-	-
	<u>\$ 20,639,337</u>	<u>\$ 16,516,712</u>	<u>\$ 37,156,049</u>



**Schedule C**  
**Schedule of Appropriations Subject to Limit**  
**Fiscal Year 2024/25**

Projected Revenues per Budget	\$ 37,156,049	Sch B
Less: Non-Tax Proceeds	<u>(16,516,712)</u>	Sch B
Projected Revenues from Proceeds of Taxes	20,639,337	
Appropriations Limit Fiscal Year 2021/22	<u>49,078,294</u>	Sch A
Amount Under Appropriations Limit	\$ 28,438,957	
Percentage Under Appropriations Limit	57.95%	



Dear Fiscal Officer:

## Price Factor and Population Information

### Appropriations Limit

California Revenue and Taxation Code section 2227 requires the Department of Finance to transmit an estimate of the percentage change in population to local governments. Each local jurisdiction must use their percentage change in population factor for January 1, 2024, in conjunction with a change in the cost of living, or price factor, to calculate their appropriations limit for fiscal year 2024-25. Attachment A provides the change in California's per capita personal income and an example for utilizing the factors to calculate the 2024-25 appropriations limit. Attachment B provides the city and unincorporated county population percentage change. Attachment C provides the population percentage change for counties and their summed incorporated areas. The population percentage change data excludes federal and state institutionalized populations and military populations.

### Population Percent Change for Special Districts

Some special districts must establish an annual appropriations limit. [California Revenue and Taxation Code section 2228](#) provides additional information regarding the appropriations limit. [Article XIII B, section 9\(C\) of the California Constitution](#) exempts certain special districts from the appropriations limit calculation mandate. Special districts required by law to calculate their appropriations limit must present the calculation as part of their annual audit. Any questions special districts have on this requirement should be directed to their county, district legal counsel, or the law itself. No state agency reviews the local appropriations limits.

### Population Certification

The population certification program applies only to cities and counties. California Revenue and Taxation Code section 11005.6 mandates Finance to automatically certify any population estimate that exceeds the current certified population with the State Controller's Office. **Finance will certify the higher estimate to the State Controller by June 1, 2024.** Please note: The prior year's city population estimates may be revised. The per capita personal income change is based on historical data.

If you have any questions regarding this data, please contact the Demographic Research Unit at (916) 323-4086.

/s Erika Li

Attachment



- A. **Price Factor:** Article XIII B specifies that local jurisdictions select their cost of living factor to compute their appropriation limit by a vote of their governing body. The cost of living factor provided here is per capita personal income. If the percentage change in per capita personal income is selected, the percentage change to be used in setting the fiscal year 2024-25 appropriation limit is:

Per Capita Personal Income	
Fiscal Year (FY)	Percentage change over prior year
2024-25	3.62

- B. Following is an example using sample population change and the change in California per capita personal income as growth factors in computing a 2024-25 appropriation limit.

**2024-25:**

Per Capita Cost of Living Change = 3.62 percent  
Population Change = 0.17 percent

Per Capita Cost of Living converted to a ratio:  $\frac{3.62 + 100}{100} = 1.0362$

Population converted to a ratio:  $\frac{0.17 + 100}{100} = 1.0017$

Calculation of factor for FY 2024-25:  $1.0362 \times 1.0017 = 1.0379$



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Alameda				
Alameda	1.21	76,309	77,234	78,071
Albany	-0.14	20,354	20,325	20,325
Berkeley	0.12	125,181	125,327	125,327
Dublin	-0.03	71,600	71,575	72,917
Emeryville	4.95	12,686	13,314	13,314
Fremont	-0.63	230,713	229,250	229,250
Hayward	-0.58	160,699	159,770	159,770
Livermore	-0.48	85,235	84,828	84,828
Newark	-2.36	47,762	46,635	46,635
Oakland	-0.52	427,085	424,873	425,093
Piedmont	-0.88	10,878	10,782	10,782
Pleasanton	-1.17	76,861	75,960	75,960
San Leandro	-1.01	87,984	87,098	87,098
Union City	-1.26	67,279	66,432	66,432
Unincorporated	-1.18	147,743	146,006	146,067
County Total	-0.54	1,648,369	1,639,409	1,641,869

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Alpine				
Unincorporated	-0.34	1,183	1,179	1,179
County Total	-0.34	1,183	1,179	1,179

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Amador				
Amador	-1.53	196	193	193
Ione	-0.06	5,032	5,029	8,856
Jackson	-1.34	4,933	4,867	4,867
Plymouth	-0.19	1,063	1,061	1,061
Sutter Creek	-1.39	2,589	2,553	2,553
Unincorporated	-0.95	22,278	22,067	22,081
County Total	-0.89	36,091	35,770	39,611

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Butte				
Biggs	-5.02	1,951	1,853	1,853
Chico	1.81	107,639	109,589	109,589
Gridley	-4.15	7,235	6,935	6,935
Oroville	-3.78	18,841	18,129	18,129
Paradise	16.14	9,205	10,691	10,691
Unincorporated	-4.82	61,708	58,731	58,731
County Total	-0.32	206,579	205,928	205,928

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Calaveras				
Angels City	-0.47	3,604	3,587	3,587
Unincorporated	-0.12	41,249	41,199	41,255
County Total	-0.15	44,853	44,786	44,842

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Colusa				
Colusa	0.28	6,429	6,447	6,447
Williams	-0.72	5,568	5,528	5,528
Unincorporated	-0.67	9,834	9,768	9,768
County Total	-0.40	21,831	21,743	21,743

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Contra Costa				
Antioch	0.30	115,282	115,632	115,632
Brentwood	0.49	64,496	64,811	64,811
Clayton	-0.04	10,687	10,683	10,683
Concord	-0.12	121,663	121,513	121,513
Danville	-0.40	42,736	42,567	42,567
El Cerrito	1.15	25,409	25,700	25,700
Hercules	-0.53	26,202	26,063	26,063
Lafayette	-0.06	24,823	24,808	24,808
Martinez	0.04	36,425	36,439	36,439
Moraga	-0.44	16,858	16,784	16,784
Oakley	1.80	44,929	45,736	45,736
Orinda	-0.21	19,231	19,191	19,191
Pinole	-0.47	18,278	18,192	18,192
Pittsburg	0.47	74,736	75,085	75,085
Pleasant Hill	-0.28	33,447	33,352	33,352
Richmond	-0.34	113,122	112,735	112,735
San Pablo	-0.24	31,163	31,088	31,088
San Ramon	-0.28	82,754	82,525	82,525
Walnut Creek	0.61	69,010	69,433	69,433
Unincorporated	0.15	174,023	174,289	174,289
County Total	0.12	1,145,274	1,146,626	1,146,626

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Del Norte				
Crescent City	0.52	4,019	4,040	5,564
Unincorporated	-0.19	20,768	20,728	20,781
County Total	-0.08	24,787	24,768	26,345

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Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
El Dorado				
Placerville	0.12	10,517	10,530	10,540
South Lake Tahoe	0.42	20,703	20,790	20,790
Unincorporated	0.25	156,754	157,143	157,253
County Total	0.26	187,974	188,463	188,583

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Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Fresno				
Clovis	1.42	124,361	126,133	126,133
Coalinga	-0.13	13,291	13,274	17,107
Firebaugh	-0.77	8,480	8,415	8,415
Fowler	2.85	7,163	7,367	7,367
Fresno	0.71	542,600	546,467	546,971
Huron	3.74	6,119	6,348	6,348
Kerman	1.81	16,950	17,256	17,256
Kingsburg	1.04	12,908	13,042	13,042
Mendota	0.55	12,462	12,531	12,531
Orange Cove	0.67	9,453	9,516	9,516
Parlier	-0.10	14,382	14,368	14,368
Reedley	1.09	25,376	25,653	25,653
Sanger	0.27	26,286	26,357	26,357
San Joaquin	-0.11	3,620	3,616	3,616
Selma	-0.10	24,395	24,371	24,371
Unincorporated	0.06	157,158	157,254	158,380
County Total	0.69	1,005,004	1,011,968	1,017,431

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Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Glenn				
Orland	4.86	8,141	8,537	8,537
Willows	0.06	6,317	6,321	6,321
Unincorporated	0.04	13,872	13,878	13,878
County Total	1.43	28,330	28,736	28,736

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Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Humboldt				
Arcata	-1.54	18,830	18,540	18,540
Blue Lake	-1.29	1,164	1,149	1,149
Eureka	-0.80	26,116	25,906	26,073
Ferndale	-1.45	1,376	1,356	1,356
Fortuna	-1.11	12,318	12,181	12,181
Rio Dell	-1.49	3,290	3,241	3,241
Trinidad	-1.34	298	294	294
Unincorporated	-1.07	70,959	70,199	70,266
County Total	-1.11	134,351	132,866	133,100

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Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Imperial				
Brawley	2.58	27,633	28,345	28,345
Calexico	1.70	38,606	39,262	39,262
Calipatria	4.60	6,063	6,342	6,342
El Centro	1.37	44,305	44,911	44,952
Holtville	1.27	5,513	5,583	5,583
Imperial	2.59	21,583	22,141	22,141
Westmorland	2.86	1,993	2,050	2,050
Unincorporated	1.65	30,586	31,091	34,206
County Total	1.95	176,282	179,725	182,881

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Fiscal Year 2024-25

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	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Inyo				
Bishop	-0.13	3,853	3,848	3,848
Unincorporated	-0.17	14,973	14,948	15,008
County Total	-0.16	18,826	18,796	18,856

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Fiscal Year 2024-25

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	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Kern				
Arvin	0.98	19,460	19,651	19,651
Bakersfield	0.80	407,835	411,109	411,109
California City	0.60	13,001	13,079	13,079
Delano	0.96	45,119	45,554	52,484
Maricopa	0.00	1,004	1,004	1,004
McFarland	1.45	13,765	13,965	13,965
Ridgecrest	0.75	27,098	27,300	27,940
Shafter	4.31	21,266	22,183	22,226
Taft	0.13	6,944	6,953	6,953
Tehachapi	0.48	9,297	9,342	11,092
Wasco	1.35	22,945	23,254	27,028
Unincorporated	0.39	300,172	301,340	303,769
County Total	0.77	887,906	894,734	910,300

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	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Kings				
Avenal	-0.28	9,373	9,347	13,981
Corcoran	0.07	13,405	13,415	21,633
Hanford	0.43	59,034	59,286	59,286
Lemoore	-0.27	26,929	26,855	26,855
Unincorporated	-0.42	24,775	24,672	30,872
County Total	0.04	133,516	133,575	152,627

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Fiscal Year 2024-25

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	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Lake				
Clearlake	1.14	16,367	16,553	16,553
Lakeport	0.12	4,976	4,982	4,982
Unincorporated	0.27	45,276	45,398	45,466
County Total	0.47	66,619	66,933	67,001

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Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Lassen				
Susanville	-0.22	9,355	9,334	11,639
Unincorporated	0.01	14,950	14,952	16,558
County Total	-0.08	24,305	24,286	28,197

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Fiscal Year 2024-25

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<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Los Angeles				
Agoura Hills	-0.44	19,928	19,841	19,841
Alhambra	0.05	81,753	81,790	81,811
Arcadia	-0.13	55,855	55,783	55,783
Artesia	-0.21	16,053	16,019	16,019
Avalon	-0.57	3,332	3,313	3,313
Azusa	-0.35	49,595	49,420	49,420
Baldwin Park	-0.06	70,700	70,660	70,660
Bell	-0.34	33,414	33,301	33,301
Bellflower	-0.03	77,014	76,990	76,990
Bell Gardens	-0.49	38,569	38,381	38,381
Beverly Hills	-0.45	31,950	31,806	31,806
Bradbury	-0.77	905	898	898
Burbank	0.11	105,484	105,603	105,603
Calabasas	-0.50	22,857	22,742	22,742
Carson	-0.52	92,399	91,920	91,924
Cerritos	-0.53	48,063	47,806	47,806
Claremont	0.03	37,673	37,686	37,686
Commerce	0.57	12,055	12,124	12,124
Compton	-0.37	94,016	93,671	93,671
Covina	0.19	50,390	50,485	50,485
Cudahy	-0.52	22,327	22,210	22,210
Culver City	0.89	39,859	40,213	40,213
Diamond Bar	-0.43	53,566	53,335	53,335
Downey	-0.15	111,656	111,493	111,493
Duarte	3.04	22,958	23,656	23,656
El Monte	0.08	106,649	106,738	106,786
El Segundo	-0.08	16,953	16,939	16,964
Gardena	0.22	59,896	60,028	60,028
Glendale	-0.25	192,072	191,586	191,586
Glendora	-0.32	51,374	51,209	51,209
Hawaiian Gardens	-0.29	13,600	13,560	13,560
Hawthorne	-0.37	85,886	85,566	85,566
Hermosa Beach	-0.42	19,169	19,088	19,088
Hidden Hills	0.17	1,724	1,727	1,727
Huntington Park	-0.31	53,374	53,209	53,219
Industry	-0.23	427	426	426
Inglewood	-0.53	106,628	106,065	106,065
Irwindale	0.74	1,488	1,499	1,499

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Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
La Canada Flintridge	-0.20	20,089	20,048	20,048
La Habra Heights	-0.45	5,513	5,488	5,488
Lakewood	-0.25	80,365	80,162	80,162
La Mirada	-0.40	48,271	48,077	48,077
Lancaster	-0.10	169,939	169,776	172,631
La Puente	-0.19	37,530	37,459	37,459
La Verne	0.06	31,678	31,697	31,697
Lawndale	-0.55	31,026	30,855	30,855
Lomita	-0.38	20,397	20,320	20,320
Long Beach	-0.18	459,315	458,498	458,813
Los Angeles	0.27	3,800,438	3,810,548	3,814,318
Lynwood	-0.23	66,424	66,271	66,271
Malibu	-0.18	10,640	10,621	10,621
Manhattan Beach	-0.50	34,367	34,195	34,195
Maywood	-0.49	24,572	24,451	24,451
Monrovia	1.39	37,563	38,087	38,087
Montebello	0.32	61,730	61,930	61,930
Monterey Park	-0.42	59,592	59,340	59,347
Norwalk	-0.39	100,732	100,341	101,172
Palmdale	-0.02	166,089	166,055	166,055
Palos Verdes Estates	-0.44	13,031	12,974	12,974
Paramount	-0.34	52,331	52,153	52,153
Pasadena	1.09	138,187	139,692	139,692
Pico Rivera	-0.32	61,014	60,820	60,820
Pomona	0.68	151,132	152,166	152,166
Rancho Palos Verdes	-0.50	41,106	40,902	40,919
Redondo Beach	-0.27	68,424	68,239	68,239
Rolling Hills	-0.53	1,686	1,677	1,677
Rolling Hills Estates	0.46	8,495	8,534	8,534
Rosemead	0.08	50,503	50,541	50,541
San Dimas	-0.31	34,027	33,920	33,920
San Fernando	0.04	23,633	23,643	23,643
San Gabriel	-0.09	38,648	38,613	38,613
San Marino	0.23	12,350	12,379	12,379
Santa Clarita	-0.27	231,045	230,428	230,428
Santa Fe Springs	-0.34	18,574	18,511	18,640
Santa Monica	0.34	92,598	92,912	92,912
Sierra Madre	-0.15	10,925	10,909	10,909
Signal Hill	-0.35	11,488	11,448	11,448
South El Monte	-0.21	19,482	19,441	19,441

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
South Gate	0.03	92,701	92,729	92,729
South Pasadena	-0.37	26,367	26,270	26,270
Temple City	-0.18	36,040	35,975	35,975
Torrance	-0.36	143,433	142,910	142,910
Vernon	-0.49	206	205	205
Walnut	-0.10	27,896	27,867	27,867
West Covina	0.65	108,404	109,105	109,105
West Hollywood	-0.44	35,229	35,075	35,075
Westlake Village	-0.45	7,938	7,902	7,902
Whittier	0.22	87,333	87,527	87,527
Unincorporated	-0.19	998,818	996,956	997,587
County Total	0.05	9,810,925	9,815,428	9,824,091

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Madera				
Chowchilla	-0.47	13,600	13,536	18,930
Madera	0.44	66,269	66,560	66,560
Unincorporated	1.34	72,865	73,838	73,838
County Total	0.79	152,734	153,934	159,328

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Marin				
Belvedere	-0.15	2,046	2,043	2,043
Corte Madera	-0.44	9,916	9,872	9,882
Fairfax	-0.38	7,399	7,371	7,371
Larkspur	0.13	12,638	12,655	12,655
Mill Valley	-0.44	13,695	13,635	13,635
Novato	-1.08	51,415	50,861	51,140
Ross	-0.26	2,278	2,272	2,272
San Anselmo	-0.14	12,443	12,426	12,426
San Rafael	-0.45	59,855	59,585	59,585
Sausalito	-0.55	6,894	6,856	6,856
Tiburon	-0.36	8,841	8,809	8,809
Unincorporated	-0.45	62,940	62,656	66,170
County Total	-0.53	250,360	249,041	252,844

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Mariposa				
Unincorporated	-0.04	16,912	16,905	16,966
County Total	-0.04	16,912	16,905	16,966

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Mendocino				
Fort Bragg	2.16	7,027	7,179	7,179
Point Arena	-0.45	447	445	445
Ukiah	-0.42	16,176	16,108	16,108
Willits	-0.10	4,835	4,830	4,830
Unincorporated	-0.24	61,011	60,862	60,914
County Total	-0.08	89,496	89,424	89,476

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Merced				
Atwater	0.02	31,390	31,397	31,397
Dos Palos	-0.02	5,634	5,633	5,633
Gustine	-0.07	5,940	5,936	5,936
Livingston	0.09	14,273	14,286	14,286
Los Banos	0.25	47,300	47,419	47,419
Merced	1.91	90,120	91,837	91,837
Unincorporated	0.23	89,424	89,630	90,795
County Total	0.72	284,081	286,138	287,303

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Modoc				
Alturas	-0.19	2,664	2,659	2,659
Unincorporated	-0.21	5,837	5,825	5,825
County Total	-0.20	8,501	8,484	8,484

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Mono				
Mammoth Lakes	-2.67	7,305	7,110	7,110
Unincorporated	-2.37	5,792	5,655	5,751
County Total	-2.53	13,097	12,765	12,861

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Monterey				
Carmel-By-The-Sea	0.55	3,105	3,122	3,122
Del Rey Oaks	0.64	1,559	1,569	1,569
Gonzales	0.98	8,384	8,466	8,466
Greenfield	2.01	20,155	20,561	20,561
King City	1.78	13,968	14,216	14,216
Marina	1.91	22,269	22,695	22,695
Monterey	0.56	24,096	24,232	27,106
Pacific Grove	0.63	14,872	14,966	14,966
Salinas	0.73	160,870	162,037	162,037
Sand City	0.26	378	379	379
Seaside	0.04	28,075	28,085	30,197
Soledad	2.94	19,565	20,140	26,966
Unincorporated	0.75	104,372	105,157	105,334
County Total	0.94	421,668	425,625	437,614

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Napa				
American Canyon	1.77	21,379	21,758	21,758
Calistoga	0.29	5,127	5,142	5,142
Napa	0.13	77,074	77,174	77,174
St Helena	0.57	5,284	5,314	5,314
Yountville	0.09	2,180	2,182	2,781
Unincorporated	-0.08	21,772	21,754	22,860
County Total	0.38	132,816	133,324	135,029

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Nevada				
Grass Valley	-0.58	13,478	13,400	13,400
Nevada City	-0.09	3,350	3,347	3,347
Truckee	0.46	16,702	16,778	16,778
Unincorporated	-0.45	66,891	66,590	66,652
County Total	-0.30	100,421	100,115	100,177

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Orange				
Aliso Viejo	-0.43	50,284	50,068	50,068
Anaheim	0.29	339,105	340,090	340,160
Brea	-0.34	47,886	47,725	47,725
Buena Park	0.07	82,632	82,689	82,689
Costa Mesa	-0.31	109,765	109,423	109,423
Cypress	0.11	49,291	49,345	49,345
Dana Point	-0.38	32,721	32,596	32,596
Fountain Valley	0.18	56,233	56,333	56,333
Fullerton	-0.32	140,756	140,311	140,311
Garden Grove	1.17	169,024	171,002	171,024
Huntington Beach	-0.30	193,078	192,503	192,503
Irvine	0.97	311,537	314,550	314,550
Laguna Beach	0.07	22,433	22,449	22,449
Laguna Hills	-0.42	30,442	30,315	30,315
Laguna Niguel	0.67	63,865	64,291	64,291
Laguna Woods	-0.43	17,222	17,148	17,148
La Habra	-0.21	61,028	60,901	60,901
Lake Forest	0.70	86,311	86,917	86,917
La Palma	-0.40	15,131	15,071	15,071
Los Alamitos	-0.19	11,970	11,947	11,947
Mission Viejo	0.09	91,221	91,304	91,304
Newport Beach	-0.35	82,707	82,419	82,419
Orange	-0.16	138,842	138,621	138,621
Placentia	0.08	52,182	52,226	52,226
Rancho Santa Margarita	-0.43	46,507	46,305	46,305
San Clemente	-0.29	62,481	62,297	62,297
San Juan Capistrano	1.05	34,627	34,992	34,992
Santa Ana	0.89	308,041	310,797	310,797
Seal Beach	-0.37	24,200	24,110	24,350
Stanton	3.55	38,914	40,297	40,297
Tustin	0.42	78,515	78,844	78,844
Villa Park	-0.19	5,716	5,705	5,705
Westminster	0.10	89,400	89,490	89,490
Yorba Linda	-0.27	66,268	66,087	66,087
Unincorporated	0.72	130,381	131,325	131,335
County Total	0.31	3,140,716	3,150,493	3,150,835

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Placer				
Auburn	-0.94	13,344	13,218	13,218
Colfax	-1.09	2,010	1,988	1,988
Lincoln	1.79	52,296	53,231	53,231
Loomis	0.06	6,597	6,601	6,601
Rocklin	0.26	71,420	71,609	71,609
Roseville	1.05	152,726	154,329	154,329
Unincorporated	0.16	111,692	111,868	111,868
County Total	0.67	410,085	412,844	412,844

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Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Plumas				
Portola	-1.14	2,099	2,075	2,075
Unincorporated	-0.76	16,894	16,766	16,766
County Total	-0.80	18,993	18,841	18,841

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Riverside				
Banning	0.54	31,046	31,213	31,213
Beaumont	2.03	56,275	57,416	57,416
Blythe	-0.33	12,566	12,524	17,378
Calimesa	-0.39	10,909	10,867	10,867
Canyon Lake	-0.13	10,846	10,832	10,832
Cathedral City	-0.27	51,012	50,873	50,911
Coachella	2.36	42,179	43,173	43,173
Corona	0.22	156,268	156,615	156,615
Desert Hot Springs	0.85	32,380	32,654	32,654
Eastvale	-0.35	69,123	68,884	68,884
Hemet	0.37	89,333	89,663	89,663
Indian Wells	1.35	4,733	4,797	4,797
Indio	0.78	89,978	90,680	90,680
Jurupa Valley	0.12	104,541	104,663	104,721
Lake Elsinore	0.14	71,351	71,452	71,452
La Quinta	1.44	37,824	38,370	38,370
Menifee	1.97	109,401	111,560	111,560
Moreno Valley	0.12	206,903	207,146	207,146
Murrieta	-0.17	109,364	109,177	109,177
Norco	-0.15	22,084	22,050	25,068
Palm Desert	1.22	50,274	50,889	50,889
Palm Springs	-0.03	43,802	43,791	43,791
Perris	1.13	78,424	79,311	79,311
Rancho Mirage	0.74	16,868	16,992	16,992
Riverside	0.30	315,747	316,690	316,690
San Jacinto	-0.39	53,746	53,538	53,538
Temecula	0.49	108,173	108,700	108,700
Wildomar	0.65	36,093	36,327	36,327
Unincorporated	0.95	399,653	403,438	403,563
County Total	0.55	2,420,896	2,434,285	2,442,378

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Sacramento				
Citrus Heights	-0.58	86,056	85,554	85,554
Elk Grove	0.69	177,446	178,679	178,679
Folsom	2.41	81,478	83,443	88,023
Galt	0.69	25,608	25,785	25,785
Isleton	-0.65	772	767	767
Rancho Cordova	0.62	81,604	82,109	82,109
Sacramento	0.18	519,466	520,407	520,407
Unincorporated	-0.40	599,989	597,614	597,614
County Total	0.12	1,572,419	1,574,358	1,578,938

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Benito				
Hollister	0.76	42,547	42,872	42,872
San Juan Bautista	0.00	2,032	2,032	2,032
Unincorporated	1.76	20,586	20,949	20,949
County Total	1.06	65,165	65,853	65,853

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

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**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Bernardino				
Adelanto	-0.80	36,422	36,131	36,131
Apple Valley	-0.24	74,500	74,322	74,322
Barstow	-0.34	24,124	24,043	24,669
Big Bear Lake	0.20	4,948	4,958	4,958
Chino	0.57	88,580	89,088	92,585
Chino Hills	-0.17	76,547	76,414	76,414
Colton	-0.12	52,841	52,778	52,778
Fontana	0.68	212,772	214,223	214,223
Grand Terrace	-0.17	12,793	12,771	12,771
Hesperia	0.75	99,338	100,087	100,087
Highland	0.12	55,612	55,676	55,676
Loma Linda	-0.02	24,923	24,919	24,965
Montclair	-0.09	37,246	37,211	37,211
Needles	-0.23	4,780	4,769	4,769
Ontario	0.93	179,555	181,224	181,224
Rancho Cucamonga	0.56	172,344	173,316	173,316
Redlands	1.28	71,776	72,696	72,696
Rialto	0.71	102,367	103,097	103,097
San Bernardino	0.39	224,316	225,188	226,541
Twentynine Palms	-1.12	15,397	15,224	25,346
Upland	0.56	77,849	78,285	78,285
Victorville	0.96	132,537	133,805	138,202
Yucaipa	0.33	53,635	53,810	53,810
Yucca Valley	0.40	21,509	21,594	21,594
Unincorporated	0.02	286,864	286,926	295,763
County Total	0.42	2,143,575	2,152,555	2,181,433

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Diego				
Carlsbad	-0.63	115,045	114,319	114,319
Chula Vista	0.54	276,517	277,997	278,247
Coronado	-0.54	17,332	17,238	21,589
Del Mar	0.03	3,918	3,919	3,919
El Cajon	-0.60	104,804	104,180	104,180
Encinitas	-0.37	61,254	61,028	61,028
Escondido	-0.38	150,571	150,002	150,002
Imperial Beach	-0.05	26,109	26,096	26,096
La Mesa	-0.22	60,753	60,620	60,620
Lemon Grove	0.19	27,517	27,568	27,568
National City	0.32	56,350	56,531	58,555
Oceanside	-0.41	172,186	171,483	171,483
Poway	1.34	48,620	49,273	49,273
San Diego	0.08	1,368,583	1,369,714	1,385,379
San Marcos	1.24	94,823	95,998	95,998
Santee	-0.64	59,574	59,195	59,195
Solana Beach	0.44	12,831	12,887	12,887
Vista	-0.39	100,113	99,723	99,723
Unincorporated	0.31	478,424	479,928	511,040
County Total	0.07	3,235,324	3,237,699	3,291,101

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Francisco				
San Francisco	0.11	841,745	842,644	843,071
County Total	0.11	841,745	842,644	843,071

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Joaquin				
Escalon	0.07	7,244	7,249	7,249
Lathrop	5.39	35,138	37,033	37,033
Lodi	0.50	66,164	66,492	66,492
Manteca	2.67	88,552	90,917	90,917
Ripon	0.10	15,726	15,741	15,741
Stockton	0.48	315,655	317,174	317,204
Tracy	1.33	95,341	96,609	96,609
Unincorporated	0.29	157,407	157,866	160,163
County Total	1.01	781,227	789,081	791,408

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Luis Obispo				
Arroyo Grande	-0.54	18,039	17,941	17,941
Atascadero	-0.15	29,278	29,233	30,279
El Paso De Robles	0.37	30,792	30,907	30,907
Grover Beach	-0.49	12,542	12,481	12,481
Morro Bay	-0.52	10,315	10,261	10,261
Pismo Beach	-0.29	7,869	7,846	7,846
San Luis Obispo	0.90	48,249	48,684	48,684
Unincorporated	-0.42	118,457	117,954	120,070
County Total	-0.08	275,541	275,307	278,469

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total</u></b>
<b>City</b>	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
San Mateo				
Atherton	0.06	6,972	6,976	6,976
Belmont	-0.92	27,180	26,931	26,931
Brisbane	-0.72	4,695	4,661	4,661
Burlingame	0.34	30,410	30,513	30,513
Colma	-1.12	1,426	1,410	1,410
Daly City	-1.03	102,513	101,458	101,458
East Palo Alto	0.42	28,957	29,078	29,078
Foster City	-1.03	32,921	32,581	32,581
Half Moon Bay	-0.79	11,328	11,238	11,238
Hillsborough	-0.19	11,137	11,116	11,116
Menlo Park	0.61	32,814	33,015	33,140
Millbrae	1.79	22,687	23,093	23,093
Pacifica	-0.89	37,388	37,057	37,062
Portola Valley	-0.79	4,283	4,249	4,249
Redwood City	-0.34	82,144	81,863	81,863
San Bruno	-0.94	42,550	42,152	42,152
San Carlos	-0.94	29,700	29,420	29,420
San Mateo	-0.79	104,180	103,352	103,352
South San Francisco	-0.25	64,765	64,601	64,601
Woodside	-0.83	5,176	5,133	5,133
Unincorporated	-0.65	61,942	61,538	61,538
County Total	-0.50	745,168	741,435	741,565

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Santa Barbara				
Buellton	0.04	4,968	4,970	4,970
Carpinteria	0.08	12,734	12,744	12,744
Goleta	0.04	32,503	32,515	32,515
Guadalupe	1.10	8,582	8,676	8,676
Lompoc	-0.06	40,571	40,545	43,610
Santa Barbara	0.35	85,362	85,659	85,679
Santa Maria	0.84	109,687	110,608	110,608
Solvang	0.05	5,660	5,663	5,663
Unincorporated	-0.07	136,235	136,144	139,158
County Total	0.28	436,302	437,524	443,623

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Santa Clara				
Campbell	-0.22	43,191	43,095	43,095
Cupertino	-0.31	59,656	59,471	59,471
Gilroy	0.80	60,419	60,904	61,033
Los Altos	-0.19	31,316	31,255	31,255
Los Altos Hills	-0.01	8,477	8,476	8,476
Los Gatos	-0.41	33,368	33,230	33,230
Milpitas	0.17	81,635	81,773	81,773
Monte Sereno	0.51	3,564	3,582	3,582
Morgan Hill	0.11	46,333	46,384	46,384
Mountain View	2.45	84,463	86,535	86,535
Palo Alto	-0.21	68,093	67,953	67,973
San Jose	-0.13	970,772	969,491	969,491
Santa Clara	-0.26	132,386	132,048	132,048
Saratoga	-0.08	30,845	30,819	30,819
Sunnyvale	0.24	157,187	157,566	157,566
Unincorporated	-0.53	90,063	89,584	90,467
County Total	0.02	1,901,768	1,902,166	1,903,198

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Santa Cruz				
Capitola	-0.64	9,558	9,497	9,497
Santa Cruz	-0.24	62,929	62,776	62,776
Scotts Valley	-0.47	11,872	11,816	11,816
Watsonville	0.42	50,820	51,032	51,032
Unincorporated	-0.56	128,103	127,388	127,451
County Total	-0.29	263,282	262,509	262,572

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Shasta				
Anderson	-0.46	10,994	10,943	10,943
Redding	0.31	92,039	92,323	92,446
Shasta Lake	-0.31	10,162	10,131	10,131
Unincorporated	-0.16	65,728	65,622	65,675
County Total	0.05	178,923	179,019	179,195

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Sierra				
Loyalton	-0.41	727	724	724
Unincorporated	-0.53	2,460	2,447	2,447
County Total	-0.50	3,187	3,171	3,171

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Siskiyou				
Dorris	-0.24	838	836	836
Dunsmuir	-0.42	1,658	1,651	1,651
Etna	-0.30	667	665	665
Fort Jones	-0.30	676	674	674
Montague	-0.25	1,202	1,199	1,199
Mount Shasta	-0.25	3,211	3,203	3,203
Tulelake	-0.23	872	870	870
Weed	0.67	2,692	2,710	2,710
Yreka	-0.19	7,820	7,805	7,805
Unincorporated	-0.18	23,794	23,750	23,796
County Total	-0.15	43,430	43,363	43,409

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Solano				
Benicia	-0.85	26,255	26,033	26,033
Dixon	1.80	19,060	19,403	19,403
Fairfield	0.32	115,266	115,632	120,339
Rio Vista	0.35	9,969	10,004	10,004
Suisun City	1.04	28,543	28,840	28,840
Vacaville	0.10	96,096	96,192	102,173
Vallejo	-0.54	122,220	121,558	121,558
Unincorporated	-0.52	17,392	17,301	18,076
County Total	0.04	434,801	434,963	446,426

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Sonoma				
Cloverdale	-1.11	8,808	8,710	8,710
Cotati	-1.06	7,381	7,303	7,303
Healdsburg	-0.32	11,020	10,985	10,985
Petaluma	-0.02	58,457	58,445	58,445
Rohnert Park	-0.04	43,838	43,821	43,821
Santa Rosa	-0.07	175,013	174,890	174,890
Sebastopol	-0.96	7,366	7,295	7,295
Sonoma	-0.98	10,636	10,532	10,532
Windsor	-0.91	25,628	25,394	25,394
Unincorporated	-0.40	130,333	129,812	130,777
County Total	-0.27	478,480	477,187	478,152

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Stanislaus				
Ceres	0.58	49,035	49,319	49,319
Hughson	2.28	7,539	7,711	7,711
Modesto	0.52	216,734	217,862	217,862
Newman	0.15	12,103	12,121	12,121
Oakdale	0.29	22,942	23,008	23,008
Patterson	1.49	24,426	24,790	24,790
Riverbank	1.59	24,614	25,006	25,006
Turlock	0.55	70,885	71,273	71,273
Waterford	0.08	9,103	9,110	9,110
Unincorporated	0.16	108,372	108,544	108,544
County Total	0.55	545,753	548,744	548,744

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Sutter				
Live Oak	2.33	9,448	9,668	9,668
Yuba City	1.84	68,984	70,256	70,256
Unincorporated	1.87	19,816	20,186	20,186
County Total	1.90	98,248	100,110	100,110

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Tehama				
Corning	0.29	8,053	8,076	8,076
Red Bluff	-0.94	14,435	14,300	14,300
Tehama	-0.71	425	422	422
Unincorporated	-0.67	41,665	41,384	41,510
County Total	-0.61	64,578	64,182	64,308

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Trinity				
Unincorporated	-0.11	15,878	15,860	15,915
County Total	-0.11	15,878	15,860	15,915

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Tulare				
Dinuba	0.45	25,458	25,573	25,573
Exeter	0.08	10,171	10,179	10,179
Farmersville	1.78	10,146	10,327	10,327
Lindsay	1.07	12,461	12,594	12,594
Porterville	0.70	62,320	62,758	62,934
Tulare	1.77	69,565	70,799	70,799
Visalia	1.10	142,821	144,385	144,532
Woodlake	0.17	7,700	7,713	7,713
Unincorporated	0.42	133,652	134,219	134,267
County Total	0.90	474,294	478,547	478,918

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Tuolumne				
Sonora	0.25	5,119	5,132	5,132
Unincorporated	-0.15	47,088	47,016	49,275
County Total	-0.11	52,207	52,148	54,407

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Ventura				
Camarillo	-0.35	69,256	69,014	69,014
Fillmore	0.57	16,965	17,061	17,061
Moorpark	-0.49	35,286	35,114	35,114
Ojai	-0.05	7,537	7,533	7,533
Oxnard	-0.10	197,737	197,536	197,536
Port Hueneme	-0.69	19,168	19,036	20,916
San Buenaventura	-0.20	107,723	107,512	107,569
Santa Paula	-0.14	31,400	31,355	31,355
Simi Valley	-0.11	124,165	124,029	124,029
Thousand Oaks	-0.38	123,111	122,643	122,643
Unincorporated	-0.44	89,813	89,421	91,093
County Total	-0.23	822,161	820,254	823,863

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Yolo				
Davis	0.20	64,922	65,054	65,054
West Sacramento	0.05	54,251	54,278	54,278
Winters	0.65	7,538	7,587	7,587
Woodland	1.03	60,052	60,672	60,672
Unincorporated	1.14	33,691	34,075	34,075
County Total	0.55	220,454	221,666	221,666

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment B**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024 and Total Population, January 1, 2024**

<b>County City</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>		<b><u>Total Population</u></b>
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>	<b>1-1-24</b>
Yuba				
Marysville	0.68	12,666	12,752	12,752
Wheatland	1.75	3,826	3,893	3,893
Unincorporated	1.33	64,180	65,034	67,076
County Total	1.25	80,672	81,679	83,721

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
Alameda			
Incorporated	-0.48	1,500,626	1,493,403
County Total	-0.54	1,648,369	1,639,409
Alpine			
Incorporated	0.00	0	0
County Total	-0.34	1,183	1,179
Amador			
Incorporated	-0.80	13,813	13,703
County Total	-0.89	36,091	35,770
Butte			
Incorporated	1.61	144,871	147,197
County Total	-0.32	206,579	205,928
Calaveras			
Incorporated	-0.47	3,604	3,587
County Total	-0.15	44,853	44,786
Colusa			
Incorporated	-0.18	11,997	11,975
County Total	-0.40	21,831	21,743
Contra Costa			
Incorporated	0.11	971,251	972,337
County Total	0.12	1,145,274	1,146,626
Del Norte			
Incorporated	0.52	4,019	4,040
County Total	-0.08	24,787	24,768
El Dorado			
Incorporated	0.32	31,220	31,320
County Total	0.26	187,974	188,463

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
Fresno			
Incorporated	0.81	847,846	854,714
County Total	0.69	1,005,004	1,011,968
Glenn			
Incorporated	2.77	14,458	14,858
County Total	1.43	28,330	28,736
Humboldt			
Incorporated	-1.14	63,392	62,667
County Total	-1.11	134,351	132,866
Imperial			
Incorporated	2.02	145,696	148,634
County Total	1.95	176,282	179,725
Inyo			
Incorporated	-0.13	3,853	3,848
County Total	-0.16	18,826	18,796
Kern			
Incorporated	0.96	587,734	593,394
County Total	0.77	887,906	894,734
Kings			
Incorporated	0.15	108,741	108,903
County Total	0.04	133,516	133,575
Lake			
Incorporated	0.90	21,343	21,535
County Total	0.47	66,619	66,933
Lassen			
Incorporated	-0.22	9,355	9,334
County Total	-0.08	24,305	24,286

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
Los Angeles			
Incorporated	0.07	8,812,107	8,818,472
County Total	0.05	9,810,925	9,815,428
Madera			
Incorporated	0.28	79,869	80,096
County Total	0.79	152,734	153,934
Marin			
Incorporated	-0.55	187,420	186,385
County Total	-0.53	250,360	249,041
Mariposa			
Incorporated	0.00	0	0
County Total	-0.04	16,912	16,905
Mendocino			
Incorporated	0.27	28,485	28,562
County Total	-0.08	89,496	89,424
Merced			
Incorporated	0.95	194,657	196,508
County Total	0.72	284,081	286,138
Modoc			
Incorporated	-0.19	2,664	2,659
County Total	-0.20	8,501	8,484
Mono			
Incorporated	-2.67	7,305	7,110
County Total	-2.53	13,097	12,765
Monterey			
Incorporated	1.00	317,296	320,468
County Total	0.94	421,668	425,625

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
Napa			
Incorporated	0.47	111,044	111,570
County Total	0.38	132,816	133,324
Nevada			
Incorporated	-0.01	33,530	33,525
County Total	-0.30	100,421	100,115
Orange			
Incorporated	0.29	3,010,335	3,019,168
County Total	0.31	3,140,716	3,150,493
Placer			
Incorporated	0.87	298,393	300,976
County Total	0.67	410,085	412,844
Plumas			
Incorporated	-1.14	2,099	2,075
County Total	-0.80	18,993	18,841
Riverside			
Incorporated	0.48	2,021,243	2,030,847
County Total	0.55	2,420,896	2,434,285
Sacramento			
Incorporated	0.44	972,430	976,744
County Total	0.12	1,572,419	1,574,358
San Benito			
Incorporated	0.73	44,579	44,904
County Total	1.06	65,165	65,853
San Bernardino			
Incorporated	0.48	1,856,711	1,865,629
County Total	0.42	2,143,575	2,152,555

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
San Diego			
Incorporated	0.03	2,756,900	2,757,771
County Total	0.07	3,235,324	3,237,699
San Francisco			
Incorporated	0.11	841,745	842,644
County Total	0.11	841,745	842,644
San Joaquin			
Incorporated	1.19	623,820	631,215
County Total	1.01	781,227	789,081
San Luis Obispo			
Incorporated	0.17	157,084	157,353
County Total	-0.08	275,541	275,307
San Mateo			
Incorporated	-0.49	683,226	679,897
County Total	-0.50	745,168	741,435
Santa Barbara			
Incorporated	0.44	300,067	301,380
County Total	0.28	436,302	437,524
Santa Clara			
Incorporated	0.05	1,811,705	1,812,582
County Total	0.02	1,901,768	1,902,166
Santa Cruz			
Incorporated	-0.04	135,179	135,121
County Total	-0.29	263,282	262,509
Shasta			
Incorporated	0.18	113,195	113,397
County Total	0.05	178,923	179,019

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b> <b>23-24</b>	<b><u>--- Population Minus Exclusions ---</u></b> <b>1-1-23</b>	<b>1-1-24</b>
Sierra			
Incorporated	-0.41	727	724
County Total	-0.50	3,187	3,171
Siskiyou			
Incorporated	-0.12	19,636	19,613
County Total	-0.15	43,430	43,363
Solano			
Incorporated	0.06	417,409	417,662
County Total	0.04	434,801	434,963
Sonoma			
Incorporated	-0.22	348,147	347,375
County Total	-0.27	478,480	477,187
Stanislaus			
Incorporated	0.64	437,381	440,200
County Total	0.55	545,753	548,744
Sutter			
Incorporated	1.90	78,432	79,924
County Total	1.90	98,248	100,110
Tehama			
Incorporated	-0.50	22,913	22,798
County Total	-0.61	64,578	64,182
Trinity			
Incorporated	0.00	0	0
County Total	-0.11	15,878	15,860
Tulare			
Incorporated	1.08	340,642	344,328
County Total	0.90	474,294	478,547

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



Fiscal Year 2024-25

**Attachment C**  
**Annual Percent Change in Population Minus Exclusions\***  
**January 1, 2023 to January 1, 2024**

<b>County</b>	<b><u>Percent Change</u></b>	<b><u>--- Population Minus Exclusions ---</u></b>	
	<b>23-24</b>	<b>1-1-23</b>	<b>1-1-24</b>
Tuolumne			
Incorporated	0.25	5,119	5,132
County Total	-0.11	52,207	52,148
Ventura			
Incorporated	-0.21	732,348	730,833
County Total	-0.23	822,161	820,254
Yolo			
Incorporated	0.44	186,763	187,591
County Total	0.55	220,454	221,666
Yuba			
Incorporated	0.93	16,492	16,645
County Total	1.25	80,672	81,679

\*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance - Rachel Jacobs, Finance Director  
**SUBJECT:** **City Council Consideration of Resolution 2024-052 Adopting the Fiscal Year 2023/24 City Investment Policy**

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### **BACKGROUND:**

Pursuant to its own terms, the City's Investment Policy (Policy) must be reviewed and adopted annually by a resolution of the City Council. The terms of the Policy must be in compliance with the California Government Code (Code) Section 53601.

This item is before the City Council to consider Resolution 2024-052 (Attachment 1) adopting the City's Investment Policy for Fiscal Year (FY) 2024/25.

### **DISCUSSION:**

The investment policy states the goals of the City's investment activities, the types of investments allowed by Government Code, and the reporting requirements. The ultimate goal is to enhance the economic status of the City while protecting its pooled cash. The City has determined that its investment goals are, in order of priority, safety, liquidity, and yield.

The proposed Policy (Attachment 2) is not intended to be comprehensive for all situations, but instead serves as a guideline for the City Treasurer, under the direction of the City Manager, to assist in the adequate safeguarding of the City's financial assets. The attached Policy conforms to Code Section 53601. The City's Policy is more restrictive in terms of allowable investments than what is allowed by the Code.

After review by the City Treasurer and the City's investment advisors, Chandler Asset Management, Staff has no recommended changes to the Policy from last year. Staff believes the investments allowed under the attached Policy are appropriate for the City. The Policy will be included on the City's website and, therefore, is subject to public review.

CITY COUNCIL ACTION:

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**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

There are no direct fiscal impacts of the Investment Policy adoption itself, however, there are fiscal impacts to the City due to fees associated with investments as well as potential losses/gains based on the performance of the investment accounts.

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the City's Investment Policy for FY 2024/25.
- Do not approve and provide further direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2024-052 (Attachment 1) approving the City's Investment Policy for FY 2024/25.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-052
2. City of Solana Beach Investment Policy FY 2024/25



**RESOLUTION 2024-052**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF SOLANA BEACH, CALIFORNIA, APPROVING THE  
CITY OF SOLANA BEACH'S INVESTMENT POLICY FOR  
FISCAL YEAR 2024/25**

**WHEREAS**, the Legislature of the State of California has declared that the deposit and investment of public funds by local officials and local agencies is an issue of statewide concern (California Government Code Sections 53600.6 and 53630.1); and

**WHEREAS**, the City Council may invest surplus monies not required for the immediate necessities of the local agency in accordance with the provisions of California Government Code Section 53600 *et seq.* and this policy; and

**WHEREAS**, the City Treasurer of the City of Solana Beach may invest surplus monies not required for the immediate necessities of the local agency in accordance with the provisions of California Government Code Section 53600 *et seq.* and this policy; and

**WHEREAS**, the City Treasurer of the City of Solana Beach, under the direction of the City Manager, has prepared and submitted a statement of investment policy and such policy, and any changes thereto, have been considered by the City Council at a public meeting.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolves as follows:

1. That the above recitations are true.
2. That the City Council approves the Investment Policy for Fiscal Year 2024/25.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



**CITY OF SOLANA BEACH**  
**STATEMENT OF INVESTMENT POLICY**  
**FISCAL YEAR 2024-25**



**CITY COUNCIL**

**MAYOR LESA HEEBNER**

**DEPUTY MAYOR JEWEL EDSON**

**COUNCILMEMBER KRISTI BECKER**

**COUNCILMEMBER DAVID A. ZITO**

**COUNCILMEMBER JILL MACDONALD**

**CITY MANAGER**

**ALYSSA MUTO**

**CITY TREASURER**

**RACHEL JACOBS**



# CITY OF SOLANA BEACH

## Investment Policy

FISCAL YEAR 2024/25

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## I. INTRODUCTION

The purpose of this document is to outline the City's policy for the investment of public funds.

It is the policy of the City of Solana Beach, the Solana Beach Public Financing Authority and the Solana Beach Public Facilities Corporation (hereafter referred collectively as the "City") to predicate their investment policies, procedures and practices upon the limitations placed upon them by the governing legislative bodies. These policies shall have four primary goals:

- To assure compliance with federal, state, and local laws governing the investment of public monies under the control of the City Treasurer.
- To provide sufficient liquidity to meet normal operating and unexpected expenditures.
- To protect the principal monies entrusted to the City.
- To generate the maximum amount of investment income within the parameters of prudent risk management as defined in this Investment Policy.

This policy is written to incorporate industry best practices and recommendations from sources such as the Government Finance Officers Association (GFOA), California Municipal Treasurers Association (CMTA), California Debt and Investment Advisory Commission (CDIAC) and the Association of Public Treasurers (APT).

## II. OBJECTIVES

The City's overall investment program shall be designed and managed with a degree of professionalism worthy of the public trust. The overriding objectives of the program are to preserve principal, provide sufficient liquidity, and manage investment risks, while seeking a market-rate of return.

- **SAFETY.** The protection of principal is the foremost objective of the investment program. Investments will be undertaken in a manner that seeks to ensure the preservation of capital in the overall portfolio. To attain this objective, the City will diversify its investments by investing funds among a variety of securities with independent returns.
- **LIQUIDITY.** The investment portfolio will remain sufficiently liquid to meet all operating requirements that may be reasonably anticipated.
- **RETURN ON INVESTMENTS.** The investment portfolio will be designed with the objective of attaining a market rate of return throughout budgetary and



economic cycles, taking into account the investment risk constraints for safety and liquidity needs.

### **III. SCOPE**

This policy covers all funds and investment activities under the direct authority of the City, as set forth in the State Government Code, Sections 53600 *et seq.*, with the following exceptions:

- Proceeds of debt issuance shall be invested in accordance with the City's general investment philosophy as set forth in this policy; however, such proceeds are to be invested pursuant to the permitted investment provisions of their specific bond indentures.
- Any other funds specifically exempted by the City Council.

Funds not included in the policy include the City's deferred compensation plans (Plans). These Plans will be excluded from the policy under the following circumstances:

- i. A third-party administrator administers the plan
- ii. Individual plan participants have control over the selection of investments
- iii. The City has no fiduciary responsibility to act as a "trustee" for the Plan.

#### **POOLING OF FUNDS**

Except for cash in certain restricted and special funds, the City will consolidate cash and reserve balances from all funds to maximize investment earnings and to increase efficiencies with regard to investment pricing, safekeeping and administration. Investment income will be allocated to the various funds based on their respective participation and in accordance with generally accepted accounting principles.

### **IV. PRUDENCE**

Pursuant to California Government Code, Section 53600.3, all persons authorized to make investment decisions on behalf of the City are trustees and therefore fiduciaries subject to the *Prudent Investor Standard*:

"...all governing bodies of local agencies or persons authorized to make investment decisions on behalf of those local agencies investing public funds pursuant to this chapter are trustees and therefore fiduciaries subject to the prudent investor standard. When investing, reinvesting, purchasing,



acquiring, exchanging, selling, or managing public funds, a trustee shall act with care, skill, prudence, and diligence under the circumstances then prevailing, including, but not limited to, the general economic conditions and the anticipated needs of the City, that a prudent person acting in a like capacity and familiarity with those matters would use in the conduct of funds of a like character and with like aims, to safeguard the principal and maintain the liquidity needs of the City. Within the limitations of this section and considering individual investments as part of an overall strategy, investments may be acquired as authorized by law.”

## **V. DELEGATION OF AUTHORITY**

The Treasurer and other authorized persons responsible for managing City funds acting in accordance with written procedures and this investment policy and exercising due diligence shall be relieved of personal responsibility for an individual security’s credit risk or market price changes provided that the Treasurer or other authorized persons acted in good faith. Deviations from expectations of a security’s credit or market risk should be reported to the City Council in a timely fashion and appropriate action should be taken to control adverse developments.

Authority to manage the City’s investment program is derived from California Government Code, Sections 41006 and 53600 *et seq.*

The City Council is responsible for the management of the City’s funds, including the administration of this investment policy. Management responsibility for the cash management of the City’s funds is hereby delegated to the Treasurer.

The Treasurer will be responsible for all transactions undertaken and will establish a system of procedures and controls to regulate the activities of subordinate officials and employees. Such procedures will include explicit delegation of authority to persons responsible for investment transactions. No person may engage in an investment transaction except as provided under the terms of this policy and the procedures established by the Treasurer.

The City may engage the services of one or more external investment advisers, who are registered under the Investment Advisers Act of 1940, to assist in the management of the City’s investment portfolio in a manner consistent with the City’s objectives. External investment advisers may be granted discretion to purchase and sell investment securities in accordance with this investment policy.

If the City Treasurer is unavailable, then the Finance Manager, Deputy City Manager, or the City Manager shall authorize the investment transactions, in writing, prior to execution.

The City’s overall investment program shall be designed and managed with a degree of professionalism that is worthy of the public trust. The City recognizes that in a diversified portfolio, occasional measured losses may be inevitable and



must be considered within the context of the overall portfolio's return and the cash flow requirements of the City.

## **VI. ETHICS AND CONFLICTS OF INTEREST**

All participants in the investment process shall act as custodians of the public trust. Investment officials shall recognize that the investment portfolio is subject to public review and evaluation. Thus employees and officials involved in the investment process shall refrain from personal business activity that could create a conflict of interest or the appearance of a conflict with proper execution of the investment program, or which could impair their ability to make impartial investment decisions.

Employees and investment officials shall disclose to the City Manager any material interests in financial institutions with which they conduct business, and they shall further disclose any large personal financial/investment positions that could be related to the performance of the investment portfolio. Employees and officers shall refrain from undertaking any personal investment transactions with the same individual with whom business is conducted on behalf of the City.

## **VII. INTERNAL CONTROLS**

The Treasurer is responsible for establishing and maintaining an internal control structure designed to ensure that the assets of the entity are protected from loss, theft or misuse. The internal control structure shall be designed to provide reasonable assurance that these objectives are met. The concept of reasonable assurance recognizes that (1) the cost of a control should not exceed the benefits likely to be derived; and (2) the valuation of costs and benefits requires estimates and judgments by management.

Periodically, as deemed appropriate by the City and/or the City Council, an independent analysis by an external auditor shall be conducted to review internal controls, account activity and compliance with policies and procedures.

## **VIII. AUTHORIZED FINANCIAL INSTITUTIONS, DEPOSITORIES, AND BROKER/DEALERS**

To the extent practicable, the Treasurer shall endeavor to complete investment transactions using a competitive bid process whenever possible. The City's Treasurer will determine which financial institutions are authorized to provide investment services to the City. It shall be the City's policy to purchase securities only from authorized institutions and firms.

The Treasurer shall maintain procedures for establishing a list of authorized broker/dealers and financial institutions which are approved for investment purposes that are selected through a process of due diligence as determined by the City. Due inquiry shall determine whether such authorized broker/dealers, and the individuals covering the City are reputable and trustworthy, knowledgeable and



experienced in Public City investing and able to meet all of their financial obligations. These institutions may include "primary" dealers or regional dealers that qualify under Securities and Exchange Commission (SEC) Rule 15c3-1 (uniform net capital rule).

In accordance with Section 53601.5, institutions eligible to transact investment business with the City include:

- Institutions licensed by the state as a broker-dealer.
- Institutions that are members of a federally regulated securities exchange.
- Primary government dealers as designated by the Federal Reserve Bank and non-primary government dealers.
- Nationally or state-chartered banks.
- The Federal Reserve Bank.
- Direct issuers of securities eligible for purchase.

Selection of financial institutions and broker/dealers authorized to engage in transactions will be at the sole discretion of the City, except where the City utilizes an external investment adviser in which case the City may rely on the adviser for selection.

All financial institutions which desire to become qualified bidders for investment transactions (and which are not dealing only with the investment adviser) must supply the Treasurer with audited financials and a statement certifying that the institution has reviewed the California Government Code, Section 53600 *et seq.* and the City's investment policy. The Treasurer will conduct an annual review of the financial condition and registrations of such qualified bidders.

Public deposits will be made only in qualified public depositories as established by State law. Deposits will be insured by the Federal Deposit Insurance Corporation, or, to the extent the amount exceeds the insured maximum, will be collateralized in accordance with State law.

Selection of broker/dealers used by an external investment adviser retained by the City will be at the sole discretion of the adviser. Where possible, transactions with broker/dealers shall be selected on a competitive basis and their bid or offering prices shall be recorded. If there is no other readily available competitive offering, best efforts will be made to document quotations for comparable or alternative securities. When purchasing original issue instrumentality securities, no competitive offerings will be required as all dealers in the selling group offer those securities at the same original issue price.



## IX. AUTHORIZED INVESTMENTS

The City's investments are governed by California Government Code, Sections 53600 *et seq.* Within the investments permitted by the Code, the City seeks to further restrict eligible investments to the guidelines listed below. In the event a discrepancy is found between this policy and the Code, the more restrictive parameters will take precedence. Percentage holding limits and credit quality minimums listed in this section apply at the time the security is purchased.

Any investment currently held at the time the policy is adopted which does not meet the new policy guidelines can be held until maturity and shall be exempt from the current policy. At the time of the investment's maturity or liquidation, such funds shall be reinvested only as provided in the current policy.

An appropriate risk level shall be maintained by primarily purchasing securities that are of high quality, liquid, and marketable. The portfolio shall be diversified by security type and institution to avoid incurring unreasonable and avoidable risks regarding specific security types or individual issuers.

**1. MUNICIPAL SECURITIES** include obligations of the City, the State of California, and any local agency within the State of California, provided that:

- The securities are rated in a rating category of "A" or its equivalent or higher by at least one nationally recognized statistical rating organization ("NRSRO").
- No more than 5% of the portfolio may be invested in any single issuer.
- No more than 30% of the portfolio may be in Municipal Securities.
- The maximum maturity does not exceed five (5) years.

**2. MUNICIPAL SECURITIES (REGISTERED TREASURY NOTES OR BONDS)** of any of the other 49 states in addition to California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled, or operated by a state or by a department, board, agency, or authority of any of the other 49 states, in addition to California.

- The securities are rated in a rating category of "A" or its equivalent or higher by at least one nationally recognized statistical rating organization ("NRSRO").
- No more than 5% of the portfolio may be invested in any single issuer.
- No more than 30% of the portfolio may be in Municipal Securities.
- The maximum maturity does not exceed five (5) years.



3. **U.S. TREASURIES** and other government obligations for which the full faith and credit of the United States are pledged for the payment of principal and interest. There are no limits on the dollar amount or percentage that the City may invest in U.S. Treasuries, provided that:
- The maximum maturity is five (5) years.
4. **FEDERAL AGENCIES** or United States Government-Sponsored Enterprise obligations, participations, or other instruments, including those issued by or fully guaranteed as to principal and interest by federal agencies or United States government-sponsored enterprises. There are no limits on the dollar amount or percentage that the City may invest in Federal City or Government-Sponsored Enterprises (GSEs), provided that:
- No more than 30% of the portfolio may be invested in any single City/GSE issuer.
  - The maximum maturity does not exceed five (5) years.
  - The maximum percentage of callable agencies in the portfolio is 20%.
5. **BANKER'S ACCEPTANCES**, provided that:
- They are issued by institutions which have short-term debt obligations rated "A-1" or the equivalent or higher by at least one NRSRO; or long-term debt obligations which are rated in the "A" category or the equivalent or higher by at least one NRSRO.
  - No more than 40% of the portfolio may be invested in Banker's Acceptances.
  - No more than 5% of the portfolio may be invested in any single issuer.
  - The maximum maturity does not exceed 180 days.
6. **COMMERCIAL PAPER**, provided that the securities are issued by an entity that meets all of the following conditions in either paragraph (a) or (b) and other requirements specified below:
- a. **SECURITIES** issued by corporations:
- (i) The issuer is organized and operating in the United States with assets more than \$500 million.
  - (ii) The securities are rated "A-1" or its equivalent or higher by at least one NRSRO.
  - (iii) If the issuer has other debt obligations, they must be rated in a rating category of "A" or its equivalent or higher by at least one NRSRO.



b. **SECURITIES** issued by other entities:

- (i) The issuer is organized and operating in the United States as a special purpose corporation, trust, or limited liability company.
  - (ii) The securities must have program-wide credit enhancement including, but not limited to, overcollateralization, letters of credit, or a surety bond.
  - (iii) The securities are rated “A-1” or its equivalent or higher by at least one NRSRO.
- City may purchase no more than 10% of the outstanding commercial paper of any single issuer.
  - No more than 25% of the portfolio may be invested in Commercial Paper.
  - No more than 5% of the portfolio may be invested in any single issuer.
  - The maximum maturity does not exceed 270 days.

**7. NEGOTIABLE CERTIFICATES OF DEPOSIT (NCDs)**, issued by a nationally or state-chartered bank, a savings association, or a federal association, a state or federal credit union, or by a federally licensed or state-licensed branch of a foreign bank, provided that:

- The amount of the NCD insured up to the FDIC limit does not require any credit ratings.
- Any amount above the FDIC insured limit must be issued by institutions which have short-term debt obligations rated “A-1” or the equivalent or higher by at least one NRSRO; or long-term obligations rated in the “A” category or the equivalent or higher by at least one NRSRO.
- No more than 30% of the total portfolio may be invested in NCDs (combined with CDARS).
- No more than 5% of the portfolio may be invested in any single issuer.
- The maximum maturity does not exceed five (5) years.

**8. FEDERALLY INSURED TIME DEPOSITS** (Non-Negotiable Certificates of Deposit) in state or federally chartered banks, savings and loans, or credit unions, provided that:

- The amount per institution is limited to the maximum covered under federal insurance.



- No more than 20% of the portfolio will be invested in a combination of federally insured and collateralized time deposits.
  - The maximum maturity does not exceed five (5) years.
- 9. COLLATERALIZED TIME DEPOSITS** (Non-Negotiable Certificates of Deposit) in state or federally chartered banks, savings and loans, or credit unions in excess of insured amounts which are fully collateralized with securities in accordance with California law, provided that:
- No more than 20% of the portfolio will be invested in a combination of federally insured and collateralized time deposits.
  - The maximum maturity does not exceed five (5) years.
- 10. CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS)**, provided that:
- No more than 30% of the total portfolio may be invested in a combination of Certificates of Deposit, including CDARS.
  - The maximum maturity does not exceed five (5) years.
- 11. COLLATERALIZED BANK DEPOSITS.** City's deposits with financial institutions will be collateralized with pledged securities per California Government Code, Section 53651.
- 12. REPURCHASE AGREEMENTS** collateralized with securities authorized under California Government Code, maintained at a level of at least 102% of the market value of the Repurchase Agreement. There are no limits on the dollar amount or percentage that the City may invest, provided that:
- Securities used as collateral for Repurchase Agreements will be delivered to an acceptable third party custodian.
  - Repurchase Agreements are subject to a Master Repurchase Agreement between the City and the provider of the repurchase agreement. The Master Repurchase Agreement will be substantially in the form developed by the Securities Industry and Financial Markets Association (SIFMA).
  - The maximum maturity does not exceed one (1) year.
- 13. STATE OF CALIFORNIA LOCAL CITY INVESTMENT FUND (LAIF)**, provided that:
- The City may invest up to the maximum amount permitted by LAIF.



- LAIF's investments in instruments prohibited by or not specified in the City's policy do not exclude the investment in LAIF itself from the City's list of allowable investments, provided LAIF's reports allow the Treasurer to adequately judge the risk inherent in LAIF's portfolio.

**14. INVESTMENT TRUST OF CALIFORNIA (CALTRUST)**, which is a joint powers authority (JPA), organized and managed by the Investment Trust of California JPA for the benefit of local agencies, pursuant to California Government Code Section 6509.7

**15. CORPORATE MEDIUM TERM NOTES (MTNs)**, provided that:

- The issuer is a corporation organized and operating within the United States or by depository institutions licensed by the United States or any state and operating within the United States.
- The securities are rated in the "A" category or the equivalent or higher by at least one NRSRO.
- No more than 30% of the total portfolio may be invested in MTNs.
- No more than 5% of the portfolio may be invested in any single issuer.
- The maximum maturity does not exceed five (5) years.

**16. ASSET-BACKED, MORTGAGE-BACKED, MORTGAGE PASS-THROUGH SECURITIES, AND COLLATERALIZED MORTGAGE OBLIGATIONS** from issuers not defined in sections 3 and 4 of the Authorized investments section of this policy, provided that:

- The securities are rated in the "AA" category or the equivalent or higher by a NRSRO.
- No more than 20% of the total portfolio may be invested in these securities.
- No more than 5% of the portfolio may be invested in any single Asset-Backed or Commercial Mortgage security issuer. There is no issuer limitation on any Mortgage security where the issuer is the US Treasury or a Federal City/GSE.
- The maximum legal final maturity does not exceed five (5) years.



**17. MUTUAL FUNDS AND MONEY MARKET MUTUAL FUNDS** that are registered with the Securities and Exchange Commission under the Investment Company Act of 1940, provided that:

- a. **MUTUAL FUNDS** that invest in the securities and obligations as authorized under California Government Code, Section 53601 (a) to (k) and (m) to (q) inclusive and that meet either of the following criteria:
  1. Attained the highest ranking or the highest letter and numerical rating provided by not less than two (2) NRSROs; or
  2. Have retained an investment adviser registered or exempt from registration with the Securities and Exchange Commission with not less than five years' experience investing in the securities and obligations authorized by California Government Code, Section 53601 and with assets under management in excess of \$500 million.
  3. No more than 10% of the total portfolio may be invested in shares of any one mutual fund.
- b. **MONEY MARKET MUTUAL FUNDS** registered with the Securities and Exchange Commission under the Investment Company Act of 1940 and issued by diversified management companies and meet either of the following criteria:
  1. Have attained the highest ranking or the highest letter and numerical rating provided by not less than two (2) NRSROs; or
  2. Have retained an investment adviser registered or exempt from registration with the Securities and Exchange Commission with not less than five years' experience managing money market mutual funds with assets under management in excess of \$500 million.
  3. No more than 20% of the total portfolio may be invested in the shares of any one Money Market Mutual Fund.
- c. No more than 20% of the total portfolio may be invested in these securities.

**18. SUPRANATIONALS**, provided that:

- Issues are US dollar denominated senior unsecured unsubordinated obligations issued or unconditionally guaranteed by the International Bank for Reconstruction and Development, International Finance Corporation, or Inter-American Development Bank.
- The securities are rated in the "AA" category or the equivalent or higher by a NRSRO.
- No more than 30% of the total portfolio may be invested in these securities.
- No more than 10% of the portfolio may be invested in any single issuer.
- The maximum maturity does not exceed five (5) years.



## **X. PROHIBITED INVESTMENT VEHICLES AND PRACTICES**

- State law notwithstanding, any investments not specifically described herein are prohibited, including, but not limited to futures and options.
- In accordance with Government Code, Section 53601.6, investment in inverse floaters, range notes, or mortgage derived interest-only strips is prohibited.
- Investment in any security that could result in a zero-interest accrual if held to maturity is prohibited. Under a provision sunseting on January 1, 2026, securities backed by the U.S. Government that could result in a zero- or negative-interest accrual if held to maturity are permitted. The presence of any of these securities will be promptly reported to the Treasurer.
- Trading securities for the sole purpose of speculating on the future direction of interest rates is prohibited.
- Purchasing or selling securities on margin is prohibited.
- The use of reverse repurchase agreements, securities lending or any other form of borrowing or leverage is prohibited.
- The purchase of foreign currency denominated securities is prohibited.
- The purchase of a security with a forward settlement exceeding 45 days from the time of the investment is prohibited.

## **XI. FOSSIL FUELS RESTRICTION**

- The purchase of securities issued by fossil fuel companies that directly source the majority (more than 50%) of their revenue from oil, gas and/or coal production is prohibited.

## **XII. INVESTMENT POOLS/MUTUAL FUNDS**

The City shall conduct a thorough investigation of any pool or mutual fund prior to making an investment, and on a continual basis thereafter. The Treasurer shall develop a questionnaire which will answer the following general questions:

1. A description of eligible investment securities, and a written statement of investment policy and objectives.
2. A description of interest calculations and how it is distributed, and how gains and losses are treated.



3. A description of how the securities are safeguarded (including the settlement processes), and how often the securities are priced and the program audited.
4. A description of who may invest in the program, how often, what size deposit and withdrawal are allowed.
5. A schedule for receiving statements and portfolio listings.
6. Are reserves, retained earnings, etc. utilized by the pool/fund?
7. A fee schedule, and when and how is it assessed.
8. Is the pool/fund eligible for bond proceeds and/or will it accept such proceeds?

### **XIII. COLLATERALIZATION**

**CERTIFICATES OF DEPOSIT (CDs).** The City shall require any commercial bank or savings and loan association to deposit eligible securities with an City of a depository approved by the State Banking Department to secure any uninsured portion of a Non-Negotiable Certificate of Deposit. The value of eligible securities as defined pursuant to California Government Code, Section 53651, pledged against a Certificate of Deposit shall be equal to 150% of the face value of the CD if the securities are classified as mortgages and 110% of the face value of the CD for all other classes of security.

**COLLATERALIZATION OF BANK DEPOSITS.** This is the process by which a bank or financial institution pledges securities, or other deposits for the purpose of securing repayment of deposited funds. The City shall require any bank or financial institution to comply with the collateralization criteria defined in California Government Code, Section 53651.

**REPURCHASE AGREEMENTS.** The City requires that Repurchase Agreements be collateralized only by securities authorized in accordance with California Government Code:

- The securities which collateralize the repurchase agreement shall be priced at Market Value, including any Accrued Interest plus a margin. The Market Value of the securities that underlie a repurchase agreement shall be valued at 102% or greater of the funds borrowed against those securities.
- Financial institutions shall mark the value of the collateral to market at least monthly and increase or decrease the collateral to satisfy the ratio requirement described above.
- The City shall receive monthly statements of collateral.



#### **XIV. DELIVERY, SAFEKEEPING AND CUSTODY**

**DELIVERY-VERSUS-PAYMENT (DVP).** All investment transactions shall be conducted on a delivery-versus-payment basis.

**SAFEKEEPING AND CUSTODY.** To protect against potential losses due to failure of individual securities dealers, and to enhance access to securities, interest payments and maturity proceeds, all cash and securities in the City's portfolio shall be held in safekeeping in the City's name by a third-party custodian, acting as agent for the City under the terms of a custody agreement executed by the bank and the City. All investment transactions will require a safekeeping receipt or acknowledgment generated from the trade. A monthly report will be received by the City from the custodian listing all securities held in safekeeping with current market data and other information.

The only exceptions to the foregoing shall be depository accounts and securities purchases made with: (i) local government investment pools; (ii) time certificates of deposit, and, (iii) money mutual funds, since the purchased securities are not deliverable.

#### **XV. MAXIMUM MATURITY**

To the extent possible, investments shall be matched with anticipated cash flow requirements and known future liabilities.

The City will not invest in securities maturing more than five (5) years from the date of trade settlement, unless the City Council has by resolution granted authority to make such an investment.

#### **XVI. RISK MANAGEMENT AND DIVERSIFICATION**

##### **MITIGATING CREDIT RISK IN THE PORTFOLIO**

Credit risk is the risk that a security or a portfolio will lose some or all of its value due to a real or perceived change in the ability of the issuer to repay its debt. The City will mitigate credit risk by adopting the following strategies:

- The diversification requirements included in the "Authorized Investments" section of this policy are designed to mitigate credit risk in the portfolio.
- No more than 5% of the total portfolio may be invested in securities of any single issuer, except where the issuer is the US Government, its Agencies and GSEs, an authorized Supranational issuer or where the security is a Money Market Mutual Fund, Local City Investment Fund (LAIF) or other Local



Government Investment Pool, or where otherwise specified in this investment policy.

- The City may elect to sell a security prior to its maturity and record a capital gain or loss in order to manage the quality, liquidity or yield of the portfolio in response to market conditions or City's risk preferences.
- If securities owned by the City are downgraded to a level below the quality required by this investment policy, making the security ineligible for additional purchases, the following steps will be taken:
  - Any actions taken related to the downgrade by an investment manager will be promptly communicated to the Treasurer.
  - If a decision is made to retain the security in the portfolio, the credit situation will be monitored and reported promptly to the City Council.

#### **MITIGATING MARKET RISK IN THE PORTFOLIO**

Market risk is the risk that the portfolio value will fluctuate due to changes in the general level of interest rates. The City recognizes that, over time, longer-term portfolios have the potential to achieve higher returns. On the other hand, longer-term portfolios have higher volatility of return. The City will mitigate market risk by providing adequate liquidity for short-term cash needs, and by making longer-term investments only with funds that are not needed for current cash flow purposes.

The City further recognizes that certain types of securities, including variable rate securities, securities with principal paydowns prior to maturity, and securities with embedded options, will affect the market risk profile of the portfolio differently in different interest rate environments. The City, therefore, adopts the following strategies to control and mitigate its exposure to market risk:

- The City will maintain a minimum of six months of budgeted operating expenditures in short term investments to provide sufficient liquidity for expected disbursements.
- The maximum stated final maturity of individual securities in the portfolio will be five (5) years, except as otherwise stated in this policy.
- The duration of the portfolio will generally be approximately equal to the duration (typically, plus or minus 20%) of a Market Benchmark, an index selected by the City based on the City's investment objectives, constraints and risk tolerances.

### **XVII. REVIEW OF INVESTMENT PORTFOLIO**

The Treasurer shall periodically, but no less than quarterly, review the portfolio to identify investments that do not comply with this investment policy and establish



protocols for reporting major and critical incidences of noncompliance to the City Council.

## **XVIII. PERFORMANCE EVALUATION**

The investment portfolio shall be designed to attain a market-average rate of return throughout budgetary and economic cycles, taking into account the City's risk constraints, the cash flow characteristics of the portfolio, and state and local laws, ordinances or resolutions that restrict investments.

The Treasurer shall monitor and evaluate the portfolio's performance relative to the chosen market benchmark(s), which will be included in the Treasurer's quarterly report. The Treasurer shall select an appropriate, readily available index to use as a market benchmark.

## **XIX. REPORTING**

### **MONTHLY REPORTS**

Monthly transaction reports will be submitted by the Treasurer to the City Council within 30 days of the end of the reporting period in accordance with California Government Code Section 53607.

### **QUARTERLY REPORTS**

The Treasurer will submit a quarterly investment report to the City Council which provides full disclosure of the City's investment activities within 45 days after the end of the quarter per Government Code Section 53646(b)(1). These reports will disclose, at a minimum, the following information about the City's portfolio:

1. An asset listing showing par value, cost, and independent third-party fair market value of each security as of the date of the report, the source of the valuation, type of investment, issuer, maturity date, interest rate and interest rate.
2. Transactions for the period.
3. A description of the funds, investments and programs (including lending programs) managed by contracted parties (i.e. LAIF; investment pools, outside money managers and securities lending agents)



4. A one-page summary report that shows:
  - a. Average maturity of the portfolio and modified duration of the portfolio;
  - b. Maturity distribution of the portfolio;
  - c. Percentage of the portfolio represented by each investment category;
  - d. Average portfolio credit quality; and,
  - e. Time-weighted total rate of return for the portfolio for the prior one month, three months, twelve months and since inception compared to the City's market benchmark returns for the same periods;
5. A statement of compliance with investment policy, including a schedule of any transactions or holdings which do not comply with this policy or with the California Government Code, including a justification for their presence in the portfolio and a timetable for resolution.
6. A statement that the City has adequate funds to meet its cash flow requirements for the next six months.

#### **ANNUAL REPORTS**

A comprehensive annual report will be presented to the City Council. This report will include comparisons of the City's return to the market benchmark return, suggest policies and improvements that might enhance the investment program, and will include an investment plan for the coming year.

## **XX. REVIEW OF INVESTMENT POLICY**

The investment policy will be reviewed and adopted at least annually within 120 days of the end of the fiscal year, to ensure its consistency with the overall objectives of preservation of principal, liquidity and return, and its relevance to current law and financial and economic trends. Any recommended modifications or amendments shall be presented by Staff to the City Council for their consideration and adoption.



## Appendix A

### Glossary of Investment Terms

**AGENCIES.** Shorthand market terminology for any obligation issued by a *government-sponsored entity (GSE)*, or a *federally related institution*. Most obligations of GSEs are not guaranteed by the full faith and credit of the US government. Examples are:

**FFCB.** The Federal Farm Credit Bank System provides credit and liquidity in the agricultural industry. FFCB issues discount notes and bonds.

**FHLB.** The Federal Home Loan Bank provides credit and liquidity in the housing market. FHLB issues discount notes and bonds.

**FHLMC.** Like FHLB, the Federal Home Loan Mortgage Corporation provides credit and liquidity in the housing market. FHLMC, also called “Freddie Mac” issues discount notes, bonds and mortgage pass-through securities.

**FNMA.** Like FHLB and Freddie Mac, the Federal National Mortgage Association was established to provide credit and liquidity in the housing market. FNMA, also known as “Fannie Mae,” issues discount notes, bonds and mortgage pass-through securities.

**GNMA.** The Government National Mortgage Association, known as “Ginnie Mae,” issues mortgage pass-through securities, which are guaranteed by the full faith and credit of the US Government.

**PEFCO.** The Private Export Funding Corporation assists exporters. Obligations of PEFCO are not guaranteed by the full faith and credit of the US government.

**TVA.** The Tennessee Valley Authority provides flood control and power and promotes development in portions of the Tennessee, Ohio, and Mississippi River valleys. TVA currently issues discount notes and bonds.

**ASKED.** The price at which a seller offers to sell a security.

**ASSET BACKED SECURITIES.** Securities supported by pools of installment loans or leases or by pools of revolving lines of credit.

**AVERAGE LIFE.** In mortgage-related investments, including CMOs, the average time to expected receipt of principal payments, weighted by the amount of principal expected.

**BANKER’S ACCEPTANCE.** A money market instrument created to facilitate international trade transactions. It is highly liquid and safe because the risk of the trade transaction is transferred to the bank which “accepts” the obligation to pay the investor.



**BENCHMARK.** A comparison security or portfolio. A performance benchmark is a partial market index, which reflects the mix of securities allowed under a specific investment policy.

**BID.** The price at which a buyer offers to buy a security.

**BROKER.** A broker brings buyers and sellers together for a transaction for which the broker receives a commission. A broker does not sell securities from their own position.

**CALLABLE.** A callable security gives the issuer the option to call it from the investor prior to its maturity. The main cause of a call is a decline in interest rates. If interest rates decline since an issuer issues securities, it will likely call its current securities and reissue them at a lower rate of interest. Callable securities have reinvestment risk as the investor may receive its principal back when interest rates are lower than when the investment was initially made.

**CERTIFICATE OF DEPOSIT (CD).** A time deposit with a specific maturity evidenced by a certificate. Large denomination CDs may be marketable.

**CERTIFICATE OF DEPOSIT ACCOUNT REGISTRY SYSTEM (CDARS).** A private placement service that allows local agencies to purchase more than \$250,000 in CDs from a single financial institution (must be a participating institution of CDARS) while still maintaining FDIC insurance coverage. CDARS is currently the only entity providing this service. CDARS facilitates the trading of deposits between the California institution and other participating institutions in amounts that are less than \$250,000 each, so that FDIC coverage is maintained.

**COLLATERAL.** Securities or cash pledged by a borrower to secure repayment of a loan or repurchase agreement. Also, securities pledged by a financial institution to secure deposits of public monies.

**COLLATERALIZED MORTGAGE OBLIGATIONS (CMO).** Classes of bonds that redistribute the cash flows of mortgage securities (and whole loans) to create securities that have different levels of prepayment risk, as compared to the underlying mortgage securities.

**COMMERCIAL PAPER.** The short-term unsecured debt of corporations.

**COST YIELD.** The annual income from an investment divided by the purchase cost. Because it does not give effect to premiums and discounts which may have been included in the purchase cost, it is an incomplete measure of return.

**COUPON.** The rate of return at which interest is paid on a bond.

**CREDIT RISK.** The risk that principal and/or interest on an investment will not be paid in a timely manner due to changes in the condition of the issuer.



**CURRENT YIELD.** The annual income from an investment divided by the current market value. Since the mathematical calculation relies on the current market value rather than the investor's cost, current yield is unrelated to the actual return the investor will earn if the security is held to maturity.

**DEALER.** A dealer acts as a principal in security transactions, selling securities from and buying securities for their own position.

**DEBENTURE.** A bond secured only by the general credit of the issuer.

**DELIVERY VS. PAYMENT (DVP).** A securities industry procedure whereby payment for a security must be made at the time the security is delivered to the purchaser's agent.

**DERIVATIVE.** Any security that has principal and/or interest payments which are subject to uncertainty (but not for reasons of default or credit risk) as to timing and/or amount, or any security which represents a component of another security which has been separated from other components ("Stripped" coupons and principal). A derivative is also defined as a financial instrument the value of which is totally or partially derived from the value of another instrument, interest rate, or index.

**DISCOUNT.** The difference between the par value of a bond and the cost of the bond, when the cost is below par. Some short-term securities, such as T-bills and banker's acceptances, are known as discount securities. They sell at a discount from par and return the par value to the investor at maturity without additional interest. Other securities, which have fixed coupons, trade at a discount when the coupon rate is lower than the current market rate for securities of that maturity and/or quality.

**DIVERSIFICATION.** Dividing investment funds among a variety of investments to avoid excessive exposure to any one source of risk.

**DURATION.** The weighted average time to maturity of a bond where the weights are the present values of the future cash flows. Duration measures the price sensitivity of a bond to changes in interest rates. (See modified duration).

**FEDERAL FUNDS RATE.** The rate of interest charged by banks for short-term loans to other banks. The Federal Reserve Bank through open-market operations establishes it.

**FEDERAL OPEN MARKET COMMITTEE.** A committee of the Federal Reserve Board that establishes monetary policy and executes it through temporary and permanent changes to the supply of bank reserves.

**LEVERAGE.** Borrowing funds in order to invest in securities that have the potential to pay earnings at a rate higher than the cost of borrowing.

**LIQUIDITY.** The speed and ease with which an asset can be converted to cash.



**LOCAL AGENCY INVESTMENT FUND (LAIF).** A voluntary investment fund open to government entities and certain non-profit organizations in California that is managed by the State Treasurer's Office.

**LOCAL GOVERNMENT INVESTMENT POOL.** Investment pools that range from the State Treasurer's Office Local Agency Investment Fund (LAIF) to county pools, to Joint Powers Authorities (JPAs). These funds are not subject to the same SEC rules applicable to money market mutual funds.

**MAKE WHOLE CALL.** A type of call provision on a bond that allows the issuer to pay off the remaining debt early. Unlike a call option, with a make whole call provision, the issuer makes a lump sum payment that equals the net present value (NPV) of future coupon payments that will not be paid because of the call. With this type of call, an investor is compensated, or "made whole."

**MARGIN.** The difference between the market value of a security and the loan a broker makes using that security as collateral.

**MARKET RISK.** The risk that the value of securities will fluctuate with changes in overall market conditions or interest rates.

**MARKET VALUE.** The price at which a security can be traded.

**MARKING TO MARKET.** The process of posting current market values for securities in a portfolio.

**MATURITY.** The final date upon which the principal of a security becomes due and payable. An investment's term or remaining maturity is measured from the settlement date to final maturity.

**MEDIUM TERM NOTES.** Unsecured, investment-grade senior debt securities of major corporations which are sold in relatively small amounts on either a continuous or an intermittent basis. MTNs are highly flexible debt instruments that can be structured to respond to market opportunities or to investor preferences.

**MODIFIED DURATION.** The percent change in price for a 100-basis point change in yields. Modified duration is the best single measure of a portfolio's or security's exposure to market risk.

**MONEY MARKET.** The market in which short-term debt instruments (T-bills, discount notes, commercial paper, and banker's acceptances) are issued and traded.

**MORTGAGE PASS-THROUGH SECURITIES.** A securitized participation in the interest and principal cash flows from a specified pool of mortgages. Principal and interest payments made on the mortgages are passed through to the holder of the security.

**MUNICIPAL SECURITIES.** Securities issued by state and local agencies to finance capital and operating expenses.



**MUTUAL FUND.** An entity which pools the funds of investors and invests those funds in a set of securities which is specifically defined in the fund's prospectus. Mutual funds can be invested in various types of domestic and/or international stocks, bonds, and money market instruments, as set forth in the individual fund's prospectus. For most large, institutional investors, the costs associated with investing in mutual funds are higher than the investor can obtain through an individually managed portfolio.

**NEGOTIABLE CD.** A short-term debt instrument that pays interest and is issued by a bank, savings or federal association, state or federal credit union, or state-licensed branch of a foreign bank. Negotiable CDs are traded in a secondary market.

**PREMIUM.** The difference between the par value of a bond and the cost of the bond, when the cost is above par.

**PREPAYMENT SPEED.** A measure of how quickly principal is repaid to investors in mortgage securities.

**PREPAYMENT WINDOW.** The time period over which principal repayments will be received on mortgage securities at a specified prepayment speed.

**PRIMARY DEALER.** A financial institution (1) that is a trading counterparty with the Federal Reserve in its execution of market operations to carry out U.S. monetary policy, and (2) that participates for statistical reporting purposes in compiling data on activity in the U.S. Government securities market.

**PRUDENT PERSON (PRUDENT INVESTOR) RULE.** A standard of responsibility which applies to fiduciaries. In California, the rule is stated as "Investments shall be managed with the care, skill, prudence and diligence, under the circumstances then prevailing, that a prudent person, acting in a like capacity and familiar with such matters, would use in the conduct of an enterprise of like character and with like aims to accomplish similar purposes."

**REALIZED YIELD.** The change in value of the portfolio due to interest received and interest earned and realized gains and losses. It does not give effect to changes in market value on securities, which have not been sold from the portfolio.

**REGIONAL DEALER.** A financial intermediary that buys and sells securities for the benefit of its customers without maintaining substantial inventories of securities and that is not a primary dealer.

**REPURCHASE AGREEMENT.** Short-term purchases of securities with a simultaneous agreement to sell the securities back at a higher price. From the seller's point of view, the same transaction is a reverse repurchase agreement.

**SAFEKEEPING.** A service to bank customers whereby securities are held by the bank in the customer's name.



**STRUCTURED NOTE.** A complex, fixed income instrument, which pays interest, based on a formula tied to other interest rates, commodities, or indices. Examples include inverse floating rate notes which have coupons that increase when other interest rates are falling, and which fall when other interest rates are rising, and "dual index floaters," which pay interest based on the relationship between two other interest rates - for example, the yield on the ten-year Treasury note minus the Libor rate. Issuers of such notes lock in a reduced cost of borrowing by purchasing interest rate swap agreements.

**SUPRANATIONAL.** A Supranational is a multi-national organization whereby member states transcend national boundaries or interests to share in the decision making to promote economic development in the member countries.

**TOTAL RATE OF RETURN.** A measure of a portfolio's performance over time. It is the internal rate of return, which equates the beginning value of the portfolio with the ending value; it includes interest earnings, realized and unrealized gains, and losses in the portfolio.

**U.S. TREASURY OBLIGATIONS.** Securities issued by the U.S. Treasury and backed by the full faith and credit of the United States. Treasuries are considered to have no credit risk and are the benchmark for interest rates on all other securities in the US and overseas. The Treasury issues both discounted securities and fixed coupon notes and bonds.

**TREASURY BILLS.** All securities issued with initial maturities of one year or less are issued as discounted instruments and are called Treasury bills. The Treasury currently issues three- and six-month T-bills at regular weekly auctions. It also issues "cash management" bills as needed to smooth out cash flows.

**TREASURY NOTES.** All securities issued with initial maturities of two to ten years are called Treasury notes and pay interest semi-annually.

**TREASURY BONDS.** All securities issued with initial maturities greater than ten years are called Treasury bonds. Like Treasury notes, they pay interest semi-annually.

**VOLATILITY.** The rate at which security prices change with changes in general economic conditions or the general level of interest rates.

**YIELD TO MATURITY.** The annualized internal rate of return on an investment which equates the expected cash flows from the investment to its cost.





## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** **City Council Consideration of Resolution 2024-054 Adopting the Fiscal Year 2024/25 Fire Benefit Fee**

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### **BACKGROUND:**

On April 8, 1980, voters in the Solana Beach Fire Protection District (District) approved a Fire Benefit Fee (Fee) by more than a two-thirds vote in an amount not to exceed \$10.00 per unit of benefit per year, on real property within the boundaries of the District. The District was subsequently merged with the City of Solana Beach (City), and the City now has the responsibility of administering this Fee. Because the Fee was adopted by the voters before the passage of Proposition 218, it is not subject to its requirements.

There is no legal requirement for a public hearing, however, the City has published a “Notice of Setting the Fire Benefit Fee” (Notice) to notify residents that they have the right to request that this item be removed from the consent agenda for discussion. The Notice was published in the local newspaper on May 13, 2024.

This item is before City Council to consider approval of Resolution 2024-054 setting the Fire Benefit Fee and authorizes the fee to be placed on the County Assessment rolls.

### **DISCUSSION:**

Each year, the City Council is required to formally set the Fire Benefit Fee for levying on the tax roll. Staff is recommending that the Fee remain at the same level for Fiscal Year (FY) 2024/25 at \$10.00 per benefit unit. This Fee has not been increased since it was approved by voters in 1980. In order to increase the Fire Benefit Fee, the City would need a public vote with two-thirds of the voters approving any increase.

Properties in the City would be charged an annual amount for the Fire Benefit Fee at \$10.00 per benefit unit according to the schedule outlined on the next page.

CITY COUNCIL ACTION:

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<u>ACTUAL LAND USE</u>	<u>MAXIMUM NUMBER OF UNITS OF BENEFIT</u>
Unimproved	2 units per 1 acre and/or portion of 1 acre, up to 20 units per parcel
Residential	5 units per dwelling unit
Commercial	15 units per 1 acre and/or portion of 1 acre
Industrial	20 units per 1 acre and/or portion of 1 acre
Timeshares	1 unit per timeshare week (1/5 of residential)

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The \$10.00 per benefit unit fee raises approximately \$450,000 per year that is used to assist in funding Fire Department operating expenses projected at \$6,290,591 for FY 2024/25.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation.
- Do not approve Staff recommendation and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council consider adoption of Resolution 2024-054:

1. Setting the FY 2024/25 Fire Benefit Fee at \$10.00 per unit, and
2. Approving the Fee for levying on the tax roll.

**CITY MANAGER RECOMMENDATION:**

Approve Department Recommendation.



Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-054



## RESOLUTION 2024-054

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ESTABLISHING THE FISCAL YEAR 2024/25 FIRE BENEFIT FEE AS AUTHORIZED BY THE VOTERS AT \$10.00 PER BENEFIT UNIT

**WHEREAS**, the City of Solana Beach has merged with the Solana Fire Protection District; and

**WHEREAS**, the voters of the Solana Fire Protection District on April 8, 1980, approved the following proposition:

Shall the Solana Fire Protection District establish and impose standby or availability charges, not to exceed \$10.00 per unit of benefit per year, on all real property (except that of federal, state, or local governmental agencies) within the boundaries of said Fire Protection District, the collection of which charges shall not decrease the appropriations limit of said Fire Protection District in any year for a period of four years from the effective date hereof, and which charges shall be established by the Board of Directors of said Fire Protection District from time to time, subject, however, to the following maximum units of benefit:

<u>Actual Land Use</u>	<u>Maximum Number of Units of Benefit</u>
Unimproved	2 units per 1 acre and/or portion of 1 acre, up to 20 units per parcel
Residential	5 units per dwelling unit
Commercial	15 units per 1 acre and/or portion of 1 acre
Industrial	20 units per 1 acre and/or portion of 1 acre; and
Timeshares	1 unit per timeshare week (1/5 of residential)

**WHEREAS**, the City of Solana Beach, as successor to the Solana Fire Protection District, is authorized to continue to levy the fire benefit fee; and

**WHEREAS**, the amount of the fire benefit fee remains unchanged.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, resolves as follows:



1. The foregoing recitations are true and correct.
2. The fire benefit charge is hereby set at \$10.00 per benefit unit for all land use categories set forth above, as confirmed by this Board, and will be filed with the Auditor and Controller of the County of San Diego.
3. The San Diego County Auditor shall place on the County Assessment Roll, opposite each parcel of land, the amount of levy so apportioned by the method of apportionment formula, as set forth above, and such levies shall be collected at the same time and in the same manner as ordinary ad valorem property taxes of the City for the fiscal year commencing July 1, 2024.
4. The City Clerk's Designee, Koppel & Gruber Public Finance, is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this Resolution.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** **City Council Consideration of Resolutions 2024-055 Through 2024-058 Approving the Fiscal Year (FY) 2024-2025 Municipal Improvement Districts Benefit (MID) Fees**

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### **BACKGROUND:**

The four Municipal Improvement Districts (MIDs) in Solana Beach were originally formed pursuant to Government Code Section 25210.1 as County Service Areas (CSAs) prior to the incorporation of the City. The CSAs were formed by the County Board of Supervisors on the following dates:

		<u>Date Established</u>
MID No. 9C	Santa Fe Hills	03-24-69
MID No. 33	Highway 101/Railroad Right-of-Way	08-03-71
MID No. 9E	Isla Verde	12-18-74
MID No. 9H	San Elijo #2	10-10-77

Upon formation of these MIDs, the County also entered into landscaping and maintenance agreements with the homeowners' associations and members of these CSAs under which the County provided various extended services and these CSAs provided a means to fund the extended services, which included landscaping and maintenance of streets, medians, slopes, certain drainage facilities, and appurtenant improvements in various areas of the County. These CSAs were further established so that local property owners within the prescribed boundaries of the special districts would be provided extended services.

After the landscaping and maintenance agreements with the County expired according to their terms, the CSAs functioned more like pass through entities, with the homeowners' associations performing the services and getting reimbursed from the benefit fees (with the exception of MID No. 33). The property owners share the cost of the maintenance through service charges based on the benefit received. Upon incorporation, the City took over the management of the benefit fee assessments for these MIDs.

<b>CITY COUNCIL ACTION:</b>  _____  _____
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This item is before the Council to consider approval of the attached resolutions which set the benefit fees for the four MIDs and authorize the fees to be placed on the County Assessor Rolls.

### **DISCUSSION:**

When the CSAs were formed, property owners within the boundary of the service area desired these extended miscellaneous services. These services were benefits received by the property owners and not originally supported by general revenues of the County. They are also not supported by the City's General Fund.

These service areas were established as an alternate means of providing landscape maintenance services. The homeowners' associations contract directly with a private landscape contractor to provide the landscaping services.

As a result of the City's July 1, 1986 incorporation, the CSAs were dissolved and replaced by the new "Municipal Improvement Districts" (MIDs). As part of the incorporation process, the City Council assumed the role of the Board of Supervisors for the new MIDs. The City has managed the MIDs since incorporation.

With the exception of MID No. 33, for which there is no homeowners' association, the City provides three of the four districts with budgetary information upon which the annual fees are based. The City provides a service to these homeowners' associations by translating each budget into a unit cost per parcel, and then levying the required amount on the tax roll each year. The City also performs monthly inspections of the landscaping work and responds to complaints and inquiries.

The City receives a fee for providing the services to set and collect the landscape maintenance fee, conduct a monthly landscape inspection, track the income and interest earnings, process monthly payments, and compile the annual accounting information and provide it to the homeowners' associations. The City also reviews each budget to ensure that all charges are related to the provision of extended services or administration of the MIDs.

MID No. 33 is the only MID for which services are not provided by a homeowners' association. The oversight responsibility for the landscape maintenance is provided by the City's Public Works Department. A budget is produced each year by the City to provide funds for landscape maintenance within the service area. The assessment area for MID No. 33 includes all parcels west of Interstate 5 to the Pacific Ocean and from the San Elijo Lagoon south to Via de la Valle/Border Avenue.

The MID No. 33 service area was authorized to provide landscape improvements and maintenance for Highway 101 medians and the railroad right-of-way that is appurtenant to Highway 101. These landscaped medians were installed using funding provided by the County for select system roads which also require continued maintenance. MID No. 33 provides an alternate funding source for this public service in Solana Beach; however, this



revenue is significantly less than the actual costs to maintain these areas. The maintenance is provided under contract with a landscape maintenance contractor as well as City Staff.

Because the MIDs were created prior to Proposition 218, the MID charges for MID No. 9C, No. 9E, No. 9H, and No. 33 may be levied as proposed without additional requirements so long as the amount of the charge does not exceed pre-November 1996 levels. The charges proposed are at the same rates they have been since their inception and are not being raised.

Since there is no legal requirement for a public hearing, the City has instead published a "Notice of Setting Various Fees for the Municipal Improvement Districts" notifying residents that they have the right to request that this item be removed from the consent agenda for discussion if required. That notice was published in the local newspaper on May 13, 2024.

Staff therefore recommends that the City Council approve the annual fees as outlined in the attached resolutions as follows: for MID No. 9C (Santa Fe Hills) at \$232.10 per unit; MID No. 9E (Isla Verde) at \$68.74 per unit; for MID No. 9H (San Elijo Hills #2) at \$289.58 per unit; and for MID No. 33 at \$3.12 per unit (\$.06 per timeshare week).

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The fee for each MID will generate the total annual benefit charge revenue, as shown below, to service the MID:

	<u>FEE</u>	<u>REVENUE</u>
MID No. 9C - Santa Fe Hills	\$232.10 per unit	\$ 95,000
MID No. 9E - Isla Verde	\$ 68.74 per unit	\$ 6,000
MID No. 9H - San Elijo Hills #2	\$289.58 per unit	\$ 34,200
MID No. 33 - Highway 101/Railroad Right-of-Way	\$ 3.12 per unit	\$ 11,500

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation.
- Do not approve Staff recommendation and provide direction.



**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Approve Resolution 2024-055, setting the Benefit Charges for MID No. 9C, Santa Fe Hills, at \$232.10 per unit for FY 2024/25.
2. Approve Resolution 2024-056, setting the Benefit Charges for MID No. 9E, Isla Verde, at \$68.74 per unit for FY 2024/25.
3. Approve Resolution 2024-057, setting the Benefit Charges for MID No. 9H, San Elijo Hills #2, at \$289.58 per unit for FY 2024/25.
4. Approve Resolution 2024-058 setting the Benefit Charges for MID No. 33, Highway 101/Railroad Right-of-Way, at \$3.12 per unit for FY 2024/25.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-055 – MID 9C
2. Resolution 2024-056 – MID 9E
3. Resolution 2024-057 – MID 9H
4. Resolution 2024-058 – MID 33



## **RESOLUTION 2024-055**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, SETTING THE BENEFIT CHARGES FOR MUNICIPAL IMPROVEMENT DISTRICT NUMBER 9C FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council considered a report concerning the benefit charge to be levied within the Municipal Improvement District Number 9C, Santa Fe Hills (the "District") pursuant to an Ordinance previously approved by the voters on March 24, 1969; and

**WHEREAS**, the City Council has determined that charges for landscape maintenance service be shown as a separate item on property tax bills and collected at the same time and in the same manner as ordinary county ad valorem taxes and caused to be prepared and filed, written reports describing real property receiving landscape maintenance services within the District; and

**WHEREAS**, the charges for the parcels within the District for Fiscal Year 2024/25 have been computed in conformity with the procedure set forth in, and charges described by, applicable ordinances and resolutions of the Solana Beach City Council; and

**WHEREAS**, the charges are at the same rates they were since their inception and are not being raised; and

**WHEREAS**, the amount paid to the homeowners' association from charges or taxes levied in the District shall include the reasonably estimated cost of the work or improvement to be done in the District by the homeowners' association for the ensuing fiscal year, plus incidental expenses directly related to the provision of extended services or administration of the District; and

**WHEREAS**, services shall be provided by the homeowners' association in accordance with the contract last approved by the County of San Diego with the homeowners' association providing the services, not the County or other entity. The City of Solana Beach will continue providing management and inspection services; and

**WHEREAS**, payments to the homeowners' association for service shall be made in twelve equal monthly installments and payment for incidental expenses shall be made upon submission of a statement.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, resolves as follows:

1. The foregoing recitations are true and correct.



2. The benefit unit charge for Municipal Improvement District No. 9C, Santa Fe Hills, for Fiscal Year 2024/25 will be \$232.10 per unit, as listed on Exhibit 1 of this Resolution and confirmed by the City Council and will be filed with the Auditor and Controller of the County of San Diego.
3. The San Diego County Auditor shall place on the County Assessor Roll, opposite each parcel of land within the District, the levy amount of \$232.10 per unit, as set forth in Exhibit 1 of this Resolution, and such levies shall be collected at the same time and in the same manner as ordinary ad valorem property taxes of the City for the fiscal year commencing July 1, 2024.
4. The City Clerk's Designee, Koppel & Gruber Public Finance, is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this Resolution.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a special meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



## EXHIBIT 1

Resolution 2024-055

### M.I.D. FEES

FY 2022 through FY 2025

	FY 2022 BUDGET	FY 2022 FEES	FY 2023 BUDGET	FY 2023 FEES	FY 2024 BUDGET	FY 2024 FEES	FY 2025 BUDGET	FY 2025 FEES
Highway 101 MID No. 33	11,500	3.12	11,500	3.12	11,500	3.12	11,500	3.12
<b>Santa Fe Hills MID No. 9C</b>	<b>95,000</b>	<b>232.10</b>	<b>95,000</b>	<b>232.10</b>	<b>95,000</b>	<b>232.10</b>	<b>95,000</b>	<b>232.10</b>
Isla Verde MID No. 9E	6,000	68.74	6,000	68.74	6,000	68.74	6,000	68.74
San Elijo Hills #2 MID No. 9H	34,200	289.58	34,200	289.58	34,200	289.58	34,200	289.58



## **RESOLUTION 2024-056**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, SETTING THE BENEFIT CHARGES FOR MUNICIPAL IMPROVEMENT DISTRICT NUMBER 9E FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council considered a report concerning the benefit charge to be levied within the Municipal Improvement District Number 9E, Isla Verde (the “District”) pursuant to an Ordinance previously approved by the voters on December 18, 1974; and

**WHEREAS**, the City Council has determined that charges for landscape maintenance service be shown as a separate item on property tax bills and collected at the same time and in the same manner as ordinary county ad valorem taxes and caused to be prepared and filed, written reports describing real property receiving landscape maintenance services within the District; and

**WHEREAS**, the charges for the parcels within the District for Fiscal Year 2024/25 have been computed in conformity with the procedure set forth in, and charges described by, applicable ordinances and resolutions of the Solana Beach City Council; and

**WHEREAS**, the charges are at the same rates they were since their inception and are not being raised; and

**WHEREAS**, the amount paid to the homeowners’ association from charges or taxes levied in the District shall include the reasonably estimated cost of the work or improvement to be done in the District by the homeowners’ association for the ensuing fiscal year, plus incidental expenses directly related to the provision of extended services or administration of the District; and

**WHEREAS**, services shall be provided by the homeowners' association in accordance with the contract last approved by the County of San Diego with the homeowners’ association providing the services, not the County or other entity. The City of Solana Beach will continue providing management and inspection services; and

**WHEREAS**, payments to the homeowners’ association for service shall be made in twelve equal monthly installments and payment for incidental expenses shall be made upon submission of a statement.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, resolves as follows:

1. The foregoing recitations are true and correct.
2. The benefit unit charge for Municipal Improvement District No. 9E, Isla Verde, for Fiscal Year 2024/25 will be \$68.74 per unit, as listed on



Exhibit 1 of this Resolution and confirmed by the City Council and will be filed with the Auditor and Controller of the County of San Diego.

3. The San Diego County Auditor shall place on the County Assessor Roll, opposite each parcel of land within the District, the levy amount of \$68.74 per unit, as set forth in Exhibit 1 of this Resolution, and such levies shall be collected at the same time and in the same manner as ordinary ad valorem property taxes of the City for the fiscal year commencing July 1, 2024.
4. The City Clerk's Designee, Koppel & Gruber Public Finance, is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this Resolution.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a special meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## EXHIBIT 1

### Resolution 2024-056

### M.I.D. FEES

### FY 2022 through FY 2025

	FY 2022 BUDGET	FY 2022 FEES	FY 2023 BUDGET	FY 2023 FEES	FY 2024 BUDGET	FY 2024 FEES	FY 2025 BUDGET	FY 2025 FEES
Highway 101 MID No. 33	11,500	3.12	11,500	3.12	11,500	3.12	11,500	3.12
Santa Fe Hills MID No. 9C	95,000	232.10	95,000	232.10	95,000	232.10	95,000	232.10
<b>Isla Verde MID No. 9E</b>	<b>6,000</b>	<b>68.74</b>	<b>6,000</b>	<b>68.74</b>	<b>6,000</b>	<b>68.74</b>	<b>6,000</b>	<b>68.74</b>
San Elijo Hills #2 MID No. 9H	34,200	289.58	34,200	289.58	34,200	289.58	34,200	289.58



## **RESOLUTION 2024-057**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, SETTING THE BENEFIT CHARGES FOR MUNICIPAL IMPROVEMENT DISTRICT NUMBER 9H FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council considered a report concerning the benefit charge to be levied within the Municipal Improvement District Number 9H, San Elijo Hills #2 (the "District") pursuant to an Ordinance previously approved by the voters on October 10, 1977; and

**WHEREAS**, the City Council has determined that charges for landscape maintenance service be shown as a separate item on property tax bills and collected at the same time and in the same manner as ordinary county ad valorem taxes and caused to be prepared and filed, written reports describing real property receiving landscape maintenance services within the District; and

**WHEREAS**, the charges for the parcels within the District for Fiscal Year 2024/25 have been computed in conformity with the procedure set forth in, and charges described by, applicable ordinances and resolutions of the Solana Beach City Council; and

**WHEREAS**, the charges are at the same rates they were since their inception and are not being raised; and

**WHEREAS**, the amount paid to the homeowners' association from charges or taxes levied in the District shall include the reasonably estimated cost of the work or improvement to be done in the District by the homeowners' association for the ensuing fiscal year, plus incidental expenses directly related to the provision of extended services or administration of the District; and

**WHEREAS**, services shall be provided by the homeowners' association in accordance with the contract last approved by the County of San Diego with the homeowners' association providing the services, not the County or other entity. The City of Solana Beach will continue providing management and inspection services; and

**WHEREAS**, payments to the homeowners' association for service shall be made in twelve equal monthly installments and payment for incidental expenses shall be made upon submission of a statement.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, resolves as follows:

1. The foregoing recitations are true and correct.
2. The benefit unit charge for Municipal Improvement District No. 9H, San



Elijo Hills #2, for Fiscal Year 2024/25 will be \$289.58 per unit, as listed on Exhibit 1 of this Resolution and confirmed by the City Council, and will be filed with the Auditor and Controller of the County of San Diego.

3. The San Diego County Auditor shall place on the County Assessor Roll, opposite each parcel of land within the District, the levy amount of \$289.58 per unit, as set forth in Attachment No. 1 of this Resolution, and such levies shall be collected at the same time and in the same manner as ordinary ad valorem property taxes of the City for the fiscal year commencing July 1, 2024.
4. The City Clerk's Designee, Koppel & Gruber Public Finance, is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this Resolution.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a special meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## EXHIBIT 1

Resolution 2024-057

### M.I.D. FEES

FY 2022 through FY 2025

	FY 2022 BUDGET	FY 2022 FEES	FY 2023 BUDGET	FY 2023 FEES	FY 2024 BUDGET	FY 2024 FEES	FY 2025 BUDGET	FY 2025 FEES
Highway 101 MID No. 33	11,500	3.12	11,500	3.12	11,500	3.12	11,500	3.12
Santa Fe Hills MID No. 9C	95,000	232.10	95,000	232.10	95,000	232.10	95,000	232.10
Isla Verde MID No. 9E	6,000	68.74	6,000	68.74	6,000	68.74	6,000	68.74
<b>San Elijo Hills #2 MID No. 9H</b>	<b>34,200</b>	<b>289.58</b>	<b>34,200</b>	<b>289.58</b>	<b>34,200</b>	<b>289.58</b>	<b>34,200</b>	<b>289.58</b>



## **RESOLUTION 2024-058**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, SETTING THE BENEFIT CHARGES FOR MUNICIPAL IMPROVEMENT DISTRICT No. 33 FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council considered a report concerning the benefit charge to be levied within the Municipal Improvement District Number 33, Highway 101/Railroad Right-of-Way, pursuant to an Ordinance previously approved by the voters on August 3, 1971; and

**WHEREAS**, the City Council has determined that charges for providing landscape maintenance service be shown as a separate item on property tax bills and collected at the same time and in the same manner as ordinary county ad valorem taxes and caused to be prepared and filed, written reports describing real property receiving landscape maintenance services within the District; and

**WHEREAS**, the charges for the parcels within the District for Fiscal Year 2024/25 have been computed in conformity with the procedure set forth in, and charges described by, applicable ordinances and resolutions of the Solana Beach City Council; and

**WHEREAS**, the charges are at the same rates they have been since their inception and are not being raised.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, resolves as follows:

1. The foregoing recitations are true and correct.
2. The benefit unit charge for Municipal Improvement District No. 33, Highway 101/Railroad Right-of-Way, for Fiscal Year 2024/25 will be \$3.12 per unit, as listed on Exhibit 1 of this Resolution and confirmed by the City Council, and will be filed with the Auditor and Controller of the County of San Diego.
3. The San Diego County Auditor shall place on the County Assessor Roll, opposite each parcel of land within the District, the levy amount of \$3.12 per unit, as set forth in Exhibit 1 of this Resolution, and such levies shall be collected at the same time and in the same manner as ordinary ad valorem property taxes of the City for the fiscal year commencing July 1, 2024.
4. The City Clerk's Designee, Koppel & Gruber Public Finance, is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this Resolution.



**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a special meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## EXHIBIT 1

### Resolution 2024-058

### M.I.D. FEES

### FY 2022 through FY 2025

	FY 2022 BUDGET	FY 2022 FEES	FY 2023 BUDGET	FY 2023 FEES	FY 2024 BUDGET	FY 2024 FEES	FY 2025 BUDGET	FY 2025 FEES
<b>Highway 101 MID No. 33</b>	<b>11,500</b>	<b>3.12</b>	<b>11,500</b>	<b>3.12</b>	<b>11,500</b>	<b>3.12</b>	<b>11,500</b>	<b>3.12</b>
Santa Fe Hills MID No. 9C	95,000	232.10	95,000	232.10	95,000	232.10	95,000	232.10
Isla Verde MID No. 9E	6,000	68.74	6,000	68.74	6,000	68.74	6,000	68.74
San Elijo Hills #2 MID No. 9H	34,200	289.58	34,200	289.58	34,200	289.58	34,200	289.58





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** City Manager's Department  
**SUBJECT:** **City Council Adoption of Fiscal Year 2024/2025 Work Plan**

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### **BACKGROUND:**

The Fiscal Year 2024/2025 Work Plan is a guiding document that includes all of the City Council's (Council) priority projects. The Fiscal Year 2024/2025 Work Plan focuses on four strategic priorities as the Council directs Staff on projects and programs: Community Character, Organizational Effectiveness, Environmental Sustainability and Fiscal Sustainability with the knowledge that all four areas of priority are important to the overall sustainability of the City.

This item is before Council to consider adopting the final FY 2024/2025 Work Plan based on the feedback received from the Council at the May 22, 2024, and June 12, 2024, Work Plan workshops.

### **DISCUSSION:**

On May 22, 2024, the Council held a public workshop to discuss the draft Fiscal Year 2024/2025 Work Plan and to accept public comments. At that public workshop, Council recommended changes to the draft Work Plan presented by City Staff. The revised Work Plan was then brought back to Council at the June 12, 2024, City Council meeting, where additional revisions were directed by the Council.

The revised final Fiscal Year 2024/2025 Work Plan (Attachment 1) is being brought back for final consideration for approval by the Council. The Fiscal Year 2023/24 table of "Significant Accomplishments" has also been added to this final Work Plan.

### **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

<b>CITY COUNCIL ACTION:</b>  _____  _____
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**FISCAL IMPACT:**

Funding for the projects contained in the draft Fiscal Year 2024/2025 Work Plan vary from project to project. Some of the projects have been budgeted for; while others do not currently have funding identified at this time. The funding identified in this Work Plan is consistent with the funding proposed in the FY 2024/2025 Budget Update that will also be presented to Council tonight.

**WORK PLAN:**

This is the consideration and adoption of the FY 2024/2025 Final Work Plan.

**OPTIONS:**

- Adopt the final Fiscal Year 2024/2025 Work Plan.
- Give additional direction to Staff on further modifications.
- Do not adopt the final Fiscal Year 2024/2025 Work Plan.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council consider and adopt the final Fiscal Year 2024/2025 Work Plan.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Alyssa Muto, City Manager

Attachment 1: Final Fiscal Year 2024/2025 Work Plan





# **COUNCIL WORK PLAN**

**FISCAL YEAR  
2024-2025**



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# CITY MANAGER'S REPORT

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Dear Residents of Solana Beach:

The City of Solana Beach Fiscal Year 2024/25 Work Plan is a critical operational document developed based on public feedback, direction from the Mayor and Council members, and regulatory changes. Rooted in the core values of transparency, collaboration, and innovation, this plan provides a roadmap for our efforts in key areas such as community character, infrastructure development, environmental sustainability, economic growth, and community services. Each section details specific projects and initiatives, along with the resources required for their successful implementation.



Over the years, this annual programming and budgeting process has resulted in the investment of City resources and grant funding to improve our streets, parks, and beaches, and to maintain the overall quality of life in our neighborhoods. Significant components of our work plan include policy and program development to improve customer service, capital investments in our roadways and City facilities, and the prioritization of our City employees to grow and retain quality Staff. These priorities are pivotal to enhancing our infrastructure, boosting economic activity, and sustaining our neighborhoods.

As the City Manager of Solana Beach, I am pleased to present this Work Plan as a comprehensive guide outlining our strategic objectives and operational initiatives for the upcoming year. By setting clear priorities and measurable goals, we aim to ensure that our City remains a place where people can live, work, and play. This plan is a testament to our commitment to fostering a vibrant, sustainable, and inclusive community. It is designed to address the evolving needs of our residents, businesses, and visitors while preserving the unique charm and character of our beautiful coastal city.

I am confident that this work plan will serve as a valuable tool for guiding our actions and measuring our progress. It is through collective effort and shared vision that we will continue to build a resilient and thriving Solana Beach. I look forward to working together with the City Council, our dedicated Staff, and the entire community to achieve the goals set forth in this plan.

A handwritten signature in blue ink, appearing to read 'Alyssa Muto', written in a cursive style.

Alyssa Muto  
City Manager, Solana Beach



# MISSION STATEMENT

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**To have an efficient and effective City Government that works to balance fiscal sustainability while maintaining environmental sustainability, quality of life and community character.**

## STRATEGIC PRIORITIES

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The following Strategic Priorities provide focus and direction for all service expectations for the city that inform both the City two-year Work Plan and budgeting.

- **COMMUNITY CHARACTER**

Objective: To maintain the small-town coastal community charm that respects our beachside setting with consideration for scenic views and scale of development; and to promote an outdoor lifestyle and walkable/pedestrian scale community supported by local businesses that foster a friendly neighborhood ambience.

- **FISCAL SUSTAINABILITY**

Objective: To maintain a balanced operating budget and healthy capital improvement plan while providing outstanding customer service levels that maintain community character to the highest degree possible; and to maintain a threshold of sustainability on a three-year forecast basis, with a goal of keeping the point of revenue and expenditure lines crossing at least three years out.

- **ORGANIZATIONAL EFFECTIVENESS**

Objective: To inspire and generate a high level of confidence in City Government and strengthen our city by providing exceptional professional services to the community through our leadership, management, innovation and ethics. To produce quality results by promoting a culture of personal and professional integrity, community engagement, equity and inclusion, Staff engagement, effectiveness and teamwork, human resources management, transparent financial management, strategic leadership, service delivery, open communications and information sharing, and continuous improvement.

- **ENVIRONMENTAL SUSTAINABILITY**

Objective: To reduce the City's environmental footprint and develop long-term environmental sustainability for the community. Reduce waste and reliance on single occupancy vehicles, conserve resources and promote sustainable building practices to create a positive community image and accept our social responsibility to ensure a viable future for Solana Beach and its residents.



# COMMUNITY CHARACTER

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## A. Land Use & Planning

### 1. General Plan Updates

**Summary:** The City's first General Plan was originally adopted in 1988. Individual elements of the General Plan, including Land Use, Circulation, Noise, and Housing have been reviewed and revised over time. The Circulation and Land Use Elements were updated and adopted by the City Council on November 19, 2014, and the Environmental Impact Report was certified at that same meeting. The Housing Element was last updated in 2021, and covers the time period of April 15, 2021, to April 14, 2029. Annual reporting is conducted for the City's Housing Element implementation. The next component of the General Plan is a required update to the Safety Element to ensure consistency with the recent San Diego County Hazard Mitigation Plan update, State legislation, and the SANDAG's Regional Plan.

#### **FY 2024/25 Actions:**

- A. Update Density Bonus Ordinance.
- B. Issue RFP for 1<sup>st</sup> City Housing site (see Priority 2 below).
- C. Develop permit ready ADU program and plans.
- D. Explore First Story restaurant/retail Ordinance in certain areas of the City.
- E. Upon the release of the local Very High Fire Hazard Severity Zones VHFHS maps by the State, the City will bring forward Fire Hazard Severity Zone Maps for adoption.
- F. Conduct public meeting to review Highway 101 Specific Plan for any regulatory, policy or program updates.

**Summary of Budgetary Projections for FY 2024/25:** The implementation of the policies and programs contained in the City's Housing Element is a multi-year project. The costs are predominantly Staff time to draft and implement policies and programs. Where possible Staff will seek additional grant funding to assist with the implementation of this project. With respect to the ADU Permit Ready Program, the City projects an approximate cost of \$100,000 for the purchase of plan sets for use by residents for standard studio and one-bedroom ADU designs. No additional funding is expected to be needed for FY 2024/25.

### 2. South Sierra Mixed Use Affordable Housing Project

**Summary:** In 2014, the City Council approved the Hitzke Development Corporation mixed use affordable housing project on South Sierra Avenue on a City-owned parking lot. The project as adopted includes commercial space and parking, ten (10) affordable housing units and associated parking, and 31 replacement public parking spaces. Following approval of the project, significant delays were encountered including a legal challenge against the City



and Hitzke Development Corporation, where the City prevailed at both the lower court and the Court of Appeals. During this delay, construction costs increased and the inability of the Applicant to obtain required affordable housing funding, including State and County grants, resulted in Hitzke providing notice to the City in November 2020, that the project was no longer going forward for construction.

On February 24, 2021, pursuant to the terms of the Agreement, the Applicant provided to the City electronic copies of all plans prepared for the project. The City's objective is to pursue development of the project pursuant to the prepared plans and approvals through issuance of a Request for Proposals (RFP). This project would provide needed affordable housing adjacent to neighborhood services, including transit and commercial uses, and would further implement the goals of the Solana Beach Housing Element and the General Plan. Additionally, this project if built, could also satisfy obligations from a settlement agreement from the 1990s related to provision of deed-restricted affordable housing units in the City.

**FY 2024/25 Actions:**

- A. Update building permit plans for review/approval and construction.
- B. Prepare and issue an RFP for solicitation of affordable housing developers.

**Summary of Budgetary Projections for FY 2024/25:** Development of RFP and solicitation can be completed with City Staff time. Additional costs may be incurred through the bid review process; any additional budget allocations will be brought before the Council for authorization.

### **3. Customer Assistance Program Improvements**

**Summary:** A number of City technology and process improvements have been geared toward greater customer service, flexibility for commercial uses, and permit streamlining. Among those recent improvements the Community Development Department has budgeted a full-time planner position to develop and support an Applicant Assistance Program (AAP). This program and assigned Staff is focused on assisting the community in navigating the sometimes-complex process for permit applications, plan transmittals, code compliance complaints, etc. The program will be expanded to include the creation of DRP Guidelines and Toolkit that will include a development checklist and cost estimate worksheet to help property owners navigate the development review process based on the type of project that is being proposed.

In an effort to help streamline the permit process and online payments for a variety of services including business certificates, building permits, parking citations, and allow for online payments and tracking, Staff researched various online permit tracking systems. In June of 2017, the City Council authorized the purchase of TRAKiT software and Staff has been working with a contractor to customize the tracking program for the City. The City went live with the TRAKiT program in July 2019. Subsequently, in response to the COVID-19 pandemic, the City has implemented digital submittals and TRAKiT went live for improved intake and routing while navigating remote work and social distancing. The City has



implemented online credit card payments for Summer Day Camp and Junior Guard registration, and are working on expanding this service to TOT payments and business licenses. The next phase of TRAKiT will be expanding the permit tracking system to be outward facing to integrate the electronic filing and processing of permits and plans for further customer service and permit streamlining.

As part of the TRAKiT program, the City also purchased “My Community”, a stand-alone smart phone app that works with the City’s website to include relevant information for residents including City contacts, calendar of events and information regarding City government departments and services. In addition, it allows for the community to report location-specific issues such as graffiti, potholes, trash accumulation and broken sidewalks instantaneously to Staff. Since going live in November 2018, this program has resulted in a more efficient and effective way to report issues to the correct city departments.

#### **FY 2024/25 Actions:**

- A. Develop a citizen Guidelines and Toolkit to assist applicants in navigating City permitting process.
- B. Implement an on-line application and payment process for business certificates and permits.
- C. Prepare an annual report to Council on the My Community app including such things as usage, response time and highest reported issues.

**Summary of Budgetary Projections for FY 2024/25:** A new planner position has been allocated and assigned to implementing the AAP and developing the DRP Guidelines and Toolkit can be completed with City Staff time. Initial cost of software purchase was approximately \$196,000 with annual maintenance costs of \$38,000-\$40,000.

## **4. Outdoor Dining Regulations**

**Summary:** Due to the COVID-19 pandemic, certain restrictions were modified to assist the business community during the difficult economic times, and to allow residents and visitors to continue to safely utilize certain services such as restaurants, bars, beauty salons, and exercise/wellness businesses outdoors and with appropriate social distancing. These specific businesses were allowed to temporarily expand into outdoor areas including sidewalks and parking lots (public and private) to provide additional space, especially during the times when indoor operations were not allowed. Due to the popularity of certain businesses, mainly restaurants, the City Council has directed the City Manager to prepare draft requirements and regulations to permanently allow these outdoor operations, including ways to mitigate potential issues to parking, noise, safety, aesthetics and other foreseeable areas.

#### **FY 2024/25 Actions:**

- A. Bring forward draft regulations to City Council for consideration.



**Summary of Budgetary Projections for FY 2024/25:** Development of draft regulations can be completed with City Staff time. Additional consultant services for parking counts, noise monitoring or other potential areas of impacts listed above could require additional budget allocations.

## **5. Local Coastal Program/Land Use Plan Adoption and Preparation of the Local Implementation Plan**

**Summary:** The City prepared a Local Coastal Program (LCP) Land Use Plan (LUP) which was certified by the California Coastal Commission (CCC) on March 7, 2012, and subsequently adopted by the City Council in February 2013. At the time of adoption, the City Council also directed City Staff to prepare a Land Use Plan Amendment (LUPA) to modify some of the provisions in the LUP relating primarily to bluff top development, shoreline protection and private beach access ways. The CCC approved the City's LUPA in January 2014, and incorporated 12 additional CCC-initiated modifications. The City then prepared at the direction of the CCC, a update to the 2010 Draft Mitigation Fee Study

The certified LUP includes a requirement to update the 2010 Draft Mitigation Fee Study prepared by the City. In January 2014, the CCC awarded the City a grant in the amount of \$120,000 for use by the City in updating the draft fee study to reflect the policies in the Certified LUP. An updated public recreation impact fee study and draft LUPA was submitted to the CCC on April 29, 2016, and approved by the CCC with modifications. The City Council adopted the modification on November 13, 2018; CCC Executive Director concurrence was received on December 13, 2018. City Staff continues to work on the draft LIP that would geographically segment the bluff top properties from the rest of the City and Title 19 has been reserved for the "Coastal Zone" provisions associated with the LCP/LIP.

### **FY 2024/25 Actions:**

- A. Conduct engagement and prepare a draft LIP and Land Use Plan Amendment (LUPA) to correct zoning information within the approved LUP.

**Summary of Budgetary Projections for FY 2024/25:** The estimated budget proposed for FY 2024/25 to continue the LCP Local Implementation Plan efforts is approximately \$90,000 programmed for consultant services for adjunct planning services and document assistance.

## **6. Eden Gardens Specific Plan/Overlay**

**Summary:** The Eden Gardens Master Streetscape Plan was adopted April 17, 1995, and is a document that provides guidance on the public improvements desired in the area. The scope of the Specific Plan or creation of a zoning overlay could contain design guidelines and development standards specific to the La Colonia de Eden Gardens neighborhood. The planning process would involve community input and could include engaging a qualified design professional. In November 2019, Staff conducted a community meeting and received input regarding concerns and issues the community had been facing that can be used to identify and prepare a comprehensive guiding plan for the Eden Gardens community.



### **FY 2024/25 Actions:**

- A. Initiate a planning process to explore a comprehensive guiding plan for the community that can provide further design and setback regulations to maintain the historic and cultural history of the neighborhood.

**Summary of Budgetary Projections for FY 2024/25:** Public engagement and development of planning overlay regulations can be completed with City Staff time.

## **7. Short-Term Vacation Rental Permit Ordinance Update**

**Summary:** The City's current Short-Term Vacation Rental (STVR) Permit regulations allow for the rental of any residentially zoned dwelling unit, other than Accessory Dwelling Units (ADUs), including detached single-family residences, condominiums, duplexes, twinplexes, townhomes and multi-family dwellings. Since adoption of the City's STVR regulations, the soaring popularity of vacation rental hosting websites has resulted in a proliferation of STVRs throughout the San Diego region. On an annual basis, Staff handles a variety of complaints regarding STVRs and their impacts to local neighborhoods including noise, parking and unruly guests. In order to maintain an appropriate balance of housing stock dedicated to residents and also to visitor accommodations, the City will evaluate the City's Short Term Vacation Rental Permit regulations for potential amendments. A key focus should be on maintaining long-term rental stock in the community.

### **FY 2024/25 Actions:**

- A. Evaluate existing STVR Permit regulations for modifications.

**Summary of Budgetary Projections for FY 2024/25:** Development of draft regulations can be completed with City Staff time.

## **8. Electric Bicycle (E-Bike) Safety and Education Program**

**Summary:** The proliferation of E-Bikes in the city has resulted in both positive and negative impacts on the community. E-Bikes reduce daily miles traveled in vehicles, promote a healthy lifestyle and provide a convenient and clean mode of transportation around the community. E-Bikes can help riders of all ages, skills and physical abilities live more active lives. However, there are significant safety concerns that have arisen as the popularity of E-Bikes has exploded. The City would like to continue to promote the use of E-Bikes in the community but also create a safe environment for pedestrian and vehicular traffic. The continued education of both E-Bike riders and the public is paramount to a harmonious community that can both foster clean alternative modes of transportation while protecting the health and safety of the residents.

### **FY 2024/25 Actions:**

- A. Continue the partnership with the San Diego County Bike Coalition and BikeWalkSolana to provide E-Bike safety educational workshops and practical exercises throughout the



community. These trainings should incorporate driver education related to bikes and E-Bikes safety as laws are constantly changing.

- B. Collaborate with the local schools to provide educational opportunities and potentially a permit program for E-Bike riders.
- C. Partner with the local bicycle shops on educational opportunities when E-Bikes are purchased.

**Summary of Budgetary Projections for FY 2024/25:** There are costs associated with partnering with the San Diego County Bike Coalition for the education and training programs. These costs are estimated at approximately \$10,000 per year.

## 9. Charter City Analysis

**Summary:** The City is a General Law City under California Constitution and state statutes. When incorporated as a City in 1986, the governance was constructed as a General Law, relying on the State legislative structures, and when delegated, the City developed regulations and policies, such as with land use and other municipal code regulations. While reliant on the state constitutional framework, since becoming a city, there have been an increasingly strong legislative trend at the State level to address systemic, and statewide issues from everything such as public health, commercial operations, land use, housing, and homelessness. While there are many benefits, some of these legislative actions can conflict with the needs or priorities of local municipalities. The City Council has directed the City Manager to further review the opportunities, limitations, benefits and timelines for consideration of initiating a ballot measure for a vote of the public to consider changing the City from a General Law City to a Charter City.

### **FY 2024/25 Actions:**

- A. Analyze and report to the Council on the opportunities, limitations, benefits and timelines for consideration of becoming a Charter City.

**Summary of Budgetary Projections for FY 2024/25:** Analysis of the process and potential outcomes can be completed with City Staff time.

## 10. Synthetic Drug Substance Prohibition

**Summary:** Synthetic substances, commonly referred to as Bath Salts or Spice, are documented that when consumed to cause hallucinations, agitation, psychosis, aggression, suicidal tendencies, among other things. While newly created drugs often go unregulated in California due to testing and other regulatory requirements, many of these substances are given emergency scheduling under the U.S. Food and Drug Administration. The City Council has directed the City Manager to develop appropriate regulatory language to be considered by the Council to prohibit the manufacturing, sale, distribution and/or possession of Federal Schedule I drugs, including novel synthetic drugs.



**FY 2024/25 Actions:**

- A. Develop proposed regulatory language to be considered for adoption by the Council.

**Summary of Budgetary Projections for FY 2024/25:** Development of draft regulations can be completed with City Staff time.

## **11. Legislative Platform and Lobbying**

**Summary:** Legislative priorities for the City are generally reflected throughout this Work Plan. The following is a list of actions that should be conducted on an annual basis and with regular review to ensure new and pending legislation is being responded to in a manner consistent with the City's priorities and regulations.

**FY 2024/25 Actions:**

- A. Update Legislative Priority List for Council Consideration.
- B. Develop policy on priority topic areas to support/advocate.
- C. Continue to work with lobbyists to promote City agenda.
- D. Engage representatives and submit letters to further City and regional priorities.
- E. Adopt City ordinances and policies to respond to and remain compliant with changes in law.

**Summary of Budgetary Projections for FY 2024/25:** The City's lobbyist is engaged at an amount not to exceed \$ 35,421.44 for Fiscal Year 2024-2025 and an amount not to exceed 36,089.87 for Fiscal Year 2025-2026.



## B. Capital Projects

### 1. Marine Safety Center

**Summary:** The existing Marine Safety Center is inadequate to continue to serve the community and beach visitors into the future. The current facility is dilapidated with design deficiencies that don't meet the current needs of our lifeguards with respect to storage, operations, and technology, as well as facilities for persons of different genders/identities and ADA compliant improvements. A needs assessment study was completed in June 2017, which determined that the best alternative was to demolish the existing building and construct a new building.

A Professional Services Agreement with an architectural consultant was approved in October 2018, to develop a preliminary site and building design for a new Marine Safety Center. Following a community meeting in February 2019, to kick off the project, the City consultant prepared three design options that were presented to the Council during a public hearing in November 2019. During this meeting, the Council directed Staff to pursue an above-ground design option. In October 2020, the City Manager returned to Council to present a revised conceptual above-ground design incorporating feedback and input received at the previous City Council meeting. This design was further refined to include a lifeguard observation tower at the bottom of the ramp per the direction of the Council.

In April 2022, the City worked with the consultant to have story poles installed for the three-dimensional footprint of the proposed building. During this period, City Staff met with impacted residents to assess potential view impairments. Photo simulations were also prepared and presented to the City Council on February 2023. After receiving testimony from the public, City Council provided further direction to the City Manager to modify the proposed design to minimize view impacts without jeopardizing the operational needs for the Lifeguard Station. Several iterations of the proposed design have been presented to the City Council, including in November 2023 and January 2024. During each public hearing, comments were received from the Council, general public, including the nearby property owners, to further refine the design in order to minimize the potential view impacts. Council directed Staff in January 2024 to erect story poles based on the most recent design presented to Council. The City intends to install the story poles following the peak summer season to minimize impact to both summer Lifeguard operations and park activities. During the interim, the City will begin the work to obtain necessary City Development Review Permit (DRP)/Structure Development Permit (SDP), and will initiate discussions with the Coastal Commission for a Coastal Development Permit.

Upon receipt of the necessary permits and environmental compliance, the City will prepare final engineering and construction design documents to be released for bid for construction. While allocation of funding for construction of the Marine Safety Facility is still pending, throughout the next phases, the City will be exploring the availability of grant funding and/or alternative approaches for this significant public capital investment to ensure construction of



this project can start at the earliest possible time given the remaining regulatory and financial requirements for this important City facility project.

There are several actions for future years that are unscheduled at this time. Once construction funding is identified, a Coastal Development Permit (CDP) can be submitted to the California Coastal Commission. Since the CDP is only valid for three years (a two-year initial term and a one-year extension), Staff doesn't want to obtain the CDP until there is some certainty that construction can start before the CDP expires. Environmental studies and clearance will be performed during the final design stage. Throughout all phases of the project, Staff will continue to look for grant funding for construction of the new Marine Safety Center.

#### **FY 2024/25 Actions:**

- A. Install new story poles based on updated design from January 2024.
- B. Provide revised photo simulations of potential view claims for Council's consideration.
- C. Initiate coordination with the Coastal Commission Staff on the proposed project design.
- D. Prepare environmental documentation and any additional technical studies.
- E. Obtain City Development Review Permit (DRP)/Structure Development Permit (SDP).

**Summary of Budgetary Projections for FY 2024/25:** As part of the update in January 2024, the City Council authorized an increase to the PSA with the Consultant (domusstudio) in the amount of \$500,000. This budget allocation will carry forward into FY 2024/25 to allow the project to progress through the entitlement and permitting process, including receipt of an engineering cost estimate for a construction bid solicitation. It is anticipated that additional funding will be necessary in future fiscal years to complete the state permitting and go out to a competitive bid for construction.

## **2. Highland Drive Median Project**

**Summary:** This project will provide drought-tolerant landscape improvements to the medians on Highland Drive, south of Lomas Santa Fe in front of the Country Club, that were constructed in 2023.

#### **FY 2024/25 Actions:**

- A. Develop landscaping plans using a palette of drought-tolerant non-invasive plants with a cost estimate.
- B. Conduct bid and implement landscaping and associated irrigation.

**Summary of Budgetary Projections for FY 2024/25:** Preliminary tasks will be performed by in-house Staff; construction costs are estimated at \$80,000.



### 3. La Colonia Park Improvements

**Summary:** In 2006, a community-based La Colonia Park Needs Assessment Advisory Committee developed recommendations for improvements throughout La Colonia Park, which included among other improvements, ADA-compliant ramps and access through the park and facilities. The City completed the conceptual design for the park improvements in December 2009 and preliminary design of the park in September 2010.

Over the last year, the City has worked on a complete renovation of the Tot Lot at La Colonia Park. On May 22, 2024, the City had the grand re-opening of the newly renovated playground. The playground was designed to be inclusive and accessible, ensuring children of all abilities can enjoy all of the play features. Wheelchair-accessible equipment, ground-level activities, and inclusive play elements were integrated into this diverse and inclusive City facility.

With the City's purchase of the property immediately north of the skate park, there was a need to re-evaluate the property and existing park, and the needs and priorities. The Council approved a PSA for updating the La Colonia Master Plan in February 2022, and a public workshop was held in February 2023 to gather community input on priorities and needs for design, operations, and facilities onsite. An update was provided to the City Council in March 2024, at which Council authorized an additional \$70,000 for architectural services to refine the conceptual design alternatives based on the public and Council feedback and to receive additional input from key stakeholders.

While ongoing maintenance and smaller facility and park improvements are programmed, the City continues to seek additional funding for expansion, park improvements, including ADA-compliant renovations in compliance with the City's ADA Transition Plan.

**FY 2024/25 Actions:**

- A. Explore potential opportunities and conceptual design to integrate the City-owned vacant property to the north of the park.
- B. Update the La Colonia Park Master Plan to incorporate the additional property and to reflect any adjustments to the adopted plan.
- C. Explore potential to grade and sod the vacant property for interim use while long-term plans are finalized.
- D. Conduct routine maintenance and improvements to existing buildings (recreation center, offices, Heritage Museum) and grounds (skate park, basketball court, tot lot) as needed.

**Summary of Budgetary Projections for FY 2024/25:** The incorporation of the vacant property north of La Colonia Park into the overall Master Plan has been allocated, in the amount of approximately \$125,000 to date. The additional \$70,000 authorized by Council in March 2024, is expected to be sufficient for the continued outreach and engagement, as well as conceptual design plans. The La Colonia Park Master Plan update can be completed with City Staff time. With respect to the existing park maintenance and improvements, the



replacement of the A/C for the Community Center is estimated to cost \$15,000; this funding is already identified in the adopted Fiscal Year 2024/25 Budget.

## **4. Traffic Calming Projects**

**Summary:** A number of locations for traffic calming improvements, including signage, speed reduction installations (humps, pillows, tables, etc.), have been identified throughout the City. These projects include the monitoring and analysis of publicly-initiated traffic calming requests and proposal of measures and installations that can be implemented to within the public rights-of-way to enhance the user's experience for all modes of transportation.

**FY 2024/25 Actions:**

- A. Monitor and assess traffic calming requests at North Granados between Cliff Street and Lynwood Dr, as well as a request for second speed cushion on Highland drive between San Lucas Dr. and San Andres Dr.
- B. Prior to occupancy of the Solana Highlands project, implement the traffic calming measures included in the conditions.

**Summary of Budgetary Projections for FY 2024/25:** No budgetary requests are proposed at this time; Staff will bring forward project-specific requests as needed.

## **5. Implementation of the Comprehensive Active Transportation Strategy (CATS) Study Projects**

**Summary:** The CATS study approved by Council in 2015, identifies approximately 20 bicycle and pedestrian projects along various City streets that improve the bikeability and walkability of streets and neighborhoods in the City in alignment with the Climate Action Plan (CAP) and Vision Zero principles. There are a variety of CATS projects along key corridors within the City: Cedros Avenue, Sierra Avenue, Cliff Street, the Academy/Ida/Genevieve/Valley Corridor, Nardo Avenue, and key corridors surrounding the City's schools under the Safe Routes to Schools Program. The Lomas Santa Fe Drive Corridor project and the Santa Helena Neighborhood Trail have been included into separate Work Plan Priority Items due to the scope and/or funding.

A next step for the CATS is to create a 5-year implementation plan, with proposed projects organized based on specific criteria of need, effectiveness, and preliminary cost. Also included should be key grant opportunities and preliminary review of grant competitiveness and scope.

To build off of the City's CATS, and upon completion of the SANDAG Vision Zero toolbox, the City should move forward with the preparation of a Vision Zero strategy. First implemented in Sweden in the 1990s, Vision Zero is a policy adopted by municipalities to work toward the elimination of all traffic fatalities and severe injuries. The City already is greatly aligned with Vision Zero through our roadway design, active transportation prioritization, Safe Routes to Schools initiatives, and traffic calming projects. These planning



efforts and capital project implementation prioritize more safe and efficient mobility options in our neighborhoods and for our residents. A Vision Zero strategy addresses the five E's: Engineering, Education, Encouragement, Evaluation and Enforcement. The City is actively participating in the regional "Vision Zero" task force developed that is being led by SANDAG.

**FY 2024/25 Actions:**

- A. Create a five-year implementation plan for the projects listed in the CATS study, focusing on the initiation of one or two projects annually.
- B. Initiate a Vision Zero Strategy for the City building off the SANDAG toolbox and template.

**Summary of Budgetary Projections for FY 2024/25:** Development of draft 5-year implementation plan and initiation of a Vision Zero Strategy can be completed with City Staff time. Additional budget allocations for technical consultant support may be necessary for preliminary cost estimates and other grant assistance. Any future requests will be brought before the Council for authorization.

## **6. Lomas Santa Fe Corridor Project**

**Summary:** The Lomas Santa Fe Corridor project is a top priority of the CATS project above. Due to the significance of this project and the multiple benefits it could provide to the community, it has been separated into its own Work Plan Priority Item. The project study area for the Lomas Santa Fe (LSF) Drive Corridor Project extends from Cedros Avenue on the East side of Highway 101 to Highland Drive at the City's eastern boundary. The City's goal for the Lomas Santa Fe Corridor Project is to construct physical improvements to improve the community character, safety, walkability, bikeability and circulation along this key east-west arterial through the City of Solana Beach.

Some of the elements included in Phase III (final design) are a multi-use path on the north side of LSF, striping and signal improvements, added parking, landscaping and other items intended to slow down traffic and increase use of the corridor by pedestrians and bicycles. The final design for the project was approved by the City Council on May 26, 2021. Partial funding for construction of the easterly segment of the project (from Santa Helena to Highland Drive) was secured from Congressman Levin's office. Staff is working with Caltrans to obligate the \$7,000,000 in federal funding. Since the project initially started using non-federal funds, NEPA clearance (the federal version of CEQA) was not performed. Staff is currently working on NEPA clearance with the help of the Caltrans Local assistance team. Additionally, further engineering work has been completed to adjust alignment to comply with federal funding obligations, and avoid impact to private property. Staff is currently working through the federal procurement process that is required before the east side corridor improvements can be advertised for construction bids. Based on the current project schedule, it is anticipated that a construction contract can be awarded in late Fall of 2024, construction can begin at the beginning of calendar year 2025.

Under the present design, construction of the west side corridor improvements, from the west side of Interstate 5 to Cedros Avenue, are projected at approximately \$8 Million.



Presently the City has received approximately \$850,000 for the west side construction project, and the City Staff is working to secure additional funding through budgetary earmarks and grant funding.

**FY 2024/25 Actions:**

- A. Develop Construction Manager Request For Proposal (RFP) and select the most qualified consultants for the City Council's consideration during construction award process.
- B. Evaluate and apply for potential construction grant funding for the west section of the project.
- C. Execute amendment to the PSA with City's consultant to Prepare Construction Plans, Specifications, Estimate for the west side for competitive bidding purposes.

**Summary of Budgetary Projections for FY 2024/25:** A grant from SANDAG, in the amount of approximately \$616,000, was obtained for Phase III design. With a 10% match committed by the City, the total amount of funding secured for Phase III design was approximately \$684,000. Construction of the entire length of the corridor is estimated to cost approximately \$15 million. The project was separated into two segments for construction purposes. The first phase consisting of the easterly segment of the project (from Santa Helena to Highland Drive) was estimated at \$7 Million, which has been secured from Congressman Levin's office. The second phase is the west side (from I-5 to Cedros Avenue) is projected to cost approximately \$8 Million. To date, the City has received \$850,000 from Congressman Levin's office. The City is expecting to budget and expend the funding received for the east side in FY 2024/25 and FY 2025/26; the \$850,000 of funding expected to be received for the west side is still being programmed and further funding is being sought to complete this important corridor project. No additional funding is requested for FY 2024/25 at this time.

## **7. Santa Helena Neighborhood Trail**

**Summary:** The paved area on Santa Helena, north of Sun Valley Road, is approximately 64 feet wide. At least 20 feet of the paved area could be converted into a roadside linear park. The proposed project would reduce the pavement width on Santa Helena, from Sun Valley Road to the trail head at the San Elijo Lagoon and use the additional space for traffic calming improvements and a neighborhood trail. A focus group meeting was held with representatives from several local HOAs, community members and BikeWalkSolana to discuss the proposed project design and receive feedback. The Conceptual Design was presented to City Council in March 2020, and a consultant contract was awarded in July 2021. In October 2021, Staff conducted a community meeting to present the design and seek additional community input.

To expedite traffic calming at the Santa Helena/Santa Victoria intersection (east of Solana Vista School) and implement Safe Routes to School recommendations sooner the project implementation was broken in phases. The first phase of construction will exclude all landscaping, irrigation and work north of Santa Victoria, and implement the recommendations contained in the CATS and Safe Routes to School studies. The second



phase which will be started in FY 2024/25, will include continued outreach to adjacent neighborhoods and completion of the construction level plans and pursuit of additional funding opportunities.

**FY 2024/25 Actions:**

- A. Conduct Community Engagement.
- B. Perform final engineering for Phase 1 improvements.
- C. Perform Environmental Clearance.

**Summary of Budgetary Projections for FY 2024/25:** The Phase 1 construction is estimated at \$450,000 for FY 2024/25 which would reduce the roadway width of Santa Helena, from Sun Valley Road to Santa Victoria (east) by the placement of concrete curb and gutter approximately 40 feet east of the existing westerly curb. Other improvements include the creation of an asphalt path on the east side by utilizing the existing asphalt pavement and curb/gutter and curb popouts and crosswalks at the Santa Helena/Santa Victoria (east) intersection.

## **8. City Hall Deferred Maintenance**

**Summary:** During FY 2023/24, significant improvements were made to City Council Chambers and the City Hall was repaired and repainted. During this work it was determined that further weather sealant work was necessary to address leaking that had been ongoing during significant rain events. This project was completed in May 2024. The projects identified for FY 2024/25 would include replacement of the floor drains in all restrooms, repairs to the parking lot, replacement of two (2) A/C units and associated duct work, and mechanical upgrades to elevator equipment.

**FY 2024/25 Actions:**

- A. Replace the floor drains/floor tiles for the men's and women's public restroom near Council Chambers and the women's employee restroom near the back door.
- B. Upgrades to the elevator mechanical room.
- C. Parking lot repairs.
- D. Replace two A/C units and corresponding duct work to provide for interior energy efficiency as part of window retrofit work that could allow for windows that could be opened for natural ventilation.

**Summary of Budgetary Projections for FY 2024/25:** The \$100,000 allocated in FY 2023/24 for the upgrades to the elevator were not utilized and need to be reallocated to FY 2024/25. An additional \$100,000 is required for FY 2024/25 for the restroom improvements (\$35,000), the parking lot repairs (\$30,000), and the A/C and duct work replacement (\$35,000).



## 9. Fletcher Cove Improvements

**Summary:** The proposed Fletcher Cove Improvements consist of the replacement of the beach access ramp, the dissipator grate at the bottom of the ramp, and improvements to the shower area, including the drainage and expansion of number of shower heads. The ramp replacement includes replacing the concrete ramp, the asphalt concrete walkway immediately south of the ramp, the concrete curb and the metal handrailing. As part of that project, the dissipator grate would be also replaced. The existing dissipator grate was installed in approximately 1998, as part of the NCTD train station project and associated drainage work. Due to the ocean weather and salt water, the dissipator grate is corroding and needs to be replaced. A Coastal Development Permit waiver from the California Coastal Commission was obtained in November 2023 for replacement of the dissipator grate and associated beach access ramp improvements. Council has also directed the City Manager to work with the City Engineer to install additional shower heads if possible (as part of the shower drainage system repairs) to address the back-up of users that often occurs from rinsing off at the top of the ramp.

### **FY 2024/25 Actions:**

- A. Engage the Public and Public Arts Commission (PAC) to solicit design ideas for the replacement dissipator grate.
- B. Identify costs for grate replacement for incorporation into the construction project of the beach access ramp.
- C. Repair outdoor shower plumbing and include the installation of additional foot showers adjacent to the existing outdoor shower.
- D. Construct the comprehensive Fletcher Cove Improvement Project to include the above components as determined to be appropriate and feasible.

**Summary of Budgetary Projections for FY 2024/25:** The repairs to the access ramp and replacement of the dissipator and additional shower improvements are estimated to cost \$250,000. There is \$190,000 available which was included in FY 2023/24 CIP budget.

## 10. Replacement of Emergency Generator at Fire Station

**Summary:** The existing generator at the fire station is approximately 28 years old and was installed when the fire station was constructed in 1991. Due to the age of the existing generator, the permit with the Air Pollution Control Board only allows for the operation of the generator up to 20 hours per year in non-emergency situations during testing and maintenance. As part of the design study, the operational needs of the building were evaluated to determine the size of the generator required. The electrical switchgear was also evaluated to determine if upgrades were necessary.



**FY 2024/25 Actions:**

- A. Obtain permits from Air Pollution Control District (APCD).
- B. Research public safety grant opportunities and evaluate funding options for purchase of emergency generator.
- C. Advertise and construct project.

**Summary of Budgetary Projections for FY 2024/25:** The cost to complete the design of the generator replacement is approximately \$40,000. The purchase and installation of a new generator is estimated to cost approximately \$250,000. The actual cost for this project will be determined after the project is advertised for bids. There is \$250,000 available which was included in FY 2023/24 CIP budget.

## 11. Highway 101 Pedestrian Crossing (San Elijo Lagoon Trail Connection)

**Summary:** With the installation of the pedestrian tunnel underneath the railroad track near the north end of the City, Staff has been investigating the installation of a pedestrian crossing across Highway 101 in the vicinity of the pedestrian tunnel and Cardiff/Seaside State Beach. Since a tunnel under Highway 101 or a bridge over Highway 101 were determined to be economically infeasible, Staff continues to work with a traffic engineering firm and Staff at the City of Encinitas to develop an at grade crossing option. A conceptual design was presented to the City Council in March 2024, and Staff was directed to continue to work on the design to integrate input received.

This project will likely require several actions to obtain funding and implement construction that may not all be completed within this fiscal year due to the complexity and multi-jurisdictional nature of the project. This includes environmental and engineering studies, municipal permits, and a Coastal Development Permit (CDP).

**FY 2024/25 Actions:**

- A. Continue to work with Encinitas on traffic calming measures and good transitions leading into and exiting City limits.
- B. Continue to explore the extension of the CRT north to the City limits in conjunction with the proposed pedestrian crossing.
- C. Develop design and construction plans, specifications and estimate (PS&E) for project applications and grant funding opportunities.
- D. Pursue cost-sharing agreement with City of Encinitas.
- E. Obtain CEQA clearance.
- F. Obtain Coastal Development Permit/Exemption from the Coastal Commission.

**Summary of Budgetary Projections for FY 2024/25:** Construction costs are unknown and would be determined once an at-grade crossing option is selected. The cost for preparation



of Plans, Specifications and Estimate (PS&E) for the at grade crossing is estimated at \$45,000.

## 12. Glenmont Pocket Park

**Summary:** The City has been working with Santa Fe Irrigation District (SFID) to explore the possibility of the development of a park along Glenmont Avenue adjacent to the SFID reservoir. The City has initiated discussions with SFID to create an agreement and a timeline for the development of a future park at this location. The site is presently used by SFID as a construction staging and laydown yard for the recently completed water pipeline upgrade project. The City has been informed that it will also be needed for a near-term project to repair and/or replace the existing tank roof, and conduct other seismic and system retrofits. The SFID is currently conducting a study of the scope and timeline for that reservoir repair work, which is anticipated to be completed early 2025. At that time, the City will be able to create a timeline for design, funding, bid, and construction. In the meantime, the City has already begun doing some conceptual design work to create a harmonious, functional, and aesthetic park environment that integrates into the surrounding community character and fosters community engagement. Future fiscal year work will include city and CCC permitting, construction RFP and bid process, and construction.

### **FY 2024/25 Actions:**

- A. Work with the community to receive project feedback on design and prepare a preliminary project timeline and conceptual design.
- B. Enter into an agreement with Santa Fe Irrigation District.

**Summary of Budgetary Projections for FY 2024/25:** It is estimated that the conceptual design and public outreach would cost approximately \$10,000, and the estimated cost for preparation of construction plans including landscaping and irrigation plans is \$65,000. Additional funding will be required for future fiscal years for construction; a construction cost estimate will be provided after the project is designed. There is \$350,000 available which was included in FY 2023/24 CIP budget.

## 13. Traffic Signal Upgrades

**Summary:** The City has 16 signalized intersections, that are maintained by Yunex. The City's traffic engineering consultant, STC Traffic, performed a citywide traffic signal assessment and made recommendations to maintain and improve the efficient and effective operation of the traffic signal systems. The first phase of improvements is to replace obsolete, damaged, and worn equipment, with a future phase to comprehensively upgrade and modernize the City's system and equipment. The final component in the Phase I improvements is to replace a traffic signal controller cabinet at the Lomas Santa Fe/Solana Hills intersection. Additional smaller improvements and enhancements, including lead pedestrian intervals and bike signals, are completed based on public input, traffic enforcement, and other relevant safety data. The Phase II comprehensive system improvement will require significant costs and a master plan based on priority components and upgrades.



#### **FY 2024/25 Actions:**

- A. Replace the signal control cabinet at Lomas Santa Fe/Solana Hills intersection.
- B. Explore alternate signalization for turning movements along Lomas Santa Fe.
- C. Research installation of leading walk signals on all traffic signals along Steven's Avenue.
- D. Prepare a master plan for comprehensive system improvements as recommended in the citywide assessment.

**Summary of Budgetary Projections for FY 2024/25:** The completion of the Phase I and additional ancillary signal improvements as needed to improve circulation FY 2023/2024 appropriated \$114,000. Most of phase one improvements have been completed. Approximately \$45,000 is left in the budget which should be enough to complete phase one during FY 2024/25. Phase II, it is much more comprehensive, and Staff will be evaluating various elements of improvements and will provide priority projects and corresponding cost estimates consistent with the City's traffic signal master plan.

## **14. Fletcher Cove Community Park and El Viento Pocket Park Trail Upgrade.**

**Summary:** The existing trail system in both locations are subject to significant erosion during storm events. This project would convert the existing D.G trail pathways into a more stable semi-pervious surfacing that can withstand high-precipitation storm events, and is ADA compliant.

#### **FY 2024/25 Actions:**

- A. Develop a set of design plans, specifications, and cost estimate (PS&E) for both sites.
- B. Conduct bid process and complete construction.

**Summary of Budgetary Projections for FY 2024/25:** The preliminary cost for both sites is estimated at \$200,000, which was included in the FY 2023/24 CIP Budget.

## **15. South Sierra/South Acacia Parkway Improvements**

**Summary:** This project will enhance the existing parkway along South Sierra/South Acacia adjacent to the Distillery Parking Lot by widening the sidewalk and installing street trees and grates.

#### **FY 2024/25 Actions:**

- A. Complete design and develop a set of design plans, specifications, and cost estimate (PS&E).
- B. Conduct bid process and complete construction and installation.



**Summary of Budgetary Projections for FY 2024/25:** The project is estimated to cost \$80,000.

## 16. Highway 101 Tree Grate Replacement

**Summary:** The decorative tree grates were installed as part of the Highway 101 Westside Improvement Project back in 2011. Because of normal wear and tear, the tree grates are starting to deteriorate. This project will replace the existing, deteriorating tree grates along the west side of Highway 101.

**FY 2024/25 Actions:**

- A. Replace tree grates along Highway 101, considering new materials to extend the lifespan and bulk purchase for greater cost efficiency; however, ongoing replacement should continue to take place to address damaged grates as necessary.
- B. The number of tree grates to be replaced in future years will be determined based on the success of the initial project.

**Summary of Budgetary Projections for FY 2024/25:** Project is estimated to cost \$25,000 for the replacement of the initial 5 grates.

## 17. Glencrest Sidewalk Improvements

**Summary:** This project will construct concrete curbs, gutters and sidewalks along both sides of Glencrest Drive from Lomas Santa Fe to Dell Street. This project is identified as a high priority project in both the Safe Routes to School and CATS programs.

The City will develop concept plans that minimize impacts to the private improvements that are encroaching into the public right of way. The intent of this project is to provide safe pedestrian facilities while respecting private improvements and residential parking to the extent feasible without acquiring additional right of way.

**FY 2024/25 Actions:**

- A. Develop concept plans based on feedback received at the May 22, 2024 City Council meeting.
- B. Update City Council.
- C. Conduct community outreach.
- D. Develop PS&E package.
- E. Advertise for bids.
- F. Complete construction

**Summary of Budgetary Projections for FY 2024/25:** Preliminary tasks will be performed by in-house Staff. Construction costs will be developed during the final design phase. There is \$75,000 available which was included in the FY 2023/24 CIP Budget.



## 18. Major Storm Drain System Improvement Projects

**Summary:** There are a number of storm drain systems throughout the City that are in need of improvements/upgrades. This project provides ongoing priority ranking, design and construction of city-wide storm drain system improvements based on available funding. A project was completed in FY 2023/24 to line and replace several Corrugated Metal Pipes that were in the worst condition.

**FY 2024/25 Actions:**

- A. Identify priority projects to continue to improve storm drain infrastructure throughout the City.
- B. Complete design and conduct public bidding process for major projects.
- C. Construct improvements.

**Summary of Budgetary Projections for FY 2024/25:** Estimated total cost of \$450,000 for storm drain improvements in Fiscal Year 2024/25, which is identified in the Adopted Budget.

## 19. Cliff Street Comprehensive Improvements

**Summary:** Cliff Street runs generally east to west, with a steep grade trending up, starting at N. Cedros Avenue. Presently, Cliff Street is paved with asphalt/concrete (a/c), and has no sidewalk, intermittent a/c berms, and a variety of materials along the shoulder used primarily for parking. There is presently no underground drainage system, and precipitation and other runoff occurs from east to west, carrying sedimentation during storm events. City Council has requested that the City Engineer look into possible designs for improved pedestrian access along Cliff Street. As part of this review, it is a good Engineering practice to review possible drainage improvements to address runoff and erosion along this street. City Staff will evaluate the limitations and challenges with respect to existing private improvements encroaching into the right of way, co-alignment for drainage improvement, and possible design solutions for consideration by the City Council.

**FY 2024/25 Actions:**

- A. Develop an opportunities and constraints analysis for Cliff Street for both pedestrian access, such as a walkway, and drainage.
- B. Conduct engagement with residents and nearby businesses and schools on use and possible design ideas.

**Summary of Budgetary Projections for FY 2024/25:** Preliminary tasks will be performed by in-house Staff. A field survey and development of an opportunities and constraints memo will be performed by the City's on-call consultants for approximately \$15,000.



# ORGANIZATIONAL EFFECTIVENESS

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## A. STAFFING AND OPERATIONAL

### 1. Staff Engagement and Effectiveness

**Summary:** The Staff in the City of Solana Beach are the backbone of operations and essential for delivering vital services to our residents. Recognizing their expertise, individualism and role fosters a strong, Staff-focused workplace. The cornerstone to the success of our city lies in prioritizing their well-being, growth, and recognition as key drivers of community success. Creating a highly supportive municipal work environment should include Staff engagement aimed at empowering employees, supporting professional growth, and maximizing skills that contribute to organizational success. This can be realized through a consistent and fair approach to hiring that ensures inclusiveness, transparency and internal promotional opportunities.

**FY 2024/25 Actions:**

- A. Create programs that implement an “open-door policy” where employees can share their ideas, concerns, and suggestions for continuous improvement of the City as workplace and community.
- B. Identify opportunities as part of the annual review process for Staff to pursue certifications, attend workshops, and participate in ongoing training and development opportunities to enhance employees' skills and knowledge.
- C. Conduct mandatory training for all (100%) permanent City employees focused on promoting accountability, transparency, and ethical standards.
- D. Conduct annual performance reviews and regular feedback sessions to provide employees with opportunities for growth and improvement.

**Summary of Budgetary Projections for FY 2024/25:** These actions can be completed with City Staff time.

### 2. Promote a Diverse and Inclusive Work Environment

**Summary:** Recognizing the evolving social and political landscape, organizations are actively working towards fostering diversity, equity, and inclusion within their ranks. Research indicates that beyond legal and moral imperatives, diversity and inclusion offer substantial competitive advantages. The City is committed to nurturing an inclusive workplace culture, emphasizing employee engagement to bolster professional advancement, development, and retention. These objectives are communicated



transparently to Staff and the Council, with progress assessed through key performance indicators that track trends within the City and across the broader region. By incorporating these actions, the City can actively promote and cultivate a more diverse, equitable, and inclusive workplace environment.

#### **FY 2024/25 Actions:**

- A. Implement regular diversity training sessions and workshops for all Staff members to raise awareness and promote understanding of diverse perspectives, cultures, and identities.
- B. Review and update City policies and procedures to ensure they are inclusive and supportive of all employees, regardless of their background or identity.
- C. Collaborate with local community organizations and advocacy groups to foster partnerships and initiatives that promote diversity and inclusion both within the City workforce and the broader community.

**Summary of Budgetary Projections for FY 2024/25:** These actions can be completed with City Staff time; additional funding may be necessary to bring in outside speakers or forms of DEI workshops for City Staff.

### **3. Implement Performance Measurement Program**

**Summary:** Implementing a performance measurement program involves establishing a systematic approach to evaluate and track the effectiveness and efficiency of the City. By measuring the current activities areas for improvement can be identified. The City can work with the employees to make adjustments in programs, policies and practices that can result in a better workplace environment, with improved organizational productivity and with optimal customer service.

#### **FY 2024/25 Actions:**

- A. Complete analysis of FY 2023/2024 performance measures and report results and action plan to City Council in the FY 2024/2025 Budget.
- B. Identify relevant Key Performance Indicators (KPIs) that align with City Council goals and ensure both customer service and a positive workplace experience are maintained.
- C. Identify appropriate community survey tool(s) to evaluate customer satisfaction that match with the performance measurement goals.
- D. Recognize/Evaluate existing Committees/Commissions and un-official Committees/Commissions and develop performance measures and/or guidelines for these designees.

**Summary of Budgetary Projections for FY 2024/25:** These actions can be completed with City Staff time.



## 4. Social Media

**Summary:** The City continues to successfully utilize social media to engage the community by sending information regarding City activities, news and events through Instagram, Facebook and other platforms. There will be a concentrated effort to increase social media presence of City programs, events and initiatives, specifically with the City of Kindness Initiative. Social media accounts are used to better focus on new and special events, and important information that the community should be aware of such as specific programs like the Junior Lifeguard Program, Summer Day Camp Program, and various Special Events hosted by the City. By incorporating the following actions the City can effectively leverage social media as a tool for engaging the community and promoting City programs, events, and initiatives.

**FY 2024/25 Actions:**

- A. Continue to increase community engagement by growing the City's social media accounts and providing useful and community focused information and posts.
- B. Provide training for City Staff to ensure social media accounts are managed responsibly and content is appropriate and reflective of the City.
- C. Regularly monitor social media channels for comments, messages, and mentions to ensure information is consistent with City-driven information.
- D. Create partnerships with local businesses and organizations to amplify the reach of City messages and events on social media.
- E. If possible, track key metrics such as reach and engagement to measure the effectiveness of social media efforts and to inform future communication to residents and businesses.
- F. Evaluate the effectiveness of current social media strategies and make adjustments as necessary to better align with community interests and engagement goals.

**Summary of Budgetary Projections for FY 2024/25:** Most of the social media tasks are completed by City Staff. The City does pay approximately \$80 a month for the Constant Contact notification system.

## 5. Cyber Security Expansion- Awareness Training, Business Continuity & Disaster Recovery

**Summary:** The City's current Cyber Security Awareness Initiative is in need of growth to increase protection across the City's technology infrastructure. With the deployment of new technologies in place, it is recommended the City continue ongoing tasks related to information security awareness, along with continued reinforcement of information systems processes and procedures. Staff will continue to implement enhanced cybersecurity training tactics in the form of fake malicious e-mails and set up necessary training to increase Staff awareness.



**FY 2024/25 Actions:**

- A. Budget for software and infrastructure costs for cybersecurity operations system.
- B. Continually refine Disaster Recovery/Business Continuity plan as systems develop.

**Summary of Budgetary Projections for FY 2024/25:** Direct cost related to Cybersecurity is estimated at \$25,000. These costs are included within the budget of other asset acquisitions in the IT budget: Security Operations Center deployment, Firewall hardware and licensing, local and cloud data system backups, Staff training software, Network Operations Center monitoring and reporting for servers, intrusion detection software for servers, and server network hardware upgrades.

## 6. Unified Communications

**Summary:** The City's current communications infrastructure is in need of unification and continued growth to increase productivity for Staff and accessibility from both Staff and the public. Currently, all City buildings are in the process of obtaining fiber optic connection points, allowing us to put in place necessary unified communication infrastructure.

**FY 2024/25 Actions:**

- A. Migrate the phone lines to an internet system.
- B. Integrate Office 365 application Teams with Staff phone system to increase accessibility for Staff.
- C. Continue to deploy public Wi-Fi expansion at City facilities, parks and beaches.

**Summary of Budgetary Projections for FY 2024/25:** Staff are currently researching potential costs dependent on which upgrade path is chosen for the Council Chambers. A phased approach will be brought to Council for consideration and funding.



## B. City Initiatives

### 1. City of Kindness Coalition

**Summary:** The City of Kindness is a coalition of organizations dedicated to inspiring and promoting kindness worldwide. This initiative aims to effect meaningful change among schools, professionals, young people, elected officials, and companies. It is a project of the Social Impact Fund, a non-profit public charity that supports efforts to advance social good and make a positive difference globally.

Mayors across the country have united to encourage the nation to adopt a culture of kindness in our cities, businesses, and schools through acts of kindness. Solana Beach is officially a part of this coalition, and our Staff will continue to collaborate with the community group to promote the program and assist with events regularly. We will integrate these activities into City events and programming to foster a kinder and more inclusive community. By working together, we can create an environment where kindness thrives, benefiting everyone in our city.

**FY 2024/25 Actions:**

- A. Conduct an RFP for banners with themes to implement the City of Kindness programs.
- B. Encourage acts of kindness throughout the community and submittal of observed acts of kindness to the Kindness Counter link on the City's website.
- C. Host monthly outreach events for residents of all ages to come together and create and decorate rocks with positive messages of kindness and encouragement.

**Summary of Budgetary Projections for FY 2024/25:** These actions can be completed with City Staff time.

### 2. Age Friendly Communities Action Plan

**Summary:** The City acknowledges the importance of addressing the needs of its aging population, which is one of the oldest in San Diego County. In partnership with the San Diego Foundation, the American Association of Retired Persons (AARP), and San Diego State University, the City has embraced the Age-Friendly Communities Program. This initiative seeks to create more livable environments for residents of all ages and abilities by promoting programs and system-level changes.

The Age-Friendly Solana Beach Action Plan, adopted by the City Council on March 22, 2023, outlines strategies to address various needs of older adults, including transportation, housing, outdoor spaces and buildings, community support and health services, respect and social inclusion, communication and information, social participation, and civic participation and enjoyment.



Moving forward, City Staff will continue to implement programs and policies outlined in the adopted Age-Friendly Action Plan. Solana Beach remains committed to fostering an inclusive and supportive community where residents of all ages can thrive.

### **FY 2024/25 Actions:**

- A. Implement circulator or shuttle services specifically tailored to meet the transportation needs of seniors, providing convenient access to essential services and amenities.
- B. Continue to coordinate with other local service providers, including Solana Beach Community Connections, Solana Beach Presbyterian Church, the County Library, etc. to maximize programs and services for the senior community.
- C. Work with youth organizations such as the Solana Beach Unified School District and San Dieguito Boys & Girls Club, to develop a program that pairs youth with senior residents to provide companionship, friendship, and mentoring/tutoring opportunities that reflect both the City of Kindness initiative and the Age-Friendly Action Plan
- D. Increase community-based senior health and wellness programs and activities, including exercise classes, health screenings, and support groups tailored to the needs of older adults.
- E. Within capital projects or facility improvement, include designs that promote accessibility and walkability for persons of all abilities.
- F. Identify funding for fixed- and low-income senior homeowners to retrofit their properties with age-friendly features such as grab bars, wheelchair ramps, and non-slip flooring.

**Summary of Budgetary Projections for FY 2024/25:** Costs for implementing a circulator service will be developed through further engagement and funding opportunities, and will be brought before the Council for consideration mid-year. City Staff will explore partnerships to maximize senior programs and services including utilizing City facilities. However, increased programs and services may require more investment from the City, which will be brought to Council for consideration before implementation.

## **3. The Mayors' Monarch Pledge**

**Summary:** The monarch butterfly, an iconic species, has seen a dramatic decline in its populations, with eastern populations decreasing by 90% and western populations by 99% in recent years. To combat this decline, the City of Solana Beach has joined the National Wildlife Federation's (NWF) Mayors' Monarch Pledge. This initiative encourages U.S. cities, municipalities, and communities to create habitats for the monarch butterfly and other pollinators, and to educate residents on how they can contribute to these efforts at home and within their communities.

By taking the Mayors' Monarch Pledge, mayors must commit to implementing at least three of the 30 action items listed on the NWF website ([nwf.org/MayorsMonarchPledge](https://nwf.org/MayorsMonarchPledge)) each year they participate. At least one of these actions must come from the "Program & Demonstration Gardens" section. Mayors who complete eight or more actions are



recognized as part of the National Wildlife Federation's Mayors' Monarch Pledge Leadership Circle, and those who complete 24 or more actions are honored as Monarch Champions.

The City of Solana Beach first committed to the pledge for the 2021 program year and has renewed its pledge for the 2022, 2023, and 2024 program years. The City is actively involved in this initiative by implementing various action items, such as establishing demonstration gardens, hosting educational events, and planting milkweed and pollinator-friendly native nectar plants. Furthermore, the City reports its progress annually, detailing the engagement activities, the number of participants, and the specifics of the planted areas to track and promote the success of these conservation efforts.

#### **FY 2024/25 Actions:**

- A. Continue to engage with the SeaWeeders and other partners to support monarch butterfly conservation and plant native milkweeds and nectar-producing plants in locations like the Coastal Rail Trail, at the La Colonia Community Center, and other City-owned properties.
- B. Add or maintain native milkweed and nectar producing plants in community gardens and at the El Jardin de los Ninos at the La Colonia Community Center.
- C. Add native milkweed and nectar producing plans at new City projects, including the future Glenmont Park.
- D. Prepare annual report about progress on the above three actions including statistics on numbers of plants purchased or planted per the Mayors' Monarch Pledge guidelines.

**Summary of Budgetary Projections for FY 2024/25:** Staff time, maintenance cost for plants, and any costs for new plants purchased by the City (around \$1,000/annually).

## **4. San Diego Regional Climate Collaborative**

**Summary:** The San Diego Regional Climate Collaborative is a network of public agencies, nonprofits, businesses, and academia working together to advance climate change solutions and promote sustainability across the San Diego region. By fostering collaboration and information sharing, the Collaborative aims to enhance regional efforts in climate protection, resilience, and sustainability.

The City of Solana Beach has been an active participant in the San Diego Regional Climate Collaborative, engaging in various initiatives to advance sustainability and climate resilience. Over the years, the City has collaborated with other member jurisdictions to share best practices, develop and implement climate action plans, and participate in regional projects focused on reducing greenhouse gas emissions and enhancing climate resilience. Notable achievements include the successful implementation of waste minimization programs, efforts to protect and restore healthy ecosystems, and initiatives to improve water quality and efficiency. Through its ongoing participation, the City continues to demonstrate leadership in promoting sustainability and addressing climate change at the regional level.



**FY 2024/25 Actions:**

- A. Renew the City membership and attend the San Diego Regional Climate Collaborative meetings and sponsored events.

**Summary of Budgetary Projections for FY 2024/25:** Participation in SDRCC meetings and events will be limited to Staff time. If sponsorship or other opportunities are presented, additional budget authorizations will be consistent with City policy.



# ENVIRONMENTAL SUSTAINABILITY

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## A. Policy Development

### 1. Climate Action Plan Update

**Summary:** The City has made considerable progress on many measures identified in the Climate Action Plan (CAP) which was adopted in July 2017. Major highlights include the establishment of a regional Community Choice Aggregation (CCA) program; the adoption of a reach code ordinance to increase Electric Vehicle (EV) infrastructure; and implementation of Senate Bill 1383 which will curtail methane emissions from landfills. According to the latest GHG Inventory completed for 2018 by the San Diego Association of Governments (SANDAG) in conjunction with the Energy Policy Initiatives Center (EPIC), emissions in the City have dropped approximately 40% below the levels first measured in 2010.

In 2022, the City began a CAP Update process, which is anticipated to be adopted by Council by Fall 2024. The CAP Update will build on the 2017 adopted CAP and incorporate new technologies and trends that have come on the market since 2017, gather the latest best scientific practices, and capitalize on regional knowledge and coalition groups to implement the CAP Update (once adopted, anticipated Fall 2024).

Implementation of the policies, strategies, and actions within the Climate Action Plan Update should be prioritized for continued reductions in greenhouse gas emissions and resiliency projects to address and/or mitigate the effects of climate change. Among those actions to be prioritized in the CAP Update for the next fiscal year are a Building Performance Standard (Reach Code), publicly accessible electric vehicle charging infrastructure, and public facility decarbonization plan (solar and micro-grid projects). Please refer to the Climate Action Plan for more details on specific policies and key implementation actions.

**FY 2024/25 Actions:**

- A. Bring forward an update to the Climate Action Plan for consideration by the City Council.
- B. Upon adoption of the CAP Update, implement priority actions as outlined in the CAP Update Implementation Matrix.

**Summary of Budgetary Projections for FY 2024/25:** The contract with EPIC/Ascent is for \$100,000 to complete the CAP update. This funding is currently allocated in the FY 2023/24 Adopted Budget. Additional cost analysis will be conducted on the CAP Update for implementation of the CAP Update in FY 2024/25. Currently \$56,000 is budgeted for actions adopted in the previous CAP. Additional funding will be considered by the City Council along with the adoption of the CAP Update in FY 2024/25.



## 2. Continued Participation in Clean Energy Alliance (CEA)

**Summary:** The City of Solana Beach has been at the forefront of promoting and establishing a local Community Choice Aggregation (CCA) program. In February 2018, the City Council gave final approval to launch Solana Energy Alliance (SEA), and SEA officially began operations in June 2018, becoming the first CCA in San Diego County. SEA transitioned to the Clean Energy Alliance (CEA) in collaboration with the cities of Carlsbad and Del Mar. CEA currently includes the cities of Carlsbad, Del Mar, Solana Beach, Escondido, San Marcos, Oceanside, and Vista.

For the fiscal year 2024/25, the focus will be on continuing the necessary tasks to wind down SEA and ensure a smooth complete transition to CEA. This includes meeting compliance requirements mandated by the California Public Utilities Commission (CPUC) and working closely with the CEA Board to support the ongoing implementation and success of CEA.

The City of Solana Beach remains proud of its leadership role in launching the first CCA in San Diego County and looks forward to continuing its efforts in promoting sustainable energy solutions through the Clean Energy Alliance.

### **FY 2024/25 Actions:**

- A. Continue working with the selected consultant team (The Energy Authority and Calpine Energy Solutions) to manage the ongoing compliance requirements of SEA that will extend into 2024.
- B. Advocate the potential to increase the baseline RPS of CEA to eventually reach the 100% RPS goal as soon as possible but no later than 2035. CEA has incorporated incremental (~2%) annual increases to the RPS in its Integrated Resource Plan (IRP), as well as the pro forma, to achieve 100% by 2035.
- C. Continue to work with the CEA Board and consultant team to accomplish the necessary tasks to implement and expand CEA in 2024/25.

**Summary of Budgetary Projections for FY 2024/25:** Participation in CEA meetings and events will be limited to Staff time.

## 3. City Facility Energy Efficiency and Decarbonization Upgrades

**Summary:** There is an opportunity for City facilities to lower energy usage through the installation of more energy efficient lighting, HVAC systems, new windows and potentially installing photovoltaics and/or battery storage systems. There are also potentially some funding mechanisms available to fund these sorts of projects.

In consultation with Energy Efficiency consultants, Staff will evaluate energy efficiency upgrade options for City facilities and their initial costs and potential future cost savings. Research funding options for any cost-efficient and energy saving projects. Based on the results of this work, energy efficiency measures could be identified and included in the CAP update.



**FY 2024/25 Actions:**

- A. Draft and issue an RFP for an Energy Efficiency Consultant to evaluate potential energy projects for City facilities.
- B. Select an Energy Efficiency Consultant to develop a plan for projects at City facilities.
- C. Research opportunities for the City to enter into Power Purchase Agreements (PPAs) and obtain funding for Microgrids at City facilities.
- D. Pursue the design and installation of operable windows at City Hall.

**Summary of Budgetary Projections for FY 2024/25:** Total costs unknown and would be determined after identifying the scope of the project.



# FISCAL SUSTAINABILITY

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## A. Economic Development

### 1. North County Transit District (NCTD) Property Planning & Related Issues

**Summary:** The North County Transit District (NCTD) is the landowner for the property that includes the Solana Beach Train Station. This property has been explored for development over the last couple decades with a number of initiated solicitations for proposal. In December 2014, NCTD issued a Request for Proposals (RFP) and received four development proposals. The responses to this RFP were evaluated by a NCTD Selection Committee with local representation and a selected Development Team was recommended to the NCTD Board. In 2017, NCTD entered into an Exclusive Negotiation Agreement (ENA) with the selected developer and a pre-application review was completed by Community Development Staff on December 21, 2017. Due to several factors, NCTD terminated the ENA in 2018.

The City continues to meet with NCTD on the planning and public agency use and/or development of the NCTD site and related public parking. The City has presented interest to develop all or a portion of the property to NCTD.

**FY 2024/25 Actions:**

- A. Continue to work with NCTD to explore future development of the property for public agency use and/or development, including land and development cost appraisals.

**Summary of Budgetary Projections for FY 2024/25:** Future costs for planning and development are unknown at this time.



## **B. Facility Asset Management**

### **1. Facilities/Asset Replacement Master Plan**

**Summary:** The purpose of the facilities/asset replacement master plan was to identify costs and funding for the replacement and/or renovation of City facilities and assets, including buildings, beach stairs, and the Lomas Santa Fe bridge, and other things such as vehicles and equipment.

The City completed a condition assessment and associated costs for all City facilities. Starting in FY 2014/15 through FY 2024/25, Council has authorized a total of \$2,371,000 for this Master Plan. The FY 2024/25 objective is to keep funding this Master Plan and completing necessary maintenance projects at City facilities.

**FY 2024/25 Actions:**

- A. Update City facility/asset inventory list on an annual basis.
- B. Prioritize maintenance and replacement costs.
- C. Continue funding this item on an annual basis. Funding will be based on a formula applied to the Internal Service Fund Charge equal to 50% of the annual depreciation value of vehicles & equipment and building & improvement assets for the prior fiscal year end.
- D. Begin funding a Facility/Asset Reserve within the Sanitation Enterprise Fund using the same methodology of a transfer into the reserve equal to 50% of the annual depreciation value of vehicles & equipment and building & infrastructure assets for the prior fiscal year end.

**Summary of Budgetary Projections for FY 2024/25:** The costs to fund facility and asset replacement are significant. For the Asset Replacement Fund the allocation for FY2024/25 is \$298,550 and for the Facilities Replacement Fund it is \$100,600. For the Sanitation Enterprise Fund Facility/Asset Replacement reserve, the allocation for FY 2024/25 is \$650,000.



## **C. CalPERS Future Liability**

### **1. Proactively Pursue Measures to Reduce CalPERS Future Liabilities**

**Summary:** Council established a PARS Pension Trust Fund in FY 2015/16 to fund Pension liabilities and has appropriated a total of \$4,430,559 for unfunded pension liabilities through FY 2023/24. Including contributions and investment earnings, the pension liabilities fund had an account balance of \$5,318,450.38 as of December 31, 2023. The purpose of the establishment of this Trust would be to pay down the CalPERS unfunded future liability quicker and provide less volatility which would lower the overall costs to the City.

**FY 2024/25 Actions:**

- A. Continue funding the PARS Trust Fund in FY 2024/25.
- B. Consider the development of a Council Pension Funding Policy to address the City's long-term pension obligations.

**Summary of Budgetary Projections for FY 2024/25:** Staff will request 35% of the fiscal year end surplus be deposited into the PARS Pension Trust Fund.



## D. OPEB Future Liability

### 1. Proactively Pursue Measures to Reduce Other Post-Employment Benefits (OPEB) Future Liabilities

**Summary:** Council established and is funding a PARS Post-Employment Benefits Trust Fund in FY 2015/16 to fund Other Post-Employment (Health) Benefits (OPEB) liabilities and has appropriated a total of \$1,358,681 for unfunded OPEB liabilities through FY 2023/24. Including contributions and investment earnings, the OPEB liabilities funds had an account balance of \$1,510,123.17 as of December 31, 2023. The purpose of the establishment of this Trust would be to establish a long-term reserve to pay down the OPEB unfunded future liability quicker and provide less volatility which would lower the overall costs to the City.

Council approved as part of the FY's, 2018/19 through 2024/25 adopted budgets an amount for the City's OPEB obligation. These amounts were equal to the actuarially determined contribution (ADC) for the fiscal years as determined by Bartel Associates, LLC. The ADC includes annual pay-as-you-go benefit payments for retirees and PEMCHA administrative costs with the balance of the ADC being sent to the PARS Trust Fund for OPEB.

Establishing this funding mechanism in the adopted budgets resulted in a reduction in the City's OPEB net liability by \$2,214,197 from \$4,454,874 in FY 2017/18, to \$2,240,677 on June 30<sup>th</sup>, 2023 . Staff will continue to fund an on-going budget line item equal to the ADC as determined by the OPEB actuarial valuation to address the City's OPEB liability obligation.

**FY 2024/25 Actions:**

- A. Continue funding the PARS Trust Fund in future Fiscal Years pursuant to Council direction.

**Summary of Budgetary Projections for FY 2024/25:** \$115,000 is included in the FY 2024/25 budget.



## **ONGOING PRIORITIES & MONITORING**

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The City has completed a number of integral capital projects and programs over the last fiscal year that are of priority to the City and require monitoring and/or reporting on a regular basis. Additionally, there are a number of areas that as funding arises, or new programs, policies, or legislation are proposed, the City Council has identified a need to prioritize action and responsiveness. The following is a list of ongoing priorities for the City:

### **Housing and Homelessness:**

- A. Identify/pursue outside funding opportunities for development of lower and moderate-income housing.
- B. Evaluate potential to convert existing buildings to affordable housing.
- C. Explore partnerships with developers to fund units within City-initiated housing projects, when feasible.
- D. Support regional efforts and outreach to address opioid crisis, drug overdose (including prescription drugs) and homelessness problems.

### **Coastal and Environmental:**

- A. Coordinate with the City of Encinitas, USACE, and State Parks on Sand Replenishment Post-Construction Monitoring and Reporting.
- B. Coordinate with SANDAG on regional shoreline monitoring, other coastal projects and Regional Beach Sand Project III.
- C. Continued coordination of efforts with key parties including local, regional, State and federal regulatory and governing agencies for beach sand replenishment and retention projects as a key local sea level rise/climate change adaptation strategy.
- D. Continue to identify and implement other SCoup compatible projects in the City.
- E. Monitor parking and access for Annie's Canyon trail and update social media and other information sources to direct users to the Manchester Avenue Park and Ride.
- F. Continue to reach out and educate all food generators who must comply with the requirements of SB 1383.
- G. Continue to use the latest available organic and nonchemical pesticides and eliminate any use of rodenticides in City's Parks, rights of ways and public facilities.
- H. Budget for ongoing infrastructure costs after project completion for such things as the replacement of sprinkler heads and other assorted needs.
- I. Support and promote SEJPA and its efforts to develop a potable reuse program.



## **Circulation and Parking:**

- A. Monitor traffic and parking issues in neighborhoods related to beach and trail usage, and fairgrounds activities, as needed.
- B. Explore the implementation of a circulator or alternative solution to expand mobility options for residents and visitors to move throughout the City, thereby reducing congestion and promoting sustainable solutions.
- C. Prepare an annual Pavement Repair program to address City roadways requiring maintenance and repair.
- D. Explore increased funding for maintenance of the Coastal Rail Trail.
- E. Evaluate the development of a sidewalk installation policy.

## **Land Use and Planning:**

- A. Monitor the regional circulation and land use plans, and any specific rail projects that could impact the City residents and businesses either directly or indirectly.
- B. Monitor the development proposal for the North Bluff property on Border Avenue in Del Mar.
- C. Monitor Fairgrounds plans and projects.
- D. Research ADU and affordable ADU incentive programs.
- E. Conduct Short Term Vacation Rental (STVR) Monitoring and Compliance Review.
- F. Continue to work with SDGE to advance remaining Utilities Undergrounding Projects (UUP) toward construction.
- G. Continue to seek out opportunities for a community dog park.

## **City Organizational Effectiveness**

- A. Conduct a Transient Occupancy Tax (TOT) local hotel audit.
- B. Sustain and improve the City's records management plan to ensure efficient and effective access and retention of City records for the purpose of identifying, protecting, and preserving the official history of City actions.
- C. Development of City Donation, Dedication and Memorial Policies.
- D. Identify and prioritize Cybersecurity training modules and implement phishing campaigns with Staff to test and correct, if needed, response to cyber threats.





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Engineering Department, Mo Sammak, Public Works Director/City Engineer  
**SUBJECT:** **City Council Consideration of Resolution 2024-076 Awarding the 2024 Street Maintenance & Repairs Project**

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### **BACKGROUND:**

In 2021, a City-wide pavement condition assessment was performed to determine the most effective way to budget, repair, replace and preserve public street pavements. Based upon this condition assessment report, the consultant that prepared the assessment developed a priority list for the City's pavement repairs and maintenance. This list was used to select street segments for this year's street maintenance and repair program.

At the April 24, 2024, City Council (Council) meeting, the Council approved the list of streets for the Fiscal Year (FY) 2023/24 Street Maintenance and Repairs Project and authorized the City Engineer to advertise for construction bids. The map of the proposed streets to be resurfaced is included as Attachment 2.

In addition to the pavement resurfacing shown on the attached map, this year's project includes the following:

1. Localized pavement repairs (digouts) throughout the City.
2. Repainting faded traffic striping at selected locations.
3. Replacement of damaged sidewalks and cross gutters.
4. Replacement of seven outdated pedestrian ramps.
5. Installation of speed cushions at undetermined locations, if approved under Council policy.

This item is before the City Council to consider adopting Resolution 2024-076 (Attachment 1) awarding a construction contract to Quality Construction & Engineering, the lowest responsive and responsible bidder for the 2024 Street Maintenance & Repairs Project.

CITY COUNCIL ACTION:

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**DISCUSSION:**

The 2024 Street Maintenance & Repairs Project, Bid No. 2024-06, was prepared and advertised for construction bids. The City received four bid proposals for Bid No. 2024-06. On June 11, 2024, at 2:00 p.m., the City Clerk opened the bids. The bids are listed in Table 1 below.

**Table 1: Bid Results**

<b>Contractor</b>	<b>Bid Price</b>
Quality Construction & Engineering	\$ 927,487.60
Eagle Paving Company	\$ 1,046,400.00
Griffith Company	\$ 1,294,409.00
ATP General Engineering Contractors	\$ 1,343,492.00

The bid submitted by Quality Construction & Engineering was found to be complete and responsive to the bid specifications. Quality Construction & Engineering performed the previous street maintenance project and has a valid contractor's license. Staff is recommending that Quality Construction & Engineering be awarded the construction contract. The contract amount is based on the City Engineer's estimated unit quantities and the contractor's bid unit prices. The final cost of the project will be based on field measurements and the actual completed quantities. The contract allows 60 working days (12 weeks) to complete the work. The project is anticipated to be started in August 2024 and be completed in November 2024.

**CEQA COMPLIANCE STATEMENT:**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

**FISCAL IMPACT:**

Project funding will be from the Fiscal Year (FY) 2023/24 Annual Pavement Management Program. The funding includes \$200,000 in Gas Tax Funds, \$210,000 in TransNet Funds, \$300,000 in Road Repair and Accountability Act (SB1) Funds, and \$390,000 in General Funds, for a total budget of \$1,100,000.

In addition to the \$927,487.60 construction contract, Staff is recommending the remaining budget for a construction contingency of \$172,512.40 (approximately 18.6%) for unanticipated changes and additional street repairs, for a total allocated construction budget of \$1,100,000.



**WORK PLAN:**

This project is listed in the FY 2023/24 Work Plan under the Community Character priorities.

**OPTIONS:**

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments/modifications.
- Do not approve Staff recommendations.


**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council consider adoption of Resolution 2024-076:

1. Awarding a construction contract to Quality Construction & Engineering in the amount of \$927,487.60, for the 2024 Street Maintenance & Repairs Project, Bid 2024-06.
2. Approving an amount of \$172,512.40 for construction contingency.
3. Authorizing the City Manager to execute the construction contract on behalf of the City.
4. Authorizing the City Manager to approve cumulative change orders up to the amount of the construction contingency.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-076
2. Map of Proposed Street Resurfacing



## **RESOLUTION 2024-076**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO QUALITY CONSTRUCTION & ENGINEERING FOR THE 2024 STREET MAINTENANCE & REPAIRS PROJECT**

**WHEREAS**, the current Fiscal Year (FY) 2023/24 Capital Improvement Program (CIP) budget includes funding for street maintenance and repairs; and

**WHEREAS**, the Engineering Department utilized a City-wide pavement condition assessment, field reviews and a review of previous street rehabilitation projects to identify the list of streets to be repaired as part of this project; and

**WHEREAS**, on June 11, 2024, four bids for the 2024 Street Maintenance & Repairs Project, Bid No. 2024-06, were received and publicly opened by the City Clerk. At that time, it was determined that Quality Construction & Engineering was the apparent low bidder with a construction estimate of \$927,487.60; and

**WHEREAS**, Staff recommends a construction contingency of approximately 18.6%, in the amount of \$172,512.40, for unanticipated extra work and additional street repairs.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council awards the construction contract to Quality Construction & Engineering, in the amount of \$927,487.60, for the 2024 Street Maintenance & Repairs Project, Bid 2024-06.
3. That the City Council approves an amount of \$172,512.40 for construction contingency.
4. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.



5. That the City Council authorizes the City Manager to approve cumulative change orders up to the amount of the construction contingency.

**PASSED AND ADOPTED** this 26th day of June 2024, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## S REPAINT STRIPING

## VICINITY MAP





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Public Works Department, Mo Sammak Public Works Director/City Engineer  
**SUBJECT:** **City Council Consideration of Resolution 2024-070 Approving a Professional Services Agreement with Sweeping Corporation of America of California, LLC, for Citywide Street Sweeping Services**

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### **BACKGROUND:**

The City's Street Sweeping function is performed by a private service provider. Based on Staff's experience with this service and in discussion with other agencies, all indications are that the cost of services are escalating as the service providers are being consolidated in this industry. In an effort to have a better control on this function and take advantage of the economies of scale, Staff collaborated with other agencies to award a contract for a large project. A Request for Bid (RFB) for street sweeping services was posted in March 2024. Staff collaborated with San Diego County Local Government Agencies to initiate a joint RFB, Bid No. 006-25, aimed at securing better value and cost-effective solutions for street sweeping services. The cities involved in this endeavor are the City of Solana Beach, the City of Del Mar, and the City of El Cajon.

The RFB was posted on an electronic procurement system to solicit bids from private industry service providers. Two bids were received by the April 22, 2024, closing date.

This item is before the City Council for the consideration of Resolution 2024-070 (Attachment 1) authorizing the City Manager to execute a Professional Services Agreement (PSA) with Sweeping Corporation of America of California, LLC, (SCA) for one year and to authorize the City Manager to extend the PSA for four additional one-year terms at the City's discretion, for Citywide Street Sweeping Services.

<b>CITY COUNCIL ACTION:</b>  _____  _____
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## **DISCUSSION:**

Street sweeping is an important program in maintaining the general appearance of the City for residents and those who visit the City. Street sweeping is also a critical element of the City's Best Management Practices (BMP) to aid in reducing the amount of trash and other contaminants that enter the storm drain system.

The City's current program includes sweeping of all City streets once per month and major City streets once per week. The RFB requested line-item costs for the sweeping of all City Streets and for City parking lots. The proposal also solicited a cost for additional "per hour" sweeping for on-call services that may be required after storm events, traffic accidents, bike lane sweeping or scheduled City special events. These as-needed services will also include known areas of high usage that require more sweeping activities. Finally, the City requested that the successful service provider use recycled water during the operation and be equipped to "top load" from the street sweeper directly into a 20-yard dumpster.

The work associated with street sweeping services is not considered a construction project as identified by the California Public Contract Code. As such, the City is able to choose the most suitable firm based on their qualifications. In response to the RFB posted by the three cities (Solana Beach, Del Mar, El Cajon), two bids were received that ranged in cost from \$710,577.19 to \$991,649.57, as shown below in Table 1.

**Table 1: RESULTS FOR 3 CITIES**

<b>Contractor</b>	<b>Total</b>
Sweeping Corporation of America of California, LLC	\$710,577.19
Guardian Street Sweeping	\$991,649.57

The bid entails a 3% increase in the contractor's rates starting from the second fiscal year and continuing for the subsequent four fiscal years. The proposed increase is intended to account for inflationary pressures, rising operational costs, and to maintain the contractor's viability in delivering services effectively.

Staff recommends awarding a Professional Services Agreement to SCA for Citywide Street sweeping services in Fiscal Year (FY) 2024/25 in an amount not to exceed \$99,681 for FY 2024/25 and to increase the annual compensation not to exceed base contract amount by 3% for the four subsequent years. The total cost, including 215 hours for as-needed services for Solana Beach, is shown below in Table 2.



**Table 2: RESULTS FOR SOLANA BEACH**

	City of Solana Beach	Monthly Street Sweeping Curb Mile Rate	Monthly Parking Lots Square Ft. Rate	Total Base Contract	As-Needed Sweeping Services Per Hour Rate	Total As Needed Services	Yearly Total Contract Amount
<b>SCA</b>	FY:2024/2025	90 Miles (\$52 Per Mile)	133,000 SF. (\$0.0010 Per SF.)	\$57,756	Not to Exceed 215 Hours Per Year (\$195 Per Hour)	\$41,925	\$99,681
<b>Guarding Street Sweeping</b>	FY:2024/2025	90 Miles (\$73.74 Per Mile)	133,000 SF. (\$0.0015 Per SF.)	\$81,033.2	Not to Exceed 215 Hours Per Year (\$275 Per Hour)	\$59,125	\$140,158

City Staff gave a thorough evaluation of the two proposals and pertinent documents. Staff has determined that SCA is the most qualified candidate and the best fit to provide street sweeping services for the City of Solana Beach. SCA has been the City's street sweeping service provider since 2021 and Staff has been satisfied with the performance of their work.

SCA is the most qualified company and the best fit for the City due to their responsiveness, accountability, and service delivery. They know the City's streets well, making the learning curve much more manageable. They are committed to providing high customer service with a comprehensive quality assurance/control program. They currently provide similar services for the City of Poway, City of El Cajon, and City of Del Mar.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The FY 2024/25 Adopted Budget has appropriated \$100,000 in the Street Sweeping Budget Unit of the Public Works Operating Budget for the street sweeping agreement. Since the proposal from SCA is for \$99,681, the agreement would be fully funded in the FY 2024/25 Adopted Budget.



**WORK PLAN:**

This project is not identified in the Fiscal Year 2024/25 Work Plan.

**OPTIONS:**

- Approve Staff recommendation.
- Reject Staff recommendation and provide further direction to City Staff.

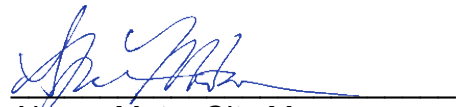
**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2024-070:

1. Authorizing the City Manager to execute a Professional Services Agreement, on behalf of the City, with Sweeping Corporation of America of California, LLC., for Citywide street sweeping services in Fiscal Year 2024/25 in an amount not to exceed \$99,681 for Fiscal Year 2024/25.
2. Authorizing the City Manager to extend the agreement for up to four additional years at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
3. Authorizing the City Manager to increase the annual not to exceed base contract amount by 3% for FY 2025/26, 3% for FY 2026/27, 3% for FY 2027/28, and 3% for FY 2028/29.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

**Attachments:**

1. Resolution 2024-070



## **RESOLUTION 2024-070**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A PROFESSIONAL SERVICES AGREEMENT WITH SWEEPING CORPORATION OF AMERICA OF CALIFORNIA LLC., FOR STREET SWEEPING SERVICES**

**WHEREAS**, a Request for Bid (RFB) for street sweeping services was posted in March 2024. Staff collaborated with two San Diego Local Government Agencies to initiate a joint RFB, Bid No. 006-25, aimed at securing better value and cost-effective solutions for street sweeping services. The cities involved in this endeavor are City of Solana Beach, City of Del Mar, and City of El Cajon; and

**WHEREAS**, the RFB was posted on an electronic procurement system to solicit bids from private industry service providers. Two bids were received by the April 22, 2024, closing date; and

**WHEREAS**, street sweeping is an important program in maintaining the general appearance of the City for residents and those who visit the City. Street sweeping is also a critical element of the City's Best Management Practices to aid in reducing the amount of trash and other contaminants that enter the storm drain system; and

**WHEREAS**, Staff recommends awarding a Professional Services Agreement to Sweeping Corporation of America of California, LLC, (SCA) for Citywide street sweeping services in Fiscal Year 2024/25 in an amount not to exceed \$99,681 for Fiscal Year 2024/25 and to increase the annual not to exceed amount by 3% for subsequent years; and

**WHEREAS**, there is sufficient funding appropriated in the Street Sweeping Budget Unit of the Public Works operating budget to cover the cost of these services.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Services Agreement, on behalf of the City, with Sweeping Corporation of America of California, LLC., for Citywide street sweeping services in Fiscal Year 2024/25 in an amount not to exceed \$99,681 for Fiscal Year 2024/25.
3. That the City Council authorizes the City Manager to extend the agreement up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.



4. That the City Council authorizes the City Manager to increase the annual not to exceed base contract amount by 3% for FY 2025/26, 3% for FY 2026/27, 3% for FY 2027/28, and 3% for FY 2028/29.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of June 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **Public Hearing: City Council Consideration of Resolutions 2024-071 and 2024-072 Accepting the Final Engineer's Report and Ordering the Levy and Collection of Annual Assessments for the City of Solana Beach Coastal Rail Trail Maintenance District**

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### **BACKGROUND:**

In 2006, the City Council adopted a resolution forming the City of Solana Beach Coastal Rail Trail (CRT) Maintenance District ("District") under the provisions of the Landscape and Lighting Act of 1972, Division 15, Part 2, of the California Streets and Highways Code. The District was formed for the purpose of levying and collecting funds for the operation, maintenance, and servicing of landscaping, lighting and all appurtenant facilities related to the District.

On May 22, 2024, the City Council adopted Resolutions 2024-046, 2024-047 and 2024-048 initiating the proceedings for the annual levy of assessments for the District; approving the preliminary CRT Maintenance District Engineer's Report (Report) for the Fiscal Year (FY) 2024/25 annual levy of assessments for the District; declaring the City's intent to provide for the annual levy and collection of assessments for the District; and setting a time and place for the public hearing, respectively.

This item is presented to the City Council to conduct the Public Hearing and to consider Resolution 2024-071 (Attachment 1) accepting the Final CRT Maintenance District Engineer's Report and Resolution 2024-072 (Attachment 2) ordering the levy and collection of annual assessments for the District for FY 2024/25.

### **DISCUSSION:**

The District's major costs are for the maintenance and operation of the Coastal Rail Trail (CRT). The maintenance items include landscaping, irrigation and hardscape

<b>CITY COUNCIL ACTION:</b>  _____  _____
---



maintenance, tree trimming and graffiti removal. The costs also include the utility charges for water.

The District budget includes funds for capital replacement costs for possible replacement of the following items: landscape, irrigation, pedestrian/bike path and hardscape items. The capital replacement costs also include an operating reserve of 10% of the direct operating and maintenance costs.

The District's assessment methodology uses an Equivalent Benefit Unit ("EBU") System. The EBU method of apportioning benefit is typically viewed as the most appropriate and equitable assessment methodology for districts formed under the 1972 Act. The EBU for the proposed District establishes the single-family detached residential unit as the basic unit, representing 1.0 EBU. The following summarizes the EBU application by land use:

<u>Land Use</u>	<u>EBU</u>
Single-Family Residential	1.0 per parcel
Residential Condominium	1.0 per dwelling unit
Multi-Family Residential	0.75 per dwelling unit
Planned Residential Development	1.0 per proposed unit
Commercial/Industrial	1.0 per parcel
Vacant Single-Family Residential	1.0 per parcel
Vacant Multi-Family Residential	0.75 per parcel
Vacant Commercial/Industrial	1.0 per parcel

The methodology also identifies parcels that are exempt from the proposed District. They may include, but are not limited to, parcels identified as public streets, roadways, dedicated public easements, open space, and rights-of-way. These properties, as well as other publicly owned properties such as schools, the fire station and community centers, are considered to receive little or no benefit from the improvements of the proposed District.

In addition to assigning each property an EBU by land type, the assessment methodology utilizes three zones based on the location of parcels in proximity to the CRT. Properties located the closest to the CRT will receive a greater special benefit than those properties that are located the farthest away from the CRT. A factor is applied to each of the zones according to their locations. The three zones are as follows:

#### Zone 1:

This zone includes all properties generally located within a few blocks of the CRT. The properties are located east of Acacia Avenue and Sierra Avenue and west of Rios Avenue. Parcels in this zone are assessed the EBU amounts based on land use and are then multiplied by a factor of three.



Zone 2:

This zone includes all properties that are generally located west of Acacia Avenue and those properties located east of Rios Avenue and west of Interstate 5. Parcels in this zone are assessed the EBU amounts based on land use and are then multiplied by a factor of two.

Zone 3:

This zone includes properties located east of Interstate 5. Parcels in this zone are assessed the EBU amounts based on land use and are then multiplied by a factor of 0.5.

The following shows the maximum assessment rates proposed to be levied in the FY 2024/25 by land use:

Land Use Description	Per	Base Rate Zone 1	Base Rate Zone 2	Base Rate Zone 3
Single-Family Residential	Lot or Parcel	\$25.08	\$16.72	\$4.18
Residential Condominium	Dwelling Unit	\$25.08	\$16.72	\$4.18
Multi-Family Residential	Dwelling Unit	\$18.82	\$12.54	\$3.14
Planned Residential Development	Lot or Dwelling Unit	\$25.08	\$16.72	\$4.18
Commercial/Industrial	Parcel	\$25.08	\$16.72	\$4.18
Vacant Single-Family Residential	Parcel	\$25.08	\$16.72	\$4.18
Vacant Multi-Family Residential	Parcel	\$18.82	\$12.54	\$3.14
Vacant Commercial/Industrial	Parcel	\$25.08	\$16.72	\$4.18
Timeshare Units	1 week of ownership	\$ 0.00	\$ 0.00	\$0.00
Exempt Parcels	Parcel	\$ 0.00	\$ 0.00	\$0.00
Public Owned Parcels	Parcel	\$ 0.00	\$ 0.00	\$0.00

The 1972 Act requires the City Council to adopt a resolution annually directing the preparation and filing of an Annual Report and a Resolution of Intention to renew the annual assessments for the District. The resolutions declare the City Council's intention to levy and collect assessments and set the date of the public hearing at which the assessments will be levied. The law requires the assessment information to be submitted to the County by August 10th of each year.



### Fiscal Year 2024/25 Benefit Fees

Attachment 3 is the proposed Coastal Rail Trail Maintenance District Engineer's Report for FY 2024/25 (Report). The Report contains an overview of the District, a description of the services and improvements to be maintained, the proposed FY 2024/25 Budget, and the method of apportionment.

The Report identifies and allocates costs and assessments of the District based on provisions of the Landscaping and Lighting Act of 1972 (1972 Act) and the Streets and Highways Code of California. Per the 1972 Act, the Maximum Assessment may be increased using the lesser of the increase in the San Diego Consumer Price Index for All Urban Consumers (CPI-U) or the maximum of the first year levy beginning in Fiscal Year 2007/2008, known as the Assessment Range Formula (2.0%). The Maximum Assessment adjusted annually by this formula is not considered an increased assessment because it is consistent with the formula approved by the vote in January 2006.

The CPI-U for 2023 was 5.51%. Since the maximum amount the assessment is allowed to increase each year is equal to the CPI-U but not greater than 2.00%, the assessments for FY 2024/25 are proposed to increase by 2.00% per Table 1 of the Report. The City has notified the property owners about levying and collecting the assessment in the Coastal Rail Trail Maintenance District by publishing a notice of this public hearing in the San Diego Union-Tribune.

### **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

### **FISCAL IMPACT:**

The District began assessing a benefit charge in FY 2006/07. The CPI-U for 2023 was 5.51%. Since the maximum amount the assessment is allowed to increase each year is equal to the CPI-U but not greater than 2.00%, the assessments for FY 2024/25 are proposed to increase by 2.00% per Table 1 of the Report (and indicated above). The amount of the Equivalent Benefit Unit for FY 2024/25 is \$8.36. This is \$0.18 more per EBU than last year's assessment and is consistent with the approval of the District by the vote of the property owners in January 2006.

Based on the above methodology and included in the Engineer's Report, the CRT is expected to receive \$84,177 in benefit charge revenues (total assessment amount). Total annual expenditures expected to be spent on the CRT are \$106,231. The shortfall of \$22,054, or the difference between the amount expected to be received (\$84,177) and the amount expected to be spent (\$106,231), will be covered by available projected reserves in the CRT fund of \$45,984 on July 1, 2024. The CRT fund should keep reserves equal to approximately 50% of the annual assessment amount. This reserve will be under the 50% recommended maximum fund balance of \$42,089. In the future, additional funds will need



to be appropriated from non-CRT funding sources to fully fund the maintenance of the Coastal Rail Trail and maintain the recommended operating reserves.

**WORK PLAN:**

Renewal of the District is consistent with the Fiscal Sustainability section of the proposed FY 2024/25 Work Plan.

**OPTIONS:**

- Approve Staff recommendation.
- Do not renew the CRT Maintenance District and fund the cost for maintenance of the CRT through the General Fund.
- Provide further direction to Staff.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: open the public hearing, report Council disclosures, receive public testimony, close the public hearing.
2. Adopt Resolution 2024-071, approving the Engineer's Report regarding the Coastal Rail Trail Maintenance District.
3. Adopt Resolution 2024-072, ordering the levy and collection of the annual assessments regarding the Coastal Rail Trail Maintenance District for Fiscal Year 2024/25.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-071
2. Resolution 2024-072
3. Engineer's Report for FY 2024/25



## **RESOLUTION 2024-071**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE FISCAL YEAR 2024/25 ENGINEER'S REPORT REGARDING THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT**

**WHEREAS**, the City Council, pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500 (the "Act"), did by previous Resolution order the Assessment Engineer, Koppel & Gruber Public Finance, to prepare and file the Fiscal Year (FY) 2024/25 Engineer's Report for the City of Solana Beach Coastal Rail Trail Maintenance District (District); and

**WHEREAS**, the Assessment Engineer has prepared and filed with the City Clerk of the City of Solana Beach, California, and the City Clerk has presented to the City Council such report entitled City of Solana Beach Coastal Rail Trail Maintenance District Engineer's Report FY 2024/25 ("Report") as required by the Act; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented, considered all oral and written comments presented with respect to the District and Report at a noticed Public Hearing and has discussed any necessary or desired modifications to the Report, and is satisfied that the levy for each parcel has been calculated in accordance with the special benefits received from the operation, maintenance and services performed, as set forth in the Report.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California does resolve as follows:

1. The above recitals are true and correct.
2. The Report as presented or as modified, contains the following:
  - a. Description of Improvements.
  - b. Diagram of the District.
  - c. Method of Apportionment that details the method of calculating each parcel's proportional special benefits and annual assessment.



- d. The FY 2024/25 Assessment based upon the Method of Apportionment as approved by the property owners pursuant to the provision of the California Constitution Article XIID Section 4.
  - e. An Assessment Range Formula for calculating annual inflationary adjustments to the initial "Maximum Assessment" (Adjusted Maximum Levy per benefit unit), also approved by the property owners.
  - f. The FY 2024/25 Annual Budget (Costs and Expenses) and the resulting FY 2024/25 assessment (levy per benefit unit) for the fiscal year.
  - g. The District Roll containing the levy for each Assessor's Parcel Number within the District for FY 2024/25.
3. The City Clerk is hereby directed to enter on the minutes of the City Council any and all modifications to the Report determined and approved by the City Council, and all such changes and/or modifications by reference are to be incorporated into the Report.
  4. The City Council is satisfied with the Report as presented or modified, each and all of the budget items and documents as set forth therein, and is satisfied that the FY 2024/25 annual assessments contained therein are consistent with the assessments approved by the property owners and spread in accordance with the special benefits received from the improvements pursuant to the provisions of the California Constitution Article XIID.
  5. The Report is hereby approved as submitted or modified and ordered to be filed in the Office of the City Clerk as a permanent record and to remain open to public inspection.
  6. The City Clerk shall certify to the passage and adoption of this resolution, and the minutes of this meeting shall so reflect the presentation and approval of the Report as submitted or modified.

**PASSED AND ADOPTED** this 26th day of June, 2024, at a regularly scheduled meeting of the by the City council of the City of Solana Beach by the following vote:

AYES: Councilmembers -  
NOES: Councilmembers -  
ABSENT: Councilmembers -  
ABSTAIN: Councilmembers -



\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## **RESOLUTION 2024-072**

### **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ORDERING THE LEVY AND COLLECTION OF ANNUAL ASSESSMENTS REGARDING THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council has, by previous resolutions, initiated proceedings to form and declare its intention to levy and collect annual assessments against parcels of land within the City of Solana Beach Coastal Rail Trail Maintenance District ("District"), for the Fiscal Year (FY) commencing July 1, 2024 and ending June 30, 2025 pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500 (Act) to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto; and

**WHEREAS**, Koppel & Gruber Public Finance, the Assessment Engineer selected by the City Council, has prepared and filed with the City Clerk, and the City Clerk has presented to the City Council the Engineer's Report entitled City of Solana Beach Coastal Rail Trail Maintenance District Engineer's Report FY 2024/25 ("Report") in connection with the proposed levy and collection of special benefit assessment upon eligible parcels of land within the District, and the City Council did by previous resolution approve such Report; and

**WHEREAS**, the City Council desires to levy and collect assessments against parcels of land within the District for the Fiscal Year commencing July 1, 2024 and ending June 30, 2025, to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto; and

**WHEREAS**, the City Council, following notice duly given, has held a full and fair Public Hearing on June 26, 2024, regarding the levy and collection of assessments as described in the Report prepared in connection therewith, and considered all oral and written statements, protests and communications made or filed by interested persons regarding these matters, pursuant to the Act and in accordance with the provisions of the California Constitution Article XIID.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California does resolve as follows:

1. The above recitals are true and correct.
2. Following notice duly given, the City Council has held a full and fair public hearing regarding the levy and collection of the assessments, the Report prepared in connection therewith, and considered all oral and written statements,



protests and communications made or filed by interested persons regarding these matters.

3. The City Council desires to levy and collect assessments against parcels of land within the District for the fiscal year commencing July 1, 2024 and ending June 30, 2025, to pay the costs and expenses of operating, maintaining and servicing the landscaping, public lighting improvements and appurtenant facilities located within public places in the District.
4. The City Council has carefully reviewed and examined the Report in connection with the District, and the levy and collection of assessments. Based upon its review of the Report, a copy of which has been presented to the City Council and which has been filed with the City Clerk, hereby finds that the City Council determines that:
  - a. The territory of land within the District will receive special benefits from the operation, maintenance and servicing of the landscaping, lighting, drainage and appurtenant facilities and improvements related thereto.
  - b. The District includes all of the lands so benefited; and
  - c. The amount to be assessed upon the lands within the District, in accordance with the proposed budget for the fiscal year commencing July 1, 2024 and ending June 30, 2025, is apportioned by a formula and method which fairly distributes the net amount among all eligible parcels in proportion to the special benefits, to be received by each parcel from the improvements and services, and is satisfied that the assessments are levied, without regard to property valuation.
5. The Report and FY 2024/25 assessments, as presented to the City Council and on file in the office of the City Clerk, are hereby confirmed as filed.
6. The City Council hereby orders the proposed improvements to be made; the improvements are briefly described as the operation, administration, maintenance and servicing of all public landscaping, lighting improvements and appurtenant facilities and expenses associated with the District, and that will be maintained by the City of Solana Beach or their designee and all such maintenance, operation and servicing of the landscaping, lighting and all appurtenant facilities shall be performed pursuant to the Act. A more complete description of the improvements is detailed in the Report and by reference this document is made part of this resolution.
7. The San Diego County Auditor shall place on the County Assessment Roll, opposite each parcel of land, the amount of levy so apportioned by the method of



apportionment formula, outlined in the Report and such levies shall be collected at the same time and in the same manner as County taxes are collected pursuant to Chapter 4, Article 2, Section 22646 of the Act. After collection by the County, the net amount of the assessments, after deduction of any compensation due the County for collection, shall be paid to the City Treasurer.

8. The City Treasurer shall deposit all money from the assessments collected by the County for the District into a fund for the Coastal Rail Trail Maintenance District, and such money shall be expended to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto described above.
9. The adoption of this resolution constitutes the authorization of the District levy for the Fiscal Year commencing July 1, 2024 and ending June 30, 2025.
10. The City Clerk or Clerk's designee is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this resolution.

**PASSED AND ADOPTED** this 26th day of June, 2024, at a regularly scheduled meeting of the by the City Council of the City of Solana Beach by the following vote:

AYES: Councilmembers -  
NOES: Councilmembers -  
ABSENT: Councilmembers -  
ABSTAIN: Councilmembers -

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk





City Of Solana Beach

Coastal Rail Trail Maintenance District  
Engineer's Report  
Fiscal Year 2024/2025

Date May 8, 2024

KOPPEL & GRUBER  
PUBLIC FINANCE

334 Via Vera Cruz, Suite 256

San Marcos, California 92078

760-510-0290

info@kgpf.net

ATTACHMENT 3



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## SECTION I. OVERVIEW

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### A. INTRODUCTION AND BACKGROUND

The Coastal Rail Trail (the “CRT”) is a project sponsored by the cities of Oceanside, Carlsbad, Encinitas, Solana Beach and San Diego for a multi-use pathway (bicycle facilities and pedestrian) that will ultimately extend from the San Luis Rey River in Oceanside to the Santa Fe Depot in San Diego. Each of the sponsoring cities has agreed to construct and maintain the portion of the trail that is located within their jurisdiction. The City of Solana Beach (the “City”) began construction on their portion of the CRT (“City CRT”) in August 2003 by obtaining outside grants and the City CRT was substantially completed in November of 2004.

The City CRT consists of a Class I bicycle trail that is approximately 1.7 miles long. The Solana Beach portion of the CRT starts at the south City boundary at Via de la Valle and extends north to Ocean Street near the north City boundary.

The City of Solana Beach Coastal Rail Trail Maintenance District (“District”) was formed in January 2006 in order to provide funding for the maintenance of certain public improvements including but not limited to the operation, maintenance and servicing of landscaping and public lighting improvements along the City CRT. This report constitutes the Fiscal Year 2024/2025 Engineer’s Report for the District.

The City Council pursuant to the provisions of the *Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500* (“Act”) and in compliance with the substantive and procedural requirements of the *California State Constitution Article XIIC and XIID* (“Proposition 218”) and the *Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following)* (the “Implementation Act”) desires to levy and collect annual assessments against lots and parcels within the District beginning in the fiscal year commencing July 1, 2024 and ending June 30, 2025 to pay for the operation, maintenance and servicing of landscaping and public lighting improvements along the City CRT. The proposed assessments are based on the City’s estimate of the costs for Fiscal Year 2024/2025 to maintain the City CRT improvements that provide a special benefit to properties assessed within the District. The assessment rates set for Fiscal Year 2024/2025 as set forth in this Engineer’s Report, do not exceed the maximum rates established at the time the District was formed, therefore, the City and the District are not required to go through a property owner ballot procedure in order to establish the 2024/2025 assessment rates.



## **B. CONTENTS OF ENGINEER’S REPORT**

This Report describes the District boundaries and the proposed improvements to be assessed to the property owners located within the District. The Report is made up of the following sections.

**SECTION I. OVERVIEW** – Provides a general introduction into the Report and provides background on the District and the assessment.

**SECTION II. PLANS AND SPECIFICATIONS** – Contains a general description of the improvements that are maintained and serviced by the District.

**SECTION III. PROPOSED FISCAL YEAR 2024/2025 BUDGET** – Identifies the cost of the maintenance and services to be provided by the District including incidental costs and expenses.

**SECTION IV. METHOD OF APPORTIONMENT** – Describes the basis in which costs have been apportioned to lots or parcels within the District, in proportion to the special benefit received by each lot or parcel.

**SECTION V. ASSESSMENT ROLL** – The assessment roll identifies the maximum assessment to be levied to each lot or parcel within the District.

**SECTION VI. ASSESSMENT DIAGRAM** – Displays a diagram of the District showing the boundaries of the District.

For this Report, each lot or parcel to be assessed, refers to an individual property assigned its own Assessment Parcel Number (“APN”) by the San Diego County (“County”) Assessor’s Office as shown on the last equalized roll of the assessor.

Following the conclusion of the Public Hearing, the City Council will confirm the Report as submitted or amended and may order the collection of assessments for Fiscal Year 2024/2025.



## **SECTION II. PLANS AND SPECIFICATION**

---

### **A. GENERAL DESCRIPTION OF THE DISTRICT**

The boundaries of the District are defined as being contiguous with the boundaries of the City of Solana Beach. Solana Beach is located approximately thirty miles north of the City of San Diego in the north coastal area of the County. The City is bordered by the Pacific Ocean to the west, the City of Encinitas to the north, the City of Del Mar to the south and the County of San Diego to the east.

The properties within the District include single-family residential, multi-family residential, timeshare, commercial, and industrial parcels. Each parcel has been categorized into three zones based upon their general proximity to the City CRT. Please refer to Section IV D of the Report for a further explanation on the zones included within the District.

### **B. DESCRIPTION OF SERVICES AND IMPROVEMENTS TO BE MAINTAINED**

The District provides a funding mechanism for the ongoing maintenance, operation and servicing of landscaping and public lighting improvements that were installed as part of the construction of the City CRT. These improvements may include, but are not limited to, all materials, equipment, utilities, labor, and appurtenant facilities related to those improvements.

The improvements constructed as part of the project that are to be maintained and serviced by the District relate to landscaping and public lighting improvements, and are generally described as follows:

- Concrete and decomposed granite trails including landscaping, irrigation, drainage, grading, lighting, and hardscape features.
- Concrete paths, trees, plantings, lighting, irrigation, conduit, infrastructure, earthwork, trash receptacles, fencing, node structures (bus shelters, art amenities, garden nodes), drinking fountains, signage, and observation deck.
- Open space and irrigated and planted slopes located along the Trail.
- Public lighting facilities within and adjacent to the City CRT.

Maintenance services will be provided by City personnel and/or private contractors. The proposed improvements to be maintained and services are generally described as follows:



## **LANDSCAPING AND APPURTENANT IMPROVEMENTS**

The landscaping improvements and services to be maintained by the District include but are not limited to landscaping, planting, ground cover, shrubbery, turf, trees, irrigation and drainage systems, hardscape, fixtures, sidewalks, fencing and other appurtenant items located along and adjacent to the City CRT.

## **PUBLIC LIGHTING AND APPURTENANT IMPROVEMENTS**

The public lighting improvements to be maintained and serviced include but are not limited to the following, which provide public lighting directly or indirectly to the City CRT or to other public areas associated with or necessary for use of the trail:

- Maintenance, repair and replacement of public light poles and fixtures, including changing light bulbs, painting, photoelectric cell repair or replacement, and repairing damage caused by automobile accidents, vandalism, time, and weather.
- Electrical conduit repair and replacement due to damage by vandalism, time and weather.
- Service-call maintenance, repair and replacement including painting, replacing worn out electrical components and repairing damage due to accidents, vandalism, and weather.
- Payment of the electrical bill for the existing street lighting system.
- Responding to constituent and business inquiries and complaints regarding the public lighting.

Maintenance means the furnishing of services and materials for the ordinary and usual maintenance, operation and servicing of landscaping and public lighting improvements facilities and appurtenant facilities. This includes repair, removal or replacement of all or part of any of the landscaping and street lighting improvements, or appurtenant facilities; providing for the life, growth, health and beauty of landscaping improvements and for the operation of the lighting improvements.

Servicing means the furnishing of all labor, materials, equipment and utilities necessary to maintain the landscaping improvements and to maintain and operate the public lighting improvements or appurtenant facilities in order to provide adequate illumination.



## **SECTION III. PROPOSED FISCAL YEAR BUDGET**

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### **A. ESTIMATED FISCAL YEAR 2024/2025 BUDGET**

A summary of the proposed District Fiscal Year 2024/2025 budget is summarized, by category, in Table 1 shown on the following page:



**Table 1**  
**CITY OF SOLANA BEACH**  
**COASTAL RAIL TRAIL MAINTENANCE DISTRICT**  
**2024/2025 BUDGET**

	<b>TOTAL BUDGET</b>	<b>GENERAL BENEFIT PORTION<sup>1&amp;2</sup></b>	<b>PROPOSED FY 2024/2025 ASSESSMENT</b>
<b>OPERATING AND MAINTENANCE COSTS</b>			
<b>Operating and Maintenance</b>			
Landscape, Irrigation & Hardscape Maintenance Thru an Outside Contract (Includes Tree Trimming)	\$68,500	\$3,500	\$65,000
Utilities (Water)	\$21,000	\$0	\$21,000
Utilities (Electricity)	\$29,500	\$29,500	\$0
Trail Maintenance (DG & Concrete Paths)	\$1,400	\$0	\$1,400
Graffiti Abatement	\$200	\$0	\$200
Advertising	\$700	\$0	\$700
<b>Total Operating and Maintenance Costs</b>	<b>\$121,300</b>	<b>\$33,000</b>	<b>\$88,300</b>
<b>CAPITAL REPLACEMENT AND RESERVES</b>			
<b>Capital Replacement</b>			
Landscape & Irrigation Replacement	\$3,600	\$100	\$3,500
Pedestrian/Bicycle Path Replacement	\$2,500	\$0	\$2,500
Hardscape Features Replacement (water fountain, art work, bus shelter)	\$2,600	\$100	\$2,500
<b>Reserves</b>			
Fiscal Year 2024/2025 Reserve Collection	\$0	\$0	\$0
<b>Total Capital Replacement and Reserves</b>	<b>\$8,700</b>	<b>\$200</b>	<b>\$8,500</b>
<b>ADMINISTRATION COSTS</b>			
<b>District Administration Costs</b>			
County SB 2557 Costs			\$598
County Electronic Data Processing Costs			\$602
City Administration/Consultant Costs			\$8,231
<b>Total Administration Costs</b>			<b>\$9,431</b>
<b>AMOUNT TO LEVY</b>			
<b>TOTAL BUDGET</b>			<b>\$106,231</b>
<b>LESS OPERATING RESERVES USED IN FY<sup>2</sup></b>			<b><u>(\$22,054)</u></b>
<b>TOTAL ASSESSMENT AMOUNT</b>			<b>\$84,177</b>
Total Parcels in the District			13,105
Total Parcels Levied			5,658
Total Equivalent Benefit Units			10,069.13
<b>Proposed Levy Per Equivalent Benefit Unit</b>			<b>\$8.36</b>
Inflation Percentage Applied to Proposed Levy Per EBU			2.00%
<b>OPERATING RESERVES</b>			
Beginning Balance as of 7/1/24			\$45,984
FY 2024/2025 Collection			\$84,177
Expenditures			(\$106,231)
Projected Ending Balance as of 6/30/25 <sup>3</sup>			\$23,930
<b>Maximum Recommended Cash Flow Reserve Amount</b>			<b>\$42,089</b>

1. While the cost of the electricity is not 100% general benefit, the City is paying for the entire cost through other available funds and none of the cost is being allocated to the parcels located within the District.
2. The CRT landscaping cost is greater than the available funding from the District so other available funding is being utilized to cover the difference.
3. The City is developing a plan on how to utilize the operating reserves on the CRT in the future.



## **B. DESCRIPTION OF BUDGET ITEMS**

The following is a brief description of the major budget categories that includes the detailed costs of maintenance and services for the District included in the table above.

**OPERATING AND MAINTENANCE COSTS** – This includes the costs of maintaining and servicing the landscaping and lighting improvements. This may include, but is not limited to, the costs for labor, utilities, equipment, supplies, repairs, replacements and upgrades that are required to properly maintain the items that provide a direct benefit to properties located within the District.

**CAPITAL REPLACEMENT AND RESERVES** – These items provide a funding source to pay for items that wear out over time, other unanticipated items not directly budgeted for and for the replacement of the landscaping, pathways and hardscape features located along and adjacent to the City CRT.

**ADMINISTRATION COSTS** – This includes the indirect costs not included above that are necessary to pay for administrative costs related to the District, including the levy and submittal of the assessments to the County to be placed on the Fiscal Year 2024/2025 County equalized tax roll, responding to property owner inquiries relating to the assessments and services, and any other related administrative costs.



## SECTION IV. METHOD OF APPORTIONMENT

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### A. GENERAL

The 1972 Act permits the establishment of assessment districts by agencies for the purpose of providing certain public improvements, which include the construction, maintenance, and servicing of landscaping and public lights and appurtenant facilities.

Streets and Highways Code Section 22573 requires that maintenance assessments be levied according to benefit rather than the assessed value.

*“The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements.”*

In addition, Article XIID and the Implementation Act require that a parcel’s assessment may not exceed the reasonable cost for the proportional special benefit conferred to that parcel. A special benefit is a particular and distinct benefit over and above general benefits conferred on property located within the assessment district. Article XIID and the Implementation Act further provides that only special benefits are assessable and the City must separate the general benefits from the special benefits. They also require that publicly owned properties which specifically benefit from the improvements be assessed.

### B. GENERAL BENEFIT ANALYSIS

The improvements described in Section II B of this Report are for the special benefit, enhancement and use of properties within the District. However, the City CRT was constructed as a portion of a much larger regional trail that eventually will extend from the City of Oceanside to the north to the City of San Diego to the south. Residents and property owners located in each of the cities along the trail will receive a special benefit from the construction and maintenance of the trail within their city. Residents from each of these cities will have an opportunity to use the entire trail upon completion including the portion in Solana Beach which creates a general benefit.

Additionally, included among the different property types in the City are timeshare units. Though individuals may purchase and “own” their timeshare unit, their ownership rights are limited and temporary (typically one week per year.) Owners of timeshare units have an opportunity to use the CRT while vacationing in the City. Due to the limited ownership time-frame of timeshare owners, their special benefit is limited and thus considered as part of the general benefit similar to the general benefit to the public at large.

The general benefit portion of the assessment has been determined by looking at each participating city’s trail length as a factor of the entire trail. The City of Solana Beach’s portion of the CRT is 1.7 miles compared to the entire proposed trail length of 44.0 miles. Comparing the length of the City CRT to the total length of the CRT results in a general benefit of 3.86%. Engineering also determined that timeshares add an additional 2.0%



general benefit impact. For rounding purposes after adding the two components (3.86% + 2.0%) the general benefit is considered to be 6.0% overall to the public at large. The budget has been allocated to parcels based on their special benefit share. In addition, the City is paying 100% of the electricity costs, totaling \$29,500, for the District through funds available from other sources resulting in over 30% of the costs paid directly by the City.

## **C. SPECIAL BENEFIT ANALYSIS**

Each of the proposed improvements and the associated costs and assessments within the District has been reviewed, identified and allocated based on special benefit pursuant to the provisions of Article XIID, the Implementation Act, and the Streets and Highways Code Section 22573.

Proper maintenance and operation of the City CRT landscaping, hardscape, open space and public lighting provides special benefit to adjacent properties by providing community character, security, safety and vitality. Additionally, one of the purposes of the trail is to facilitate alternative transportation opportunities in order to reduce air pollution and vehicular traffic congestion which provide special benefit to the properties within the District.

### **TRAIL AND LANDSCAPING SPECIAL BENEFIT**

Landscaping and appurtenant facilities, if well maintained, provide beautification, shade and enhancement of the desirability of the surroundings, and therefore increase property values. Specifically, they provide a sense of ownership and a common theme in the community providing aesthetic appeal, recreational and health opportunities and increased desirability of properties.

### **PUBLIC LIGHTING SPECIAL BENEFIT**

The operation, maintenance and servicing of public lighting along and adjacent to the City CRT provide safety and security to properties along City CRT specifically as follows:

- Improved security, deterrence of crime and aid to police and fire protection.
- Reduced vandalism and damage to the improvements and property.
- Increased business activity to the coastal community during nighttime hours.



## **D. ASSESSMENT METHODOLOGY**

To establish the special benefit to the individual lots or parcels within the District, an Equivalent Benefit Unit system based on land use is used along with a Zone Factor based on geographic proximity to the City CRT.

### **EQUIVALENT BENEFIT UNITS**

Each parcel of land is assigned an Equivalent Benefit Unit in proportion to the estimated special benefit the parcel receives relative to other parcels within the District. The single family detached (“SFD”) residential property has been selected as the basic unit for calculating assessments; therefore, a SFD residential parcel equals one Equivalent Benefit Unit (“EBU”).

The EBU method of apportioning benefit is typically seen as the most appropriate and equitable assessment methodology for districts formed under the 1972 Act, as the benefit to each parcel from the improvements are apportioned as a function of land use type, size and development. A methodology has been developed to relate all other land uses to the SFD residential as described below.

### **EBU APPLICATION BY LAND USE:**

**SINGLE-FAMILY RESIDENTIAL** — This land use is defined as a fully subdivided residential parcel in which a tract map has been approved and recorded. This land use is assessed 1.0 EBU per lot or parcel. This is the base value that all other land use types are compared and weighted against (i.e. Equivalent Benefit Unit or EBU).

**RESIDENTIAL CONDOMINIUM** — This land use is defined as a fully subdivided residential parcel that has more than one residential unit developed on the property with individual unit ownership. This land use is assessed 1.0 EBU per dwelling unit.

**MULTI-FAMILY RESIDENTIAL** — This land use is defined as a fully subdivided residential parcel that has more than one residential unit developed on the property not available for individual unit ownership. This land use is assessed 0.75 EBU per dwelling unit.

**PLANNED-RESIDENTIAL DEVELOPMENT** — This land use is defined as any property not fully subdivided with a specific number of proposed residential lots or dwelling units to be developed on the parcel. This land use type is assessed at 1.0 EBU per planned (proposed) residential lot or dwelling unit.

**COMMERCIAL/INDUSTRIAL** — This land use is defined as property developed for either commercial or industrial use. This land use type is assessed at 1.0 EBU per parcel.

**VACANT SINGLE-FAMILY RESIDENTIAL** — This land use is defined as property currently zoned for single-family detached residential development, but a tentative or final tract map has not been submitted and/or approved. This land use is assessed at 1.0 EBU per parcel.

**VACANT MULTI-FAMILY RESIDENTIAL** — This land use is defined as property currently zoned for multi-family residential development, but a tentative or final tract map has not been submitted and/or approved. This land use is assessed at 0.75 EBU per parcel.



**VACANT COMMERCIAL/INDUSTRIAL** — This land use is defined as property currently zoned for either commercial or industrial use. This land use is assessed at 1.0 EBU per parcel.

**EXEMPT PARCELS** — This land use identifies properties that are not assessed and are assigned 0.0 EBU. This land use classification may include, but is not limited, to lots or parcels identified as public streets and other roadways (typically not assigned an APN by the County); dedicated public easements, open space areas and right-of-ways including greenbelts and parkways; utility right-of-ways; common areas, sliver parcels and bifurcated lots or any other property that can not be developed; park properties and other publicly owned properties that are part of the District improvements or that have little or no improvement value. These types of parcels are considered to receive little or no benefit from the improvements and are therefore exempted from assessment.

**PUBLIC OWNED PARCELS** — This land use identifies properties that are not assessed and are assigned 0.0 EBU. This land use classification includes other typically non-assessed parcels that are not considered exempt parcels and may include, but is not limited, to lots or parcels identified as schools, government owned buildings, fire and police stations, and administration offices. These types of properties are considered to receive little special benefit from the improvements and any benefit that they may receive is considered to be part of the City's general benefit contribution to the District.

#### **ZONE FACTOR**

The District was divided into three zones based on the proximity of parcels in location to the City CRT. Properties located the closest to the trail will receive a greater special benefit as compared to those parcels the farthest away. In order to calculate this into the assessment a factor is applied to each parcel according to the following Zone location.

**ZONE 1 PROPERTIES** – This Zone is defined as properties located adjacent to or within a few blocks of the City CRT improvements. This includes all properties that are generally located east of Acacia and Sierra Avenue and west of Rios Avenue. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of three (3).

**ZONE 2 PROPERTIES** – This Zone is defined as properties located close to the improvements but not adjacent to the City CRT or properties defined as Zone 1 Properties. This includes all properties that are generally located west of Acacia Avenue and also those properties located east of Rios Avenue and west of Interstate-5. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of two (2).

**ZONE 3 PROPERTIES** – This Zone is defined as properties located the furthest away from the City CRT improvements. This includes all properties that are located east of Interstate-5. Parcels located in this zone use the EBU amounts derived above based on land use and then multiplied by a proximity factor of 0.5.



The following table summarizes the EBU and Zone Factors based on land use.

Table 2

**CITY OF SOLANA BEACH  
COASTAL RAIL TRAIL MAINTENANCE DISTRICT  
EQUIVALENT BENEFIT UNITS AND ZONE FACTOR BY LAND USE**

Land Use Description	Equivalent Benefit Units (EBUs)	Per	Zone 1 Multiplier	Zone 2 Multiplier	Zone 3 Multiplier	No. of EBUs for Property in Zone 1	No. of EBUs for Property in Zone 2	No. of EBUs for Property in Zone 3
Single Family Residential	1.00	Lot or Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Residential Condominium	1.00	Dwelling Unit	3.00	2.00	0.50	3.00	2.00	0.50
Multi-Family Residential	0.75	Dwelling Unit	3.00	2.00	0.50	2.25	1.50	0.38
		Lot or Dwelling						
Planned Residential Development	1.00	Unit	3.00	2.00	0.50	3.00	2.00	0.50
Commercial/Industrial	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Vacant Single Family Residential	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
Vacant Multi-Family Residential	0.75	Parcel	3.00	2.00	0.50	2.25	1.50	0.38
Vacant Commercial/Industrial	1.00	Parcel	3.00	2.00	0.50	3.00	2.00	0.50
		1 week of						
Timeshare Units	0.00	ownership	3.00	2.00	0.50	0.00	0.00	0.00
Exempt Parcels	0.00	Parcel	3.00	2.00	0.50	0.00	0.00	0.00
Public Owned Parcels	0.00	Parcel	3.00	2.00	0.50	0.00	0.00	0.00

In order to determine the maximum annual assessment rate for each type of land use described above, the following formula is applied:

**Applicable EBU \* Applicable Zone Factor\*Maximum Assessment Rate per 1.0 EBU=Assessment Rate per Unit/Parcel.**

## E. RATES

Table 3 below shows the maximum assessments rates proposed to be levied in Fiscal Year 2024/2025 by land use. Because the San Diego Consumer Price Index for All Urban Consumers (“CPI-U”) was over 2.00% for 2023 (5.51%), the maximum assessments were increased by 2.00% as allowed for in the assessment range formula discussed below.



**Table 3**

**CITY OF SOLANA BEACH  
COASTAL RAIL TRAIL MAINTENANCE DISTRICT  
EQUIVELANT BENEFIT UNITS AND ZONE FACTOR BY LAND USE**

Land Use Description	Per	Base Rate for Zone 1	Base Rate for Zone 2	Base Rate for Zone 3
Single Family Residential	Lot or Parcel	\$25.08	\$16.72	\$4.18
Residential Condominium	Dwelling Unit	\$25.08	\$16.72	\$4.18
Multi-Family Residential	Dwelling Unit	\$18.82	\$12.54	\$3.14
	Lot or Dwelling			
Planned Residential Development	Unit	\$25.08	\$16.72	\$4.18
Commercial/Industrial	Parcel	\$25.08	\$16.72	\$4.18
Vacant Single Family Residential	Parcel	\$25.08	\$16.72	\$4.18
Vacant Multi-Family Residential	Parcel	\$18.82	\$12.54	\$3.14
Vacant Commercial/Industrial	Parcel	\$25.08	\$16.72	\$4.18
	1 week of			
Timeshare Units	ownership	\$0.00	\$0.00	\$0.00
Exempt Parcels	Parcel	\$0.00	\$0.00	\$0.00
Public Owned Parcels	Parcel	\$0.00	\$0.00	\$0.00

**F. ASSESSMENT RANGE FORMULA**

The purpose of establishing an Assessment Range Formula is to provide for reasonable inflationary increases to the annual assessments without requiring the District to go through an expensive balloting process required by law in order to get a small increase. On July 1, 2007 and each year thereafter, the Maximum Assessment Rate shall be increased by the lesser of Local CPI-U in the San Diego County area or 2.0%. The CPI-U used shall be as determined annually by the Bureau of Labor Statistics beginning with the CPI-U rate increase for 2006.

Beginning in the Fiscal Year 2007/2008 the Maximum Assessment may be increased using the lesser of the increase in the CPI-U from first year levy (the Assessment Range Formula) or 2.0%. This Assessment Rate Formula would be applied every fiscal year thereafter and a new Maximum Assessment will be established to include the allowable increase.

The Maximum Assessment adjusted annually by this formula is not considered an increased assessment. Although the Maximum Assessment will increase each year, the actual assessment will only reflect the necessary budgeted amounts and may remain unchanged. Increases in the budget or an increase in the rate in one year from the prior year will not require a new 218 balloting unless the rate is greater than the Maximum Assessment adjusted to reflect an increase in the CPI-U.



## **SECTION V. ASSESSMENT ROLL**

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Parcel identification, for each lot or parcel within the District shall be the parcel as shown on the County Assessor's map for the year in which this Report is prepared.

A listing of parcels assessed within the District, along with the proposed assessment amounts, has been submitted to the City Clerk, under a separate cover, and by reference is made part of this Report. Said listing of parcels to be assessed shall be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in Fiscal Year 2024/2025. If any parcel submitted for collection is identified by the County Auditor/Controller to be an invalid parcel number for the current fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment and assessment rate approved in this Report. Therefore, if a single parcel has changed to multiple parcels, the assessment amount applied to each of the new parcels shall be recalculated and applied according to the approved method of apportionment and assessment rate rather than a proportionate share of the original assessment.

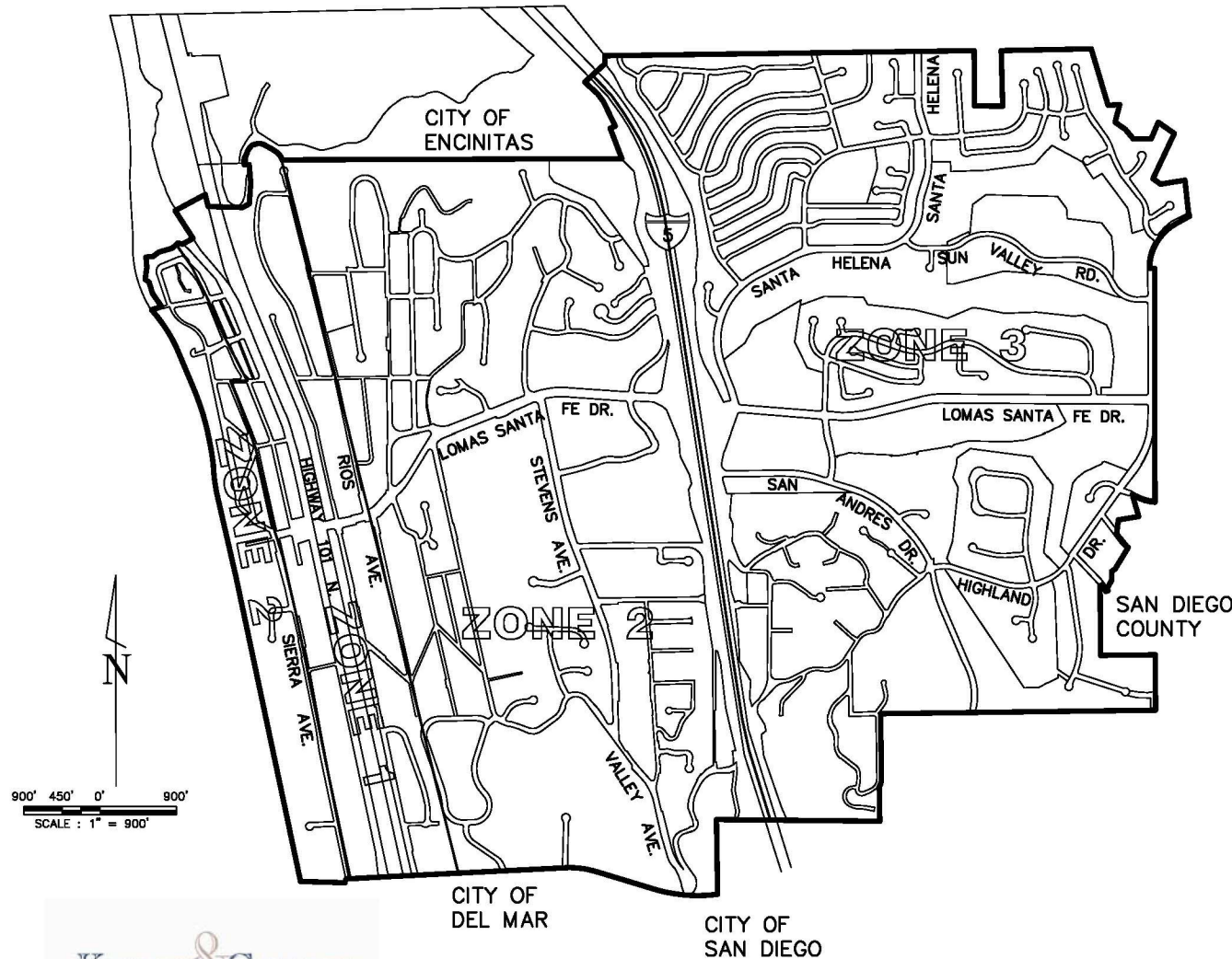


## **SECTION VI. ASSESSMENT DIAGRAM**

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The parcels within the District consist of all lots, parcels and subdivisions of land located in the City. A reduced copy of the boundary map of the area is attached.





FILED IN THE OFFICE OF THE CITY CLERK OF THE CITY OF SOLANA BEACH  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2005.

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES  
OF THE COASTAL RAIL TRAIL MAINTENANCE DISTRICT, CITY OF SOLANA  
BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, WAS APPROVED BY  
THE CITY COUNCIL OF THE CITY OF SOLANA BEACH AT A REGULAR MEETING  
THEREOF, HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_  
2005, BY ITS RESOLUTION NO. \_\_\_\_\_

CITY CLERK  
CITY OF SOLANA BEACH

NOTE: FOR PARTICULARS OF THE LINES AND DIMENSIONS OF ASSESSOR'S  
PARCELS, REFERENCE IS MADE TO THE MAPS OF THE SAN DIEGO COUNTY  
ASSESSOR OF SAN DIEGO COUNTY RECORDS, WHICH MAPS SHALL GOVERN  
FOR ALL DETAILS RELATING THERETO.

**KOPPEL & GRUBER**  
PUBLIC FINANCE

334 Via Vera Cruz  
Suite 206  
San Marcos, California 92078  
Phone (760) 510-0290 Fax (760) 510-0288

## PROPOSED BOUNDARY MAP OF COASTAL RAIL TRAIL MAINTENANCE DISTRICT

CITY OF SOLANA BEACH  
COUNTY OF SAN DIEGO  
STATE OF CALIFORNIA



# **CITY OF SOLANA BEACH**

## **CITY OF SOLANA BEACH COASTAL RAIL TRAIL MAINTENANCE DISTRICT**

### **Engineer's Report Fiscal Year 2024/2025**

The undersigned respectfully submits the enclosed Report as directed by City Council.

Report Submitted By:



By: \_\_\_\_\_  
Scott Koppel  
Koppel & Gruber Public Finance

By: \_\_\_\_\_  
Mohammad Sammak





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **Public Hearing: City Council Consideration of Resolutions 2024-073 and 2024-074 Accepting the Final Engineer's Report and Ordering the Levy and Collection of Annual Assessments for the City of Solana Beach Lighting Maintenance District for Fiscal Year (FY) 2024/25**

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### **BACKGROUND:**

In 1987, the City Council (Council) approved formation of the City of Solana Beach Lighting Maintenance District (District) under the provisions of the Landscape and Lighting Act of 1972, Division 15, Part 2, of the California Streets and Highways Code. The District was formed for the purpose of levying and collecting funds for the installation, operation and maintenance of street lighting facilities within the City.

On May 22, 2024, Council passed Resolution 2024-049 approving the Preliminary Lighting Maintenance District Engineer's Report (Report) for proceedings for the annual levy of assessments within a special lighting district and Resolution 2024-050 declaring intention to provide for an annual levy and collection of assessments and setting June 26, 2024, as the date of the Public Hearing.

This item is presented to the Council to conduct the Public Hearing and consider approving Resolution 2024-073 (Attachment 1) accepting the Final Lighting Maintenance District Engineer's Report and Resolution 2024-074 (Attachment 2) ordering the levy and collection of annual assessments for the District for Fiscal Year (FY) 2024/25.

### **DISCUSSION:**

The District is the successor agency to portions of San Diego County Lighting Maintenance District Nos. 1 and 3 (LMD1 and LMD3). Ballots issued in 1982 and 1984 to levy assessments for LMD1 and LMD3 were approved to have a maximum charge of

CITY COUNCIL ACTION:

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\$25.00 per benefit unit. This maximum benefit unit charge will not apply to Zone B of the District as it was formed after Solana Beach was incorporated.

Notice of this public hearing was published in the Union-Tribune as required by Streets and Highways Code and is the only public hearing to receive public input required by law. The assessment information is to be submitted to the County by August 10th of each year.

The current benefit fee for Zone A is \$8.80 per single-family unit per year and \$1.62 per single-family unit per year in Zone B. Zone B consists of the portion of the City adjacent to San Elijo Lagoon and a segment of the City between San Andres Drive and Interstate 5. This zone is the City's "dark sky" area designated in the General Plan as neighborhoods that seek to preserve their traditional semi-rural character, a major component of which is very low levels of nighttime illumination. Zone A consists of all other properties in the City except those in Zone B.

Attachment 3 is the Final Report for Fiscal Year (FY) 2024/25. The basis for spreading the cost of constructing, operating, maintaining and servicing improvements to the benefiting parcels is based on vehicular trip generation rates. Vehicular trips are directly proportional to the concentration and activity associated with each parcel of land. Derivation of Street Lighting Benefit Units, as shown in the Engineer's Report, is based on the most current trip generation rates published by the San Diego Association of Governments. The improvements include those designated in the District boundaries and shown in the Street Light Master Plan.

### **Fiscal Year 2024/25 Benefit Fees**

The total annual amount to be assessed for street lighting is \$75,270 for FY 2024/25. There is no proposed increase to the annual assessment charged to each property, but the total amount collected has decreased (a total reduction of \$1,512) due to land use changes in Zone A, including the property at the Solana Highlands Apartments along Nardo Avenue being classified as vacant land.

### **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

### **FISCAL IMPACT:**

The District has been financed by a benefit charge and by using the District's share of one percent ad valorem property tax revenues since FY 1989/90. The amount to be collected from the benefit assessment is proposed to be \$8.80 per benefit unit in Zone A and \$1.62 in Zone B, which is unchanged from last year.

### **WORK PLAN:**

This item is not identified in the proposed FY 2024/25 Work Plan.



**OPTIONS:**

- Approve Staff recommendation.
- Do not confirm the Lighting Maintenance District Engineer's Report and annual levy of assessments.
- Provide further direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: open the public hearing, report Council disclosures, receive public testimony and close the public hearing.
2. Adopt Resolution 2024-073 confirming the diagram and assessment and approving the City of Solana Beach Lighting Maintenance District Engineer's Report.
3. Adopt Resolution 2024-074 ordering the levy and collection of annual assessments for FY 2024/25 and ordering the transmission of charges to the County Auditor for collection.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-073
2. Resolution 2024-074
3. FY 2024/25 Lighting Maintenance District Engineer's Report



## **RESOLUTION 2024-073**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE FISCAL YEAR 2024/25 ENGINEER'S REPORT REGARDING THE SOLANA BEACH LIGHTING MAINTENANCE DISTRICT**

**WHEREAS**, the City Council, pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500 (the "Act"), did, by previous Resolution 2024-049 adopted on May 22, 2024, order the Assessment Engineer, to prepare and file the Fiscal Year (FY) 2024/25 Engineer's Report for the City of Solana Beach Lighting Maintenance District (District); and

**WHEREAS**, the Assessment Engineer has prepared and filed with the City Clerk of the City of Solana Beach, California, and the City Clerk has presented to the City Council such report entitled City of Solana Beach Lighting Maintenance District Engineer's Report FY 2024/25 ("Report") as required by the Act; and

**WHEREAS**, the City Council has carefully examined and reviewed the Report as presented, considered all oral and written comments presented with respect to the District and Report at a noticed Public Hearing and has discussed any necessary or desired modifications to the Report, and is satisfied that the levy for each parcel has been calculated in accordance with the special benefits received from the operation, maintenance and services performed, as set forth in the Report.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California does resolve as follows:

1. The above recitals are true and correct.
2. The Report as presented or as modified, contains the following:
  - a. Description of Improvements.
  - b. Diagram of the District.
  - c. Method of Apportionment that details the method of calculating each parcel's proportional special benefits and annual assessment.
  - d. The FY 2024/25 Assessment based upon the Method of Apportionment determined that all costs and expenses of the work and incidental expenses have been apportioned and distributed to the benefiting parcels in accordance with the special benefits received.

**ATTACHMENT 1**



- e. The FY 2024/25 Annual Budget Costs and Expenses and the resulting FY 2024/25 assessment levy per benefit unit for the fiscal year.
  - f. The District Roll containing the levy for each Assessor's Parcel Number within the District for FY 2024/25.
- 3. The City Clerk is hereby directed to enter on the minutes of the City Council any and all modifications to the Report determined and approved by the City Council, and all such changes and/or modifications by reference are to be incorporated into the Report.
  - 4. The City Council is satisfied with the Report as presented or modified and each and all of the budget items and documents as set forth therein, and is satisfied that the FY 2024/25 annual assessments and spread is in accordance with the special benefits received from the improvements pursuant to the provisions of the California Constitution Article XIID.
  - 5. The Report is hereby approved as submitted or modified and ordered to be filed in the Office of the City Clerk as a permanent record and to remain open to public inspection.
  - 6. The City Clerk shall certify to the passage and adoption of this resolution, and the minutes of this meeting shall so reflect the presentation and approval of the Report as submitted or modified.

**PASSED AND ADOPTED** this 26th day of June, 2024, at a regularly scheduled meeting of the by the City council of the City of Solana Beach by the following vote:

AYES: Councilmembers -  
NOES: Councilmembers -  
ABSENT: Councilmembers -  
ABSTAIN: Councilmembers -

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk



## **RESOLUTION 2024-074**

### **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ORDERING THE LEVY AND COLLECTION OF ANNUAL ASSESSMENTS REGARDING THE CITY OF SOLANA BEACH LIGHTING DISTRICT FOR FISCAL YEAR 2024/25**

**WHEREAS**, the City Council has, by previous resolutions, initiated proceedings to form and declared its intention to levy and collect annual assessments against parcels of land within the City of Solana Beach Lighting Maintenance District (District), for the Fiscal Year commencing July 1, 2024 and ending June 30, 2025 pursuant to the Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Streets and Highways Code of California, beginning with Section 22500 (Act) to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto; and

**WHEREAS**, the Assessment Engineer has prepared and filed with the City Clerk, and the City Clerk has presented to the City Council, the Engineer's Report entitled City of City of Solana Beach Lighting Maintenance District Engineer's Report Fiscal Year (FY) 2024/25 (Report) in connection with the proposed levy and collection of special benefit assessment upon eligible parcels of land within the District, and the City Council did, by previous Resolution 2024-073 adopted on June 26, 2024, approve such Report; and

**WHEREAS**, the City Council desires to levy and collect assessments against parcels of land within the District for the Fiscal Year commencing July 1, 2024 and ending June 30, 2025 to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto; and

**WHEREAS**, the City Council, following notice duly given, has held a full and fair Public Hearing on June 26, 2024, regarding the levy and collection of assessments as described in the Report prepared in connection therewith, and considered all oral and written statements, protests and communications made or filed by interested persons regarding these matters, pursuant to the Act and in accordance with the provisions of the California Constitution Article XIID.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California does resolve as follows:

1. The above recitals are true and correct.

**ATTACHMENT 2**



2. The City Council desires to levy and collect assessments against parcels of land within the District for the fiscal year commencing July 1, 2024 and ending June 30, 2025, to pay the costs and expenses of operating, maintaining and servicing the landscaping, public lighting improvements and appurtenant facilities located within public places in the District.
3. The City Council has carefully reviewed and examined the Report in connection with the District, and the levy and collection of assessments. Based upon its review the Report, a copy of which has been presented to the City Council and which has been filed with the City Clerk, the City Council hereby finds and determines that:
  - a. The territory of land within the District will receive special benefits from the operation, maintenance and servicing of the landscaping, lighting, drainage and appurtenant facilities and improvements related thereto.
  - b. The District includes all of the lands so benefited.
  - c. The amount to be assessed upon the lands within the District, in accordance with the proposed budget for the fiscal year commencing July 1, 2024 and ending June 30, 2025, is apportioned by a formula and method that fairly distributes the net amount among all eligible parcels in proportion to the special benefits, to be received by each parcel from the improvements and services, and the assessments are levied without regard to property valuation.
4. The Report and FY 2024/25 assessments, as presented to the City Council and on file in the office of the City Clerk, are hereby confirmed as filed.
5. The City Council hereby orders the proposed improvements to be made; the improvements are briefly described as the operation, administration, maintenance and servicing of all public landscaping, lighting improvements and appurtenant facilities and expenses associated with the District, and that will be maintained by the City of Solana Beach or their designee and all such maintenance, operation and servicing of the landscaping, lighting and all appurtenant facilities shall be performed pursuant to the Act. A more complete description of the improvements is detailed in the Report and by reference this document is made part of this resolution.
6. The San Diego County Auditor shall place on the County Assessment Roll, opposite each parcel of land, the amount of levy so apportioned by the method of apportionment formula, outlined in the Report and such levies shall be collected at the same time and in the same manner as County taxes are collected pursuant to Chapter 4, Article 2, Section 22646 of the Act. After collection by the



County, the net amount of the assessments, after deduction of any compensation due the County for collection, shall be paid to the City Treasurer.

7. The City Treasurer, shall deposit all money from the assessments collected by the County for the District into a fund for the Solana Beach Lighting District, and such money shall be expended to pay the costs and expenses of operating, maintaining and servicing the improvements and appurtenant facilities related thereto described above.
8. The adoption of this resolution constitutes the authorization of the District levy for the Fiscal Year commencing July 1, 2024 and ending June 30, 2025.
9. The City Clerk or Clerk's designee is hereby authorized and directed to file the levy with the San Diego County Auditor subsequent to the adoption of this resolution.

**PASSED AND ADOPTED** this 26th day of June, 2024, at a regularly scheduled meeting of the by the City Council of the City of Solana Beach by the following vote:

AYES: Councilmembers -  
NOES: Councilmembers -  
ABSENT: Councilmembers -  
ABSTAIN: Councilmembers -

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



**CITY OF SOLANA BEACH  
LIGHTING MAINTENANCE DISTRICT  
ENGINEER'S REPORT  
FISCAL YEAR 2024/2025**



**Prepared by:  
Dan Goldberg  
Principal Civil Engineer  
R.C.E. 57292**



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## **Introduction**

The City of Solana Beach ("City") Lighting Maintenance District ("District") was formed to provide funding for operation, maintenance and servicing of all lights within the City, owned both by City of Solana Beach and San Diego Gas and Electric as shown on the City's Streetlight Master Plan. The City Council, pursuant to the provisions of the "Landscaping and Lighting Act of 1972, Part 2 of Division 15 of the Street and Highway Code of California" (Act), desires to levy and collect annual assessment against lots and parcels within the District beginning in the fiscal year beginning July 1, 2024, and ending June 30, 2025. The collected assessments would pay for the operation, maintenance and servicing of the public lighting improvements within the City. The proposed assessments are based on the City's estimate for the cost for fiscal year 2024/2025 to maintain the District that provides a special benefit to properties assessed within the District. The assessment rates set for Fiscal Year 2024/2025, as set forth in this Engineer's Report ("Report"), do not exceed the maximum rates established at the time the District was formed, therefore, the City and the District are not required to go through property owner ballot procedure to establish the 2024/2025 assessment rates. This report describes the District boundaries and the proposed operation, maintenance and services to be assessed to the property owners located within the District. For this Report, each lot or parcel to be assessed refers to an individual property and is assigned its own Assessment Parcel Number ("APN") by the San Diego County ("County") Assessor's Office as shown on the latest equalization roll of the assessor. Following the conclusion of the Public Hearing, the City Council will confirm the Report as submitted or amended and may order the collection of the assessments for Fiscal Year 2024/2025.

## **General Description of the District**

The boundaries of the District are defined as being contiguous with the boundaries of the City of Solana Beach. The properties within the District include single-family residential, multi-family residential, timeshare, multiuse, commercial and industrial parcels.

Section 22573, Landscape and Lighting Act of 1972 ("1972 Act"), requires assessments to be levied according to benefit rather than according to assessed value. This section of the 1972 Act states:

*"The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements."*



The 1972 Act also provides for the classification of various areas within an assessment district into different zones where, *"...by reason of variations in the nature, location, and extent of the improvements, the various areas will receive differing degrees of benefit from the improvements. A zone shall consist of all territory, which will receive substantially the same degree of benefit from the improvements. An assessment district may consist of contiguous or non-contiguous areas."*

Properties owned by public agencies, such as a city, county, state, or the federal government, are not assessable without the approval of the particular agency. For this reason, they are traditionally not assessed.

### **Designation of Zones**

The District consists of two zones in the City of Solana Beach; Zone "A" and Zone "B". Properties within Zone "A", which represent the majority of the parcels in the City, benefit from streetlights on six significant circulation element streets as well as streetlights on their local streets. Properties within Zone "B", also known as "Dark Sky Zone", do not have streetlights on their local streets. These properties benefit only from streetlights on circulation element streets and do not benefit from streetlights on local streets. A map showing the boundaries of the District and the zones is on file in the office of the City Engineer and is also attached herein as Exhibit 1.

### **District Improvements**

The public lighting improvements to be maintained and serviced include but are not limited to the following:

- Maintenance, repair and replacement of public light poles and fixtures, including changing light bulbs, painting, photoelectric cell repair or replacement, repairing damages caused by automobile accidents and vandalism, and repairing normal deterioration caused by time and weather.
- Electrical conduit repair and replacement due to damage by vandalism and normal deterioration.
- Service-call maintenance repair and replacement including painting, replacing worn out electrical components and repairing damage due to accidents, vandalism, and normal deterioration.
- Payment of the electrical bill for the existing street lighting system.
- Responding to constituent and business inquiries and complaints regarding the public lighting.



## **Maintenance**

The City provides services and furnishes materials for the ordinary and usual maintenance, operation and servicing of public lighting improvements facilities and appurtenant facilities. This includes inspecting lights during daylight as well as evening hours for condition assessment and performing repair, removal or replacement of all or part of any of the streetlights found to be inoperable in order to provide for the health welfare and safety of the residents in the district.

## **Servicing**

The City workforce along with assistance from private contractors provide all labor, materials, equipment and utilities necessary to maintain and operate the public lighting improvements or appurtenant facilities in order to provide adequate illumination.

## **City's Streetlight System**

The City's streetlight system consists of streetlights which are owned by San Diego Gas and Electric (SDG&E) and streetlights that are owned by the City of Solana Beach. A listing (printout) showing the type, size, location and ownership of the specific streetlights in the City is on file in the Office of the City Engineer. There are currently 801 streetlights in the District of which 149 are located on circulation element streets such as Highway 101, Lomas Santa Fe Drive, Via De La Valle, Cedros Avenue, San Andres Drive, Highland Avenue and Stevens Avenue. The remaining 652 streetlights are located on local streets. Approximately 274 streetlights are owned and maintained by SDG&E and the remaining 527 streetlights are owned and maintained by the City of Solana Beach. The City pays SDG&E for the use of their streetlights. For the purpose of this report, all lights have been analyzed regardless of ownership. Additionally, there are 247 bollard lights and 16 pedestrian pole lights on the Coastal Rail Trail that are included in the District.

## **Streetlight Retrofit**

In April 2012, the City entered into an agreement with Chevron Energy Solution (Chevron ES) for a series of energy efficient projects, which included retrofitting all City-owned streetlights to the latest LED technology. This project replaced the approximately two-thirds of the streetlights throughout the City that are owned and operated by the City. The remaining one-third of the streetlights were not retrofitted because they are owned and operated by SDG&E. Because of this partial ownership arrangement, a few streetlights in some neighborhoods remained unchanged.

## **Capital Improvement Projects**

Since the City-owned streetlights were converted to LED fixtures in 2012, there was not a need for a capital improvement project for the streetlights this past year.



## **Method of Apportionment**

The 1972 Act requires that a parcel's assessment may not exceed the reasonable cost for the proportional benefit conferred to that parcel. To establish the benefit to the individual lots or parcels within the district, an Equivalent Benefit Unit ("EBU") system based on land use is used along with special consideration based on City's "Dark Sky Zone". Each parcel of land in the District was determined by the Engineering Department to have a specific land use. Each land use type was assigned a land use factor determined by trip generation rates developed by San Diego Association of Government (SANDAG). If a land use was not included in the SANDAG's study, the Engineering Department made a determination as to its probable trip generation compared to that of a single family residential and assigned a land use factor accordingly. Single-family residential units were assigned a land use factor of 1.0 regardless of its size. The theory is that all single-family residential units, regardless of parcel size, generate approximately the same number of trips and therefore receive the same benefit from the use of streets and their appurtenances such as streetlights. Under this method, vacant lots are assigned an EBU of "0". Exhibit 2 provides the EBU determination for all land uses within the City.

## **District Financing**

The District will be financed by assessing a benefit assessment and by using the District's share of 1.0 percent ad valorem tax revenues. The amount to be generated from the benefit assessment is \$8.80 per benefit unit in Zone "A" and \$1.62 per benefit unit in Zone "B". As mentioned above, the total amount of revenue to be generated by assessment was calculated from a methodology, which identifies two benefit zones within the District. This methodology assumes that circulation element streetlights provide City-wide benefit and therefore properties located in Zone "B", the Dark Sky Zone properties, are assessed for this portion of the District's expenses only. Properties located within Zone "A" are assessed for expenses associated with the streetlights located on the circulation element streets as well as those on local streets. Both the circulation element streetlight benefit and local streetlight benefit are allotted in proportion to the Average Daily Traffic (ADT) generated by properties within the District to establish equivalent benefit charge per property. These are estimates only because the County Assessor's information will not be available until August 2024. The City does not assess governmental agencies owning properties within the District. See Exhibit 3 for the proposed District budget.

## **Assessment Roll**

Parcel identification, for each lot or parcel within the District shall be the parcel as shown on the County Assessor's map for the year in which this Report is prepared.



A listing of parcels assessed within the District, along with the proposed assessment amounts, has been submitted to the City Clerk, under a separate cover, and by reference is made part of this Report. Said listing of parcels to be assessed shall be submitted to the County Auditor/Controller and included on the property tax roll for each parcel in Fiscal Year 2024/2025. If any parcel submitted for collection is identified by the County Auditor/Controller to be an invalid parcel number for the current fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment and assessment rate approved in this Report. Therefore, if a single parcel has changed to multiple parcels, the assessment amount applied to each of the new parcels shall be recalculated and applied according to the approved method of apportionment and assessment rate rather than a proportionate share of the original assessment.

### **Calculation of Assessment Fees**

Following is a calculation of assessment fees for the Solana Beach Lighting District. There are two zones in this lighting district; Zone “A” and Zone “B”.

Total streetlights on six circulation element streets	149
Total streetlights on local streets	652
Total streetlights	801

Bollard lights on Coastal Rail Trail	247
Pedestrian pole lights on Coastal Rail Trail	16

Total Benefit Units in Zone “A”	8,465
Total Benefit Units in Zone “B”	480

Assessment per Benefit Unit in Zone “A”	\$8.80
Assessment per Benefit Unit in Zone “B”	\$1.62

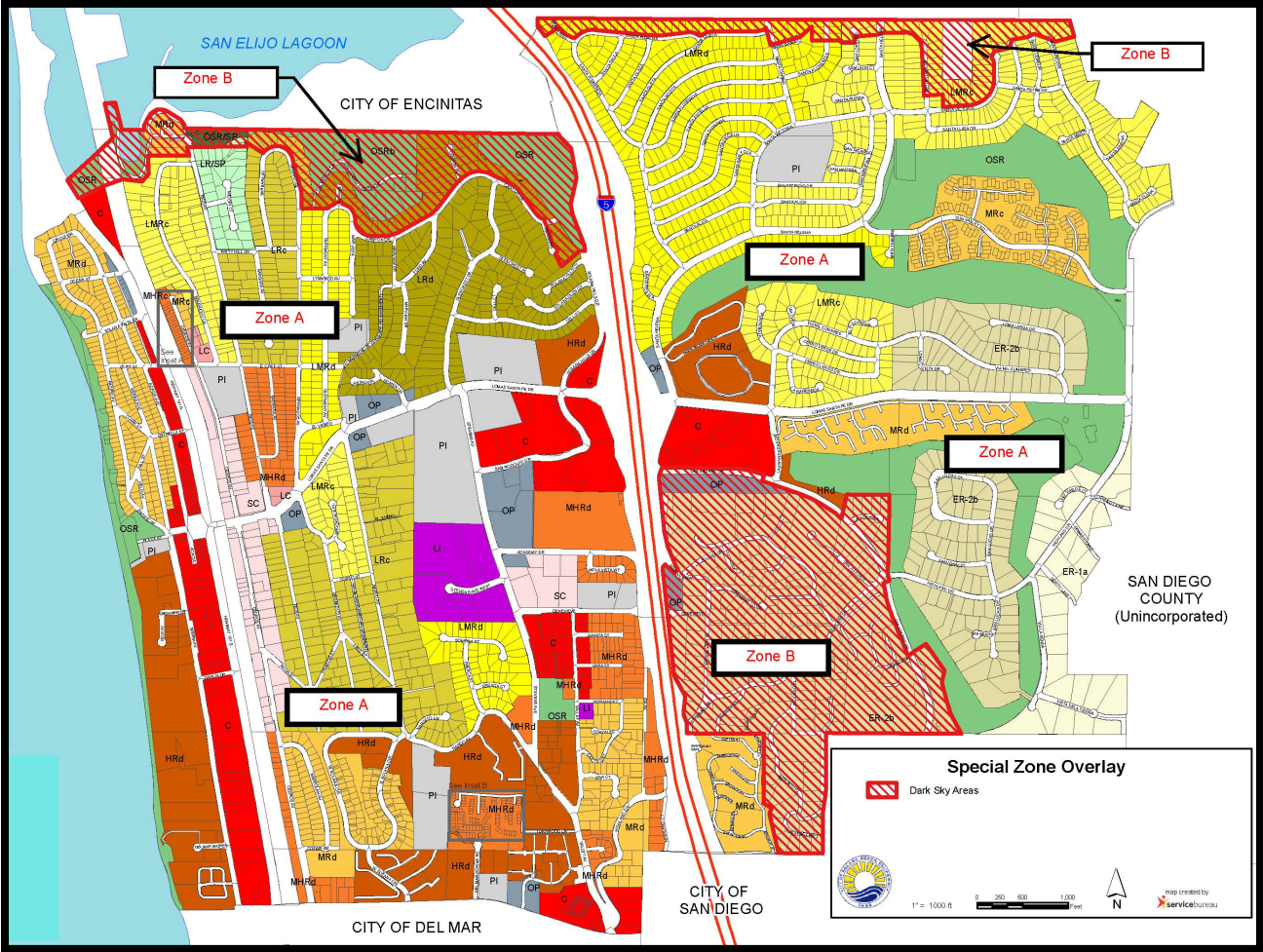
Total Assessment for Zone “A”	\$74,492
Total Assessment for Zone “B”	\$778

<b>Total Assessment for the District</b>	<b>\$75,270</b>
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**EXHIBIT 1**

**STREETLIGHT ZONE MAP**





## **EXHIBIT 2**

### **DERIVATION OF STREETLIGHT BENEFIT UNITS**

Traffic generation rates are derived from a report issued by the San Diego Association of Governments (SANDAG) dated April 2002. The information in the report is based on the San Diego Traffic Generators manual. Land uses are defined by the County Assessor. Using traffic generated by single family dwellings as 10 per dwelling unit (d.u.) or 40 per acre, the derivation of Benefit Units from land use is as follows:

<b><u>LAND USE</u></b>	<b><u>BENEFIT UNITS</u></b>	<b><u>HOW DERIVED</u></b>
Vacant Land	0.0	Generates little or no traffic. Assigned a value of 0.0
Residential	1.0/d.u.	<u>10 trips/d.u.</u> 10 trips/d.u.
Time Shares	.02/Time Share	<u>0.2 trips/time share</u> 10 trips/d.u.
Mobilehome/Trailer Parks	0.5/Space	<u>5 trips/d.u. or space</u> 10 trips/d.u.
1-3 Story Misc. Stores	10.0/Acre	<u>400 trips/acre</u> 40 trips/acre
4+ Story Offices/Stores	15.0/Acre	<u>600 trips/acre</u> 40 trips/acre
Regional Shopping Center Medical, Dental, Animal Hospital	12.5/Acre	<u>500 trips/acre</u> 40 trips/acre
Community Shopping Center	17.5/Acre	<u>700 trips/acre</u> 40 trips/acre
Neighborhood Shopping Center	30.0/Acre	<u>1200 trips/acre</u> 40 trips/acre



Hotel, Motel	5.0/Acre	<u>200 trips/acre</u> 40 trips/acre
Convalescent Hospital, Rest Home	1.0/Acre	<u>40 trips/acre</u> 40 trips/acre
Office Condominiums	0.5/Condo	<u>20 trips/condo</u> 10 trips/d.u.
Parking lot, Garage, Used Cars, Auto Sales/Service, Service Station	7.5/Acre	<u>300 trips/acre</u> 40 trips/acre
Bowling Alley	7.5/Acre	<u>300 trips/acre</u> 40 trips/acre



### **EXHIBIT 3**

## **STREETLIGHT DISTRICT**

## **PROPOSED BUDGET**

## **FISCAL YEAR 2024-25**

	<b>Amended Budget 2023-24</b>	<b>Adopted Budget 2024-25</b>
<b>COSTS</b>		
Energy	\$118,500	\$120,000
Maintenance	365,648	376,993
Administration	270,443	279,875
Capital Outlay	0	0
Debt Service	70,375	70,375
Contingency Reserve	3,457,689	3,380,498
<b>TOTAL COSTS</b>	<b>\$4,282,655</b>	<b>\$4,227,741</b>

<b>FUNDING</b>		
Property Taxes	\$634,482	\$640,827
Benefit Fees	76,006	76,500
Interest	42,525	42,525
Intergovernmental	10,200	10,200
Fund Balance	3,519,442	3,457,689
<b>TOTAL RESOURCES</b>	<b>\$4,282,655</b>	<b>\$4,227,741</b>





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Community Development Department, Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing – Request for a DRP Modification to the Approved Replacement Single-Family Residence at 446 Seabright Lane to Increase the Floor Area and Trellises (Case #: MOD24-005 Applicants: Darren and Rachel Levitt; APN: 263-061-14; Resolution No. 2024-075)**

---

### **BACKGROUND:**

On October 25, 2023, the City Council (Council) approved a Development Review Permit (DRP) to demolish a single-family residence, construct a replacement single-family residence with a partially subterranean garage, and perform associated site improvements including grading, hardscaping, and landscaping at 446 Seabright Lane. The Applicants, Darren and Rachel Levitt, are requesting City Council approval of a Modification to the DRP to add 11 square feet of floor area to the main level and reduce floor area in other areas resulting in a net 3 square-foot increase in gross floor area and add two extensions of approved trellises.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request for a Modification to the original project approval as contained in Resolution 2024-075 (Attachment 1). The modified project plans are included in Attachment 2.

### **DISCUSSION:**

The Council adopted Resolution 2023-117 (provided in Attachment 3) on October 25, 2023, approving the original project, which included a replacement single-family residence. After Council approval of the DRP, the Applicants submitted for plan check of building and grading permits. The building permit (B23-0875) for the replacement

CITY COUNCIL ACTION:
_____
_____

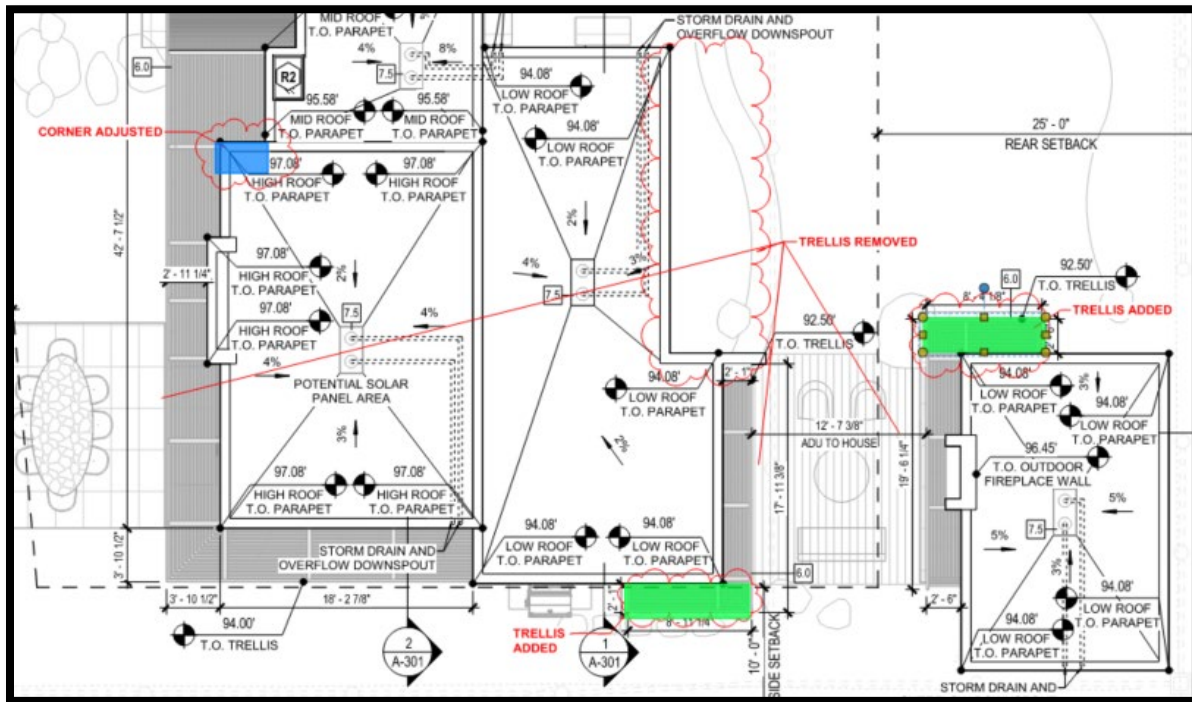


residence was found to not be in substantial conformance with the approved project due to an increase of floor area on the main level of the residence beyond the floor area and footprint approved by the Council. The building plans also included additions to approved trellises. Table 1 is a comparison of the Gross Floor Area approved under the DRP and the revised breakdown associated with the Modification.

Table 1 – Gross Floor Area Breakdown Comparison			
	Approved DRP	DRP Modification	Total Change
Main Level Living Area	2,904 sf	2,915 sf	+ 11 sf
Lower Level Garage	716 sf	716 sf	--
Lower level Living Area	369 sf	368 sf	- 1 sf
Covered/Enclosed Exterior	93 sf	86 sf	- 7 sf
Subtotal	4,082 sf	4,085 sf	+ 3 sf
Off-Street Parking Exemption	- 400 sf	- 400 sf	
Total Proposed Floor Area	3,682 sf	3,685 sf	+ 3 sf

The modified plans include an eight (8) square-foot reduction in floor area between the lower level living area and covered and enclosed areas. The plans also include an 11 square-foot increase in floor area for the main level living area. These changes result in a 3 square-foot overall increase in the project's Gross Floor Area.

The modified plans also include reductions and increases to trellises located on the primary dwelling unit and the proposed detached Accessory Dwelling Unit (ADU). Figure 1 identifies the proposed square footage addition in blue and new trellises in green.



In an effort to move the project along, Staff conditionally approved the building and grading permits with the condition that prior to the foundation inspection, the Applicants would need to either obtain Council approval of a DRP Mod or a Revision to the Building Permit in substantial compliance with the approved DRP.



#### Development Review Permit Compliance (SBMC Section 17.68.40):

Pursuant to SBMC Section 17.68.040(L), an amendment (modification) to an existing DRP may be requested and shall follow the same procedures as the DRP. The Council may approve, or conditionally approve, a Modification to a DRP only if all of the findings listed below can be made. Resolution 2022-074 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

The following is a list of the development review criteria topics set forth in SBMC Section 17.68.040(F):

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The following is a discussion of the applicable development review criteria (1-Relationship with Adjacent Land Uses and 2-Building and Structure Placement) as they relate to the modifications proposed.

#### Relationship with Adjacent Land Uses:

The modified project could be found to be compatible with the existing development in the surrounding neighborhood as no change to the use is proposed and the adjacent uses are also residential.



**Building and Structure Placement:**

The modified project could be found to be sited and designed to minimize adverse impacts on surrounding properties as the added floor area would not reduce the minimum setback from the front property line, and the trellises comply with associated setback encroachment regulations.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2024-075 for Council's consideration based upon the information in this report. The Applicants shall provide for and adhere to the conditions of the original project approval in Resolution 2023-117. The Applicants are also required to provide for and adhere to the conditions for the proposed Modification that have been incorporated into the attached Resolution 2024-075. The Applicants have obtained authorization for the project from the California Coastal Commission.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**PUBLIC HEARING NOTICE:**

Notice of the City Council Public Hearing was published in the San Diego Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site, more than 10 days prior to the planned public hearing date of June 26, 2024. Staff has not received any emails, letters or calls in support or opposition of the proposed modification.

**CEQA COMPLIANCE:**

Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the proposed modification by adopting Resolution 2024-075;
- Approve modification by adopting Resolution 2024-075 with changes as deemed appropriate by City Council; or,
- Deny the request to amend the project and direct Staff to bring back a Resolution of Denial to a later City Council meeting date.



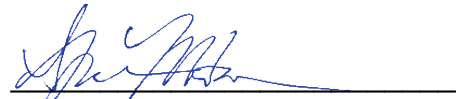
**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings to approve a Modification to the approved DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2024-075 conditionally approving a Modification to the approved DRP, for a replacement single-family residence at 446 Seabright Lane, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation

  
Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-075 to Approve the DRP Mod
2. Revised Project Plans
3. Approved Resolution 2023-117 for the Original DRP
4. Letter from Applicant



## RESOLUTION 2024-075

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A MODIFICATION TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT TO INCREASE THE TOTAL FLOOR AREA AND ADD TRELLISES AT 446 SEABRIGHT LANE, SOLANA BEACH.**

**APPLICANTS: DARREN AND RACHEL LEVITT**  
**CASE NO.: MOD24-005 (DRP23-003)**  
**APN: 263-061-14**

**WHEREAS**, Darren and Rachel Levitt (hereinafter referred to as “Applicants”), have submitted a request for modification to the original project approval of a Development Review Permit (DRP) for construction of a replacement single-family residence located at 446 Seabright Lane (Case No. DRP23-003 and Resolution No. 2023-117), pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Applicants requested the approval of a Modification to the DRP to allow a three square-foot net increase in floor area and expansions of trellises; and

**WHEREAS**, on June 26, 2024, the City Council held a duly noticed Public Hearing to consider the request for modifications; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a modification; and

**WHEREAS**, the City Council of the City of Solana Beach found that the project is exempt from the CEQA Guidelines pursuant to Section 15301 of the State CEQA Guidelines, which exempts minor modifications to existing facilities; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request to modify the DRP is conditionally approved based on the following Findings, and all terms and conditions of Resolution 2023 - 117 are in effect along with the following conditions applicable to the proposed modification:



### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:
- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Medium Density Residential in the General Plan and intended for single-family residential development with a maximum density of four dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicants were required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits. The California Coastal Commission issued a Notice of Permit Waiver Effectiveness (CDP Waiver 6-23-0838-W) for the project on February 8, 2024.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

#### Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "c", which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The proposed residence as well as proposed trellis patio



covers will be located entirely within the buildable area except for one of the proposed trellises, which legally encroaches into the southern side yard setback by two feet.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 10,884 square-foot lot is as follows:

0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,000 to 15,000 ft <sup>2</sup>	855 ft <sup>2</sup>
Maximum Allowable Floor Area:	3,855 ft <sup>2</sup>

The modified project includes a 2,915 square-foot main level living area, a 716 square-foot lower level two-car garage, a 368 square-foot lower level living area, and an 86 square-foot covered and enclosed exterior area. The subtotal of the proposed gross floor area is 4,085 square feet.

The proposed lower level garage and living area will be partially subterranean and built into the existing grade. However, the lower level does not qualify as a “basement” in the SROZ due to the vertical exposure measured from the finished floor of the main level to the lower of the existing and proposed grade. The maximum exposure of a basement in the SROZ is 3 feet and the proposed exposure of the lower level would be 4.75 feet. Therefore, the entire lower level garage and living area count toward the gross floor area.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space. The proposed garage will provide two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the exemption, the total gross floor area of the project is 3,685 square feet, which is 170 square feet below the maximum allowable for the property.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding*



*neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the LMR Zone as are the properties located in the immediate surrounding neighborhood on Seabright Lane and the west side of North Rios Avenue. The neighborhood is also adjacent to five properties in the Medium Residential (MR) Zone on the east side of North Cedros Avenue, an attached condominium “row home” development in the Medium-High Residential (MHR) Zone on the west side of North Cedros Avenue, three properties in the Light Commercial (LC) Zone on the east side of North Cedros Avenue and north of the intersection with East Cliff Street, residential properties in the Low Residential (LR) Zone located on the east side of North Rios Avenue, and the Solana Beach School District Office in the Public Institutional (PI) Zone located south of East Cliff Street between North Cedros Avenue and North Rios Avenue.

The modified project is found to be compatible with the existing development in the surrounding neighborhood as no change to the use is proposed and the adjacent uses are also residential.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The proposed project includes a replacement single-family residence that would have the appearance of a two-story home from the front of the property on Seabright Lane. The main level of the residence would have a finished floor approximately four feet above the existing grade, and the lower level garage and living area would be built into the existing grade. The residence would be located entirely within the buildable area.

The modified project is found to be sited and designed to minimize adverse impacts on surrounding properties as the added floor area would not reduce the minimum setback from the front property line, and the trellises comply with associated setback encroachment regulations.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits*



*have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicants have obtained approval from the California Coastal Commission.

#### V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

##### A. Community Development Department Conditions:

- I. The Applicants shall comply with all conditions of approval included in Resolution 2023-117.
- II. The Building Permit plans shall be in substantial conformance with the modified architectural plans presented to the City Council on June 26, 2024 and located in the project file with a submittal date of June 10, 2024, which identify the modifications subject to the DRP Modification as well as the project plans originally approved by Resolution 2023-117.

#### IV. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### V. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.



## VI. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 26<sup>th</sup> day of June, 2024, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

---

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

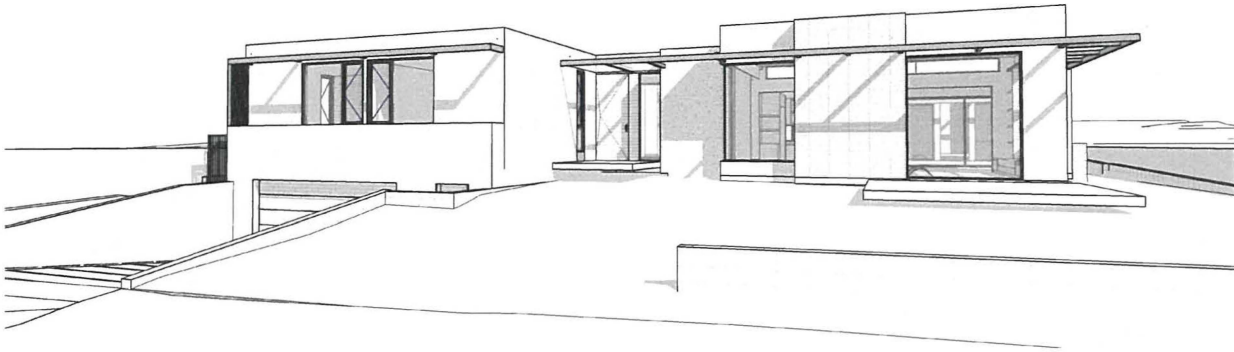
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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk





# 446 & 448 SEABRIGHT LANE RESIDENCE

NEW CONSTRUCTION / 446 & 448 SEABRIGHT LANE, SOLANA BEACH, CA 92075

## DEVELOPMENT REVIEW PERMIT MODIFICATION

### 446 & 448 SEABRIGHT LANE RESIDENCE

446 & 448 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

#### SAFDIE RABINES ARCHITECTS

925 FORT STOCKTON DRIVE  
SAN DIEGO, CA 92103  
P (619) 297-6153  
www.safdiearchitects.com

#### CLIENT

DARREN & RACHEL LEVITT  
446 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

#### CIVIL ENGINEER

CHRISTENSEN ENGINEERING & SURVEYING  
7888 SILVERTON AVE, SUITE J  
SAN DIEGO, CA 92126

#### LANDSCAPE ARCHITECT

VRIDIAN LANDSCAPE  
6520 NANCY RIDGE DRIVE,  
SAN DIEGO, CA 92121

#### STRUCTURAL ENGINEER

QUALLS ENGINEERING  
4403 MANCHESTER AVE, SUITE 203  
ENCINITAS, CA 92024

#### M.E.P. ENGINEER

120 DEGREEZ ENGINEERING  
(310) 364-5228

#### WATERPROOFING CONSULTANT

WARHORSE CONSULTING SERVICES  
(949) 324-6999

#### LIGHTING DESIGN

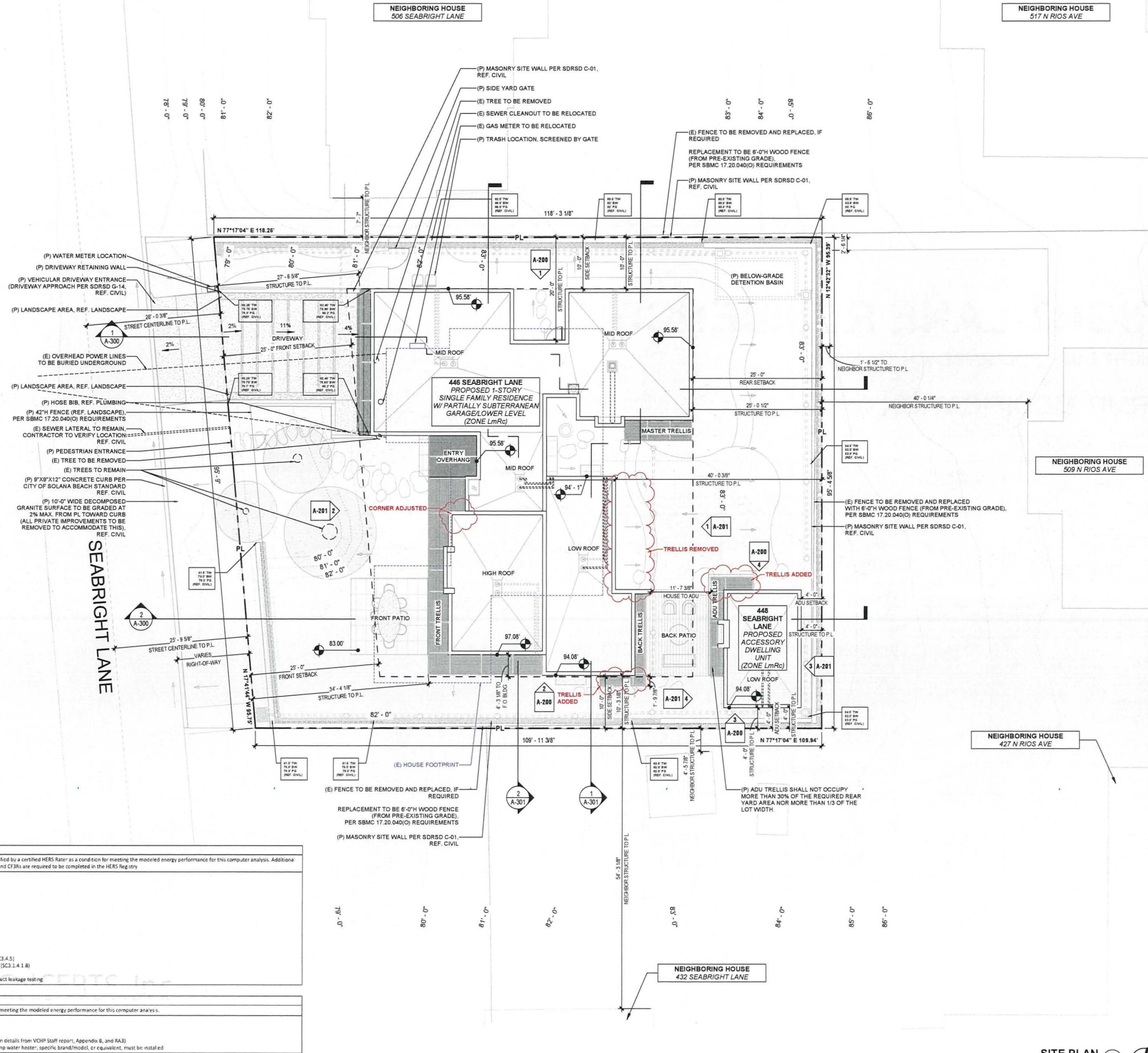
THEIA LIGHTING DESIGN  
(215) 983-2084

(REFER TO COVER SHEET FOR MORE CONTACT INFORMATION)

OWNER INFORMATION		DEVELOPMENT SUMMARY		SHEET INDEX																												
DARREN AND RACHEL LEVITT 446 SEABRIGHT LANE SOLANA BEACH, CA 92075 (858) 342-2441		<b>PROJECT DESCRIPTION / SCOPE</b> DEMOLITION OF EXISTING ONE (1) STORY HOUSE, CONSTRUCTION OF NEW ONE (1) STORY SINGLE-FAMILY RESIDENCE, WITH PARTIALLY SUBTERRANEAN GARAGE/LOWER LEVEL AND NEW ACCESSORY DWELLING UNIT		<b>NO.</b> <b>SHEET NAME</b> 01 GENERAL G-001 TITLE SHEET																												
<b>PROJECT TEAM</b>		<b>PROJECT ADDRESS</b> 446 SEABRIGHT LANE SOLANA BEACH, CA 92075		04 ARCHITECTURE A-000 SITE PLAN A-001 SITE SURVEY A-002 DEMOLITION PLAN A-003 AREA CALCULATIONS A-100 FLOOR PLAN - LOWER LEVEL A-101 FLOOR PLAN - MAIN LEVEL A-102 ROOF PLAN A-200 BUILDING ELEVATIONS - NORTH / SOUTH A-201 BUILDING ELEVATIONS - EAST / WEST A-300 BUILDING SECTIONS - EAST / WEST A-301 BUILDING SECTIONS - NORTH / SOUTH																												
ARCHITECT:	<b>SAFDIE RABINES ARCHITECTS</b> 925 Fort Stockton Drive San Diego, CA 92103 (619) 297-6153	<b>ASSESSOR'S PARCEL NUMBER</b> 263-061-14-00		<b>DEFERRED SUBMITTALS</b> 1. AUTOMATIC FIRE SPRINKLER SYSTEM 2. PHOTOVOLTAIC SYSTEM (PV)  SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.  <b>MAXIMUM FLOOR AREA CALCULATION</b> LOT SIZE 10,884 SQ. FT. 6,000 x 0.50 = 3,000 SQ. FT.* 4,884 x 0.175 = 855 SQ. FT.** TOTAL ALLOWED 3,855 SQ. FT.  *0.50 FOR FIRST 6,000 SF OF LOT AREA, PER SBMC 17.48.040(C)(1) **0.175 FOR ADDITIONAL SF OF LOT AREA 6,001-15,000 SQ. FT., PER SBMC 17.48.040(C)(1)  <b>PROPOSED FLOOR AREA CALCULATION</b> MAIN LEVEL LIVING AREA 2,915 SQ. FT. LOWER LEVEL GARAGE 716 SQ. FT. LOWER LEVEL LIVING AREA 368 SQ. FT. COVERED / ENCLOSED EXTERIOR AREA 86 SQ. FT. SUBTOTAL 4,085 SQ. FT. OFF-STREET PARKING EXEMPTION -400 SQ. FT.*** GROSS FLOOR AREA 3,685 SQ. FT. ADU AREA 342 SQ. FT.  *** PER SBMC 17.48.040(C)(1)(c), "REQUIRED PARKING GARAGES (200 SF PER SPACE UP TO A MAXIMUM OF 400 SF FOR A SINGLE-FAMILY RESIDENCE) SHALL BE EXCLUDED FROM THE CALCULATION OF FLOOR AREA RATIO."  <b>PROPOSED LANDSCAPE (REF. SBGR-439)</b> <table><thead><tr><th></th><th>EXISTING</th><th>PROPOSED</th></tr></thead><tbody><tr><td>NON-LANDSCAPED AREA</td><td></td><td></td></tr><tr><td>BUILDING AREA</td><td>2,229 SQ. FT.</td><td>3,246 SQ. FT.</td></tr><tr><td>IMPERVIOUS HARDSCAPE</td><td>664 SQ. FT.</td><td>784 SQ. FT.</td></tr><tr><td>PERMEABLE HARDSCAPE</td><td>0 SQ. FT.</td><td>2,100 SQ. FT.</td></tr><tr><td>NON-IRRIGATED LANDSCAPE</td><td>0 SQ. FT.</td><td>0 SQ. FT.</td></tr><tr><td>IRRIGATED LANDSCAPE</td><td>7,991 SQ. FT.</td><td>4,754 SQ. FT.</td></tr><tr><td>WATER FEATURES</td><td>0 SQ. FT.</td><td>0 SQ. FT.</td></tr><tr><td>TOTAL LOT AREA</td><td>10,884 SQ. FT.</td><td>10,884 SQ. FT.</td></tr></tbody></table> <b>PROPOSED GRADING (REF. SBGR-439)</b> SITE GRADING CUT 332 C.Y. FILL 173 C.Y. EXCAVATION FOR THE FOOTINGS OF NEW CONSTRUCTION 25 C.Y. REMOVAL AND RECOMPACTION (PENDING GEOTECH) TOTAL GRADING 530 C.Y. TOTAL EXPORT 159 C.Y.  (P) GRADING 530 C.Y. (P) GRADING IN SLOPES >25% (NONE) SLOPE CLASSIFICATION N/A AREA TO BE GRADED 10,884 S.F. VOLUME OF EXCAVATION FOR FOOTINGS 25 C.Y. VOLUME OF EXCAVATION AND RECOMPACTION (PENDING GEOTECH) VOLUME OF CUTTING 332 C.Y. CUT SLOPE RATIO N/A VOLUME OF FILL 173 C.Y. FILL SLOPE RATIO 2:1, 3'-0"H VOLUME OF SOIL IMPORTED/EXPORTED 159 C.Y.  RETAINING WALL LENGTH 310 FT. RETAINING WALL HEIGHT FROM EXISTING GRADE VARIES 0 - 3.5 FT. RETAINING WALL HEIGHT FROM FINAL GRADE VARIES 0 - 7.5 FT.			EXISTING	PROPOSED	NON-LANDSCAPED AREA			BUILDING AREA	2,229 SQ. FT.	3,246 SQ. FT.	IMPERVIOUS HARDSCAPE	664 SQ. FT.	784 SQ. FT.	PERMEABLE HARDSCAPE	0 SQ. FT.	2,100 SQ. FT.	NON-IRRIGATED LANDSCAPE	0 SQ. FT.	0 SQ. FT.	IRRIGATED LANDSCAPE	7,991 SQ. FT.	4,754 SQ. FT.	WATER FEATURES	0 SQ. FT.	0 SQ. FT.	TOTAL LOT AREA	10,884 SQ. FT.	10,884 SQ. FT.
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TOTAL LOT AREA	10,884 SQ. FT.	10,884 SQ. FT.																														
CIVIL ENGINEER:	<b>CHRISTENSEN ENGINEERING &amp; SURVEYING</b> 7888 Silvertown Ave, Suite J, San Diego, CA 92126 (858) 271-9901	<b>LEGAL DESCRIPTION</b> THE SOUTHERLY 95.39 FEET OF LOT 15, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SEABRIGHT ACRES, ACCORDING TO MAP THEREOF NO. 2373, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 10, 1946, EXCEPTING THEREFROM THE EASTERLY 112 FEET, THE NORTHERLY LINE OF SAID SOUTHERLY 95.39 FEET DRAWN PARALLEL WITH AND DISTANT 95.39 FEET NORTHERLY MEASURED AT RIGHT ANGLES FROM THE SOUTHERLY LINE OF SAID LOT 15.																														
LANDSCAPE ARCHITECT:	<b>VRIDIAN LANDSCAPE</b> 6520 Nancy Ridge Drive, San Diego, CA 92121 (760) 736-0296	<b>USE AND OCCUPANCY</b> EXISTING SINGLE-FAMILY RESIDENCE (R-3) PROPOSED SINGLE-FAMILY RESIDENCE (R-3) ADU (R-3)																														
STRUCTURAL ENGINEER:	<b>QUALLS ENGINEERING</b> 4403 Manchester Ave, Suite 203, Encinitas, CA 92024 (760) 652-9257	<b>APPLICABLE BUILDING CODE</b> - 2022 CALIFORNIA BUILDING CODE (CBC) - 2022 CALIFORNIA RESIDENTIAL CODE (CRC) - 2022 CALIFORNIA MECHANICAL CODE (CMC) - 2022 CALIFORNIA ELECTRICAL CODE (CEC) - 2022 CALIFORNIA PLUMBING CODE (CPC) - 2022 CALIFORNIA ENERGY CODE (CEC) - 2022 CALIFORNIA FIRE CODE (CFC) - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)																														
M.E.P. ENGINEER:	<b>120 DEGREEZ ENGINEERING</b> (310) 364-5228	COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.																														
WATERPROOFING CONSULTANT:	<b>WARHORSE CONSULTING SERVICES</b> (949) 324-6999	<b>JURISDICTIONAL AUTHORITY</b> CITY OF SOLANA BEACH																														
LIGHTING DESIGNER:	<b>THEIA LIGHTING</b> (215) 983-2084	<b>BASE ZONE</b> LMRc (LOW-MEDIUM RESIDENTIAL)																														
<b>VICINITY MAP</b>		<b>OVERLAY ZONES</b> SCALED RESIDENTIAL OVERLAY ZONE (SROZ) COASTAL OVERLAY ZONE																														
		<b>CONSTRUCTION TYPE</b> TYPE V-B NFPA 13D SPRINKLER SYSTEM* *AS MITIGATION FOR HOSE PULL REQUIREMENT, ADDITIONAL FIRE SPRINKLER COVERAGE WILL BE PROVIDED IN ALL BATHROOMS AND CLOSETS, REGARDLESS OF SIZE.																														
		<b>NUMBER OF STORIES</b> EXISTING 1 LEVEL PROPOSED 1 LEVEL, WITH PARTIALLY SUBTERRANEAN LOWER LEVEL																														
		<b>STRUCTURE HEIGHT</b> 16'-0" MAXIMUM HEIGHT ABOVE EXISTING GRADE (PER SBMC 17.63.040)																														
		<b>PROPOSED PARKING</b> (2) OFF-STREET PARKING SPACES, PER SBMC 17.52.040(A)																														
		<b>REQUIRED SETBACKS / EASEMENTS</b> (PER SBMC TABLE 17.20.030-D) FRONT: 25 FT. REAR: 25 FT. SIDES: 10 FT. EASEMENT(S): NONE																														

ATTACHMENT 2





SITE PLAN NOTES

- FIRE SAFETY NOTES**
- AS MITIGATION FOR HOSE PULL REQUIREMENT, ADDITIONAL FIRE SPRINKLER COVERAGE WILL BE PROVIDED IN ALL BATHROOMS AND CLOSETS, REGARDLESS OF SIZE.
  - ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (REF. CRC R337.5.4).
  - ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
  - ALL ROOFING TO BE CLASS "A" FIRE RATED.
  - SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. (CRC R401.3, SECTION 1804.4)

- OVERLAY ZONES**
- SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
  - COASTAL OVERLAY ZONE

**REQUIRED SETBACKS / EASEMENTS**  
(PER SBMC TABLE 17.20.030-D)  
FRONT: 25 FT.  
REAR: 25 FT.  
SIDES: 10 FT.  
EASEMENT(S): NONE

**MAXIMUM FLOOR AREA CALCULATION**

LOT SIZE	10,884 SQ. FT.
6,000 x 0.50 =	3,000 SQ. FT.*
4,884 x 0.175 =	855 SQ. FT.**
TOTAL ALLOWED	3,855 SQ. FT.

\*0.50 FOR FIRST 6,000 SF OF LOT AREA, PER SBMC 17.48.040(C)(1)  
\*\*0.175 FOR ADDITIONAL SF OF LOT AREA 6,001-15,000 SQ. FT., PER SBMC 17.48.040(C)(1)

**SQUARE FOOTAGE ADJUSTED**

**PROPOSED FLOOR AREA CALCULATION**

MAIN LEVEL LIVING AREA	2,915 SQ. FT.
LOWER LEVEL GARAGE	716 SQ. FT.
LOWER LEVEL LIVING AREA	368 SQ. FT.
COVERED / ENCLOSED EXTERIOR AREA	86 SQ. FT.
SUBTOTAL	4,085 SQ. FT.
OFF-STREET PARKING EXEMPTION	-400 SQ. FT.***
GROSS FLOOR AREA	3,685 SQ. FT.
ADU AREA	342 SQ. FT.

\*\*\* PER SBMC 17.48.040(C)(1)(c), "REQUIRED PARKING GARAGES (200 SF PER SPACE UP TO A MAXIMUM OF 400 SF FOR A SINGLE-FAMILY RESIDENCE) SHALL BE EXCLUDED FROM THE CALCULATION OF FLOOR AREA RATIO."

LEGEND

- |  |                         |  |                        |
|--|-------------------------|--|------------------------|
|  | PROPOSED NEW WALLS      |  | MATCHLINE              |
|  | SECTION MARK            |  | ROOF TAG               |
|  | BUILDING ELEVATION MARK |  | MAIN CONTOUR LINE      |
|  | KEYNOTE                 |  | SECONDARY CONTOUR LINE |
|  | GRID LINE               |  | WALL TAG               |
|  | PROPERTY LINE           |  | FLOOR TAG              |
|  | SETBACK LINE            |  |                        |
|  | LEVEL ELEVATION         |  |                        |
|  | LINE ABOVE / BELOW      |  |                        |

SITE PLAN 1

1" = 10'-0"



446 & 448 SEABRIGHT LANE RESIDENCE

446 & 448 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

SAFDIE RABINES ARCHITECTS

925 FORT STOCKTON DRIVE  
SAN DIEGO, CA 92103  
P (619) 297-6153  
www.safdiearchitects.com

CLIENT

DARREN & RACHEL LEVITT  
446 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

CIVIL ENGINEER

CHRISTENSEN ENGINEERING & SURVEYING  
7888 SILVERTON AVE, SUITE J  
SAN DIEGO, CA 92126

LANDSCAPE ARCHITECT

VIRIDIAN LANDSCAPE  
6520 NANCY RIDGE DRIVE,  
SAN DIEGO, CA 92121

STRUCTURAL ENGINEER

QUALLS ENGINEERING  
4403 MANCHESTER AVE, SUITE 203  
ENCINITAS, CA 92024

M.E.P. ENGINEER

120 DEGREEZ ENGINEERING  
(310) 364-5228

WATERPROOFING CONSULTANT

WARHORSE CONSULTING SERVICES  
(949) 324-6999

LIGHTING DESIGN

THEIA LIGHTING DESIGN  
(215) 983-2084

(REFER TO COVER SHEET FOR MORE CONTACT INFORMATION)



REVISIONS

No.	Description	Date
01	PRELIM BUILDING PERMIT SUBMITTAL	12/06/23
02	BUILDING PERMIT SUBMITTAL	03/06/24
03	BUILDING PERMIT SUBMITTAL #2	04/11/24
04	BUILDING PERMIT SUBMITTAL #3	05/13/24
05	DRP MODIFICATION	05/23/24

Issue Date  
6/10/2024 3:15:30 PM  
Scale  
As Indicated  
SRA Project Number  
2215

SITE PLAN

A-000





SCALE: 1" = 16'



### LEGAL DESCRIPTION

THE SOUTHERLY 95.39 FEET OF LOT 15, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SEABRIGHT ACRES, ACCORDING TO MAP THEREOF NO. 2373, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 10, 1946, EXCEPTING THEREFROM THE EASTERLY 112 FEET, THE NORTHERLY LINE OF SAID SOUTHERLY 95.39 FEET DRAWN PARALLEL WITH AND DISTANT 95.39 FEET NORTHERLY MEASURED AT RIGHT ANGLES FROM THE SOUTHERLY LINE OF SAID LOT 15.

### NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. SEE TITLE REPORT.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD, PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 446 SEABRIGHT LANE, SOLANA BEACH, CA 92075.
4. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 263-061-14.
5. THE TOTAL AREA OF THE SUBJECT PARCEL IS 0.25 ACRES.

### TITLE REFERENCE

TITLE INFORMATION FOR THIS SURVEY IS FROM FIDELITY NATIONAL TITLE AMENDED PRELIMINARY REPORT ORDER NO. 00194291-992-SD1-2MM DATED APRIL 22, 2022.

### BENCHMARK

CITY OF SOLANA BEACH SURVEY CONTROL STATION "ENC-43", ELEVATION 32.469' MEAN SEA LEVEL (N.G.V.D. 1929).



PRELIMINARY  
PATRICK F. CHRISTENSEN, P.L.S. 7208 Date 07-24-22

Prepared By:  
CHRISTENSEN ENGINEERING & SURVEYING  
7888 SILVERTON AVENUE, SUITE "J"  
SAN DIEGO, CA 92126  
PHONE (658)271-9901 EMAIL:CEANDS@AOL.COM

Project Address:  
446 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

Revision 5:  
Revision 4:  
Revision 3: 2-20-23 ADDED ROOF SPOTS  
Revision 2: 9-28-22 ADD TREES/UTILS  
Revision 1: 7-25-22 CHANGED SCALE

Project Name:  
LEVITT RESIDENCE

Original Date: JULY 24, 2022

Sheet Title:

Sheet 1 Of 1

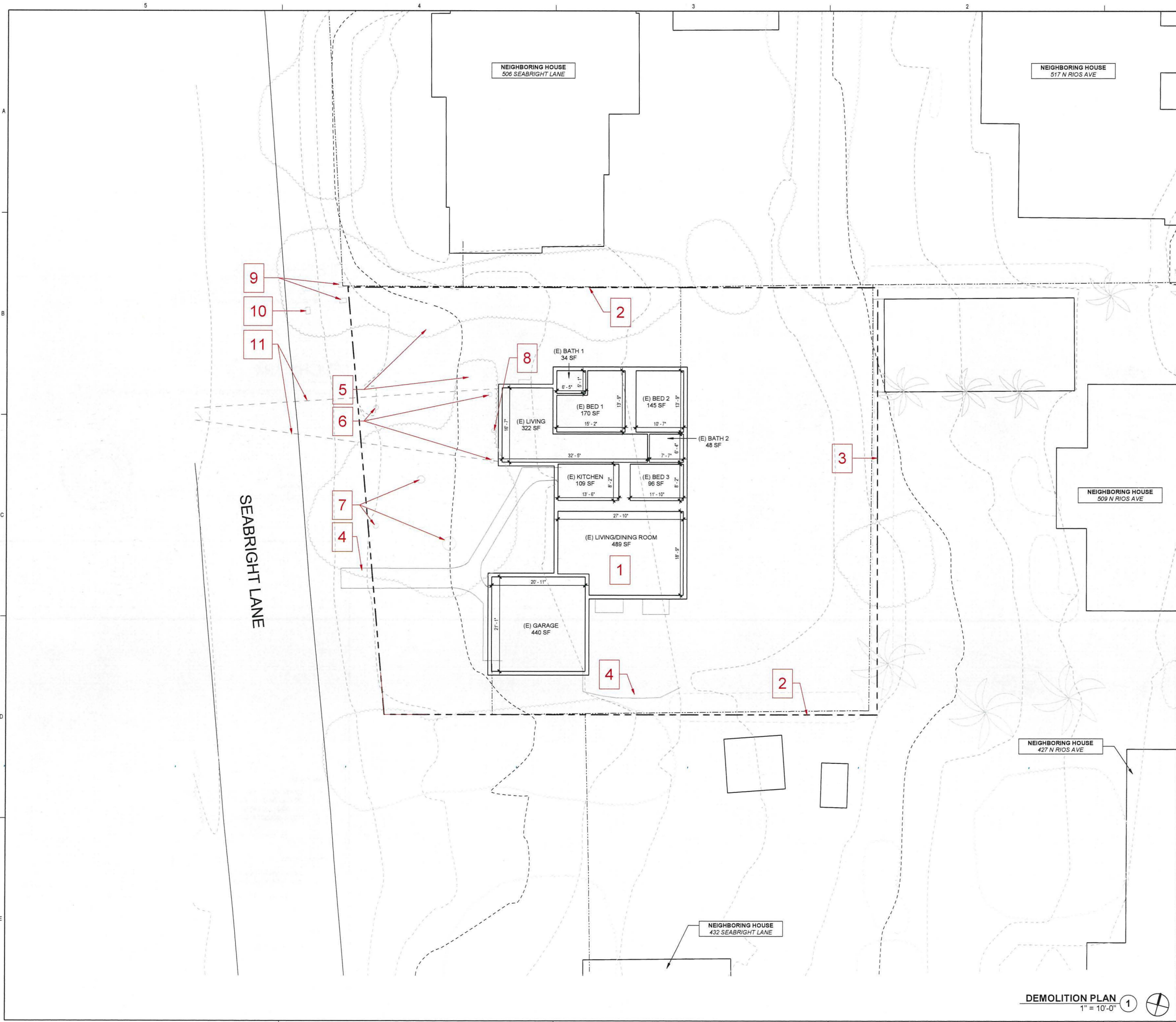
TOPOGRAPHIC MAP

DEP# \_\_\_\_\_



CHRISTENSEN ENGINEERING & SURVEYING  
CIVIL ENGINEERS LAND SURVEYORS PLANNERS  
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GENERAL NOTES

1. GRIDLINES ARE MEASURED TO THE EXTERIOR FACE OF STUD U.N.O.
2. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH U.N.O.
3. DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, U.N.O.
4. KEY NOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS, AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
5. REFER TO WALL, FLOOR, AND CEILING TYPES FOR R-VALUES.
6. ALL ROOFING TO BE CLASS 'A' FIRE RATED.
7. THIS PROJECT SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE.
8. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
10. ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
11. ALL ROOF DRAINS, DECK DRAINS AND RAISED PLANTER DRAINS SHALL CONNECT TO DRAIN LINES CONCEALED FROM SIGHT AND DIRECTED TO FLOW @ 1% SLOPE TO ON SITE RAIN WATER CISTERN. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION.
12. CONTRACTOR TO VERIFY EXISTING WALL ASSEMBLIES AND THICKNESSES IN FIELD.
13. 1/8" FLOOR PLANS CONTAIN: OVERALL LAYOUT & OVERALL DIMENSIONS (REF. A-100 - A-103).
14. 1/4" FLOOR PLANS CONTAIN: SPATIAL LAYOUT, WALL TAGS, DOOR & WINDOW TAGS, OPENING DIMENSIONS, DIMENSIONAL CLEARANCES (REF. A-400 - A-402).

DEMOLITION NOTES

1. (E) HOUSE STRUCTURE TO BE COMPLETELY DEMOLISHED (FOUNDATIONS, FLOORS, WALLS AND ROOFS).
2. (E) FENCE TO BE REMOVED AND REPLACED, IF REQUIRED.
3. (E) FENCE TO BE REMOVED AND REPLACED, PER CITY STANDARDS.
4. (E) PAVING TO BE REMOVED.
5. (E) PLANTING TO BE REMOVED.
6. (E) TREE TO BE REMOVED.
7. (E) TREE TO REMAIN.
8. (E) SEWER CLEANOUT TO BE RELOCATED.
9. (E) WATER METERS.
10. (E) IRRIGATION BOX.
11. (E) OVERHEAD POWER LINES TO BE BURIED UNDERGROUND AND POWER METER TO BE REMOVED AND REPLACED, PER ELECTRICAL PLANS.

EXISTING HOUSE AREA

LIVING/DINING ROOM	489 SQ. FT.
LIVING ROOM	322 SQ. FT.
KITCHEN	109 SQ. FT.
BEDROOM 1	170 SQ. FT.
BEDROOM 2	145 SQ. FT.
BEDROOM 3	96 SQ. FT.
BATHROOM 1	34 SQ. FT.
BATHROOM 2	48 SQ. FT.
BATHROOM 3	96 SQ. FT.
TOTAL HABITABLE AREA	1,413 SQ. FT.
GARAGE AREA	440 SQ. FT.

446 & 448  
SEABRIGHT  
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ENCINITAS, CA 92024

M.E.P. ENGINEER:

120 DEGREEZ ENGINEERING  
(310) 364-5228

WATERPROOFING CONSULTANT:

WARHORSE CONSULTING SERVICES  
(849) 324-6999

LIGHTING DESIGN:

THEIA LIGHTING DESIGN  
(215) 963-2084

(REFER TO COVER SHEET FOR MORE CONTACT INFORMATION)



REVISIONS

No.	Description	Date
01	PRELIM. BUILDING PERMIT SUBMITTAL	12/05/23
02	BUILDING PERMIT SUBMITTAL	03/06/24
03	BUILDING PERMIT SUBMITTAL #2	04/11/24
04	BUILDING PERMIT SUBMITTAL #3	05/13/24
05	DRP MODIFICATION	05/23/24

Issue Date

5/22/2024 12:01:57 PM

Scale

1" = 10'-0"

SRA Project Number

2215

DEMOLITION PLAN

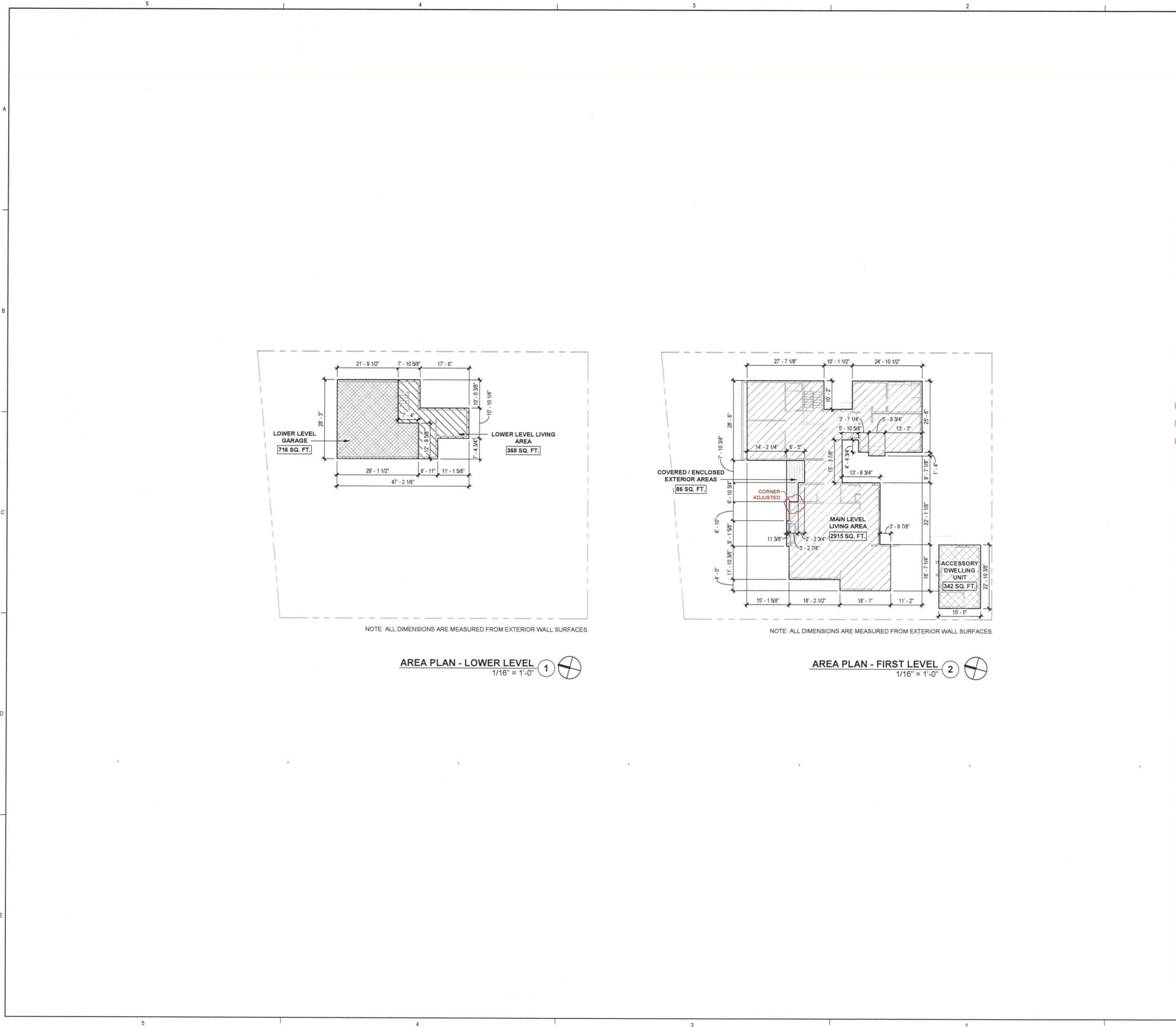
A-002

DEMOLITION PLAN

1" = 10'-0"







PROJECT DESCRIPTION

**PROJECT SCOPE**  
NEW ONE (1) STORY SINGLE-FAMILY RESIDENCE, WITH SUBTERRANEAN GARAGE/BASEMENT AND ACCESSORY DWELLING UNIT

**PROJECT ADDRESS**  
446 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

**ASSESSOR'S PARCEL NUMBER**  
263-061-14-00

**LOT SIZE**  
GROSS LOT SIZE: 10,900 SQ. FT. (0.25 ACRES)  
NET LOT SIZE: 10,900 SQ. FT. (0.25 ACRES)

AREA CALCULATION

MAXIMUM FLOOR AREA CALCULATION	
LOT SIZE	10,884 SQ. FT.
6,000 x 0.50 =	3,000 SQ. FT. *
4,884 x 0.175 =	855 SQ. FT. **
TOTAL ALLOWED	3,855 SQ. FT.

\*0.50 FOR FIRST 6,000 SF OF LOT AREA, PER SBMC 17.48.040(C)(1)  
\*\*0.175 FOR ADDITIONAL SF OF LOT AREA 6,001-15,000 SQ. FT., PER SBMC 17.48.040(C)(1)

PROPOSED FLOOR AREA CALCULATION	
MAIN LEVEL LIVING AREA	2,915 SQ. FT.
LOWER LEVEL GARAGE	716 SQ. FT.
LOWER LEVEL LIVING AREA	368 SQ. FT.
COVERED / ENCLOSED EXTERIOR AREA	86 SQ. FT.
SUBTOTAL	4,085 SQ. FT.
OFF-STREET PARKING EXEMPTION	-400 SQ. FT. ***
GROSS FLOOR AREA	3,685 SQ. FT.
ADU AREA	342 SQ. FT.

\*\*\* PER SBMC 17.48.040(C)(1)(c), "REQUIRED PARKING GARAGES (200 SF PER SPACE UP TO A MAXIMUM OF 400 SF FOR A SINGLE-FAMILY RESIDENCE) SHALL BE EXCLUDED FROM THE CALCULATION OF FLOOR AREA RATIO."

LEGEND

- MAIN LEVEL LIVING AREA
- LOWER LEVEL LIVING AREA
- LOWER LEVEL GARAGE
- COVERED / ENCLOSED EXTERIOR AREAS
- ACCESSORY DWELLING UNIT

446 & 448 SEABRIGHT LANE RESIDENCE

446 & 448 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

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REVISIONS

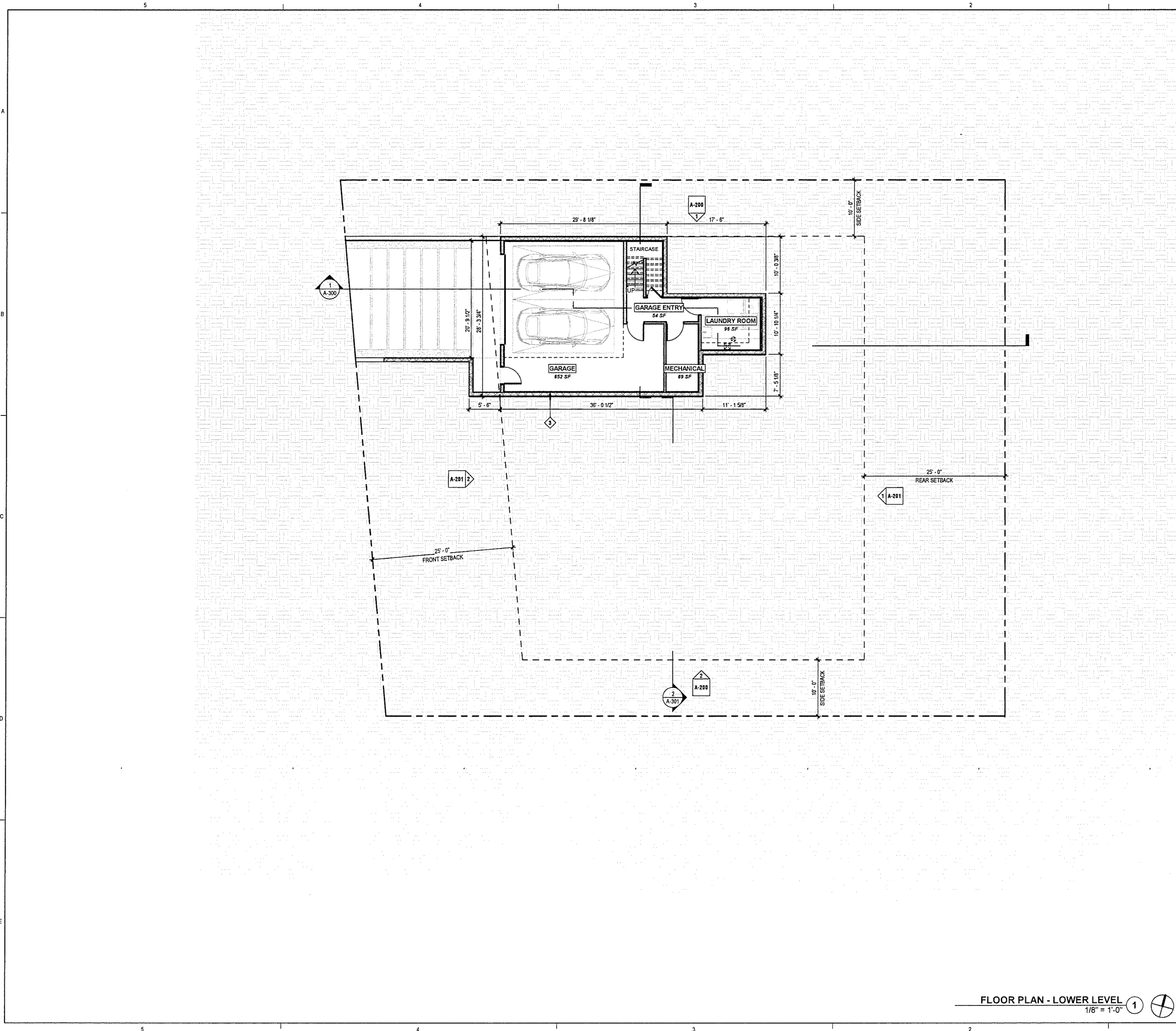
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03	BUILDING PERMIT SUBMITTAL #2	04/11/24
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05	DRP MODIFICATION	05/23/24

Issue Date: 5/22/2024 12:01:58 PM  
Scale: As Indicated  
SRA Project Number: 2215

AREA CALCULATIONS

A-003





FLOOR PLAN - LOWER LEVEL

1/8" = 1'-0"



GENERAL NOTES

- GRIDLINES ARE MEASURED TO THE EXTERIOR FACE OF STUD U.N.O.
- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH U.N.O.
- PLANS CONTENTS:**
  - 1/8" FLOOR PLANS CONTAIN: GRID DIMENSIONS, OVERALL LAYOUT & OVERALL DIMENSIONS (REF. A-101 - A-102)
  - 1/4" FLOOR PLANS CONTAIN: OVERALL ROOM FINISH DIMENSIONS, FLOOR, ROOF, WALL, CEILING, DOOR & WINDOW TAGS (REF. A-400 - A-402)
  - 1/4" DIMENSION PLANS CONTAIN: GRID DIMENSIONS, FINISHED DIMENSIONS, CLEARANCES
  - 1/2" FLOOR PLANS CONTAIN: CABINETRY AND CLEARNACE DIMENSIONS, FINISH MATERIALS, PLUMBING FIXTURES, ELECTRICAL & APPLIANCE TAGS
- KEY NOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS, AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- REFER TO WALL, FLOOR, AND CEILING TYPES FOR R-VALUES.
- ALL ROOFING TO BE CLASS 'A' FIRE RATED.
- THIS PROJECT SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN NOTES

- THIS PROJECT MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS & MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 25-FEET PER SBMC 17.20.030(G).
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-06 (UFC 901.4.4).
- PER CRC R307.2, SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT FO NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. NO. 26 GA. SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- PER CRC R905.9.1, A MIN. ROOF / DECK SLOPE OF 1/4" PER FOOT (2%) IS REQUIRED.

FIRE SAFETY NOTES

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (REF. CRC R337.5.4).
- ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
- ALL ROOFING TO BE CLASS 'A' FIRE RATED.

AGING-IN-PLACE (CRC R327)

- REINFORCEMENT FOR GRAB BARS. AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH SECTION R327.1.1. REINFORCEMENT SHALL BE MINIMUM 2X8 SOLID LUMBER, LOCATED BETWEEN 32" AND 39-1/4" ABOVE THE FINISHED FLOOR FLUSH WITH WALL FRAMING ON BOTH SIDE WALLS OF THE FIXTURE.
- ELECTRICAL OUTLETS, SWITCH, AND CONTROL HEIGHTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR (R327.1.2).

OVERLAY ZONES

- SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
- COASTAL OVERLAY ZONE

PARKING REQUIREMENTS

- OFF-STREET PARKING SPACES, PER SBMC 17.52.040(A)

KEYNOTES

LEGEND

- |  |                         |  |                        |
|--|-------------------------|--|------------------------|
|  | PROPOSED NEW WALLS      |  | MATCHLINE              |
|  | SECTION MARK            |  | ROOF TAG               |
|  | BUILDING ELEVATION MARK |  | MAIN CONTOUR LINE      |
|  | KEYNOTE                 |  | SECONDARY CONTOUR LINE |
|  | GRID LINE               |  | WALL TAG               |
|  | PROPERTY LINE           |  | FLOOR TAG              |
|  | SETBACK LINE            |  |                        |
|  | LEVEL ELEVATION         |  |                        |
|  | LINE ABOVE / BELOW      |  |                        |

446 & 448 SEABRIGHT LANE RESIDENCE

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Issue Date

5/22/2024 12:01:58 PM

Scale

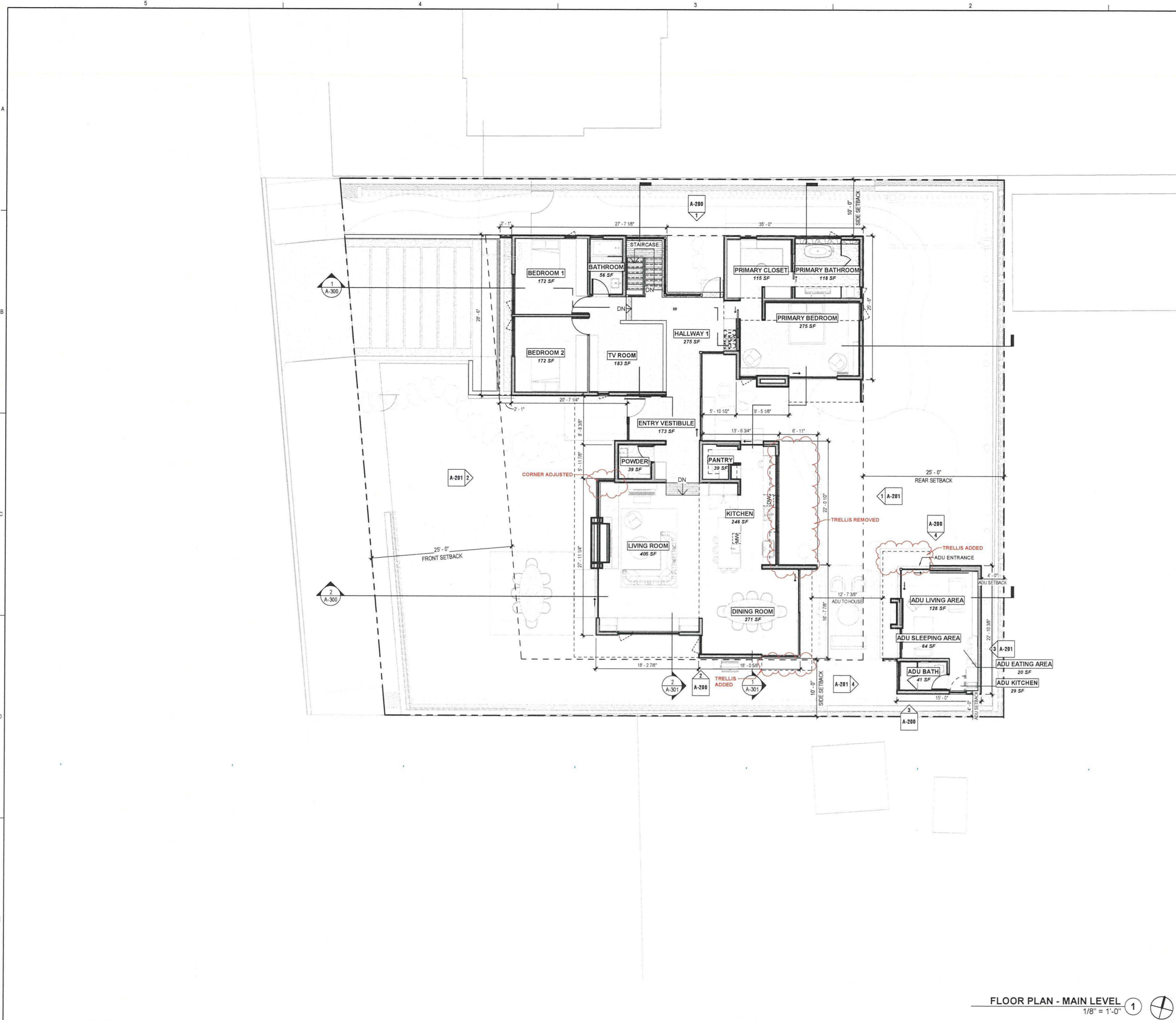
As indicated

SRA Project Number  
2215

FLOOR PLAN - LOWER LEVEL

A-100





GENERAL NOTES

- GRIDLINES ARE MEASURED TO THE EXTERIOR FACE OF STUD U.N.O.
- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH U.N.O.
- PLANS CONTENTS:
  - 1/8" FLOOR PLANS CONTAIN: GRID DIMENSIONS, OVERALL LAYOUT & OVERALL DIMENSIONS (REF. A-101 - A-102).
  - 1/4" FLOOR PLANS CONTAIN: OVERALL, ROOM FINISH DIMENSIONS, FLOOR, ROOF, WALL, CEILING, DOOR & WINDOW TAGS (REF. A-400 - A-402).
  - 1/4" DIMENSION PLANS CONTAIN: GRID DIMENSIONS, FINISHED DIMENSIONS, CLEARANCES.
  - 1/2" FLOOR PLANS CONTAIN: CABINETRY AND CLEARANCE DIMENSIONS, FINISH MATERIALS, PLUMBING FIXTURES, ELECTRICAL & APPLIANCE TAGS.
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- THIS PROJECT SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN NOTES

- THIS PROJECT MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 25-FEET PER SBMC 17.20.030(G).
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-06 (UFC 901.4.4).
- PER CRC COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT FO NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. NO. 26 GA. SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- PER CRC R905.9.1, A MIN. ROOF / DECK SLOPE OF 1/4" PER FOOT (2%) IS REQUIRED.

FIRE SAFETY NOTES

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (REF. CRC R337.5.4).
- ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
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AGING-IN-PLACE (CRC R327)

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OVERLAY ZONES

- SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
- COASTAL OVERLAY ZONE

PARKING REQUIREMENTS

- (2) OFF-STREET PARKING SPACES, PER SBMC 17.52.040(A)

KEYNOTES

LEGEND

- |  |                         |  |                        |
|--|-------------------------|--|------------------------|
|  | PROPOSED NEW WALLS      |  | MATCHLINE              |
|  | SECTION MARK            |  | ROOF TAG               |
|  | BUILDING ELEVATION MARK |  | MAIN CONTOUR LINE      |
|  | KEYNOTE                 |  | SECONDARY CONTOUR LINE |
|  | GRID LINE               |  | WALL TAG               |
|  | PROPERTY LINE           |  | FLOOR TAG              |
|  | SETBACK LINE            |  |                        |
|  | LEVEL ELEVATION         |  |                        |
|  | LINE ABOVE / BELOW      |  |                        |

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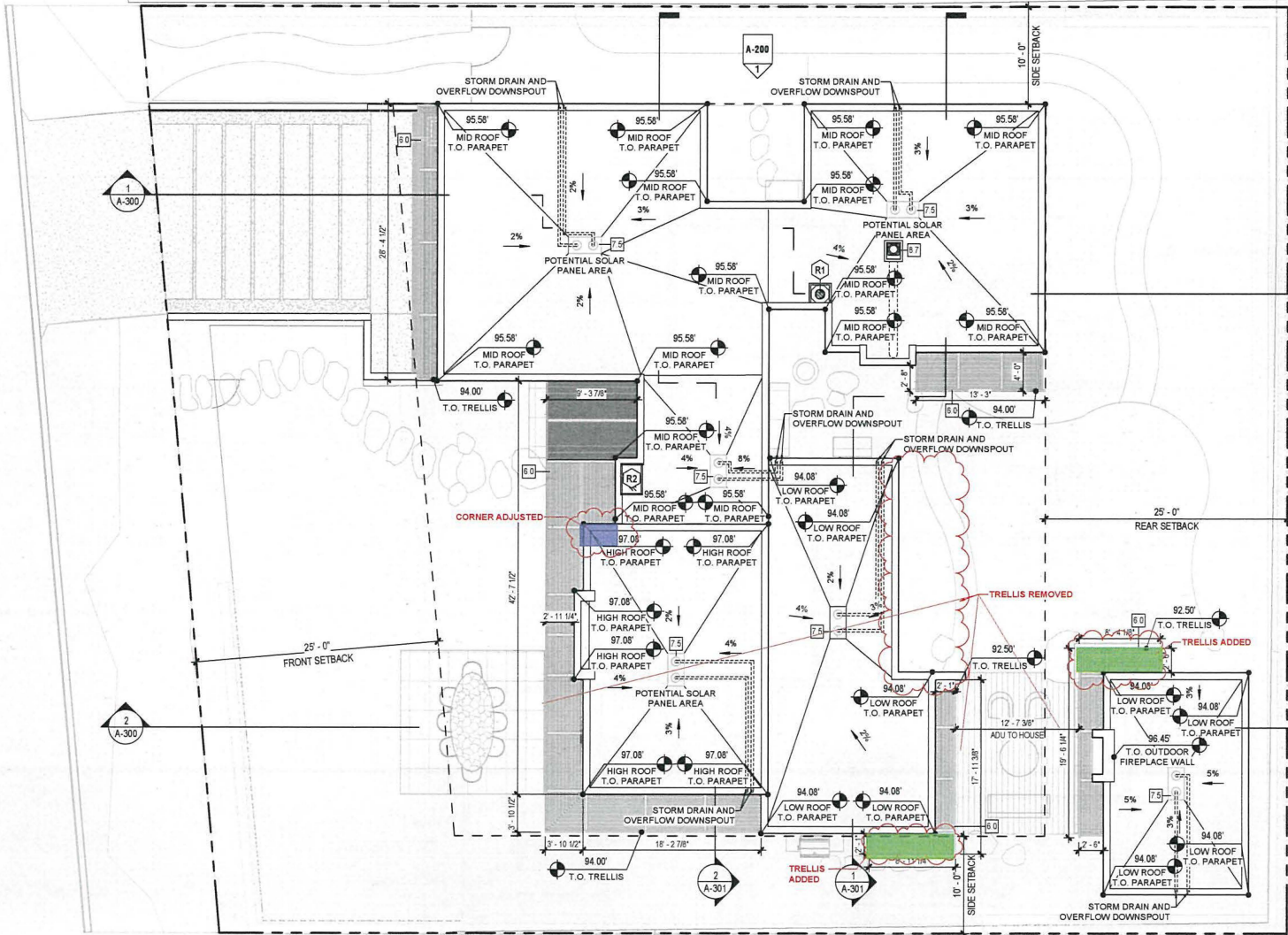
FLOOR PLAN - MAIN LEVEL

A-101

FLOOR PLAN - MAIN LEVEL

1/8" = 1'-0"





GENERAL NOTES

- GRIDLINES ARE MEASURED TO THE EXTERIOR FACE OF STUD U.N.O.
- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH U.N.O.
- PLANS CONTENTS:**
  - 11/8" FLOOR PLANS CONTAIN: GRID DIMENSIONS, OVERALL LAYOUT & OVERALL DIMENSIONS (REF. A-101 - A-102).
  - 1/4" FLOOR PLANS CONTAIN: OVERALL ROOM FINISH DIMENSIONS, FLOOR, ROOF, WALL, CEILING, DOOR & WINDOW TAGS (REF. A-400 - A-402).
  - 1/4" DIMENSION PLANS CONTAIN: GRID DIMENSIONS, FINISHED DIMENSIONS, CLEARANCES.
  - 1/2" FLOOR PLANS CONTAIN: CABINETRY AND CLEARANCE DIMENSIONS, FINISH MATERIALS, PLUMBING FIXTURES, ELECTRICAL & APPLIANCE TAGS.
- KEY NOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS, AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- REFER TO WALL, FLOOR, AND CEILING TYPES FOR R-VALUES.
- ALL ROOFING TO BE CLASS 'A' FIRE RATED.
- THIS PROJECT SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN NOTES

- THIS PROJECT MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 25 FEET PER SBMC 17.20.030(G).
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-06 (UFC 901.4.4).
- PER CRC R307.2, SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. NO. 26 GA. SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- PER CRC R805.8.1, A MIN. ROOF / DECK SLOPE OF 1/4" PER FOOT (2%) IS REQUIRED.

FIRE SAFETY NOTES

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (REF. CRC R337.5.4).
- ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.
- ALL ROOFING TO BE CLASS 'A' FIRE RATED.

AGING-IN-PLACE (CRC R327)

- REINFORCEMENT FOR GRAB BARS: AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH SECTION R327.1.1. REINFORCEMENT SHALL BE MINIMUM 2X8 SOLID LUMBER, LOCATED BETWEEN 32" AND 39-1/4" ABOVE THE FINISHED FLOOR FLUSH WITH WALL FRAMING ON BOTH SIDE WALLS OF THE FIXTURE.
- ELECTRICAL OUTLETS, SWITCH, AND CONTROL HEIGHTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR (R327.1.2).

OVERLAY ZONES

- SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
- COASTAL OVERLAY ZONE

PARKING REQUIREMENTS

- OFF-STREET PARKING SPACES, PER SBMC 17.52.040(A)

KEYNOTES

- |     |  |
|-----|--|
| 6.0 | TRELLIS - REF. A-615                     |
| 7.5 | ROOF OR DECK DRAIN/OVERFLOW DRAIN, A-603 |
| 8.7 | FIRE PLACE VENT                          |

LEGEND

- |  |                         |  |                        |
|--|-------------------------|--|------------------------|
|  | PROPOSED NEW WALLS      |  | MATCHLINE              |
|  | SECTION MARK            |  | ROOF TAG               |
|  | BUILDING ELEVATION MARK |  | MAIN CONTOUR LINE      |
|  | KEYNOTE                 |  | SECONDARY CONTOUR LINE |
|  | GRID LINE               |  | WALL TAG               |
|  | PROPERTY LINE           |  | FLOOR TAG              |
|  | SETBACK LINE            |  |                        |
|  | LEVEL ELEVATION         |  |                        |
|  | LINE ABOVE / BELOW      |  |                        |

446 & 448 SEABRIGHT LANE RESIDENCE

446 & 448 SEABRIGHT LANE  
SOLANA BEACH, CA 92075

SAFDIE RABINES ARCHITECTS

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CLIENT

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LANDSCAPE ARCHITECT

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M.E.P. ENGINEER

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WARHORSE CONSULTING SERVICES  
(949) 324-6999

LIGHTING DESIGN

THEIA LIGHTING DESIGN  
(215) 983-2084

(REFER TO COVER SHEET FOR MORE CONTACT INFORMATION)



REVISIONS

No	Description	Date
01	PRELIM BUILDING PERMIT SUBMITTAL	12/06/23
02	BUILDING PERMIT SUBMITTAL	03/06/24
03	BUILDING PERMIT SUBMITTAL #2	04/11/24
04	BUILDING PERMIT SUBMITTAL #3	05/13/24
05	DRP MODIFICATION	05/23/24

Issue Date 6/10/2024 3:15:38 PM Scale As indicated  
SRA Project Number 2215

ROOF PLAN

A-102

FLOOR PLAN - ROOF PLAN

1/8" = 1'-0"



446 & 448  
SEABRIGHT  
LANE  
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ELEVATION NOTES

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- ALTERNATIVE COMPLIANCE MEASURES FOR BRUSH MANAGEMENT, OPENINGS IN WALLS ADJACENT TO BRUSH MANAGEMENT ZONES, ALONG WITH A 10 FT. PERPENDICULAR RETURN, SHALL BE UPGRADED TO DUAL-TEMPERED, DUAL-GLAZED PNAES. REF. L1.2

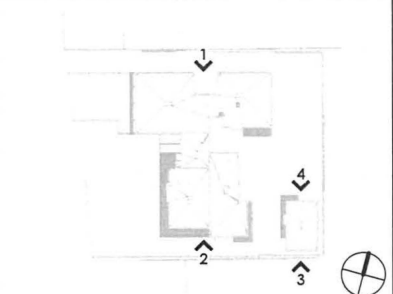
KEYNOTES

- |      |                       |
|------|-----------------------|
| 6.0  | TRELLIS - REF. A-615  |
| 8.7  | FIRE PLACE VENT       |
| 9.11 | CEMENT PLASTER STUCCO |

LEGEND

- |  |                    |  |                   |
|--|--------------------|--|-------------------|
|  | SECTION MARK       |  | CURTAIN PANEL TAG |
|  | KEYNOTE            |  | DOOR TAG          |
|  | GRID LINE          |  | WINDOW TAG        |
|  | LEVEL ELEVATION    |  |                   |
|  | LINE ABOVE / BELOW |  |                   |
|  | MATCHLINE          |  |                   |

KEY PLAN



REVISIONS

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05	DRP MODIFICATION	05/23/24

Issue Date: 5/22/2024 12:02:06 PM  
Scale: As indicated

SRA Project Number  
2215

BUILDING  
ELEVATIONS -  
NORTH / SOUTH

A-200



446 & 448  
SEABRIGHT  
LANE  
RESIDENCE

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LIGHTING DESIGN

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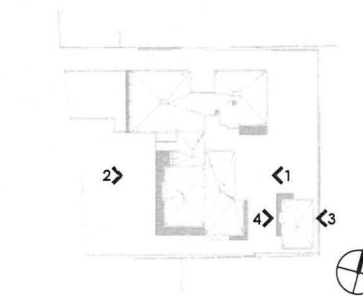
KEYNOTES

- 6.0 TRELLIS - REF. A-615  
8.7 FIRE PLACE VENT  
9.11 CEMENT PLASTER STUCCO

LEGEND

- SECTION MARK  
KEYNOTE  
GRID LINE  
LEVEL ELEVATION  
LINE ABOVE / BELOW  
MATCHLINE
- XX CURTAIN PANEL TAG  
XX DOOR TAG  
XX WINDOW TAG

KEY PLAN



BUILDING  
ELEVATIONS - EAST  
/ WEST

A-201



446 & 448  
SEABRIGHT  
LANE  
RESIDENCE

446 & 448 SEABRIGHT LANE  
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A. EXTERIOR WALLS R-21  
B. FLOOR R-19  
C. ATTIC / ROOF R-38

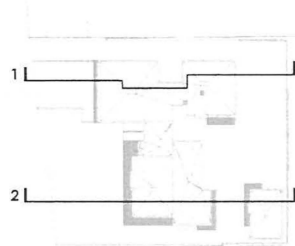
KEYNOTES

- |     |                      |
|-----|----------------------|
| 6.0 | TRELLIS - REF. A-615 |
| 8.3 | CURTAIN PANEL SYSTEM |
| 8.6 | FLUSH GARAGE DOOR    |
| 8.7 | FIRE PLACE VENT      |

LEGEND

- |  |                    |  |                        |
|--|--------------------|--|------------------------|
|  | PROPOSED WALLS     |  | LEVEL ELEVATION        |
|  | SECTION MARK       |  | LINE ABOVE / BELOW     |
|  | BUILDING ELEVATION |  | MATCHLINE              |
|  | KEYNOTE            |  | MAIN CONTOUR LINE      |
|  | GRID LINE          |  | SECONDARY CONTOUR LINE |
|  | PROPERTY LINE      |  |                        |
|  | SETBACK LINE       |  |                        |

KEY PLAN



BUILDING SECTIONS  
- EAST / WEST

A-300



446 & 448  
SEABRIGHT  
LANE  
RESIDENCE

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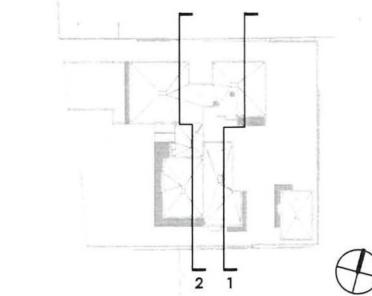
KEYNOTES

- 8.3 CURTAIN PANEL SYSTEM  
8.7 FIRE PLACE VENT

LEGEND

	PROPOSED WALLS		LEVEL ELEVATION
	SECTION MARK		LINE ABOVE / BELOW
	BUILDING ELEVATION		MATCHLINE
	KEYNOTE		MAIN CONTOUR LINE
	GRID LINE		SECONDARY CONTOUR LINE
	PROPERTY LINE		
	SETBACK LINE		

KEY PLAN



BUILDING SECTIONS  
- NORTH / SOUTH

A-301



## RESOLUTION 2023-117

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE AND CONSTRUCT A REPLACEMENT SINGLE-FAMILY RESIDENCE WITH A PARTIALLY SUBTERRANEAN GARAGE AT 446 SEABRIGHT LANE, SOLANA BEACH.**

**APPLICANTS: DARREN AND RACHEL LEVITT  
CASE NO.: DRP23-003  
APN: 263-061-14**

**WHEREAS**, Darren and Rachel Levitt (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on October 25, 2023, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP to demolish a single-story single-family residence, construct a replacement 3,366 square-foot single-family residence with a 716 square-foot partially subterranean two-car garage, and perform associated improvements at 446 Seabright Lane, is conditionally approved based upon the following Findings and subject to the following Conditions:

### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:



- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Medium Density Residential in the General Plan and intended for single-family residential development with a maximum density of four dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "c", which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The proposed residence as well as proposed trellis patio covers will be located entirely within the buildable area.

Maximum Floor Area Ratio:



The maximum allowable floor area calculation for 10,884 square-foot lot is as follows:

0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,000 to 15,000 ft <sup>2</sup>	855 ft <sup>2</sup>
Maximum Allowable Floor Area:	3,855 ft <sup>2</sup>

The proposed project includes a 2,904 square-foot main level living area, a 716 square-foot lower level two-car garage, a 369 square-foot lower level living area, and a 93 square-foot covered and enclosed exterior area. The subtotal of the proposed gross floor area is 4,082 square feet.

The proposed lower level garage and living area will be partially subterranean and built into the existing grade. However, the lower level does not qualify as a “basement” in the SROZ due to the vertical exposure measured from the finished floor of the main level to the lower of the existing and proposed grade. The maximum exposure of a basement in the SROZ is 3 feet and the proposed exposure of the lower level would be 4.75 feet. Therefore, the entire lower level garage and living area count toward the gross floor area.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space. The proposed garage will provide two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the exemption, the total gross floor area of the project is 3,682 square feet, which is 173 square feet below the maximum allowable for the property.

#### Maximum Building Height:

The maximum building height for the LMR Zone is 25 feet. The maximum building height (or tallest portion) of the proposed residence will be 20.41 feet measured above the proposed grade (or 95.58 feet above MSL). The highest portion of the residence will be 97.08 feet above MSL (or 15.98 feet above the pre-existing grade).

The proposed residence will not exceed 16 feet in height from the pre-existing grade. Therefore, the project is not subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. As a condition of approval, the Applicants will be required to submit a height certification to certify that the tallest portion of the building would not exceed 20.41 feet in height measured above the proposed grade (or 95.58 feet



above MSL) and the highest portion of the building would not exceed 16 feet in height measured above the pre-existing grade (or 97.08 feet above MSL).

#### Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces will be accommodated in the proposed garage.

#### Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

Currently, the plans show replacement perimeter fences and walls that will enclose the side and rear yards with a six-foot tall wooden fence and approximately two-foot tall retaining walls. A combination fence and wall will wrap around the southwest front yard in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

#### Water Efficient Landscape:

The project is subject to the current Water Efficient Landscape Ordinance (WELO) of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. If the project is approved, the Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan and the WELO. In addition, the City's consultant will perform an inspection during the construction phase of the project to verify compliance.



II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the LMR Zone as are the properties located in the immediate surrounding neighborhood on Seabright Lane and the west side of North Rios Avenue. The neighborhood is also adjacent to five properties in the Medium Residential (MR) Zone on the east side of North Cedros Avenue, an attached condominium “row home” development in the Medium-High Residential (MHR) Zone on the west side of North Cedros Avenue, three properties in the Light Commercial (LC) Zone on the east side of North Cedros Avenue and north of the intersection with East Cliff Street, residential properties in the Low Residential (LR) Zone located on the east side of North Rios Avenue, and the Solana Beach School District Office in the Public Institutional (PI) Zone located south of East Cliff Street between North Cedros Avenue and North Rios Avenue.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The proposed project includes a replacement single-family residence that would have the appearance of a two-story home from the front of the property on Seabright Lane. The main level of the residence would have a finished floor approximately four feet above the existing grade, and the lower level garage and living area would be built into the existing grade. The residence would be located entirely within the buildable area and would



include a 2,904 square-foot main level living area and a 93 square-foot covered and enclosed patio. The proposed project also includes a partially subterranean 716 square-foot two-car garage and 369 square-foot living area.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The proposed landscape plan includes a variety of shrubs and perennials as well as a turf area. The existing elm, magnolia, and eucalyptus trees located in the front yard will be maintained with the project.

The Applicants are required to submit a landscape construction plan in substantial conformance with the planting plan presented to the City Council. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be consistent with the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*



The two required off-street parking spaces will be located within the partially subterranean garage, which will be accessed by a new driveway located on the northern side of the property from Seabright Lane. Pedestrian access to the property will be located in the center of the property. Refuse containers will be located behind a fence on the northern side yard.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The Applicants are proposing 325 cubic yards of cut to excavate the area of the driveway and the partially subterranean garage and living area. The project also includes 173 cubic yards of fill to raise the grade in the front (west) side of the property creating relatively flat areas surrounding the proposed residence. There will be 335 cubic yards of excavation for footings and remedial grading associated with the project. The project will result in 152 cubic yards of export off site and 833 cubic yards of aggregate (total) grading.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*



The project consists of the construction of a single-family residence with an attached garage on a developed residential lot. Usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicants shall obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

## V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

### A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.
- II. The Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on October 25, 2023, and located in the project file with a submittal date of October 16, 2023.
- III. Prior to requesting a framing inspection, the Applicants shall be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with City Council approval on October 25, 2023, and that the tallest portion



of the structure will not exceed 20.41 feet measured above the proposed grade (or 95.58 feet above MSL) and the highest portion of the structure will not exceed 16 feet in height measured above the pre-existing grade (or 97.08 feet above MSL).

- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. The Applicants shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on October 25, 2023, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicants shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on Seabright Lane and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon



as feasible to the satisfaction of the City.

- IV. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Engineering Department Conditions:

- I. Per Solana Beach Municipal Code Section 11.04, the Applicants are required to construct all public improvements along the street frontage. In this instance, this will include constructing a low profile mountable 9" x 9" x 12" concrete curb along the frontage of Seabright Lane and install a 10' wide stabilized, compacted, Decomposed Granite (D.G.) at 2 percent maximum from the property line down toward the curb to the satisfaction of the City Engineer.
- II. The Applicants are required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for any work performed in the public right of way. This includes, but is not limited to, the concrete driveway apron, sloping curb, Decomposed Granite (D.G.) surface, and concrete swales across DG surface and mailbox.
- III. An Encroachment Maintenance Removal Agreement (EMRA) shall be recorded against this property for all improvements in the public right of way including, but not limited to, the five-foot wide Decomposed Granite (D.G.) path, bio-swale, mailbox, landscaping, and irrigation.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VI. The Applicants shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
  - a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance



with Chapter 15.40 of the Solana Beach Municipal Code.

- b. The Applicants shall obtain a soils report prepared by a registered soils/geotechnical engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- c. The Applicants shall provide a drainage report prepared by a registered civil engineer. This report shall address, if required, the design for a detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below the rate of runoff for the pre-existing condition. All recommendations of this drainage report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
- d. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a registered civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development Department for further information.
- e. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicants shall obtain and submit grading security in a form



prescribed by the City Engineer.

- h. The Applicants shall obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- i. The Applicants shall submit certification from the Engineer of Record and the soils engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the soils engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicants. Construction Best Management Practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- k. The Applicants shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post-Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.
- n. Prior to the foundation inspection, the Applicants shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.

C. Fire Department Conditions:



- I. **BUILDINGS AND FACILITIES:** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the 2022 California Fire Code Chapter 5 Section 503.1.1. Hose pull exceeds 150 feet. Mitigation for not meeting hose pull will be additional fire sprinklers to include all bathrooms and closets regardless of size.
- II. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Fire Code Chapter 33:
  - a. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
  - b. As a minimum, the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
  - c. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- III. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- IV. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.



- V. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL). Mitigation for not meeting hose pull will be additional fire sprinklers to include all bathrooms and closets regardless of size.
- VI. Class “A” Roof: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.
- VII. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2022 California Fire Code Chapter 12 Section 1205.

#### V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### VI. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### VII. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney’s fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may



elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.


**NOTICE TO APPLICANTS:** Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 25<sup>th</sup> day of October, 2023, by the following vote:

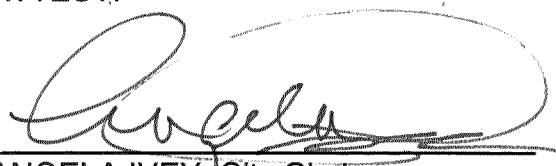
AYES:	Councilmembers – Heebner, Edson, Becker, MacDonald
NOES:	Councilmembers – None
ABSENT:	Councilmembers – Zito (Recused)
ABSTAIN:	Councilmembers – None

  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

  
JOHANNA N. CANLAS, City Attorney

ATTEST:

  
ANGELA IVEY, City Clerk

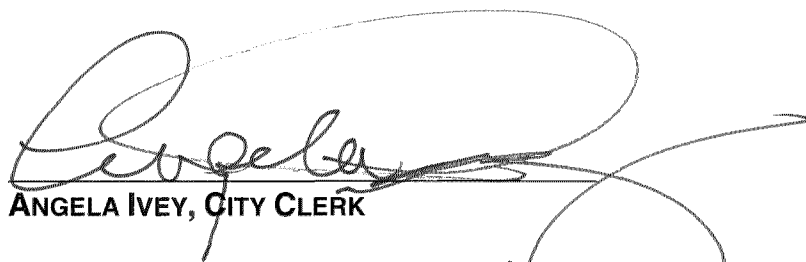




## RESOLUTION CERTIFICATION

STATE OF CALIFORNIA  
COUNTY OF SAN DIEGO } SS.  
CITY OF SOLANA BEACH }

I, ANGELA IVEY, City Clerk of the City of Solana Beach, California, **DO HEREBY CERTIFY** that the foregoing is a full, true and correct copy of **Resolution 2023-117** *conditionally approving a Development Review Permit to demolish a single-family residence and construct a replacement single-family residence with a partially subterranean garage at 446 Seabright Lane, Solana Beach, Applicant: Darren and Rachel Levitt, Case: DRP23-003* as duly passed and adopted at a Regular Solana Beach City Council meeting held on the 25<sup>th</sup> day of October, 2023 and is the original on file in the City Clerk's Office.

  
ANGELA IVEY, CITY CLERK

CERTIFICATION DATE: Nov. 14, 2023



**TRANSMITTAL**

**Recipient:**      **Katie Benson**  
Senior Planner  
City of Solana Beach  
635 S Highway 101  
Solana Beach, CA 92075

**Project:**        446 Seabright Lane

**Date:**            Thursday, May 23<sup>rd</sup>, 2024

**RE:**                **446 Seabright Lane Development Review Permit Modification – Narrative Requesting Modification**

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Dear City Council Members,

We are back before you today to review a minor adjustment to our previously approved Development Review Permit application, seeking to increase the overall Gross Floor Area by three (3) square feet. This overall Gross Floor Area, if approved, would still fall within the Maximum Allowable Floor Area by 170 square feet.

As you are well aware, the DRP process requires significant attention to detail from the architecture and civil engineering teams in designing a home. However, the subsequent process of a Building Permit application requires the meticulous attention of various engineers and consultants, such as structural, mechanical, electrical, and plumbing engineers. It is in this process that various cost saving measures or design flaws are corrected and fine-tuned for the construction process.

In our case, we found one such issue that our structural engineers identified, resulting in the Northwest corner of the living room expanding by only a few square feet. This increase in building footprint has no impact whatsoever on any views, grading, or storm water generation that could create potential conflict.

Our building and grading permits have been reviewed by all disciplines including Fire, Engineering, Landscape and Building, and have been conditionally approved subject to this approval here tonight.

Thus, we are hopeful that you will approve this request.

Darren Levitt, Owner





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Community Development Department – Joseph Lim, Community Development Director  
**SUBJECT:** **SANDAG NOP – LOSSAN Rail Realignment Update**

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### **BACKGROUND:**

The San Diego Association of Governments (SANDAG), as the Lead Agency under the California Environmental Quality Act (CEQA), has initiated the preparation of a Draft Environmental Impact Report (EIR) for the San Diego-Los Angeles-San Luis Obispo Rail Realignment (SDLRR) Project (PROJECT). A Notice of Preparation (NOP) for the Project was released on June 4, 2024 and a Scoping Meeting was conducted on June 18, 2024. The City of Solana Beach has invited SANDAG staff to present on the proposed project and answer questions and provide an opportunity to submit public comment on the NOP for this project.

### **OVERVIEW:**

The SDLRR Project proposes to relocate the existing single-track alignment located along a terrace on the coastal bluffs of Del Mar. SANDAG is soliciting input on the Project, including three (3) alternatives that are under consideration. The new alignment would relocate existing rail service from the coastal bluffs, to a new alignment away from the bluffs, primarily located within tunnels, and may include aerial structures, berms, and other designs to accomplish specific Project objectives. Those stated objectives are as follows:

- Improve rail service reliability by relocating the existing railroad tracks away from the eroding coastal bluffs in Del Mar.
- Maintain passenger rail service to the existing train stations serving Solana Beach and Sorrento Valley and accommodate direct rail access to the 22<sup>nd</sup> District Agricultural Association (Del Mar Fairgrounds).
- Minimize impacts in the surrounding communities during and after construction.
- Avoid and/or minimize impacts on biological, cultural, and recreational resources of national, state, or local significance, including publicly owned parks, beaches,

CITY COUNCIL ACTION:

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wetlands, ecological reserves, wildlife, or waterfowl refuges, and any publicly or privately owned historic site listed or eligible for listing on the National Register of Historic Places.

- Help meet the goals of the 2021 Regional Plan and the 2018 California State Rail Plan by increasing passenger and freight train capacity, further reducing travel times, improving reliability, and accommodating additional rail service.
- Improve coastal access and safety by eliminating at-grade railroad crossings and minimizing other pedestrian-rail points of interaction.

SANDAG staff will be at the Council meeting to further discuss and present the information regarding the proposed project, CEQA process, and solicit input as part of the NOP process. Links to the NOP and the SANDAG Alignment Screening Report that was released on May 31, 2024 are listed as attachments below.

**CITY MANAGER RECOMMENDATION:**

The City Manager recommends the City Council receive the presentation from SANDAG; ask questions of SANDAG staff; provide feedback regarding the proposed Project, objectives, and alternatives; and allow the public to provide comment on the presentation.

  
Alyssa Muto, City Manager

**Attachments:**

1. SANDAG Notice of Preparation - [SDLRR-Notice of Preparation of a Draft Environmental Impact Report \(sandag.org\)](#)
2. SANDAG Alignment Screening Report - [sd-lossan-rail-realignment-screening-2024-06-03.pdf \(sandag.org\)](#)



# Notice of Preparation of a Draft Environmental Impact Report

June 4, 2024

## Subject

Notice of Preparation (NOP) of a Draft Environmental Impact Report (EIR) for the [San Diego-Los Angeles-San Diego-San Luis Obispo \(LOSSAN\) Rail Realignment \(SDLRR\) Project](#) (Project) located in the cities of Solana Beach, Del Mar, and San Diego, California.

## Introduction

The San Diego Association of Governments (SANDAG), as the Lead Agency under the California Environmental Quality Act (CEQA), is initiating the preparation of a Draft EIR for the SDLRR Project and is issuing this NOP to initiate scoping to solicit input on the Project, including alternatives under consideration and environmental effects. SANDAG has decided to forego preparing an Initial Study (*CEQA Guidelines* 15063(a)) and move directly into the preparation of a Draft EIR. In addition to soliciting input from the public, SANDAG is requesting feedback from agencies as to the scope and content of environmental information that is relevant to an agency's statutory responsibilities in connection with the SDLRR Project (e.g., if this Draft Environmental Impact Report [EIR] will be used by an agency to issue an approval for the SDLRR Project).

The SDLRR Project may require approvals and/or permits from agencies that would be subject to environmental review pursuant to the National Environmental Policy Act (NEPA). A NEPA Lead Agency has not yet been identified. Once the NEPA Lead Agency is identified, that agency will formally initiate the NEPA process.

## Background

The San Diego Subdivision is an approximately 60-mile section of the 351-mile LOSSAN Rail Corridor, linking San Diego, Los Angeles, and San Luis Obispo from the Orange County line to the Santa Fe Depot in Downtown San Diego. The LOSSAN Rail Corridor is the second busiest intercity passenger rail corridor in the United States and supports commuter (COASTER), intercity (Pacific Surfliner), and freight (BNSF) rail services. Currently, three quarters of the San Diego Subdivision is double tracked, resulting in a total of approximately 15 miles of single track and 45 miles of double track.

## SANDAG Responsibilities

The San Diego Regional Transportation Consolidation Act (Senate Bill [SB] 1703 Peace) assigned SANDAG the responsibility for planning, funding allocation, project development, and construction in the San Diego region for all transit projects, including heavy rail. The North County Transit District and San Diego Metropolitan Transit System retained the responsibility for the maintenance and operation of the rail services. As such, SANDAG is the CEQA Lead Agency for rail line construction projects proposed in San Diego County. In its role as the Metropolitan Planning Organization under federal and state law, SANDAG is also responsible for the development of the Regional Transportation Plan and a Sustainable Communities Strategy. The Regional Transportation Plan identifies transportation infrastructure investments and programming of transportation funding over a 30-year



timeframe within the San Diego region in consideration of projected economic and population growth. The 2021 Regional Plan combines the Regional Transportation Plan and Sustainable Communities Strategy to achieve the regional greenhouse gas emissions reduction targets set by the California Air Resources Board. SANDAG's current plan was adopted by the SANDAG Board of Directors in December 2021, with an amendment approved in October 2023.

As described in the 2021 Regional Plan, the regional vision for the San Diego Subdivision would result in an increase in commuter rail service operating at higher speeds in order to reduce travel times and provide a competitive alternative to driving, as well as aiding in continuation of goods movement through the region. The 2021 Regional Plan contemplates double tracking the remaining single-track segments of the LOSSAN Rail Corridor within San Diego County, modifications to the track configuration to accommodate higher speeds, and relocation of rail track into more climate resilient areas.

The segment of the San Diego Subdivision within the SDLRR Project area has experienced temporary closures and speed reductions resulting from bluff collapses, erosion, and repair work to stabilize the bluffs and protect the rail corridor from more substantial erosion effects. Four bluff stabilization projects have been completed in Del Mar since 2003, with the construction of Phase 4 recently completed in 2021. A fifth stabilization project (Phase 5) began construction in spring 2024. Phase 5 focuses on addressing additional seismic and stabilization needs, installing additional support columns, and replacing aging drainage structures to support the existing tracks.

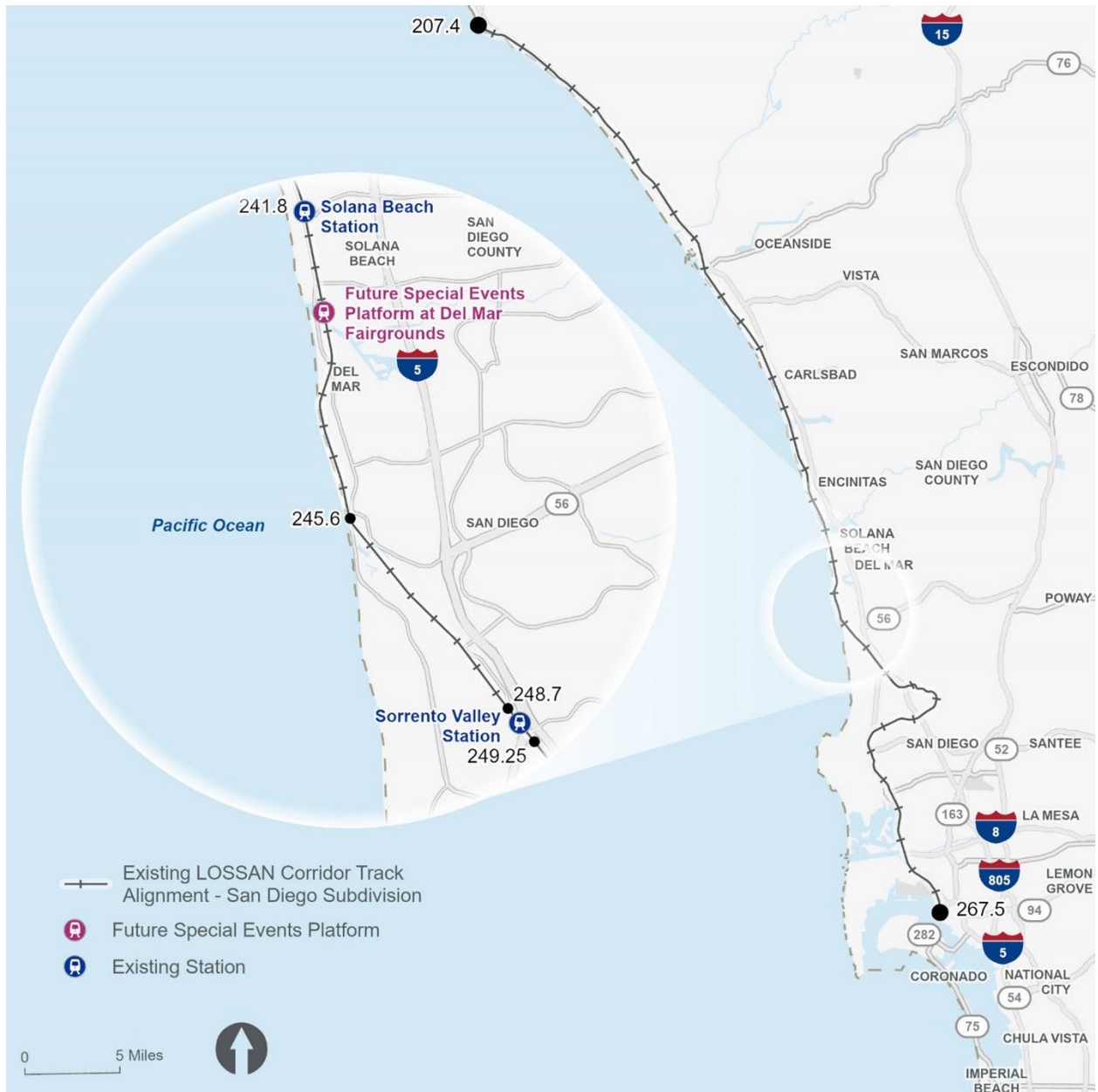
In addition to the stabilization projects, several emergency repairs have been required since 1996 due to bluff failures that threatened train operations. While the Phase 5 stabilization project addresses safety and operational concerns with a 30-year design life, the stabilization projects and emergency repairs do not provide a long-term solution for sea level rise and the ongoing coastal erosion that pose substantial safety and economic risks to the region. Bluff retreat is estimated to occur at an average rate of 0.4 to 0.6 foot per year; however, large episodic bluff failures can result in more than 20 feet of bluff edge retreat in a single event. The California Coastal Commission has required that SANDAG evaluate realignment of the rail corridor off the bluffs to a more resilient location as part of their condition of approval for Phases 4 and 5 of the above-mentioned stabilization work. Further stabilization and emergency repair projects are likely to be required until the rail corridor is relocated from the coastal bluffs.

## **Study Area**

The Project is located within portions of the cities of Solana Beach, Del Mar, and San Diego, as depicted on Figure 1. The Project study area begins at Solana Beach Station in the north and ends at the Sorrento Valley Station in the south. The study area is generally bounded to the west by the Pacific Ocean and to the east by Interstate 5 (I-5).



**Figure 1. Project Location**



*Note: Within the San Diego Subdivision, right-of-way north of Milepost 245.6 is owned by North County Transit District and right-of-way south of Milepost 245.6 is owned by Metropolitan Transit System. The Future Special Events Platform has been approved and fully funded but will be constructed as part of the San Dieguito Double Track Project.*



## Planning Documents and Prior Studies

The Project is part of a larger program of improvements to be implemented on the LOSSAN Rail Corridor to enhance the reliability of existing services between San Luis Obispo, Los Angeles, and San Diego. Previous planning and environmental studies have been undertaken to analyze the potential for realigning the San Diego Subdivision in the Project study area away from the coastal bluffs and primarily within tunnels through the cities of Del Mar and San Diego.

- In **2007**, the California Department of Transportation (Caltrans) and the Federal Railroad Administration (FRA) finalized the **Los Angeles—San Diego Final Program EIR/Environmental Impact Statement (EIS)**<sup>1</sup>, and on March 18, 2009, a **Record of Decision**<sup>2</sup> was published which records the decisions the United States Department of Transportation (U.S. DOT) made for proposed improvements to the LOSSAN Rail Corridor between Los Angeles and San Diego. The Program EIR/EIS carried forward two alternatives proposing tunnel options that deviated from the existing railroad alignment.
- In **August 2014**, the California Coastal Commission unanimously approved the North Coast Corridor Public Works Plan/Transportation and Resource Enhancement Program (**PWP/TREP**). Jointly prepared by SANDAG and Caltrans, the PWP/TREP is a single, integrated document that establishes a framework for comprehensively planning, reviewing, and permitting of multimodal transportation improvements along a 27-mile corridor in North San Diego County that maintains and enhances public access and protects sensitive coastal resources. The scope of improvements discussed within the Project study area includes two conceptual alignments for a “rail tunnel to move the existing rail alignment away from the Del Mar bluffs, which are susceptible to failure and unable to accommodate double tracking due to significant excavation, stabilization and ongoing maintenance needs of such a facility” (Chapter 4).
- In **December 2017**, SANDAG published a report entitled Conceptual Engineering and Environmental Constraints for Double Track Alignment Alternatives Between Del Mar Fairgrounds and Sorrento Valley<sup>3</sup> that analyzed the feasibility of five potential options for relocating the existing San Diego Subdivision onto a new alignment with a double track tunnel away from the Del Mar bluffs. The study included conceptual engineering and preliminary construction costs for each alignment option.

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<sup>1</sup> Web Page: <https://railroads.dot.gov/elibrary/los-angeles-san-diego-lossan-corridor-program-final-programmatic-eireis>  
PDF: [https://railroads.dot.gov/sites/fra.dot.gov/files/2023-10/2.2.11%20LOSSAN%20Programmatic%20EIR-EIS%20%282007%29\\_PDFa.pdf](https://railroads.dot.gov/sites/fra.dot.gov/files/2023-10/2.2.11%20LOSSAN%20Programmatic%20EIR-EIS%20%282007%29_PDFa.pdf)

<sup>2</sup> Web Page: <https://railroads.dot.gov/elibrary/los-angeles-san-diego-lossan-corridor-program-eireis-record-decision>  
PDF: [https://railroads.dot.gov/sites/fra.dot.gov/files/fra\\_net/192/LOSSAN\\_ROD\\_FINAL\\_2009.pdf](https://railroads.dot.gov/sites/fra.dot.gov/files/fra_net/192/LOSSAN_ROD_FINAL_2009.pdf)

<sup>3</sup> Web Page: <https://www.SANDAG.org/-/media/SANDAG/Documents/PDF/projects-and-programs/featured-projects/lossan-rail-improvements-del-mar-bluffs/del-mar-bluffs-stabilization/alignment-alternatives-and-environmental-constraints-study-2017-2023-09-08.pdf>  
Appendices: <https://www.SANDAG.org/-/media/SANDAG/Documents/PDF/projects-and-programs/featured-projects/lossan-rail-improvements-del-mar-bluffs/del-mar-bluffs-stabilization/alignment-alternatives-and-environmental-constraints-study-2017-appendices-2023-09-08.pdf>



- In **September 2018**, Caltrans released the *2018 California State Rail Plan*, which established a statewide vision describing a future integrated rail system that provides comprehensive and coordinated service to passengers through more frequent service, and convenient transfers between rail services and transit. The plan recognized the challenges coastal erosion and sea level rise pose to the railroad tracks atop the eroding bluffs in Del Mar. It noted that about 50 trains on weekdays (mostly passenger), traverse the Del Mar Bluffs, and sea level rise will accelerate erosion of the bluffs, threatening stability and the viability of the route. The plan states “erosion by 2100 could eliminate the rail line completely, as well as adjacent homes, absent preventative measures.”
- In **December 2021**, SANDAG adopted the 2021 Regional Plan, which envisioned an expanded system of transit services to reduce greenhouse gases from automobiles, while promoting safe, clean, and economically friendly ways to move goods throughout the region and beyond. The 2021 Regional Plan envisioned the relocation, straightening, and double tracking of the rail line through the study area to a more climate resilient location that could reduce travel time and service reliability.
- In **June 2022**, the California Coastal Commission issued a Federal Consistency Certification (No. 0005-21) for the Del Mar Bluff Stabilization V project, which required the removal of all shoreline armoring after the expiration of the 30-year authorization period. The 30-year authorization period was to “allow SANDAG to protect the important railway line while planning of the pursuing [its] relocation.”
- In **August 2023**, SANDAG released the [San Dieguito to Sorrento Valley Double Track Del Mar Tunnels Alternatives Analysis Report](#), which refined five potential alignment alternatives based on the previous conceptual engineering study and evaluated them against a set of performance criteria. Two of these alternatives were advanced to 10 percent conceptual engineering and were further analyzed for engineering and environmental considerations. Based on feedback from stakeholders and community groups, four additional potential tunnel portal locations were then also evaluated to further minimize impacts on the community and private properties. Additional conceptual alignments were considered at a high level to demonstrate potential connections between various portal locations.

## Recent Public Outreach

Leading up to the release of the NOP, SANDAG conducted public outreach events to inform, engage, and solicit public input to refine the description of the Project and the range of alternatives to be identified in the NOP. The meetings are listed below and videos for many of these meetings are available on the [SANDAG website](#).

- July 24, 2023: SANDAG presentation to Del Mar City Council
- August 30, 2023: SD LOSSAN Rail Realignment Del Mar Community Open House
- October 4, 2023: LOSSAN Tunneling Workshop
- October 19, 2023: LOSSAN Virtual Information Session
- November 6, 2023: LOSSAN Alignments Workshop Del Mar
- November 7, 2023 – December 19, 2023: Weekly Community Field Office Hours
- November 15, 2023: LOSSAN Alignments Workshop Carmel Valley
- February 5, 2024: SANDAG presentation to Del Mar City Council



- March 19, 2024: SANDAG presentation to Torrey Pines Community Planning Board

## **Project Objectives**

The Project objectives are as follows:

- Improve rail service reliability by relocating the existing railroad tracks away from the eroding coastal bluffs in Del Mar.
- Maintain passenger rail service to the existing train stations serving Solana Beach and Sorrento Valley and accommodate direct rail access to the 22nd District Agricultural Association (Del Mar Fairgrounds).
- Minimize impacts in the surrounding communities during and after construction.
- Avoid and/or minimize impacts on biological, cultural, and recreational resources of national, state, or local significance, including publicly owned parks, beaches, wetlands, ecological reserves, wildlife or waterfowl refuges, and any publicly or privately owned historic site listed or eligible for listing on the National Register of Historic Places.
- Help meet the goals of the 2021 Regional Plan and the 2018 California State Rail Plan by increasing passenger and freight train capacity, further reducing travel times, improving reliability, and accommodating additional rail service.
- Improve coastal access and safety by eliminating at-grade railroad crossings and minimizing other pedestrian-rail points of interaction.

## **Project Description**

SANDAG proposes to relocate the existing single-track alignment of the San Diego Subdivision potentially through the Cities of Solana Beach, Del Mar, and San Diego, where the rail line runs along a terrace on the coastal bluffs, to a double-track alignment between the Solana Beach Station and the north end of Sorrento Valley in the City of San Diego. The new alignment would relocate existing rail service from along the coastal bluffs to a new alignment away from the bluffs, primarily located within tunnels through Del Mar and San Diego. The new alignment may include aerial structures and berms. The relocation and double tracking of the alignment would eliminate reliability risks caused by bluff erosion and provide greater track capacity and a higher operating speed for trains that use the corridor, enabling projected increases in service and minimizing conflicts with pedestrians. The Project will include removal of existing stabilization infrastructure, consistent with the California Coastal Commission's conditions of approval for the Del Mar stabilization projects.

Pursuant to State CEQA Guidelines, the SDLRR Draft EIR will consider a No Project Alternative and a reasonable range of Project alternatives. In accordance with CEQA, SANDAG has identified alternatives to be analyzed in the Draft EIR based on their potential feasibility, ability to attain the majority of the Project objectives, and potential to avoid or substantially lessen the significant effects of the Project and evaluate the comparative merits of the alternatives (California Code of Regulations title 14 § 15126.6).

As a result of prior planning studies and community engagement, in addition to the No Project alternative, three Project alternatives are proposed for analysis in the Draft EIR, as depicted on Figure 3. Each Project alternative would require a north and south portal, a tunnel connecting the portals, and double tracking of the rail line.



The Project comprises the following infrastructure components, which are also included in each of the three Project alternatives (definitions for several of these components are included in the callout box and depicted on Figure 2).

- Removal of existing rail infrastructure (e.g. rail track, ties, and ballast) on areas no longer needed after track relocation
- Construction of bridge structures
- Construction of U-structures, retaining walls, and floodwalls
- Construction of twin-bored tunnels and cut-and-cover tunnels
- Construction of tunnel portals and associated portal infrastructure
- Installation of a tunnel system power supply
- Installation of tunnel ventilation systems
- Installation of communication systems, including signals, switches, and control points
- Modifications to drainage and roadways, as needed
- Relocation of utilities, as needed
- Potential placement of beach-quality sand excavated from tunnel boring activities onto beach(es) or near shore, in the vicinity of the study area
- Removal of prior bluff stabilization improvements consistent with the California Coastal Commission's certification of Federal Consistency Certifications

**Graded:** rail tracks constructed on flat ground, earthen berms, or cuts into hillsides.

**Floodwalls:** a freestanding structure built along a shore or bank to prevent encroachment of floodwaters.

**Berm:** a segment of track that is on raised ground.

**U-structure:** a rectangular shaped structure with only three sides that is excavated from the surface and leaves an opening in the surface to allow the track to transition from a tunnel to the surface level.

**Cut-and-cover tunnel:** a rectangular shaped tunnel that is constructed within a trench which is excavated from the surface and then covered after it is constructed.

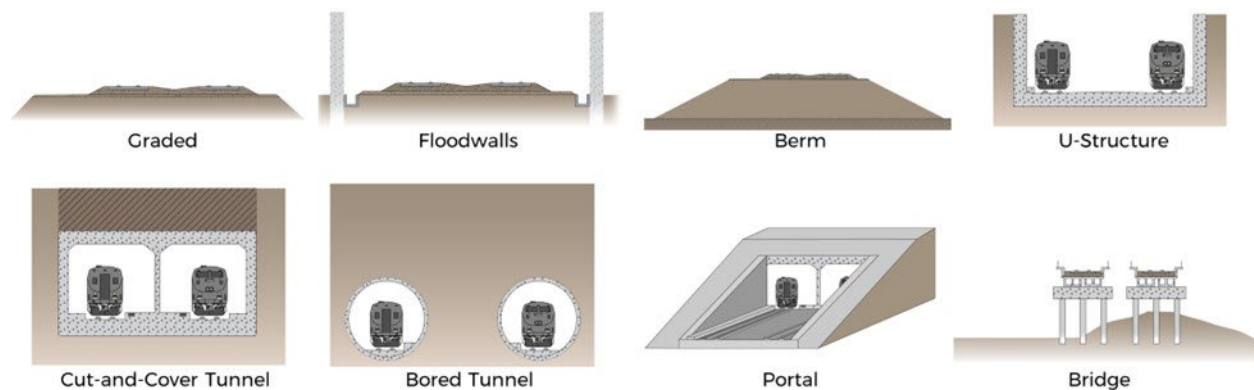
**Bored tunnel:** a circular shaped tunnel that is constructed using a tunnel boring machine that digs or bores through the earth without removing the ground above.

**Portal:** entrance to the tunnel.

**Bridge:** aerial structure carrying the rail tracks over roadways, canyons, or water.



**Figure 2. Project Components**



### **North Portals**

Two north portal locations have been identified depending on the track alignment. The portal locations are as follows:

#### ***Under Jimmy Durante Boulevard***

This proposed portal would be located north of the intersection of Camino Del Mar and Jimmy Durante Boulevard. The portal's infrastructure would cross underneath Jimmy Durante Boulevard, which would be raised. The portal structures would potentially extend into commercial and residential properties.

#### ***Fairgrounds North***

This proposed portal would be located north of the fairgrounds within the railroad trench in Solana Beach. The portal's infrastructure would start south of the existing Solana Beach Station.

### **South Portals**

Two south portal locations have been identified depending on the track alignment. The portal locations are as follows:

#### ***Torrey Pines Road***

This proposed portal would be located near the intersection of Carmel Valley Road and North Torrey Pines Road. The portal infrastructure would cross underneath Carmel Valley Road and potentially extend into residential properties.

#### ***Knoll Near I-5***

This proposed portal would be located at a knoll south of Carmel Valley Road between I-5 and the segment of Sorrento Valley Road Trail that is closed to public vehicular traffic but open for bikes, pedestrians, and authorized vehicles. The portal infrastructure would be within the undeveloped knoll and extend into the Los Peñasquitos Lagoon.



### **Alternative A I-5 Alignment:**

As depicted on Figure 4, Alternative A is approximately 6.8 miles in length and would descend immediately south of the Solana Beach Station, enter the Fairgrounds North Portal, then continue south into the fairgrounds, where there would be a new underground special events platform. The alignment would continue under the San Dieguito Lagoon and turn to follow under the I-5 freeway, then continue south and exit at the Knoll Near I-5 South Portal. The alignment would then rise above ground as it transitions back into the existing railroad alignment north of the Sorrento Valley Station.

### **Alternative B Crest Canyon Alignment:**

As depicted on Figure 5, Alternative B is approximately 5.3 miles in length and would descend immediately south of the rail bridge that spans over the San Dieguito Lagoon and enter the Under Jimmy Durante Boulevard North Portal, then continue south and exit at the Knoll Near I-5 South Portal. The tracks would then rise as it transitions back into the existing railroad alignment north of the Sorrento Valley Station.

### **Alternative C Camino del Mar Alignment:**

As depicted on Figure 6, Alternative C is approximately 4.9 miles in length and would descend immediately south of the rail bridge that spans over the San Dieguito Lagoon and enter the Under Jimmy Durante Boulevard North Portal. This alternative would continue south and exit at the Torrey Pines Road South Portal, bridge over the Los Peñasquitos Lagoon, and then transition back to the existing railroad alignment. The existing railroad alignment within Los Peñasquitos Lagoon would be double tracked, which would require raising and widening the existing berm in the lagoon to address flooding and sea level rise projections.

### **Potential Environmental Effects**

The EIR will address impacts to the following resource categories listed in Appendix G:

- |                                    |  |
|------------------------------------|--|
| 1. Aesthetics                      | 11. Mineral Resources                  |
| 2. Air Quality                     | 12. Noise and Vibration                |
| 3. Biological Resources            | 13. Population and Housing             |
| 4. Cultural Resources              | 14. Public Services                    |
| 5. Energy                          | 15. Recreation                         |
| 6. Geology and Soils               | 16. Transportation                     |
| 7. Greenhouse Gas Emissions        | 17. Tribal Cultural Resources          |
| 8. Hazards and Hazardous Materials | 18. Utilities and Service Systems      |
| 9. Hydrology and Water Quality     | 19. Wildfire                           |
| 10. Land Use and Planning          | 20. Mandatory Findings of Significance |

In addition, the EIR will address cumulative impacts, growth-inducing impacts, and other mandatory CEQA topics.



## Comments Requested

Comments in response to this NOP should be provided to SANDAG at the earliest possible date but not later than 45 days after receipt of this notice (June 4, 2024). Your comments may be submitted in writing to SANDAG no later than **July 19, 2024**.

SANDAG is seeking input on the Draft EIR scope, including the alternatives under consideration and potential environmental effects. A public scoping meeting is scheduled on June 18, 2024, from 6:00 to 7:30 p.m., as noted below. Written comments should be sent to SANDAG, 401 B Street, Suite 800, San Diego, CA 92101, ATTN: Tim Pesce; via email with subject line "SDLRR Project NOP" to: [LOSSANcorridor@sandag.org](mailto:LOSSANcorridor@sandag.org); or online at [SANDAG.org/railrealignment](https://SANDAG.org/railrealignment). Comments may also be provided orally or in writing via the public scoping meeting.

## Public Scoping Meetings

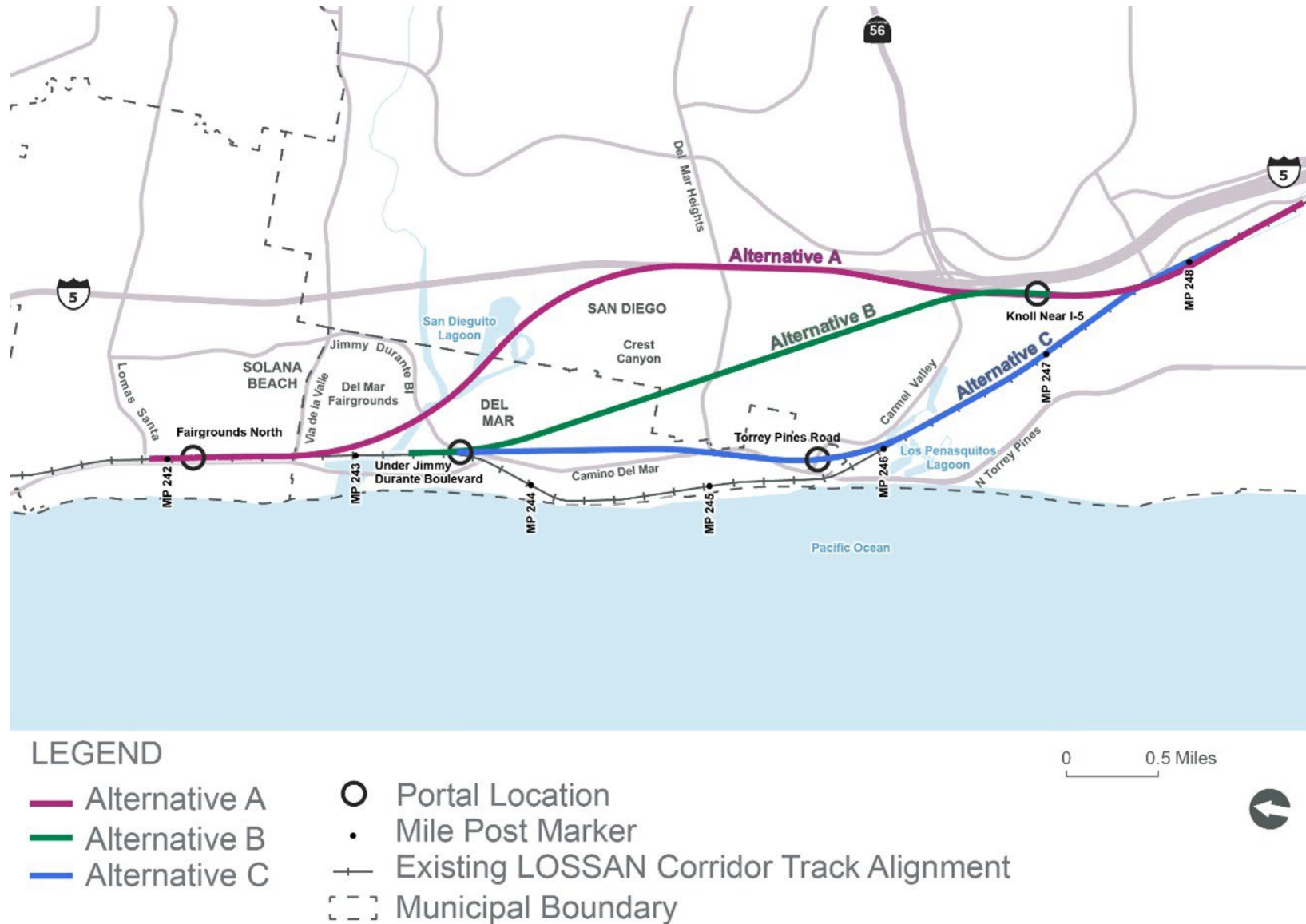
Pursuant to Public Resources Code Section 21083.9, a public scoping meeting is scheduled for June 18, 2024, from 6:00 – 7:30 p.m. at the San Diego Marriott Del Mar, 11966 El Camino Real, San Diego, CA 92130.

## Additional Information

For additional information regarding the SDLRR Project, the scoping period, or the environmental process, please contact [LOSSANcorridor@sandag.org](mailto:LOSSANcorridor@sandag.org) or visit [SANDAG.org/railrealignment](https://SANDAG.org/railrealignment).



Figure 3. Three Project Alternatives





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Figure 4. Alternative A I-5 Alignment





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Figure 5. Alternative B Crest Canyon Alignment





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Figure 6. Alternative C Camino del Mar Alignment





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San Diego LOSSAN  
Rail Realignment Project

# Alignments Screening Report

May 31, 2024





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# Acronyms/Abbreviations

Acronym/ Abbreviation	Definition
Caltrans	California Department of Transportation
CEQA	California Environmental Quality Act
CP	control point
EIR	environmental impact report
GIS	Geographic Information Systems
LOSSAN	Los Angeles—San Diego—San Luis Obispo
MP	Mile Post
mph	miles per hour
SANDAG	San Diego Association of Governments
SDLRR	San Diego LOSSAN Rail Realignment
TBM	tunnel boring machine



# Terms and Definitions

Term	Definition
Alignment	The horizontal and vertical location of a track or roadway defined primarily by a series of connected tangents and curves.
Berm	A segment of track that is on raised ground.
Bridge	Aerial structure carrying the rail tracks over roadways, canyons, or water.
Bored Tunnel	A circular-shaped tunnel that is constructed using a tunnel boring machine that digs or bores through the earth without removing the ground above.
Control Point	A location of train signals used to control the movement of trains.
Cut-and-Cover Tunnel	A rectangular-shaped tunnel that is constructed within a trench that is excavated from the surface and then covered after it is constructed.
Design Speed	A selected speed that is used to determine aspects of the railroad alignment during design, such as curves. The design speed may be higher than the operating speed.
Floodwalls	A freestanding structure built along a shore or bank to prevent encroachment of floodwaters.
Graded	Rail tracks constructed on flat ground, earthen berms, or cuts into hillsides.
Portal	Entrance to the tunnel.
Shoofly	Temporary track used to maintain service.
Soft Cost	Costs not directly tied to the physical construction of a project. These costs typically include, but are not limited to, expenditures related to project development, environmental reviews, engineering and design services, project management, permits, and legal services.
State CEQA Guidelines	California Code of Regulations Title 14 – Natural Resources: <a href="https://casetext.com/regulation/california-code-of-regulations/title-14-natural-resources">https://casetext.com/regulation/california-code-of-regulations/title-14-natural-resources</a>
U-Structure	A rectangular-shaped structure with only three sides that is excavated from the surface and leaves an opening in the surface to allow the track to transition from a tunnel to the surface level.



The intent of this evaluation is to document, assess, and incorporate into the formal environmental review process for the San Diego LOSSAN Rail Realignment Project the alignments developed as a result of previous planning studies, additional design, and public engagement in advance of the commencement of the formal environmental review process.

The evaluation employs screening criteria that are informed by CEQA and planning practices to assess each alignment. This evaluation applies the same screening criteria to the publicly proposed alignments (referred to as “stakeholder and outreach alignments” in this report) and the conceptual alignments and, on the basis of this screening, identifies a focused subset of alignments that are recommended for inclusion in the Notice of Preparation of the San Diego LOSSAN Rail Realignment Project Draft EIR. The Notice of Preparation invites further input on the Draft EIR scope and the alignments identified in the Notice of Preparation.

This evaluation is not intended as, and does not include, an analysis of environmental impacts under CEQA. The environmental impacts of the San Diego LOSSAN Rail Realignment Project and the project alternatives proposed to reduce or avoid such impacts will be identified in the Project EIR in accordance with CEQA.



# 1 Executive Summary

## 1.1 Project Description

The San Diego Association of Governments (SANDAG) proposes to relocate the existing single-track alignment of the San Diego Subdivision of the Los Angeles—San Diego—San Luis Obispo (LOSSAN) Rail Corridor potentially within the Cities of Solana Beach, Del Mar, and San Diego, where the rail line runs along a terrace on the coastal bluffs, to a double-tracked alignment away from the coastal bluffs as part of the San Diego LOSSAN Rail Realignment (SDLRR) Project.

Previous planning and environmental studies have been undertaken to analyze the potential for realigning the San Diego Subdivision in the project study area. In August 2023, SANDAG released the *San Dieguito to Sorrento Valley Double Track Del Mar Tunnels Alternatives Analysis Report* (Alternatives Analysis Report), which refined five potential alignment alternatives based on previous conceptual engineering studies and evaluated them against a set of performance criteria. After completion of the Alternatives Analysis Report, SANDAG continued to evaluate alignments, including additional portal locations and tunnel configurations (i.e., single or twin bore). In total, 12 conceptual alignments were developed to demonstrate potential connections between the various portal locations and tunnel bore configurations. These alignments are referred to as “conceptual alignments” within this report and are summarized in Table 1-1.

**Table 1-1. Conceptual Alignments**

Conceptual Alignment Number	Conceptual Alignment		
	North Portal	South Portal	Bore
1	Under Jimmy Durante Boulevard	Portofino Drive	Twin Bore
2	Under Jimmy Durante Boulevard	Portofino Drive	Single Bore
3	Under Jimmy Durante Boulevard	Torrey Pines Road	Twin Bore
4	Under Jimmy Durante Boulevard	Torrey Pines Road	Single Bore
5	Under Jimmy Durante Boulevard	Knoll Near I-5	Twin Bore
6	Under Jimmy Durante Boulevard	Knoll Near I-5	Single Bore
7	Within Camino Del Mar	Portofino Drive	Twin Bore
8	Within Camino Del Mar	Portofino Drive	Single Bore
9	Within Camino Del Mar	Torrey Pines Road	Twin Bore
10	Within Camino Del Mar	Torrey Pines Road	Single Bore
11	Within Camino Del Mar	Knoll Near I-5	Twin Bore
12	Within Camino Del Mar	Knoll Near I-5	Single Bore

Between summer 2023 and winter 2024, SANDAG conducted public outreach events to inform, engage, and solicit public input to refine the Project and the range of potential alignments. Through these efforts, additional concepts were suggested by stakeholders and members of the public. Based upon the public input received, 14 distinct alignments were



developed for analysis in this report from 30 individual concepts. These alignments are referred to as “stakeholder and outreach alignments” within this report and are summarized in Table 1-2. The conceptual alignments and stakeholder and outreach alignments considered in this report are illustrated in Figure 1-1. In total, 26 alignments were considered.

The alignments in this report consist primarily of tunneled sections with additional bridge, U-structure, and/or graded sections as needed. Table 2-1 in Chapter 2 provides a summary of alignment components and Figure 2-2 in Chapter 2 illustrates each component. Both single-bore and twin-bore configurations were considered for construction of the tunnels, although ultimately a single-bore configuration was eliminated from further consideration.

**Table 1-2. Stakeholder and Outreach Alignments**

Stakeholder and Outreach Alignment Number	North Portal	South Portal
P1-A	Not identified	Knoll Near I-5
P1-B	Not identified	Sorrento Valley
P2	N/A	N/A
P3	Solana Beach	Marsh Trail
P4	Camino Del Mar	Torrey Pines Road
P5	South Cedros Avenue	Pump Station 65
P6-A	Fairgrounds	Knoll Near I-5
P6-B	Fairgrounds	Sorrento Valley
P7-A	Fairgrounds	Knoll Near I-5
P7-B	Fairgrounds	Sorrento Valley
P8	Old Railroad Wye <sup>1</sup>	South Los Peñasquitos Lagoon
P9	Fairgrounds	Portofino Drive
P10-A	Fairgrounds	Knoll Near I-5
P10-B	Fairgrounds	Sorrento Valley

Notes:

<sup>1</sup>A wye is a triangular-shaped junction of three rail lines that converge with each other.

N/A = not applicable—the alignment was proposed as a bridge and does not include underground portions that would require portals. Not identified = a specific location for a northern portal was not noted.



Figure 1-1. Conceptual Alignments and Stakeholder and Outreach Alignments



LEGEND

- |                   |                       |                         |                            |
|-------------------|-----------------------|-------------------------|----------------------------|
| Alignment 1 & 2   | Alignment P1-A & P1-B | Alignment P7-A & P7-B   | ● Portal Location          |
| Alignment 3 & 4   | Alignment P2          | Alignment P8            | • Mile Post Marker         |
| Alignment 5 & 6   | Alignment P3          | Alignment P9            | --- Municipal Boundary     |
| Alignment 7 & 8   | Alignment P4          | Alignment P10-A & P10-B | — Existing LOSSAN Corridor |
| Alignment 9 & 10  | Alignment P5          |                         | + Track Alignment          |
| Alignment 11 & 12 | Alignment P6-A & P6-B |                         |                            |

0 2,000 Feet

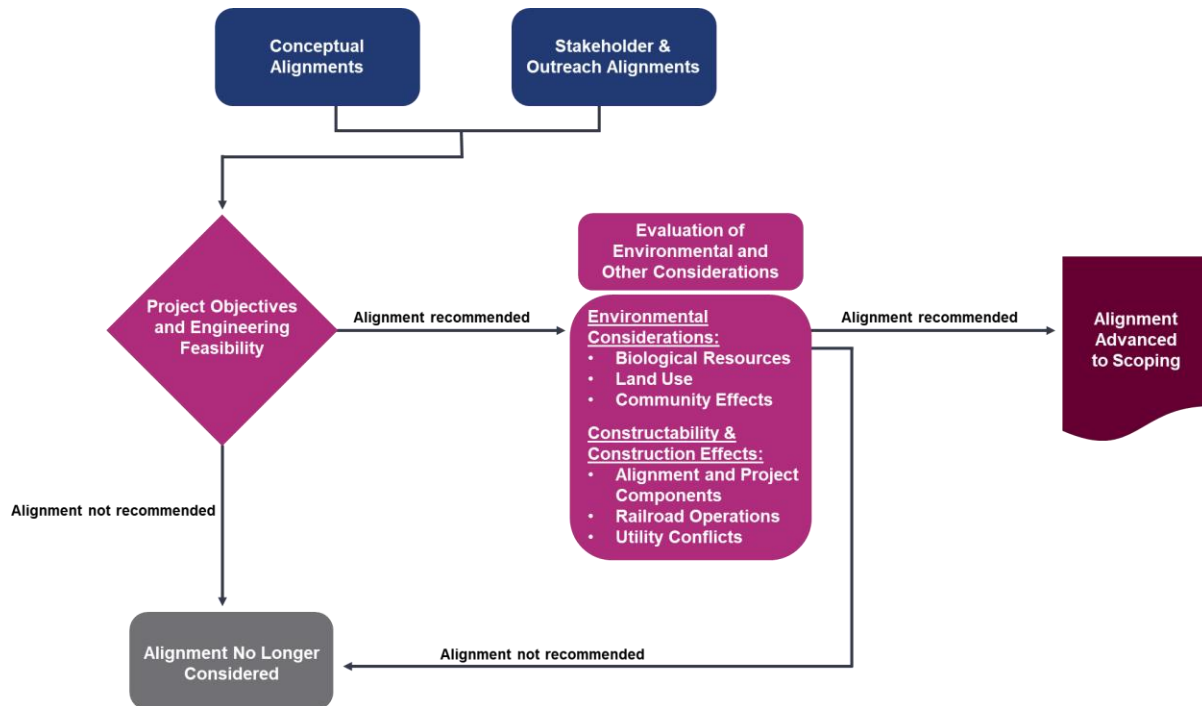




## 1.2 Screening Process

A screening process was developed to evaluate the 26 alignments in support of selecting the alignments that will advance to the formal California Environmental Quality Act (CEQA) scoping process. The screening process was informed by the criteria identified in Section 15126.6(c) of the State CEQA Guidelines. The screening process is summarized in Figure 1-2, and the screening criteria are described in more detail in Section 3.

**Figure 1-2. Alignment Screening Process**



## 1.3 Comparison of Alignments and Recommendations

### 1.3.1 Evaluation of Project Objectives and Engineering Feasibility

The conceptual alignments and stakeholder and outreach alignments were assessed based on their ability to meet the project objectives and engineering feasibility. Each of the conceptual alignments was prepared for an alternatives analysis and was designed specifically to meet the project objectives and engineering feasibility criteria. Although all conceptual alignments met project objectives and engineering feasibility, all single-bore alignments were removed from consideration prior to the evaluation of environmental and other considerations because of the increased complexity and community effects associated with the single-bore tunnel configuration. Therefore, Alignments 2, 4, 6, 8, 10, and 12 were removed from consideration in favor of the similar twin-bore alignments (Alignments 1, 3, 5, 7, 9, and 11). For the same reasons, a single-bore configuration was not considered for any of the stakeholder and outreach alignments.

Section 4.2 details the assessment of each stakeholder and outreach alignment's ability to meet the project objectives and engineering feasibility. Based on this evaluation, and as summarized in Table 1-3, Alignments P7-A, P7-B, P9, P10-A, and P10-B were advanced for further evaluation. The remaining stakeholder and outreach alignments were removed from consideration.



**Table 1-3. Project Objectives and Engineering Feasibility Summary**

	Alignment Number	North Portal	South Portal	Number of the Six Project Objectives Met	Meets Engineering Feasibility	Advanced for Further Evaluation
Conceptual Alignments	1	Under Jimmy Durante Boulevard	Portofino Drive	6	Yes	<b>Yes</b>
	2	Under Jimmy Durante Boulevard	Portofino Drive	6	Yes	No <sup>1</sup>
	3	Under Jimmy Durante Boulevard	Torrey Pines Road	6	Yes	<b>Yes</b>
	4	Under Jimmy Durante Boulevard	Torrey Pines Road	6	Yes	No <sup>1</sup>
	5	Under Jimmy Durante Boulevard	Knoll Near I-5	6	Yes	<b>Yes</b>
	6	Under Jimmy Durante Boulevard	Knoll Near I-5	6	Yes	No <sup>1</sup>
	7	Within Camino Del Mar	Portofino Drive	6	Yes	<b>Yes</b>
	8	Within Camino Del Mar	Portofino Drive	6	Yes	No <sup>1</sup>
	9	Within Camino Del Mar	Torrey Pines Road	6	Yes	<b>Yes</b>
	10	Within Camino Del Mar	Torrey Pines Road	6	Yes	No <sup>1</sup>
	11	Within Camino Del Mar	Knoll Near I-5	6	Yes	<b>Yes</b>
	12	Within Camino Del Mar	Knoll Near I-5	6	Yes	No <sup>1</sup>
Stakeholder and Outreach Alignments	P1-A	Not identified	Knoll Near I-5	1	Unknown <sup>2</sup>	No
	P1-B	Not identified	Sorrento Valley	1	Unknown	No
	P2	N/A	N/A	1	Yes	No
	P3	Solana Beach	Marsh Trail	3	No	No
	P4	Camino Del Mar	Torrey Pines Road	5 <sup>3</sup>	Yes	No
	P5	South Cedros Avenue	Pump Station 65	2	Yes	No
	P6-A	Fairgrounds	Knoll Near I-5	3	Yes	No
	P6-B	Fairgrounds	Sorrento Valley	3	Yes	No
	P7-A	Fairgrounds	Knoll Near I-5	4	Yes	<b>Yes</b>
	P7-B	Fairgrounds	Sorrento Valley	4	Yes	<b>Yes</b>
	P8	Old Railroad Wye <sup>4</sup>	South Los Peñasquitos Lagoon	4	No	No
	P9	Fairgrounds	Portofino Drive	4	Yes	<b>Yes</b>
	P10-A	Fairgrounds	Knoll Near I-5	4	Yes	<b>Yes</b>
	P10-B	Fairgrounds	Sorrento Valley	4	Yes	<b>Yes</b>

Note: <sup>1</sup>Based on a high-level assessment, the single-bore alignments (2, 4, 6, 8, 10, and 12) would result in greater impacts and more difficult construction than their twin-bored counterparts (1, 3, 5, 7, and 11), and therefore were removed from further evaluation prior to the assessment of environmental and other considerations.

<sup>2</sup>As depicted by stakeholders and the public, insufficient information exists to evaluate the alignment against the project objective and/or engineering feasibility.



<sup>3</sup>Despite meeting most of the project objectives and engineering feasibility, this alignment was removed from consideration because it is similar to conceptual Alignment 3, which would meet the remaining project objective.

<sup>4</sup>A wye is a triangular-shaped junction of three rail lines that converge with each other.

N/A = not applicable—the alignment was proposed as a bridge and does not include underground portions that would require portals.

Not identified = a specific location for a northern portal was not noted.

### 1.3.2 Evaluation of Environmental and Other Considerations

Table 1-4 summarize the assessment of alignments in terms of environmental and other considerations. The detailed evaluation is included in Section 5.

**Table 1-4. Environmental and Other Considerations Evaluation Criteria**

Evaluation Criteria	Description
Potential Environmental Considerations <sup>1</sup>	<p>Biological Resources: Acreage of sensitive vegetation communities located within and adjacent to (within 10 feet of) the footprint of each alignment that could be permanently affected by implementation of the alignment.</p> <p>Land Use: Existing land uses within and adjacent to (within 10 feet of) the footprint of each alignment that could be permanently affected by implementation of the alignment.</p> <p>Community Effects: Potential disruption to the adjacent community during construction, including potential acquisitions, noise and dust, physical impacts to local roadways, and truck trips associated with construction material disposal.</p>
Constructability and Construction Effects	<p>Constructability of Alignment Components: Construction effects associated with each alignment, including the tunnel, portals, and other components required for the alignment, as applicable.</p> <p>Impacts to Existing Railroad Operations: Effects to existing railroad operation that would occur during construction of the alignment, such as temporary suspension of service, use of a shoofly (temporary track used to maintain service), or extended distance of single-track operation.</p> <p>Utility Conflicts: Potential conflicts with existing major wet utilities (i.e., sewer or water). Whether a utility can be protected in place or would require relocation would be determined in later stages of design.</p>

Note: <sup>1</sup>The evaluation of potential environmental considerations does not indicate whether an alignment would result in significant impacts under the California Environmental Quality Act or adverse effects under the National Environmental Policy Act. The determination of significance of impacts will occur during the formal environmental review phase of the Project.

### 1.3.3 Summary of Outcomes

Based on the evaluation provided in this report, the following recommendations have been developed in support of identifying the range of alternatives to advance to the formal CEQA scoping process:

- **Alignment 3 is recommended** for further consideration in the CEQA scoping process. This alignment could result in fewer permanent impacts to sensitive vegetation communities, would require the second-fewest number of truck trips, and would generally be compatible with existing land uses. The north portal site associated with Alignment 3 (Under Jimmy Durante Boulevard) would result in fewer roadway impacts compared to the north portal site associated with Alignments 7, 9, and 11 (Within



Camino Del Mar) and Alignments P7-A, P7-B, P9, P10-A, and P10-B (Fairgrounds North) portal locations. Alignment 3 would result in the lowest degree of construction complexity at the north portal and the alignment north of the portal compared to the other north portal locations.

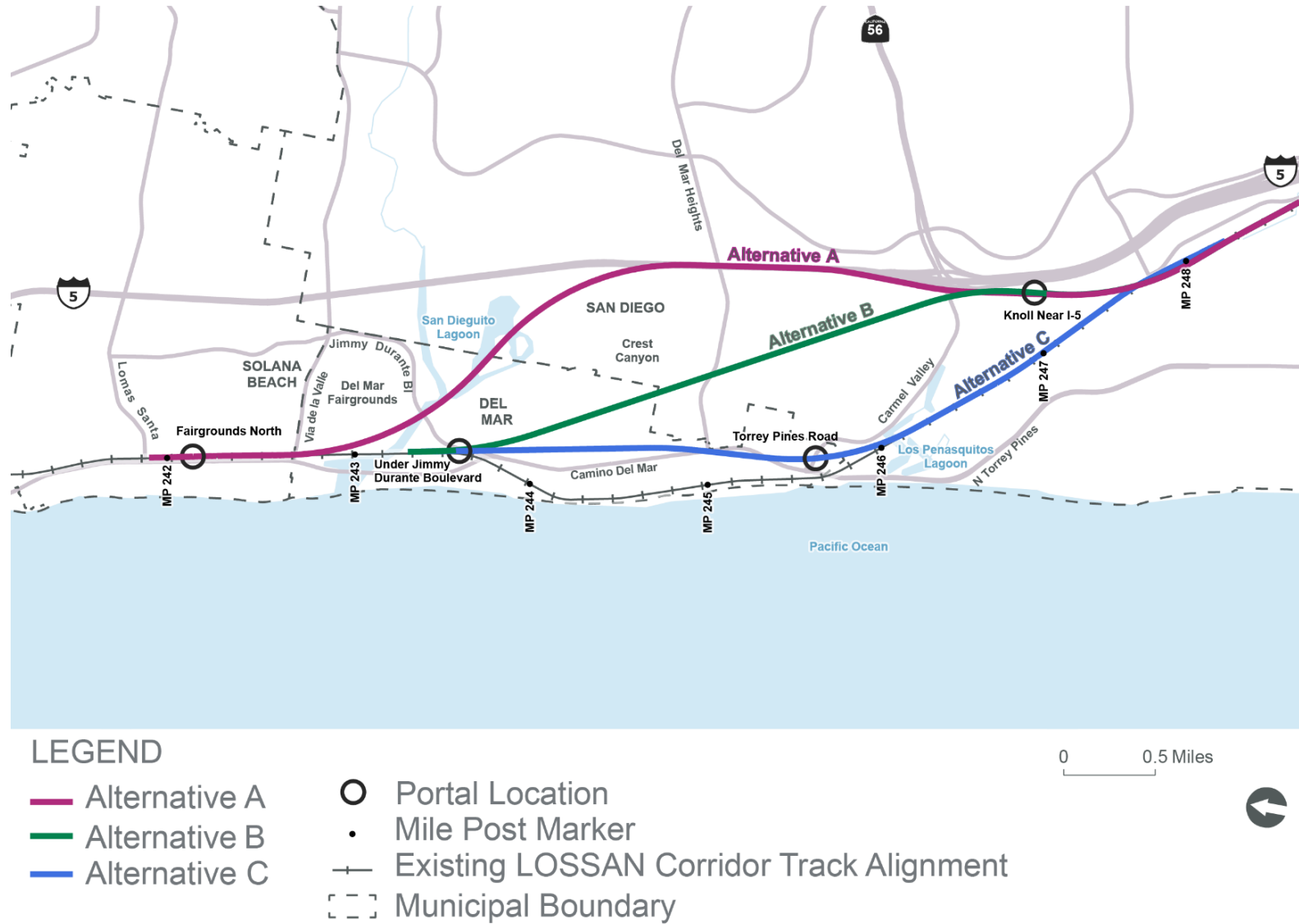
- **Alignment 5 is recommended** for further consideration in the CEQA scoping process. The south portal for this alignment (Knoll Near I-5) would be located away from residential properties and has received general support from the public. Potential permanent impacts to sensitive vegetation communities would be comparable to Alignment 3 and would be less than Alignments 1, 7, 9, P7-A, P9, and P10-A. The south portal site would also result in fewer roadway impacts compared to the various south portal locations. Alignment 5 would also result in less construction complexity at the north portal site (Under Jimmy Durante Boulevard) and the alignment north of the portal than Alignments 7, 9, and 11.
- **Alignment P7-A is recommended** for further consideration in the CEQA scoping process. This alignment would be the most similar to what the public supported in terms of a tunnel alignment that would be parallel to I-5 rather than under residential properties. This alignment would have a north portal within the existing railroad alignment trench located north of the state-owned fairgrounds property. This north portal site, which is common among the five stakeholder and outreach alignments, would have the greatest construction complexity of the various north portal locations. This alignment would also require construction of a new special events platform at the Del Mar Fairgrounds and would require demolition or reuse of the future San Dieguito Bridge. However, potential permanent impacts to sensitive vegetation communities for Alignment P7-A would be comparable to Alignments 3 and 5, which are also recommended for further consideration. Alignment P7-A would also result in fewer potential major utility conflicts than Alignments P7-B, P9, P10-A, and P10-B.

Alignments 3, 5, and P7-A are recommended to advance to CEQA scoping. The alignments are illustrated in Figure 1-3 and will be referred to as Alternative A: I-5 Alignment, Alternative B: Crest Canyon Alignment, and Alternative C: Camino Del Mar Alignment in the Notice of Preparation of the Draft Environmental Impact Report (EIR).

- Alternative A: I-5 Alignment will reflect Alignment P7-A in this report.
- Alternative B: Crest Canyon Alignment will reflect Alignment 5 in this report.
- Alternative C: Camino Del Mar Alignment will reflect Alignment 3 in this report.



**Figure 1-3. CEQA Scoping Alternatives**





## 2 Introduction and Description of Alignments

SANDAG proposes to relocate the existing single-track alignment of the LOSSAN Rail Corridor potentially within the Cities of Solana Beach, Del Mar, and San Diego, where the rail line runs along a terrace on the coastal bluffs, to a double-tracked alignment away from the bluffs, primarily located within tunnels. The San Diego LOSSAN Rail Realignment (SDLRR) Project is part of a larger program of improvements to be implemented on the LOSSAN Rail Corridor to enhance the safety and reliability of existing services between San Luis Obispo, Los Angeles, and San Diego. SANDAG, as the Lead Agency under CEQA, is initiating the preparation of a Draft EIR for the Project. Pursuant to CEQA Guidelines §15126.6, the SDLRR Draft EIR will consider a No Project Alternative and a reasonable range of alternatives. This report describes and evaluates the alignments considered for the project alternatives with the goal of identifying the alignments that advance into the CEQA scoping process.

Previous planning and environmental studies have been undertaken to analyze the potential for realigning the San Diego Subdivision in the SDLRR Project study area, as defined in Section 2.1. In August 2023, SANDAG released the *San Dieguito to Sorrento Valley Double Track Del Mar Tunnels Alternatives Analysis Report* (Alternatives Analysis Report) that refined five potential alignment alternatives based on previous conceptual engineering studies and evaluated them against a set of performance criteria. Two of these alternatives were advanced to 10 percent conceptual engineering and were further analyzed for engineering and environmental considerations. Based on feedback from stakeholders and community groups, four additional potential tunnel portal locations were also evaluated within the Alternatives Analysis Report with the goal of minimizing effects on the community and private properties. After completion of the Alternatives Analysis Report, SANDAG continued to evaluate alignments, including portal locations and tunnel configurations (i.e., single or twin bore). In total, 12 conceptual alignments were developed to demonstrate potential connections among the various portal locations and tunnel bore configurations. These alignments are referred to as “conceptual alignments” within this report and are summarized in Section 2.3.

Between summer 2023 and winter 2024, SANDAG conducted public outreach events to inform, engage, and solicit public input to refine the Project and the range of alternatives. Through these efforts, additional alignments were identified, and 14 distinct alignments were developed. These alignments are referred to as “stakeholder and outreach alignments” within this report and are summarized in Section 2.4. The evaluation in this report builds on that of the Alternatives Analysis Report to evaluate each conceptual alignment and stakeholder and outreach alignment using the screening criteria discussed in Section 3 and the process summarized in Figure 3-1.

### 2.1 Project Description

SANDAG proposes to relocate the existing single-track alignment of the San Diego Subdivision of the LOSSAN Rail Corridor within the Cities of Solana Beach, Del Mar, and San Diego, where the rail line runs along a terrace on the coastal bluffs, to a double-tracked alignment away from the coastal bluffs. Building on the Alternatives Analysis Report, the objectives for the Project, described in Section 3.1, aim to improve rail service reliability; maintain passenger rail



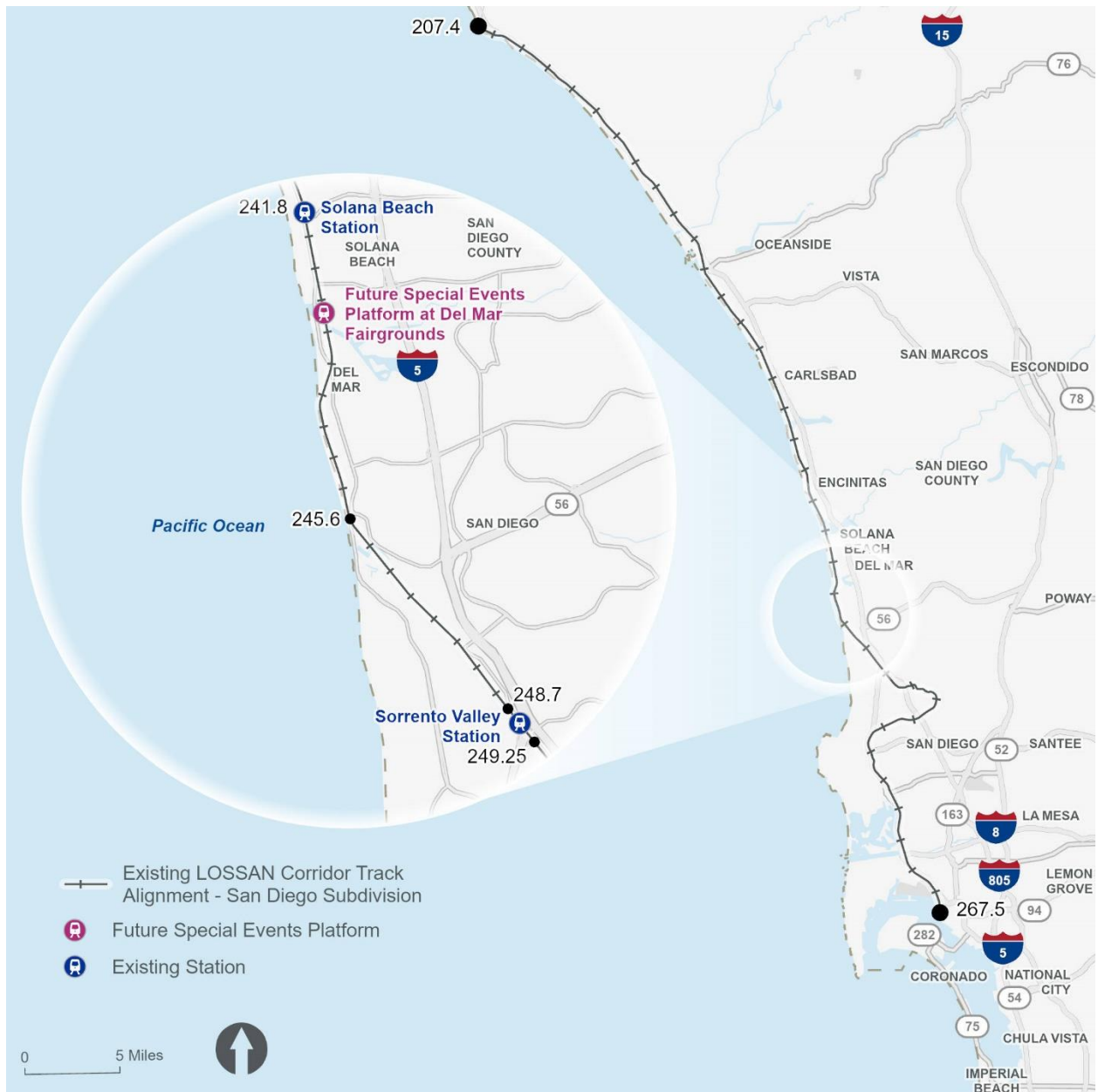
service; minimize impacts in the surrounding communities and on biological, cultural, and recreational resources; and improve coastal access and safety. Project objectives also include helping meet the goals of the 2021 Regional Plan and the 2018 California State Rail Plan. As described in the 2021 Regional Plan, the regional vision for the San Diego Subdivision would result in an increase in commuter rail service operating at higher speeds in order to reduce travel times and provide a competitive alternative to driving, as well as aiding in the continuation of goods movement through the region. The 2018 California State Rail Plan established a statewide vision describing a future integrated rail system that provides comprehensive and coordinated service to passengers through more frequent service, and convenient transfers between rail services and transit, recognizing the challenges of coastal erosion and sea-level rise.

The new alignment would primarily be located within tunnels. The new alignment may include bridges and berms through the Los Peñasquitos and San Dieguito Lagoons. The segment of track to be relocated could be between the Solana Beach Station and the Sorrento Valley Station, represented by Mile Posts (MP) 241.8 and 248.7 of the San Diego Subdivision, depending on the alignment selected. The Project would also require modifications to the signal system between MP 242.1 and MP 249.25. The relocation and double tracking of the alignment would eliminate operational risks caused by bluff erosion and provide greater track capacity and a higher operating speed for trains that use the corridor, enabling projected increases in service and minimizing conflicts with pedestrians.

The project study area is located in San Diego County in the Cities of Solana Beach, Del Mar, and San Diego. Ownership of the San Diego Subdivision is split between the North County Transit District (north of MP 245.6) and the San Diego Metropolitan Transit System (south of MP 245.6). Figure 2-1 shows the limits of the San Diego Subdivision and identifies the project study area.



**Figure 2-1. Project Location**



Note: Within the San Diego Subdivision, right-of-way north of MP 245.6 is owned by the North County Transit District and right-of-way south of MP 245.6 is owned by the Metropolitan Transit System. The Future Special Events Platform has been approved and fully funded but will be constructed as part of the San Dieguito Double Track Project.



## 2.2 Alignment and Project Components

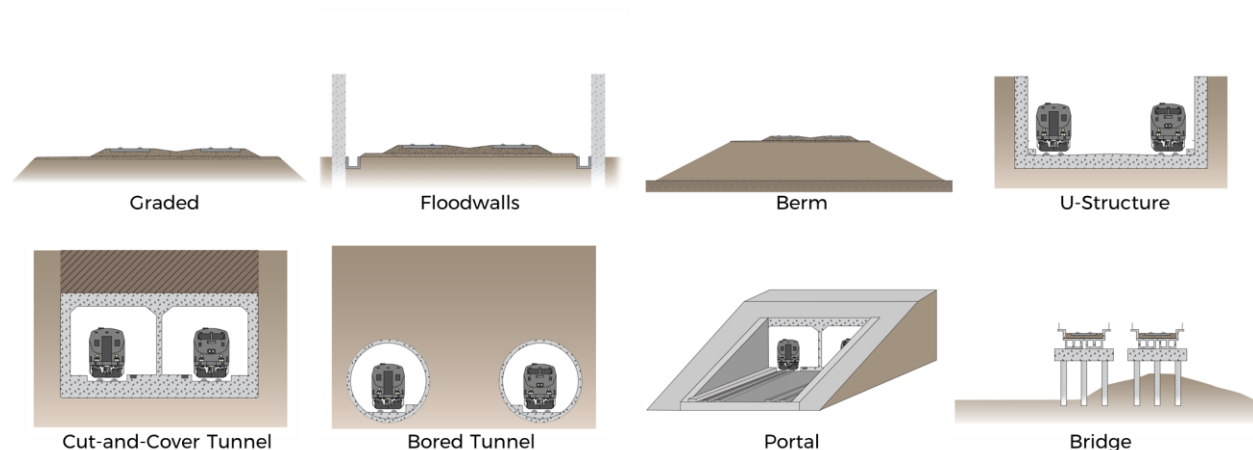
The alignments in this report consist primarily of tunnels with additional bridge, U-structure, and/or graded sections, as needed. Table 2-1 provides a summary of alignment components, and Figure 2-2 illustrates each component. For construction of the tunnels, both single-bore and twin-bore configurations were considered, although ultimately single bore was eliminated from further consideration during the evaluation of the conceptual alignments and the stakeholder and outreach alignments, as described in Section 4. The twin-bore alignments consist of two 28-foot internal-diameter bores separated by a distance equal to the tunnel diameter (28 feet).

Construction of the tunnels would require locations for the launch and retrieval of the tunnel boring machine (TBM). The portals serve as the transition point from the tunnel to the ground surface level. It is assumed that the TBM would be launched at the south end of the tunnel and retrieved at the north end. Launching the TBM from the south has been assumed based on the greater construction activities at the launch site, access to the roadway network surrounding the south portal locations, and the proximity to the freeway, which would better accommodate the volume of truck trips associated with activities at the launch site.

**Table 2-1. Summary of Alignment Components**

Alignment Component	Description
Graded	Rail tracks constructed on flat ground, earthen berms, or cuts into hillsides.
Floodwalls	A freestanding structure built along a shore or bank to prevent encroachment of floodwaters.
Berm	A segment of track that is on raised ground.
U-Structure	A rectangular-shaped structure with only three sides that is excavated from the surface and leaves an opening in the surface to allow the track to transition from a tunnel to the surface level.
Cut-and-Cover Tunnel	A rectangular-shaped tunnel that is constructed within a trench that is excavated from the surface and then covered after it is constructed.
Portal	Entrance to the tunnel.
Bored Tunnel	A circular-shaped tunnel that is constructed using a tunnel boring machine that digs or bores through the earth without removing the ground above.
Bridge	Aerial structure carrying the rail tracks over roadways, canyons, or water.

**Figure 2-2. Alignment Components**





## 2.3 Conceptual Alignments

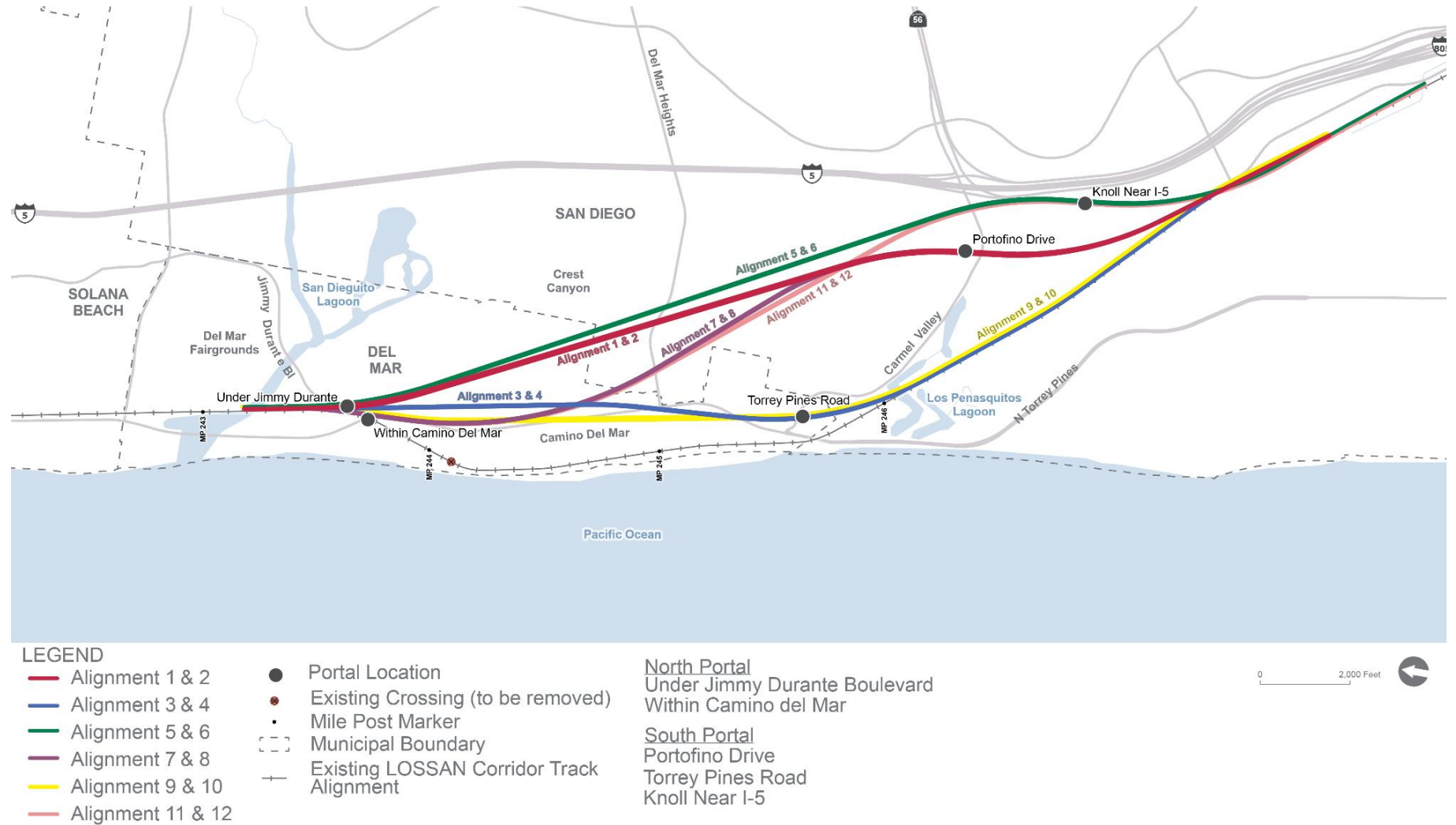
The conceptual alignments are based on alignments and portal locations identified in the Alternatives Analysis Report and are defined by their portal locations and tunnel bore configuration (i.e., single or twin bore). The alignments, illustrated in Figure 2-3, share two potential north portal locations and three potential south portal locations. The conceptual alignments are numbered 1 through 12 and are defined in Table 2-2.

**Table 2-2. Conceptual Alignments**

Conceptual Alignment Number	Conceptual Alignment		
	North Portal	South Portal	Bore
1	Under Jimmy Durante Boulevard	Portofino Drive	Twin Bore
2	Under Jimmy Durante Boulevard	Portofino Drive	Single Bore
3	Under Jimmy Durante Boulevard	Torrey Pines Road	Twin Bore
4	Under Jimmy Durante Boulevard	Torrey Pines Road	Single Bore
5	Under Jimmy Durante Boulevard	Knoll Near I-5	Twin Bore
6	Under Jimmy Durante Boulevard	Knoll Near I-5	Single Bore
7	Within Camino Del Mar	Portofino Drive	Twin Bore
8	Within Camino Del Mar	Portofino Drive	Single Bore
9	Within Camino Del Mar	Torrey Pines Road	Twin Bore
10	Within Camino Del Mar	Torrey Pines Road	Single Bore
11	Within Camino Del Mar	Knoll Near I-5	Twin Bore
12	Within Camino Del Mar	Knoll Near I-5	Single Bore



**Figure 2-3. Conceptual Alignments**





## 2.4 Stakeholder and Outreach Alignments

Leading up to the release of the Notice of Preparation, SANDAG conducted public outreach events to inform, engage, and solicit public input to refine the description of the Project and the alternatives to be identified in the Notice of Preparation of the Project Draft EIR. The following stakeholder and outreach events were held:

- July 24, 2023: SANDAG presentation to Del Mar City Council
- August 30, 2023: SD LOSSAN Rail Realignment Del Mar Community Open House
- October 4, 2023: LOSSAN Tunneling Workshop
- October 19, 2023: LOSSAN Virtual Information Session
- November 6, 2023: LOSSAN Alignments Workshop Del Mar
- November 7, 2023 – December 19, 2023: Weekly Community Field Office Hours
- November 15, 2023: LOSSAN Alignments Workshop Carmel Valley
- February 5, 2024: SANDAG presentation to Del Mar City Council
- March 19, 2024: SANDAG presentation to Torrey Pines Community Planning Board

These outreach events included workshops in November 2023 where participants had the opportunity to provide specific input on alignments and tunnel portal options to be considered. In total, stakeholders and the public identified more than 30 individual concepts for consideration, shown in Figure 2-4. Several of these concepts were similar to each other or to the conceptual alignments. The concepts identified by stakeholders and the public were grouped by similar characteristics and 14 distinct alignments were developed for consideration and numbered P1 through P10. Where applicable and known, each alignment is defined by its north and south portal locations, with variations noted by A or B designations. The evaluation for each alignment assumes a twin-bore configuration based on the high-level screening discussed in Section 4.1. Table 2-3 summarizes the alignments identified during this process, and the alignments are illustrated in Figure 2-5.



**Table 2-3. Stakeholder and Outreach Alignments**

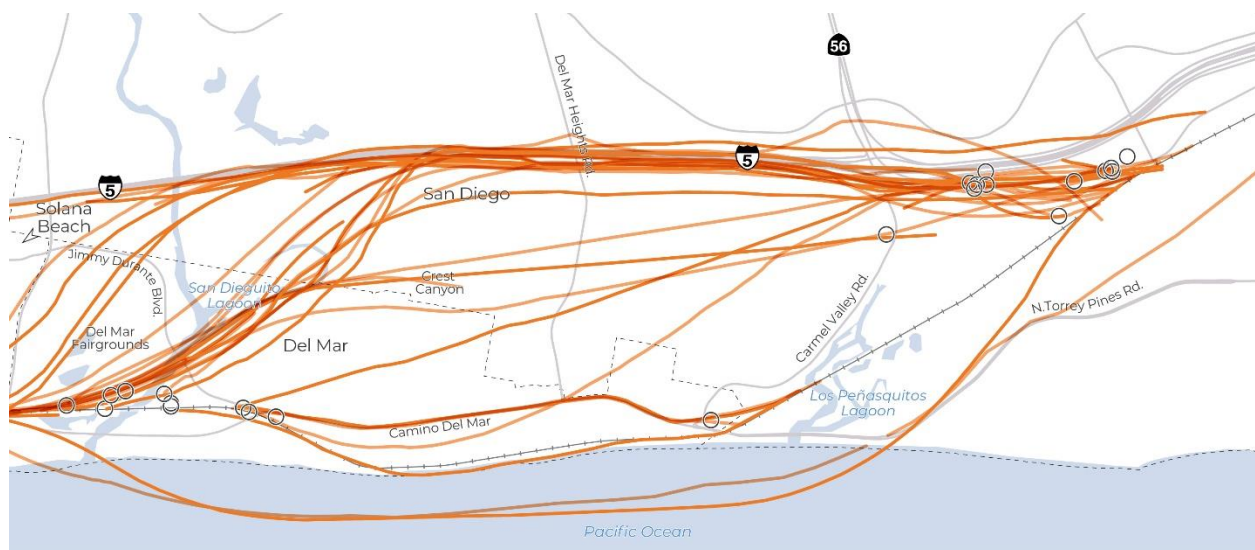
Stakeholder and Outreach Alignment Number	North Portal	South Portal
P1-A	Not identified	Knoll Near I-5
P1-B	Not identified	Sorrento Valley
P2	N/A	N/A
P3	Solana Beach	Marsh Trail
P4	Camino Del Mar	Torrey Pines Road
P5	South Cedros Avenue	Pump Station 65
P6-A	Fairgrounds	Knoll Near I-5
P6-B	Fairgrounds	Sorrento Valley
P7-A	Fairgrounds	Knoll Near I-5
P7-B	Fairgrounds	Sorrento Valley
P8	Old Railroad Wye <sup>1</sup>	South Los Peñasquitos Lagoon
P9	Fairgrounds	Portofino Drive
P10-A	Fairgrounds	Knoll Near I-5
P10-B	Fairgrounds	Sorrento Valley

Notes:

<sup>1</sup>A wye is a triangular-shaped junction of three rail lines that converge with each other.

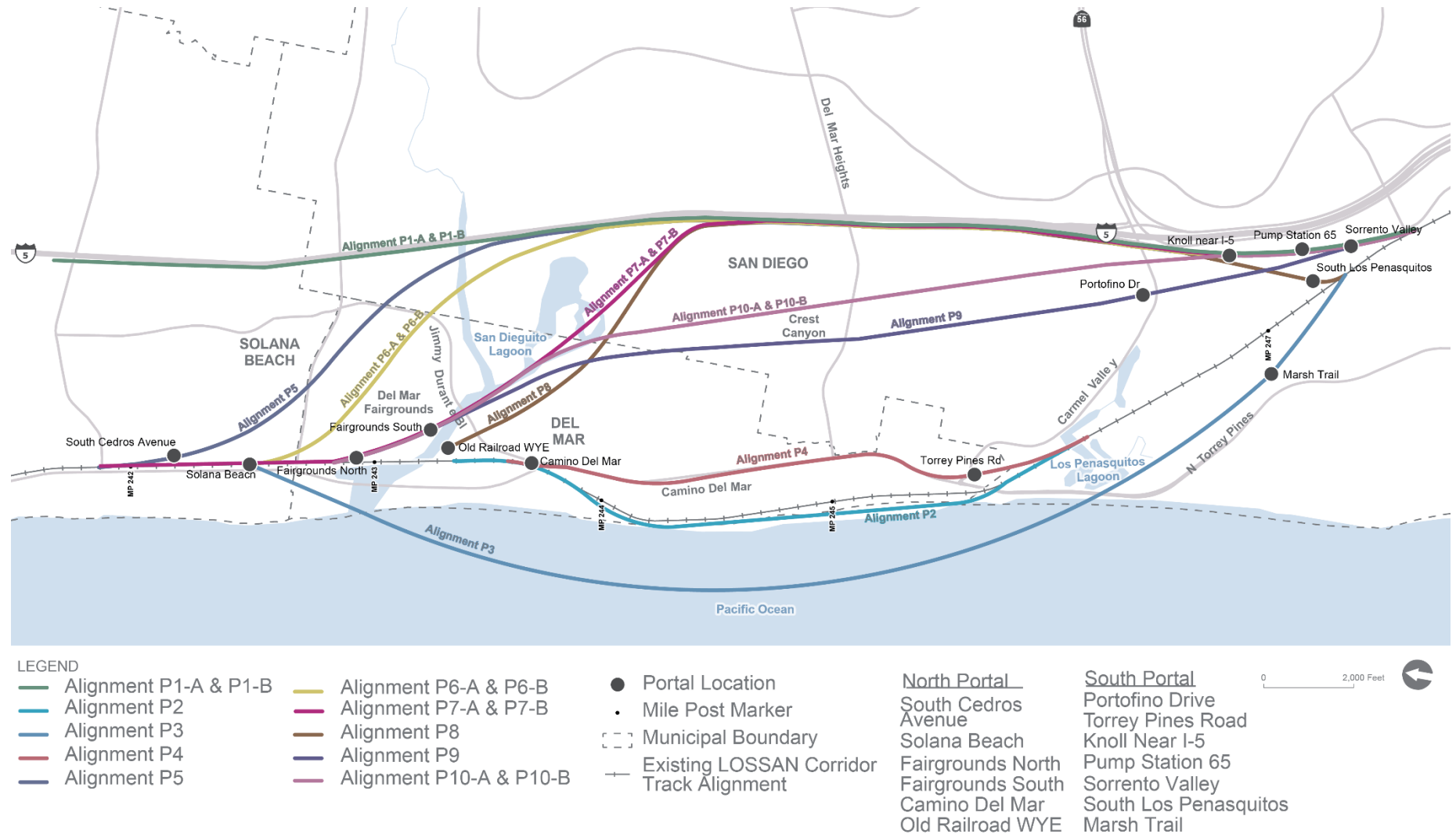
N/A = not applicable—the alignment was proposed as a bridge and does not include underground portions that would require portals. Not identified = a specific location for a northern portal was not noted.

**Figure 2-4. Outreach Event Proposed Concepts**





**Figure 2-5. Stakeholder and Outreach Alignments**

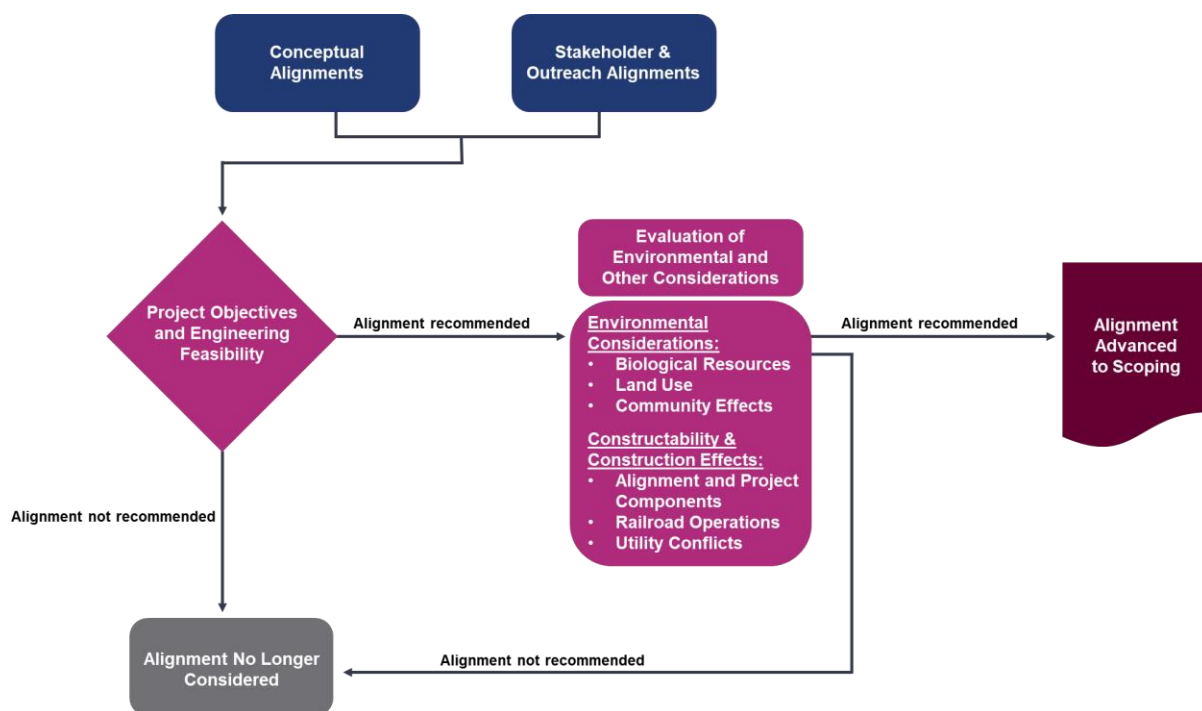




### 3 Screening Process

SANDAG staff developed a screening process to evaluate the 12 conceptual alignments and 14 stakeholder and outreach alignments in support of selecting the alignments that will advance to the CEQA scoping process, as shown in Figure 3-1. The screening process was informed by Section 15126.6(c) of the State CEQA Guidelines. Using this screening process, SANDAG staff first evaluated each alignment based on its ability to meet the project objectives and engineering feasibility described in Section 3.1. Alignments that would not meet the project objectives and/or were not feasible from an engineering standpoint were removed from consideration and were not evaluated further within this report. The evaluation of alignments in terms of meeting the project objectives and engineering feasibility is included in Section 4. If an alignment was found to meet project objectives and be feasible from an engineering standpoint, that alignment was carried forward for further evaluation with respect to environmental and other considerations, as described in Section 3.2 and evaluated in Section 5.

**Figure 3-1. Alignment Screening Process**



#### 3.1 Project Objectives and Engineering Feasibility

Each alignment was assessed based on its ability to meet the following project objectives:

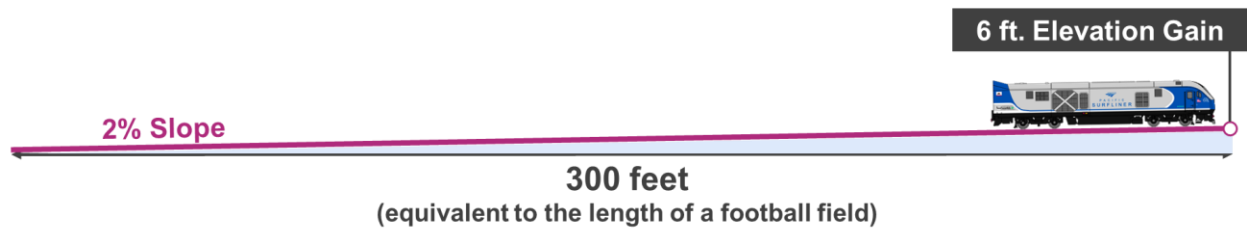
- Improve rail service reliability by relocating the existing railroad tracks away from the eroding coastal bluffs in Del Mar.



- Maintain passenger rail service to the existing train stations serving Solana Beach and Sorrento Valley and accommodate direct rail access to the 22nd District Agricultural Association (Del Mar Fairgrounds).
- Minimize impacts on the surrounding communities during and after construction.
- Avoid and/or minimize impacts on biological, cultural, and recreational resources of national, state, or local significance, including publicly owned parks, beaches, wetlands, ecological reserves, wildlife or waterfowl refuges, and any publicly or privately owned historic site listed or eligible for listing on the National Register of Historic Places.
- Help meet the goals of the 2021 Regional Plan and the 2018 California State Rail Plan by increasing passenger and freight train capacity, further reducing travel times, improving reliability, and accommodating additional rail service.
- Improve coastal access and safety by eliminating at-grade railroad crossings and minimizing other pedestrian-rail points of interaction.

Additionally, the engineering feasibility of each alignment was considered based on the vertical profile design criteria. The design criteria accounts for the alignment grade, expressed as the rise in feet per 100 feet of length. The alignment grade must not exceed 2 percent to be deemed feasible from an engineering perspective, as a 2-percent grade is the operating requirement for freight trains that use the corridor. Figure 3-2 provides a visual representation of this grade. Because 2-percent slopes are very gradual, changing elevation takes a considerable distance.

**Figure 3-2. Vertical Profile Design Criteria—Two Percent Slope**



## 3.2 Environmental and Other Considerations

Table 3-1 provides a summary of the categories of evaluation criteria applied to all alignments that met the project objectives and engineering feasibility. The evaluation criteria for environmental and other considerations were used to equally compare the merits across alignments. Additional information on each criterion is provided in the sections that follow.



**Table 3-1. Environmental and Other Considerations Evaluation Criteria**

<b>Evaluation Criteria</b>	<b>Description</b>
Potential Environmental Considerations <sup>1</sup>	<p>Biological Resources: Acreage of sensitive vegetation communities located within and adjacent to (within 10 feet of) the footprint of each alignment that could be permanently affected by implementation of the alignment.</p> <p>Land Use: Existing land uses within and adjacent to (within 10 feet of) the footprint of each alignment that could be permanently affected by implementation of the alignment.</p> <p>Community Effects: Potential disruption to the adjacent community during construction, including potential acquisitions, noise and dust, physical impacts to local roadways, and truck trips associated with construction material disposal.</p>
Constructability and Construction Effects	<p>Constructability of Alignment Components: Construction effects associated with each alignment, including the tunnel, portals, and other components required for the alignment, as applicable.</p> <p>Impacts to Existing Railroad Operations: Effects to existing railroad operation that would occur during construction of the alignment, such as temporary suspension of service, use of a shoofly (temporary track used to maintain service), or extended distance of single-track operation.</p> <p>Utility Conflicts: Potential conflicts with existing major wet utilities (i.e., sewer or water). Whether a utility can be protected in place or would require relocation would be determined in later stages of design.</p>

Note: <sup>1</sup>The evaluation of potential environmental considerations does not indicate whether an alignment would result in significant impacts under the California Environmental Quality Act or adverse effects under the National Environmental Policy Act. The determination of significance of impacts will occur during the formal environmental review phase of the Project.

### **3.2.1 Potential Environmental Considerations**

This evaluation considered potential permanent effects to existing biological resources and land uses, as well as potential disruption to adjacent communities during construction at launch and retrieval sites.

#### **3.2.1.1 Biological Resources**

The evaluation compared the area of sensitive vegetation communities within and adjacent to (within 10 feet from) the footprint of each alignment. Effects on sensitive vegetation communities and habitats typically require mitigation pursuant to the National Environmental Policy Act and CEQA, as well as to obtain federal permits or approvals from relevant agencies (e.g., U.S. Fish and Wildlife Service, U.S. Army Corps of Engineers, and/or California Coastal Commission). Sensitive vegetation communities were identified during surveys conducted in 2023 consistent with CEQA Guidelines, the City of San Diego Land Development Code Biology



Guidelines, and the City of San Diego Multiple Species Conservation Plan definitions<sup>1</sup>, summarized as follows:

- Section 15380 of the CEQA Guidelines defines sensitive vegetation communities and other habitat types as land supporting unique vegetation communities or the habitats of rare or endangered species or subspecies of animals or plants.
- Sensitive habitats are defined as environmentally sensitive lands within the City of San Diego's Land Development Code Biology Guidelines.
- Within the City of San Diego's Multiple Species Conservation Plan Subarea Plan, sensitive habitat types include those designated as wetlands and Tiers I through IIIB uplands.

Any vegetation community that met these definitions was considered sensitive. Sensitive vegetation communities within and adjacent to the footprint of each alignment include:

- Coastal and valley freshwater marsh – Wetland
- Diegan coastal sage scrub (including disturbed) – Tier II Upland
- Mule fat scrub – Wetland
- Open water/tidal
- Salt/brackish marsh – Wetland
- Southern coastal salt marsh – Wetland
- Southern willow scrub – Wetland

### 3.2.1.2 Land Use

The land use evaluation considered the existing land uses within and adjacent to (within 10 feet from) the footprint of each alignment. Alignments with a larger area of existing transportation land uses within or adjacent to the project footprint would be generally more compatible with the existing setting than those adjacent to non-transportation land uses such as recreation/open space. Existing land uses were identified based on 2022 SANDAG land use data. SANDAG performs an annual land use and housing unit inventory in the interest of maintaining a robust and accurate catalog of the existing conditions for any given year. Existing land uses within and adjacent to the footprint of each alignment include:

- **Recreation/Open Space:** Wildlife and nature preserves, lands set aside for open space, actively landscaped areas, parks, golf courses, and beaches
- **Residential:** Single-family and multifamily residential properties, and parcels of land that do not contain a dwelling unit but in which the land use is residential serving
- **Transportation:** Railroad and roadway right-of-way and parking lots
- **Public Institution:** Offices, public service facilities, and medical centers
- **Industrial:** Warehousing and certain mixed commercial and manufacturing uses
- **Hotel/Resort:** Hotels, motels, and resorts
- **Undeveloped/Vacant:** Unoccupied and undeveloped land
- **Commercial:** Commercial activities found along major streets and shopping areas

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<sup>1</sup>Per the CEQA Guidelines, sensitive vegetation communities include those identified in a local or regional plan, policy, or regulation or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service. The Cities of Del Mar and Solana Beach do not have adopted guidelines to define sensitive vegetation communities.



### **3.2.1.3 Community Effects**

The evaluation of community effects considers the potential disruption to adjacent communities during construction, including potential acquisitions at and near the portals associated with the TBM launch and retrieval sites and physical impacts to local roadways. Additionally, construction activities may result in effects related to noise and dust. The analysis of construction-related noise, along with measures to minimize noise and dust, will occur during environmental review.

The evaluation also considers construction material disposal in terms of the relative number of one-way truck trips required to dispose of the material excavated from bored tunnels, cut-and-cover tunnel, and the U-structure during construction. Generally, the higher the volume of excavated material, the higher the number of truck trips. Truck trips would be required for other construction-related activities, and the number of these trips will be determined during environmental review as further information is developed for the construction schedule. The quantity of excavated material is based on the length of each alignment. Construction methods will be further evaluated during environmental review to determine ways to minimize the number of truck trips.

## **3.2.2 Constructability and Construction Effects**

### **3.2.2.1 Constructability of Alignment Components**

Construction activities at the south portal launch site would include:

- Clearing and grubbing of the site
- Excavation for the portal
- TBM assembly
- Tunnel launch and subsequent TBM support activities, including removal of materials from excavation and loading materials onto trucks
- Import and storage of materials for the tunnel, including the lining
- Construction of permanent portal structures and installation of track and supporting infrastructure

Construction activities at the north portal retrieval site<sup>2</sup> would include:

- Clearing and grubbing of the site
- Excavation for the portal
- Decommissioning and dismantling of the TBM
- Removal of material from excavation of the north portal and associated cut-and-cover and U-structure sections and loading material onto trucks
- Construction of permanent portal structures and installation of track and supporting infrastructure

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<sup>2</sup> For all conceptual alignments, the north portal location is anticipated to serve as the TBM retrieval site. However, for Alignments P7-A, P7-B, P9, P10-A, and P10-B from the stakeholder and outreach alignments, it is anticipated that the TBM would be retrieved from the Del Mar Fairgrounds rather than from the north portal.



For planning purposes, 10 acres has been assumed as the minimum area needed for TBM launch and support of TBM operations during construction. Approximately 7 acres has been assumed to be the minimum area needed for TBM retrieval and portal construction. Conceptual construction laydown areas for the portals will be identified in future phases of design. These temporary staging areas could be restored to pre-construction conditions at the conclusion of the Project.

Additional alignment components would also be required outside of the tunnel and portal limits. Portions of the alignments that traverse Los Peñasquitos Lagoon would need to be on bridges to avoid impacts to the main water passages and to limit the permanent project footprint or otherwise be constructed on graded berms. The evaluation for constructability compares the requirements for construction of the various alignment components, including, but not limited to, tunnels, portals, and structures.

### **3.2.2.2 Railroad Operational Impacts during Construction**

One of the challenges with building any of the alignments would be minimizing impacts on railroad operations during construction, particularly where the new alignment would tie in with the existing railroad tracks. Rail service must be maintained during construction to the extent feasible in order to continue to provide a travel option for those using the COASTER and Pacific Surfliner, as well as to maintain rail freight operations. Therefore, for each alignment, a scenario was developed that would support continued rail service while minimizing the temporary infrastructure required, effects to operation (e.g., speed, length of single-track operation), and cost and schedule implications. Construction phasing and methods to minimize impacts to rail service will be further developed during environmental review.

Generally, shooflies (temporary tracks), temporary turnouts, increased distance of single-track operations, and temporary control points would be required to minimize impacts to railroad operations during construction. The evaluation for railroad operational impacts during construction discusses measures that may be implemented during construction to maintain existing rail operations to the extent feasible.

### **3.2.2.3 Utility Conflicts**

Each alignment was reviewed and evaluated for potential conflicts with existing major wet utilities. For purposes of this study, major wet utilities are defined as water facilities equal to or greater than 16 inches and sewer facilities equal to or greater than 18 inches. Using Geographic Information Systems (GIS) data from the SanGIS website, water and sewer utilities were identified.



## 4 Evaluation of Project Objectives and Engineering Feasibility

### 4.1 Conceptual Alignments

All conceptual alignments would meet the project objectives and engineering feasibility. Because each conceptual alignment was prepared for an alternatives analysis, the conceptual alignments were designed specifically to meet the project objectives and comply with the engineering feasibility criteria. However, for alignments with a north portal within Camino Del Mar, a single-bore tunnel (Alignments 8, 10, and 12) would require approximately 350 feet more of cut-and-cover construction within the roadway than a twin-bore tunnel, which would increase the complexity of managing roadway closures and detours. Through high-level screening as the conceptual alignments were further developed, it became apparent that all single-bore alignments would result in more complex construction and community effects than the similar twin-bore alignments. Therefore, the six single-bore alignments (Alignments 2, 4, 6, 8, 10 and 12) were removed from consideration prior to the evaluation of environmental and other considerations in Section 5.1. The twin-bore alignments (Alignment 1, 3, 5, 7, and 11) were advanced for further evaluation in Section 5.1.

A key differentiator between single-bore and twin-bore tunnels (Figure 4-1) is the minimum depth required beneath the earth's surface to enter or exit the portal structure. The larger-diameter single-bore configuration would require a much longer transitional structure to provide a minimum of one-diameter of ground cover above the top of the tunnel, which is a best practice for conceptual design. Additionally, the footprint needed to construct the transition structures (U-structure and cut-and-cover tunnel) would be larger due to the increased depth of the portal to accommodate the larger tunnel diameter. This larger footprint would impact access to and through the community, including property effects to support temporary roadways during construction.

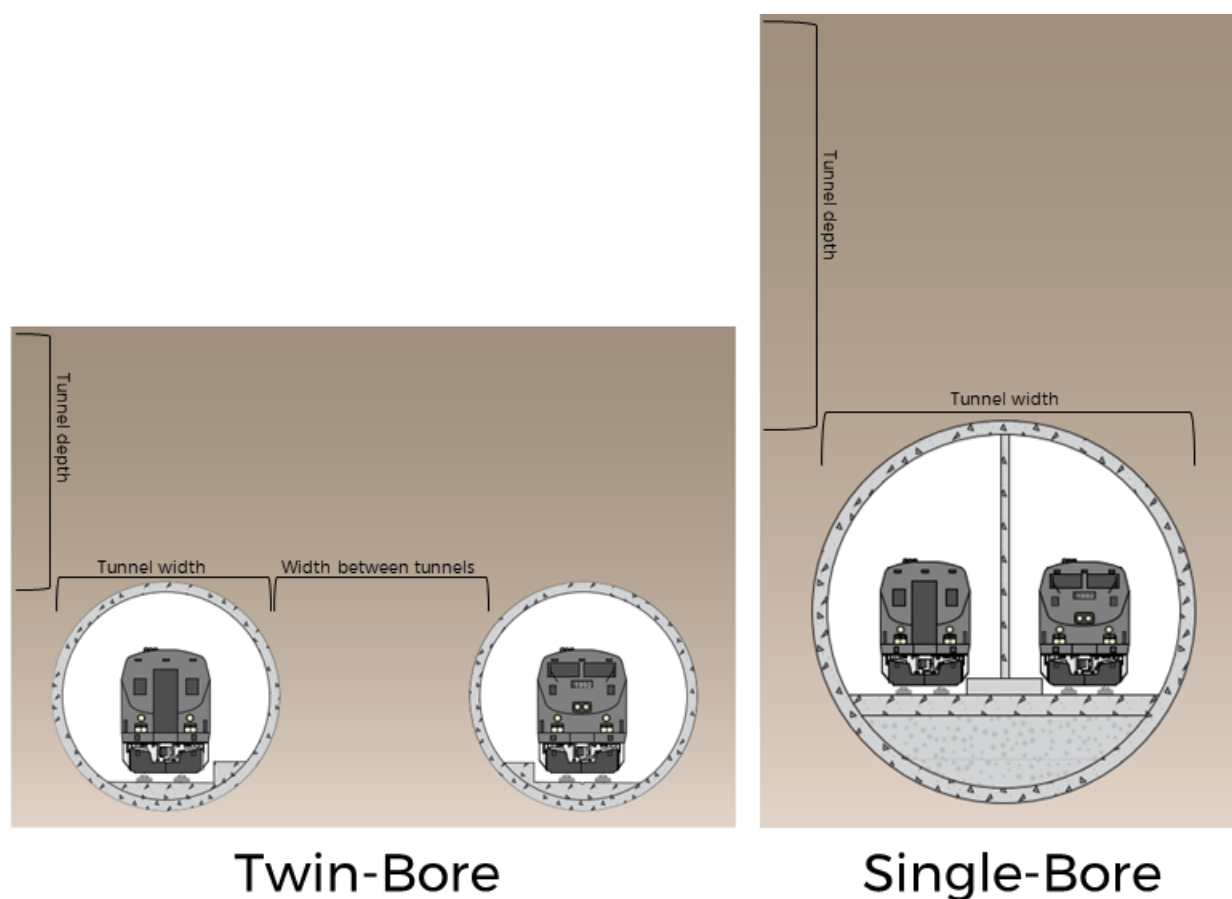
A single-bore tunnel configuration was also eliminated for the following reasons:

- The amount of material excavated for a single-bore tunnel is nearly 40 percent greater than the amount of material excavated for a twin-bore tunnel of the same length. Additionally, a single-bore tunnel requires more reinforced concrete lining. Therefore, single-bore tunnels require more truck trips to remove excavated material and deliver construction materials, which would result in greater construction-related traffic, effects on the community, and construction costs.
- The smaller TBM for a twin-bore tunnel would generally excavate the same length of tunnel faster than a larger TBM required for a single-bore tunnel.

In consideration of the increased complexity of construction and community effects, additional truck trips associated with removal of excavated material and delivery of construction materials, and greater cost, Alignments 2, 4, 6, 8, 10, and 12 were removed from consideration in favor of the similar twin-bore alignments. Additionally, for the reasons described, single-bore tunnels were not considered for any of the stakeholder and outreach alignments.



**Figure 4-1. Twin-Bore and Single-Bore Tunnel Configuration**



Note: Based on best practices for conceptual design, the minimum depth of ground cover above the top of the tunnel is equivalent to the width of the tunnel. The minimum distance between twin-bore tunnels is equivalent to the width of the tunnel.

## **4.2 Stakeholder and Outreach Alignments**

Table 4-1 summarizes the assessment of each alignment's ability to meet the project objectives and engineering feasibility identified in Section 3.1.

### **4.2.1 Alignment P1-A**

Alignment P1-A proposes a bored tunnel along the I-5 right-of-way, although the depiction of the alignment did not identify the point that it would connect to the existing railroad alignment at the north. Alignment P1-A would meet one of the six project objectives by relocating the existing railroad tracks away from the eroding bluffs. However, the alignment would not meet the objective to maintain passenger service to the existing Solana Beach Station and would not provide direct access to the Del Mar Fairgrounds. A north portal location was not identified, and, therefore, sufficient information is not available to evaluate this alignment against the remaining project objectives and engineering feasibility. Therefore, **Alignment P1-A was removed from further consideration.**



#### 4.2.2 Alignment P1-B

Alignment P1-B proposes a bored tunnel along the I-5 right-of-way, although the depiction of the alignment did not identify the point that it would connect to the existing railroad alignment at the north. Alignment P1-B would meet one of the six project objectives by relocating the existing railroad tracks away from the eroding bluffs. However, the alignment would not meet the objective of maintaining passenger service to the existing Solana Beach Station and would not provide direct access to the Del Mar Fairgrounds. Additionally, the alignment would not meet the project objective to minimize impacts to the surrounding community as it would result in impacts to businesses in Sorrento Valley and at the intersection of Sorrento Valley Road and Carmel Mountain Road. As with Alignment P1-A, a north portal location was not identified, and, therefore, sufficient information is not available to evaluate this alignment against the remaining project objectives and engineering feasibility. Therefore, **Alignment P1-B was removed from further consideration.**

#### 4.2.3 Alignment P2

Alignment P2 proposes a freestanding bridge built to the west of the existing tracks. Though feasible from an engineering standpoint, the alignment would only meet one of the six project objectives. The alignment would not relocate the existing railroad tracks away from the eroding coastal bluffs in Del Mar and would not meet long-term resiliency goals with continued storm events and sea-level rise. Alignment P2 would also result in significant effects to the beach and would require grading and support structures that would destroy the coastal bluffs and beach access, thereby affecting recreational and coastal resources. This alignment would also not reduce rail travel times or eliminate at-grade crossings. Therefore, **Alignment P2 was removed from further consideration.**

#### 4.2.4 Alignment P3

Alignment P3 proposes an alignment that would locate the rail line in a tunnel under the ocean. This alignment would meet three of the six project objectives. This alignment would relocate the tracks, improve rail travel times, and support the objective to enhance coastal access and improve safety. However, Alignment P3 would not maintain rail access to the Del Mar Fairgrounds as the alignment would divert from the existing rail alignment before the fairgrounds. This alignment would also affect Solana Beach and impact biological and recreational resources, including Torrey Pines State Park, Dog Beach, the bluffs, and the Los Peñasquitos wetlands. Additionally, Alignment P3 would not be feasible from an engineering standpoint as the grades for tunneling underneath the ocean floor would exceed 2 percent and, therefore, would not meet the vertical profile design criteria required to maintain rail freight operation. As a result, **Alignment P3 was removed from further consideration.**

#### 4.2.5 Alignment P4

Alignment P4 proposes a bored tunnel under the public right-of-way of Camino Del Mar. This alignment would meet all project objectives except for reducing rail travel times. Due to the curves required for the alignment to mirror the path of Camino Del Mar, the maximum speed of this alignment would be 50 miles per hour (mph), which could increase rail travel times compared to the existing alignment. Alignment P4 would be feasible from an engineering standpoint; however, it was removed from consideration because it is similar to conceptual Alignment 3 evaluated in Section 5.1, which would meet the objective of reducing travel times. Therefore, **Alignment P4 was removed from further consideration.**



#### 4.2.6 Alignment P5

Alignment P5 proposes a bored tunnel along the I-5 right-of-way, under the San Dieguito Lagoon to South Cedros Avenue in Solana Beach. This alignment would meet two of the six project objectives. This alignment would relocate the tracks away from the eroding coastal bluffs and support the objective to enhance coastal access and improve safety. However, Alignment P5 would not be able to accommodate a direct connection to the Del Mar Fairgrounds and would result in impacts to the Cedros Avenue Design District in Solana Beach, businesses in Sorrento Valley, and businesses at the intersection of Sorrento Valley Road and Carmel Mountain Road. As depicted by stakeholders and the public, the alignment would not reduce rail travel times. Therefore, **Alignment P5 was removed from further consideration.**

#### 4.2.7 Alignment P6-A

Alignment P6-A proposes a bored tunnel along the I-5 right-of-way under the San Dieguito Lagoon and Del Mar Fairgrounds to Solana Beach. This alignment would meet three of the six objectives and engineering feasibility. The alignment would not reduce travel times and would result in impacts to the Coastal Rail Trail, a multi-use path along the rail corridor, and Solana Beach. The alignment would also result in impacts to Stevens Creek and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community; preserve biological, cultural (e.g., historic property), and recreational resources; and reduce rail travel times. In addition to not meeting three of the project objectives, Alignment P6-A is similar to Alignment P7-A, which would meet the objective of reducing travel times and was advanced for further consideration. Therefore, **Alignment P6-A was removed from further consideration.**

#### 4.2.8 Alignment P6-B

Alignment P6-B is similar to Alignment P6-A, except the southern portal is located farther south in Sorrento Valley. This alignment would meet three of the six objectives and engineering feasibility. Similar to Alignment P6-A, the alignment would not reduce travel times and would result in impacts to the Coastal Rail Trail (a multi-use path along the rail corridor) and Solana Beach. The alignment would also result in impacts to Stevens Creek and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community; preserve biological, cultural, and recreational resources; and reduce rail travel times. Alignment P6-B would also result in additional impacts to businesses in Sorrento Valley and at the intersection of Sorrento Valley Road and Carmel Mountain Road. Alignment P6-B is similar to P7-B, which would meet the objective of reducing travel times and was advanced for further evaluation. Therefore, **Alignment P6-B was removed from further consideration.**

#### 4.2.9 Alignment P7-A

Alignment P7-A proposes a bored tunnel along the I-5 right-of-way under the San Dieguito Lagoon and Del Mar Fairgrounds to Solana Beach. Alignment P7-A would meet four of the six project objectives. Similar to Alignment P6-A, Alignment P7-A would result in impacts to the Coastal Rail Trail, Solana Beach, Stevens Creek, and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. However, Alignment P7-A would meet all other project objectives and is feasible from an engineering standpoint. Therefore, **Alignment P7-A was advanced for further evaluation in Section 5.2.**



#### 4.2.10 Alignment P7-B

Alignment P7-B proposes a bored tunnel along the I-5 right-of-way under the San Dieguito Lagoon and Del Mar Fairgrounds to Solana Beach. Similar to Alignment P7-A, Alignment P7-B would meet four of the six project objectives. Alignment P7-B would also result in impacts to the Coastal Rail Trail, Solana Beach, Stevens Creek, and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. The alignment would also result in additional impacts to businesses in Sorrento Valley. However, Alignment P7-B would meet all other project objectives and is feasible from an engineering standpoint. Therefore, **Alignment P7-B was advanced for further evaluation in Section 5.2.**

#### 4.2.11 Alignment P8

Alignment P8 proposes a bored tunnel under the Los Peñasquitos Lagoon, along the I-5 right-of-way and under private property to Del Mar. Alignment P8 would meet four of the six project objectives. However, this alignment would not reduce travel times and would result in significant impacts to Los Peñasquitos Lagoon, not meeting the project objective to preserve biological, cultural, and recreational resources. Additionally, the inclusion of a tunnel portal immediately following a bridge on flat terrain would not be feasible from an engineering perspective. There is insufficient distance to achieve the necessary 2-percent grade required between the bridge and where the portal location was proposed for this alignment concept, therefore making the alignment infeasible. As a result, **Alignment P8 was removed from further consideration.**

#### 4.2.12 Alignment P9

Alignment P9 proposes a bored tunnel under the Los Peñasquitos Lagoon, Crest Canyon, and the San Dieguito Lagoon to Del Mar. Alignment P9 would meet four of the six project objectives. Alignment P9 would result in impacts to the Coastal Rail Trail, Solana Beach, Stevens Creek, and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. However, Alignment P9 would meet all other project objectives and is feasible from an engineering standpoint. Therefore, **Alignment P9 was advanced for further evaluation in Section 5.2.**

#### 4.2.13 Alignment P10-A

Alignment P10-A proposes a bored tunnel under the Los Peñasquitos Lagoon and the San Dieguito Lagoon to Del Mar. Alignment P10-A would meet four of the six project objectives but would result in impacts to the Coastal Rail Trail, Solana Beach, Stevens Creek, and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. However, Alignment P10-A would meet all other project objectives and is feasible from an engineering standpoint. Therefore, **Alignment P10-A was advanced for further evaluation in Section 5.2.**

#### 4.2.14 Alignment P10-B

Alignment P10-B proposes a bored tunnel under the Los Peñasquitos Lagoon and the San Dieguito Lagoon to Del Mar. Similar to Alignment P10-A, Alignment P10-B would meet four of the six project objectives. Alignment P10-B would result in impacts to the Coastal Rail Trail,



Solana Beach, Stevens Creek, and the Del Mar Fairgrounds. Therefore, the alignment would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. The alignment would also result in additional impacts to businesses in Sorrento Valley. However, Alignment P10-B would meet all other project objectives and is feasible from an engineering standpoint. Therefore, **Alignment P10-B was advanced for further evaluation in Section 5.2.**

#### **4.2.15 Summary**

Based on the evaluation of project objectives and engineering feasibility, as summarized in Table 4-1, **Alignments P7-A, P7-B, P9, P10-A, and P10-B were advanced for further evaluation** in Section 5.2. The remaining stakeholder and outreach alignments were removed from consideration. Alignments P7-A, P7-B, P9, P10-A, and P10-B as depicted by stakeholders and the public were modified as each alignment was further developed, as illustrated in Figure 4-2.



Table 4-1. Project Objectives and Engineering Feasibility – Stakeholder and Outreach Alignments

Stakeholder and Outreach Alignment Number	North Portal	South Portal	Meets Project Objectives						Meets Engineering Feasibility	Advanced for Further Evaluation
			Improve rail service reliability by relocating the existing railroad tracks away from the eroding coastal bluffs in Del Mar	Maintain passenger rail service to the existing train stations serving Solana Beach and Sorrento Valley and accommodate direct rail access to 22nd District Agricultural Association (Del Mar Fairgrounds)	Minimize impacts in the surrounding communities during and after construction	Avoid and/or minimize impacts on biological, cultural, and recreational resources	Help meet the goals of the 2021 Regional Plan and the 2018 California State Rail Plan by increasing passenger and freight train capacity, further reducing travel times, improving reliability, and accommodating additional rail service	Improve coastal access and safety by eliminating at-grade railroad crossings and minimizing other pedestrian-rail points of interaction		
P1-A	Not identified	Knoll Near I-5	Yes	No	Unknown <sup>1</sup>	Unknown	Unknown	Unknown	Unknown	No
P1-B	Not identified	Sorrento Valley	Yes	No	No	Unknown	Unknown	Unknown	Unknown	No
P2	N/A	N/A	No	Yes	No	No	No	No	Yes	No
P3	Solana Beach	Marsh Trail	Yes	No	No	No	Yes	Yes	No	No
P4	Camino Del Mar	Torrey Pines Road	Yes	Yes	Yes	Yes	No	Yes	Yes	No
P5	South Cedros Avenue	Pump Station 65	Yes	No	No	No	No	Yes	Yes	No
P6-A	Fairgrounds	Knoll Near I-5	Yes	Yes	No	No	No	Yes	Yes	No
P6-B	Fairgrounds	Sorrento Valley	Yes	Yes	No	No	No	Yes	Yes	No
P7-A	Fairgrounds	Knoll Near I-5	Yes	Yes	No	No	Yes	Yes	Yes	Yes
P7-B	Fairgrounds	Sorrento Valley	Yes	Yes	No	No	Yes	Yes	Yes	Yes
P8	Old Railroad Wye <sup>2</sup>	South Los Peñasquitos Lagoon	Yes	Yes	Yes	No	No	Yes	No	No
P9	Fairgrounds	Portofino Drive	Yes	Yes	No	No	Yes	Yes	Yes	Yes
P10-A	Fairgrounds	Knoll Near I-5	Yes	Yes	No	No	Yes	Yes	Yes	Yes
P10-B	Fairgrounds	Sorrento Valley	Yes	Yes	No	No	Yes	Yes	Yes	Yes

Notes: <sup>1</sup>As depicted by stakeholders and the public, there is insufficient information to evaluate the alignment against the project objective and/or engineering feasibility.

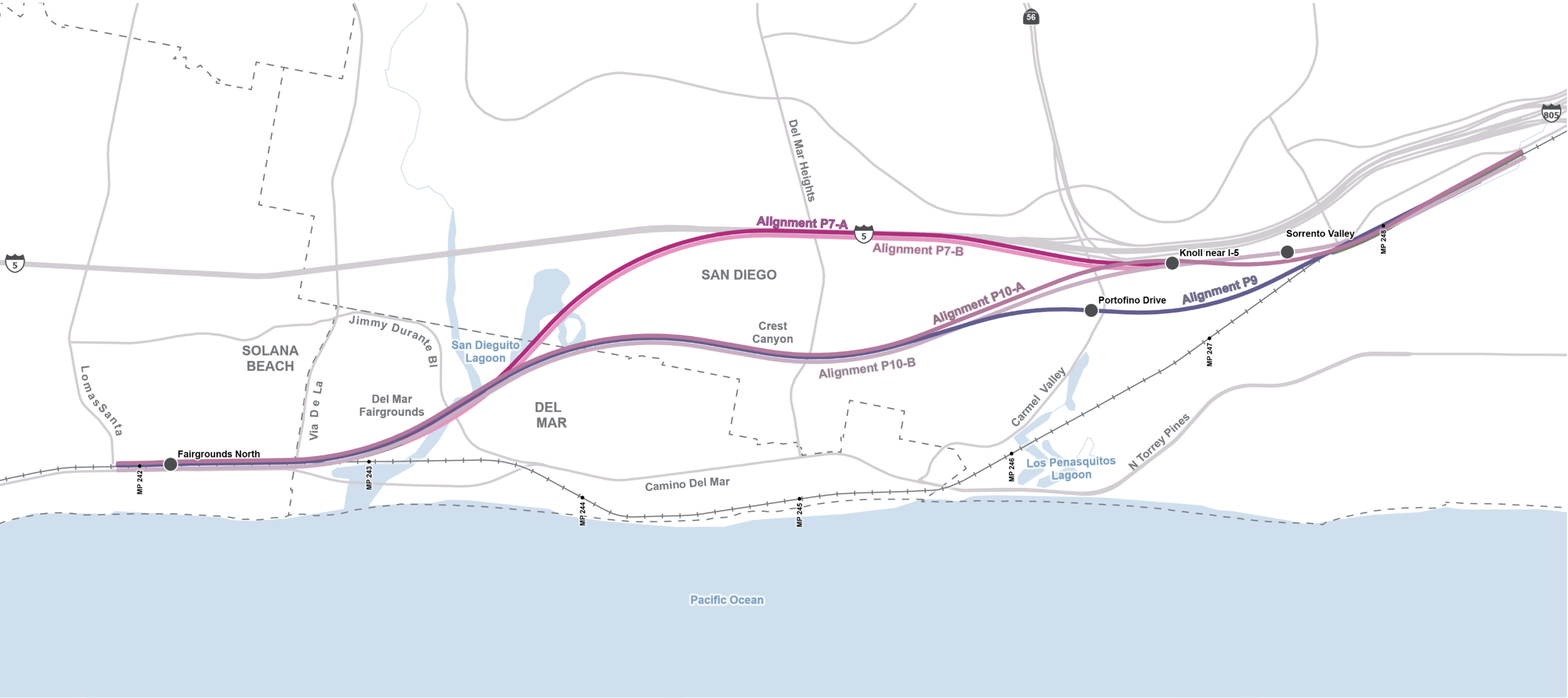
<sup>2</sup>A wye is a triangular-shaped junction of three rail lines that converge with each other.

N/A = not applicable—the alignment was proposed as a bridge and does not include underground portions that would require portals.

Not identified = a specific location for a northern portal was not noted.



Figure 4-2. Stakeholder and Outreach Alignments Advanced



LEGEND

- Alignment P7-A
- Alignment P7-B
- Alignment P9
- Alignment P10-A
- Alignment P10-B

- Portal Location
- Mile Post Marker
- [ - - ] Municipal Boundary

- North Portal
- Fairgrounds North
- South Portal
- Portofino Drive
- Knoll Near I-5
- Sorrento Valley

0 2,000 Feet





# 5 Evaluation of Environmental and Other Considerations

## 5.1 Conceptual Alignments

This section summarizes the evaluation of Alignments 1, 3, 5, 7, 9, and 11. Table 5-1 provides a comparison of the type and approximate length of the various alignment components for each of these alignments, including the length of the tunnel under public right-of-way or property and private property. The alignment components are considered throughout the evaluation of environmental and other considerations in the sections that follow.

**Table 5-1. Conceptual Alignments – Summary of Alignments and Components**

Conceptual Alignment Number	Bored Tunnel (feet)	U-Structure (feet)	Cut-and-Cover Tunnel (feet)	Bridge (feet)	Floodwall (feet)	Graded <sup>1</sup> (feet)	Total Alignment Length (feet)	Percent of Tunnel under Public ROW (%)	Percent of Tunnel under Private ROW (%)
1	13,800	900	700	1,500	800	7,600	25,300	41	59
3	9,800	900	600	6,100	800	7,800	25,900	6	94
5	16,600	2,400	900	100	1,900	6,200	28,000	44	56
7	13,900	1,100	900	1,500	800	7,200	25,300	49	51
9	9,500	1,200	500	6,100	800	7,800	26,000	27	73
11	16,600	2,200	1,200	100	1,900	6,300	28,300	46	54

Notes: <sup>1</sup>The graded length includes the berm.

ROW = right-of-way

### 5.1.1 Potential Environmental Considerations

This section compares the area of sensitive vegetation communities and the existing land uses within and adjacent to (within 10 feet from) the footprint of each conceptual alignment. The section also provides an evaluation of the potential disruption to adjacent communities during construction at TBM launch and retrieval sites, including potential acquisitions and noise and dust. The section also considers physical impacts to roadways and the number of truck trips associated with construction material disposal from excavation of the bored tunnels, cut-and-cover tunnel, and the U-structure. Table 5-2 summarizes the acreages of the sensitive vegetation communities and the existing land use designations within and adjacent to the project footprint for each alignment. Table 5-3 presents an estimate of truck trips required for construction material disposal. The sections that follow present the evaluation of these considerations by conceptual alignment.



**Table 5-2. Sensitive Vegetation Communities and Existing Land Uses (Permanent)**

Conceptual Alignment Number	Biological Resources Sensitive Vegetation Communities (acres)		Land Use (acres)							
	Wetlands	Uplands	Residential	Recreation/ Open Space	Transportation	Public Institution	Industrial	Hotel	Undeveloped	Commercial
1	20	2	<1	20	13	1	<1	0	0	0
3	13	3	1	3	27	1	<1	0	0	0
5	15	0	<1	12	12	1	<1	0	0	0
7	17	2	<1	17	22	1	<1	<1	0	0
9	13	3	1	3	37	1	<1	<1	0	0
11	15	0	<1	<1	22	1	<1	<1	0	0

Source: SanGIS 2022, AECOM 2023 biological resource surveys



**Table 5-3. Approximate Volume of Excavated Material and Truck Trips for Disposal of Construction Material**

Conceptual Alignment Number	Total Excavation Volumes (Cubic Yards)	Estimated Truck Trips for Construction Material Disposal <sup>1</sup>
1	1,716,000	171,600
3	1,273,000	127,300
5	2,294,000	229,400
7	1,819,000	181,900
9	1,220,000	122,000
11	2,351,000	235,100

Note: <sup>1</sup>Only accounts for one-way traffic for disposal of construction materials associated with the bored tunnels, cut-and-cover tunnel, and the U-structure.

#### **5.1.1.1 Alignment 1 (Portals: Under Jimmy Durante Boulevard and Portofino Drive)**

**Biological Resources and Land Use:** The Alignment 1 footprint could affect 22 acres of sensitive vegetation communities, which would be more than any other conceptual alignment. This alignment could also have the second smallest area of existing transportation land uses (13 acres) and the largest area of recreation/open space land uses (20 acres). As a result of the larger area of non-transportation land uses, the alignment would be generally less compatible with existing land uses compared to the other conceptual alignments.

**Community Effects:** Construction at the north portal (Under Jimmy Durante Boulevard) would require the acquisition of private property for the cut-and-cover and U-structure portion of the alignment. This portal location would also be adjacent to residential properties, and noise and dust abatement measures would be implemented during construction. The existing roadway profile for Jimmy Durante Boulevard would be raised to pass over the cut-and-cover tunnel where the proposed track alignment would intersect with the existing roadway alignment. The proposed roadway design would maintain the existing width of the roadway and access to residential properties. Temporary access to residential properties during construction would be provided to support construction phasing, if necessary.

The Alignment 1 south portal at Portofino Drive would be located on privately owned land but is not expected to displace buildings. Residential properties are located to the west and on the eastern edge of the proposed launch site. Noise and dust abatement measures would be implemented during construction. The existing roadway alignment and profile of Carmel Valley Road would not be permanently affected by the bridge for the proposed rail alignment and would remain intact. Vertical clearance from the track overcrossing would be sufficient. However, bridge construction would result in temporary closures and detours on Carmel Valley Road and Portofino Drive. This portal location would result in more roadway impacts than Alignments 5 and 11 but fewer than Alignments 3 and 9. The majority of construction-related traffic is anticipated to use Carmel Valley Road and Portofino Drive, as these roads would provide the most direct access to the project site. However, Alignment 1 would result in less excavated material and fewer truck trips for material disposal than Alignment 5, 7, and 11.

#### **5.1.1.2 Alignment 3 (Portals: Under Jimmy Durante Boulevard and Torrey Pines Road)**

**Biological Resources and Land Use:** The Alignment 3 footprint could affect 16 acres of sensitive vegetation communities. Alignment 3 could also affect 1 acre of residential land use within and adjacent to the footprint, which could require conversion to a transportation land



use. The area of existing recreation/open space land uses could be among the smallest (3 acres) compared to the other conceptual alignments and there could be approximately 27 acres of existing transportation land uses within and adjacent to the footprint, larger than Alignments 1, 5, 7 and 11, thus indicating this alignment could be more compatible with existing land uses.

**Community Effects:** Construction of the north portal (Under Jimmy Durante Boulevard) would require the acquisition of private property for the cut-and-cover tunnel and U-structure portion of the alignment. This portal location would also be adjacent to residential properties, and noise and dust abatement measures would be implemented during construction. The existing roadway profile for Jimmy Durante Boulevard would be raised to pass over the cut-and-cover tunnel where the proposed track alignment would intersect with the existing roadway alignment. The proposed roadway design would maintain the existing width of the roadway and permanent access to residential properties. Temporary access to residential properties during construction would be provided to support construction phasing, if necessary.

Private property acquisition would also be required to facilitate construction of the south portal site at Torrey Pines Road for Alignment 3, and noise and dust abatement measures would be implemented during construction. The cut-and-cover tunnel of the alignment near the south portal would intersect with Carmel Valley Road, which would need to be decked over, with this decking maintained during portal and tunneling construction. The existing roadway alignment and profile would be maintained. After construction of the cut-and-cover tunnel, the roadway would be restored as a grade-separated crossing over the cut-and-cover tunnel. Temporary access to residential properties during construction would be provided to support construction phasing. Construction of this south portal would be the most impactful to the local road network compared to the Portofino Drive (Alignments 1 and 7) and Knoll Near I-5 (Alignments 5 and 9) south portals. The majority of construction-related traffic is anticipated to use Carmel Valley Road and North Torrey Pines Road, as these roads would provide the most direct access to the project site. Compared to Alignment 3, only Alignment 9 would result in less excavated material and fewer truck trips.

#### **5.1.1.3 Alignment 5 (Portals: Under Jimmy Durante Boulevard and Knoll Near I-5)**

**Biological Resources and Land Use:** The Alignment 5 footprint could affect 15 acres of sensitive vegetation communities, which would be less than any other conceptual alignment. There could be approximately 12 acres of existing transportation land uses within and adjacent to the footprint, smaller than all conceptual alignments except for Alignment 1. In addition, Alignment 5 could have less than 1 acre of residential land use requiring conversion to a transportation land use, and the area of existing recreation/open space land uses is also smaller (12 acres) than that of Alignments 1 and 7. As a result, the alignment would be generally more compatible with existing land uses compared to the other conceptual alignments.

**Community Effects:** Construction of the north portal (Under Jimmy Durante Boulevard) would require the acquisition of private property for the cut-and-cover tunnel and U-structure portion of the alignment. This portal location would also be adjacent to residential properties, and noise and dust abatement measures would be implemented during construction. The existing roadway profile for Jimmy Durante Boulevard would be raised to pass over the cut-and-cover tunnel where the proposed track alignment would intersect with the existing roadway alignment. The proposed roadway design would maintain the existing width of the roadway and permanent access to residential properties. Temporary access to residential properties during construction would be provided to support construction phasing, if necessary.



The Alignment 5 south portal (Knoll Near I-5) would be located on privately owned land within and adjacent to the Los Peñasquitos Lagoon but is not expected to displace buildings. The portal site does not have residential properties in the immediate vicinity; however, noise and dust abatement measures may be required during construction to protect resources within the lagoon. Old Sorrento Valley Road and the associated bike trail facilities would be affected by the cut-and-cover tunnel for the proposed alignment and would require temporary relocation. Access to residential properties would not be affected during construction. Access to the pump station would be temporarily limited from the south. This south portal would be the least impactful to local roads during construction compared to the other conceptual alignments. The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, with limited traffic using Carmel Valley Road, as these roads would provide the most direct access to the project site. Compared to the other conceptual alignments, Alignment 5 would result in the second-highest amount of excavated material and truck trips for material disposal, with only Alignment 11 requiring higher volumes and trips.

#### **5.1.1.4 Alignment 7 (Portals: Within Camino Del Mar and Portofino Drive)**

**Biological Resources and Land Use:** The Alignment 7 footprint could affect 19 acres of sensitive vegetation communities, which is the second-largest area compared to all conceptual alignments. There could be approximately 22 acres of existing transportation land uses within and adjacent to the footprint, which could be smaller than Alignments 3 and 9 but larger than Alignments 1 and 5. Alignment 7 could have less than 1 acre of residential land uses; however, the alignment could have the second-largest area of recreation/open space land uses within and adjacent to the footprint. For these reasons, Alignment 7 would generally be less compatible with existing land uses.

**Community Effects:** Construction at the north portal site (Within Camino Del Mar) would require acquisition of commercial property. Residential land uses would be located to the east, and noise and dust abatement measures would be implemented during construction. Alignment 7 would require reconstruction of the existing Camino Del Mar Bridge and construction of a temporary bridge to divert traffic across the railroad and to accommodate portal and track shoofly construction. Access to private properties along Grand Avenue would be affected by construction activities. Additionally, Jimmy Durante Boulevard and Camino Del Mar would be reconstructed. Compared to the north portal (Under Jimmy Durante Boulevard), this north portal location would be the most impactful to the local roadway network.

The Alignment 7 south portal (Portofino Drive) would be located on privately owned land but is not expected to displace buildings. Residential properties are located to the west and on the eastern edge of the proposed launch site. Noise and dust abatement measures would be implemented during construction. The existing roadway alignment and profile of Carmel Valley Road would not be permanently affected by the bridge for the proposed rail alignment and would remain intact. Vertical clearance from the track overcrossing would be sufficient. However, bridge construction would result in temporary closures and detours on Carmel Valley Road and Portofino Drive. The majority of construction traffic is anticipated to use Carmel Valley Road and Portofino Drive, as these roads would provide the most direct access to the project site. This portal location would result in more roadway impacts than Alignments 5 and 11 but fewer than Alignments 3 and 9. Alignment 7 would result in a smaller amount of excavated material and require fewer truck trips for material disposal than Alignments 5 and 11 but would result in a larger amount of excavated material and truck trips compared to Alignments 1, 3, and 9.



#### 5.1.1.5 Alignment 9 (Portals: Within Camino Del Mar and Torrey Pines Road)

**Biological Resources and Land Use:** The Alignment 9 footprint could include 16 acres of sensitive vegetation communities, similar to Alignment 3. This alignment would also have the largest area of existing transportation land uses within and adjacent to the footprint, at 37 acres. Alignment 9 could affect approximately 1 acre of residential land use within and adjacent to the footprint, and the area of existing recreation/open space land uses (3 acres) would be among the smallest compared to the other alignments. As a result, the alignment would be generally more compatible with existing land uses compared to the other conceptual alignments.

**Community Effects:** Construction at the north portal site (Within Camino Del Mar) would require acquisition of commercial property. Residential land uses would be located to the east, and noise and dust abatement measures would be implemented during construction. Alignment 9 would require reconstruction of the existing Camino Del Mar Bridge and construction of a temporary bridge to divert traffic across the railroad and to accommodate portal and track shoofly construction. Access to private properties along Grand Avenue would be affected by construction activities. Additionally, Jimmy Durante Boulevard and Camino Del Mar would be reconstructed. Compared to the north portal (Under Jimmy Durante Boulevard), this north portal location would be the most impactful to the local roadway network.

Private property acquisition would also be required to facilitate construction of the south portal site at Torrey Pines Road for Alignment 9, and noise and dust abatement measures would be implemented during construction. The cut-and-cover section of the alignment near the south portal would intersect with Carmel Valley Road, which would need to be decked over, with this decking maintained during portal and tunneling construction. The existing roadway alignment and profile would be maintained. After construction of the cut-and-cover tunnel, the roadway would be restored as a grade-separated crossing over the cut-and-cover tunnel. Temporary access to residential properties during construction would be provided to support construction phasing. Construction of this south portal would be the most impactful to the local road network compared to the Portofino Drive (Alignments 1 and 7) and Knoll Near I-5 (Alignments 5 and 9) south portals. The majority of construction-related traffic is anticipated to use Carmel Valley Road and North Torrey Pines Road, as these roads would provide the most direct access to the project site. Compared to the other conceptual alignments, Alignment 9 would result in the least amount of excavated material and require the fewest number of truck trips for material disposal.

#### 5.1.1.6 Alignment 11 (Portals: Within Camino Del Mar and Knoll Near I-5)

**Biological Resources and Land Use:** The Alignment 11 footprint could include 15 acres of sensitive vegetation communities, similar to Alignment 5. There could be approximately 22 acres of existing transportation land uses within and adjacent to the footprint, which could be smaller than Alignments 3 and 9. However, Alignment 11 could have less than 1 acre of residential land uses requiring conversion to a transportation land use and the area of recreation/open space is smaller than that of Alignments 3 and 9. For these reasons, Alignment 11 would generally be compatible with existing land uses.

**Community Effects:** Construction at the north portal site (Within Camino Del Mar) would require acquisition of commercial property. Residential land uses would be located to the east, and noise and dust abatement measures would be implemented during construction. Alignment 11 would require reconstruction of the existing Camino Del Mar Bridge and construction of a temporary bridge to divert traffic across the railroad and to accommodate



portal and track shoofly construction. Access to private properties along Grand Avenue would be affected by construction activities. Additionally, Jimmy Durante and Camino Del Mar would be reconstructed. Compared to the north portal (Under Jimmy Durante Boulevard), this north portal location would be the most impactful to the local roadway network.

The Alignment 11 south portal (Knoll Near I-5) would be located on privately owned land within and adjacent to the Los Peñasquitos Lagoon but is not expected to displace buildings. The portal site does not have residential properties in the immediate vicinity; however, noise and dust abatement measures may be required during construction to protect resources within the lagoon. Old Sorrento Valley Road and the associated bike trail facilities would be affected by the cut-and-cover tunnel for the proposed alignment and would require temporary relocation. Access to residential properties would not be affected during construction. Access to the pump station would be temporarily limited from the south. This south portal would be the least impactful to local roads during construction compared to the other conceptual alignments. The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, with limited traffic using Carmel Valley Road, as these roads would provide the most direct access to the project site. Alignment 11 would result in the highest amount of excavated material and require the greatest number of truck trips for material disposal compared to the other conceptual alignments.

## **5.1.2 Constructability and Construction Effects**

### **5.1.2.1 Constructability of Alignment Components**

The evaluation in this section considered construction effects associated with the conceptual alignments, including the tunnel, portals, and other infrastructure and structures required to support the alignment, as applicable.

Three potential south portals have been identified. It is assumed that the TBM would be launched from the south portal; therefore, the identification of potential portal locations also considered the footprint and access to and from the site. The portals are as follows:

- **Portofino Drive:** Near the intersection of Carmel Valley Road and Portofino Drive
- **Torrey Pines Road:** Near the intersection of Carmel Valley Road and Camino Del Mar/ N Torrey Pines Road
- **Knoll Near I-5:** At the knoll adjacent to I-5

Two potential north portals have been identified. It is assumed that the TBM would be retrieved from the north portal. The portals are as follows:

- **Under Jimmy Durante Boulevard:** Partially within the hillside just north of the intersection of Jimmy Durante Boulevard and Camino Del Mar
- **Within Camino Del Mar:** Within Camino Del Mar just north of the intersection of Jimmy Durante Boulevard and Camino Del Mar

### **Alignment 1 (Portals: Under Jimmy Durante Boulevard and Portofino Drive)**

Alignment 1 would include a total bored tunnel length of approximately 13,800 feet. Although the bored tunnel length for Alignment 1 is longer than Alignments 3 and 9, Alignment 1 may require fewer subsurface easements from private properties than Alignment 3 as a larger percentage of the tunnel (approximately 41 percent) is located under public right-of-way or property.



The Alignment 1 north portal (Under Jimmy Durante Boulevard) would be located just north of Jimmy Durante Boulevard and Camino Del Mar. This portal would be partially buried within the hillside, and the cut-and-cover tunnel would extend across Jimmy Durante Boulevard. The site is partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Locating the construction staging site above anticipated flood levels
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls.

The south portal for Alignment 1 (Portofino Drive) would be located at the intersection of Portofino Drive and Carmel Valley Road. Two sites have been identified to support the TBM launch: the main site would be 9 acres and located north of Carmel Valley Road, and a satellite site of 2 acres would be located south of Carmel Valley Road. The main site would need significant excavation and regrading to create a usable space for the construction laydown area, and multiple retaining structures would be required to allow for TBM operation. The main site is largely above the 100-year floodplain and is not expected to require abatement measures to prevent flooding. Additionally, due to the elevated structures associated with the alignment near the south portal, there is no significant infrastructure that would need to be protected from flooding and/or sea-level rise during future operation.

Alignment 1 would also require approximately 1,500 feet of bridge within the limits of Los Peñasquitos Lagoon, which is substantially less than the bridge required for Alignments 3 and 9, as summarized in Table 5-1. Alignment 1 would require approximately 7,000 feet of new berm within the lagoon to support the alignment. This length is slightly less than that required for Alignments 3 and 9; however, these alignments only require raising and widening the existing berm. Additionally, under Alignment 1, the existing track embankment in Los Peñasquitos Lagoon would no longer be required for rail operations creating the possibility that approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for wetland restoration and/or expanded recreational use.

### **Alignment 3 (Portals: Under Jimmy Durante Boulevard and Torrey Pines Road)**

Alignment 3 would include a total bored tunnel length of approximately 9,800 feet. Although the bored tunnel length for Alignment 3 is shorter than all conceptual alignments other than Alignment 9, Alignment 3 may require more subsurface easements from private properties as approximately 94 percent of the alignment is located under private property.

The Alignment 3 north portal (Under Jimmy Durante Boulevard) would be located just north of Jimmy Durante Boulevard and Camino Del Mar. This portal would be partially buried within the hillside, and the cut-and-cover tunnel would extend across Jimmy Durante Boulevard. The site is partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to



minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Locating the construction staging site above anticipated flood levels
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls.

The south portal for Alignment 3 (Torrey Pines Road) would be located at the knoll near the intersection of Carmel Valley Road and South Camino Del Mar. Similar to Alignment 1, the site would require significant excavation and regrading to create a usable space. Additionally, a retaining wall approximately 60 feet high would be required to allow the site to be used as a construction laydown area and support construction of the cut-and-cover tunnel. The site, although at less risk to flooding than the Knoll Near I-5 portal, would also be partially below the 100-year floodplain and would require an assessment of weather trends and potentially the implementation of abatement measures during construction, depending on the outcome of the assessment. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Alignment 3, along with Alignment 9, would require the longest length of bridge within the limits of the Los Peñasquitos Lagoon, at 6,100 feet. The bridge would be constructed adjacent to the existing railroad track. The berm segments for Alignment 3, along with Alignment 9, within Los Peñasquitos Lagoon would be approximately 7,200 feet and would be placed adjacent to the existing track alignment and would require a raised elevation to stay above flood levels. This would require a phased approach to maintain rail operations during construction. As such, Alignment 3, along with Alignment 9, would have more complex construction phasing, a potentially larger footprint within the lagoon, and more bridge to be maintained during operation than the other conceptual alignments.

### **Alignment 5 (Portals: Under Jimmy Durante Boulevard and Knoll Near I-5)**

Alignment 5, along with Alignment 11, would include the longest total bored tunnel length, at approximately 16,600 feet. Although 44 percent of the tunnel would be located under public right-of-way or property, which is greater than the length of Alignments 1, 3, and 9, given the length of the tunnel, Alignment 5 may require more subsurface easements from private properties than the other conceptual alignments.

The Alignment 5 north portal (Under Jimmy Durante Boulevard) would be located just north of Jimmy Durante Boulevard and Camino Del Mar. This portal would be partially buried within the hillside, and the cut-and-cover tunnel would extend across Jimmy Durante Boulevard. The



site is partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to minimize the risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Locating the construction staging site above anticipated flood levels
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls.

The south portal for Alignment 5 (Knoll Near I-5) would be located approximately 2,000 feet south of the California Department of Transportation (Caltrans) park-and-ride lot on Carmel Valley Road. Construction at the south portal site would require coordination with Caltrans. Although it is not expected that construction of the cut-and-cover and bored tunnels would have a significant effect on the performance of the I-5 structures, an assessment of the Caltrans structures would be required during later phases of the design.

The site would require excavation and regrading to create a usable space for the construction laydown area to allow for TBM operation. The majority of the construction site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize the risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls.

Alignment 5, along with Alignment 11, would require the shortest length of bridge within the limits of the Los Peñasquitos Lagoon, with a total length of 100 feet and approximately 5,500 feet of berm to support the alignment within the lagoon, shorter than Alignments 1, 3, 7, and 9. As such, Alignment 5, along with Alignment 11, would have less complex construction phasing and substantially less bridge to be maintained during operation than all other conceptual alignments. Additionally, under Alignment 5, the existing track embankment in Los Peñasquitos Lagoon would no longer be required for rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use, which would reduce impacts within the lagoon under Alignment 5 compared to Alignments 3 and 9.



### **Alignment 7 (Portals: Within Camino Del Mar and Portofino Drive)**

Alignment 7 would include a total bored tunnel length of approximately 13,900 feet. Although the bored tunnel length for Alignment 7 is longer compared to other conceptual alignments, Alignment 7 may require fewer subsurface easements from private properties as a larger percentage of the tunnel (approximately 49 percent) would be located under public right-of-way or property.

The north portal for Alignment 7 (Within Camino Del Mar) would be located just north of Jimmy Durante Boulevard and would be fully within Camino Del Mar. The site would be partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The temporary shoofly would also require construction of a new track bed, which would affect existing parallel drainage features.

The Alignment 7 south portal (Portofino Drive) would be located at the intersection of Portofino Drive and Carmel Valley Road. Two sites have been identified to support the TBM launch: the main site would be 9 acres and located north of Carmel Valley Road, and a satellite site of 2 acres would be located south of Carmel Valley Road. The main site would need significant excavation and regrading to create a usable space for the construction laydown area, and multiple retaining structures would be required to allow for TBM operation. The main site is largely above the 100-year floodplain and is not expected to require abatement measures to prevent against flooding. Additionally, due to the elevated structures associated with the alignment near the north portal, there is no significant infrastructure that would need to be protected from flooding and/or sea-level rise during future operation.

As with Alignment 1, Alignment 7 would also require approximately 1,500 feet of bridge within the limits of Los Peñasquitos Lagoon. Alignment 7 would also require approximately 7,000 feet of berm to support the alignment within the lagoon, which is slightly less than that required for Alignments 3 and 9; however, these alignments only require raising and widening the existing berm. Additionally, under Alignment 7, the existing track embankment in Los Peñasquitos Lagoon would no longer be required for rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use, which would reduce impacts within the lagoon under Alignment 7 compared to Alignments 3 and 9.

### **Alignment 9 (Portals: Within Camino Del Mar and Torrey Pines Road)**

Alignment 9 would include the shortest total bored tunnel length, at approximately 9,500 feet, and may require fewer subsurface easements from private properties than the other conceptual alignments. The north portal for Alignment 9 (Within Camino Del Mar) would be located just north of Jimmy Durante Boulevard and would be fully within Camino Del Mar. The



site would be partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The temporary shoofly would also require construction of a new track bed, which would affect existing parallel drainage features.

The south portal for Alignment 9 (Torrey Pines Road) would be located at the knoll near the intersection of Carmel Valley Road and South Camino Del Mar. Similar to Alignment 1, the site would require significant excavation and regrading to create a usable space. Additionally, a retaining wall approximately 60 feet high would be required to allow the site to be used as a construction laydown area and support construction of the cut-and-cover tunnel. The site, although at less risk to flooding than the Knoll Near I-5 portal, would also be partially below the 100-year floodplain and would require an assessment of weather trends and potentially the implementation of abatement measures during construction, depending on the outcome of the assessment. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Alignment 9, along with Alignment 3, would require the longest length of bridge within the limits of the Los Peñasquitos Lagoon, at 6,100 feet. The bridge would be constructed adjacent to the existing railroad track. The berm segments for Alignment 9, similar to Alignment 3, within Los Peñasquitos Lagoon would be approximately 7,200 feet and would be placed adjacent to the existing track alignment and would require a raised elevation to stay above flood levels. This would require a phased approach to maintain rail operations during construction. As such, Alignment 9, along with Alignment 3, would have more complex construction phasing, a potentially larger footprint within the lagoon, and would have more bridge to be maintained during operation than the other conceptual alignments.

### **Alignment 11 (Portals: Within Camino Del Mar and Knoll Near I-5)**

Alignment 11, along with Alignment 5, would include the longest total bored tunnel length of the conceptual alignments, at approximately 16,600 feet. Approximately 46 percent of the tunnel length would be located under public right-of-way or property, more than all alignments other than Alignment 7, which could decrease the number of subsurface easements required from private properties.



The Alignment 11 north portal (Within Camino Del Mar) would be located just north of Jimmy Durante Boulevard and would be fully within Camino Del Mar. The site would be partially below the 100-year floodplain, and an assessment of weather trends would be required to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the north portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The temporary shoofly would also require construction of a new track bed, which would affect existing parallel drainage features.

The Alignment 11 south portal (Knoll Near I-5) would be located approximately 2,000 feet south of the Caltrans park-and-ride lot on Carmel Valley Road. Construction at the south portal site would require coordination with Caltrans. Although it is not expected that construction of the cut-and-cover and bored tunnels would have a significant effect on the performance of the I-5 structures, an assessment of the Caltrans structures would be required during later phases of the design.

The site would require excavation and regrading to create a usable space for the construction laydown area to allow for TBM operation. The majority of the construction site would be below the 100-year floodplain and would also require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize the risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls.

Alignment 11, along with Alignment 5, would require the shortest length of bridge within the limits of the Los Peñasquitos Lagoon, with a total length of 100 feet and approximately 5,500 feet of berm to support the alignment within the lagoon. As such, Alignment 11, along with Alignment 5, would have less complex construction phasing and substantially less bridge to be maintained during operation than all other conceptual alignments. Additionally, under Alignment 11, the existing track embankment in Los Peñasquitos Lagoon would no longer be required for rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use, which would reduce impacts within the lagoon under Alignment 11 compared to Alignments 3 and 9.



### **5.1.2.2 Railroad Operational Impacts During Construction**

This section provides an overview of the construction activities required to maintain railroad operations during construction to the extent feasible. The summary for each alignment focuses on where the new alignment would tie in with the existing railroad tracks and the measures that may be required to minimize impacts. It is assumed that any shutdown of existing rail service would occur during scheduled “absolute work windows.” An absolute work window is a period of 48 hours during which passenger and rail freight do not operate. The period usually begins after the last scheduled passenger train passes through the construction limits during late Friday evening/early Saturday morning and continues until Sunday evening/early Monday morning.

#### **Alignment 1 (Portals: Under Jimmy Durante Boulevard and Portofino Drive)**

##### ***North Portal Under Jimmy Durante Boulevard***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed within the existing railroad right-of-way to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds<sup>3</sup> along the shoofly would be approximately 50 mph for passenger trains and 45 mph for freight, similar to current design speeds at this location.
- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to existing service at the end of the future bridge.

##### ***South Portal Portofino Drive***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively).
- Bridge 247.7 would require phased reconstruction to maintain rail service.

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<sup>3</sup> An operating speed reflects the speed at which a train travels along a segment of track. In comparison, the design speed is used to determine aspects of a segment of an alignment, such as curves, while design of the alignment is underway. The design speed may be higher than the operating speed. Design speeds are compared for purposes of this evaluation, as operating speeds may vary depending on circumstances.



## **Alignment 3 (Portals: Under Jimmy Durante Boulevard and Torrey Pines Road)**

### ***North Portal Under Jimmy Durante Boulevard***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed within the existing railroad right-of-way to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 50 mph for passenger trains and 45 mph for freight, similar to current design speeds at this location.
- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to existing service at the end of the future bridge.

### ***South Portal Torrey Pines Road***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- It is assumed that each track for the new alignment would be constructed in separate phases. The existing rail service would use the first new track when construction of that track is completed while construction continues on the second new track.
- A temporary control point would be required near the Sorrento Valley Station.
- Construction would be phased to limit impacts to Phase 1 of the Los Peñasquitos Lagoon restoration, which would occur west of the existing rail alignment. As such, impacts during construction would be limited to the east side of the existing track alignment.
- Alternatively, a long shoofly track with new embankment could be constructed within the restored lagoon footprint for the length of the alignment within Los Peñasquitos Lagoon.
- Phased construction would be required for two bridges, with a total length of approximately 6,100 feet within Los Peñasquitos Lagoon.
- Bridge 247.7 would require phased reconstruction to maintain rail service.

If construction proceeds as described, the alignment near the south portal would not require a shoofly to maintain existing rail service. However, if construction is not phased as described, a shoofly would be required.

## **Alignment 5 (Portals: Under Jimmy Durante Boulevard and Knoll Near I-5)**

### ***North Portal Under Jimmy Durante Boulevard***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed within the existing railroad right-of-way to support construction of the new alignment,



which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.

- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 50 mph for passenger trains and 45 mph for freight, similar to the current design speeds at this location.
- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to existing service at the end of the future bridge.

### ***South Portal Knoll Near I-5***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Variations of temporary shooflies may be required during construction to support phased construction.
- Alternatively, the temporary shoofly could be located farther west in Los Peñasquitos Lagoon to provide an adequate construction footprint.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively), although accommodating these design speeds may require a more restrictive shoofly.
- A temporary shoofly would also be required to support construction of the proposed floodwalls, which would impact the existing track.
- Bridge 247.7 may require phased reconstruction to maintain rail service.

As currently designed, the southern portion of Alignment 5 would cross over the existing tracks. If this alignment advances into the environmental process, other designs should be explored that would eliminate this crossing in order to minimize impacts to existing railroad operation during construction.

## **Alignment 7 (Portals: Within Camino Del Mar and Portofino Drive)**

### ***North Portal Within Camino Del Mar***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.
- Temporary control points would be installed to support shoofly operations.
- Design speeds along the shoofly would be approximately 30 mph for passenger trains and 25 mph for freight (compared to design speeds of 55 mph and 45 mph for existing passenger and freight trains, respectively).



- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to existing service at the end of the future bridge.

### ***South Portal Portofino Drive***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively).
- Bridge 247.7 would require phased reconstruction to maintain rail service.

## **Alignment 9 (Portals: Within Camino Del Mar and Torrey Pines Road)**

### ***North Portal Within Camino Del Mar***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.
- Temporary control points would be installed to support shoofly operations.
- Design speeds along the shoofly would be approximately 30 mph for passenger trains and 25 mph for freight (compared to design speeds of 55 mph and 45 mph for existing passenger and freight trains, respectively).
- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to existing service at the end of the future bridge.

### ***South Portal Torrey Pines Road***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- It is assumed that each track for the new alignment would be constructed in separate phases. The existing rail service would use the first new track when construction of that track is completed while construction continues on the second new track.
- A temporary control point would be required near the Sorrento Valley Station.
- Construction would be phased to limit impacts to Phase 1 of the Los Peñasquitos Lagoon restoration, which would occur west of the existing rail alignment. As such, impacts during construction would be limited to the east side of the existing track alignment.
- Alternatively, a long shoofly track with new embankment could be constructed within the restored lagoon footprint for the length of the alignment within Los Peñasquitos Lagoon.



- Phased construction would be required for two bridges, with a total length of approximately 6,100 feet, within Los Peñasquitos Lagoon.
- Bridge 247.7 would require phased reconstruction to maintain rail service.

If construction proceeds as described, the alignment near the south portal would not require a shoofly to maintain existing rail service. However, if construction is not phased as described, a shoofly would be required.

## **Alignment 11 (Portals: Within Camino Del Mar and Knoll Near I-5)**

### ***North Portal Within Camino Del Mar***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 3,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.
- Temporary control points would be installed to support shoofly operations.
- Design speeds along the shoofly would be approximately 30 mph for passenger trains and 25 mph for freight (compared to design speeds of 55 mph and 45 mph for existing passenger and freight trains, respectively).
- It is assumed that the future double-track San Dieguito Bridge would be constructed and in operation by the time construction begins on the SDLRR Project. As such, the new alignment would connect to the existing service at the end of the future bridge.

### ***South Portal Knoll Near I-5***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Variations of temporary shooflies may be required during construction to support phased construction.
- Alternatively, the temporary shoofly could be located farther west in Los Peñasquitos Lagoon to provide an adequate construction footprint.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively), although accommodating these design speeds may require a more restrictive shoofly.
- A temporary shoofly would also be required to support construction of the proposed floodwalls, which would impact the existing track.
- Bridge 247.7 may require phased reconstruction to maintain rail service.

As currently designed, the southern portion of Alignment 11 would cross over the existing tracks. If this alignment advances into the environmental process, other designs should be explored that would eliminate this crossing in order to minimize impacts to existing railroad operation during construction.



### 5.1.2.3 Utility Conflicts

Each conceptual alignment was reviewed and evaluated for potential conflicts with existing major wet utilities (i.e., water and sewer facilities). Table 5-4 provides a summary of the potential major utility conflicts identified for each alignment. The ability to protect the utility in place or relocate would be determined during later stages of design. However, the information that follows provides context for the activities that could be required during construction.

**Table 5-4. Potential Utility Conflicts**

Conceptual Alignment Number	Water Facilities	Sewer Facilities	Total
1	3	1	4
3	3	0	3
5	4	1	5
7	3	1	4
9	3	0	3
11	4	1	5

Source: SanGIS 2022

#### **Alignment 1 (Portals: Under Jimmy Durante Boulevard and Portofino Drive)**

Alignment 1 could result in potential conflicts with three major water facilities and one major sewer facility. It is expected that potential conflicts with the utilities could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment 1.

#### **Alignment 3 (Portals: Under Jimmy Durante Boulevard and Torrey Pines Road)**

Alignment 3 could result in potential conflicts with three major water facilities but no major sewer facilities. It is expected that potential conflicts with the utilities could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment 3.

#### **Alignment 5 (Portals: Under Jimmy Durante Boulevard and Knoll Near I-5)**

Alignment 5 could result in potential conflicts with four major water facilities and one major sewer facility. Overall, it is expected that the majority of the potential conflicts could be addressed via relocation or protect-in-place construction methods, with the exception of potential conflicts with a trunk sewer and water main at the south portal location at the Knoll Near I-5. Specifically, the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main, both owned by the City of San Diego, are located south of Carmel Valley Road, west of Sorrento Valley Road in Los Peñasquitos Lagoon, and could conflict with the south portal location. The cut-and-cover tunnel of Alignment 5 would result in potential horizontal and vertical effects on these facilities. Extensive coordination with the City of San Diego Public Utilities Department would be required to address these potential conflicts and identify a solution to address the conflict. Relocation of the trunk sewer and/or water main would be a major undertaking and would add cost and risk to the overall project.



### **Alignment 7 (Portals: Within Camino Del Mar and Portofino Drive)**

Alignment 7 could result in potential conflicts with three major water facilities and one major sewer facility. It is expected that potential conflicts with the utilities could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment 7.

### **Alignment 9 (Portals: Within Camino Del Mar and Torrey Pines Road)**

Alignment 9 could result in potential conflicts with three major water facilities but no major sewer facilities. It is expected that potential conflicts with the utilities identified could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment 9.

### **Alignment 11 (Portals: Within Camino Del Mar and Knoll Near I-5)**

Alignment 11 could result in potential conflicts with four major water facilities and one major sewer facility. As with Alignment 5, it is expected that the majority of the potential conflicts could be addressed via relocation or protect-in-place construction methods, with the exception of potential conflicts with a trunk sewer and water main at the south portal location at the Knoll Near I-5. Specifically, the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main, both owned by the City of San Diego, are located south of Carmel Valley Road, west of Sorrento Valley Road in Los Peñasquitos Lagoon, and could conflict with the south portal location. The cut-and-cover tunnel of Alignment 11 would result in potential horizontal and vertical effects on these facilities. Extensive coordination with the City of San Diego Public Utilities Department would be required to address these potential conflicts and identify a solution to address the conflict. Relocation of the trunk sewer and/or water main would be a major undertaking and would add cost and risk to the overall project.

## **5.2 Stakeholder and Outreach Alignments**

Following the evaluation in Section 4.2, Alignments P7-A, P7-B, P-9, P10-A, and P10-B were advanced for continued evaluation in this report. The alignments as depicted by stakeholders and the public were modified as each alignment was further developed, as illustrated in Figure 5-1. This section summarizes the evaluation of each of these stakeholder and outreach alignments in terms of environmental and other considerations. Table 5-5 provides a comparison of the type and length of the various components for each alignment and the percentage of the tunnel under public right-of-way or property or private property. The alignment components are considered throughout the evaluation of environmental and other considerations in the sections that follow.



**Table 5-5. Stakeholder and Outreach Alignments – Summary of Alignments and Components**

Stakeholder and Outreach Alignment Number	Bored Tunnel (feet)	U-Structure (feet)	Cut-and-Cover Tunnel (feet)	Bridge (feet)	Floodwall (feet)	Graded <sup>1</sup> (feet)	Total Alignment Length (feet)	Percent of Tunnel under Public ROW or Property	Percent of Tunnel under Private Property
P7-A	20,000	2,700	6,500	100	900	6,400	35,900	95	5
P7-B	23,400	2,700	6,600	0	200	2,200	35,000	90	10
P-9	16,700	1,300	6,000	1,500	0	7,300	32,800	91	9
P10-A	19,400	3,100	5,900	100	1,100	6,300	35,900	84	16
P10-B	22,600	3,000	6,900	0	400	3,000	35,900	80	20

Notes: <sup>1</sup>The graded length includes the berm.  
ROW = right-of-way



**Figure 5-1. Stakeholder and Outreach Alignments Advanced**



**LEGEND**

- |                 |                      |                   |
|-----------------|----------------------|-------------------|
| Alignment P7-A  | ● Portal Location    | North Portal      |
| Alignment P7-B  | • Mile Post Marker   | Fairgrounds North |
| Alignment P9    | □ Municipal Boundary | South Portal      |
| Alignment P10-A |                      | Portofino Drive   |
| Alignment P10-B |                      | Knoll Near I-5    |
|                 |                      | Sorrento Valley   |

0 2,000 Feet





### **5.2.1 Potential Environmental Considerations**

This section compares the area of sensitive vegetation communities and the existing land uses within and adjacent to (within 10 feet from) the footprint of each stakeholder and outreach alignment. The section also provides an evaluation of the potential disruption to adjacent communities during construction at launch and retrieval sites, including effects to local roadways, potential acquisitions, noise and dust, and the number of truck trips associated with construction material disposal from excavation of the bored tunnels, cut-and-cover tunnels, and the U-structure. Table 5-6 summarizes the acreages of the sensitive vegetation communities and the existing land use designations within and adjacent to the project footprint for each alignment. Table 5-7 shows an estimate of truck trips required for construction material disposal. The sections that follow present the evaluation of these considerations by stakeholder and outreach alignment.



**Table 5-6. Sensitive Vegetation Communities and Existing Land Uses (Permanent)**

Stakeholder and Outreach Alignment Number	Biological Resources Sensitive Vegetation Communities (acres)		Land Use (acres)							
	Wetlands	Uplands	Residential	Recreation/Open Space	Transportation	Public Institution	Industrial	Hotel	Undeveloped	Commercial
P7-A	15	1	<1	17	16	<1	<1	0	0	0
P7-B	1	1	<1	5	19	0	2	0	0	<1
P9	16	3	<1	19	17	0	<1	0	0	0
P10-A	15	1	<1	17	16	<1	<1	0	0	0
P10-B	1	1	<1	5	19	0	2	0	0	<1

Source: SanGIS 2022, AECOM 2023 biological resource surveys



**Table 5-7. Approximate Volume of Excavated Material and Truck Trips for Disposal of Construction Material**

Stakeholder and Outreach Alignment Number	Total Excavation Volumes (Cubic Yard)	Estimated Truck Trips for Construction Material Disposal <sup>1</sup>
P7-A	5,472,000	547,200
P7-B	5,946,000	594,600
P9	5,342,000	534,200
P10-A	6,190,000	619,000
P10-B	5,360,000	536,000

Note: <sup>1</sup>Only accounts for one-way traffic for disposal of construction material associated with the bored tunnels, cut-and-cover tunnel, and the U-structure.

### **Alignment P7-A (Portals: Fairgrounds North and Knoll Near I-5)**

**Biological Resources and Land Use:** The Alignment P7-A footprint could affect 16 acres of sensitive vegetation communities, similar to Alignment P10-A. This area is smaller than that of Alignment P9 but larger than the area for Alignments P7-B and P10-B. There could be approximately 16 acres of existing transportation land uses within and adjacent to the footprint, similar to the other stakeholder and outreach alignments. However, the area of existing recreation/open space land uses is larger (17 acres) than that of Alignments P7-B and P10-B. As a result, the alignment could be generally less compatible with existing land uses compared to Alignments P7-B and P10-B.

**Community Effects:** The alignment would not connect to the planned special events platform at the Del Mar Fairgrounds and would require construction of a new platform. Given the configuration of the alignment, an underground special events platform would be required to maintain passenger rail service to the fairgrounds. The proposed underground platform and adjacent cut-and-cover tunnel would pass through the southwestern corner of the fairgrounds property and affect the fairgrounds during construction. The platform's aboveground plaza features and vertical circulation would have a permanent impact on the fairgrounds property.

Residential properties are not located adjacent to the location where the TBM would be retrieved in the north but are located adjacent to the cut-and-cover tunnel near the north portal. Noise and dust abatement measures may be required during construction. The trench associated with the existing railroad alignment would require widening to accommodate the proposed alignment, which could affect adjacent properties, including the multi-use trail above the trench. Additional access to the trench for construction equipment may be necessary, extending roadway impacts into the Solana Beach community. This construction access is anticipated to affect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue. A significant detour of Via De La Valle would also be required to replace the current bridge over the trench as it is inadequate to support the proposed tunnel construction. Additionally, significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use and would require ongoing coordination with the fairgrounds during construction. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle, as those roadways would be used to provide construction access to the fairgrounds platform site.



The south portal for Alignment P7-A would be located at the Knoll Near I-5, on privately owned land within and adjacent to the Los Peñasquitos Lagoon but is not expected to displace buildings. Residential properties are not located in the immediate vicinity; however, noise and dust abatement measures may be required during construction to protect resources within the lagoon. Old Sorrento Valley Road and associated bike trail facilities would require temporary relocation due to the cut-and-cover tunnel of the alignment. Access to residential properties would not be affected during construction. Access to the pump station would be temporarily limited from the south. Roadway impacts at this location would be minimal compared to the south portal for the other stakeholder and outreach alignments (i.e., Sorrento Valley and Portofino Drive). The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, with limited traffic using Carmel Valley Road, as these roads would provide the most direct access to the project site. Alignment P7-A would result in a smaller volume of excavated materials and fewer truck trips for disposal than Alignments P7-B and P10-A, but a larger volume and greater number of truck trips compared to Alignments P9 and P10-B.

### **Alignment P7-B (Portals: Fairgrounds North and Sorrento Valley)**

**Biological Resources and Land Use:** The Alignment P7-B footprint could affect 2 acres of sensitive vegetation communities. Similar to Alignment P10-B, this area is smaller than that of all other stakeholder and outreach alignments. There could be approximately 19 acres of existing transportation land uses within and adjacent to the footprint, similar to the other stakeholder and outreach alignments. The area of existing recreation/open space land uses is smaller (5 acres) than that of Alignments P7-A, P9, and P10-A. As a result, the alignment could be generally more compatible with existing land uses compared to the stakeholder and outreach alignments.

**Community Effects:** The alignment would not connect to the planned special events platform at the Del Mar Fairgrounds and would require construction of a new platform. Given the configuration of the alignment, an underground special events platform would be required to maintain passenger rail service to the fairgrounds. The proposed underground platform and adjacent cut-and-cover tunnel would pass through the southwestern corner of the fairgrounds property and affect the fairgrounds during construction. The platform's aboveground plaza features and vertical circulation would have a permanent impact on the fairgrounds property.

Residential properties are not located adjacent to the location where the TBM would be retrieved in the north but are located adjacent to the cut-and-cover tunnel near the north portal. Noise and dust abatement measures may be required during construction. The trench associated with the existing railroad alignment would require widening to accommodate the proposed alignment, which could affect adjacent properties, including the multi-use trail above the trench. Additional access to the trench for construction equipment may be necessary, extending roadway impacts into the Solana Beach community. This construction access is anticipated to effect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue. A significant detour of Via De La Valle would also be required to replace the current bridge over the trench as it is inadequate to support the proposed tunnel construction. Additionally, significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use and would require ongoing coordination with the fairgrounds during construction. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle.



The south portal for Alignment P7-B (Sorrento Valley) would be located on privately owned land and public right-of-way within a commercial district. However, the launch site would not be located near residential properties, and it is expected that tunnel and portal construction would be able to continue without substantial noise and dust abatement measures. Tunneling from this site would involve the acquisition of private properties.

The existing roadway alignment and profile of both Sorrento Valley Road and Carmel Mountain Road would be affected by the portal and would require temporary and permanent realignment, both of which would require private property acquisitions. Access to Sorrento Valley Road to the north would also be temporarily removed. As a result, access to the pump station would be from the north only during construction. This south portal location would result in the greatest impact to the local roadway network. The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, as these roads would provide the most direct access to the project site. Compared to the other stakeholder and outreach alignments, Alignment P7-B would result in the second-largest quantity of excavated materials and number of truck trips for disposal, with only Alignment P10-A requiring a larger quantity of excavated material and number of truck trips.

### **Alignment P9 (Portals: Fairgrounds North and Portofino Drive)**

**Biological Resources and Land Use:** The Alignment 9 footprint could include 19 acres of sensitive vegetation communities, the largest area compared to the other stakeholder and outreach alignments. This alignment would have a slightly larger area of transportation land uses (17 acres) compared to Alignments P7-A and P1-A but would also have the largest area of recreation/open space land uses (19 acres). As a result, the alignment would generally be less compatible with existing land uses.

**Community Effects:** The alignment would not connect to the planned special events platform at the Del Mar Fairgrounds and would require construction of a new platform. Given the configuration of the alignment, an underground special events platform would be required to maintain passenger rail service to the fairgrounds. The proposed underground platform and adjacent cut-and-cover tunnel would pass through the southwestern corner of the fairgrounds property and affect the fairgrounds during construction. The platform's aboveground plaza features and vertical circulation would have a permanent impact on the fairgrounds property.

Residential properties are not located adjacent to the location where the TBM would be retrieved in the north but are located adjacent to the cut-and-cover tunnel near the north portal. Noise and dust abatement measures may be required during construction. The trench associated with the existing railroad alignment would require widening to accommodate the proposed alignment, which could impact adjacent properties, including the multi-use trail above the trench. Additional access to the trench for construction equipment may be necessary, extending roadway impacts into the Solana Beach community. This construction access is anticipated to affect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue. A significant detour of Via De La Valle would also be required to replace the current bridge over the trench as it is inadequate to support the proposed tunnel construction. Additionally, significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use and would require ongoing coordination with the fairgrounds during construction. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle.



The Alignment P9 south portal (Portofino Drive) would be located on privately owned land but is not expected to displace buildings. Residential properties are located to the west and on the eastern edge of the proposed launch site. Noise and dust abatement measures would be implemented during construction. The existing roadway alignment and profile for Carmel Valley Road would not be permanently affected by the bridge for the proposed rail alignment and would remain intact. Vertical clearance from the track overcrossing would be sufficient. However, bridge construction would result in temporary closures and detours on Carmel Valley Road and Portofino Drive. The majority of construction traffic is anticipated to use Carmel Valley Road and Portofino Drive, as these roads would provide the most direct access to the project site. This south portal would be more impactful to the roadway network than the south portal proposed for Alignments P7-A and P10-A, but less impactful than the south portal for Alignments P7-B and P10-B. Compared to the other stakeholder and outreach alignments, Alignment P9 would result in the smallest amount of excavated material and would require the fewest number of truck trips for material disposal.

### **Alignment P10-A (Portals: Fairgrounds North and Knoll Near I-5)**

**Biological Resources and Land Use:** The Alignment P10-A footprint could affect 16 acres of sensitive vegetation communities. This area is smaller than that of Alignment 9 but larger than the area for Alignments P7-B and P10-B. There could be approximately 16 acres of existing transportation land uses within and adjacent to the footprint, similar to the other stakeholder and outreach alignments. However, the area of existing recreation/open space land uses is larger (17 acres) than that of Alignments P7-B and P10-B. As a result, the alignment could be generally less compatible with existing land uses compared to Alignments P7-B and P10-B.

**Community Effects:** The alignment would not connect to the planned special events platform at the Del Mar Fairgrounds and would require construction of a new platform. Given the configuration of the alignment, an underground special events platform would be required to maintain passenger rail service to the fairgrounds. The proposed underground platform and adjacent cut-and-cover tunnel would pass through the southwestern corner of the fairgrounds property and affect the fairgrounds during construction. The platform's aboveground plaza features and vertical circulation would have a permanent impact on the fairgrounds property.

Residential properties are not located adjacent to the location where the TBM would be retrieved in the north but are located adjacent to the cut-and-cover tunnel near the north portal. Noise and dust abatement measures may be required during construction. The trench associated with the existing railroad alignment would require widening to accommodate the proposed alignment, which could impact adjacent properties, including the multi-use trail above the trench. Additional access to the trench for construction equipment may be necessary, extending roadway impacts into the Solana Beach community. This construction access is anticipated to affect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue. A significant detour of Via De La Valle would also be required to replace the current bridge over the trench as it is inadequate to support the proposed tunnel construction. Additionally, significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use and would require ongoing coordination with the fairgrounds during construction. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle.

The south portal for Alignment P10-A (Knoll Near I-5) would be on land within and adjacent to the Los Peñasquitos Lagoon. Construction at this site would not require acquisition of private property. Residential properties are not located in the immediate vicinity; however, noise and dust abatement measures may be required during construction to protect resources within



the lagoon. Similar to Alignment P7-A, Old Sorrento Valley Road and associated bike trail facilities would require temporary relocation due to the cut-and-cover section of the alignment. Access to residential properties would not be affected during construction. Access to the pump station would be temporarily limited from the south. Roadway impacts at this location would be minimal compared to the south portal for the other stakeholder and outreach alignments (i.e., Sorrento Valley and Portofino Drive). The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, with limited traffic using Carmel Valley Road, as these roads would provide the most direct access to the project site. Compared to the other stakeholder and outreach alignments, Alignment P10-A would result in the largest amount of excavated material and would require the most truck trips for material disposal.

### **Alignment P10-B (Portals: Fairgrounds North and Sorrento Valley)**

**Biological Resources and Land Use:** The Alignment P10-B footprint could affect 2 acres of sensitive vegetation communities. Similar to Alignment P7-B, this area is smaller than that of all other stakeholder and outreach alignments. There could be approximately 19 acres of existing transportation land uses within and adjacent to the footprint, similar to the other stakeholder and outreach alignments. However, the area of existing recreation/open space land uses is smaller (5 acres) than that of Alignments P7-A, P9, and P10-A. As a result, the alignment could be generally more compatible with existing land uses compared to the other stakeholder and outreach alignments.

**Community Effects:** The alignment would not connect to the planned special events platform at the Del Mar Fairgrounds and would require construction of a new platform. Given the configuration of the alignment, an underground special events platform would be required to maintain passenger rail service to the fairgrounds. The proposed underground special events platform and adjacent cut-and-cover tunnel would pass through the southwestern corner of the fairgrounds property and affect the fairgrounds during construction. The platform's aboveground plaza features and vertical circulation would have a permanent impact on the fairgrounds property.

Residential properties are not located adjacent to the location where the TBM would be retrieved in the north but are located adjacent to the cut-and-cover tunnel near the north portal. Noise and dust abatement measures may be required during construction. The trench associated with the existing railroad alignment would require widening to accommodate the proposed alignment, which could impact adjacent properties, including the multi-use trail above the trench. Additional access to the trench for construction equipment may be necessary, extending roadway impacts into the Solana Beach community. This construction access is anticipated to affect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue. A significant detour of Via De La Valle would also be required to replace the current bridge over the trench as it is inadequate to support the proposed tunnel construction. Additionally, significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use and would require ongoing coordination with the fairgrounds during construction. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle.

The south portal for Alignment P10-B (Sorrento Valley) would be located on privately owned land and public right-of-way within a commercial district. However, the launch site would not be located near residential properties, and it is expected that tunnel and portal construction would be able to continue without substantial noise and dust abatement measures. Tunneling from this site would involve the acquisition of private properties.



The existing roadway alignment and profile of both Sorrento Valley Road and Carmel Mountain Road would be affected by the portal structures of the proposed alignment and would require temporary and permanent realignment, both of which would require private property acquisitions. Access to Sorrento Valley Road to the north would also be temporarily removed. As a result, access to the pump station would be from the north only during construction. This south portal location would result in the greatest impact to the local roadway network. The majority of construction-related traffic is anticipated to use Carmel Mountain Road and Sorrento Valley Road, as these roads would provide the most direct access to the project site. Alignment P10-B would result in fewer excavated materials and truck trips for disposal than Alignments P7-A, P7-B, and P10-A but more than Alignment P9.

## 5.2.2 Constructability and Construction Effects

### 5.2.2.1 Constructability of Alignment Components

Three south portals have been identified for the stakeholder and outreach alignments, with the assumption that the TBM would be launched from the south portal:

- **Portofino Drive:** Near the intersection of Carmel Valley Road and Portofino Drive
- **Knoll Near I-5:** At the knoll adjacent to I-5
- **Sorrento Valley:** Near the intersection of Sorrento Valley Road and Carmel Mountain Road

One potential north portal location has been identified for the stakeholder and outreach alignments; however, it is assumed the TBM would be retrieved from the Del Mar Fairgrounds rather than at the portal:

- **Fairgrounds North:** Within the trench for the existing railroad alignment, north of the state-owned fairgrounds property

### Alignment P7-A (Portals: Fairgrounds North and Knoll Near I-5)

Alignment P7-A would include a total bored tunnel length of approximately 20,000 feet. Although the bored tunnel length is longer than Alignments P9 and P10-A, Alignment P7-A may require fewer subsurface easements from private properties as 95 percent of the alignment would be located under public right-of-way or property.

The Alignment P7-A north portal would be located within the existing railroad alignment trench north of the state-owned fairgrounds property. The alignment would include a new underground special events platform to maintain passenger rail service to the fairgrounds. The platform would be constructed with an open cut from the surface and include permanent aboveground plaza features and vertical circulation providing access to the platform. These features would need to be coordinated with current and future uses of the fairgrounds property. The alignment would also require reconstruction of the Via De La Valle overcrossing, which would need to span over the width of the railroad right-of-way to accommodate construction. The Jimmy Durante Bridge over the San Dieguito River may also require reconstruction due to the bored tunnel alignment.



The platform site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the plaza features and vertical circulation associated with the special events platform would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. Stevens Creek would be located within the limits of the cut-and-cover tunnel along the northern portion of the alignment, and additional drainage considerations would be required during later stages of design if this alignment advances for further consideration.

The south portal for Alignment P7-A (Knoll Near I-5) would be located approximately 2,000 feet south of the Caltrans park-and-ride lot on Carmel Valley Road. Construction at the south portal site would require coordination with Caltrans. Although it is not expected that construction of the cut-and-cover and bored tunnels would have a significant effect on the performance of the I-5 structures, an assessment of the Caltrans structures would be required during later phases of the design.

The site would require excavation and regrading to create a usable space for the construction laydown area to allow TBM operation. The majority of the construction site would be below the 100-year floodplain and would also require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize the risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The length of flood walls anticipated is approximately 200 feet, which is comparable to Alignments P7-B and P10-B, but less than Alignment P10-A.

Alignment P7-A would require approximately 100 feet of bridge within the limits of Los Peñasquitos Lagoon, less than that required for Alignment P9. Alignment P7-A would also require approximately 5,200 feet of berm to support the alignment within the lagoon. Additionally, the existing track embankment in Los Peñasquitos Lagoon would no longer be required to facilitate rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use, which would reduce the lagoon impact for Alignment P7-A compared to Alignment P9.



This alignment would require demolition or reuse of the future San Dieguito Bridge as the new alignment would not connect to the future bridge. The alignment would require demolition of the planned special events platform at the fairgrounds.

### **Alignment P7-B (Portals: Fairgrounds North and Sorrento Valley)**

Alignment P7-B would include a total bored tunnel length of approximately 23,400 feet. Although the required tunnel length is longer than the other stakeholder and outreach alignments, it may require fewer subsurface easements from private properties as 90 percent of the alignment would be located under public right-of-way or property.

The Alignment P7-B north portal at the fairgrounds would include a new underground special events platform to maintain passenger rail service to the fairgrounds. The platform would be constructed with an open cut from the surface and include permanent aboveground plaza features and vertical circulation providing access to the platform. These features would need to be coordinated with current and future uses of the fairgrounds property. The alignment would also require reconstruction of the Via De La Valle overcrossing, which would need to span over the width of the railroad right-of-way to accommodate construction. The Jimmy Durante Bridge over the San Dieguito River may also require reconstruction due to the bored tunnel alignment.

The platform site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the plaza features and vertical circulation associated with the special events platform would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. Stevens Creek would be located within the limits of the cut-and-cover tunnel along the northern portion of the alignment, and additional drainage considerations would be required during later stages of design if this alignment advances for further consideration.

The south portal for Alignment P7-B (Sorrento Valley) would be located at the intersection of Sorrento Valley Road and Carmel Mountain Road. The site would need excavation and regrading to create a usable space for the construction laydown area to allow for TBM operation. The portal location would impact existing drainage in an area with known flooding issues and would require consideration of options to convey drainage under or around the proposed alignment. Additionally, the alignment would travel through the existing intersection of Sorrento Valley Road and Carmel Mountain Road, both of which would require reconstruction. The site is largely above the 100-year floodplain; however, flood-abatement measures may be required when reconstructing the roadway. Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The length of flood walls is anticipated to be approximately 200 feet, which is comparable to Alignments P7-A and P10-B, but less than Alignment P10-A.



Alignment P7-B would not require any bridge in Los Peñasquitos Lagoon. The alignment would also include approximately 1,400 feet of berm to support the alignment within the lagoon. These impacts are comparable to Alignment P10-B and less than Alignments P7-A, P9, and P10-A. Additionally, the existing track embankment in Los Peñasquitos Lagoon would no longer be required to facilitate rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use.

### **Alignment P9 (Portals: Fairgrounds North and Portofino Drive)**

Alignment P9 would include a total bored tunnel length of approximately 16,700 feet. The tunnel length for Alignment P9 would be shorter than all other stakeholder and outreach alignments. The alignment may also require fewer subsurface easements from private properties as 91 percent of the alignment would be located under public right-of-way or property.

The Alignment P9 north portal at the fairgrounds would include a new underground special events platform to maintain passenger rail service to the fairgrounds. The platform would be constructed with an open cut from the surface and include permanent aboveground plaza features and vertical circulation providing access to the platform. These features would need to be coordinated with current and future uses of the fairgrounds property. The alignment would also require reconstruction of the Via De La Valle overcrossing, which would need to span over the width of the railroad right-of-way to accommodate construction. The Jimmy Durante Bridge over the San Dieguito River may also require reconstruction due to the bored tunnel alignment.

The platform site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the plaza features and vertical circulation associated with the special events platform would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. Stevens Creek would be located within the limits of the cut-and-cover tunnel along the northern portion of the alignment, and additional drainage considerations would be required during later stages of design if this alignment advances for further consideration.

The Alignment P9 south portal (Portofino Drive) would be located at the intersection of Portofino Drive and Carmel Valley Road. Two sites have been identified to support the TBM launch: the main site would be 9 acres and located north of Carmel Valley Road, and a satellite site of 2 acres would be located south of Carmel Valley Road. The main site would need significant excavation and regrading to create a usable space for the construction laydown area, and multiple retaining structures would be required to allow for TBM operation. The main site is largely above the 100-year floodplain and is not expected to require abatement measures to prevent against flooding. Additionally, due to the elevated structures associated with the alignment near the north portal, there is no significant infrastructure that would need to be protected from flooding and/or sea-level rise during future operation.



Alignment P9 would also require approximately 1,500 feet of bridge within the limits of Los Peñasquitos Lagoon. This bridge length would be greater than all other stakeholder and outreach alignments. Additionally, the alignment would include approximately 6,600 feet of berm to support the alignment within the lagoon. As such, Alignment P9 would require more complex construction phasing and a larger footprint within the lagoon compared to Alignments P7-A, P7-B, P10-A, and P10-B.

### **Alignment P10-A (Portals: Fairgrounds North and Knoll Near I-5)**

Alignment P10-A would include a total bored tunnel length of approximately 19,400 feet. This tunnel length is shorter than all stakeholder and outreach alignments other than Alignment P9; however, the alignment would have a smaller percentage of alignment under public right-of-way or property (84 percent) than all stakeholder and outreach alignments.

The Alignment P10-A north portal at the fairgrounds would include a new underground special events platform to maintain passenger rail service to the fairgrounds. The platform would be constructed with an open cut from the surface and include permanent aboveground plaza features and vertical circulation providing access to the platform. These features would need to be coordinated with current and future uses of the fairgrounds property. The alignment would also require reconstruction of the Via De La Valle overcrossing, which would need to span over the width of the railroad right-of-way to accommodate construction. The Jimmy Durante Bridge over the San Dieguito River may also require reconstruction due to the bored tunnel alignment.

The platform site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the plaza features and vertical circulation associated with the special events platform would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. Stevens Creek would be located within the limits of the cut-and-cover tunnel along the northern portion of the alignment, and additional drainage considerations would be required during later stages of design if this alignment advances for further consideration.

The south portal for Alignment P10-A (Knoll Near I-5) would be located approximately 2,000 feet south of the Caltrans park-and-ride lot on Carmel Valley Road. Construction at the south portal site would require coordination with Caltrans. Although it is not expected that construction of the cut-and-cover and bored tunnels would have a significant effect on the performance of the I-5 structures, an assessment of the Caltrans structures would be required during later phases of the design.

The site would require excavation and regrading to create a usable space for the construction laydown area to allow for TBM operation.



The majority of the construction site would be below the 100-year floodplain and would also require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize the risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary floodwalls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly

Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The length of flood walls is anticipated to be approximately 1,000 feet, which is longer than all other stakeholder and outreach alignments.

Alignment P10-A would require approximately 100 feet of bridge within the limits of Los Peñasquitos Lagoon. This alignment would also include approximately 5,500 feet of berm to support the alignment within the lagoon. Similar to Alignment P7-A, the length of bridge would be less than that required for Alignment P9. Additionally, the existing track embankment in Los Peñasquitos Lagoon would no longer be required to facilitate rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use, which would reduce the lagoon impact for Alignment P10-A compared to Alignment P9.

### **Alignment P10-B (Portals: Fairgrounds North and Sorrento Valley)**

Alignment P10-B would include a total bored tunnel length of approximately 22,600 feet. Compared to the stakeholder and outreach alignments, this tunnel length is the second longest, and has the smallest percentage of the tunnel located under public right-of-way or property (80 percent). As such, Alignment P10-B may require more subsurface easements from private properties.

The Alignment P10-B north portal at the fairgrounds would include a new underground special events platform to maintain passenger rail service to the fairgrounds. The platform would be constructed with an open cut from the surface and include permanent aboveground plaza features and vertical circulation providing access to the platform. These features would need to be coordinated with current and future uses of the fairgrounds property. The alignment would also require reconstruction of the Via De La Valle overcrossing, which would need to span over the width of the railroad right-of-way to accommodate construction. The Jimmy Durante Bridge over the San Dieguito River may also require reconstruction due to the bored tunnel alignment.

The platform site would be below the 100-year floodplain and would require an assessment of weather trends to determine the risk of flooding and whether measures would be required to minimize that risk on construction activities. Abatement measures to minimize the risk of flooding during construction could include the following:

- Installing temporary flood walls or barriers to prevent flooding from affecting the construction area
- Storing vital construction materials at higher elevations, above the identified flood level
- Developing a contingency plan in the event of flooding so that work can be resumed quickly



Additionally, the plaza features and vertical circulation associated with the special events platform would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. Stevens Creek would be located within the limits of the cut-and-cover tunnel along the northern portion of the alignment, and additional drainage considerations would be required during later stages of design if this alignment advances for further consideration.

The south portal for Alignment P10-B (Sorrento Valley) would be located at the intersection of Sorrento Valley Road and Carmel Mountain Road. The site would need excavation and regrading to create a usable space for the construction laydown area to allow for TBM operation. The portal location would impact an existing drainage in an area with known flooding issues and would require consideration of options to convey drainage under or around the proposed alignment. Additionally, the alignment would travel through the existing intersection of Sorrento Valley Road and Carmel Mountain Road, both of which would require reconstruction. The site is largely above the 100-year floodplain; however, flood-abatement measures may be required when reconstructing the roadway. Additionally, the alignment near the south portal would require abatement measures to protect the alignment during future operation. These measures could include the use of flood gates and/or flood walls. The length of flood walls is anticipated to be approximately 400 feet, which is comparable to Alignments P7-A and P7-B, but less than Alignment P10-A.

Alignment P10-B would not require any bridge in Los Peñasquitos Lagoon. The alignment would also have limited impacts within the lagoon that would include approximately 2,200 feet of berm to support the alignment. These impacts are comparable to Alignment P7-B and less than Alignments P7-A, P9, and P10-A. Additionally, the existing track embankment in Los Peñasquitos Lagoon would no longer be required to facilitate rail operations. Therefore, approximately 10,000 feet of track embankment within the lagoon could be removed or repurposed for recreational use.

### **5.2.2.2 Railroad Operational Impacts during Construction**

#### **Alignment P7-A (Portals: Fairgrounds North and Knoll Near I-5)**

##### ***North Portal Fairgrounds North***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 6,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction. The shoofly would be located within the widened trench with a new retaining wall to support its location.
- A temporary control point would be constructed within the existing trench for the railroad alignment.



- Design speeds<sup>4</sup> along the shoofly would be approximately 60 mph for passenger trains and 40 mph for freight (compared to planned design speeds of 90 mph and 60 mph for passenger and freight trains, respectively).
- Construction of the cut-and-cover tunnel within the existing railroad trench would require working adjacent to an operating rail line, with minimal clearances, until the tunnel alignment transitions into the fairgrounds. This would constrain construction activities and lengthen the construction duration. Passenger and freight trains operating on the shoofly in this location may be required to operate at slower speeds to maintain safety.

The double-track segment from Solana Beach Station to Control Point (CP) Del Mar that will be constructed with the San Dieguito Double Track Project would be reduced to single-track operations to provide the construction footprint needed. The limits of single-track operations to support this alignment are assumed to start at the new control point noted above and terminate at the proposed temporary control point just north of the Sorrento Valley Station. The frequency of railroad operations that may occur during the construction phase is currently unknown; therefore, a further evaluation would be necessary in future phases of project development to address potential issues with the length of single-track operations anticipated under this alignment if it advances for further consideration.

### ***South Portal Knoll Near I-5***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Variations of temporary shooflies may be required during construction to support phased construction.
- Alternatively, the temporary shoofly could be located farther west in Los Peñasquitos Lagoon to provide an adequate construction footprint.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively), although accommodating these design speeds may require a more restrictive shoofly.
- A temporary shoofly would be required to support construction of the proposed floodwalls, which would impact the existing track.
- Bridge 247.7 may require phased reconstruction to maintain rail service.

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<sup>4</sup> An operating speed reflects the speed at which a train travels along a segment of track. In comparison, the design speed is used to determine aspects of a segment of an alignment, such as curves, while design of the alignment is underway. The design speed may be higher than the operating speed. Design speeds are compared for purposes of this evaluation as operating speeds may vary depending on circumstances.



## **Alignment P7-B (Portals: Fairgrounds North and Sorrento Valley)**

### ***North Portal Fairgrounds North***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 6,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction. The shoofly would be located within the widened trench with a new retaining wall to support its location.
- A temporary control point would be constructed within the existing trench for the railroad alignment.
- Design speeds along the shoofly would be approximately 60 mph for passenger trains and 40 mph for freight (compared to planned design speeds of 90 mph and 60 mph for passenger and freight trains, respectively).
- Construction of the cut-and-cover tunnel within the existing railroad trench would require working adjacent to an operating rail line, with minimal clearances, until the tunnel alignment transitions into the fairgrounds. This would constrain construction activities and lengthen the construction duration. Passenger and freight trains operating on the shoofly in this location may also be required to operate at slower speeds to maintain safety.

The double-track segment from Solana Beach Station to CP Del Mar that will be constructed with the San Dieguito Double Track Project would be reduced to single-track operations to provide the construction footprint needed. The limits of single-track operations to support this alignment are assumed to start at the new control point noted above and terminate at the proposed temporary control point just north of the Sorrento Valley Station. The frequency of railroad operations that may occur during the construction phase is currently unknown; therefore, a further evaluation would be necessary in future phases of project development to address potential issues with the length of single-track operations anticipated under this alignment if it advances for further consideration.

### ***South Portal Sorrento Valley***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 3,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- A temporary control point would be constructed.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively).



## **Alignment P9 (Portals: Fairgrounds North and Portofino Drive)**

### ***North Portal Fairgrounds North***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 6,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction. The shoofly would be located within the widened trench with a new retaining wall to support its location.
- A temporary control point would be constructed within the existing trench for the railroad alignment.
- Design speeds along the shoofly would be approximately 60 mph for passenger trains and 40 mph for freight (compared to planned design speeds of 90 mph and 60 mph for passenger and freight trains, respectively).
- Construction of the cut-and-cover tunnel within the existing railroad trench would require working adjacent to an operating rail line, with minimal clearances, until the tunnel alignment transitions into the fairgrounds. This would constrain construction activities and lengthen the construction duration. Passenger and freight trains operating on the shoofly in this location may also be required to operate at slower speeds to maintain safety.

The double-track segment from Solana Beach Station to CP Del Mar that will be constructed with the San Dieguito Double Track Project would be reduced to single-track operations to provide the construction footprint needed. The limits of single-track operations to support this alignment are assumed to start at the new control point noted above and terminate at the proposed temporary control point just north of the Sorrento Valley Station. The frequency of railroad operations that may occur during the construction phase is currently unknown; therefore, a further evaluation would be necessary in future phases of project development to address potential issues with the length of single-track operations anticipated under this alignment if it advances for further consideration.

### ***South Portal Portofino***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively).
- Bridge 247.7 would require phased reconstruction to maintain rail service.



## **Alignment P10-A (Portals: Fairgrounds North and Knoll Near I-5)**

### ***North Portal Fairgrounds North***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 6,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction. The shoofly would be located within the widened trench with a new retaining wall to support its location.
- A temporary control point would be constructed within the existing trench for the railroad alignment.
- Design speeds along the shoofly would be approximately 60 mph for passenger trains and 40 mph for freight (compared to planned design speeds of 90 mph and 60 mph for passenger and freight trains, respectively).
- Construction of the cut-and-cover tunnel within the existing railroad trench would require working adjacent to an operating rail line, with minimal clearances, until the tunnel alignment transitions into the fairgrounds. This would constrain construction activities and lengthen the construction duration. Passenger and freight trains operating on the shoofly in this location may also be required to operate at slower speeds to maintain safety.

The double-track segment from Solana Beach Station to CP Del Mar that will be constructed with the San Dieguito Double Track Project would be reduced to single-track operations to provide the construction footprint needed. The limits of single-track operations to support this alignment are assumed to start at the new control point noted above and terminate at the proposed temporary control point just north of the Sorrento Valley Station. The frequency of railroad operations that may occur during the construction phase is currently unknown; therefore, a further evaluation would be necessary in future phases of project development to address potential issues with the length of single-track operations anticipated under this alignment if it advances for further consideration.

### ***South Portal Knoll Near I-5***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 4,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- Variations of temporary shooflies may be required during construction to support phased construction.
- Alternatively, the temporary shoofly could be located farther west in Los Peñasquitos Lagoon to provide an adequate construction footprint.
- Temporary control points would be installed to support train operation on the shoofly.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively), although accommodating these design speeds may require a more restrictive shoofly.



- A temporary shoofly would also be required to support construction of the proposed floodwalls, which would impact the existing track.
- Bridge 247.7 may require phased reconstruction to maintain rail service.

## **Alignment P10-B (Portals: Fairgrounds North and Sorrento Valley)**

### ***North Portal Fairgrounds North***

The following would be required to maintain existing rail operation to the extent feasible during construction of the north portal:

- A temporary single-track shoofly of approximately 6,000 feet would be constructed to support construction of the new alignment, which would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction. The shoofly would be located within the widened trench with a new retaining wall to support its location.
- A temporary control point would be constructed within the existing trench for the railroad alignment.
- Design speeds along the shoofly would be approximately 60 mph for passenger trains and 40 mph for freight (compared to planned design speeds of 90 mph and 60 mph for existing passenger and freight trains, respectively).
- Construction of the cut-and-cover tunnel within the existing railroad trench would require working adjacent to an operating rail line, with minimal clearances, until the tunnel alignment transitions into the fairgrounds. This would constrain construction activities and lengthen the construction duration. Passenger and freight trains operating on the shoofly in this location may also be required to operate at slower speeds to maintain safety.

The double-track segment from Solana Beach Station to CP Del Mar that will be constructed with the San Dieguito Double Track Project would be reduced to single-track operations to provide the construction footprint needed. The limits of single-track operations to support this alignment are assumed to start at the new control point noted above and terminate at the proposed temporary control point just north of the Sorrento Valley Station. The frequency of railroad operations that may occur during the construction phase is currently unknown; therefore, a further evaluation would be necessary in future phases of project development to address potential issues with the length of single-track operations anticipated under this alignment if it advances for further consideration.

### ***South Portal Sorrento Valley***

The following would be required to maintain existing rail operation to the extent feasible during construction of the south portal:

- A temporary shoofly of approximately 3,000 feet would be constructed to support construction of the new alignment while maintaining single-track operations.
- A temporary control point would be constructed.
- Design speeds along the shoofly would be approximately 55 mph for passenger trains and 45 mph for freight (compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively).



### 5.2.2.3 Utility Conflicts

Each stakeholder and outreach alignment was reviewed and evaluated for potential conflicts with existing major wet utilities. Table 5-8 provides a summary of potential major utility conflicts identified for each alignment. The ability to protect the utility in place or relocate would be determined during later stages of design. However, the information that follows provides context for the activities that could be required during construction.

**Table 5-8. Potential Utility Conflicts**

Stakeholder and Outreach Alignment Number	Water Facilities	Sewer Facilities	Total
P7-A	3	2	5
P7-B	5	3	8
P9	3	2	5
P10-A	3	2	5
P10-B	5	3	8

Source: SanGIS 2022

#### **Alignment P7-A (Portals: Fairgrounds North and Knoll Near I-5)**

Alignment P7-A could result in potential conflicts with three major water facilities and two major sewer facilities. Overall, it is expected that the majority of the potential conflicts could be addressed via relocation or protect-in-place construction methods, with the exception of potential conflicts with a trunk sewer and water main at the south portal location at the Knoll Near I-5. Specifically, the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main, both owned by the City of San Diego, are located south of Carmel Valley Road, west of Sorrento Valley Road in Los Peñasquitos Lagoon, and could conflict with the south portal location. The cut-and-cover tunnel of Alignment P7-A would result in potential horizontal and vertical effects on these facilities. Extensive coordination with the City of San Diego Public Utilities Department would be required to address these potential conflicts and identify a solution to address the conflict. Relocation of the trunk sewer and/or water main would be a major undertaking and would add cost and risk to the overall project.

#### **Alignment P7-B (Portals: Fairgrounds North and Sorrento Valley)**

Alignment P7-B could result in potential conflicts with five major water facilities and three major sewer facilities. It is expected that potential conflicts with the utilities identified could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment P7-B.

#### **Alignment P9 (Portals: Fairgrounds North and Portofino Drive)**

Alignment P9 could result in potential conflicts with three major water facilities and two major sewer facilities. It is expected that potential conflicts with the utilities identified could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment P9.



### **Alignment P10-A (Portals: Fairgrounds North and Knoll Near I-5)**

Alignment P10-A could result in potential conflicts with three major water facilities and two major sewer facilities. As with Alignment P7-A, it is expected that the majority of the potential conflicts identified could be addressed via relocation or protect-in-place construction methods, with the exception of potential conflicts with a trunk sewer and water main at the south portal location at the Knoll Near I-5. Specifically, the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main, both owned by the City of San Diego, are located south of Carmel Valley Road, west of Sorrento Valley Road in Los Peñasquitos Lagoon, and could conflict with the south portal location. The cut-and-cover tunnel of Alignment P10-A would result in potential horizontal and vertical effects on these facilities. Extensive coordination with the City of San Diego Public Utilities Department would be required to address these potential conflicts and identify a solution to address the conflict. Relocation of the trunk sewer and/or water main would be a major undertaking and would add cost and risk to the overall project.

### **Alignment P10-B (Portals: Fairgrounds North and Sorrento Valley)**

Alignment P10-B could result in potential conflicts with five major water facilities and three major sewer facilities. It is expected that potential conflicts with the utilities identified could be addressed via relocation or protect-in-place construction methods. Therefore, the potential utility conflicts would not result in major impacts to Alignment P10-B.



## 6 Comparison of Alignments and Recommendations

Pursuant to CEQA Guidelines §15126.6, the SDLRR Draft EIR will consider a No Project Alternative and a reasonable range of project alternatives. This section summarizes the analysis of the 12 conceptual alignments and 14 stakeholder and outreach alignments considered for the identification of the project alternatives in the Draft EIR. Each conceptual alignment and stakeholder and outreach alignment was evaluated using the screening criteria discussed in Section 3 and the evaluations presented in Sections 4 and 5. This section provides an overview of the outcomes of the evaluation.

### 6.1 Project Objectives and Engineering Feasibility

The conceptual alignments and stakeholder and outreach alignments were assessed based on their ability to meet the project objectives and engineering feasibility described in Section 3.1. Each of the conceptual alignments was prepared for an alternatives analysis and was designed specifically to meet the project objectives and design feasibility criteria. Although all conceptual alignments met project objectives and engineering feasibility, **all single-bore alignments were removed from consideration**, as described in the introduction to Section 4. Specifically, in consideration of the increased complexity and community effects associated with the single-bore tunnel, Alignments 2, 4, 6, 8, 10, and 12 were removed from consideration in favor of the similar twin-bore alignments (Alignments 1, 3, 5, 7, 9, and 11). Similarly, single bore was not considered for any of the stakeholder and outreach alignments. Section 4.2 details the assessment of each stakeholder and outreach alignment's ability to meet the project objectives and engineering feasibility. Based on this evaluation, and as summarized in Table 6-1, Alignments P7-A, P7-B, P9, P10-A, and P10-B were advanced for further evaluation. The remaining stakeholder and outreach alignments did not meet the majority of the project objectives or engineering feasibility and were removed from consideration.

**Table 6-1. Project Objectives and Engineering Feasibility Summary**

Alignment Number	Description of Ability to Meet Project Objectives and Engineering Feasibility	Advanced for Further Evaluation
Conceptual Alignments 1-12	All alignments would meet project objectives and engineering feasibility. The single-bore alignments (2, 4, 6, 8, 10, and 12) result in greater impacts and more difficult construction than their dual-bore counterparts and therefore were dropped from further consideration.	<b>Yes Alignments (1, 3, 5, 7, 9, 11)</b>
P1-A	The alignment would meet the project objective to relocate the tracks away from the bluffs but would not meet the objective to maintain passenger service to the Solana Beach Station and would not provide direct access to the Del Mar Fairgrounds. A north portal location was not identified, and sufficient information is not available to evaluate this alignment against the remaining project objectives and engineering feasibility.	No



Alignment Number	Description of Ability to Meet Project Objectives and Engineering Feasibility	Advanced for Further Evaluation
P1-B	The alignment would meet the project objective to relocate the tracks away from the bluffs but would not meet the project objectives to maintain passenger service or to minimize impacts to the surrounding community. A north portal location was not identified, and sufficient information is not available to evaluate this alignment against the remaining project objectives and engineering feasibility.	No
P2	The alignment would be feasible from an engineering standpoint but would only meet one of the six project objectives.	No
P3	The alignment would meet three of the six project objectives and would not meet the required engineering feasibility.	No
P4	The alignment would meet five of the six project objectives and would meet engineering feasibility. The project objective to reduce rail travel times would not be met. Despite meeting the majority of the project objectives and engineering feasibility, this alignment was removed from consideration because it is similar to conceptual Alignment 3, which would meet all of the project objectives and is evaluated in this report.	No
P5	The alignment would be feasible from an engineering standpoint but would only meet two of the six project objectives.	No
P6-A	The alignment would meet three of the six objectives and engineering feasibility. Alignment P6-A would not meet the project objectives to minimize impacts to the surrounding community and preserve biological, cultural, and recreational resources. As depicted by stakeholders and the public, the alignment would not reduce rail travel times. Alignment P6-A is similar to Alignment P7-A, which would meet the objective of reducing travel times and is evaluated in this report.	No
P6-B	The alignment would meet three of the six objectives and engineering feasibility. This alignment would not meet the project objectives to minimize impacts to the surrounding community; preserve biological, cultural, and recreational resources; and reduce rail travel times. Alignment P6-B is similar to Alignment P7-B, which would meet the objective of reducing travel times and is evaluated in this report.	No
P7-A	The alignment would meet four of the six project objectives and would be feasible from an engineering standpoint.	<b>Yes</b>
P7-B	The alignment would meet four of the six project objectives and would be feasible from an engineering standpoint.	<b>Yes</b>
P8	The alignment would meet four of the six project objectives but would not be feasible from an engineering standpoint.	No
P9	The alignment would meet four of the six project objectives and would be feasible from an engineering standpoint.	<b>Yes</b>
P10-A	The alignment would meet four of the six project objectives and would be feasible from an engineering standpoint.	<b>Yes</b>
P10-B	The alignment would meet four of the six project objectives and would be feasible from an engineering standpoint.	<b>Yes</b>



## 6.2 Environmental and Other Considerations

This section summarizes the evaluation of the following alignments that were advanced for further consideration based on the evaluation of project objectives and engineering feasibility:

- Alignment 1 (Portals: Under Jimmy Durante Boulevard and Portofino Drive)
- Alignment 3 (Portals: Under Jimmy Durante Boulevard and Torrey Pines Road)
- Alignment 5 (Portals: Under Jimmy Durante Boulevard and Knoll Near I-5)
- Alignment 7 (Portals: Within Camino Del Mar and Portofino Drive)
- Alignment 9 (Portals: Within Camino Del Mar and Torrey Pines Road)
- Alignment 11 (Portals: Within Camino Del Mar and Knoll Near I-5)
- Alignment P7-A (Portals: Fairgrounds North and Knoll Near I-5)
- Alignment P7-B (Portals: Fairgrounds North and Sorrento Valley)
- Alignment P9 (Portals: Fairgrounds North and Portofino Drive)
- Alignment P10-A (Portals: Fairgrounds North and Knoll Near I-5)
- Alignment P10-B (Portals: Fairgrounds North and Sorrento Valley)

### 6.2.1 Potential Environmental Considerations

**Biological Resources and Land Use:** Potential permanent effects to biological resources and existing land uses are summarized in Table 6-2.

- Sensitive Vegetation Communities: Alignments 1, 7, and P9 with a south portal at Portofino Drive could affect the largest area of sensitive vegetation communities (19 acres for Alignments 7 and P9 and 22 acres for Alignment 1) compared to the other alignments. Alignments P7-B and P10-B could affect the smallest area of sensitive vegetation communities (2 acres).
- Non-Transportation Land Uses: Alignment 11 could affect the smallest area of existing non-transportation land uses (2 acres), followed by Alignments 3 and 9 (5 acres) with south portals at Torrey Pines Road. Alignment 1 could affect the largest area of existing non-transportation land uses (22 acres) and would be generally less compatible with existing land uses compared to the other alignments.
- Transportation Land Uses: The Alignment 9 footprint could affect the largest area of existing transportation land uses (37 acres) compared to the other alignments.
- Conclusion: As a result, Alignments 3, 9, and 11 with south portals at Torrey Pines Road or the Knoll Near I-5 would be generally more compatible with existing land uses compared to alignments with a south portal at Portofino Drive.



**Table 6-2. Summary of Biological Resources and Existing Land Uses (Permanent)**

Alignment Number	Sensitive Vegetation Communities (acres)	Transportation Land Uses (acres)	Non-Transportation Land uses <sup>1</sup> (acres)
1	22	13	22
3	16	27	5
5	15	12	14
7	19	22	18
9	16	37	5
11	15	22	2
P7-A	16	16	17
P7-B	2	19	7
P9	19	17	19
P10-A	16	16	17
P10-B	2	19	7

Source: SanGIS 2022, AECOM 2023 biological resource surveys

Note: <sup>1</sup>Non-transportation land uses include residential, recreation/open space, transportation, public institution, industrial, hotel, undeveloped, and commercial land uses.

### Community Effects

- **Acquisitions and Noise and Dust Abatement:** All alignments would require the acquisition of private property for construction of the alignment structures. Residential properties would be located adjacent to one or both portals associated with Alignments 1, 3, 5, 7, 9, 11, and P9; therefore, noise and dust abatement measures would be implemented during construction. While construction near the south portal for Alignments 5 and 9 would not occur near residential properties, noise and dust abatement measures may be implemented to protect resources within Los Peñasquitos Lagoon. Residential properties are not located adjacent to the south portal or the location where the TBM would be retrieved in the north for Alignments P7-A, P7-B, P10-A, and P10-B. Dust and noise abatement measures may be required during construction to protect resources within Los Peñasquitos Lagoon at the south portal and along the cut-and-cover tunnel near the north portal given proximity to residential properties. The trench associated with the existing railroad alignment would require widening to accommodate all stakeholder and outreach alignments, which could affect adjacent properties and the multi-use trail above the trench.
- **Physical Roadway Impacts:** The south portal site at the Knoll Near I-5 (Alignments 5, 11, and P7-A) would result in the smallest impacts to the local roadway network compared to the other south portals. The south portal site located in Sorrento Valley (Alignments P7-B and P10-B) would result in the greatest impacts to the local roadway network. Compared to the other north portal sites, the north portal Within Camino Del Mar (Alignments 7, 9, and 11) would be the most impactful to the local roadway network. The north portal Under Jimmy Durante Boulevard (Alignments 1, 3, 5, and 7) would be the least impactful north portal site to the local roadway network. The Fairgrounds North portal common to all stakeholder and outreach alignments would be less



impactful to the local roadway network than the north portal Within Camino Del Mar and more impactful than the Under Jimmy Durante Boulevard north portal.

- **Truck Trips for Disposal of Construction Material:** As shown in Table 6-3, the number of truck trips required to dispose of construction materials associated with the bored tunnel, cut-and-cover tunnel, U-structure, and portals would range from 122,000 (Alignment 9) to 619,000 (Alignment P10-A) one-way trips. The stakeholder and outreach alignments are longer than the conceptual alignments and would result in more than twice the number of truck trips to dispose of construction materials.
- **Conclusion:** The Fairgrounds North portal would be most disruptive to the surrounding community. This portal would require construction of a new underground special events platform to maintain passenger rail service to the fairgrounds. Significant portions of the fairgrounds' southwest parking lot and access to the surrounding area would have restricted use. Event access to the fairgrounds may also be affected at Jimmy Durante Boulevard and Via De La Valle. Additionally, properties and the multi-use trail adjacent to the existing railroad trench could be affected during construction, and construction access would affect Via De La Valle, Lomas Santa Fe Drive, and the adjoining South Highway 101 and South Cedros Avenue.

**Table 6-3. Approximate Number of Truck Trips for Disposal of Construction Material**

Alignment Number	Truck Trips <sup>1</sup>
1	171,600
3	127,300
5	229,400
7	181,900
9	122,000
11	235,100
P7-A	547,200
P7-B	594,600
P9	534,200
P10-A	619,000
P10-B	536,000

Note: <sup>1</sup>Only accounts for one-way traffic for disposal of construction material associated with the bored tunnels, cut-and-cover tunnel, and the U-structure.

## 6.2.2 Constructability and Construction Effects

The following is a summary of the constructability considerations.



### 6.2.2.1 Considerations Regarding Alignment Components

Table 6-4 summarizes information on the components of each alignment.

- Alignments 1 and 7 would require the shortest total alignment length at 25,300 feet, and Alignments P7-A, P10-A, and P10-B would require the longest total alignment length, at 35,900 feet.
- Alignment 9 would require the shortest bored tunnel length at 9,500 feet, and Alignment P7-B would require the longest bored tunnel length, at 23,400 feet.
- The percentage of the tunnel under public right-of-way or property would be the smallest for Alignment 3 at 6 percent and largest for Alignment P7-A at 95 percent. All five stakeholder and outreach alignments would have the greatest percentage of the tunnel portion of the alignment under public-right-of-way or property.
- Alignments P7-B and P10-B with a south portal at Sorrento Valley would not require bridges. Of the remaining alignments, Alignments 5, 11, P7-A, and P10-A with a south portal at the Knoll Near I-5 would require the shortest length of bridge at 100 feet, and Alignments 3 and 9 would require the longest length of bridge at 6,100 feet.
- Alignments 3 and 9 with a south portal at Torrey Pines Road would require the longest length of berm to support the alignment within Los Peñasquitos Lagoon at 7,200 feet, and Alignment P7-B would require the shortest length of berm at 1,400 feet.
- Alignments P7-A, P7-B, P9, P10-A, and P10-B would require demolition or reuse of the future San Dieguito Bridge as the new alignment would not connect to the future bridge.

**Table 6-4. Summary of Alignment Components**

Alignment Number	Bored Tunnel (feet)	U-Structure (feet)	Cut-and-Cover Tunnel (feet)	Bridge (feet)	Floodwall (feet)	Graded <sup>1</sup> (feet)	Total Alignment Length (feet)	Percent of Tunnel under Public ROW or Property	Percent of Tunnel under Private Property
1	13,800	900	700	1,500	800	7,600	25,300	41	59
3	9,800	900	600	6,100	800	7,800	25,900	6	94
5	16,600	2,400	900	100	1,900	6,200	28,000	44	56
7	13,900	1,100	900	1,500	800	7,200	25,300	49	51
9	9,500	1,200	500	6,100	800	7,800	26,000	27	73
11	16,600	2,200	1,200	100	1,900	6,300	28,300	46	54
P7-A	20,000	2,700	6,500	100	900	6,400	35,900	95	5
P7-B	23,400	2,700	6,600	0	200	2,200	35,000	90	10
P-9	16,700	1,300	6,000	1,500	0	7,300	32,800	91	9
P10-A	19,400	3,100	5,900	100	1,100	6,300	35,900	84	16
P10-B	22,600	3,000	6,900	0	400	3,000	35,900	80	20

Notes: <sup>1</sup>The graded length includes the berm.  
ROW = right-of-way



### 6.2.2.2 North Portal and Alignment Considerations

- Under Jimmy Durante Boulevard Portal (Alignments 1, 3, and 5) would result in the lowest degree of construction complexity at the north portal and the portion of the alignment north of the portal compared to other north portal sites. No significant existing infrastructure would need to be protected or reconstructed at this north portal site.
- Within Camino Del Mar Portal (Alignments 7, 9, and 11) would result in a larger degree of construction complexity at the north portal and alignment north of the portal than Alignments 1, 3, and 5 (north portal Under Jimmy Durante Boulevard). This north portal location would require reconstruction of the existing Camino Del Mar bridge to initiate the portal construction.
- Fairgrounds North Portal (Alignments P7-A, P7-B, P9, P10-A, P10-B) would have the greatest construction complexity of the north portal locations given the need to work within and widen the existing railroad alignment trench, the need to construct a new underground special events platform, coordination with current and future use at the fairgrounds, reconstruction of the Via De La Valle overcrossing, potential reconstruction of the Jimmy Durante Bridge, and drainage considerations at Stevens Creek.

### 6.2.2.3 South Portal and Alignment Considerations

- Portofino Drive Portal (Alignments 1, 7, and P9) would result in the lowest degree of construction complexity at the south portal and alignment south of the portal compared to the other south portal locations. The main portal site is largely above the 100-year floodplain and is not expected to require abatement measures to prevent flooding. There is no significant infrastructure that would need to be protected.
- Torrey Pines Road Portal (Alignments 3 and 9) would result in the highest degree of construction complexity at the south portal and alignment south of the portal compared to the other south portal locations. The bridge and berm segments within the Los Peñasquitos Lagoon would require a raised elevation to stay above flood levels and would require a phased approach to maintain rail operations during construction.
- Sorrento Valley Portal (Alignments P7-B and P10-B) would result in a higher degree of construction complexity at the south portal and alignment south of the portal than Alignments 5, 11, P7-A, and P7-B (Knoll Near I-5 south portal). The TBM launch site for this portal would impact existing drainage in an area with known flooding issues and would require implementing a means to convey drainage under or around the alignment. Reconstruction of Sorrento Valley Road and Carmel Mountain Road would also be required.

### 6.2.2.4 Utility Conflicts

Table 6-5 summarizes potential major utility conflicts for each alignment.

- Alignments 3 and 9 would result in the fewest potential conflicts with existing utilities, having potential conflicts with three major water facilities and no conflicts with major sewer facilities.
- Alignments P7-B and P10-B would result in the greatest number of potential utility conflicts, with five potential conflicts with major water facilities and three potential conflicts with major sewer facilities.



- Overall, it is expected that the majority of the potential conflicts could be addressed via relocation or protect-in-place construction methods, with the exception of potential conflicts with a 54-inch trunk sewer and a 36-inch water main at the south portal location at the Knoll Near I-5 (Alignments 5, P7-A, and P10-A). Coordination with the City of San Diego Public Utilities Department would be required to address these potential conflicts and identify a solution to address the conflict.

**Table 6-5. Summary of Potential Utility Conflicts**

Alignment Number	Total	Discussion
1	4	Addressed via relocation or protect-in-place construction methods.
3	3	Addressed via relocation or protect-in-place construction methods.
5	5	Potential conflicts with the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main would require extensive coordination with the City of San Diego Public Utilities Department.
7	4	Addressed via relocation or protect-in-place construction methods.
9	3	Addressed via relocation or protect-in-place construction methods.
11	5	Addressed via relocation or protect-in-place construction methods.
P7-A	5	Potential conflicts with the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main would require extensive coordination with the City of San Diego Public Utilities Department.
P7-B	8	Addressed via relocation or protect-in-place construction methods.
P9	5	Addressed via relocation or protect-in-place construction methods.
P10-A	5	Potential conflicts with the 54-inch Carmel Valley Trunk Sewer and 36-inch Sorrento Valley Water Main would require extensive coordination with the City of San Diego Public Utilities Department.
P10-B	8	Addressed via relocation or protect-in-place construction methods.

Source: SanGIS 2022

### 6.2.2.5 Railroad Operational Impacts during Construction

Table 6-6 summarizes the railroad operational impacts during construction for each alignment.

#### North Portal

- The alignments at all of the north portals would require a shoofly to maintain existing rail service.
  - Alignments 1, 3, 5, 7, 9, and 11 (Under Jimmy Durante Boulevard and Within Camino Del Mar portals) would require a temporary single-track shoofly of approximately 3,000 feet.
  - Alignments P7-A, P7-B, P9, P10-A, and P10-B (Fairgrounds North portal) would require a temporary single-track shoofly of approximately 6,000 feet. These alignments would require the longest shoofly and single-track operation to support construction when compared to the other alignments near the north portal sites.
  - For all alignments, the temporary shoofly would temporarily remove double-track operation for a length equivalent to that of the shoofly during construction.



- Design speeds<sup>5</sup> for passenger and freight trains operating along the shoofly would differ from current or planned design speeds.
  - Design speeds along the shoofly for Alignments P7-A, P7-B, P9, P10-A, and P10-B (Fairgrounds North portal) would be approximately 60 mph for passenger trains and 40 mph for freight, which is slower than planned design speeds of 90 mph and 60 mph for existing passenger and freight trains, respectively. This shoofly would result in the greatest reduction in design speeds for passenger and freight trains compared to design speeds along the shoofly at the other north portal locations.
  - Design speeds along the shoofly for Alignments 1, 3, and 5 (Under Jimmy Durante Boulevard portal) would be approximately 50 mph for passenger trains and 45 mph for freight, similar to current design speeds at this location.
  - Design speeds along the shoofly for Alignments 7, 9, and 11 (Within Camino Del Mar portal) would be the slowest compared to the other north portal locations, at 30 mph for passenger trains and 25 mph for freight, compared to current design speeds of 55 mph and 45 mph for existing passenger and freight trains, respectively.

## South Portal

- Shoofly:
  - If construction proceeds as described in Section 5.2.2, Alignments 3 and 9 (south portal at Torrey Pines Road) would not require a shoofly to maintain existing rail service.
  - Alignments P7-B and P10-B (Sorrento Valley portal) would require a temporary shoofly of approximately 3,000 feet.
  - Alignments 1, 5, 7, 11, P7-A, P9, and P10-A (Knoll Near I-5 or Portofino Drive portal) would require a temporary shoofly of approximately 4,000 feet.
- Design speed along the shoofly:
  - For those alignments that require the shoofly, design speeds would be approximately 55 mph for passenger trains and 45 mph for freight, compared to design speeds of 60 mph and 50 mph for existing passenger and freight trains, respectively.

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<sup>5</sup> An operating speed reflects the speed at which a train travels along a segment of track. In comparison, the design speed is used to determine aspects of a segment of an alignment, such as curves, while design of the alignment is underway. The design speed may be higher than the operating speed. Design speeds are compared for purposes of evaluation as operating speeds may vary depending on circumstances.



**Table 6-6. Summary of Railroad Operational Impacts during Construction**

Alignment Number	North Portal Shoofly Length (ft)	Restrictive Speed During Construction (mph) (Passenger/Freight)	Southern Portal Shoofly Length (ft)	Restrictive Speed During Construction (mph) (Passenger/Freight)
1	3,000	50/45	4,000	55/45
3	3,000	50/45	N/A	N/A
5	3,000	50/45	4,000	55/45
7	3,000	30/25	4,000	55/45
9	3,000	30/45	N/A	N/A
11	3,000	30/45	4,000	55/45
P7-A	6,000	60/40	4,000	55/45
P7-B	6,000	60/40	3,000	55/45
P9	6,000	60/40	4,000	55/45
P10-A	6,000	60/40	4,000	55/45
P10-B	6,000	60/40	3,000	55/45

### 6.2.3 Construction Cost Estimates

Rough order of magnitude construction cost estimates were developed for each alignment and are provided for context, but were not used as part of the screening process. The rough order of magnitude cost estimates consider the alignment component (e.g., tunnel, bridge, graded), track and signal infrastructure, temporary and permanent roadway modifications, environmental remediation, and temporary supporting infrastructure. The unit costs developed in the Alternatives Analysis Report are used to make it easier to compare current and previous estimates using 2022 dollars. These rough order of magnitude construction cost estimates do not include right-of-way costs, soft costs, or other costs not noted, nor do the costs consider inflation to reflect the year of expenditure during the construction period. Detailed capital cost estimates will be developed during environmental review.

Table 6-7 summarizes the rough order of magnitude construction cost estimates for each alignment. Construction cost estimates range from \$1.79 billion (Alignment 1) to \$4.39 billion (Alignment P10-B).



**Table 6-7. Construction Rough Order of Magnitude Cost Estimate**

Alignment Number	Construction Rough Order of Magnitude Cost Estimate (2022 \$billion)
1	\$1.79
3	\$1.85
5	\$2.28
7	\$1.86
9	\$1.85
11	\$2.29
P7-A	\$4.14
P7-B	\$4.29
P9	\$3.76
P10-A	\$4.06
P10-B	\$4.39

Note: Rough order of magnitude construction cost estimates are based on 2022 dollars. Changes from previously published estimates are due to project refinements and implementation of standard cost categories.

## 6.3 Summary of Outcomes

Based on the evaluation provided in this report, the following recommendations have been developed in support of identifying the range of alternatives to advance to CEQA scoping:

- **Alignment 1 is not recommended** for further consideration. While this alignment would have the third-fewest number of truck trips and the lowest construction complexities, this alignment with the south portal at Portofino Drive could permanently affect the largest area of sensitive vegetation communities and non-transportation land uses of the alignments. Additionally, significant opposition to the south portal site at Portofino Drive has been expressed by the public during outreach conducted to date, and an alternative southern portal location with less opposition has been identified to advance to CEQA scoping.
- **Alignment 3 is recommended** for further consideration. This alignment could result in fewer permanent impacts to sensitive vegetation communities, require the second-fewest number of truck trips, and would generally be compatible with existing land uses. The north portal site associated with Alignment 3 (Under Jimmy Durante Boulevard) would result in fewer roadway impacts compared to the north portal site associated with Alignments 7, 9, and 11 (Within Camino Del Mar) and Alignments P7-A, P7-B, P9, P10-A, and P10-B (Fairgrounds North) portal locations. Alignment 3 would result in the lowest degree of construction complexity at the north portal and alignment north of the portal compared to the other north portal locations.
- **Alignment 5 is recommended** for further consideration. The south portal for this alignment (Knoll Near I-5) would be located away from residential properties and has received general support from the public. Potential permanent impacts to sensitive vegetation communities would be comparable to Alignment 3, and less than Alignments 1, 7, 9, P7-A, P9, and P10-A. The south portal site would also result in fewer roadway impacts compared to the various south portal locations. Alignment 5 would



also result in less construction complexity at the north portal site (Under Jimmy Durante Boulevard) and alignment north of the portal than Alignments 7, 9, and 11.

- **Alignment 7 is not recommended** for further consideration. The alignment, with a south portal at Portofino Drive, could result in one of the largest impacts on sensitive vegetation communities and non-transportation land uses. Compared to the other north portal sites, the north portal site associated with this alignment (Within Camino Del Mar) would be the most impactful to the local roadway network. This alignment would also have higher complexity at the north portal site and alignment north of the portal than Alignments 1, 3, and 5 (north portal site Under Jimmy Durante Boulevard). Additionally, strong opposition for the south portal site at Portofino Drive has been expressed by the public during outreach conducted to date.
- **Alignment 9 is not recommended** for further consideration. This alignment is similar to Alignment 3 with a north portal Within Camino Del Mar and a slight difference in the location of the bored tunnel alignment. Compared to the other north portal sites, the north portal site associated with this alignment would be the most impactful to the local roadway network. This alignment would also result in the highest degree of construction complexity at the south portal site (Torrey Pines Road) and alignment south of the portal, and a higher degree of construction complexity at the north portal site and alignment north of the portal than Alignments 1, 3, and 5 (north portal Under Jimmy Durante Boulevard).
- **Alignment 11 is not recommended** for further consideration. Compared to the other north portal sites, the north portal site associated with this alignment (Within Camino Del Mar) would be the most impactful to the local roadway network. This alignment would also have higher degree of construction complexity at the north portal site and alignment north of the portal than Alignments 1, 3, and 5 (north portal Under Jimmy Durante Boulevard). Alignment 11 would result in a higher degree of construction complexity at the south portal (Knoll Near I-5) and alignment south of the portal than Alignments 7 and P9 (Portofino Drive portal). Alignment 11 would also result in more potential major utility conflicts than Alignments 1, 3, 7, and 9.
- **Alignment P7-A is recommended** for further consideration. This alignment would be the most similar to what the public supported in terms of a tunnel alignment that would be parallel to I-5 rather than under residential properties. This alignment would have a north portal within the existing railroad alignment trench located north of the state-owned fairgrounds property. This north portal site, which is common among the five stakeholder and outreach alignments, would have the greatest construction complexity of the various north portal locations. This alignment would also require construction of a new special events platform at the Del Mar Fairgrounds and would require demolition or reuse of the future San Dieguito Bridge. However, potential permanent impacts to sensitive vegetation communities for Alignment P7-A would be comparable to Alignments 3 and 5, which are also recommended for further consideration. Alignment P7-A would also result in fewer potential major utility conflicts than Alignments P7-B, P9, P10-A, and P10-B.
- **Alignment P7-B is not recommended** for further consideration. This alignment would result in greater community effects compared to other alignments. The Sorrento Valley south portal site would result in the largest impact to the surrounding local roadway network of the various south portal locations.
- **Alignment P9 is not recommended** for further consideration. The area within and adjacent to the alignment footprint, with a south portal at Portofino Drive, contains the



second-largest area of sensitive vegetation communities and non-transportation land uses. Additionally, significant opposition to the south portal site at Portofino Drive has been expressed by the public during outreach conducted to date, and an alternative southern portal location with less opposition has been identified.

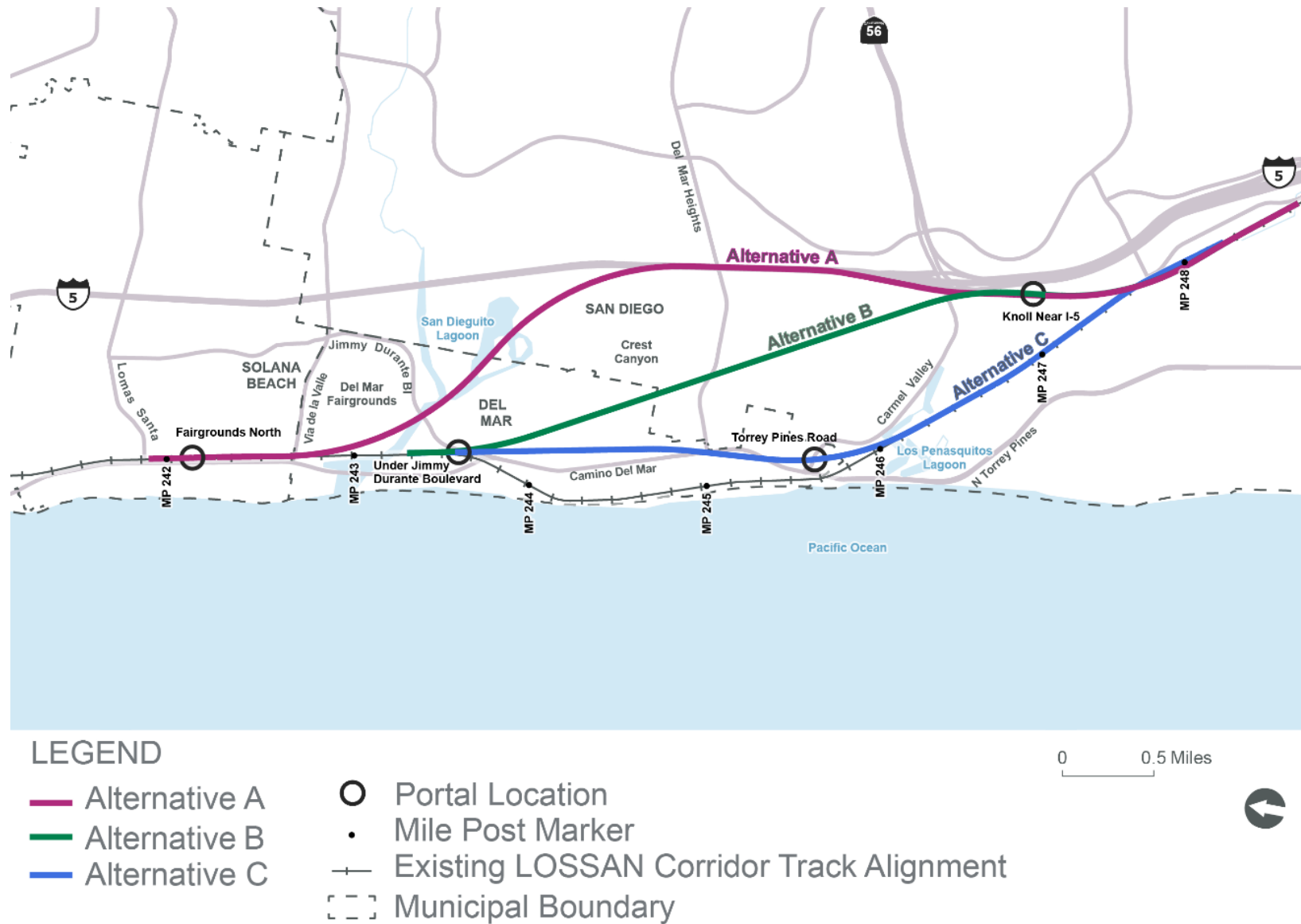
- **Alignment P10-A is not recommended** for further consideration. This alignment would be similar to Alignment P7-A; however, Alignment P7-A is more responsive to comments received from the public during the outreach and engagement processes to date.
- **Alignment P10-B is not recommended** for further consideration. The alignment would result in more community effects compared to the other alignments. The alignment would result in the largest quantity of excavated materials and truck trips for disposal. The Sorrento Valley south portal site would result in the largest impact to the surrounding local roadway network of the various south portal locations.

Alignments 3, 5, and 7A are recommended to advance to CEQA scoping. The alternatives are illustrated in Figure 6-1 and will be referred to as Alternative A: I-5 Alignment, Alternative B: Crest Canyon Alignment, and Alternative C: Camino Del Mar Alignment in the Notice of Preparation.

- Alternative A: I-5 Alignment will reflect Alignment P7-A in this report.
- Alternative B: Crest Canyon Alignment will reflect Alignment 5 in this report.
- Alternative C: Camino Del Mar Alignment will reflect Alignment 3 in this report.



Figure 6-1. CEQA Scoping Alternatives







# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** City Manager's Office – Dan King, Assistant City Manager  
**SUBJECT:** **Fiscal Year (FY) 2024/25 Community Grant Program Awards and FY 2023/24 Community Grant Final Report**

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### **BACKGROUND:**

On May 4, 2004, the City Council adopted Resolution No. 2004-68 approving Council Policy No. 14 establishing the Community Grant Program ("Grant Program") and Application Guidelines for the Grant Program.

At the March 13, 2024 City Council Meeting, the City Council authorized the FY 2024/25 Community Grant Program. At this meeting, the City Council increased the City's contribution to the program to \$35,000 which, when combined with EDCO's contribution of \$15,000 as part of the community enhancement efforts through the solid waste Franchise Agreement with the City, increased the total grant program to \$50,000.

At the June 12, 2024 City Council meeting, the grant applicants gave presentations on their respective program requests. There are a total of fifteen (15) applications for a maximum funding request of \$79,200.

This item is before the City Council to select the FY 2024/25 Community Grant Program recipients.

CITY COUNCIL ACTION: \_\_\_\_\_  
\_\_\_\_\_



## **DISCUSSION:**

The following fifteen (15) applications were received by the City during the solicitation period (in alphabetical order):

<b>Applicant</b>	<b>Amount Requested</b>
Assistance League Rancho San Dieguito	\$6,000
BikeWalkSolana	\$700
Boys and Girls Club of San Dieguito	\$6,000
California Western School of Law Community Law Project (CLP)	\$6,000
Casa De Amistad	\$6,000
Community Resource Center	\$6,000
Disconnect Collective, Inc.	\$6,000
Jaliscience Folkloric Academy	\$5,000
La Colonia Community Foundation	\$6,000
North Coast Repertory Theatre	\$6,000
Pathways to Citizenship	\$6,000
Rancho Sante Fe Youth Soccer	\$1,500
Sandpipers Square Dance Club	\$6,000
Solana Beach Civic & Historical Society	\$6,000
Solana Beach Community Theater	\$6,000
<b>Total</b>	<b>\$79,200</b>

The City's FY 2024/25 Budget contains an appropriation in the amount of \$50,000 to be used to fund community grants. Last year, the Council authorized additional funding in the amount of \$11,000 from the Reserve Public Arts Account to be used to fund the North Coast Repertory Theatre (NCRT) and the Jaliscience Folkloric Academy grant applications.

At the June 12, 2024 City Council meeting, Council raised a question about whether those applicants who had received FY 2023/24 Community Grant awards had fully expended all their award funds. At the time of this report, Staff has received final reports from all FY 2023/24 recipients. As will be detailed in the FY2023/24 Community Grant Final Report (Attachment 2), all but two (2) recipients had expended the entire amount of their funding. The two (2) recipients who had not yet expend all of their funding are the La Colonia Foundation, who has \$63.03 remaining from the \$6,000 award, and BikeWalkSolana, who has \$1,537.75 remaining from the \$3,650 award.

Staff spoke with BikeWalkSolana after the June 12, 2024 City Council meeting regarding the unused funds as well as this years grant application. BikeWalkSolana is now seeking for Council to grant an extension for the use of the \$1,537.75, of which \$700 would be used towards the purposes outlined in their FY 2024/25 Community Grant application. The remaining unspent amount is proposed to be used by BikeWalkSolana to reduce the cost for City Cycling classes (for Solana Beach residents) that the City is now directly contracting through the Bike Coalition. Should Council allow BikeWalkSolana this extension, the total combined funding request for FY2024/25 Community Grant applications would be reduced to \$78,500.



**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The FY 2024/25 Adopted Budget contains an appropriation in the amount of \$50,000 to be used to fund community grants, subject to the City Council's discretion. All fiscal appropriations are budgeted under the City Council budget unit Contribution to Other Agencies.

Last year, the Council authorized additional funding from the Public Arts Reserve Account to be used to fund the North Coast Repertory Theatre (NCRT) and the Jaliscience Folkloric Academy grant applications. Since the NCRT has requested \$6,000 this cycle and the Jaliscience Folkloric Academy has requested \$5,000 this cycle, as noted above, the Council could choose to utilize the Public Arts Reserve allocation. If Council approves the use of the Public Arts Reserve Account, that amount would be added to the current appropriation of \$50,000.

The total funding request for the FY 2024/25 Community Grant cycle is \$79,200 (\$78,500 if the Council chooses to fund BikeWalkSolana with unspent funds), which is \$18,200 (or \$17,500 with BikeWalkSolana) more than the potential available funds listed above.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff Recommendation
- Do not approve Staff Recommendation and provide direction.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Select the FY 2024/25 Community Grant Program recipients and identify an award amount to each recipient.
2. Adopt Resolution No. 2024-077 (Attachment 1) authorizing the funding for the selected community grant applicants for financial assistance under the FY 2024/25 Community Grant Program.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
Alyssa Muto, City Manager

Attachments:

1. Resolution No. 2024-077
2. FY 2023/24 Community Grant Final Report



## **RESOLUTION NO. 2024-077**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CITY COUNCIL FUNDING OF SELECTED COMMUNITY GRANT RECIPIENTS FOR FINANCIAL ASSISTANCE UNDER THE FISCAL YEAR (FY) 2024/25 COMMUNITY GRANT PROGRAM**

**WHEREAS**, at the March 13, 2024 City Council (Council) meeting, the Council approved the offering of the FY 2024/25 Community Grant Program for community service organizations who seek program financial assistance; and

**WHEREAS**, at the March 13, 2024 Council Meeting, the Council approved the allocation of \$35,000 from the General Fund, for a combined total funding of \$50,000, for the purpose of funding the FY 2024/25 Community Grant Program in the FY 2024/25 Proposed Budget; and

**WHEREAS**, the Council has received Requests for Financial Assistance for the FY 2024/25 Community Grant Program, reviewed all applications, and has determined the selection of the FY 2024/25 grant recipients and award amounts pursuant to Council Policy No. 14 (Policy).

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the Council has reviewed all FY 2024/25 Community Grant requests and has determined the selection of the FY 2024/25 grant recipients and award amounts pursuant to Council Policy No. 14, which shall not exceed a total of \_\_\_\_\_, from all funding sources.
3. That the grant recipients, award amounts and funding sources for the FY 2024/25 Community Grant program shall be as indicated on Attachment 1 hereto, which is fully incorporated herein by this reference.



**PASSED AND ADOPTED** this 26th day of June, 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



## **FY 2023/24 Community Grant Final Report**

In FY 2023/24, the City Council authorized \$66,000 of funding for fourteen (14) applicants. Similar to the last few years, the partnership between the City and Santa Fe Christian Schools (SFC) continued in an effort to maximize the amount of assistance and coordination of the community grant recipients. SFC contributed \$15,000 to the Community Grant Program for a total Budget of \$66,000. The following applicants received funding from the program in FY 2023/24:

### **Fiscal Year 2023/24 Grant Recipients**

1. Assistance League Rancho San Dieguito	\$ 4,000
2. BikeWalkSolana	\$ 3,650
3. Boys and Girls Clubs of San Dieguito	\$ 6,000
4. California Western School of Law Community Law Project	\$ 5,000
5. Casa de Amistad	\$ 5,000
6. Community Resource Center	\$ 5,000
7. Disconnect Collective	\$ 3,000
8. Jaliscience Folkloric Academy*	\$ 5,000
9. La Colonia Community Foundation	\$ 6,000
10. North Coast Repertory Theatre*	\$ 6,000
11. Pathways to Citizenship	\$ 4,350
12. Rancho Santa Fe Youth Soccer	\$ 1,000
13. Solana Beach Civic & Historical Society	\$ 6,000
14. Solana Beach Community Connection	\$ 6,000

\*funded from the Reserve Public Arts Account

**Total: \$66,000**

One of the requirements of receiving a grant award is the submittal of a financial report and receipts for the expenditures of grant funds expended by each of the recipients. Each recipient has submitted a report detailing their expenditures and the reports were submitted with varying degrees of detail. Below is a summary of the reports received from the grant recipients.

- 1. Assistance League Rancho San Dieguito:** The Assistance League Rancho San Dieguito was awarded \$4,000 for their "Operation School Bell" at Marshall's Solana Beach program that assists children of need in local schools. Fifty-eight (58) students from Solana Beach's Head Start program including twenty-five (25) children from the PREP program were chosen to participate in two shopping events (March 12<sup>th</sup> and March 14<sup>th</sup>) at Marshalls in Solana Beach. The students attended with a family member and received \$90 to purchase on school clothes. The amount spent at Marshalls for the purchase of school clothes was \$5,220 and the additional \$1,220 was contributed by the chapter.

## **ATTACHMENT 2**

CITY COUNCIL ACTION: \_\_\_\_\_  
\_\_\_\_\_



Specifically, the grant funds were spent on the following:

• Marshalls – March 12 <sup>th</sup> :	\$ 2,610
• Marshalls – March 14 <sup>th</sup> :	<u>\$ 2,610</u>
<b>Total:</b>	<b>\$ 5,220</b>

- 2. BikeWalkSolana:** BikeWalkSolana was awarded \$3,650 for several events to promote active transportation in the City of Solana Beach. The funds were used to cover the costs associated with a Solana Beach Walking Scavenger Hunt, a Safe Cycling class, a Tour of Solana Beach Community Ride, and a shorter Family Fun Ride. Outreach for the events was accomplished using City of Solana Beach e-Blasts, articles in the Solana Beach Sun and Del Mar Times, posting flyers in local businesses, social media, and websites for BikeWalkSolana and the San Diego County Bicycle Coalition (SDCBC). For event encouragement, local businesses also contributed prizes, either in-kind or purchased with discount, for participation and raffles.

The Walking Scavenger Hunt had 230 participants registered for the event of which 80% were Solana Beach residents. 74 participants completed the hunt and were eligible for a chance to win one of the 16 raffle prizes. 12 participants were able to complete the Tour of Solana Beach Ride held on May 25<sup>th</sup>, while others participants with a small child were shown a more kid-appropriate route. The Family Fun Ride held on May 26<sup>th</sup> was attended by about 45 kids and parents. Finally, 6 students attended the Safe Cycling classes. This is a total of almost 300 participants across BikeWalkSolana's various events.

Specifically, the grant funds were spent on the following:

• La Colonia Smart Cycling rental + insurance:	\$ 143.54
• Community rides permit fee:	\$ 50.00
• SDCBC student & Instructor fees for Smart Cycling	\$ 1,050.00
• Raffle prize supplement to Revolution	\$ 50.00
• Raffle prize supplement to CalCoast Adventures	\$ 100.00
• Raffle prize supplement to Gelato 101	\$ 50.00
• Smart Cycling taillights	\$ 135.59
• Smart Cycling lunch	\$ 99.88
• Stickers for Family Fun Ride	\$ 107.24
• VGs donuts for community rides	\$ 126.00
• LCI fees for community ride marshals	<u>\$ 200.00</u>
<b>Total:</b>	<b>\$ 2,112.25</b>

BikeWalkSolana has requested that the Council grant an extension to expend the 2023-24 grant funds. BikeWalkSolana was not able to fully expend its award due to difficulty obtaining adequate liability insurance for the multiple City Cycling educational classes targeted for teens that would meet the City's standards. BikeWalkSolana was able to work with the City to work out this insurance requirement, however not in enough time for BikeWalkSolana to put on the classes before May 30<sup>th</sup>. BikeWalkSolana is seeking



to use the remaining \$1537.75 to both fund the City Cycling classes previously requested under the FY 2023/24 Community Grant (\$837.75) and to fund their community grant application request for the FY 2024/25 Community Grant cycle (\$700).

3. **Boys and Girls Club of San Dieguito:** The Boys and Girls Club of San Dieguito (Club) requested \$6,000 for their Financial Aid for Youth in After-School Programs. The Financial Aid Program for Youth in After-School Programs at La Colonia Clubhouse and Harper Teen Youth Center made it possible to cover 39 Solana Beach children and teens, with discounts ranging from 33-100%. The Club is currently on track to give away \$164,460 between the two clubs by end of fiscal year (June 30). This past year, the Club received more requests for discounts at a higher rate: 44% of youth attended with fees completely waived through the Financial Aid Program.

Specifically, the grant funds were used as the following financial aid:

- La Colonia Club House 21 Youth: \$ 4,071.84
  - Harper Teen Program 18 Youth: \$ 2,109.45
- Total: \$ 6,181.29**

4. **California Western School of Law Community Law Program:** California Western School of Law Community Law Program (CLP) was awarded \$5,000 for their monthly legal clinics and community legal education program in Solana Beach. CLP provided dozens of low-income individuals and families with critical individualized information about their legal rights and educate marginalized community groups on recently passed laws in legal areas that most affect these groups. During these clinics, 66 individuals were served with some individuals returning for services on multiple occasions. Over 80% of the individuals served identified as people of color, 60% indicated a primary language other than English and close to 70% of individuals reported a family income of below \$30,000. In addition to those that were served in our clinics, we were pleased to provide approximately 50 individuals with opportunities to learn more about legal issues that affect their communities during our community education presentations.

Specifically, the grant funds were spent on the following:

- Personnel costs: \$ 5,000.00
- Total: \$ 5,000.00**

5. **Casa de Amistad:** Casa de Amistad was awarded \$5,000 for their “Kinder to College Study Companions Program.” The Program serves underserved children in kindergarten through 12<sup>th</sup> grade to improve their academic achievements. The Program provides all students access to one-on-one tutoring, mentoring, STEAM activities, educational enrichment, technology access, college and career readiness support, academic scholarships, and family engagement activities. The City’s Community Grant funds were used to purchase supplies, books, nutritious snacks, and provide academic and social-emotional support. During 2023/24 grant cycle, student participation remained steady at 240 students, of which 144 were Solana Beach residents participating in programming. Casa de Amistad had the help of 225 local volunteers. Specifically, the grant funds were spent on the following:



• Kinder Program to College Curriculum	\$ 4,595.99
• Supplies & Books:	\$ 1,745.04
• Nutritious Snacks:	<u>\$ 732.55</u>
<b>Total:</b>	<b>\$ 7,073.58</b>

- 6. Community Resource Center:** The Community Resource Center was awarded \$5,000 for their Holiday Basket Program. The organization expended their funding in accordance with their grant to provide holiday baskets that provided assorted food items for participating households. This program served 1,084 participants, including 15 from Solana Beach, who received food, blankets and gifts during our Holiday Baskets program. Participants shopped for themselves and their families at Target in Encinitas, received food and gifts, and visited the adjacent resource fair. Specifically, the \$5,000 grant awarded was spent as follows:

• Holiday Basket Target purchase 11.07	\$ 2,931.32
• Holiday Basket Target purchase 11.14	<u>\$ 2,068.68</u>
<b>Total:</b>	<b>\$ 5,000.00</b>

- 7. Disconnect Collective:** Disconnect Collective was awarded \$3,000 for its adult swim program. During this grant period, Disconnect Collective was able to work with Boys & Girls Club to teach 15 adults from disadvantaged communities to swim over two 4-week periods. Specifically, grant funds were spent on the following:

• Adult swim lessons 10/1, 10/8, 10/14, 10/22	\$ 1,500.00
• Adult swim lessons 11/26, 12/3, 12/10, 12/17	<u>\$ 1,500.00</u>
<b>Total:</b>	<b>\$ 3,000.00</b>

- 8. La Colonia Community Foundation:** La Colonia Community Foundation was awarded \$6,000 for its Adelante Mujer and La Colonia Nature's Unplugged Programs as well as a Fentanyl Talk Conference. The Adelante Mujer held on April 6, 2024, was attended by 15 youth and 27 adults for a total of 42 citizens served. The program provided an empowering platform for young women and adults to engage in leadership development, educational workshops, and networking opportunities. Natures Unplugged Program held on April 13, 2024 offered an immersive outdoor experience, focusing on environmental education and wellness activities for 17 citizen participants. Participants engaged in guided nature walks, mindfulness exercises, and connecting through fun outdoor games. The event successfully promoted environmental stewardship and mental well-being. The Fentanyl Awareness Conference held on April 24, 2024 had 115 participants and raised awareness about the dangers of fentanyl and educate the community on prevention and intervention strategies. In total, the funds awarded La Colonia Community Foundation for the FY2023/24 grant cycle supported activities that benefitted 174 citizens.

Specifically, grant funds were spent on the following:

• Adelante Mujer Program	\$ 2,968.01
• La Colonia Nature's Unplugged Program	\$ 1,104.61



• Boys N' Girls – Fentanyl Talk Conference	\$ 122.07
• System Supplies (PA, Translation, Canopy)	<u>\$ 1,742.29</u>
<b>Total:</b>	<b>\$ 5,936.98</b>

There is \$63.02 remaining balance of La Colonia Foundations \$6,000 grant award. This amount is in part due to the returning of some unused items.

- 9. Pathways to Citizenship:** Pathways to Citizenship was awarded \$4,350 for to fund four (4) additional hours/week for Pathways' part-time volunteer coordinator, Alyssa Weeks. The additional hours funded by the grant enabled Alyssa to assist with the Pro Bono Expansion Project by implanting a robust recruitment, screening, intake, training and mentorship program in Pathways' Solana Beach office for legal volunteers with no experience or training in immigration law. During this grant period, the Project provided immigration law training and mentorship to volunteer attorneys and legal interns, which enabled Pathways to increase the number of qualified low-income immigrants impacted by Pathways' legal services. This Pro Bono Expansion Project enabled Pathways to engage, cross-train and mentor more than 17 volunteer attorneys and legal interns in immigration law, including 6 Solana Beach residents. These legal volunteers enabled Pathways' small legal staff to increase the number of qualified immigrant and refugee families Pathways advises and represents, including 21 immigrant families residing in Solana Beach.

Specifically, grant funds were spent on the following:

• Payroll expenses	<u>\$ 4,350.00</u>
<b>Total:</b>	<b>\$ 4,350.00</b>

- 10. Rancho Santa Fe Youth Soccer:** The Rancho Sante Fe Youth Soccer was awarded \$1,000 to assist in providing scholarships to youth in need. These funds were used to provide scholarships for two players in the competitive RSF Youth Soccer program who live in Solana Beach and met the requirements for receiving financial aid. Both recipients come from single family homes with 3+ siblings and one working parent. Each of the players received a \$500 scholarship that was credited towards their registration fees for the 2023/2024 seasonal year.

Specifically, grant funds were spent on the following:

• 2 Scholarships @ \$500	<u>\$ 1,000.00</u>
<b>Total:</b>	<b>\$ 1,000.00</b>

- 11. Solana Beach Civic & Historical Society:** The Solana Beach Civic and Historical Society was awarded \$6,000 to assist in the digitization of historical archives, developing videographies on notable and long-time citizens and improving world-wide access to these digital assets. The goal of the project is to make over 100 years of Solana Beach's collected history available online for future generations. During the grant period, the Solana Beach Civic & Historical Society expanded its website content, edited and published 72 historical testimonials on its YouTube Channel, and further digitized meetings, books, and other historical archives.



Specifically, grant funds were spent on the following:

• Alina Gonzalez Video Editor	\$ 5,000.00
• Website hosting/administrative fees	\$ 568.44
• 70 <sup>th</sup> Anniversary Accomplishments Booklets	\$ 216.57
• Digitize “The Service Eternal” book	\$ 158.46
• Google Drive Storage Fee	\$ 119.88
• YouTube Premium subscription	<u>\$ 15.99</u>
<b>Total:</b>	<b>\$ 6,079.34</b>

**12. Solana Beach Community Connections:** The Solana Beach Community Connections was awarded \$6,000 to provide rental assistance to vulnerable Solana Beach seniors. During the grant period, the Solana Beach Community Connections supported seniors with rent subsidies ranging from \$300 to \$425 per month beginning November 2023. The rental assistance went to five (5) vulnerable Solana Beach Seniors.

Specifically, grant funds were spent on the following:

• Senior Ross \$300 x 8 months (Nov-Jun)	\$ 2,400.00
• Senior Leeper \$300 x 5 months (Feb-Jun)	\$ 1,500.00
• Senior Gililand \$425 x 3 months (Apr-Jun)	\$ 1,275.00
• Senior Leone \$425 x 3 months (Apr-Jun)	\$ 1,275.00
• Senior Garret \$425 x 3 months (Apr-Jun)	<u>\$ 1,275.00</u>
<b>Total:</b>	<b>\$ 7,725.00</b>

Finally, the Council authorized \$11,000 of funding through the Public Arts Reserve Account for the Jaliscience Folkloric Academy grant proposal (\$5,000) and North Coast Repertory Theatre (NCRT) grant proposal (\$6,000). A brief summary of the program and costs is provided below:

**1. Jaliscience Folkloric Academy:** Jaliscience Folkloric Academy requested funding to assist in purchasing costumes and accessories related to new states of folklore: Oaxaca, Tijuana, Nayarit, Guerrero, Sinaloa. The program included costumes for 115 youth and 6 adults who learned about culture and traditions as well as prepared for various events around the City that allowed students a chance to demonstrate what they learned.

Specifically, grant funds were spent on the following:

• Costumes Designed:	\$ 4,343.35
• Shoes	\$ 509.89
• Costume Accessories:	<u>\$ 1,680.83</u>
<b>Total:</b>	<b>\$ 6,534.07</b>

**2. North Coast Repertory Theatre:** The North Coast Repertory Theatre requested funding to underwrite a portion of the expenses for the Theatre School student production of As You Like It and War of the Worlds. For this Community Grant Program



cycle, the NCRT was awarded \$6,000 for As You Like It and War of the Worlds. More than 500 members of the Solana Beach community saw the Theatre School's productions. The Theatre School serves nearly 2,000 students each year.

Specifically, grant funds were spent on the following:

• As You Like It – Stage Manager Mentor:	\$ 750
• As You Like It – Assistant Director:	\$ 1,000
• As You Like It – Costume Designer:	\$ 750
• War of the Worlds – Stage Manager Mentor:	\$ 750
• War of the Worlds – Assistant Director:	\$ 1,000
• War of the Worlds – Actor / Mentor:	\$ 750
• War of the Worlds – Costume Designer:	\$ 750
• War of the Worlds – Royalties:	<u>\$ 840</u>
<b>Total:</b>	<b>\$ 6,590</b>

### **FISCAL IMPACT:**

The FY 2023/24 Adopted Budget authorized \$40,000 for the Community Grant Program (\$15,000 from EDCO and \$25,000 from the General Fund). The funding allocated to the North Coast Repertory Theatre (\$6,000) and the Jaliscience Folkloric Acamedy (\$5,000) was appropriated from the Reserve Public Arts Account to the Contribution to Agencies expenditure account in the Coastal Business/Visitors TOT fund. The SFC schools allocated \$15,000 to the Community Grant Program to complete the applicant's requests.

City's FY 2023/24 Adopted Budget -	\$ 40,000
Public Arts Reserve Account -	\$ 11,000
<u>Santa Fe Christian Schools -</u>	<u>\$ 15,000</u>
<b>Total:</b>	<b>\$ 66,000</b>





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** June 26, 2024  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** **City Council Consideration of Resolution 2024-059 Adopting Adjustments to the Fiscal Year 2025 Adopted Budget.**

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### **BACKGROUND:**

On June 28, 2023, the City Council (Council) approved the Fiscal Years (FYs) 2024 and 2025 Annual Budgets. During the course of any year, and at the end of each fiscal year as new budgetary information becomes available, Staff presents updates to the Council for consideration when adjustments are recommended to the Adopted Budget. This item is a mid-budget update for consideration of Resolution 2024-059 (Attachment 1) adopting amendments to the FY25 Adopted Budget.

### **DISCUSSION:**

The City of Solana Beach's (City) Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council without a budget amendment. In addition, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations.

Staff is recommending the City Council authorize the Finance Director/City Treasurer to amend the FY25 Adopted Budget for certain revenue and expenditure appropriations. Specific amendments to the FY25 Adopted Budget are discussed below in detail and categorized by General Fund and other funds.

CITY COUNCIL ACTION:
_____
_____



## **General Fund Amendments:**

### **General Fund – Revenues**

Staff has analyzed revenues received by the City through May 2024. A trend analysis was performed to compare actual receipts received versus the annual budget. Any significant variances were analyzed in detail and projected through the next fiscal year. In a few cases, budget adjustments are being recommended based on other separate analyses or projections.

#### **General Fund Amendments – Revenues**

- **Property Tax**  
Collections for Property Tax continues to grow with the San Diego housing market. Projections by HDL Coren & Cone, the City's property tax consultant, show an estimated increase for FY 25 of 5.49% in Taxable Value in Solana Beach. Staff is recommending Property Tax revenue be increased by \$300,000 from \$9,996,980 to \$10,296,980.
- **Short-Term Vacation Rentals**  
The City has experienced higher than originally projected TOT from short-term vacation rentals. Due to this, Staff is recommending short-term vacation rental TOT revenue be increased by \$250,000 from \$832,832 to \$1,082,832.
- **Building Permits Revenue**  
Due to a high volume of permit activity, Staff is proposing a budget increase to the Building Permits category of \$150,000. This adjustment would increase Building Permit budgeted revenue from \$240,000 to \$390,000.
- **Business Registration**  
Based on the trend analysis and certificate renewals received during the 2024 renewal period, Staff is proposing an increase of \$45,000 to the Business Registration revenue category. This adjustment would increase the budgeted revenue from \$255,000 to \$300,000.

A summary of the recommended changes for General Fund revenues are listed in the following table:



**Proposed Revenue Budget Adjustments  
General Fund  
Fiscal Year 2025**

<u>Account</u>	<u>Additions/ (Deletions)</u>
Property Tax	\$ 300,000
Short Term Vacation Rental TOT	250,000
Building Permit Revenue	150,000
Business Registration	45,000
<b>Operational Revenues</b>	<b>\$ 745,000</b>
 <b>Total General Fund Revenues</b>	 <b>\$ 745,000</b>

**General Fund Amendments – Expenditures**

Staff has analyzed expenditure needs, trends, and contracts through May 2024 against currently adopted FY25 budgeted expenditures. Based on this analysis, Staff is recommending increases to General Fund expenditure accounts totaling \$499,260 as discussed below.

**Professional Services**

- Staff is requesting an increase of \$187,906 for professional services as follows:
  - \$150,000 for Buildings for increased services provided by EsGil, whose compensation is based on building permit and plan check revenue received
  - \$15,000 for City Council - Resolution 2024-025 for increased community grant funding
  - \$10,000 for Community Services – Resolution 2023-113 for E-bike Training and Diversion Program
  - \$2,000 for Parks & Recreation for La Colonia Movie Night
  - \$10,906 for Environmental Services & Public Facilities Maintenance for increased SEJPA contract and generator repairs

**Salaries & Benefits**

- Staff is requesting an increase of \$174,954 for salaries & benefits as follows:
  - \$77,504 for a FT Assistant Engineer position (Reso 2023-118)
  - \$8,560 for increased OT for Marine Safety due to increased beach/crowds/towers being staffed earlier this year
  - \$88,890 for the Recreation Programs Coordinator Position (Reso 2023-118)

**Equipment & Supplies**



- Staff is requesting an increase of \$6,400 for equipment & supplies as follows:
  - \$4,000 for Information Technology Department for increased costs related to antivirus protection
  - \$2,400 for Marine Safety Department for iPad upgrades, pressure washer, and Connect Teams, an online scheduling tool

### Transfers

- Staff is requesting an increase of \$130,000 for transfers to the CIP Fund from the Public Facilities Reserve as follows:
  - \$50,000 for City Hall repairs and improvements
  - \$80,000 for the Climate Action Plan implementation plan (EV Charging; Reach Code; )

A summary of the recommended changes for General Fund expenditures are listed in the following table:

## **Proposed Expenditure Budget Adjustments General Fund Fiscal Year 2025**

<u>Account</u>	<u>Additions/ (Deletions)</u>
<b>Salary and Benefits</b>	
Engineering	77,504
Marine Safety	8,560
Recreation	88,890
<b>Professional Services</b>	
Buildings	150,000
Community Services	10,000
City Council	15,000
Environmental Services	2,482
Parks & Recreation	2,000
Public Facilities Maintenance	8,424
<b>Equipment &amp; Supplies</b>	
Information Technology	4,000
Marine Safety	400
Marine Safety	2,000
<b>Transfers</b>	
Transfer to CIP Fund	130,000
<b><i>Total Operational Expenditures</i></b>	<b><u>\$ 499,260</u></b>

### Measure S Fund Amendments – Revenues



- Transaction & Use Tax

Measure S was approved by the voters in November 2022. Collection of Transaction & Use Tax revenue associated with Measure S began on April 1, 2023. After meeting with HDL advisers, Staff is recommending Measure S Tax revenue be increased by \$200,000 from \$4,488,000 to \$4,688,000.

### **Measure S Fund Amendments – Expenditures**

- Staff is requesting an increase of \$783,000 for transfer to Asset Replacement Fund as follows:
  - \$733,000 for Fire Asset Replacement Fund to move planned FY26 funding to FY25 to allow for Fire Department to prepay fire truck purchase to receive discount
  - \$50,000 for Parks & Recreation Asset Replacement Fund for purchase of a replacement vehicle which will be an EV model
- Staff is requesting an increase of \$530,000 for transfer to CIP Fund for Work Plan projects as follows:
  - \$80,000 for Highland Drive Median Project
  - \$450,000 for Santa Helena Neighborhood Trail Project

### **Other Fund Amendments**

The following amendments increasing expenditures to other funds are also recommended.



<b>Revenue Adjustments</b>		<b>Description</b>	<b>Amount</b>
Asset Replacement Fund		Measure S Fund transfer	\$ 783,000
CDBG Fund		Increased Grant Revenue - Reso 23-114	\$ 7,132
CIP Fund		Measure S Fund transfer	\$ 530,000
CIP Fund		General Fund - Public Facility Reserves transfer	\$ 130,000
		<b>Total Revenue Adjustments</b>	<b>\$ 1,450,132</b>
<b>Expenditure Adjustments</b>			
Asset Replacement - Codes		Portable radio purchase	9,000
Asset Replacement - Comm Dev		New conference table & chairs	5,000
Asset Replacement - Fire		SCBA purchase - move FY25 to FY24	(152,000)
Asset Replacement - Fire		Fire Truck purchase - move FY26 funds to FY25	733,000
Asset Replacement Fund - IT		Website project update & increased cost for computers	26,000
Asset Replacement Fund - MS		Increased cost of rescue water craft & outfitting	3,000
Asset Replacement Fund - MS		Increased cost of truck & outfitting (EV)	15,000
Asset Replacement Fund - Parks		Replacement Vehicle for Parks & Recreation (EV)	50,000
CDBG Fund		Updated to match increased award	7,132
CIP Fund		Work plan/CIP Projects	580,000
Fire Mitigation Fund		Class A uniform purchases & Plymovement update	35,600
Gas Tax		RTIP Amendment - Reso 2023-122	(36,000)
Public Safety Special Revenue Fund		Replacement Vehicle for Fire (EV)	60,000
RCTIP		RTIP Amendment - Reso 2023-122	36,000
Sanitation Fund		Increased SEJPA contract	123,638
Sanitation Fund		FT Assistant Engineer - Reso 2023-118	31,049
Sanitation Fund		Reduce CIP Budget for FY25 Pipeline Rehab	(150,000)
Self Insurance Fund		Increased insurance premiums	100,000
Street Lighting Fund		FT Assistant Engineer - Reso 2023-118	11,923
TOT 450 Fund		Work plan/CIP Projects	210,000
		<b>Total Expenditure Adjustments</b>	<b>\$ 1,698,342</b>
		<b>Total Other Funds</b>	<b>\$ (248,210)</b>

### **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA

### **FISCAL IMPACT:**

The adopted FY25 Budget initially projected a General Fund surplus of \$188,234. Since adoption on June 28, 2023, the budget has been adjusted by various resolutions to a projected surplus of \$10,534. With the FY25 Budget Update adjustments to revenues and expenditures as discussed above, the General Fund Budget would realize an increase of revenues of \$745,000 against expenditure increases of \$499,260, thereby increasing the projected operating surplus by \$245,740 to \$256,274. These changes are shown on the following table:



Adopted General Fund Revenues	\$ 24,265,232
Budget Adjustments & Transfers	-
<u>FY25 Revenue Adjustments</u>	<u>745,000</u>
<b>Total General Fund Revenues</b>	<b><u>\$ 25,010,232</u></b>
Adopted General Fund Expenditures & Transfers	\$ (24,076,998)
Budget Adjustments & Transfers	(177,700)
<u>FY25 Expenditure Adjustments</u>	<u>(499,260)</u>
<b>Total General Fund Expenditures</b>	<b><u>\$ (24,753,958)</u></b>
<b>Projected FY 2025 Surplus(Deficit)</b>	<b><u>\$ 256,274</u></b>

The adopted FY25 Budget initially projected a Measure S surplus of \$3,051,600 and there have been no budget adjustments by resolutions since its adoption on June 28, 2023. With the FY25 Budget Update adjustments to revenues and expenditures as discussed above, the Measure S Budget would realize an increase of revenues by \$200,000 against expenditure increases of \$1,313,000, thereby decreasing the projected operating surplus by \$1,113,000 to \$1,938,600. These changes are shown on the following table:

Adopted Measure S Fund Revenues	\$ 4,488,000
Budget Adjustments & Transfers	-
<u>FY 25 Revenue Adjustments</u>	<u>200,000</u>
<b>Total General Fund Revenues</b>	<b><u>\$ 4,688,000</u></b>
Adopted Measure S Fund Expenditures & Transfers	\$ (1,436,400)
Budget Adjustments & Transfers	-
<u>FY25 Expenditure Adjustments</u>	<u>(1,313,000)</u>
<b>Total General Fund Expenditures</b>	<b><u>\$ (2,749,400)</u></b>
<b>Projected FY 2025 Surplus(Deficit)</b>	<b><u>\$ 1,938,600</u></b>

**WORK PLAN:**

Fiscal Sustainability

**OPTIONS:**

- Approve Staff Recommendation
- Deny Staff Recommendation

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2024-059:

1. Approving revised appropriations to the Fiscal Year 2025 Adopted Budget.



2. Authorize the City Treasurer to amend the FY25 Adopted Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Alyssa Muto, City Manager

Attachments:

1. Resolution 2024-059
2. Revised FY 2025 CIP Plan
3. Five-Year CIP Plan



## **RESOLUTION 2024-059**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, REVISING FISCAL YEAR 2025 BUDGET**

**WHEREAS**, during the course of the fiscal year, new information becomes available to Staff which require adjustments to be made to the adopted budget; and

**WHEREAS**, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations; and

**WHEREAS**, the City's Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council, without a budget amendment; and

**WHEREAS**, the City Manager, in coordination with the Finance Director, reviewed and analyzed the revenues and expenditures of the Fiscal Year 2025 Adopted Budget and recommends certain amendments be made to the General Fund as well as other funds; and

**NOW THEREFORE BE IT RESOLVED**, by the City Council of the City of Solana Beach, California, does hereby resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council does hereby adopt the budgeted revenue, appropriations, and transfers amendments by fund for the City of Solana Beach for the fiscal year beginning July 1, 2024 and ending June 30, 2025 as set forth in the attached Exhibit A.
3. That the City Treasurer is authorized to amend Fiscal Year 2025 Adopted budget as further set forth in the attached Exhibit A.

**PASSED, APPROVED AND ADOPTED** by the City Council of the City of Solana Beach, California, this 26<sup>th</sup> day of June 2024, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –



\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



**Exhibit A**  
**Resolution 2024-059**

**GENERAL FUND**

		<b>Additions/ (Deletions)</b>
<b><u>Revenues</u></b>		
	Property Tax	\$ 300,000
	Short Term Vacation Rental TOT	\$ 250,000
	Building Permit Revenue	\$ 150,000
	Business Registration	\$ 45,000
	<b>Total General Fund Revenues</b>	<b>\$ 745,000</b>
<b><u>Expenditures</u></b>	<b><u>Description</u></b>	
Engineering	Salary & Benefits	\$ 77,504
Marine Safety	Salary & Benefits	\$ 8,560
Recreation	Salary & Benefits	\$ 88,890
Buildings	Professional Services	\$ 150,000
City Council	Professional Services	\$ 15,000
Community Services	Professional Services	\$ 10,000
Environmental Services	Professional Services	\$ 2,482
Parks & Recreation	Professional Services	\$ 2,000
Public Facilities Maintenance	Professional Services	\$ 8,424
Information Technology	Equipment & Supplies	\$ 4,000
Marine Safety	Equipment & Supplies	\$ 400
Marine Safety	Equipment & Supplies	\$ 2,000
Transfer to CIP Fund	Transfers	\$ 130,000
	<b>Total Operational Expenditures</b>	<b>\$ 499,260</b>
	<b>Total General Fund Budget Change</b>	<b>\$ 245,740</b>

**MEASURE S**

<b><u>Revenues</u></b>		
Measure S	Transaction & Use Tax	\$ 200,000
	<b>Total Revenue Adjustments</b>	<b>\$ 200,000</b>
<b><u>Expenditure Adjustments</u></b>		
Measure S to Asset Replacement	Transfers	\$ 783,000
Measure S to CIP Fund	Transfers	\$ 530,000
	<b>Total Expenditure Adjustments</b>	<b>\$ 1,313,000</b>
	<b>Total Measure S Budget Impact</b>	<b>\$ (1,113,000)</b>

**OTHER FUNDS**

<b><u>Revenues</u></b>	<b><u>Description</u></b>	
Asset Replacement Fund	Measure S Fund transfer	\$ 783,000
Asset Replacement Fund	Increased Grant Revenue - Reso 23-114	\$ 7,132
CIP Fund	Measure S Fund transfer	\$ 530,000
CIP Fund	General Fund - Public Facility Reserves transfer	\$ 130,000
	<b>Total Revenue Adjustments</b>	<b>\$ 1,450,132</b>
<b><u>Expenditure Adjustments</u></b>		
Asset Replacement - Codes	Portable radio purchase	\$ 9,000
Asset Replacement - Comm Dev	New conference table & chairs	\$ 5,000
Asset Replacement - Fire	SCBA purchase - move FY25 to FY24	\$ (152,000)
Asset Replacement - Fire	Fire Truck purchase - move FY26 funds to FY25	\$ 733,000
Asset Replacement Fund - IT	Website project update & increased cost for computers	\$ 26,000
Asset Replacement Fund - MS	Increased cost of rescue water craft & outfitting	\$ 3,000
Asset Replacement Fund - MS	Increased cost of truck & outfitting (EV)	\$ 15,000
Asset Replacement Fund - Parks	Replacement Vehicle for Parks & Recreation (EV)	\$ 50,000
CDBG Fund	Updated to match increased award	\$ 7,132
CIP Fund	Work plan/CIP Projects	\$ 580,000
Fire Mitigation Fund	Class A uniform purchases & Plymovement update	\$ 35,600
Gas Tax	RTIP Amendment - Reso 2023-122	\$ (36,000)
Public Safety Special Revenue Fund	Replacement Vehicle for Fire (EV)	\$ 60,000
RCTIP	RTIP Amendment - Reso 2023-122	\$ 36,000
Sanitation Fund	Increased SEJPA contract	\$ 123,638
Sanitation Fund	FT Assistant Engineer - Reso 2023-118	\$ 31,049
Sanitation Fund	Reduce CIP Budget for FY25 Pipeline Rehab	\$ (150,000)
Self Insurance Fund	Increased insurance premiums	\$ 100,000
Street Lighting Fund	FT Assistant Engineer - Reso 2023-118	\$ 11,923
TOT 450 Fund	Work plan/CIP Projects	\$ 210,000
	<b>Total Expenditure Adjustments</b>	<b>\$ 1,698,342</b>
	<b>Total Other Funds Budget Impact</b>	<b>\$ (248,210)</b>



**CITY OF SOLANA BEACH**  
**CAPITAL IMPROVEMENT PLAN**  
Revised FY 2025

Project Description	Total Budget	General Fund 459	Measure S Fund 110	Facilities Replacement Fund 140	Gas Tax Fund 202	Transnet Funds 225/228	Federal Grant obj 46600 Funds 240/246/270	SB1 Fund 247	TOT Sand Mitigation Fund 450	Sanitation Fund 509
<b>Street, Traffic, &amp; Storm Drain Projects</b>										
ADA Pedestrian Ramps	45,000						45,000			
Annual Pavement Management Program	1,100,000		390,000		200,000	210,000		300,000		
North Highway 101 Pedestrian Crossing	45,000								45,000	
Santa Helena Neighborhood Trail	450,000		450,000							
Storm Drain Improvements - Major	450,000	450,000								
Traffic Signal Upgrades Phase 2	230,000				230,000					
<b>Total</b>	<b>\$ 2,320,000</b>	<b>\$ 450,000</b>	<b>\$ 840,000</b>	<b>\$ -</b>	<b>\$ 430,000</b>	<b>\$ 210,000</b>	<b>\$ 45,000</b>	<b>\$ 300,000</b>	<b>\$ 45,000</b>	<b>\$ -</b>
<b>City Facilities Projects</b>										
City Hall Deferred Maint	75,000	50,000		25,000						
Council Chambers Upgrades	50,000	50,000								
Fire Station Deferred Maint (floor/cabinets)	10,000			10,000						
Fletcher Cove Showers	60,000								60,000	
LCCC/Museum	60,000			60,000						
Marine Safety Center Deferred Maint (roof)	5,000			5,000						
<b>Total</b>	<b>\$ 260,000</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 60,000</b>	<b>\$ -</b>
<b>Other Projects</b>										
City-Wide Tree planting project	10,000	10,000								
Climate Action Plan Implementation	100,000	100,000								
Highland Dr. Median Improvements	80,000		80,000							
Highway 101 Tree Grates	25,000								25,000	
S. Acacia/S. Sierra Sidewalk Improvements	80,000								80,000	
<b>Total</b>	<b>\$ 295,000</b>	<b>\$ 110,000</b>	<b>\$ 80,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 105,000</b>	<b>\$ -</b>
<b>Sanitation Projects</b>										
Sanitary Sewer Pipeline Rehabilitation	500,000									500,000
<b>Total</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>
<b>GRAND TOTAL</b>	<b>\$ 3,375,000</b>	<b>\$ 660,000</b>	<b>\$ 920,000</b>	<b>\$ 100,000</b>	<b>\$ 430,000</b>	<b>\$ 210,000</b>	<b>\$ 45,000</b>	<b>\$ 300,000</b>	<b>\$ 210,000</b>	<b>\$ 500,000</b>



**CITY OF SOLANA BEACH**  
**SUMMARY OF CAPITAL IMPROVEMENT FUNDS**  
**5 YEAR CAPITAL IMPROVEMENT FORECAST**  
**FY 2025 - FY 2029**

	FY 2025 Adopted Budget	FY 2025 Adjustments	FY 2024 Rollovers	FY 2025 Revised Budget	FY 2026 Forecast	FY 2027 Forecast	FY 2028 Forecast	FY 2029 Forecast	TOTAL
<b>Street, Traffic, &amp; Storm Drain Projects</b>									
ADA Pedestrian Ramps	45,000			45,000	45,000	45,000	45,000		180,000
Annual Pavement Management Program	1,100,000		1,100,000	2,200,000	710,000	710,000	710,000		4,330,000
Cliff Street & Rosa Street Ped Bridge Repairs			75,000	75,000					75,000
Glencrest Sidewalk Installation			75,000	75,000					75,000
Lomas Santa Fe Corridor Project - East			7,000,000	7,000,000					7,000,000
Lomas Santa Fe Corridor Project - West				-	8,000,000				8,000,000
Miscellaneous Traffic Calming Projects			50,000	50,000					50,000
North Highway 101 Pedestrian Crossing		45,000		45,000					45,000
Santa Helena Neighborhood Trail		450,000		450,000					450,000
Storm Drain Full Capture Devices			50,000	50,000					50,000
Storm Drain Improvements - Major	450,000		390,000	840,000					840,000
Traffic Signal Upgrades Phase 1			45,000	45,000					45,000
Traffic Signal Upgrades Phase 2	230,000			230,000	230,000	230,000	230,000		920,000
<b>Total</b>	1,825,000	495,000	8,785,000	11,105,000	8,985,000	985,000	985,000		22,060,000
<b>City Facilities Projects</b>									
City Hall Deferred Maint	25,000	50,000	25,000	100,000	25,000	25,000	25,000		175,000
City Hall Elevator			100,000	100,000	-	-	-		100,000
Council Chambers Upgrades		50,000		50,000					50,000
FCCC and El Viento Parks Renovation			200,000	200,000	-	-	-		200,000
Fire Station Deferred Maint (floor/cabinets)	10,000		50,000	60,000	10,000	10,000	10,000		90,000
Fire Station Generator			250,000	250,000					250,000
Fletcher Cove Access Ramp			150,000	150,000					150,000
Fletcher Cove Dissipator			40,000	40,000					40,000
Fletcher Cove Showers		60,000		60,000					60,000
Glenmont Neighborhood Park			350,000	350,000					350,000
LCCC/Museum	60,000			60,000					60,000
Marine Safety Building			500,000	500,000					500,000
Marine Safety Deferred Maint	5,000			5,000	5,000	5,000	5,000		20,000
<b>Total</b>	100,000	160,000	1,665,000	1,925,000	40,000	40,000	40,000		2,045,000
<b>Other Projects</b>									
ADU Ready Program			100,000	100,000					
City-Wide Tree planting project	10,000			10,000	10,000	10,000	10,000		40,000
Climate Action Plan - Implementation		100,000		100,000					100,000
Climate Action Plan Update	20,000	(20,000)		-				100,000	100,000
Highland Dr. Median Improvements		80,000		80,000					80,000
Hwy 101 Tree Grates		25,000		25,000					25,000
S. Acacia/S. Sierra Sidewalk Improvements		80,000		80,000					80,000
<b>Total</b>	30,000	265,000	100,000	395,000	10,000	10,000	10,000	100,000	425,000
<b>Sanitation Projects</b>									
Sanitary Sewer Pipeline Rehabilitation	650,000	(150,000)	360,000	860,000	500,000	500,000	500,000		2,360,000
<b>Total</b>	650,000	(150,000)	360,000	860,000	500,000	500,000	500,000		2,360,000
<b>GRAND TOTAL</b>	<b>2,605,000</b>	<b>770,000</b>	<b>10,910,000</b>	<b>14,285,000</b>	<b>9,535,000</b>	<b>1,535,000</b>	<b>1,535,000</b>	<b>100,000</b>	<b>26,890,000</b>