



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# AGENDA

**Joint REGULAR Meeting**  
**Wednesday, April 24, 2024 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



## **PUBLIC MEETING ACCESS**

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

## **WATCH THE MEETING**

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

## **AGENDA MATERIALS**

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org). Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

## **PUBLIC COMMENTS**

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another

individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

**SPECIAL ASSISTANCE NEEDED**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<b><u>CITY COUNCILMEMBERS</u></b>		
<b>Lesa Heebner</b> Mayor		
<b>Jewel Edson</b> Deputy Mayor / Councilmember District 3		<b>Kristi Becker</b> Councilmember District 2
<b>Jill MacDonald</b> Councilmember District 4		<b>David A. Zito</b> Councilmember District 1

Dan King  
Interim City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

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**SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

**READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

**CALL TO ORDER AND ROLL CALL:**

**CLOSED SESSION REPORT:**

**FLAG SALUTE:**

**APPROVAL OF AGENDA:**

**PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

- San Diego County Fair

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.  
*None at the posting of this agenda*

## **ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

## **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.9.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

#### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on March 13, 2024 and March 27, 2024.

#### **[Item A.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for March 23, 2024 – April 5, 2024.

#### **[Item A.2. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.3. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. Street Maintenance & Repair Project Fiscal Year 2022-23 Notice of Completion.** (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2024-004**:
  - a. Authorizing the City Council to accept, as complete, the FY 2022-23 Street Maintenance & Repair Project, Bid No. 2023-07, performed by Quality Construction & Engineering.
  - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.4. Report \(click here\)](#)

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**A.5. Security and Alarm Monitoring Services.** (File 0700-40)

Recommendation: That the City Council

1. Adopt **Resolution 2024-026**:
  - a. Authorizing the City Manager to execute a Professional Services Agreement, on behalf of the City, with Rancho Santa Fe Security for security and alarm monitoring services in Fiscal Year 2024/25 in an amount not to exceed \$17,000 for Fiscal year 2024/25 from account 1006560-65300.
  - b. Authorizing the City Manager to extend the agreement up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
  - c. Authorizing the City Manager to increase the annual not to exceed amount by 5% for FY 2025/26, 4.8% for FY 2026/27, 4.5% for FY 2027/28, 4.3% for FY 2028/29.
  - d. Authorizing the City Treasurer to amend the Fiscal Year 2024/25 Budget accordingly.

[Item A.5. Report \(click here\)](#)

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**A.6. Trash Abatement Services.** (File 0700-25)

Recommendation: That the City Council

1. Adopt **Resolution 2024-037**:

- a. Authorizing the City Manager to execute a Professional Services Agreement with PRIDE Industries, in an amount not to exceed \$51,599.69 for FY 2024/25, for trash abatement, minor landscaping and other duties as assigned in public areas to be split between Street Sweeping account 1006550-65300 and Public Facilities account 1006570-65300.
- b. Authorizing the City Manager to extend the agreement for up to four additional one-year terms at the City's option in an amount not to exceed \$51,599.69 per year.
- c. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

[Item A.6. Report \(click here\)](#)

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**A.7. Street Maintenance and Repairs Project Fiscal Year 2023-24.** (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2024-043**:

- a. Approving the list of streets scheduled for maintenance and repairs as part of the 2023/24 Street Maintenance and Repairs Project.
- b. Authorizing the City Engineer to advertise for construction bids for the 2023/24 Street Maintenance and Repairs Project.

[Item A.7. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.8. Americans with Disability Act (ADA) Pedestrian Ramps.** (File 0820-20)

Recommendation: That the City Council

1. Adopt **Resolution 2024-041**:

- a. Awarding a construction contract to LC Paving & Sealing in the amount of \$54,300 for the ADA Pedestrian Ramps, Bid No. 2024-05.
- b. Approving an amount of \$5,430 for construction contingency.
- c. Authorizing the City Manager to execute the construction contract on behalf of the City.
- d. Appropriating \$6,921 to the Federal Grants revenue account and to the ADA Pedestrian Ramps CIP project, both in the CDBG fund.
- e. Appropriating \$7,809 to the ADA Pedestrian Ramps CIP project from Gas Tax.
- f. Authorizing the City Treasurer to amend the FY 2023/24 Adopted Budget accordingly.

[Item A.8. Report \(click here\)](#)

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**A.9. Temporary Lifeguard Supervisor Position Addition.** (File 0510-00)

Recommendation: That the City Council

1. Approve **Resolution 2024-044** approving the Temporary/Seasonal Lifeguard Supervisor classification and updating the FY 2023/2024 Temporary/Part-Time/Seasonal Salary Schedule 6 accordingly.

[Item A.9. Report \(click here\)](#)

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**NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)**

**B. PUBLIC HEARINGS:** (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 718-732 Stevens Avenue, Applicant: 3981 Garfield St. LLC, Case No: DRP22-003/SMP22-001/SDP22-001, APN: 298-164-10 & 13 .** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and Major Subdivision. Therefore, should the City Council be able to make the findings to approve the DRP and SMAP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15332 of the State CEQA Guidelines; and
3. If the City Council can make the requisite findings and approve the Project, adopt **Resolution 2024-045** conditionally approving a DRP, SMAP, and SDP for the Stevens 13 Avenue Project at 718-726 Stevens Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

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### **C. STAFF REPORTS: (C.1.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

#### **C.1. Public Right-of-Way Parkway Surface Alternatives. (File 0820-18)**

Recommendation: That the City Council

1. Receive report, discuss and provide direction, as necessary.

#### **[Item C.1. Report \(click here\)](#)**

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### **WORK PLAN COMMENTS:**

*Adopted June 28, 2023*

### **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

### **COUNCIL COMMITTEE REPORTS: [Council Committees](#)**

#### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary?-Heebner

#### **STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson

- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

**CITIZEN COMMISSION(S)**

- a. Climate Action Commission – Zito, Becker

**ADJOURN:**

***Next Regularly Scheduled Meeting is May 8, 2024***

*Always refer to the City’s website Event Calendar for an updated schedule or contact City Hall. [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) 858-720-2400*

**AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA }  
 COUNTY OF SAN DIEGO } §  
 CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the April 24, 2024 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on April 17, 2024 at 3:30 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., April 24, 2024, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk  
 City of Solana Beach, CA

**UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission’s Agenda webpage. See the [Citizen Commission’s Agenda webpages](#) or the City’s Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



## MINUTES

Joint Meeting - Closed Session

Wednesday, March 13, 2024 5:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

### CITY COUNCILMEMBERS

**Lesa Heebner**

Mayor

**Jewel Edson**

Deputy Mayor / Councilmember District 3

**Jill MacDonald**

Councilmember District 4

**Kristi Becker**

Councilmember District 2

**David A. Zito**

Councilmember District 1

**Daniel King**

Interim City Manager

**Johanna Canlas**

City Attorney

**Angela Ivey**

City Clerk

### **CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito

Absent: None

Also Present: Daniel King, Interim City Manager  
Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

### **CLOSED SESSION:**

**1. PUBLIC EMPLOYEE**

Pursuant to Government Code Section 54957  
City Manager.

**2. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION**

Pursuant to Government Code Section 54956.9(d)(1)  
Homayoon Noroozi v. City of Solana Beach et al (Case 37-2022-00048780-CU-WM-NC)

**3. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)  
One (1) case

**Action: No reportable action.**

### **ADJOURN:**

Mayor Heebner adjourned the meeting at 6:10 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



**CITY OF SOLANA BEACH**  
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# MINUTES

**Joint REGULAR Meeting**

**Wednesday, March 13, 2024 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California



**Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.**

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**CITY COUNCILMEMBERS**

**Lesa Heebner**  
Mayor

**Jewel Edson**  
Deputy Mayor / Councilmember District 3

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Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

Dan King  
Interim City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

**SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

**READING OF ORDINANCES AND RESOLUTIONS:**

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**CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 6:17 p.m.

- Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito
- Absent: None
- Also: Dan King, Interim City Manager
- Present: Johanna Canlas, City Attorney
- Angela Ivey, City Clerk
- Mo Sammak, City Engineer/Public Works Dir.
- Rachel Jacobs, Finance Dir.
- Joseph Lim, Community Development Dir.

**CLOSED SESSION REPORT:** None

**FLAG SALUTE:**

**APPROVAL OF AGENDA:**

**ORAL COMMUNICATIONS:** None

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

**COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

**A. CONSENT CALENDAR:** (Action Items) (A.1. - A.4.)

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*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

**A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on February 6, 2024, February 7, 2024, and February 14, 2024.

**A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 10, 2024 – February 23, 2024.

**[Item A.2. Report \(click here\)](#)**

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**A.3. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

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**A.4. Fire Station Garage Door Replacement Project.** (File 0700-25)

Recommendation: That the City Council

1. Adopt **Resolution 2024-020**:
  - a. Authorizing the City Council to accept, as complete, the Fire Station Garage Door Replacement Repairs Project, Bid No. 2022-11, constructed by National Garage Door Co.
  - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.4. Report \(click here\)](#)

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**B. PUBLIC HEARINGS:** (B.1. – B.2.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 322 N. Granados Ave., Applicant: Elise Dabby and Owen Nieder, Case: DRP23-010, SDP23-012, APN: 263-391-15.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-024** conditionally approving a DRP and SDP for an interior

remodel and a square footage addition to the existing single-family residence and perform associated site improvements at 322 N. Granados Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

[Item B.1. Supplemental Docs \(updated 3-13-24 at 4:30pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Dan King, Interim City Manager, introduced the item.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Council and Staff discussed grading, entry gate monument height, no VAC (View Assessment Commission) submittals and story poles.

Craig Frieauf, Applicant's Architect, addressed safety issues related to driveway visibility, the fence height, and the fence would be open 80% rather than closed.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Council, Applicant, and Staff discussed fence height, landscape design, and neighbor impact.

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve and that the inclusive southern fence would be 80% open to light and air. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**B.2. Public Hearing: 821 Steven Ave., Applicant: SOHI Affordable LP, TEFRA Hearing.** (File 0600-40)

Recommendation: That the City Council

1. Conduct the Public Hearing and consider adoption of **Resolution 2024-021** approving the issuance of the Bonds by the CMFA for the benefit of SOHI Affordable LP (the "Borrower") a partnership of which H.G. Fenton Property Company (the "Developer") or a related person to the Developer is the general partner, to provide for the financing of the Project. Such adoption is solely for the purposes of satisfying the requirements of TEFRA, the Code and the California Government Code Section 6500 (and following).

[Item B.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Dan King, Interim City Manager, introduced the item.

Joe Lim, Community Development Dir., provided a brief overview of the financing means and its implications.

David Gatscke, Fenton, said he did not have a formal presentation and sought support for the tax-exempt financing mechanism.

Council and Applicant discussed that the project's timeline was a balancing act between community desires and construction impacts.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Edson to approve and allocate any funds received from the issuance to the affordable housing fund. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

### **C. STAFF REPORTS:** (C.1. – C.2.)

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

#### **C.1. Highway 101 North End Pedestrian Crossing Update.** (File 0860-05)

Recommendation: That the City Council

##### 1. Adopt **Resolution 2024-027:**

- a. Authorizing the City Manager to execute an amendment to the Professional Services Agreement, in the amount of \$20,000, with STC Traffic Inc., for as-needed traffic engineering services, for a not to exceed amount of \$45,000 for Fiscal Year 2023/24.
- b. Authorizing an appropriation of \$20,000 from the Traffic Safety Professional Services Budget Account 1006540.65300.

[Item C.1. Report \(click here\)](#)

[Item C.1. Supplemental Docs \(updated 3-13-24 at 10:15am\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Dan King, Interim City Manager,

Mo Sammak, Engineering/Public Works Dir., presented a PowerPoint (on file).

Council and Staff discussed that the term "not warranted" indicated that the proposed crossing did not meet the traffic signal warrant analysis, the potential reduction of the speed limit using red flashing lights instead of yellow at pedestrian crossings, the standard

traffic control protocols regarding flashing lights and signaled crossings, emphasizing safety considerations, and that lane reduction space could be used by the Coastal Rail Trail (CRT).

Council and Staff continued discussions regarding bench placement, safety lights illuminating walkways to make pedestrians more visible at night, landscaping, bike lane designs, parking, and pedestrian crossing signals.

Mayor Heebner recessed the meeting at 7:30 p.m. for a break and reconvened at 7:35 p.m.

Shawna McGarry, representing BikeWalkSolana expressed gratitude for the presentation and her support for the crossing infrastructure project including the narrowing lanes, traffic calming measures and safety for pedestrians, runners, and cyclists, the bike lane adjustment with two different types of cyclists for fast and slower cyclists, funding, and collaboration.

Kristin Brinner stated her gratitude for Council's prioritization of this crossing project even though a stop light was not supported, and suggested clear directional signage to ensure pedestrians and cyclists stay in the appropriate lanes and travel in the correct direction to enhance safety.

Carol Jensen said that she represented several neighbors along S. Rios, that they support the crosswalk and a rapid flashing light to enhance safety, their confusion about the need to lose a lane of traffic, reducing the speed limit to 25 mph, and that they support a basic crosswalk without altering the road layout.

Jason Stack explained that reducing the road from four lanes to two lanes decreases the potential for conflicts between pedestrians and vehicles, that reducing the road width by 50% significantly lowers the risk of accidents, mentioned his experiences with layouts in Encinitas and Del Mar, and that traffic studies showed that the two-lane configuration could handle the current traffic volume efficiently including peak traffic periods such as Saturdays and summertime.

Council acknowledged the public's interest and input, their support for the project, various design elements including lane reduction, bike lanes, traffic calming measure, pedestrian safety features, the importance of ensuring safe and efficient traffic flow while accommodating the needs of pedestrians and cyclists, the use of a sidewalk expansion improving pedestrian access and safety, and exploring grant funding opportunities including active transportation grants.

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

## **C.2. Community Grant Program – Fiscal Year (FY) 2024-25.** (File 0330-25)

Recommendation: That the City Council

1. Approve **Resolution 2024-025** authorizing the FY 2024-25 Community Grant Program.

[Item C.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Dan King, Interim City Manager, presented a PowerPoint (on file).

Council and Staff discussed varying increases from \$10,000 to \$20,000

**Motion:** Moved by Councilmember MacDonald and second by Mayor Heebner to approve and increase the funding allocation to \$50,000. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**WORK PLAN COMMENTS:**

*Adopted June 28, 2023*

**COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES:** (outside agencies, appointed by this Council)

**STANDING COMMITTEES:** (All Primary Members) (*Permanent Committees*)

**CITIZEN COMMISSION(S)**

**ADJOURN:**

Mayor Heebner adjourned the meeting at 8:05 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,  
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



## MINUTES

Joint Meeting - Closed Session

Wednesday, March 27, 2024 5:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

### CITY COUNCILMEMBERS

**Lesa Heebner**

Mayor

**Jewel Edson**

Deputy Mayor / Councilmember District 3

**Jill MacDonald**

Councilmember District 4

**Kristi Becker**

Councilmember District 2

**David A. Zito**

Councilmember District 1

**Daniel King**

Interim City Manager

**Johanna Canlas**

City Attorney

**Angela Ivey**

City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito

Absent: None

Also Present: Daniel King, Interim City Manager  
Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

### CLOSED SESSION:

#### **1. CONFERENCE WITH REAL PROPERTY NEGOTIATOR**

#### **2. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION**

Pursuant to Government Code Section 54956.9(d)(1)

a) Homayoon Noroozi v. City of Solana Beach et al (Case 37-2022-00048780-CU-WM-NC)

b) MacDonald v. City of Solana Beach et al (Case 37-2023-00038867-CU-PO-CTL)

c) City of Solana Beach, et al v. 22nd District Agricultural Association, et. al (Case No. 37-2024- 00011380-CU-TT-CTL)

#### **3. PUBLIC EMPLOYEE APPOINTMENT**

Pursuant to Government Code Section 54957

Position: City Manager

**ACTION: Council unanimously appointed Alyssa Muto as the new City Manager.**

### ADJOURN:

Mayor Heebner adjourned the meeting at 6:01 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

**MINUTES**

**Joint REGULAR Meeting**

**Wednesday, March 27, 2024 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



**CITY COUNCILMEMBERS**

**Lesa Heebner**  
Mayor

**Jewel Edson**  
Deputy Mayor / Councilmember District 3

**Kristi Becker**  
Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

Dan King  
Interim City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

**SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

**READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

**CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 6:07 p.m.

- Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito
- Absent: None
- Also Dan King, Interim City Manager
- Present: Johanna Canlas, City Attorney
- Angela Ivey, City Clerk
- Mo Sammak, City Engineer/Public Works Dir.

Rachel Jacobs, Finance Dir.  
Joseph Lim, Community Development Dir.

### **CLOSED SESSION REPORT:**

Mayor Heebner reported that the City Council has selected Alyssa Muto as the City's next City Manager and provided an overview of her background and experience, highlighting her extensive expertise in sustainability, land use planning, mobility design, and community engagement.

### **FLAG SALUTE:**

#### **C. STAFF REPORTS: (C.3.)**

#### **C.3. Appointing New City Manager, Adopting the Corresponding Salary Schedule for the City Manager, and Authorizing the Mayor to Execute the City Manager Employment.** (File 0500-00) – added 3-24-24

Recommendation: That the City Council

1. Adopt **Resolution 2024-038** appointing the new City Manager and authorizing the Mayor to execute an employment agreement with an annual salary of \$250,000.00, monthly automobile allowance of \$500.00, in addition to the employee benefit programs and plans for which the Executive Management Group is eligible and adopt the corresponding salary schedule.

#### **[Item C.3. Report \(click here\)](#)**

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Johanna Canlas, City Attorney, presented the terms of the employment agreement, including salary, benefits, and other compensation details.

**Motion:** Moved by Mayor Heebner and second by Deputy Mayor Edson to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Alyssa Muto expressed her gratitude and excitement for the opportunity to serve as City Manager and shared her commitment to working collaboratively with the Council, Staff, and the community to progress the City's goals and address its challenges.

### **APPROVAL OF AGENDA:**

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

### **ORAL COMMUNICATIONS:** None

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council

on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

### **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

#### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

#### **A.1. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 24, 2024 – March 08, 2024.

[Item A.1. Report \(click here\)](#)

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

#### **A.2. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

#### **A.3. Solana Beach Employees' Association – Marine Safety Unit (SBEA-MSU) Side Letter Agreement (Out of Class Assignment).** (File 0530-30)

Recommendation: That the City Council

1. Approve **Resolution 2024-034** ratifying the Side Letter Agreement with SBEA-MSU employees.

[Item A.3. Report \(click here\)](#)

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**A.4. 2023 Housing Element Annual Progress Report & Housing Successor Annual Report – Fiscal Year (FY) 2022-23.** (File 0630-10)

Recommendation: That the City Council

1. Adopt **Resolution 2023-039** approving the 2023 Housing Element Annual Progress Report and the 2022/23 Housing Successor Annual Report as submitted and direct City Staff to file the report with the California Department of Housing and Community Development and the Governor's Office of Planning and Research.

[Item A.4. Report \(click here\)](#)

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**B. PUBLIC HEARINGS:** (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 840 Hernandez St., Applicant: Noylan Dunn Pulaski, Case: TE23-003, APN: 298-134-14.** (File 0600-40)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. If the City Council can make the required findings, adopt **Resolution 2024-028**, approving the request for a Time Extension for approvals and entitlements in Case No. 17-18-13 DRP/SDP and setting the expiration date on January 13, 2025.

[Item B.1. Report \(click here\)](#)

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Dan King, Interim City Manager, introduced the item.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Ms. Pulaski, Applicant, stated that the extension was due to family issues and dynamics but that they were ready to move forward.

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Zito to close the public hearing. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

### **C. STAFF REPORTS: (C.1. – C.2.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

#### **C.1. Fiscal Year 2023 Annual Comprehensive Financial Report (ACFR).** (File 0310-22)

Recommendation: That the City Council

1. Accept and file the City of Solana Beach Annual Comprehensive Financial Report (ACFR) for the fiscal year July 1, 2022 – June 30, 2023.
2. Accept and file The Auditor's Communication with Those Charged with Governance letter.

#### [Item C.1. Report \(click here\)](#)

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Dan King, Interim City Manager, introduced the item.

Shannon Ayala, Davis Farr, presented a PowerPoint (on file) reviewing the audit findings.

Rachel Jacobs, Finance Director, presented a PowerPoint (on file) reviewing the ACFR.

Council and Staff discussed pension liability and market returns.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Edson to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

## C.2. La Colonia Master Plan. (File 0720-10)

Recommendation: That the City Council

1. Receive the La Colonia Master Plan update and provide direction as may be needed.
2. Adopt **Resolution 2024-015** authorizing the City Manager to execute an amendment to the Professional Services Agreement with Van Dyke Landscape Architects extending the Agreement for two additional years and increasing the compensation, in an amount not to exceed \$70,000, for the update the La Colonia Master Plan, which would incorporate the vacant City-owned lot north of the park.
3. Authorize an appropriation of \$70,000 from the General Fund – Undesignated Reserves into the project account for the La Colonia Master Plan Update.
4. Authorize the City Treasurer to amend the FY 2023/24 Adopted Budget accordingly.

### [Item C.2. Report \(click here\)](#)

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Dan King, Interim City Manager, introduced the item.

Dan Goldberg, Principal Civil Engineer, presented a PowerPoint (on file).

Denise Armijo and Irina Koopman, VDLA Consultants, presented a PowerPoint (on file).

Marineke Vandervort, CEO of the Boys Girls Club of San Dieguito, spoke about the interest in having the Boys & Girls Club activities located in the Community Center, that they needed approximately 1,500 – 2,500 sq. ft.

Gloria Castellanos, Clubhouse Manager, said that most families were within walking distance of La Colonia but it was difficult for them to go to the Boys & Girls Club main location on Lomas Santa Fe and that they were in need of their own space for La Colonia services to meet the Boys and Girls Club's regulations and guidelines on safety of the children.

Council and Staff discussed expanding the picnic area, the community garden, moving the museum to an ideal place where it will still attract visitors, potential affordable housing above the new building, restroom rules with children, club atmosphere, age friendly, multigenerational tutoring or programming, street safety with seniors and children away from the main traffic artery, pickleball courts location, that moving the museum would likely be safe and keep the building in intact, that Site Study 2 loses space to a useful driveway, that Study 1 contains the best land use and the potential for more shade, to explore the possibility of moving the museum to the existing pickleball area, potable water availability for the splash zone and whether recycled water would be used for the splash zone and community garden, implementing diagonal parking on Stevens Avenue to maximize parking space, that an additional community garden may increase the load on the Seaweeders who have limited volunteers, proceeding with grading and sodding the new property to make it usable for the Boys & Girls Club until the permanent implementation of the project, the importance of stakeholder Mira Costa and its need for classrooms for citizenship classes and parenting

classes, seeking partnership with the Boys & Girls Club and the community for funding, and the San Diego Senior Community Foundation's Master Plan for senior centers and potential grant opportunities for La Colonia.

Joe Mansfield, R & T Architects representative, spoke about examples of amenities and features such as the Cottonwood Creek Park in Encinitas and the use of in-person caretaker unit at the park, emphasizing the importance of having staff on-site for maintenance and oversight, and La Costa Canyon High School's incorporation of intergeneration sports such as cornhole, outdoor ping pong tables, and a bocce ball court, which are activities that appeal to a wide range of ages, and consider creating a "pocket park" dedicated to these activities to provide a space for community members to engage in recreational activities together.

**Motion:** Moved by Deputy Mayor Edson and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

### **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

### **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

#### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

#### **STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald



- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson
- CITIZEN COMMISSION(S)**
- a. Climate Action Commission – Zito, Becker

**ADJOURN:**

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**Next Regularly Scheduled Meeting is April 10, 2024**

*Always refer to the City's website Event Calendar for an updated schedule or contact City Hall. [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) 858-720-2400*

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**AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA }  
COUNTY OF SAN DIEGO } §  
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the March 27, 2024 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on March 20, 2024 at 2:45 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., March 27, 2024, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk  
City of Solana Beach, CA

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**UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Register of Demands

## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

### **Register of Demands: 03/23/2024 through 04/05/2024**

Check Register - Disbursement Fund (Attachment 1)		\$	769,801.82
Net Payroll Retiree Health	April 3, 2024		3,143.00
Net Payroll Staff O20	March 29, 2024		<u>257,539.82</u>
<b>TOTAL</b>		<b>\$</b>	<b><u>1,030,484.64</u></b>

## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for March 23, 2024 through April 5, 2024 reflects total expenditures of \$1,030,484.64 from various City sources.

## **WORK PLAN:**

N/A

CITY COUNCIL ACTION: \_\_\_\_\_  
 \_\_\_\_\_

**OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read "Daniel King". The signature is fluid and cursive, with a large initial "D" and "K".

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Daniel King, Interim City Manager

Attachments:

1. Check Register – Disbursement Fund



# City of Solana Beach

## Register of Demands

3/23/2024 - 4/5/2024

Department Vendor	Description	Date	Check/EFT Number	Amount
<b>100 - GENERAL FUND</b>				
LOCO VIENTO TRUST	RFND-DRP19-011/SDP19-012	03/28/2024	106480	\$535.00
LOCO VIENTO TRUST	RFND-DRP19-011/SDP19-012	03/28/2024	106480	\$4,632.75
SAN DIEGO COUNTY SHERIFF'S DEPT.	FEB 24-CR TOW FEE	03/28/2024	106484	(\$164.13)
IAFF-MERP	MAR 24-TRUST PAYMENT	03/28/2024	9001367	\$4,975.00
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O20	03/28/2024	9001366	\$19,427.87
FIDELITY SECURITY LIFE INSURANCE COMPANY	APR 24-VISION	03/28/2024	106478	\$479.96
AFLAC	MARCH 24	03/28/2024	106469	\$874.26
SELF INSURED SERVICES COMPANY	APR 24- DENTAL	03/28/2024	9001364	\$2,951.30
INSTATAX	O20 TAX PAYMENT	03/27/2024	990120300	\$29,648.22
INSTATAX	O20 TAX PAYMENT	03/27/2024	990120300	\$996.48
INSTATAX	O20 TAX PAYMENT	03/27/2024	990120300	\$7,887.02
INSTATAX	O20 TAX PAYMENT	03/27/2024	990120300	\$11,220.20
INSTATAX	O20 TAX PAYMENT	03/27/2024	990120300	\$2,253.78
PAYMENTUS CORPORATION	FEBRUARY 24	04/05/2024	106509	\$582.72
SELF INSURED SERVICES COMPANY	APRIL 24-LIFE&ADD INS	04/05/2024	9001371	\$1,218.35
SELF INSURED SERVICES COMPANY	APRIL 24-SUPP LIFE INS	04/05/2024	9001371	\$350.75
SELF INSURED SERVICES COMPANY	APRIL 24-LTD INSURANCE	04/05/2024	9001371	\$1,122.10
<b>TOTAL GENERAL FUND</b>				<b>\$88,991.63</b>
<b>1005150 - CITY CLERK</b>				
CORODATA RECORDS MANAGEMENT, INC	NOV 23-STORAGE/SHREDDING	03/28/2024	106471	\$985.91
CORODATA RECORDS MANAGEMENT, INC	FEB 24-STORAGE/SHREDDING	03/28/2024	106471	\$994.04
UT SAN DIEGO - NRTH COUNTY	DEC 23-CITIZEN COMM RECRUITMENT	03/28/2024	106488	\$260.00
UT SAN DIEGO - NRTH COUNTY	NOV 23-CITIZEN COMM RECRUITMENT	03/28/2024	106488	\$260.00
STAPLES CONTRACT & COMMERCIAL	KEYBOARD/TAPE	04/05/2024	106513	\$85.56
<b>TOTAL CITY CLERK</b>				<b>\$2,585.51</b>
<b>1005300 - FINANCE</b>				
HDL-HINDERLITER, DE LLAMAS & ASSOC	JAN-MAR 24- SALES TAX AUDIT & CONTRACT	03/28/2024	106479	\$600.00
<b>TOTAL FINANCE</b>				<b>\$600.00</b>
<b>1005400 - HUMAN RESOURCES</b>				
DEPARTMENT OF JUSTICE	FEB 24-FINGERPRINT APP	03/28/2024	106474	\$192.00
PRISM	APR-JUN 24-PEPM-67 EMPLOYEES	04/05/2024	106510	\$737.67
COASTAL LIVE SCAN AND INSURANCE	APR 24-FINGERPRINTS	04/05/2024	106496	\$150.00
<b>TOTAL HUMAN RESOURCES</b>				<b>\$1,079.67</b>
<b>1005450 - INFORMATION SERVICES</b>				
COX COMMUNICATIONS INC	0013410039730701-03/19/24-04/18/24	03/28/2024	106472	\$321.75
AKKADIAN LABS, LLC	CONSOLE OPERATOR LICENSE-12/2023-12/2024	03/28/2024	106470	\$398.00
MALWAREBYTES	MALWARE SUBSCRIPTION	04/05/2024	106505	\$3,559.66
360 GLOBAL TECHNOLOGY LLC	WEB HOSTING - FEB 24	04/05/2024	106490	\$600.00
360 GLOBAL TECHNOLOGY LLC	WEB HOSTING - MAR 24	04/05/2024	106490	\$600.00
GRANICUS INC	GOVERNMENT TRANSPARENCY SOFTWARE LEASE	04/05/2024	106502	\$4,410.15
MANAGED SOLUTION	IT PROF SVC-MAR 24	04/05/2024	9001373	\$450.00
MANAGED SOLUTION	IT PROF SVC-MAR 24	04/05/2024	9001373	\$2,522.50

**TOTAL INFORMATION SERVICES****\$12,862.06****1005550 - PLANNING**

SAN DIEGO COUNTY RECORDER	FEB 24-MAP FEE	03/28/2024	106483	\$4.00
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**TOTAL PLANNING****\$4.00****1005560 - BUILDING SERVICES**

ESGIL CORPORATION	FEB 24-BUILDING AND SAFETY PLAN REVIEW	03/28/2024	106476	\$50,102.49
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**TOTAL BUILDING SERVICES****\$50,102.49****1005590 - CODE ENFORCEMENT**

DATATICKET INC.	FEB 24-PARKING CITATION SERVICES	03/28/2024	106473	\$181.74
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DATATICKET INC.	FEB 24-PARKING CITATION SERVICES	03/28/2024	106473	\$1,120.28
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**TOTAL CODE ENFORCEMENT****\$1,302.02****1006110 - LAW ENFORCEMENT**

SAN DIEGO COUNTY SHERIFF'S DEPT.	FEB 24-LAW ENFORCEMENT	03/28/2024	106484	\$399,878.91
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**TOTAL LAW ENFORCEMENT****\$399,878.91****1006120 - FIRE DEPARTMENT**

VERIZON WIRELESS-SD	962428212-01/29/24-02/28/24	03/28/2024	106489	\$723.43
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NORTH COUNTY EVS, INC	2009 PIERCE ARROW XT- MAINT/REPAIR	03/28/2024	106482	\$19,027.73
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NORTH COUNTY EVS, INC	2016 PIERCE ARROW XT- MAINT/REPAIR	03/28/2024	106482	\$1,318.05
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MUNICIPAL EMERGENCY SERVICES, INC	SCBA REPAIR/CGA PORT REBUILD KIT/REPAIR	04/05/2024	106507	\$67.69
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DAY WIRELESS SYSTEMS (20)	OVERHEAD COILCORD	04/05/2024	106497	\$1,435.50
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ACE UNIFORMS LLC	PANTS	04/05/2024	9001370	\$172.39
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ACE UNIFORMS LLC	PANTS/JACKET/SHIRTS	04/05/2024	9001370	\$529.01
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WESTERN EXTRICATION SPECIALISTS INC	FY 24 SERVICE EQUIPMENT	04/05/2024	9001382	\$1,697.19
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L. N. CURTIS & SONS INC	ROPE RESCUE EQUIPMENT	04/05/2024	106504	\$515.38
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SOUTH COAST LLC	WHEEL/STEERING/SPOKES/HORN KITS	04/05/2024	9001379	\$1,352.65
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FIRE NINJA LLC	SAFETY VESTS	04/05/2024	106501	\$1,072.57
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FIRE ETC.	HELMETS/HELMET EDGE TRIM/BOOTSTRAPS	04/05/2024	106500	\$4,194.74
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SAFEWARE, INC.	GAS MASK	04/05/2024	9001377	\$3,676.49
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FAILSAFE TESTING, LLC	ANNUAL INSPECTION-T-237/LADDER/SET UP FEE	04/05/2024	106499	\$1,100.00
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FAILSAFE TESTING, LLC	ANNUAL INSPECTION-T-237/LADDER/SET UP FEE	04/05/2024	106499	\$1,132.68
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**TOTAL FIRE DEPARTMENT****\$38,015.50****1006170 - MARINE SAFETY**

VERIZON WIRELESS-SD	962428212-01/29/24-02/28/24	03/28/2024	106489	\$152.04
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**TOTAL MARINE SAFETY****\$152.04****1006510 - ENGINEERING**

PASCO LARET SUITER & ASSOCIATES, INC.	FEB 24-SB TRAIN STATION TOPO/BOUNDRY SURVEY	04/05/2024	106508	\$3,366.94
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UNDERGROUND SVC ALERT OF SOCAL INC	JAN 24-DIG ALERT	04/05/2024	9001381	\$95.75
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NORTH COUNTY TRANSIT DISTRICT	24/25-ANNUAL LEASE	04/05/2024	9001376	\$299.49
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**TOTAL ENGINEERING****\$3,762.18****1006520 - ENVIRONMENTAL SERVICES**

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/28/2024	106481	\$14.81
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IDRAINS LLC	O-SEWER-STORMDRAIN MAINT	03/28/2024	106468	\$670.00
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MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	04/05/2024	106506	\$14.81
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CLEAN EARTH ENVIROMENTAL SOLUTIONS	FEB 24- HHW COLLECTION	04/05/2024	106495	\$1,064.02
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IDRAINS LLC	H-STORMDRAIN MAINT	04/05/2024	106491	\$1,700.00
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IDRAINS LLC	O-SEWER-STORMDRAIN MAINT	04/05/2024	106491	\$2,390.00
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DIXIELINE LUMBER CO INC	SANDBAGS/PALLET DEPOSIT	04/05/2024	106498	\$359.13
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**TOTAL ENVIRONMENTAL SERVICES****\$6,212.77****1006530 - STREET MAINTENANCE**

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/28/2024	106481	\$24.07
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DIXIELINE LUMBER CO INC	CABLE TIES/WIRE BRUSH END/WIRE BRUSH WHEEL	03/28/2024	106475	\$35.78
DIXIELINE LUMBER CO INC	BATTERY PACK	03/28/2024	106475	\$40.87
DIXIELINE LUMBER CO INC	HAND CLEANER/RAZOR SCRAPER/GLOVES	03/28/2024	106475	\$35.50
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	04/05/2024	106506	\$24.07
LEE'S LOCK & SAFE INC	PADLOCKS	04/05/2024	106503	\$297.39
TRAFFIC SUPPLY, INC	ASPHALT PATCH	04/05/2024	9001380	\$275.41
SDG&E CO INC	02/01/24-03/07/24-UTILITIES	04/05/2024	106512	\$418.08
SDG&E CO INC	02/06/24-03/07/24-UTILITIES	04/05/2024	106512	\$963.77

**TOTAL STREET MAINTENANCE****\$2,114.94****1006540 - TRAFFIC SAFETY**

YUNEX LLC	JAN 24-TRAFFIC SIGNAL AND SAFETY	03/28/2024	9001368	\$2,364.47
YUNEX LLC	FEB 24-TRAFFIC SIGNAL AND SAFETY	03/28/2024	9001368	\$1,120.00
SDG&E CO INC	02/01/24-03/07/24-UTILITIES	04/05/2024	106512	\$604.11
SDG&E CO INC	02/06/24-03/07/24-UTILITIES	04/05/2024	106512	\$1,245.33
AT&T CALNET 3	9391012279-02/24/24-03/23/24	04/05/2024	106493	\$62.94

**TOTAL TRAFFIC SAFETY****\$5,396.85****1006560 - PARK MAINTENANCE**

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/28/2024	106481	\$17.58
THE HOME DEPOT PRO	CLOROX/GRAFFITI REMOVER/LINERS	03/28/2024	106487	\$557.66
SHURLOCK FENCE COMPANY	REPLACED FENCE	03/28/2024	106486	\$2,490.00
DIXIELINE LUMBER CO INC	SCREWS	03/28/2024	106475	\$4.39
RANCHO SANTA FE SECURITY SYS INC	APR 24-ALARM MONITORING	04/05/2024	106511	\$331.20
RANCHO SANTA FE SECURITY SYS INC	JAN 24- SECURITY PTRL/RESTROOM LKUP	04/05/2024	106511	\$661.10
RANCHO SANTA FE SECURITY SYS INC	MAR 24- SECURITY PTRL/RESTROOM LKUP	04/05/2024	106511	\$661.10
RANCHO SANTA FE SECURITY SYS INC	APR 24-SECURITY PTRL/RESTROOM LKUP	04/05/2024	106511	\$661.10
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	04/05/2024	106506	\$17.59
RANCHO SANTA FE SECURITY SYS INC	SEP 23-ALARM MONITORING	04/05/2024	106511	\$331.20
NISSHO OF CALIFORNIA	FY24 AS NEEDED LANDSCAPING SERVICES	04/05/2024	9001375	\$375.00

**TOTAL PARK MAINTENANCE****\$6,107.92****1006570 - PUBLIC FACILITIES**

SEASIDE HEATING & AIR CONDITIONING	MAR 24- HVAC SERVICES-CH	03/28/2024	106485	\$7,600.00
HABITAT PROTECTION, INC	MAR 24- PEST/RODENT CONTROL-FS	03/28/2024	9001365	\$38.00
HABITAT PROTECTION, INC	MAR 24- PEST/RODENT CONTROL-FCCC	03/28/2024	9001365	\$35.00
HABITAT PROTECTION, INC	MAR 24- PEST/RODENT CONTROL-MS	03/28/2024	9001365	\$64.00
HABITAT PROTECTION, INC	MAR 24-PEST/RODENT CONTROL-CH	03/28/2024	9001365	\$52.00
HABITAT PROTECTION, INC	MAR 24-PEST/RODENT CONTROL-FC	03/28/2024	9001365	\$39.00
HABITAT PROTECTION, INC	MAR 24-PEST/RODENT CONTROL-LCC	03/28/2024	9001365	\$64.00
HABITAT PROTECTION, INC	MAR 24- PEST/RODENT CONTROL-PW	03/28/2024	9001365	\$35.00
DIXIELINE LUMBER CO INC	EXTENSION POLE	03/28/2024	106475	\$29.35
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-PW	04/05/2024	106494	\$121.35
SUNBELT RENTALS, INC.	AIR SCRUBBER	04/05/2024	106514	\$549.53
SDG&E CO INC	02/01/24-03/07/24-UTILITIES	04/05/2024	106512	\$1,631.48
SDG&E CO INC	02/06/24-03/07/24-UTILITIES	04/05/2024	106512	\$6,776.79
DIXIELINE LUMBER CO INC	CLEANING CLOTHS/GOLVES	04/05/2024	106498	\$52.82
DIXIELINE LUMBER CO INC	PVC PIECE/TRAP/WASHERS	04/05/2024	106498	\$18.66
DIXIELINE LUMBER CO INC	SCREWS/WASHERS/CONCRETE MIX	04/05/2024	106498	\$92.05
DIXIELINE LUMBER CO INC	COUPLINGS	04/05/2024	106498	\$23.06

**TOTAL PUBLIC FACILITIES****\$17,222.09****1205460 - SELF INSURANCE RETENTION**

FEDEX	SHIPPING LATE FEE	03/28/2024	106477	\$2.41
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**TOTAL SELF INSURANCE RETENTION****\$2.41**

**1355450 - ASSET REPLACEMENT-INFO SYS**

VERIZON WIRELESS-SD	962428212-01/29/24-02/28/24	03/28/2024	106489	\$1,112.98
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**TOTAL ASSET REPLACEMENT-INFO SYS****\$1,112.98****140 - FACILITIES REPLACEMENT**

SEASIDE HEATING & AIR CONDITIONING	FY24 HVAC REPLACEMENT RETENTION	03/28/2024	106485	(\$1,434.25)
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**TOTAL FACILITIES REPLACEMENT****(\$1,434.25)****1406510 - FACILITIES MAINT-CIP**

UT SAN DIEGO - NRTH COUNTY	INVITING BID-BID NO 2024-03	03/28/2024	106488	\$917.00
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SEASIDE HEATING & AIR CONDITIONING	FY24 HVAC REPLACEMENT	03/28/2024	106485	\$22,665.00
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SEASIDE HEATING & AIR CONDITIONING	FY24 HVAC REPLACEMENT	03/28/2024	106485	\$20.00
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**TOTAL FACILITIES MAINT-CIP****\$23,602.00****2037510 - HIGHWAY 101 LANDSC #33**

SDG&E CO INC	02/06/24-03/07/24-UTILITIES	04/05/2024	106512	\$3,064.85
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**TOTAL HIGHWAY 101 LANDSC #33****\$3,064.85****2117600 - STREET LIGHTING DISTRICT**

YUNEX LLC	JAN 24-STREETLIGHT MAINTENANCE	03/28/2024	9001368	\$634.00
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SDG&E CO INC	02/01/24-03/07/24-UTILITIES	04/05/2024	106512	\$8,706.47
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**TOTAL STREET LIGHTING DISTRICT****\$9,340.47****213 - DEVELOPER PASSTHRU**

LOCO VIENTO TRUST	RFND-DRP19-011/SDP19-012	03/28/2024	106480	\$2,550.00
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**TOTAL DEVELOPER PASSTHRU****\$2,550.00****2146120 - FIRE MITIGATION FEES**

ALLSTAR FIRE EQUIPMENT, INC	GLOVES	04/05/2024	106492	\$825.11
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L. N. CURTIS & SONS INC	BOOTS	04/05/2024	106504	\$647.53
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**TOTAL FIRE MITIGATION FEES****\$1,472.64****2196110 - COPS PROGRAM**

SAN DIEGO COUNTY SHERIFF'S DEPT.	FEB 24-LAW ENFORCEMENT	03/28/2024	106484	\$12,048.21
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**TOTAL COPS PROGRAM****\$12,048.21****2505570 - COASTAL BUSINESS/VISITORS**

SOLANA BEACH CHAMBER OF COMMERCE	Q4-CHAMBER OF COMMERCE VISITOR	04/05/2024	9001378	\$7,500.00
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**TOTAL COASTAL BUSINESS/VISITORS****\$7,500.00****2706120 - PUBLIC SAFETY- FIRE**

VERIZON WIRELESS-SD	962428212-01/29/24-02/28/24	03/28/2024	106489	\$114.03
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NATIONWIDE MEDICAL SURGICAL INC	CSA.17-MIDAZOLAM HCL	04/05/2024	9001374	\$60.74
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NATIONWIDE MEDICAL SURGICAL INC	CSA.17-FENTANYL CITRATE	04/05/2024	9001374	\$72.25
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**TOTAL PUBLIC SAFETY- FIRE****\$247.02****459 - MISC. CAPITAL PROJECTS**

A PREMAN ROOFING INC	FCCC ROOF REPLACEMENT RETENTION	03/28/2024	106467	(\$3,810.00)
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**TOTAL MISC. CAPITAL PROJECTS****(\$3,810.00)****4596510 - MISC.CAPITALPROJECTS-ENG**

A PREMAN ROOFING INC	FCCC ROOF REPLACEMENT	03/28/2024	106467	\$76,200.00
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**TOTAL MISC.CAPITALPROJECTS-ENG****\$76,200.00****5097700 - SANITATION**

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/28/2024	106481	\$9.26
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MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	04/05/2024	106506	\$9.25
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IDRAINS LLC	J- SEWER CLEANING	04/05/2024	106491	\$675.00
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AT&T CALNET 3	9391012277-02/24/24-03/23/24	04/05/2024	106493	\$18.48
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**TOTAL SANITATION****\$711.99****6718510 - BARBARA UNDERGROUNDING-DS**

WILLDAN	FY 24 Q3 - LOCAL IMPROVEMENT DISTRICT	04/05/2024	9001383	\$284.67
<b>TOTAL BARBARA UNDERGROUNDING-DS</b>				<b>\$284.67</b>
<b>6728520 - PACIFIC UNDERGROUNDING-DS</b>				
WILLDAN	FY 24 Q3 - LOCAL IMPROVEMENT DISTRICT	04/05/2024	9001383	\$260.22
<b>TOTAL PACIFIC UNDERGROUNDING-DS</b>				<b>\$260.22</b>
<b>6738530 - MARSOLAN UNDERGROUNDNG-DS</b>				
WILLDAN	FY 24 Q3 - LOCAL IMPROVEMENT DISTRICT	04/05/2024	9001383	\$258.03
<b>TOTAL MARSOLAN UNDERGROUNDNG-DS</b>				<b>\$258.03</b>

**REPORT TOTAL: \$769,801.82**





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2023-24**

## **BACKGROUND:**

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget. The information provided in this Staff Report lists the changes made through April 10, 2024.

## **DISCUSSION:**

The following table reports the revenues, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 28, 2023 (Resolution 2023-089), 2) prior year purchase order carryover adjustments, and 3) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES						
As of 04/10/2024						
General Fund - Operations						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	24,472,918	(23,078,124)	(980,000)	\$ 414,794
07/01/2023	System Generated	FY 2023 GF PO Carryover		(19,590)		395,204
09/27/2023	Reso 2023-113	Ord 531 Training/Diversion Program		(10,000)		385,204
11/29/2023	Reso 2023-128	Engineering Survey Services		(100,000)		285,204
03/13/2024	Reso 2024-027	STC Traffic Inc (Pedestrian Crossing)		(20,000)		265,204
03/27/2024	Reso 2024-015	La Colonia Master Plan Update			(70,000)	195,204
04/10/2024	Reso 2024-039	Mid-Year Adjustments for FY 2024	702,072	(21,229)		876,047
						<b>876,047</b>
General Fund - Measure S						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	4,400,000	(1,124,000)	(733,400)	\$ 2,542,600
04/10/2024	Reso 2024-039	Mid-Year Adjustments for FY 2024	200,000			2,742,600
						<b>2,742,600</b>
<b>Combined General Fund Net Surplus</b>						<b>\$ 3,618,647</b>

## **COUNCIL ACTION:**

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**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

N/A

**WORK PLAN:**

N/A

**OPTIONS:**

- Receive the report.
- Do not accept the report.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report listing changes made to the FY 2023-2024 General Fund Adopted Budget.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Daniel King, Interim City Manager



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-004 Authorizing the City Clerk to File a Notice of Completion for the Fiscal Year 2022-23 Street Maintenance & Repair Project**

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### **BACKGROUND:**

At the June 28, 2023, City Council (Council) Meeting, Council awarded the construction contract for the Fiscal Year 2022-23 Street Maintenance & Repair Project, Bid No. 2023-07, to Quality Construction & Engineering.

This item is before the Council to consider adoption of Resolution 2024-004 (Attachment 1) to report the final project costs, accept the project as complete, and to direct the City Clerk to file a Notice of Completion.

### **DISCUSSION:**

Quality Construction & Engineering completed all work on this project in accordance with the approved plans and specifications of Bid No. 2023-07 to the satisfaction of the City Engineer. The City will release the 5% retention (\$56,226) 35 days after the Notice of Completion is approved by the City Council.

The following are some of the highlights of this annual street maintenance project:

- Pavement overlays on 10 street segments totaling 206,000 SF.
- Slurry seals on 19 street segments totaling 620,000 SF.
- Replacement of traffic striping and legends on all resurfaced street segments.
- Construction of median curbs on Highland Drive between Lomas Santa Fe Drive and Uno Verde, including preparation of the median area and importing topsoil for future landscaping as a separate project.

CITY COUNCIL ACTION:

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- Removal and reconstruction of curb, gutter, and sidewalk, including full width pavement overlay on South Acacia from Plaza to the Distillery parking lot.
- Localized pavement repairs (dig-outs) throughout the City totaling 19,000 SF.
- Repainting faded traffic striping at selected locations.
- Replacement of damaged sidewalks at locations where additional work was performed.
- Installation of speed cushions on North Acacia and North Granados per contract documents.
- Constructed asphalt berm, ramp, sidewalk, and path at the East Cliff/North Cedros intersection.

Two change orders for additional work were approved, which included:

- Additional restriping on Lomas Santa Fe Drive, Plaza Street, San Andres Drive and Las Banderas Drive.
- Adjustment of bid quantities.
- Deletion of South Sierra sidewalk replacements.
- Addition of concrete art pad in new Highland Drive medians.
- Construction of asphalt berm on South Cedros at Marsolan.
- Addition of storm drain catch basin in South Acacia sidewalk.
- Construction of corner ramp and D.G. path at the East Cliff/North Cedros intersection.
- Additional localized pavement repairs (dig-outs).

### **CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

### **FISCAL IMPACT:**

The project was funded by the Fiscal Year (FY) 2022/23 Annual Pavement Management Program and the South Acacia Reconstruction Project. The funding includes \$154,000 in Gas Tax Funds, \$315,000 in TransNet Funds (including \$90,000 programmed for South Acacia Streetscape Project), \$400,000 in Road Repair and Accountability Act (SB1) Funds, and \$306,000 in General Funds. The total funding appropriated for this project is \$1,175,000.

The construction base contract amount was \$1,088,838. The City Council authorized a construction contingency in the amount of \$86,162 to match the total project funding of \$1,175,000. Two change orders were executed in the net amount of \$35,683, for a final project cost of \$1,124,521. The change orders are covered by the approved contingency amount of \$86,162, of which \$50,479 was unused and will remain in the CIP fund 459 and may be added to the FY24 Annual Pavement Program.

### **WORK PLAN:**

Unprioritized Community Character Issues.

**OPTIONS:**

- Adopt Staff recommendation.
- Deny Staff recommendation and provide directions.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2024-004:

1. Authorizing the City Council to accept, as complete, the FY 2022-23 Street Maintenance & Repair Project, Bid No. 2023-07, performed by Quality Construction & Engineering.
2. Authorizing the City Clerk to file a Notice of Completion.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-004

**RESOLUTION 2024-004**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ACCEPTING AS COMPLETE THE FY 2022-23 STREET MAINTENANCE & REPAIR PROJECT, BID NO. 2023-07 AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION**

**WHEREAS**, on June 28, 2023, the City Council awarded a construction contract for the FY 2022-23 Street Maintenance & Repair Project, Bid No. 2023-07, to Quality Construction & Engineering; and

**WHEREAS**, the FY 2022-23 Street Maintenance & Repair Project has now been completed in accordance with the plans and specifications included as part of the public works contract with Quality Construction & Engineering to the satisfaction of the City Engineer.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts, as complete, the FY 2022-23 Street Maintenance & Repair Project, Bid No. 2023-07, performed by Quality Construction & Engineering.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.

**PASSED AND ADOPTED** this 24th day of April 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering and Public Works Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-026 Awarding a Professional Services Agreement for Security and Alarm Monitoring Services for Fiscal Year 2024/25**

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### **BACKGROUND:**

The City's Public Works and Parks & Recreation Departments are responsible for tasks such as opening and closing of bathrooms at Fletcher Cove and La Colonia Parks, patrolling services, alarm monitoring and other tasks before and after normal working hours. It is in the City's best interest if such services are performed by a service provider. These services have been performed by outside private service providers since services were originally needed several years ago. The terms of the contract with the City's current service provider will expire in June 2024 with no additional time extension available. The City now needs to enter into a new Professional Services Agreement (PSA) to continue to provide these services.

A Request for Proposals (RFP) was posted in January 2024. Staff posted the RFP to the City's electronic procurement system to solicit proposals from private industry service providers. Four bids were received by the February 27, 2024, closing date.

This item is before the City Council for the consideration of Resolution 2024-026 (Attachment 1) that would authorize the City Manager to execute a Professional Services Agreement (PSA) with Rancho Santa Fe Security, for one year, with an option to extend the PSA for four additional one-year terms, for an amount not to exceed \$17,000 for Fiscal Year (FY) 2024/25, and increase the compensation annually by 5% for FY 2025/26, 4.8% for FY 2026/27, 4.5% for FY 2027/28, 4.3% for FY 2028/29.

CITY COUNCIL ACTION:

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**DISCUSSION:**

Proposals were received from four security firms. Section 3.08.140 of the Solana Beach Municipal Code states that contracts of this type can be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required rather than on the basis of cost alone.

After thoroughly reviewing the four responses to the RFP, Staff concluded that RSF Security is the most qualified firm and most cost effective to perform these services. The cost of the proposal from Alltech Industries, the second lowest bidder, is much higher than the proposal from RSF Security because their proposed monthly fee for locking and unlocking the restrooms at two City parks is 12 times higher (\$8,628.60 for Alltech Industries versus \$695 for RSF Security).

**TABLE 1: RESULTS**

<b>RANK</b>	<b>CONTRACTOR</b>	<b>ITEM #1: Patrol/Lock &amp; Unlock Restrooms</b>	<b>ITEM #2: Alarm Monitoring</b>	<b>MONTHLY</b>	<b>Annual Bid Price</b>
1	Rancho Santa Fe Security	\$695.00	\$331.20	\$1,026.20	\$12,314.40
2	Alltech Industries	\$8,628.60	\$1,000	\$9,628.60	\$115,543.20
3	Access Control Security	\$1,697.36	\$16,744	\$18,441.36	\$221,296.32
4	National Security Service LLC	Non-responsive	Non-responsive	Non-responsive	Non-responsive

The City has been utilizing the services of RSF Security for a number of years for both restroom locking/unlocking and alarm monitoring. They are very familiar with all of the City facilities involved with this agreement as well as the alarm systems in the six City buildings. The PSA would also allow for on-call, as-needed security patrol services for special events.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA because it will not cause either a direct physical change or reasonably foreseeable indirect physical change in the environment per Public Resources Code section 21065.

**FISCAL IMPACT:**

The annual bid cost of the agreement with RSF Security is \$12,314.40, and \$4,685.60 for on-call, as needed, patrol services for a total not to exceed amount of \$17,000.



There is sufficient funding appropriated in the Parks Maintenance Professional Services operating budget to cover the cost of these services. The money allocated for on-call, as-needed, patrol services, as mentioned above, may be utilized for special events on a short-term basis or not at all. The breakdown for the services provided by this contract is as follows:

Alarm system monitoring	\$3,974.40 (\$331.20 per month)
Restroom locking/unlocking	\$8,340.00 (\$695.00 per month)
On-call, as-needed patrol services	\$4,685.60 (not a monthly fee)

**TOTAL: \$17,000**

**WORK PLAN:**

This item is not mentioned in the Fiscal Year 2024/25 Work Plan.

**OPTIONS:**

- Approve Staff recommendation.
- Reject Staff recommendation and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2024-026:

1. Authorizing the City Manager to execute a Professional Services Agreement, on behalf of the City, with Rancho Santa Fe Security for security and alarm monitoring services in Fiscal Year 2024/25 in an amount not to exceed \$17,000 for Fiscal year 2024/25 from account 1006560-65300.
2. Authorizing the City Manager to extend the agreement up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
3. Authorizing the City Manager to increase the annual not to exceed amount by 5% for FY 2025/26, 4.8% for FY 2026/27, 4.5% for FY 2027/28, 4.3% for FY 2028/29.
4. Authorizing the City Treasurer to amend the Fiscal Year 2024/25 Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read 'Daniel King', written over a horizontal line.

Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-026

## RESOLUTION 2024-026

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A PROFESSIONAL SERVICES AGREEMENT WITH RANCHO SANTA FE SECURITY FOR SECURITY AND ALARM MONITORING SERVICES, AND AS-NEEDED PATROL SERVICES

**WHEREAS**, a Request for Proposals (RFP) for security alarm monitoring, locking, and unlocking the restrooms at La Colonia Park and Fletcher Cove Park, and as-needed security patrolling was posted in January 2024; and

**WHEREAS**, Staff posted the RFP to the City's electronic procurement system to solicit proposals from private industry service providers. Four bids were received by February 27, 2024, closing date; and

**WHEREAS**, Staff determined the lowest bid submitted by Rancho Santa Fe Security, in the amount of \$12,314.40, for locking and unlocking restrooms at two City Parks and alarm monitoring was complete and responsive to the bid specifications; and

**WHEREAS**, Staff recommends an amount of \$4,685.60 for on-call, as-needed, patrol services; and

**WHEREAS**, Staff has fulfilled the requirements of Solana Beach Municipal Code section 3.08.140 for procurement of contracts for professional services; and

**WHEREAS**, there is sufficient funding appropriated in the Parks Maintenance Professional Services operating budget to cover the cost of these services.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Services Agreement, on behalf of the City, with Rancho Santa Fe Security for security and alarm monitoring services in Fiscal Year 2024/25 in an amount not to exceed \$17,000 for Fiscal year 2024/25 from account 1006560-65300.
3. That the City Council authorizes the City Manager to extend the agreement up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
4. That the City Council authorizes the City Manager to increase the annual not

to exceed amount by 5% for FY 2025/26, 4.8% for FY 2026/27, 4.5% for FY 2027/28, 4.3% for FY 2028/29.

5. That the City Council authorizes the City Treasurer to amend the Fiscal Year 2024/2025 Budgets accordingly.

**PASSED AND ADOPTED** this 24<sup>th</sup> day of April 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering and Public Works Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-037 Approving a Professional Services Agreement with PRIDE Industries for Trash Abatement Services and Authorizing the City Manager to Execute an Extension of the Agreement up to Four Additional Years**

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### **BACKGROUND:**

On April 24, 2019, the City Council authorized the City Manager to enter into a Professional Services Agreement (PSA) for trash abatement, minor landscaping maintenance, and other duties as assigned in public areas with PRIDE Industries (PRIDE), previously known as Partnerships with Industry (PWI). The PSA and all authorized extensions of the agreement with PRIDE expire on June 30, 2024.

PRIDE is an organization that creates opportunities for adults with disabilities to enter the workforce by providing no cost vocational assessment, job preparation, job placement and support. PRIDE is built on the premise that every adult with a disability, willing to work, has the ability to be an active part of the workforce and society. PRIDE was established in 1966 to provide supported employment opportunities to adults with intellectual and/or developmental challenges.

This item is before the City Council for the consideration of Resolution 2024-037 (Attachment 1) authorizing the City Manager to execute a Professional Services Agreement (PSA) with PRIDE Industries for one year and authorizing the City Manager to extend the PSA for four additional one-year terms at the City's discretion, for trash abatement services.

COUNCIL ACTION:

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## **DISCUSSION:**

Staff is requesting that the City Council consider authorizing the City Manager to enter an agreement with PRIDE with an option for up to four additional years, not to exceed the annual rate of \$51,599.69. The proposed amount will allow a crew of 3 employees to work Monday through Thursday, for four hours per day. As part of the proposed agreement, PRIDE workers will be supervised by a PRIDE staff member, an employment-training specialist, who will monitor daily production and quality at no additional cost to the City.

The work performed by the PRIDE workers will be trash abatement in public areas; minor landscaping including weed removal and sidewalk cleaning; and other duties as assigned by the Public Works Department.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA because it will not cause either a direct physical change or reasonably foreseeable indirect physical change in the environment per Public Resources Code section 21065.

## **FISCAL IMPACT:**

The cost of this agreement is funded through the Street Sweeping and Public Facilities Maintenance Professional Services sections of the Operating Budget as proposed in the Fiscal Year 2024/25 Adopted Budget, which has allocated \$36,000 for these services. A total of \$51,599.69 is proposed to be the contract amount for Fiscal Year (FY) 2024/25. Staff recommends allocating an additional \$15,600 between the Street Sweeping and Public Facilities Maintenance Professional Services sections of the Operating budget. Adequate funding would be provided when the budget is adopted in future years.

## **WORK PLAN:**

This project is not mentioned in the 2024/25 Work Plan.

## **OPTIONS:**

- Adopt Staff recommendation.
- Approve Staff recommendation with alternative amendments or modifications.
- Deny Staff recommendation and provide direction.

## **DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2024-037:

1. Authorizing the City Manager to execute a Professional Services Agreement with PRIDE Industries, in an amount not to exceed \$51,599.69 for FY 2024/25, for trash abatement, minor landscaping and other duties as assigned in public areas to be split between Street Sweeping account 1006550-65300 and Public Facilities account 1006570-65300.
2. Authorizing the City Manager to extend the agreement for up to four additional one-year terms at the City's option in an amount not to exceed \$51,599.69 per year.
3. Authorizing the City Treasurer to amend the FY 2024/25 Adopted Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read 'DK', is written over a horizontal line.

Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-037

## RESOLUTION 2024-026

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A PROFESSIONAL SERVICES AGREEMENT WITH RANCHO SANTA FE SECURITY FOR SECURITY AND ALARM MONITORING SERVICES, AND AS-NEEDED PATROL SERVICES

**WHEREAS**, a Request for Proposals (RFP) for security alarm monitoring, locking, and unlocking the restrooms at La Colonia Park and Fletcher Cove Park, and as-needed security patrolling was posted in January 2024; and

**WHEREAS**, Staff posted the RFP to the City's electronic procurement system to solicit proposals from private industry service providers. Four bids were received by February 27, 2024, closing date; and

**WHEREAS**, Staff determined the lowest bid submitted by Rancho Santa Fe Security, in the amount of \$12,314.40, for locking and unlocking restrooms at two City Parks and alarm monitoring was complete and responsive to the bid specifications; and

**WHEREAS**, Staff recommends an amount of \$4,685.60 for on-call, as-needed, patrol services; and

**WHEREAS**, Staff has fulfilled the requirements of Solana Beach Municipal Code section 3.08.140 for procurement of contracts for professional services; and

**WHEREAS**, there is sufficient funding appropriated in the Parks Maintenance Professional Services operating budget to cover the cost of these services.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Services Agreement, on behalf of the City, with Rancho Santa Fe Security for security and alarm monitoring services in Fiscal Year 2024/25 in an amount not to exceed \$17,000 for Fiscal year 2024/25 from account 1006560-65300.
3. That the City Council authorizes the City Manager to extend the agreement up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.
4. That the City Council authorizes the City Manager to increase the annual not



to exceed amount by 5% for FY 2025/26, 4.8% for FY 2026/27, 4.5% for FY 2027/28, 4.3% for FY 2028/29.

5. That the City Council authorizes the City Treasurer to amend the Fiscal Year 2024/2025 Budgets accordingly.

**PASSED AND ADOPTED** this 24<sup>th</sup> day of April 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-043 Authorizing the City Engineer to Advertise for Construction Bids the 2023-24 Street Maintenance and Repairs Project**

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## **BACKGROUND:**

Solana Beach has approximately 46 miles of roadways to maintain. The most cost-effective pavement maintenance and rehabilitation strategy is to use a pavement management program. This type of program inventories and classifies pavement conditions to determine the most effective way to budget, repair, replace and preserve roadway surfaces. Certain federal and state funding sources require the use of a pavement management program. Solana Beach performed a citywide pavement management program update in 2021, covering the five-year period from 2021 to 2026.

This item is before the City Council for the consideration of Resolution 2024-043 (Attachment 1) that would approve the list of streets for the 2023/24 Street Maintenance and Repairs Project and authorizing the City Engineer to advertise the project for construction bids.

## **DISCUSSION:**

The main components of the proposed pavement maintenance program for this coming fiscal year, if approved, would include both full width pavement overlays and slurry seals of the following streets:

CITY COUNCIL ACTION:

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<b>Overlays</b>		
<b>Street</b>	<b>From</b>	<b>To</b>
Del Mar Shores	South Sierra	End
Glencrest Drive	Dell Street	Glencrest Place
Granados Avenue (S)	Brookdale Place	Lomas Santa Fe Drive
Highland Drive (E)	1129 Highland Drive	San Julio Road
Highland Drive (E)	Lomas Santa Fe Dr	Sun Valley Road
Mola Vista Way	Academy Drive	End
Palmitas Street	Rios Avenue	Granados Avenue
San Mario Drive	Highland Drive	Santa Sabina Court
Santa Florencia	946 Santa Florencia	Santa Carina
Via Mil Cumbres	Loma Corta	1328 Via Mil Cumbres

<b>Slurry Seals</b>		
<b>Street</b>	<b>From</b>	<b>To</b>
Sun Valley Road	Santa Helena	Highland Drive
San Mario Drive	Santa Sabina Court	Santa Petra Drive
Ida Avenue	Highland Drive	663 Ida Avenue

In addition to pavement resurfacing, this year’s program includes the following specific work:

**South Sierra Avenue**

The sidewalk fronting the Distillery parking lot and the parking area at 120 South Sierra Avenue will be widened to ten feet and will include newly planted street trees which will be planted under a separate project.

**Localized Street Repairs**

Dig-outs and replacement of failed pavement (potholes) throughout the City will be performed.

**Traffic Striping**

Pavement striping and markings damaged or covered by the project would be replaced and additional striping would be performed in other areas in the City as needed.

**Curbs, Cross Gutters and Sidewalk Replacements**

Damaged curbs, cross gutters and sidewalks in various locations will be replaced.

### **Pedestrian Ramp Upgrades**

Five pedestrian ramps are to be replaced that were recommended in the Safe Routes to School study.

### **Speed Cushions**

The contract will provide an allowance for speed cushions to be constructed at locations that qualify under the Council approved Speed Cushion Policy and are ready for installation.

### **CEQA COMPLIANCE STATEMENT:**

Advertising for construction bids is not a project under CEQA. Street repairs are exempt from CEQA pursuant to Section 15301(c) of the State CEQA Guidelines.

A Map of Proposed Street Repairs is included in this report as Attachment 2.

### **FISCAL IMPACT:**

Project funding will be from the Fiscal Year (FY) 2023/24 Annual Pavement Management Program as adopted in the Capital Improvement Program section of the Adopted Budget. The funding includes \$200,000 in Gas Tax Funds, \$210,000 in *TransNet* Funds, \$300,000 in Road Repair and Accountability Act (SB1) Funds, and \$390,000 in General Funds – Measure S. An additional \$50,479 is available in the CIP Fund from unused contingency funds from FY23 Annual Pavement Program and \$49,521 is available in SB1 Fund Balance. The anticipated funding available for this project will be \$1,200,000.

The engineer's estimate for the proposed project is based on construction costs from last year's pavement rehabilitation project. If the bid amount for the proposed project is higher than the available funding, Staff will request either appropriating additional funding or reducing the work to match the construction bid amount.

### **WORK PLAN:**

This project is listed in the FY 2023/24 Work Plan under the Unprioritized Community Character Issues.

### **OPTIONS:**

- Approve the list of streets scheduled for maintenance and repairs as part of the 2023/24 Street Maintenance and Repairs Project and authorize the City Engineer to advertise for construction bids.

- Revise the list of streets scheduled for maintenance and repairs as part of the 2023/24 Street Maintenance and Repairs Project and authorize the City Engineer to advertise for construction bids.
- Provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2024-043:

1. Approving the list of streets scheduled for maintenance and repairs as part of the 2023/24 Street Maintenance and Repairs Project.
2. Authorizing the City Engineer to advertise for construction bids for the 2023/24 Street Maintenance and Repairs Project.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-043
2. Map of Proposed Street Repairs

**RESOLUTION 2024-043**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE LIST OF STREETS FOR THE 2023/24 STREET MAINTENANCE AND REPAIR PROJECT AND AUTHORIZING THE CITY ENGINEER TO ADVERTISE FOR CONSTRUCTION BIDS**

**WHEREAS**, the Capital Improvement Program for Fiscal Year 2023/24 has appropriated funding for annual pavement maintenance and repairs; and

**WHEREAS**, the Engineering Department utilizes a pavement condition assessment program, field reviews and a review of previous street rehabilitation projects to identify the list of streets to be repaired as part of this project.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the 2023/24 Street Maintenance and Repair Project.
3. That the City Council authorizes the City Engineer to advertise for construction bids for the 2023/24 Street Maintenance and Repair Project.

**PASSED AND ADOPTED** this 24th day of April 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:



\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

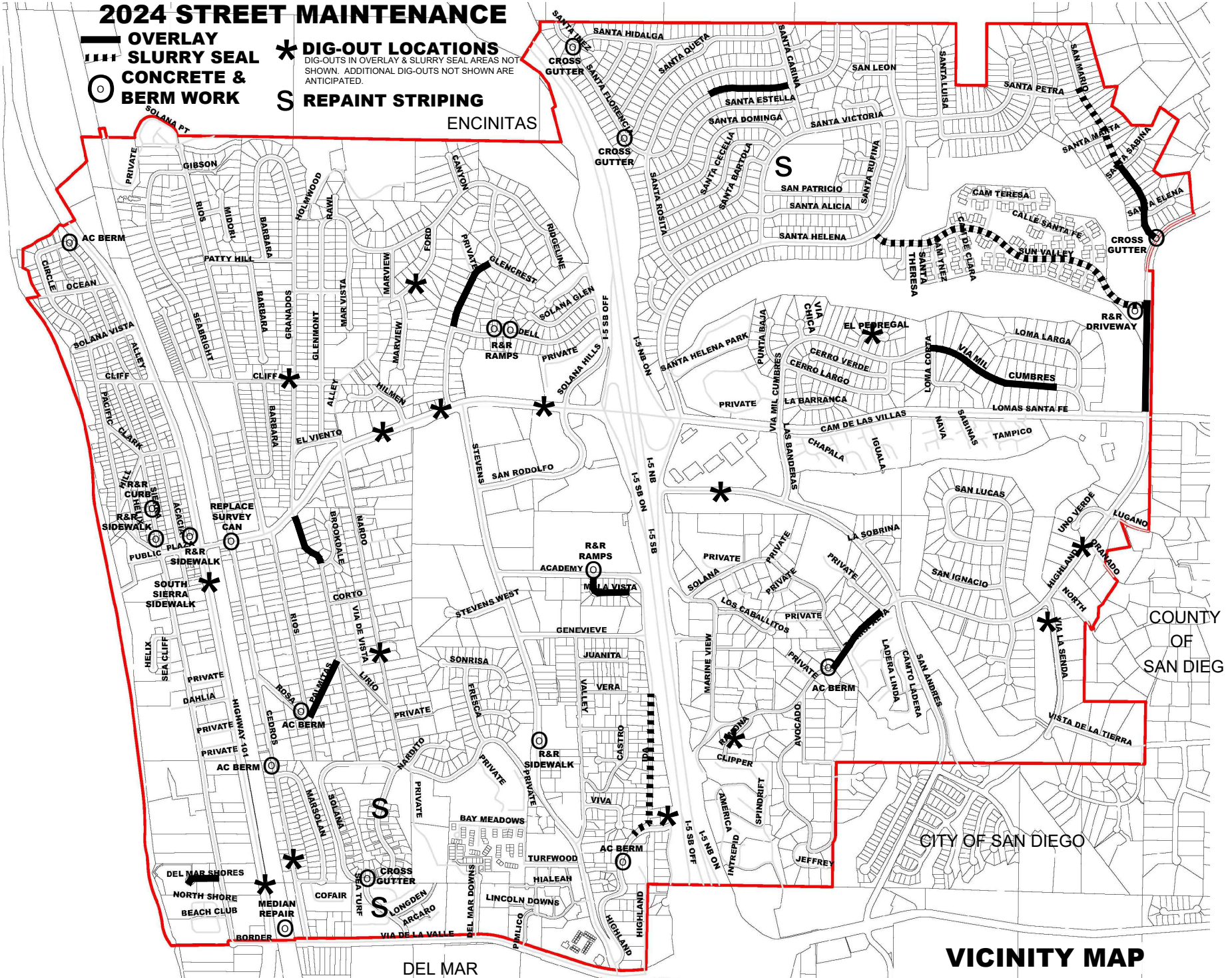
\_\_\_\_\_  
ANGELA IVEY, City Clerk

**ATTACHMENT 1**

# 2024 STREET MAINTENANCE

-  **OVERLAY**
-  **SLURRY SEAL**
-  **CONCRETE & BERM WORK**

-  **DIG-OUT LOCATIONS**  
DIG-OUTS IN OVERLAY & SLURRY SEAL AREAS NOT SHOWN. ADDITIONAL DIG-OUTS NOT SHOWN ARE ANTICIPATED.
-  **REPAINT STRIPING**



ENCINITAS

COUNTY OF SAN DIEGO

CITY OF SAN DIEGO

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VICINITY MAP



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-041 Awarding a Construction Contract for Americans with Disability Act (ADA) Pedestrian Ramps**

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## **BACKGROUND:**

At the October 26, 2022, City Council (Council) meeting, the Council authorized a Community Development Block Grant (CDBG) Funding application for Americans with Disabilities Act (ADA) pedestrian ramp improvements at various public street intersections. The County of San Diego approved funding for the Fiscal Year (FY) 2023/24 CDBG improvement project and issued a notice to proceed on December 28, 2023.

This item is before the Council to consider approving Resolution 2024-041 (Attachment 1) awarding a construction contract to the lowest responsible and responsive bidder, LC Paving & Sealing, for the construction of six (6) ADA pedestrian ramps at the intersections of Via Mil Cumbres/Cerro Largo and Cerro Largo/La Barranca.

## **DISCUSSION:**

Staff prepared the construction documents for the installation of several pedestrian ramps and advertised the project for competitive bidding.

On February 29, 2024, three bids for ADA Pedestrian Ramps, Bid No. 2024-05, were received and publicly opened by the City Clerk. The bid results are listed on the table on the following page.

CITY COUNCIL ACTION:

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### Bid Results

<b>Contractors</b>	<b>Base Bid</b>	<b>Adjusted Bid</b>
LC Paving & Sealing	\$93,500	\$54,300
IE General Engineering	\$100,000	\$60,000
Fordyce Construction	\$159,560	\$90,060

The adjusted base bid is for a reduced scope of work that more closely matches the available Community Development Block Grant funding of \$51,921. In lieu of ten ramps specified in the bid, LC Paving agreed to reduce the scope to six ramps at the bid unit price. The two other adjusted bid amounts listed above are for six ramps at their bid unit prices and presented for comparison.

The six ramps are located at the intersections of Via Mil Cumbres/Cerro Largo and Cerro Largo/La Barranca.

The lowest bid submitted by LC Paving & Sealing was found to be complete and responsive to the bid specifications. LC Paving has successfully completed similar projects for the City. Staff is recommending that LC Paving & Sealing be awarded the construction contract. The contract duration is 15 working days (three weeks). Staff anticipates the project to be completed in June 2024.

#### **CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

#### **FISCAL IMPACT:**

In addition to the \$54,300 contract amount, Staff is recommending a construction contingency of \$5,430 (10%) for unforeseen conditions and unanticipated changes, for a total construction budget of \$59,730 to be charged to CDBG-CIP Construction account 2406510-66610. The City received County approval for \$51,921 in CDBG funds for FY 2023/24. The Capital Improvement Plan had appropriated \$45,000 in CDBG funds for FY 2023/24. An additional appropriation of \$6,921 in CDBG funds is requested to match the County approved CDBG funding of \$51,921. Staff is requesting an appropriation of \$7,809 in Gas Tax funding to supplement the CDBG funding.

#### **WORK PLAN:**

This project is not identified in the FY 2023/24 Work Plan.

**OPTIONS:**

- Adopt Staff recommendations and award construction contract.
- Postpone contract award and provide direction to Staff.
- Reject construction bids and provide alternative direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2024-041:

1. Awarding a construction contract to LC Paving & Sealing in the amount of \$54,300 for the ADA Pedestrian Ramps, Bid No. 2024-05.
2. Approving an amount of \$5,430 for construction contingency.
3. Authorizing the City Manager to execute the construction contract on behalf of the City.
4. Appropriating \$6,921 to the Federal Grants revenue account and to the ADA Pedestrian Ramps CIP project, both in the CDBG fund.
5. Appropriating \$7,809 to the ADA Pedestrian Ramps CIP project from Gas Tax.
6. Authorizing the City Treasurer to amend the FY 2023/24 Adopted Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read 'Daniel King', written over a horizontal line.

Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-041

## RESOLUTION 2024-041

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING A CONSTRUCTION CONTRACT TO LC PAVING & SEALING FOR AMERICANS WITH DISABILITIES ACT (ADA) PEDESTRIAN RAMPS

**WHEREAS**, on October 26, 2022, the City Council authorized a Community Development Block Grant (CDBG) application for Americans with Disabilities Act (ADA) pedestrian ramp improvements; and

**WHEREAS**, the City of Solana Beach has received approval from the County of San Diego Department of Housing and Community Development for a CDBG improvement project in the amount of \$51,921; and

**WHEREAS**, six pedestrian ramps are proposed to be installed and located at the intersections of Via Mil Cumbres/Cerro Largo and Cerro Largo/La Barranca; and

**WHEREAS**, on February 29, 2024, three bids for ADA Pedestrian Ramps, Bid No. 2024-05, were received and publicly opened by the City Clerk; and

**WHEREAS**, LC Paving & Sealing was the lowest responsible bidder with a construction estimate of \$54,300, and LC Paving & Sealing's bid was complete and responsive to the bid specifications; and

**WHEREAS**, Staff recommends a construction contingency of \$5,430 for unforeseen changes.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council awards the construction contract to LC Paving & Sealing in the amount of \$54,300 for the ADA Pedestrian Ramps, Bid No. 2024-05 to be charged to CDBG-CIP Construction account 2406510-66610.
3. That the City Council approves an amount of \$5,430 for construction contingency to be charged to CDBG-CIP Construction account 2406510-66610.
4. That the City Council authorizes the City Manager to execute the construction contract on behalf of the City.

5. That the City Council appropriates \$6,921 to the Federal Grants revenue account and to the ADA Pedestrian Ramps CIP project, both in the CDBG fund.
6. That the City Council appropriates \$7,809 to the ADA Pedestrian Ramps CIP project from Gas Tax.
7. That the City Council authorizes the City Treasurer to amend the Fiscal Year 2023/24 Adopted Budget accordingly.

**PASSED AND ADOPTED** this 24th day of April 2024 at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Human Resources Department  
**SUBJECT:** **City Council Consideration of Resolution 2024-044 to Approve the Addition of a Temporary Lifeguard Supervisor Position to the City’s Temporary/Part-Time/Seasonal Classification and Compensation Plan**

## **BACKGROUND:**

In accordance with the City’s Personnel Rules and Regulations, Section 8.10, the City Council is required to authorize and approve all salary and benefit plans for employees and establishes salary ranges pursuant to the recommendation of the City Manager. Salary and benefits for non-represented employees (confidential, management and seasonal/part-time employees) are included in the Salary and Compensation Plan approved by the City Council each fiscal year. The City Council must approve a Salary and Compensation Plan for all employees to coincide with fiscal appropriations of a new fiscal year and new budget. Subsequent revisions to the adopted Salary and Compensation Plan will be recommended by the City Manager pursuant to City Personnel Rules and approved by the City Council.

Due to the upcoming retirement of the Marine Safety Captain, the City has identified a need to add two additional supervisory level temporary positions to the Temporary/Part-Time/Seasonal Classification and Compensation Plan.

This item is before the City Council to consider approving Resolution 2024-044 (Attachment 1) authorizing the adoption of a Temporary Lifeguard Supervisor Classification (Attachment 2) and a corresponding salary range on the FY 2023/2024 Temporary/Part-Time/Seasonal Salary Schedule 6 (Attachment 3).

## **DISCUSSION:**

On February 5, 2024, the City’s current Marine Safety Captain announced his plans to retire before the new Fiscal Year. Given the impending retirement, both the City and the Marine Safety Department are actively assessing the forthcoming vacancy and initiating preparations for the recruitment of a new Marine Safety Captain.

COUNCIL ACTION:

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To optimize and expedite this transitional phase with the goal of minimizing service disruptions, additional duties have been assigned to the Marine Safety Lieutenant as well as to the most senior Marine Safety Sergeant. Due to the shifts in responsibilities, it is necessary to train and assign additional duties to the current senior temporary marine safety employees in order to enhance their capabilities to assist with day-to-day supervisory responsibilities. With the impending summer season, increased sand on the beaches, and the start of the Junior Lifeguard Program, the department is greatly in need of additional senior lifeguards who can temporarily take on some of the supervisory duties during the summer season and while the City recruits for a new Marine Safety Captain.

The Interim City Manager recommends approval of the new Temporary/Seasonal Lifeguard Supervisor classification and updating the FY 2023/2024 Temporary/Part-Time/Seasonal Salary Schedule 6 with pay range PTS-119.

After discussions with management and the members of the Solana Beach Marine Safety Employee Group, the following has been agreed to:

1. The temporary/seasonal employees placed in the new supervisory roles must meet the minimum qualifications of the position.
2. The Lifeguard Supervisor assignments are temporary in nature and for a limited period of time only.
3. Those placed in the higher classification on a temporary basis, will be paid at the higher salary rate only during the limited term assignment.
4. The position is limited to 1500 hours per fiscal year and sick leave per the California Paid Sick Leave mandate. No additional City benefits are associated with this limited term assignment.
5. Those selected for the supervisory role position will continue to remain as temporary/seasonal employees.

If approved, the effective date of the above-mentioned assignments will be May 4, 2024.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The fiscal impact of two Temporary/Seasonal Lifeguard Supervisor positions will be approximately \$5,543 based on 17 weeks at 40 hours per week. It is anticipated that a new permanent Marine Safety Captain will be hired by the end of summer.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff's recommendation.
- Deny Staff's recommendation.
- Provide Staff alternative direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council approve Resolution 2024-044 approving the Temporary/Seasonal Lifeguard Supervisor classification and updating the FY 2023/2024 Temporary/Part-Time/Seasonal Salary Schedule 6 accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-044
2. Temporary/Seasonal Lifeguard Supervisor Job Description
3. Updated FY 2023/2024 Temporary/Part-Time/Seasonal Salary Schedule 6

## RESOLUTION 2024-044

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE CREATION OF A NEW TEMPORARY/SEASONAL LIFEGUARD SUPERVISOR CLASSIFICATION IN THE TEMPORARY/PART-TIME/SEASONAL CLASSIFICATION AND COMPENSATION PLAN

**WHEREAS**, the City Council must authorize all salary and compensation plans (Section 8.10 of the City's Personnel Rules and Regulations); and

**WHEREAS**, the City Council must approve a salary and compensation plan for employees including Temporary/Part-Time/Seasonal/Employees; and

**WHEREAS**, there is a need for additional temporary/seasonal staff in a supervisory role during the upcoming 2024 Summer Season; and

**WHEREAS**, in coordination with City management, the members of the Solana Beach Marine Safety Employee Group have agreed to the addition of the temporary/seasonal Lifeguard Supervisor classification based on the following:

1. The temporary/seasonal employees placed in the new supervisory roles must meet the minimum qualifications of the position.
2. The Lifeguard Supervisor assignments are temporary in nature and for a limited period of time only.
3. Those placed in the higher classification on a temporary basis, will be paid at the higher salary rate only during the limited term assignment.
4. The position is limited to 1500 hours per fiscal year and sick leave per the California Paid Sick Leave mandate. No additional City benefits are associated with this limited term assignment.
5. Those placed in the supervisory position continue to remain temporary/seasonal employees; and

**WHEREAS**, a temporary/seasonal Lifeguard Supervisor classification has been created and added to the Temporary/Part-Time/Seasonal Salary Schedule 6 for FY 2023/2024; and

**WHEREAS**, the City Manager is authorized to make any future necessary changes to the City's salary schedules to remain in compliance with applicable State and/or Federal laws; and



**WHEREAS**, the City Council has reviewed and considered the City Manager's recommendations for salary and compensation plans and is prepared to update the FY 2023/2024 Temporary/Part-Time/Seasonal Classification and Compensation plan as recommended.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. The FY 2023/2024 Salary and Compensation Plans for Temporary/Part-Time/Seasonal employees are to be as follows:
  - A. Lifeguard Supervisor
    - i. A Temporary/Seasonal Lifeguard Supervisor Classification has been created.
    - ii. Salary Schedule 6 has been updated to include Pay Grade PTS-119
  - B. Term: The updated FY 2023/2024 Salary and Compensation Plan for Temporary/Part-Time/Seasonal employees shall be effective April 25, 2024, and will remain in effect for an unspecified period of time until revised by City Council.

**PASSED AND ADOPTED** this 24<sup>th</sup> day of April 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

**CITY OF SOLANA BEACH**  
**Temporary Lifeguard Supervisor**  
**Temporary/Part-Time/Seasonal**

*Class specifications are intended to present a descriptive list of the range of duties performed by employees in the class. Specifications are not intended to reflect all duties performed within the job.*

**DEFINITION**

To assist in the overall operations and maintenance of City's Marine Safety Department; assist in the planning, organizing, and coordinating of a variety of ocean lifeguarding-related activities; assist the Marine Safety Lieutenant and Sergeants with special projects; may temporarily perform the duties of the Marine Safety Sergeant in the absence of the Marine Sergeant; and perform other related duties as assigned.

Receives direction from the Marine Safety Captain or designee. This is a temporary/part-time (limited to 1500 hours per Fiscal year), non-benefited, FLSA non-exempt classification.

**CLASS CHARACTERISTICS**

The position is a temporary position supporting the Marine Safety Department. This class is distinguished from the Temporary Senior Lifeguard position by the performance of more advanced duties, projects and supervisory responsibilities. The Temporary Lifeguard Supervisor position is a FLSA non-exempt, temporary hourly position.

**ESSENTIAL JOB FUNCTIONS**

*The duties and responsibilities listed below are intended only as examples of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related to or a logical assignment to the class.*

- Assist in the coordination of marine safety operations and supervise staff
- Schedule assigned staff, and provide on-going training
- Maintain records and stay on top of staff certifications
- Assist with review and evaluation of employees work performance and improvement plans
- Participate in the selection of part-time/seasonal staff
- Assist with the registration process of marine safety programs
- Provide necessary departments and staff with reports on registration
- Assist with facilities inspections, maintain and document hazards, order supplies
- Assist with routine maintenance and custodial care of lifeguard headquarters
- Help market new and existing marine safety programs and special events
- Coordinate programs, activities and schedules with local schools, teams, clubs and outside agencies
- Act as primary or secondary lifeguard during programs and performs the duties of lifeguards and instructors, including administration of first aid and CPR as necessary
- Answer questions and provide information to the public
- Investigate complaints and recommend corrective action as necessary to resolve complaints
- Secure and participate in emergency vehicle repairs as required

**City of Solana Beach**  
**Temporary Lifeguard Supervisor**

- Prepare correspondence, reports, and forms, and compile relevant statistical information
- Attend staff meetings
- Assist with research, surveys and inventories
- Monitor recreational program trends and make recommendations
- Evaluate program effectiveness to meet a diverse population of users
- Order, issue and maintain departmental equipment/supplies to ensure adequate supply inventory
- Stay abreast of safety trends and innovations, read appropriate literature and attend training as necessary.
- Build and maintain positive working relationships with co-workers, other City employees and the public using principles of good customer service
- Perform other duties related to this position as assigned.

**QUALIFICATIONS GUIDELINES**

**Experience:**

- Minimum two (2) years (full-time equivalent) ocean lifeguard experience, including one (1) year of full-time supervisory experience.

**Education and Certification Requirements:**

- Graduation from high school or equivalent
- EMT
- CPR/AED
- Ocean Lifesaving
- Scuba Diving
- Emergency Vehicle Operations
- Rescue Watercraft Operations

**Knowledge and Abilities**

**Knowledge of:**

- Operation of a marine safety facility and department
- Federal, state, local regulations governing beach safety
- Current safety practices, lifesaving techniques, and first aid methods
- Principles and practices of supervision and training
- Boat rescue operations; maintenance of safety equipment and vehicles; operation of rescue and emergency vehicles
- Physical layout of the City and adjoining areas
- Proper English usage, spelling, grammar, and punctuation
- Computer equipment and software applications related to assignment
- Recordkeeping principles and procedures
- Strong written and verbal communications skills
- Safety trends and best practices
- Techniques for providing a high level of customer service by effectively dealing with the public, vendors, contractors and City staff

**City of Solana Beach**  
**Temporary Lifeguard Supervisor**

**Ability to:**

- Assist in the operation and management of the marine safety facility
- Maintain work related records and prepare reports using a computer
- Work independently with minimum supervision
- Exercise sound judgment and decision-making
- Assist with and coordinate emergency procedures and actions
- Perform ocean rescues as needed
- Assist in the preparation of publicity materials and make presentations to a wide variety of audiences
- Plan, organize, and supervise the work of assigned staff
- Train and motivate assigned staff
- Interpret and explain pertinent City and department policies and procedures
- Operate computer equipment and software applications related to assignments
- Communicate clearly and concisely, both orally and in writing
- Work varying schedules including evenings, weekends, and holidays
- Keep a calm temperament and show patience when dealing with others
- Exhibit excellent customer service skills
- Follow oral and written instructions, including detailed procedures for daily tasks
- Be a self-starter, with a willingness to seek out tasks in the workplace
- Troubleshoot issues to the fullest extent of one's ability
- Use English effectively to communicate.
- Communicate clearly and concisely, in person, over the telephone, and in writing
- Establish, maintain, and foster positive and harmonious working relationships with those contacted in the course of work
- Work with various cultural and ethnic groups in a tactful and effective manner
- Maintain confidentiality of personal and medical data pertaining to rescues

**Special Requirements:**

- Must be 18 years of age at time of hire
- Possession of a valid Class "C" California driver's license with a satisfactory driving record.
- Vision must be 20/40 uncorrected, correctable to 20/20
- Functional color vision and normal hearing

**PHYSICAL AND MENTAL DEMANDS/WORKING CONDITIONS**

*The physical and mental demands herein are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform these essential job functions.*

*The physical and mental demands herein are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform these essential job functions.*

- Mental function: Includes reading, writing, mathematical computations, operating a computer, problem solving, managing multiple projects, calmly handling complaints and problems from irate citizens or contractors, and decision making under stressful conditions.
- Productivity: Incumbents must perform work in an efficient, effective and timely manner with minimal direction.
- Mobility: Climbing, balancing, stooping, kneeling, crouching, crawling, reaching, standing, walking, driving, pushing, pulling, lifting, fingering, grasping, feeling, talking, hearing, seeing, repetitive motions, and work at a video display terminal for prolonged periods of time. Must have the physical strength, endurance and ability to operate assigned motorized equipment, vehicles and vessels; ability to pass the annual 500-meter open water re-qualification swim test in ten minutes or less.
- Very Heavy Work: Exerting in excess of 100 pounds of force occasionally, and/or in excess of 50 pounds of force frequently, and/or in excess of 20 pounds of force constantly to move objects.
- Vision: Must have vision correctable to 20/20, functional color vision, vision sufficient to read small print, computer screens, and printed documents, and to operate assigned equipment.
- Hearing: Incumbents are required to hear in the normal audio range with or without correction.
- Environment: Incumbents may be exposed to extreme temperatures, inadequate lighting, workspace restrictions, intense noises, and travel. Incumbents may be required to work at both indoor and outdoor environments. Individuals may be exposed to noise, dust and inclement weather conditions.
- Other factors: Incumbents may be required to work extended hours including evenings and weekends. Incumbents may be required to travel outside City boundaries to attend meetings and to use a personal vehicle in the course of employment. Incumbents may be subjected to moving mechanical parts, personal injury, physical violence, blood, and body fluids.

TEMPORARY/PART-TIME/SEASONAL EMPLOYEES

UPDATED SALARY SCHEDULE 6

EFFECTIVE APRIL 25, 2024

Pay Grade		Job Classification					
PTS	41	Lifeguard Intern	\$16.00				
		Junior Lifeguard Intern					
		Junior Lifeguard Instructor I (non-lifeguard)					
			<u>Step A</u>	<u>Step B</u>	<u>Step C</u>	<u>Step D</u>	<u>Step E</u>
PTS	58	Lifeguard	\$19.00	\$19.96	\$20.96	\$22.00	\$23.10
		Junior LG Instructor II					
		Management Intern					
		Temporary Administrative Assistant					
		Parking Enforcement Officer					
Recreation Leader I							
PTS	63	Lifeguard + EMT	\$19.98	\$20.97	\$22.02	\$23.12	\$24.28
		Junior LG Instructor II + EMT					
		Recreation Leader II					
PTS	75	Temporary Maintenance Worker I	\$22.51	\$23.64	\$24.82	\$26.05	\$27.36
PTS	76	Temporary Firefighter/Paramedic	\$22.74	\$23.87	\$25.07	\$26.32	\$27.64
PTS	77	Temporary Planning Technician	\$22.96	\$24.11	\$25.32	\$26.58	\$27.92
		Temporary Engineering Technician					
PTS	82	Temporary Administrative Technician	\$24.14	\$25.34	\$26.61	\$27.94	\$29.34
		Jr. Lifeguard Administrative Technician					
PTS	83	Recreation Leader III	\$24.37	\$25.59	\$26.88	\$28.22	\$29.63
		Senior Lifeguard					
PTS	86	Temporary Code Compliance Officer Assistant	\$25.11	\$26.38	\$27.69	\$29.07	\$30.53
PTS	88	Senior Lifeguard + EMT	\$25.62	\$26.90	\$28.25	\$29.66	\$31.14
PTS	102	Temporary Management Assistant	\$29.45	\$30.92	\$32.46	\$34.09	\$35.79
PTS	119	Temporary Lifeguard Supervisor	\$32.70	\$34.34	\$36.05	\$37.85	\$39.75
PTS	123	Temporary Fire Prevention Technician	\$36.29	\$38.11	\$40.02	\$42.02	\$44.12



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Consideration of Resolution 2024-045 Requesting the Approval an Application for a Major Subdivision, Development Review Permit, and Structure Development Permit for 13 New For-Sale Residential Dwelling Units on Two Previously Developed Parcels on the 718-732 Stevens Avenue. (Applicant: 3981 Garfield Street, LLC; Case No.: DRP22-003/SMP22-001/SDP22-001; APN: 298-164-10 & 13)**

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### **BACKGROUND:**

The Applicant, 3981 Garfield Street, LLC, is requesting City Council approval of a Development Review Permit (DRP), Major Subdivision Parcel Map (SMAP), and Structure Development Permit (SDP) to demolish the existing structures onsite and construct 13 new for-sale dwelling units at 718-732 Stevens Avenue (the "Project"). The proposed Project would include the consolidation of two existing parcels into one lot of 32,762 square feet or 0.75-acre (gross) property located in the High Residential (HR) Zone and on the east side of Stevens Avenue. The development would consist of one (1) detached two-story building and three (3) detached three-story buildings with main level attached private 2-car garages for each unit and 4 additional guest parking spaces, grading in the amounts of 1,140 cubic yards of cut, 360 cubic yards of fill and 780 cubic yards of export, landscaping, and associated site improvements. The maximum height of the development is proposed at 29.98 feet above the proposed grade with the highest point at 61.22 MSL.

The project requires a DRP for grading in excess of 100 cubic yards, to increase the maximum building height to 30 feet in the HR Zone, construction in excess of 60% of the maximum allowable FAR, a second floor that exceeds 35% of the floor area of the first floor, and to exceed the base density. The project also requires an SDP for construction in excess of 16 feet in height as measured above the pre-existing grade.

CITY COUNCIL ACTION:

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The issue before the Council is whether to approve, approve with conditions, or deny the Applicant’s request for a DRP, SMAP, and SDP by adopting Resolution 2024-045 (Attachment 1).

**DISCUSSION:**

The two parcels are located on the east side of Stevens Avenue adjacent to the southwest corner of La Colonia Park. The existing properties are developed with eight existing rental units, hardscape and landscaping.

The two lots combined are rectangular in shape and would have 154.62 feet of street frontage on Stevens Avenue at the western property line. The northern and southern side property lines are both 213.01 feet in length and the eastern property line would be 154.65 feet in length. The topography of the lot slopes downward from the street, starting with a finished surface level of approximately 40 feet above MSL at the street frontage and ending with a finished surface level of approximately 25.5 feet above MSL at the eastern property line.

A 10-foot sewer easement crosses diagonally over the eastern property line. At the northeast corner of the lot, the widest portion of the easement crosses the lot at approximately 6 feet. On the lot directly east, adjacent to the sewer easement, there is an 18.5-foot-wide easement for the Stevens Creek Channel. On the existing driveway that provides vehicular access to the property, there is a 20-foot-wide sewer maintenance easement that eventually narrows to 5-feet where it goes between the existing buildings. An additional easement slightly overlapping the north side of the driveway easement that is approximately 10-feet in width and it is used for utilities. According to the proposed plans, all existing easements will remain with the proposed development.

The Applicant is requesting approval of a DRP , Major Subdivision, and SDP to construct a 13-unit, for-sale, residential development with 11 regular units and 2 affordable units in one detached two-story building and three detached three-story buildings that have attached main floor garages and four uncovered guest parking spaces and perform associated site improvements including cut and fill grading, drainage improvements, landscaping, common open space, and off-street parking.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant’s proposed design.

<b>Table 1</b>				
<b>LOT INFORMATION</b>				
<b>Property Address:</b>	718-726 Stevens Ave.	<b>Zoning Designation:</b>	HR (13-20 du/ac)	
<b>Gross Lot Size:</b>	32,762 SF	<b># Units Allowed:</b>	9-14 Dwelling Units	
<b>Net Lot Size:</b>	31,330 SF	<b># Units Requested:</b>	13 Dwelling Units	
<b>Max. FAR 75%:</b>	24,572 SF	<b>Setbacks: (d)</b>	<b>Required</b>	<b>Proposed</b>
<b>Requested FAR:</b>	.82 or 26,941 SF	Front (W)	20 ft**	20 ft
<b>Max. Allowable Height:</b>	25 ft	Interior Side (N)	5 ft	5 ft
<b>Rqstd HT with DRP:</b>	29.98 ft	Interior Side (S)	5 ft	5 ft



<b>Highest Point/Ridge:</b>	61.22 MSL	Rear (E)	25 ft	25 ft		
<b>Overlay Zone(s):</b>	N/A	*The Applicant is requesting to exceed the base density as part of the DRP per SBMC 17.20.030(B)(1)(c). ** The FYSB can be reduced due to Stevens Ave been 55 feet in width or greater.				
<b>PROPOSED PROJECT INFORMATION</b>						
<b>Proposed Floor Area Breakdown:</b>						
Bldg #	Unit #	Garage SF	First Floor SF	Second Floor SF	Third Floor SF	Total
1	1	428	594	1,035	-	2,057 SF
	2	444	590	1,047	-	2,081 SF
	3	438	601	1,058	-	2,097 SF
2	4	438	588	973	850	2,849 SF
	5	428	579	959	835	2,801 SF
	6	434	578	927	802	2,741 SF
3	7	434	587	941	812	2,774 SF
	8	438	583	965	843	2,829 SF
	9	428	576	954	831	2,789 SF
4	10	428	598	996	906	2,928 SF
	11	464	606	989	-	2,059 SF
	12	464	596	972	-	2,032 SF
	13	448	599	1,057	-	2,104 SF
<b>Subtotal:</b>	<b>13 Units</b>					32,141 SF
Garage Area that qualifies for a FAR Exemption						<b>- 5,200 SF</b>
<b>Total FAR Proposed:</b>						<b>26,941 SF</b>
<b>Proposed Grading:</b> The project would require 1,140 cubic yards of cut, 360 cubic yards of fill and 780 cubic yards of export.						
<b>Required Permits:</b>						
<b>DRP:</b> grading in excess of 100 cubic yards; construction in excess of 60% of the maximum allowable floor area; construction of a second story that exceeds 35% of the first floor; construction to a height of 30 feet; and density in excess of the base density in the allowed range for the HR Zone. <b>SMAP:</b> A Major Subdivision for a common interest development of 13-unit for-sale condominium units and common ownership of the lot. <b>SDP:</b> a new structure that exceeds 16 feet in height measured from the pre-existing grade.						
<b>Required Parking:</b> 26 spaces + 3 guest spaces <b>Proposed Parking:</b> 26 spaces + 4 spaces <b>Proposed Fences and Walls:</b> Yes <b>Proposed Accessory Dwelling Unit:</b> No <b>Proposed Accessory Structure:</b> No				<b>Existing Development:</b> 8 units to be demolished		

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2024-045 for Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2024-045.

**Development Review Permit Compliance (SBMC Section 17.68.40):**

A DRP is required because the proposed development includes grading in excess of 100 cubic yards, construction in excess of 60% of the maximum allowable FAR, construction of a second story that exceeds 35% of the first floor, a maximum building height of 30 feet, and a density that exceeds the base density in the allowable range for the HR Zone. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made, per SBMC 17.68.40(H). If the findings cannot be made, the Council shall deny the DRP. Resolution 2024-045 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

**DRP Finding #1**

**General Plan Consistency**

The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR) and is intended for multi-family residential development within a density range of thirteen to twenty units per acre. The proposed Project may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

- Policy LU-1.1: Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.
- Policy LU-1.2: The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.

- Policy LU-6.6: Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.
- Policy LU-6.7: Promote appropriate transitions in building height and bulk which are sensitive to the visual and physical character of adjacent neighborhoods.

The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The Project could be found to be consistent with the following General Plan programs and goals in the City's Housing Element which the City is committed to implementing the housing goals, including regional housing needs assessment / local share goals and affordable housing goals, including:

- The adequate provision of a range of safe and decent housing opportunities that will meet Solana Beach's share of the existing and future housing needs of the region.
- Maintenance, preservation, and enhancement of community and neighborhood character and the quality of residential neighborhoods and commercial areas.

#### Local Coastal Plan/Land Use Plan Consistency

The Solana Beach City Council adopted a Local Coastal Plan (LCP) Land Use Plan (LUP) on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LCP/LUP designates the property as High Density Residential. This land use category is intended to be developed with 13-20 dwelling units per acre. This zone is intended for multiple family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers, and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

The proposed Project could be found to be consistent with the LCP/LUP. In particular, the proposed Project could be found to be consistent with the policies in Chapter 5 – New Development, which includes general policies for new development, and policies for residential development, and multi-family development.

Zoning Ordinance Consistency

SBMC Section 17.20.010(F) specifies that the HR Zone is intended for multiple family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities. The HR Zone allows for 13 to 20 dwelling units per net acre. The following is an analysis of the Project consistent with the applicable development regulations.

Density Regulations:

Density regulates the number of dwelling units allowed on a lot per net acre. In order to determine the number of units allowed on the 31,330 square-foot or 0.72 acre (net) parcel based on the density range, the following calculation is used:

net lot size in acres x number of dwelling units per acre = number of units allowed

If the calculation results in a fractional number of 0.7 or greater, the number of units can be rounded up to the nearest whole number. The density range for the subject property is as follows:

HR Density Range: 13-20 du/ac

<b>Base Density: 13 du/ac (net)</b>	<b>Maximum Density: 20 du/ac (net)</b>
0.72 x 13 du/ac = 9.36 du or 9 du	0.72 x 20 du/ac = 14.4 du

In addition, SBMC 17.20.030(B)(4) indicates that multiple dwelling unit projects located in or in proximity to sensitive lands such as steep slopes, coastal bluffs and wetlands shall adjust the allowed density according as follows:

<b>Table 17.20.030-C Density Adjustments for Sensitive Lands</b>	
<b>Area Type</b>	<b>Density Adjustment Multiplier</b>
Wetland Areas	0.00
Slopes less than 25% grade	1.00
Slopes 25% to 40% grade and not also in another sensitive area	0.50
Slopes greater than 40% grade	0.00
Slopes of 25% or greater grade: 1. Along Coastal Bluffs 2. Uplands Adjoining the San Elijo Lagoon	0.00

The Applicant provided a Slope Analysis and density calculations on sheet SA of the attached project plans (Attachment 2) that shows the density adjustment according to table 17.20.030-C as follows:

<b>Density Adjustment Multiplier Low End</b>				
Slope % Range	Density Adjustment Factor	Density Adjustment	Net Area (Acres)	Number of Units
0-25	1.0	13	0.70	9.10
25-40	0.5	6.5	0.01	0.03
40-100	0	0	0.01	0
Total Units:				<b>9.13</b>
<b>Density Adjustment Multiplier High End</b>				
Slope % Range	Density Adjustment Factor	Density Adjustment	Net Area (Acres)	Number of Units
0-25	1.0	20	0.70	14.0
25-40	0.5	10	0.01	0.05
40-100	0	0	0.01	0
Total Units:				<b>14.05</b>

The Applicant is requesting to exceed the base density to construct 13 dwelling units. SBMC 17.20.030(B)(1)(c) indicates that:

*The maximum density shall not be construed to be a “guaranteed right” and shall be granted only upon demonstration that the proposed development incorporates exemplary site planning and design and complies with all applicable zoning regulations and general plan objectives. Whenever the proposed density for a site is greater than that permitted by subsection (a) of this table, the increased density shall be justified by consideration of such matters as: superior project design; public facility availability; availability of public transportation; proximity to public recreation; proximity to public facilities or community amenities provided by the developer of the site; whether the increased density will assist the city in meeting its regional housing obligations and local housing goals; whether the increased density will adversely affect the neighborhood; or whether the increased density will assist the city in meeting other general plan goals and objectives.*

The Applicant has provided a narrative for the Project indicating how it satisfies the requirements of this section of the code and is requesting that the Council approve the Project in excess of the base density, but within the allowable range for the HR Zone (Attachment 3). In the narrative, the Applicant cites that the proposed project contains elements of superior design by being in close proximity to public transportation including bus route 308, recreation and amenities such as La Colonia Park and Skatepark, the Del Mar Racetrack and Fairgrounds, multiple shopping centers, schools and churches. In addition, if approved, the project would add 5 dwelling units towards meeting the City’s housing obligations, 2 of which would be reserved for households that qualify for low-income housing and would be constructed on the project site and of the 13 dwellings constructed, 10% would be accessible to persons with disabilities. If the Council is able to make the finding that the project demonstrates exemplary site planning and design in

accordance with this section of the Municipal Code, the attached resolution will be modified to reflect the specific findings made by the Council.

#### Minimum Yards/Setbacks:

As designed, the Project complies with all required setbacks under the designation “d” on the City’s official Zoning Map. The required front yard setback is reduced to 20 feet because Stevens Avenue is 55 feet in width per SBMC 17.20.030.D.1.b. The Project would meet or exceed all of the required setbacks. The plans show that proposed roof eaves will encroach into the required setbacks a maximum of two feet as permitted by SBMC 17.20.030.D.4.

#### Maximum Floor Area Ratio:

The maximum allowable Floor Area Ratio (FAR) for the HR Zone is 75 percent of the gross lot area. The maximum allowable FAR for the 32,762 square-foot lot (gross) is 24,572 square feet. The Applicant is asking for one development incentive in consideration of constructing the affordable housing onsite and that is to increase the maximum allowable FAR to 0.82 or 26,941 square feet.

Building 1 is proposed to be 6,235 square feet including garages and would include three two-story, three bedroom attached units with private attached two-car garages. Each unit would consist of a two-car garage, two bedrooms, and one bathroom on the main floor and a second floor with an open concept kitchen, dining area, and living area, a powder room, laundry closet and the primary bedroom suite. A 62 square foot deck is proposed off the living/dining area and a 100 square foot deck is proposed off the primary bedroom. A 99 square foot roof deck is proposed on top of each unit in Building 1.

Building 2 is proposed to be 8,391 square feet and Building 3 is proposed to be 8,392 square feet including garages. These buildings would include three, four-bedroom three-story units with attached two-car garages. The units in Building 2 and 3 would have similar main floor plans as Building 1. The second floor would consist of the open living, dining, and kitchen with a powder room, laundry room, a 65 square foot deck, and 59 square foot deck on either side of the living area. The third floor would consist of a primary bedroom suite with a 45 square foot deck and another bedroom with an ensuite bathroom and an 86 square foot deck. Buildings 2 and 3 would not have roof decks.

Building 4 is proposed to be 9,132 square feet including garages and would include one four-bedroom three-story unit and three, three-bedroom two-story units. The main floor would consist of the attached two-car garages, two bedrooms and a bathroom. A laundry room was added to the main floor of the three-bedroom units. The second floor would consist of the primary suite, a powder room, and open concept kitchen, living and dining room. There is an “L” shaped deck off the living area that is approximately 153 square feet. The two-story units would have 172 square foot roof decks. The second and third floors of the four-bedroom unit are the same as the second floor of Buildings 2 and 3. In every garage, two unobstructed parking spaces that are 9 ft. by 19 ft and clear of

obstruction are provided. Therefore, each garage qualifies for a 400 square foot exemption or a total exemption of 5,200 square feet.

#### Maximum Building Height:

The maximum building height for the HR Zone is 25 feet. Pursuant to a DRP, the maximum building height for the HR Zone can be increased to 30 feet. The Applicant is requesting to increase the maximum building height. The maximum height of the proposed Project was certified at 29.98 feet above the proposed grade with the highest point of the development at 61.22 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the Project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

#### Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces per dwelling unit in a multi-family development with two or more bedrooms and one (1) off-street guest parking space per every four dwelling units. The Project includes attached 2-car garages for each dwelling unit as well as 4 uncovered guest parking spaces. In total, the Project would provide the required 26 resident parking spaces (two per dwelling unit) and exceed the required guest parking spaces by providing four when three are required (one per four units).

As designed, the Project will comply with the required parking, required setbacks, and the increased maximum building height.

#### Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

Currently, the preliminary grading plan shows a site wall around the entire property and also in the front yard setback surrounding the pedestrian walkways and entry courtyards. Where the wall is located within the required front yard setback, the site wall ranges in height from 0.5 feet to 3.4 feet in height as measured above the existing grade. Where located outside of the front yard setback, the site wall is between 1.3 and 5.6 feet in height as measured from existing grade. It is shown that the site wall will partition a small area of private outdoor space for each unit. The site rendering indicates that there is a proposed fence on top of the site wall, however, the plans do not show specifications for that fence. The site plan does note that the proposed fence and wall combination will comply with the fence and wall heights as noted above and required in the Municipal Code. As conditioned, if the Applicant decides to modify any of the proposed fences and

walls, they will be required to comply with the requirements in SBMC Section 17.20.040(O) and 17.60.070.

#### Affordable (Inclusionary) Housing:

SBMC Chapter 17.70 specifies the City's affordable inclusionary housing requirements. Developers of for-sale residential projects providing five or more dwelling units for residential purposes, shall construct and set aside 15% of all units for sale to very low- or low-income households at sales prices affordable to such persons or households.

$$13 \text{ units} \times 15\% = 1.95 \text{ units or } 2 \text{ units}$$

The affordable units shall be designed to be integrated into the residential style of the project and shall have the same general bulk, scale, average square footage, same mix and height as the market rate units in the development. The units shall also be comparable in the overall number of bedrooms and the proportion of units in each bedroom category. The required affordable units shall remain affordable for 99 years from the date of the final inspection as shown on the inspection card for the affordable unit.

The Applicant has proposed to construct one 2,059 square foot (including garage), three-bedroom unit and one 2,829 square foot (including garage) four-bedroom affordable unit onsite to be sold at prices affordable to persons or households in the low-income designation. The Applicant's Affordable Housing Plan is provided in Attachment 4.

Prior to the final inspection, a deed restriction will be recorded on the title of each affordable unit restricting the sale for 99 years from the date of final inspection to persons that qualify for low-income housing according to the California Health and Safety Code. In addition, the City has added a condition of approval to the attached resolution to require the Applicant offer the sale of the affordable units to qualified individuals that were involved in the Pearl settlement, displaced by the redevelopment of Solana Highlands, or displaced by the redevelopment of the Project site before offering them for sale to qualified individuals of the general public.

#### Specific Plans and Special Overlays

The property is not located within any of the City's Specific Plan areas or special overlays. The Project is located within the Coastal Zone, and as a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

#### **DRP Finding #2**

The development review criteria topics required by SBMC Section 17.68.040(F) and referenced in DRP Finding #2 are listed below with further discussion as to how they relate to the proposed Project:



1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

#### Relationship with Adjacent Land Uses:

The property is located within the HR Zone. Properties to the south and east are also located within the HR Zone, properties to the west are located within the Medium High Residential Zone and the property directly north is La Colonia Park and is zoned Open Space Recreation. Surrounding properties are developed with a mixture of single-family residences and multi-family residential developments and the park. The Project, as designed, is consistent with the permitted uses for the HR Zone as described in SBMC Sections 17.20.010 and 17.12.020 and could be found to be to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

#### Building and Structure Placement:

As proposed, the density of 13 units would fall within the allowable range for the 0.72-acre (net) property located in the HR Zone. The Council may find that the request to exceed the base density of 9 dwelling units for the site is acceptable based upon the exemplary site design presented and described by the Applicant. The Applicant is requesting a development incentive for providing the affordable housing units onsite which is to exceed the maximum allowable FAR for the property to construct the Project at 82 percent when 75 percent is the maximum. The Project would meet the required setbacks for the property. The Applicant is also requesting to increase the maximum building height to 30 feet with the consideration of a DRP. If approved, the Project would be 29.98 feet in height when measured from the proposed grade. The Project meets the required number of off-street parking spaces (2 per unit or 26 total) and exceeds the required guest parking spaces by 1 space (3 required per 13 units and 4 would be provided). The Project complies with the applicable property development regulations should the City Council agree with the exemplary site design.

The proposed design would locate all resident parking in attached two-car garages and break up the massing of the development by constructing two buildings separated by the driveway at the street frontage with the two other detached buildings at the rear of the property with a first-floor finished floor that is approximately 9.6 feet lower than the finished floor of the units fronting on Stevens Ave.

### Landscape:

The Project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

### Roads, Pedestrian Walkways, Parking, and Storage Areas:

The required parking for each unit will be provided in attached two-car garages. The four guest parking spaces are provided in between Buildings 1 and 2 on the northern half of the property. At the north end of the guest parking, a trash enclosure would be provided with space for common trash, recycling, and organic waste recycling. Pedestrian access to the dwelling units would be provided on either side of the proposed driveway which would be a "T" shape on the property.

### Property Frontage and Public Right-of-Way Improvements:

The existing property frontage is improved with concrete curb, gutter and sidewalk. If approved, the Applicant will be required to remove and reconstruct the existing driveway approach to meet current City standards and replace any damaged sidewalk panels.

The north property line for this development is along the south property line of La Colonia Park and the east property line is along Stevens Creek. This project would upgrade the surrounding drainage infrastructure to prevent future flooding on the development and La Colonia Park. Offsite drainage improvements would collect water and route it through the property to Stevens Creek. The main connection from this development to Stevens Creek would also be improved.

### Grading:

Grading will take place on the entire site with 1,140 CY of cut, 360 CY of fill and 780 CY of export off site. A majority of the grading that would take place would be to remove and reconstruct the existing driveway so that it meets the current City standards. The proposed driveway would have a more gradual slope than what currently exists and the proposed garages on either side would be terraced so that they have level finished floors as you travel down the slope. The remainder of the property would be leveled out to provide a flat building pad for Buildings 2 and 3 as well as guest parking spaces. Additional grading is proposed to accommodate the on-site drainage of new impervious

areas, create pedestrian entrances to the site, and complete site improvements in common areas of the development.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The Project is a multi-family residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 3,250 square feet. The proposed project provides common open space in the front with two landscaped entry courtyards with seat walls and also in the rear yard area with landscaped open lawns with benches and seat walls for a total of 3,364 square feet. The Project exceeds the requirement for usable open space by 114 square feet. In addition, as a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

**DRP Finding #3**

The Project requires a DRP, SMAP, and an SDP. The Applicant has satisfied the requirements of the SMAP and SDP, which are explained in detail later in this report.

**DRP Finding #4**

As previously mentioned, the Project is located within the Coastal Zone, and as a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

**Structure Development Permit Compliance (SBMC Chapter 17.63):**

The proposed structures would exceed 16 feet in height measured above the pre-existing grade, therefore, the project must comply with all View Assessment requirements of SBMC Chapter 17.63, and the Applicant was required to complete the SDP process. The Story Pole Height Certifications for each unit were finalized and certified by a licensed land surveyor on January 19, 2024.

Table 3				
Unit #	Tallest Point	Story Pole #	Highest Point	Story Pole #
Unit 1	29.65	38	61.22	5
Unit 2	29.45	36	58.56	12
Unit 3	28.08	20	55.18	20
Unit 4	29.57	113	55.98	113

Unit 5	29.83	111	55.98	111
Unit 6	29.59	110	55.48	86
Unit 7	29.98	95	54.98	95
Unit 8	29.98	108	54.98	108
Unit 9	29.13	104	54.98	104
Unit 10	29.54	65	55.5	65
Unit 11	29.76	73	56.43	73
Unit 12	29.76	75	58.92	51
Unit 13	28.79	43	61.08	43

Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by February 26, 2024, per SBMC 17.63.040(D). No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP and SMAP, the SDP would be approved administratively per SBMC 17.63.040(E).

As a condition of approval, height certifications prepared by a licensed land surveyor will be required prior to the framing inspection certifying the highest point of each unit and the highest point of the new construction will not exceed 29.98 feet above the proposed grade and 61.22 feet above MSL.

**Major Subdivision Compliance (SBMC 16.12.090):**

The project must comply with the subdivision criteria contained SBMC Section 16.12.090 (Major Subdivisions). This section specifies that the City Council may approve, or conditionally approve, a tentative parcel map only if all of the findings can be made. A tentative map shall not be approved or conditionally approved if the City Council finds any of the following:

1. That the proposed map is not consistent with applicable general and specific plans and with applicable zoning provisions of this code.
2. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans and with applicable land use and zoning provisions of this code.
3. That the site is not physically suitable for the proposed type of development.
4. That the site is not physically suitable for the proposed density of development.
5. Unless an environmental impact report was prepared in respect to the project and a finding was made pursuant to Section 21081(c) of the Public Resources Code, that specific economic, social or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

6. That the design of the subdivision or the type of improvements are likely to cause serious public health problems.
7. That the design of the subdivision or the type of improvements will conflict with easements of record or easements established by court judgment, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the city council may approve a map if they find that alternate easements for access or for use will be provided and that these will be substantially equivalent to ones previously acquired by the public.
8. That all requirements of the California Environmental Quality Act (CEQA), as amended, and the environmental protection provision of this code have not been met.
9. That the proposed map fails to meet or perform any of the requirements or conditions of this title or the Subdivision Map Act.
10. In the case of conversions of residential real property to a common interest development, all required notices and reports to tenants have not been or will not be sent as required by law.
11. Subject to the exceptions contained in Government Code Section 66474.4, the property is subject to a contract entered into pursuant to the Land Conversion Act of 1965 (Williamson Act) and the parcels resulting from the subdivision would be too small to sustain agricultural use.

As discussed previously in this report, the project could be found to be in compliance with the General Plan, Zoning Ordinance, and Specific Plans and could be suitable for the type and density of development. The project can be found exempt from CEQA under CEQA Guidelines section 15332 as an in-fill development. As conditioned, meets the requirements of the Subdivision Map Act and all notices will be sent as required by law. This property is not subject to the Williamson Act.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations, and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2024-045 for Council's consideration based upon the information in the report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building or Grading Permit. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the Public Hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on April 12, 2024. As of the publication of this Staff Report, Staff received emails from two neighboring property owners. They were not necessarily in support of or against the project but requesting additional information.

**CEQA COMPLIANCE STATEMENT:**

The Proposed Project can be found exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State CEQA Guidelines. Class 32 In-Fill Development Projects are characterized as in-fill development because they meet the following conditions: The project is consistent with the general plan designation and all applicable general plan policies as well as the applicable zoning designation and regulations; the proposed development occurs within City limits on a project site of not more than five acres and is surrounded by urban uses; the project site has no value for endangered, rare or threatened species; approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

As discussed in the staff report previously, the site is 0.72 acres in size. It complies with the General Plan and Zoning Designations. The property is within the City limits and is surrounded by similar developments. The site is currently developed with 8 residential units. The site has not been identified as an Environmentally Sensitive Habitat Area (ESHA) or adjacent to potential habitat area in our City-Wide Biological Resources Maps Adopted with the City's LUP and the site is currently developed. The Applicant has provided "will-serve" letters from the utilities that are not provided by the City. In addition, the Applicant provided a traffic assessment for the proposed Project and it is considered to have a less than significant transportation impact per CEQA. The "will-serve" letters and traffic assessment have been provided in Attachment 5.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- If the City Council can make the required findings, conditionally approve the DRP, SMAP, and SDP as provided in Resolution 2024-045.
- If the City Council can make the required findings subject to additional conditions, approve the DRP, SMAP, and SDP as provided in Resolution 2024-045 subject to additional specific.

- If the City Council cannot make all required findings to approve the DRP, SMAP, and SDP, deny the project. Staff will return a Resolution of Denial at a later date.

**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and Major Subdivision. Therefore, should the City Council be able to make the findings to approve the DRP and SMAP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15332 of the State CEQA Guidelines; and
3. If the City Council can make the requisite findings and approve the Project, adopt Resolution 2024-045 conditionally approving a DRP, SMAP, and SDP for the Stevens 13 Avenue Project at 718-726 Stevens Avenue, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

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Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-045
2. Project Plans
3. Project Narrative
4. Affordable Housing Plan
5. "will-serve" letters and traffic assessment

## RESOLUTION 2024-045

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT, MAJOR SUBDIVISION, AND STRUCTURE DEVELOPMENT PERMIT FOR THE 13 FOR-SALE DWELLING UNITS AT 718-726 STEVENS AVENUE, SOLANA BEACH, APN: 298-164-10 & 13**

**APPLICANTS: 3981 Garfield Street, LLC  
APPLICATION: DRPP22-003/SMP22-001/SDP22-001**

**WHEREAS**, 3981 Garfield Street, LLC (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP), Major Subdivision (SMAP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on April 24, 2024, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, found the project exempt from the California Environmental Quality Act pursuant to Section 15332 of the State CEQA Guidelines

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP, SMAP, and SDP for the demolition of the existing development and to construct four detached two- and three-story buildings consisting of 13 dwelling units with attached private 2-car garages, four guest parking spaces, associated site improvements including cut and fill grading, drainage improvements, landscaping, and common open space at 718-732 Stevens Avenue, Solana Beach, is conditionally approved based upon the following Findings and subject to the following Conditions:

### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:



- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

#### General Plan Consistency

The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR) and is intended for multi-family residential development within a density range of thirteen to twenty units per acre. The proposed Project may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

Policy LU-1.1: Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.

Policy LU-1.2: The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.

Policy LU-6.6: Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.

Policy LU-6.7: Promote appropriate transitions in building height and bulk which are sensitive to the visual and physical character of adjacent neighborhoods.

The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The Project could be found to be consistent with the following General Plan programs and goals in the City's Housing Element which the City is committed to implementing the housing goals, including regional housing needs assessment / local share goals and affordable housing goals, including:

- The adequate provision of a range of safe and decent housing opportunities that will meet Solana Beach's share of the existing and future housing needs of the region.
- Maintenance, preservation, and enhancement of community and neighborhood character and the quality of residential neighborhoods and commercial areas.

### Local Coastal Plan/Land Use Plan Consistency

The Solana Beach City Council adopted a Local Coastal Plan (LCP) Land Use Plan (LUP) on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LCP/LUP designates the property as High Density Residential. This land use category is intended to be developed with 13-20 dwelling units per acre. This zone is intended for multiple family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers, and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

The proposed Project could be found to be consistent with the LCP/LUP. In particular, the proposed Project could be found to be consistent with the policies in Chapter 5 – New Development, which includes general policies for new development, and policies for residential development, and multi-family development.

### Zoning Ordinance Consistency

SBMC Section 17.20.010(F) specifies that the HR Zone is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities. The HR Zone allows for 13 to 20 dwelling units per net acre. The following is an analysis of the Project consistent with the applicable development regulations.

#### Density Regulations:

Density regulates the number of dwelling units allowed on a lot per net acre. In order to determine the number of units allowed on the 31,330 square-foot, or 0.72 acre (net), parcel based on the density range, the following calculation is used:

net lot size in acres x number of dwelling units per acre = number of units allowed

If the calculation results in a fractional number of 0.7 or greater, the number of units can be rounded up to the nearest whole number. The density range for the subject property is as follows:

HR Density Range: 13-20 du/ac

<b>Base Density: 13 du/ac (net)</b>	<b>Maximum Density: 20 du/ac (net)</b>
0.72 x 13 du/ac = 9.36 du or 9 du	0.72 x 20 du/ac = 14.4 du

In addition, SBMC 17.20.030(b)(4) indicates that multiple dwelling unit projects located in or in proximity to sensitive lands such as steep slopes, coastal bluffs and wetlands shall adjust the allowed density according as follows:

<b>Table 17.20.030-C Density Adjustments for Sensitive Lands</b>	
<b>Area Type</b>	<b>Density Adjustment Multiplier</b>
Wetland Areas	0.00
Slopes less than 25% grade	1.00
Slopes 25% to 40% grade and not also in another sensitive area	0.50
Slopes greater than 40% grade	0.00
Slopes of 25% or greater grade: 1. Along Coastal Bluffs 2. Uplands Adjoining the San Elijo Lagoon	0.00

The Applicant provided a Slope Analysis Exhibit and density calculations on sheet SA of the attached project plans (Attachment 1) that shows the density adjustment according to table 17.20.030(C) as follows:

<b>Density Adjustment Multiplier Low End</b>				
Slope % Range	Density Adjustment Factor	Density Adjustment	Net Area (Acres)	Number of Units
0-25	1.0	13	0.70	9.10
25-40	0.5	6.5	0.01	0.03
40-100	0	0	0.01	0
Total Units:				<b>9.13</b>
<b>Density Adjustment Multiplier High End</b>				

Slope % Range	Density Adjustment Factor	Density Adjustment	Net Area (Acres)	Number of Units
0-25	1.0	20	0.70	14.0
25-40	0.5	10	0.01	0.05
40-100	0	0	0.01	0
Total Units:				<b>14.05</b>

The Applicant is requesting to exceed the base density to construct 13 dwelling units. SBMC 17.20.030(B)(1)(c) indicates that:

*The maximum density shall not be construed to be a “guaranteed right” and shall be granted only upon demonstration that the proposed development incorporates exemplary site planning and design and complies with all applicable zoning regulations and general plan objectives. Whenever the proposed density for a site is greater than that permitted by subsection (a) of this table, the increased density shall be justified by consideration of such matters as: superior project design; public facility availability; availability of public transportation; proximity to public recreation; proximity to public facilities or community amenities provided by the developer of the site; whether the increased density will assist the city in meeting its regional housing obligations and local housing goals; whether the increased density will adversely affect the neighborhood; or whether the increased density will assist the city in meeting other general plan goals and objectives.*

The Applicant has provided a narrative for the Project indicating how it satisfies the requirements of this section of the code and is requesting that the Council approve the Project in excess of the base density, but within the allowable range for the HR Zone (Attachment 3). In the narrative, the Applicant cites that the proposed project contains elements of superior design by being in close proximity to public transportation including bus route 308, recreation and amenities such as La Colonia Park and Skatepark, the Del Mar Racetrack and Fairgrounds, multiple shopping centers, schools and churches. In addition, if approved, the project would add 5 dwelling units towards meeting the City’s housing obligations, 2 of which would be reserved for households that qualify for low-income housing and would be constructed on the project site and of the 13 dwellings constructed, 10% would be accessible to persons with disabilities. If the Council is able to make the finding that the project demonstrates exemplary site planning and design in accordance with this section of the Municipal Code, the

attached resolution will be modified to reflect the specific findings made by the Council.

#### Minimum Yards/Setbacks:

As designed, the project complies with all required setbacks under the designation “d” on the City’s official Zoning Map. The required front yard setback is reduced to 20 feet because Stevens Avenue is 55 feet in width per SBMC 17.20.030.D.1.b. The Project would meet or exceed all of the required setbacks. The plans show that proposed roof eaves will encroach into the required setbacks a maximum of two feet as permitted by SBMC 17.20.030.D.4.

#### Maximum Floor Area Ratio:

The maximum allowable Floor Area Ratio (FAR) for the HR Zone is 75 percent of the gross lot area. The maximum allowable FAR for the 32,762 square-foot lot (gross) is 24,572 square feet. The Applicant is asking for one development incentive in consideration of constructing the affordable housing onsite and that is to increase the maximum allowable FAR to 0.82, or 26,941 square feet.

Building 1 is proposed to be 6,235 square feet including garages and would include three two-story, three bedroom attached units with private attached two-car garages. Each unit would consist of a two-car garage, two bedrooms, and one bathroom on the main floor and a second floor with an open concept kitchen, dining area, and living area, a powder room, laundry closet and the primary bedroom suite. A 62 square foot deck is proposed off the living/dining area and a 100 square foot deck is proposed off the primary bedroom. A 99 square foot roof deck is proposed on top of each unit in Building 1.

Building 2 is proposed to be 8,391 square feet and Building 3 is proposed to be 8,392 square feet including garages. These buildings would include three, four-bedroom three-story units with attached two-car garages. The units in Buildings 2 and 3 would have similar main floor plans as Building 1. The second floor would consist of the open living, dining, and kitchen with a powder room, laundry room, a 65 square foot deck, and 59 square foot deck on either side of the living area. The third floor would consist of a primary bedroom suite with a 45 square foot deck and another bedroom with an ensuite bathroom and an 86 square foot deck. Buildings 2 and 3 would not have roof decks.

Building 4 is proposed to be 9,132 square feet including garages and would include one four-bedroom three-story unit and three, three-bedroom two-story units. The main floor would consist of the attached two-car garages, two bedrooms and a bathroom. A laundry room was

added to the main floor of the three-bedroom units. The second floor would consist of the primary suite, a powder room, and open concept kitchen, living and dining room. There is an “L” shaped deck off the living area that is approximately 153 square feet. The two-story units would have 172 square foot roof decks. The second and third floors of the four-bedroom unit are the same as the second floor of Buildings 2 and 3. In every garage, two unobstructed parking spaces that are 9 ft. by 19 ft and clear of obstruction are provided. Therefore, each garage qualifies for a 400 square foot exemption for a total exemption of 5,200 square feet.

#### Maximum Building Height:

The maximum building height for the HR Zone is 25 feet. Pursuant to a DRP, the maximum building height for the HR Zone can be increased to 30 feet. The Applicant is requesting to increase the maximum building height. The maximum height of the proposed Project was certified at 29.98 feet above the proposed grade with the highest point of the development at 61.22 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the Project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

#### Required Off-Street Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) off-street parking spaces per dwelling unit in a multi-family development with two or more bedrooms and one (1) off-street guest parking space per every four dwelling units. The Project includes attached 2-car garages for each dwelling unit as well as 4 uncovered guest parking spaces. In total, the Project would provide the required 26 resident parking spaces (two per dwelling unit) and exceed the required guest parking spaces by providing four when three are required (one per four units).

As designed, the Project will comply with the required parking, required setbacks, and the increased maximum building height.

#### Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

Currently, the preliminary grading plan shows a site wall around the entire property and also in the front yard setback surrounding the pedestrian walkways and entry courtyards. Where the wall is located within the required front yard setback, the site wall ranges in height from 0.5 feet to 3.4 feet in height as measured above the existing grade. Where located outside of the front yard setback the site wall is between 1.3 and 5.6 feet in height as measured from existing grade. It is shown that the site wall will partition a small area of private outdoor space for each unit. The site rendering indicates that there is a proposed fence on top of the site wall, however, the plans do not show specifications for that fence. The site plan does note that the proposed fence and wall combination will comply with the fence and wall heights as noted above and required in the Municipal Code. As conditioned, if the Applicant decides to modify any of the proposed fences and walls, they will be required to comply with the requirements in SBMC Section 17.20.040(O) and 17.60.070.

#### Affordable (Inclusionary) Housing:

SMBC Chapter 17.70 specifies the City's affordable inclusionary housing requirements. Developers of for-sale residential projects providing five or more dwelling units for residential purposes, shall construct and set aside 15% of all units for sale to very low- or low-income households at sales prices affordable to such persons or households.

$$13 \text{ units} \times 15\% = 1.95 \text{ units or } 2 \text{ units}$$

The affordable units shall be designed to be integrated into the residential style of the project and shall have the same general bulk, scale, average square footage, same mix and height as the market rate units in the development. The units shall also be comparable in the overall number of bedrooms and the proportion of units in each bedroom category. The required affordable units shall remain affordable for 99 years from the date of the final inspection as shown on the inspection card for the affordable unit.

The Applicant has proposed to construct one 2,059 square foot (including garage), three-bedroom unit and one 2,829 square foot (including garage) four-bedroom affordable unit onsite to be sold at prices affordable to persons or households in the low-income designation. The Applicant's Affordable Housing Plan is provided in Attachment 4.

Prior to the final inspection, a deed restriction will be recorded on the title of each affordable unit restricting the sale for 99 years from the date

of final inspection to persons that qualify for low-income housing according to the California Health and Safety Code. In addition, the City has added a condition of approval to this Resolution to require the Applicant offer the sale of the affordable units to qualified individuals that were involved in the Pearl settlement, displaced by the redevelopment of Solana Highlands, or displaced by the redevelopment of the Project site before offering them for sale to qualified individuals of the general public.

### Specific Plans and Special Overlays

The property is not located within any of the City's Specific Plan areas or special overlays. The Project is located within the Coastal Zone, and as a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the HR Zone. Properties to the south and east are also located within the HR Zone, properties to the west are located within the Medium High Residential Zone and the property directly north is La Colonia Park and is zoned Open Space Recreation. Surrounding properties are developed with a mixture of single-family residences and multi-family residential developments and the park. The Project, as designed, is consistent with the permitted uses for the HR Zone as described in SBMC Sections 17.20.010 and 17.12.020 and could be found to be to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*



As proposed, the density of 13 units would fall within the allowable range for the 0.72-acre (net) property located in the HR Zone. The Council may find that the request to exceed the base density of 9 dwelling units for the site is acceptable based upon the exemplary site design presented and described by the Applicant. The Applicant is requesting a development incentive for providing the affordable housing units onsite which is to exceed the maximum allowable FAR for the property to construct the Project at 82 percent when 75 percent is the maximum. The Project would meet the required setbacks for the property. The Applicant is also requesting to increase the maximum building height to 30 feet with the consideration of a DRP. If approved, the Project would be 29.98 feet in height when measured from the proposed grade. The Project meets the required number of off-street parking spaces (2 per unit or 26 total) and exceeds the required guest parking spaces by 1 space (3 required per 13 units and 4 would be provided). The Project complies with the applicable property development regulations should the City Council agree with the exemplary site design.

The proposed design would locate all resident parking in attached two-car garages and break up the massing of the development by constructing two buildings separated by the driveway at the street frontage with the two other detached buildings at the rear of the property with a first-floor finished floor that is approximately 9.6 feet lower than the finished floor of the units fronting on Stevens Ave.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project. A

separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The required parking for each unit will be provided in an attached two-car garages. The four guest parking spaces are provided in between Buildings 1 and 2 on the northern half of the property. At the north end of the guest parking, a trash enclosure would be provided with space for common trash, recycling and organic waste recycling. Pedestrian access to the dwelling units would be provided on either side of the proposed driveway which would be a "T" shape on the property.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

Grading will take place on the entire site with 1,140 CY of cut, 360 CY of fill and 780 CY of export off site. A majority of the grading that would take place would be to remove and reconstruct the existing driveway so that it meets the current City standards. The proposed driveway would have a more gradual slope than what currently exists and the proposed garages on either side would be terraced so that they have level finished floors as you travel down the slope. The remainder of the property would be leveled out to provide a flat building pad for Buildings 2 and 3 as well as guest parking spaces. Additional grading is proposed to accommodate the on-site drainage of new impervious area, create pedestrian entrances to the site, and complete site improvements in common areas of the development.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The Project is a multi-family residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 3,250 square feet. The proposed project provides common open space in the front with two landscaped entry courtyards with seat walls and also in the rear yard area with landscaped open lawns with benches and seat walls for a total of 3,364 square feet. The Project exceeds the requirement for usable open space by 114 square feet. In addition, as a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Major Subdivision and Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

B. In accordance with Section 16.12.090 (Major Subdivision of the Solana Beach Municipal Code, the City finds the following:

I. *A tentative map shall not be approved or conditionally approved if the city council finds any of the following:*

a. *That the proposed map is not consistent with applicable general and specific plans and with applicable zoning provisions of this code.*

(To be completed if the Council approves the project above the base density, with the development incentive and the increase in height.)

b. *That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans and with applicable land use and zoning provisions of this code.*

(To be completed if the Council approves the project above the base density, with the development incentive and the increase in height.)

c. *That the site is not physically suitable for the proposed type of development.*

(To be completed if the Council approves the project above the base density, with the development incentive and the increase in height.)

d. *That the site is not physically suitable for the proposed density of development.*

(To be completed if the Council approves the project above the base density.)

e. *Unless an environmental impact report was prepared in respect to the project and a finding was made pursuant to Section 21081(c) of the Public Resources Code, that specific economic, social or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.*

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State CEQA Guidelines because it is an in-fill development that meets all the conditions of that section: the project complies with the General Plan and Zoning Designations; is on a 0.7-acre site within the

City limits that is surrounded by similar developments and is itself currently developed; the project site has no species habitat value; the project will be adequately served by all the utilities that are not provided by the city; and the project will have a less-than-significant traffic impact.

- f. That the design of the subdivision or the type of improvements are likely to cause serious public health problems.*

No public health problems have been identified as a result of the proposed improvements proposed with the subdivision.

- g. That the design of the subdivision or the type of improvements will conflict with easements of record or easements established by court judgment, acquired by the public at large, for access through or use of property within the proposed subdivision. In this connection, the city council may approve a map if they find that alternate easements for access or for use will be provided and that these will be substantially equivalent to ones previously acquired by the public.*

All current easements on the property will be maintained.

- h. That all requirements of the California Environmental Quality Act (CEQA), as amended, and the environmental protection provision of this code have not been met.*

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State CEQA Guidelines because it is an in-fill development that meets all the conditions of that section: the project complies with the General Plan and Zoning Designations; is on a 0.7-acre site within the City limits that is surrounded by similar developments and is itself currently developed; the project site has no species habitat value; the project will be adequately served by all the utilities that are not provided by the city; and the project will have a less-than-significant traffic impact.

- i. That the proposed map fails to meet or perform any of the requirements or conditions of this title or the Subdivision Map Act.*

The project, as conditioned, has been found to be in compliance with the Subdivision Map Act.

- j. In the case of conversions of residential real property to a common interest development, that all required notices and*

*reports to tenants have not been or will not be sent as required by law.*

All required notices have been sent to the current tenants of the property.

*k. Subject to the exceptions contained in Government Code Section 66474.4, the property is subject to a contract entered into pursuant to the Land Conversion Act of 1965 (Williamson Act) and the parcels resulting from the subdivision would be too small to sustain agricultural use. The determination of ability to sustain agricultural use shall be made according to the provisions to Government Code Section 66474.4. (Ord. 101 Exh. A, 1989).*

The property is not subject to the Williamson Act.

C. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structures would exceed 16 feet in height measured above the pre-existing grade, therefore, the project must comply with all View Assessment requirements of SBMC Chapter 17.63, and the Applicant was required to complete the SDP process. The Story Pole Height Certifications for each unit were finalized and certified by a licensed land surveyor on January 19, 2024.

Table 3				
Unit #	Tallest Point	Story Pole #	Highest Point	Story Pole #
Unit 1	29.65	38	61.22	5
Unit 2	29.45	36	58.56	12
Unit 3	28.08	20	55.18	20
Unit 4	29.57	113	55.98	113
Unit 5	29.83	111	55.98	111
Unit 6	29.59	110	55.48	86
Unit 7	29.98	95	54.98	95
Unit 8	29.98	108	54.98	108
Unit 9	29.13	104	54.98	104
Unit 10	29.54	65	55.5	65
Unit 11	29.76	73	56.43	73
Unit 12	29.76	75	58.92	51
Unit 13	28.79	43	61.08	43

Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by February 26, 2024. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP and SMAP, the SDP would be approved administratively per SBMC 17.63.040(D)-(E).

As a condition of approval, height certifications prepared by a licensed land surveyor will be required prior to the framing inspection certifying the highest point of each unit and the highest point of the new construction will not exceed 29.98 feet above the proposed grade and 61.22 feet above MSL.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on April 24, 2024, and located in the project file with a submittal date of April 17, 2024.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the highest point of new construction will not exceed 29.98 feet above the proposed grade and 61.22 feet above MSL. The Applicant shall also submit height certifications for each unit that do not exceed the tallest portion of the structure or the highest point that was story poled as shown in the table on page 15 of this resolution.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial

conformance with the conceptual landscape plan included in the project plans presented to the City Council on April 24, 2024, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.

- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XI. The Applicant shall comply with the Master Art Policy (MAP) by paying the associated fee prior to the issuance of a Building Permit. The fee may be refunded after an approved alternative art installation either onsite or in a MAP-designated area.
- XII. The Applicant shall offer the sale of the two affordable units first to those persons or households that qualify for low income housing named in the Pearl Settlement, displaced by the redevelopment of Solana Highlands and current renters displaced because of the redevelopment of the project site.
- XIII. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and



shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. **ACCESS ROAD MINIMUM DIMENSIONS:** Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than **two** single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.1 and 503.2.3.*
- II. **BUILDINGS AND FACILITIES:** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend **within 150 feet** of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the *2019 California Fire Code Chapter 5 Section 503.1.1.*
- III. **GRADE:** The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent) per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.2.7 and 503.2.8.*
- IV. **RESPONSE MAPS:** Any new development, which necessitates updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates in one of the following formats (AutoCad DWG, DXF, ESRI shapefile, ESRI personal geodatabase, or XML format) and shall be charged a reasonable fee for updating all response maps per the

*Solana Beach Municipal Code Title 15 Building and Construction  
Chapter 15.32 Fire Code Section 15.32.010 Section 104.12.*

- V. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the *2019 California Fire Code Chapter 33:*
1. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
  2. As a minimum the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles.
  3. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- VI. **POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”:** Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility per the *Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.3 and 503.4.3.* **Driveway access is designated as a Fire Lane and shall be marked per Solana Beach guidelines.**
- VII. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the *2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.*
- VIII. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4” high with a ½” inch stroke width for residential buildings, 8” high with a ½” stroke for commercial and multi-family residential buildings, 12” high with a 1” stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the *2019 California Fire Code Chapter 5 Section 505.1.*

- IX. **ADDRESS NUMBERS FOR STRUCTURES LOCATED OFF ROADWAY:** Where structures are located off a roadway on long easements/driveways, a monument marker shall be placed at the entrance where the easement/driveway intersects the main roadway. Permanent address numbers with height conforming to Fire Department standards shall be affixed to this marker per 2019 California Fire Code Chapter 5 Section 505.2.
- X. **AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.
- XI. **CLASS “A” ROOF:** All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.

C. Engineering Department Conditions:

GENERAL:

- I. The Applicant is required to obtain an Engineering Permit in accordance with SBMC Section 11.20 for all work performed in the public right-of-way, including the below-mentioned frontage improvements. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
- a. Construction of the City Standard Driveway approach per G-14D.
  - b. Construction of a Sewer Manhole per the Water Agency Standards WAS SM-01 & SM-03.
  - c. Relocation of the water service line.
  - d. Installation of the fire and irrigation water service lines.
  - e. Replacement of the existing 12” CMP with a 12” PVC pipe at the existing storm water channel.

All proposed improvements within the public right-of-way shall comply with the San Diego Regional Standard Drawings and City standards including, but not limited to, the Off-Street Parking Design Manual.

- II. The Applicant shall record an Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond or the Security Deposit/Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all private improvements in the public right of way including, but not limited to:
  - a. Sewer Manhole
  - b. 12" PVC Storm Drainpipe
- III. The Applicant is required to obtain all necessary permits for connection of the proposed irrigation system to the existing recycled waterline located along Stevens Avenue.
- IV. The Applicant shall pay a Traffic Impact Fee (TIF) associated with the construction of the new condo & multi-family residence. The current TIF for a residential condo and multi-family unit is \$13,496 per unit. The total TIF to be paid is \$67,480 (five new units) and must be paid prior to issuance of the building permit.
- V. The Applicant shall pay a Regional Transportation Congestion Improvement Program (RTCIP) fee associated with the construction of the new condo & multi-family residence prior to Building Permit Issuance that is required. The current fee rate for a residential condo and multi family unit is \$2,899 per unit. The total TIF cost the Applicant is responsible for is \$14,495 (five new units) prior to issuance of the building permit.
- VI. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VII. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

STORM WATER/DRAINAGE:

- VIII. The drainage system for this project is designed to connect to the existing concrete channel to the east side of the project. The Applicant is required to replace the existing Corrugated Metal Pipe (CMP) from the easterly property boundary to the existing drainage structure. This segment of the CMP is located outside of the project boundary and replacement would require a Letter of Permission from the adjacent property owner to the east side of the project site. The Applicant shall

provide engineering details of the proposed connection to the satisfaction of the City Engineer.

- IX. The Applicant shall construct an off-site drainage system north of the northerly property line within La Colonia Park as proposed on the preliminary grading plans. Once constructed per the approved final grading plans, this drainage system will be maintained by the City. The connection of the above-mentioned drainage system to the existing concrete channel on the east side of the property is all within the boundary of the proposed project. This segment of the drainage system shall be maintained in perpetuity by the proposed project to the satisfaction of the City Engineer. Any proposed changes to this drainage system with the Applicant's property shall be authorized by the Solana Beach Engineering Department.
- X. The Applicant shall record a Hold Harmless Agreement prior to final inspection of the building permit. The document will hold the City of Solana Beach harmless for the storm drain system on the Applicant's property. The Applicant shall record the Hold Harmless Agreement document concurrent with the recordation of the final map and prior to final inspection of the building permit.

SEWER:

- XI. The Applicant shall pay in full the one-time Sewer Capacity Fee of \$4,500 per Equivalent Dwelling Unit (EDU) prior to issuance of the building permit. The EDU assignment is determined by SBMC 14.08.060. The existing parcels are being assessed for six EDUs. The proposed project would increase the number of units on the property to 13 residential units. Multi-family residential complexes are charged 0.9 EDUs per unit. With 13 units, the development should be assessed 11.7 EDUs (13 EDU \* 0.9). This would increase the property's EDU assignment by 5.7 EDUs (11.7 EDU – 6 EDU). The cost the Applicant is responsible for is \$25,650 prior to Building Permit Issuance (5.7 EDU \* \$4,500).
  - a. Pay in full the prorated portion of the current annual sewer charge for the remainder of the fiscal year.
  - b. A Sewer Permit and Encroachment Permit are required for the private sewer lateral. The Applicant shall coordinate with the Public Works inspector to allow the inspector to inspect the entire length of the private sewer lines within the public right of way before backfilling.
  - c. The Applicant shall record a Hold Harmless Agreement. The document will hold the City of Solana Beach harmless in case of

a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property. The Applicant shall record the Hold Harmless Agreement document prior to final inspection of the building permit.

- XII. Prior to occupancy/final inspection of the building permit, an easement shall be recorded for access and maintenance of the public sewer main.

GRADING:

- XIII. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
- a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
  - b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
  - c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan.
  - d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.

- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicant shall provide temporary shoring for construction of the proposed retaining walls along the northerly and southerly property lines to the satisfaction to the City Engineer.
- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or

structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.

- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed.
- o. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demolition permit is required for removing existing structures before grading, the Applicant shall obtain the demolition permit separately in order to certify the grading prior to issuance of the building permit.

#### SUBDIVISION MAP

- XIV. Prepare a Subdivision Map in accordance with Chapter 16.20 of SBMC.
- XV. Pay Subdivision Map plan check fees in accordance with the current Engineering Fee Schedule.
- XVI. Prior to obtaining a building permit or grading permit, a Subdivision Map shall be prepared and recorded in accordance with Chapter 16.20 of SBMC.
- XVII. Provide a Subdivision Map Guarantee within ten days before recording the Parcel Map.
- XVIII. The Applicant shall comply with Section 66436 of the Government Code by furnishing to the City Engineer a certification from each public utility and each public entity owning easements within the proposed subdivision stating that: (a) they have received from the developer a copy of the proposed Parcel Map; (b) they object or do not object to the filing of the Subdivision Map without their signature; (c) in the case of a street dedication affected by their existing easement, they will sign a "subordination certificate" or "joint use certificate" on the map when required by the governing body.
- XIX. The private sewer easement towards the East end of the property shall be a minimum of 10 feet wide for maintenance of drainage facilities. No encroachment will be authorized within the easement.
- XX. Installation and maintenance of sewer laterals to each lot is the responsibility of each unit's property owner.



- XXI. When the property is developed, the Applicant shall demonstrate to the satisfaction of the City Engineer that the project does not increase storm water runoff or peak discharge from the existing condition, and that the requirements of SBMC 13.10 Storm Water Management and the State Regional Water Quality Control Board requirements.
- XXII. A preliminary soils report, prepared by a civil engineer registered in this state, and based upon adequate test borings, shall be submitted prior to recording of the final parcel map and noted on the final parcel map.
- XXIII. In accordance with SBMC Section 16.20.020 City Council shall approve final subdivision map prior to recording.
- XXIV. A drainage detention storage and storm water management easement shall be dedicated on the final map. This easement shall reserve the area required for storm water management and detention for the 13-unit condominium and shall not be altered without City approval.
- XXV. Prior to the recordation of the final map, the Applicant shall assure by permits and bond compliance with all DRP/SDP conditions to the satisfaction of the City Engineer and Planning Director.
- XXVI. Units 11 and 8 of the proposed subdivision have been allocated for the Project's compliance with the affordable housing requirements. These units shall not be sold, financed, or leased as market rates and shall only be available for sale under the City's affordable housing requirements for a period of ninety-nine (99) years. Prior to the recordation of the final map, these units shall be deed restricted for the affordable housing purposed to the satisfaction of the City Engineer and the City Attorney. Any deviation from or modification to this requirement shall be subject to a DRP amendment approved by the City Council in a Public Hearing.

D. City Council Conditions:

I.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit, Major Subdivision, and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

### III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a special meeting of the City Council of the City of Solana Beach, California, held on the 24<sup>th</sup> day of April, 2024, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

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# STEVENS 13

718-732 STEVENS AVENUE  
SOLANA BEACH, CALIFORNIA 92075

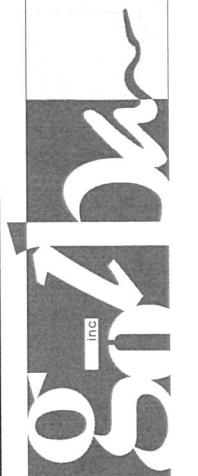


ARTISTIC RENDERING - CONCEPT ONLY. REFER TO CONSTRUCTION PLANS FOR DETAILS, MEANS, AND METHODS.

## DEVELOPMENT REVIEW PERMIT SUBMITTAL SET

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
4455 Lamont St., Suite 101 San Diego California 92109  
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STEVENS 13  
718-732 STEVENS AVE.  
SOLANA BEACH, CA 92075

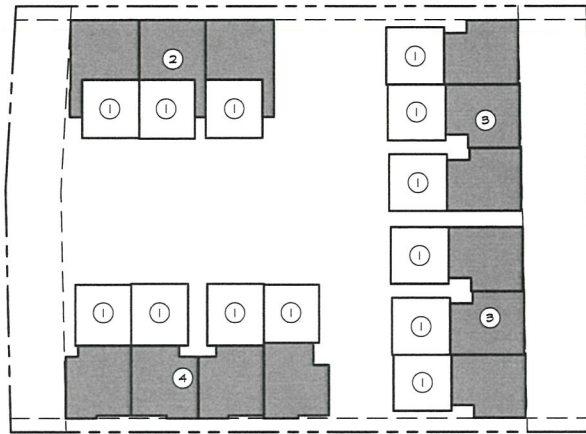


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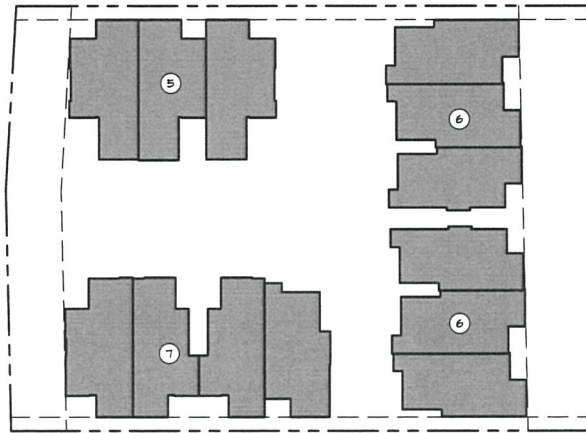
ATTACHMENT 2

DATE: 06-10-23

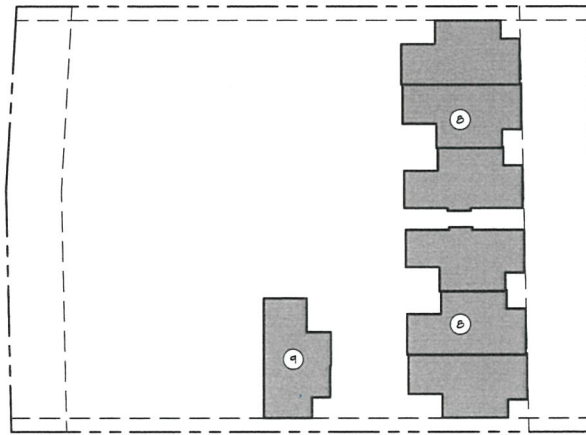
## GROSS FLOOR AREA DIAGRAM



1ST FLOOR



2ND FLOOR



3RD FLOOR

### G.F.A. KEYNOTES

- 1 PER SBMC SECTION 17.20.030(F)(4), 200 S.F. PER PARKING SPACE IN GARAGE (400 S.F. PER GARAGE) IS NOT INCLUDED IN G.F.A.
- 2 1ST FLOOR G.F.A. OF BUILDINGS 1 (UNITS 1, 2 & 3), 1,095 S.F.
- 3 1ST FLOOR G.F.A. OF BUILDING 2 (UNITS 4, 5 & 6) 1,845 S.F. & BUILDING 3 (UNITS 7, 8 & 9), 1,846 S.F.
- 4 1ST FLOOR G.F.A. OF BUILDING 4 (UNITS 10, 11, 12 & 13), 2,603 S.F.
- 5 2ND FLOOR G.F.A. OF BUILDINGS 1 (UNITS 1, 2 & 3), 3,140 S.F.
- 6 2ND FLOOR G.F.A. OF BUILDING 2 (UNITS 4, 5 & 6) 2,859 S.F. & BUILDING 3 (UNITS 7, 8 & 9), 2,860 S.F.
- 7 2ND FLOOR G.F.A. OF BUILDING 4 (UNITS 10, 11, 12 & 13), 4,014 S.F.
- 8 3RD FLOOR G.F.A. OF BUILDING 2 (UNITS 4, 5 & 6) 2,487 S.F. & BUILDING 3 (UNITS 7, 8 & 9), 2,486 S.F.
- 9 3RD FLOOR G.F.A. OF BUILDING 4 (UNITS 10 & 11), 906 S.F.

### BUILDING MATRIX

BUILDING	FLOOR				TOTAL
	1ST	2ND	3RD	TOTAL	
1	1,095	3,140	--	5,035	
2	1,845	2,859	2,487	7,191	
3	1,846	2,860	2,486	7,192	
4	2,603	4,014	906	7,523	
TOTAL	8,189	12,873	5,879	26,941	

## GROSS FLOOR AREA/F.A.R

### UNIT MATRIX

BLDG. #	UNIT #	UNIT TYPE	FLOOR/AREA				TOTAL
			GAR.	1ST	2ND	3RD	
1	1	3BD 2.5BA	428	544	1,035	--	2,051
	2	3BD 2.5BA	444	540	1,047	--	2,081
	3	3BD 2.5BA	438	601	1,058	--	2,097
2	4	4BD 3.5BA	438	588	978	850	2,849
	5	4BD 3.5BA	428	579	954	835	2,801
	6	4BD 3.5BA	434	578	927	802	2,741
3	7	4BD 3.5BA	434	587	941	812	2,774
	8	4BD 3.5BA	438	583	965	843	2,829
	9	4BD 3.5BA	428	576	954	831	2,789
4	10	4BD 3.5BA	428	548	996	906	2,928
	11	3BD 2.5BA	464	606	989	--	2,059
	12	3BD 2.5BA	464	596	972	--	2,032
	13	3BD 2.5BA	448	599	1,057	--	2,104
TOTAL			5,714	7,675	12,873	5,879	32,141

TOTAL PROJECT FLOOR AREA	32,141
TOTAL PROJECT HABITABLE FLOOR AREA (TOTAL FLOOR AREA LESS GARAGE AREA)	26,427
*TOTAL PROJECT GROSS FLOOR AREA (TOTAL FLOOR AREA LESS 400 S.F. PER GARAGE, USED TO CALCULATE F.A.R)	26,941
*PER SBMC SECTION 17.20.030(F)(4), 200 S.F. PER REQUIRED PARKING SPACE IN A GARAGE (400 S.F. PER GARAGE) IS EXEMPT FROM THE F.A.R. CALCULATIONS	

## PARKING CALCULATIONS

RESIDENTIAL PARKING REQUIRED			
AUTOMOBILE SPACES			
UNIT SIZE	QUANTITY	SPACES PER UNIT	TOTAL
3 BEDROOM UNITS	5	2	10
4 BEDROOM UNITS	8	2	16
TOTAL FOR GUEST PARKING	13	.25	4
TOTAL SPACES REQUIRED			24
SPACES PROVIDED			
	ADA	STANDARD	TOTAL
AUTOMOBILE IN GARAGES	-	26	26
GUEST SPACES (UNCOVERED)	1	3	4
TOTAL SPACES PROVIDED			30
PARKING NOTES: 1. RESIDENTIAL PARKING RATIO REQUIREMENTS PER THE SOLANA BEACH MUNICIPAL CODE SECTION 17.82.040.			

## LANDSCAPE AREA TABLE

	EXISTING (S.F.)	PROPOSED (S.F.)
NON-LANDSCAPED AREA	22,392	25,542
NON-IRRIGATED LANDSCAPE	0	0
IRRIGATED LANDSCAPE	8,244	5,870
WATER FEATURES	0	0
DECORATIVE HARDSCAPE	2,086	1,350
TOTAL LOT AREA	32,762	32,762
		PROPOSED (S.F.)
IRRIGATED LANDSCAPE		5,870
WATER FEATURES		0
DECORATIVE HARDSCAPE		1,350
AGGREGATE LANDSCAPE AREA		7,220

## PROJECT DATA

### PROJECT DESCRIPTION:

THE PROJECT PROPOSES TO DEMOLISH (4) EXISTING 2 & 3 STORY DUPLEX RESIDENTIAL STRUCTURES & EXISTING SITE IMPROVEMENTS ON 2 CONTIGUOUS LEGAL PARCELS. THE PROJECT PROPOSES THE CONSTRUCTION OF 18 NEW SINGLE-FAMILY TOWNHOMES, INCLUDING A 2-STORY TRIPLEX STRUCTURE, (2) 3-STORY TRIPLEX STRUCTURES & A (4) UNIT STRUCTURE CONSISTING OF (3) 2-STORY UNITS & (1) 3-STORY UNIT. WITH ASSOCIATED SITE & LANDSCAPE FEATURES. 11 OF THE DWELLING UNITS WILL BE FOR SALE MARKET RATE UNITS & 2 OF THE DWELLING UNITS WILL BE FOR SALE AFFORDABLE UNITS. THE PROJECT PROPOSES TO RESERVE THE (2) AFFORDABLE UNITS (15.4% OF THE DEVELOPMENT UNITS) FOR LOWER INCOME HOUSEHOLDS PER SBMC 17.10.020. IN CONSIDERATION OF THE ON-SITE AFFORDABLE UNITS, THE PROJECT REQUESTS A SINGLE DEVELOPMENT INCENTIVE TO INCREASE THE ALLOWABLE FAR FROM .75 TO .82.

SITE ADDRESS: 718-726 STEVENS AVENUE  
SOLANA BEACH, CA 92075

ASSESSOR'S PARCEL NUMBER: PARCEL 1: 298-164-10-00  
PARCEL 2: 298-164-13-00

### LEGAL DESCRIPTION:

PARCEL 1: (APN: 298-164-10-00)  
THAT PORTION OF LOT 18 OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1787, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:  
BEGINNINGS AT THE NORTHWEST CORNER OF SAID LOT 18; THENCE ALONG THE NORTH LINE OF SAID LOT 18 NORTH 84°54' EAST 213.0 FEET; THENCE SOUTH 11°8' EAST ON A LINE PARALLEL WITH THE WEST LINE OF LOT 18, 76.65 FEET; THENCE SOUTH 84°54' WEST, ON A LINE PARALLEL WITH THE NORTH LINE OF LOT 18, 213.0 FEET; THENCE NORTH 11°8' WEST ALONG THE WEST LINE OF LOT 18, 76.65 FEET TO THE POINT OF BEGINNING.

### EXCEPTING THEREFROM THE FOLLOWING DESCRIBED LAND:

THAT PORTION OF LOT 18 OF THE EDEN GARDENS SUBDIVISION, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1787 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 27, 1923, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNINGS AT THE NORTHWEST CORNER OF SAID LOT 18; THENCE SOUTH 0°42'38" EAST 76.74 FEET ALONG THE WEST LINE THEREOF TO A LINE PARALLEL WITH AND DISTANT 42.00 FEET EASTERLY OF THAT CERTAIN COURSE IN THE CENTERLINE OF STEVENS AVENUE SHOWN AS HAVING A BEARING AND DISTANCE OF NORTH 3°10'15" EAST 429.27 FEET ON EXHIBIT "B-1" ATTACHED HERETO; THENCE NORTH 3°10'15" EAST 76.82 FEET ALONG SAID PARALLEL LINE TO THE NORTH LINE OF SAID LOT; THENCE NORTH 84°54' WEST 52.0 FEET TO THE POINT OF BEGINNING.

PARCEL 2: (APN: 298-164-13-00)

THE NORTHERLY 78 FEET OF THE SOUTHERLY 156 FEET OF LOT 18 OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1787, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, THE NORTHERLY AND SOUTHERLY LINES OF SAID LAND BEING MEASURED AT RIGHT ANGLES AND PARALLEL WITH THE SOUTHERLY LINE OF SAID LOT 18, (EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNINGS AT A POINT IN THE EASTERLY LINE OF SAID LOT 18 DISTANT THEREON SOUTH 3°11' EAST 76.76 FEET FROM THE NORTHEASTERLY CORNER THEREOF; THENCE CONTINUING SOUTH 3°21' EAST ALONG SAID EASTERLY LINE 78.04 FEET; THENCE PARALLEL WITH THE NORTH LINE OF SAID LOT SOUTH 84°54' WEST 214.28 FEET; THENCE NORTH 11°8' WEST PARALLEL WITH THE WESTERLY LINE OF SAID LOT 18, A DISTANCE OF 114.92 FEET; THENCE NORTH 84°54'

BUILDING CODES: 2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 CALIFORNIA FIRE CODE  
SOLANA BEACH MUNICIPAL CODE

EXISTING SOILS CONDITION: PREVIOUSLY GRADED & DISTURBED  
GEOLOGIC HAZARD CATEGORY: S2

OCCUPANCY: R-3 (TOWNHOMES) & U (PRIVATE GARAGES)

CONSTRUCTION TYPE: VA (FULLY SPRINKLERED)

LOT ZONING: HR, HIGH RESIDENTIAL ZONE

OVERLAY ZONES: FLOODPLAIN OVERLAY  
LOT SIZE: PARCEL 1: 16,147 S.F.  
PARCEL 2: 16,615 S.F.  
TOTAL LOT SIZE: GROSS LOT AREA: 32,762 S.F. (.75 AC.)  
NET LOT AREA: 31,350 S.F. (.72 AC.)

LOT USE: EXISTING: MULTI-FAMILY RESIDENTIAL  
PROPOSED: MULTI-FAMILY RESIDENTIAL

ALLOWABLE F.A.R.: .75 = 24,572 S.F.  
PROPOSED F.A.R.: .82 = 26,941 S.F.

DENSITY: ALLOWABLE: 18 DU/ACRE BY RIGHT = 9.4 DU  
20 DU/ACRE W/DEVELOPMENT REVIEW PERMIT = 14.4 DU  
PROPOSED: 18 DWELLING UNITS

NUMBER OF STORIES: EXISTING: 2 & 3 STORIES  
PROPOSED: 2 & 3 STORIES

BUILDING HEIGHT: ALLOWABLE: 25'-0", 30'-0" W/DEVELOPMENT REVIEW PERMIT  
PROPOSED: VARIES, 24'-10" MAX.

COMMON OPEN SPACE: REQUIRED: 9,250 S.F. (250 S.F./DU = 250 S.F. X 13 DU)  
PROPOSED: 9,364 S.F.

REFUSE & RECYCLING: REQUIRED: COMM: 12 S.F. REFUSE & 12 S.F. RECYCLING  
RES: 48 S.F. REFUSE & 48 S.F. RECYCLING  
TOTAL 120 S.F. REFUSE/RECYCLING  
PROVIDED: 120 S.F. REFUSE/RECYCLING

## SHEET INDEX

GENERAL:  
TS1 COVER SHEET  
TS2 PROJECT INFORMATION

CIVIL:  
T01 TOPOGRAPHIC SURVEY  
T01 TENTATIVE MAP  
C-1 PRELIMINARY GRADING PLAN  
C-2 PRELIMINARY GRADING PLAN  
C-3 TURNING DIAGRAM - END UNITS  
SA SLOPE ANALYSIS EXHIBIT

ARCHITECTURAL:  
A001 SITE PLAN  
A002 FIRST FLOOR SITE PLAN  
A003 SECOND FLOOR SITE PLAN  
A004 THIRD FLOOR SITE PLAN  
A005 ROOF SITE PLAN  
A101 BUILDING 1 (UNITS 1, 2 & 3) 1ST FLOOR PLAN  
A102 BUILDING 1 (UNITS 1, 2 & 3) 2ND FLOOR PLAN  
A103 BUILDING 2 (UNITS 4, 5 & 6) 1ST FLOOR PLAN  
A104 BUILDING 2 (UNITS 4, 5 & 6) 2ND FLOOR PLAN  
A105 BUILDING 2 (UNITS 4, 5 & 6) 3RD FLOOR PLAN  
A106 BUILDING 3 (UNITS 7, 8 & 9) 1ST FLOOR PLAN  
A107 BUILDING 3 (UNITS 7, 8 & 9) 2ND FLOOR PLAN  
A108 BUILDING 3 (UNITS 7, 8 & 9) 3RD FLOOR PLAN  
A109 BUILDING 4 (UNITS 10, 11, 12 & 13) 1ST FLOOR PLAN  
A110 BUILDING 4 (UNITS 10, 11, 12 & 13) 2ND FLOOR PLAN  
A111 BUILDING 4 (UNITS 10, 11, 12 & 13) 3RD FLOOR PLAN  
A201 ELEVATIONS  
A202 ELEVATIONS  
A203 ELEVATIONS  
A204 ELEVATIONS  
A301 SECTIONS  
A302 SECTIONS

LANDSCAPE:  
L1 LANDSCAPE CONCEPT PLAN  
L2 WATER CONSERVATION PLAN

## PROJECT DIRECTORY

OWNER & FINANCIALLY RESPONSIBLE PARTY:  
3941 GARFIELD STREET LLC  
P.O. BOX 408  
RANCHO SANTA FE, CA 92067

### STRUCTURAL:

ELECTRICAL ENGINEER:

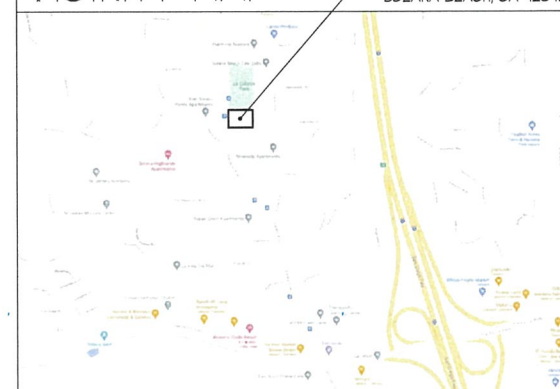
### MECHANICAL & PLUMBING ENGINEERS:

ARCHITECT:  
GOLBA ARCHITECTURE  
CONTACT: MATT GOMES  
4455 LAMONT STREET, SUITE 101  
SAN DIEGO, CA 92104  
P: 619-291-4905

SURVEYOR & CIVIL ENGINEER:  
CHRISTENSEN ENGINEERS & SURVEYING  
CONTACT: TONY CHRISTENSEN, PE  
7888 SILVERTON AVENUE, SUITE 'J'  
SAN DIEGO, CA 92126  
P: 619-271-4900  
F: 619-271-8912

LANDSCAPE ARCHITECT:  
ADL PLANNING ASSOCIATES  
CONTACT: ANTHONY LAMSON, ASLA  
2474 STATE STREET, SUITE C  
CARLSBAD, CA 92008  
P: 760-724-8637

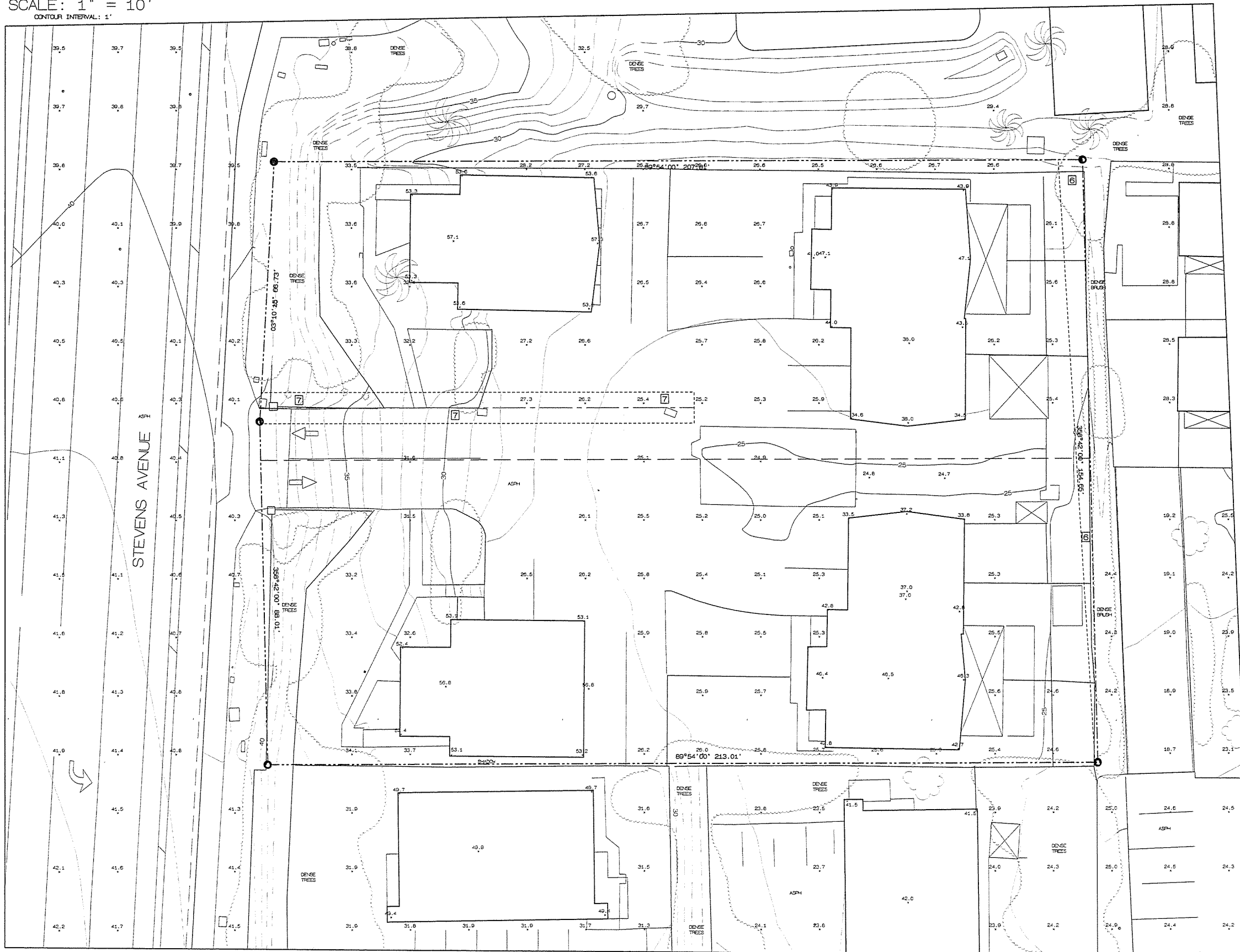
## VICINITY MAP



NOTE: THE CLOSEST FIRE HYDRANT IS AT THE NORTHWEST CORNER OF THE PROPERTY ON THE EAST SIDE OF STEVENS AVE.



SCALE: 1" = 10'  
CONTOUR INTERVAL: 1'



### LEGAL DESCRIPTION

A PORTION OF LOT 18 OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1757, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. SEE GRANT DEED FOR FULL LEGAL DESCRIPTION.

### NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. SEE TITLE REPORT.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT THE UTILITY LOCATIONS.
3. THE ADDRESS FOR THE SUBJECT PROPERTY IS 718-32 STEVENS AVENUE, SOLANA BEACH, CA 92075
4. THE ASSESSOR PARCEL NUMBERS FOR THE SUBJECT PROPERTY ARE 298-104-10 AND 13.
5. THE TOTAL AREA OF THE SUBJECT PARCELS IS 0.75 ACRES.

### TITLE NOTES

TITLE INFORMATION FOR THIS SURVEY IS FROM FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. DIV-6547629, DATED MARCH 17, 2021.

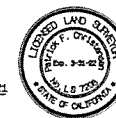
AN EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF SEWER, WATER AND GAS MAINS, POLES AND WIRES FOR THE CONVEYANCE OF ELECTRICITY, WITH THE RIGHT OF INGRESS AND EGRESS FOR THE MAINTENANCE AND OPERATION THEREOF AND INCIDENTAL PURPOSES RECORDED JUNE 08, 1939 AS INSTRUMENT NO. 27631 IN BOOK 368, PAGE 492 OF OFFICIAL RECORDS IN FAVOR OF E. C. BATCHELDER AND MAUD CLARK BATCHELDER, HUSBAND. EASEMENT IS BLANKET IN NATURE AND CAN NOT BE PLOTTED.

AN EASEMENT FOR SEWER LINES AND APPURTENANCES AND INCIDENTAL PURPOSES, RECORDED APRIL 14, 1960 AS INSTRUMENT NO. 77404 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO.

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 13, 1970 AS INSTRUMENT NO. 70-121829 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY.

### BENCHMARK

CITY OF SOLANA BEACH CONTROL STATION NO. 2005. ELEVATION 107.12 MEAN SEA LEVEL (N.A.V.D. 1988).



*Patrick F. Christensen*  
PATRIK F. CHRISTENSEN, P.L.S. 7208 Date 04-22-21

Prepared By:  
CHRISTENSEN ENGINEERING & SURVEYING  
7888 SILVERTON AVENUE, SUITE "J"  
SAN DIEGO, CA 92126  
PHONE (858)271-9901 EMAIL:CEANDS@AOL.COM

Project Address:  
718-32 STEVENS AVENUE  
SOLANA BEACH, CA 92075

- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1:

Project Name:  
CATTAIL PROPERTIES LLC

Original Date: APRIL 22, 2021

Sheet Title:  
TOPOGRAPHIC MAP

Sheet 1 of 1

# DEVELOPMENT SUMMARY

## PROJECT SUMMARY:

THE PROPOSED PROJECT IS FOR A TENTATIVE MAP (TM) SEEKING TO CONSOLIDATE 2 EXISTING LOTS INTO ONE LOT FOR A MULTIPLE DWELLING UNIT PROJECTY CONSISTING OF 13 RESIDENTIAL CONDOMINIUM UNITS. THE 0.752 ACRE SITE IS LOCATED IN AN HIGH DENSITY (HRD) ZONE.

## LEGAL DESCRIPTION:

PORTION OF LOT 18, OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1757, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY.

APNs: 298-164-10-00 & 298-164-13-00

## OWNER:

3981 GARFIELD STREET, LLC  
718 STEVENS AVENUE, #724  
SOLANA BEACH, CA 92075

## TYPE OF CONSTRUCTION/OCCUPANCY CLASSIFICATION:

CONSTRUCTION CLASSIFICATION:  
TYPE VB - SPRINKLERED (NFPA 13)

OCCUPANCY CLASSIFICATION:

(R-2) RESIDENTIAL  
(U) PRIVATE GARAGES

## ZONING:

HR - HIGH RESIDENTIAL  
(13 DU/AC. BY RIGHT (9.4 DU)  
20 DU/AC WITH DR (14.4 DU)  
13 DU PROPOSED

SETBACK:  
FRONT: 25'  
STREET SIDE: 10'  
SIDE: 5'  
REAR: 25'

MINIMUM STREET FRONTAGE: 60'  
MINIMUM INTERIOR LOT WIDTH: 60'  
MINIMUM LOT DEPTH: 100'

## SPECIAL ZONE OVERLAYS:

FLOODPLAIN  
(ENGINEERING HAS DETERMINED  
PROJECT PROJECT FINISH FLOORS  
NEED ONLY BE 1' ABOVE BASE FLOOD  
ELEVATION OF 19'. LOWEST PROPOSED  
FINISH FLOOR ELEVATION IS 26.15'.)

## AREA:

SITE AREA: 0.752 ACRES GROSS, 0.718 ACRES NET

GROSS FLOOR AREA: 28,923 SQUARE FEET TOTAL

1ST FLOOR: 6,404 SF  
2ND FLOOR: 7,320 SF  
3RD FLOOR: 7,320 SF  
4TH FLOOR: 8,879 SF

FAR: 0.75 ALLOWED (24,572 SF)  
0.68 PROPOSED (28,923 SF)

## USES:

CURRENT USE:  
8 MULTIFAMILY RESIDENTIAL UNITS

PROPOSED USE:  
13 RESIDENTIAL CONDOMINIUM UNITS

## TITLE NOTES:

PRELIMINARY TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE COMPANY,  
ORDER NO. DIV 6766476, DATED SEPTEMBER 01, 2022.

## RESIDENTIAL UNIT TABULATION

UNIT (NO)	LIVING AREA	DECK AREA	BEDROOMS	PATIO AREA
1	1,825 SF	361 SF	3	248
2	1,760 SF	358 SF	3	129
3	1,723 SF	353 SF	3	128
4	2,412 SF	277 SF	4	170
5	2,406 SF	276 SF	4	169
6	2,411 SF	277 SF	4	168
7	2,411 SF	277 SF	4	168
8	2,406 SF	276 SF	4	169
9	2,412 SF	277 SF	4	170
10	2,464 SF	366 SF	4	184
11	2,474 SF	376 SF	4	186
12	1,791 SF	362 SF	3	129
13	1,867 SF	368 SF	3	264

NOTE:  
EACH UNIT HAS A 2 CAR GARAGE. AREA NOT INCLUDED IN LIVING AREA ABOVE.

## PARKING REQUIREMENTS

TOTAL OFF-STREET PARKING SPACES:

SPACES REQUIRED PER MC SECTION 17.52.040:  
TWO PARKING SPACES PER SINGLE-FAMILY DWELLING  
13 DWELLINGS X 2 UNITS/DWELLING = 26 SPACES  
GUEST PARKING SPACES: 0.25 \* NO. UNITS = 4 SPACES

UNIT SPACES REQUIRED = 26 SPACES  
UNIT SPACES PROVIDED = 26 STANDARD - GARAGE SPACES  
GUEST PARKING SPACES REQUIRED = 4  
GUEST PARKING SPACES PROVIDED = 4 (3 STANDARD, 1 ADA SPACE)

## UTILITY TABLE

TELE (AT&T): UNDERGROUND  
CATV (COX): UNDERGROUND  
ELEC (SDG&E): UNDERGROUND



SCALE 1" = 20'



# STEVENS 13

## LEGEND

- RECORD MONUMENT AS DESCRIBED
- ( ) RECORD DATA PER MAP NO. 1757
- TOTAL NUMBER OF LOTS = 1
- TWO PARCELS EXIST; 1 LOT IS PROPOSED

# TENTATIVE MAP DRP22-003/SDP22-001/SMAP22-001 CONDOMINIUM CREATION

## BASIS OF BEARINGS

THE NORTHERLY LINE OF LOT 18 OF MAP 1757,  
I.E. NORTH 89°54' EAST.

## NOTES

1. THE USE OF PROPOSED LOT 1 IS FOR 13 RESIDENTIAL CONDOMINIUM UNITS.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SOLANA BEACH SANITARY SEWER
3. THE EXISTING NUMBER OF PARCELS ARE TWO. THE PROPOSED NUMBER OF LOTS IN THIS SUBDIVISION IS 1.
4. NAD27 COORDINATES = 298-1689. NAD83 COORDINATES = 1938-6249.
5. A COMPLETE PROCEDURE OF SURVEY WILL BE INCLUDED ON FINAL MAP
6. THE ASSESSOR PARCEL NUMBERS ARE: 298-164-10-00 & 298-164-13-00
7. THE SUBJECT PROPERTY IS WITHIN THE CITY OF SOLANA BEACH PROVIDES FIRE PROTECTION AREA
8. THE SUBJECT PROPERTY IS WITHIN THE SAN DIEGO GAS & ELECTRIC COMPANY SERVICE AREA
9. THE SUBJECT PROPERTY IS SERVED BY THE SOLANA BEACH SCHOOL DISTRICT
10. THE SUBJECT PROPERTY IS WITHIN THE AREA SERVED BY THE SANTA FE IRRIGATION DISTRICT FOR WATER SERVICE AND THE CITY OF SOLANA BEACH FOR SEWER, STORM DRAIN AND FIRE PROTECTION.

## EASEMENTS

TITLE INFORMATION FOR THIS SURVEY IS FROM FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. DIV 6766476, DATED SEPTEMBER 01, 2022.

AN EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF SEWER, WATER AND GAS MAINS, POLES AND WIRES FOR THE CONVEYANCE OF ELECTRICITY, WITH THE RIGHT OF INGRESS AND EGRESS FOR THE MAINTENANCE AND OPERATION THEREOF AND INCIDENTAL PURPOSES RECORDED JUNE 08, 1939 AS INSTRUMENT NO. 27631 IN BOOK 398, PAGE 492 OF OFFICIAL RECORDS IN FAVOR OF E.C. BATCHELDER AND MAUD CLARK BATCHELDER, HUSBAND AND WIFE EASEMENT IS BLANKET IN NATURE AND CAN NOT BE PLOTTED.

AN EASEMENT FOR SEWER LINES AND APPURTENANCES AND INCIDENTAL PURPOSES, RECORDED APRIL 14, 1960 AS INSTRUMENT NO. 77404 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO.

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 13, 1970 AS INSTRUMENT NO. 70-121828 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY.

## OWNER

3981 GARFIELD STREET, LLC

*[Signature]*  
PANDELIS CHRYSOSTOMIDES  
MANAGING MEMBER

## Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING  
7888 SILVERTON AVENUE, SUITE "J"  
SAN DIEGO, CA 92126  
PHONE (858) 271-9901

## Project Address:

718-26 STEVENS AVENUE  
SOLANA BEACH, CA 92075

## Project Name:

STEVENS 13

## Sheet Title:

TENTATIVE MAP

## Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2: 02-10-23 ADD SEWER EASEMENT

Revision 1: 12-19-22 ADDRESS COMMENTS

Original Date: SEPTEMBER 13, 2022

Sheet 1 of 3 Sheets

*[Signature]*  
ANTHONY K. CHRISTENSEN, RCE 54021  
LS 7508  
Date  
FEBRUARY 10, 2023



**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING OVERHEAD LINES
- G-G- EXISTING GAS LINE
- S-S- EXISTING SEWER LINE
- W-W- EXISTING WATER LINE
- ⊕ EXISTING MANHOLE
- ⊙ PROPOSED 6" PVC SEWER LATERAL
- ⊙ PROPOSED 2" WATER SERVICE
- ⊙ PROPOSED 1" IRRIGATION WATER SERVICE
- ⊙ PROPOSED 4" FIRE SERVICE
- PROPOSED FILTERRA BIOFILTRATION BASIN (6' X 6') IMP-PCN
- PROPOSED FILTERRA BIOFILTRATION BASIN (6' X 8') IMP-PCN
- PROPOSED CATCH BASIN (TYPICAL)
- ===== PROPOSED PVC DRAIN
- DS PROPOSED DOWNSPOUT
- LANDSCAPE AREA
- 12" AMENDED SOIL LANDSCAPE AREA ACCEPTING RUNOFF FROM IMPERVIOUS SLAB (IMPERVIOUS AREA DISPERSION)

FACE OF GARAGE	EDGE OF DRIVEWAY	C/L DRIVEWAY SECTION	UNIT
35.20	35.95 (-4.79%)	36.50 (-5.00%)	13W UNIT 13
	34.45 (4.79%)	34.28 (1.54%)	
32.32	33.07 (-4.79%)	33.62 (-5.00%)	12W UNIT 12
	31.57 (4.79%)	31.42 (1.36%)	
28.50	29.25 (-4.79%)	29.67 (-3.82%)	11W UNIT 11
	27.75 (4.79%)	27.65 (0.91%)	
26.12	26.89 (-4.92%)	27.07 (-1.64%)	10W UNIT 10
	25.37 (4.79%)	25.58 (-1.91%)	

UNITS 10-13 DRIVEWAY PROFILED

UNIT	SECTION C/L DRIVEWAY	EDGE OF DRIVEWAY	FACE OF GARAGE
UNIT 1	1W	35.17 (-4.78%)	34.85
	1E	33.93 (1.09%)	34.05 (4.90%)
UNIT 2	2W	32.32 (-5.00%)	31.97
	2E	31.07 (0.92%)	31.17 (4.90%)
UNIT 3	3W	29.69 (-5.00%)	28.34
	3E	27.65 (-1.00%)	27.54 (4.90%)

UNITS 1-3 DRIVEWAY PROFILES

SECTION	C/L DRIVEWAY FS	SLOPE C/L TO EDGE	EDGE OF PAVEMENT FS	SLOPE EDGE TO GARAGE	FACE OF GARAGE FS
1W	35.17	-4.78%	35.65	-4.90%	34.85
1E	33.93	1.09%	34.05	4.90%	34.85
2W	32.32	-5.00%	32.77	-4.90%	31.97
2E	31.07	0.92%	31.17	4.90%	31.97
3W	29.69	-5.00%	29.14	-4.90%	28.34
3E	27.65	-1.00%	27.54	4.90%	28.34
10W	27.07	-1.64%	26.89	-4.92%	26.12
10E	26.58	-1.91%	26.37	-4.79%	25.12
11W	29.67	-3.82%	29.25	-4.79%	28.50
11E	27.65	0.91%	27.75	4.79%	28.50
12W	33.62	-5.00%	33.07	-4.79%	32.32
12E	31.42	1.36%	31.57	4.79%	32.32
13W	36.50	-5.00%	35.95	-4.79%	35.20
13E	34.28	1.54%	34.45	4.79%	35.20

NOTE:  
DISTANCE FROM C/L TO EDGE OF DRIVEWAY = 11.0'  
DISTANCE FROM EDGE OF DRIVEWAY TO FACE OF GARAGE = 16.33' FOR NORTHERLY UNITS  
DISTANCE FROM EDGE OF DRIVEWAY TO FACE OF GARAGE = 16.66' FOR SOUTHERLY UNITS

**LEGAL DESCRIPTION:**

A PORTION OF LOT 18 OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. SEE GRANT DEED FOR FULL LEGAL DESCRIPTION.

APN: 298-164-10-00  
298-164-13-00

**BENCHMARK**

CITY OF SOLANA BEACH CONTROL STATION NO. 2005. ELEVATION 107.12 MEAN SEA LEVEL (N.A.V.D. 1988).

**NOTES**

- THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED APRIL 22, 2021.
- THE USE OF PROPOSED LOT IS FOR MIXED USE MULTI-FAMILY RESIDENTIAL.
- THE SUBJECT PROPERTY IS SERVED BY CITY OF SOLANA BEACH SANITARY SEWER MAIN AND SANTA FE IRRIGATION WATER DISTRICT WATER MAIN.
- ONSITE EASEMENTS EXIST, AS SHOWN.
- SITE IMPERVIOUS SURFACE RUNOFF WILL BE DIRECTED TO TWO FILTERRA FILTRATION UNITS FOR TREATMENT AND TO LANDSCAPING WITH AND WITHOUT AMENDED SOIL BEFORE LEAVING SITE. SEE SHEET C-2.
- FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
- ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AT THE TIME OF THEIR CONSTRUCTION.
- AS THERE ARE NO ONSITE SENSITIVE AREAS, NO ONSITE WETLANDS, THE SITE DOES NOT INCLUDE COASTAL BLUFFS AND DOES NOT ADJOIN SAN ELIO LAGOON A SLOPE ANALYSIS IS NOT REQUIRED; SUCH AN ANALYSIS WILL HAVE NO EFFECT ON DENSITY. NONETHELESS A SLOPE ANALYSIS HAS BEEN PREPARED. HAVE ANY EFFECT ON PERMITTED DEVELOPMENT DENSITY.

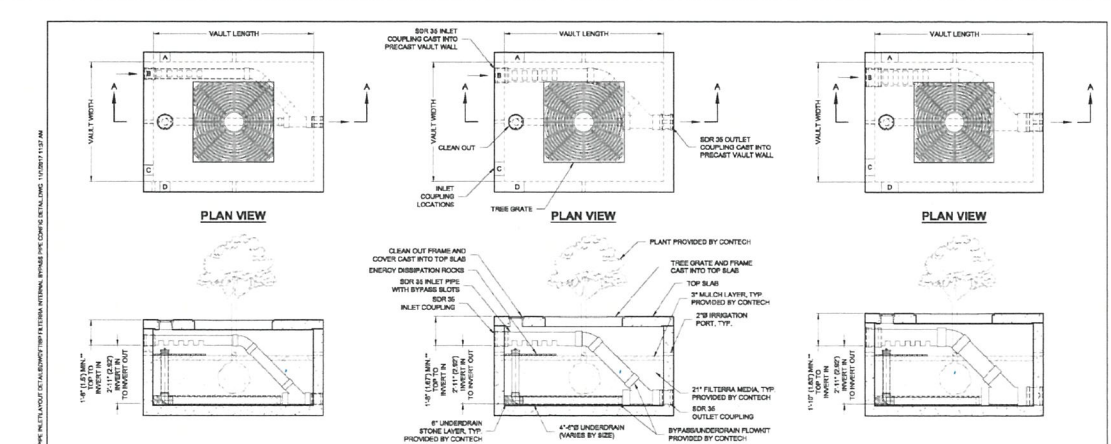
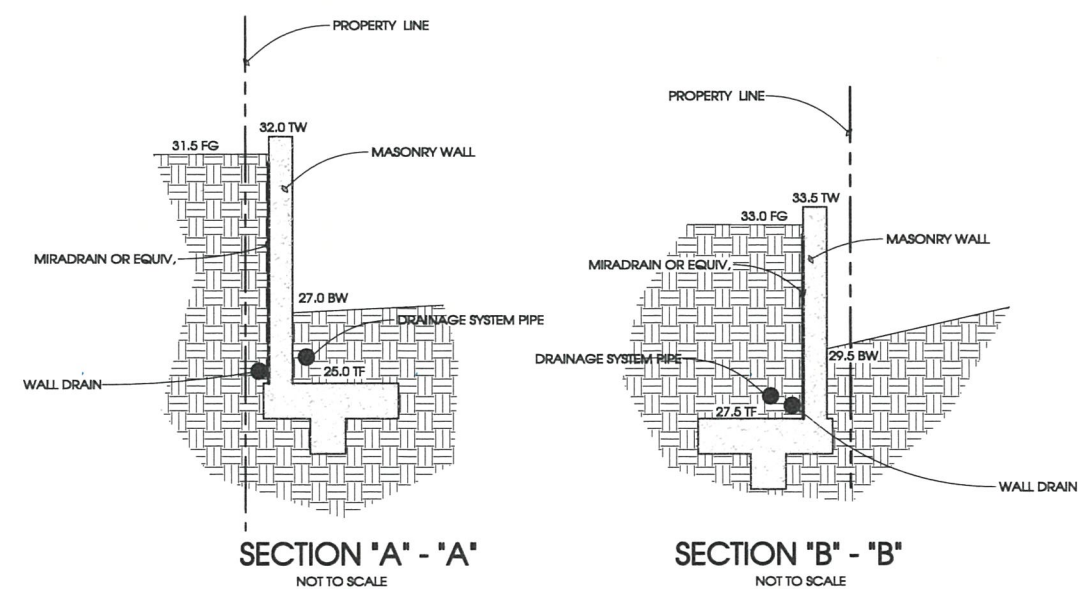
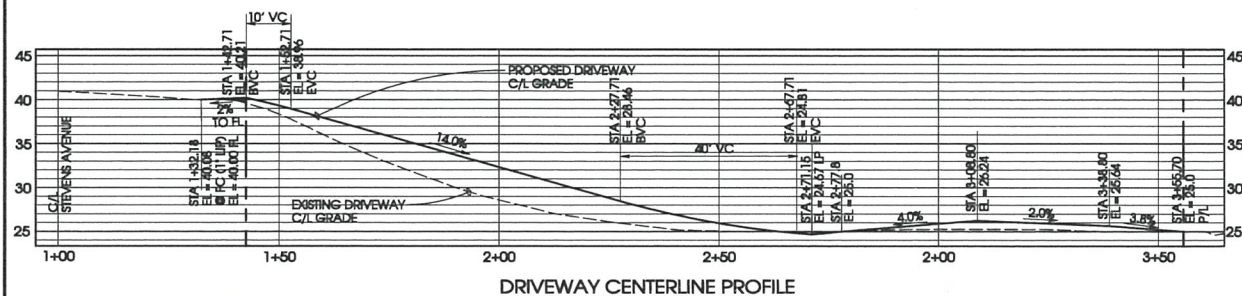
**EASEMENTS**

TITLE INFORMATION FOR THIS SURVEY IS FROM FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. DV-6547629, DATED MARCH 17, 2021.

AN EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF SEWER, WATER AND GAS MAINS, POLES AND WIRES FOR THE CONVEYANCE OF ELECTRICITY, WITH THE RIGHT OF INGRESS AND EGRESS FOR THE MAINTENANCE AND OPERATION THEREOF AND INCIDENTAL PURPOSES RECORDED JUNE 08, 1939 AS INSTRUMENT NO. 27631 IN BOOK 398, PAGE 492 OF OFFICIAL RECORDS IN FAVOR OF E.C. BATCHELDER AND MAUD CLARK BATCHELDER, HUSBAND AND WIFE EASEMENT IS BLANKET IN NATURE AND CAN NOT BE PLOTTED.

AN EASEMENT FOR SEWER LINES AND APPURTENANCES AND INCIDENTAL PURPOSES, RECORDED APRIL 14, 1960 AS INSTRUMENT NO. 77404 OF OFFICIAL RECORDS IN FAVOR OF THE COUNTY OF SAN DIEGO.

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 13, 1970 AS INSTRUMENT NO. 70-121828 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY.



FTBP-6" BYPASS INLET/OUTLET PIPE CONFIGURATION						
DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	INLET/OUTLET PIPE DIA. (INCH)	UNDER DRAIN PIPE DIA. (INCH)	TREE GRATE QTY. & SIZE
FTBP604-6	ALL	4 x 4	4 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP606-6	NA-GA	6 x 4	6 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP608-6	ALL	8 x 4	8 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP610-6	CA ONLY	8 x 4	8 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP612-6	CA ONLY	8 x 4	8 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP614-6	CA ONLY	8 x 4	8 x 4	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP616-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP618-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP620-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP622-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP624-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP626-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP628-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP630-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP632-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP634-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP636-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP638-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP640-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP642-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP644-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP646-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP648-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'
FTBP650-6	MEDIA ONLY	7.83 x 4.8	7.83 x 4.8	6" BOR 36	4" BOR 36	(1) 2' x 2'

**CHRISTENSEN ENGINEERING & SURVEYING**  
CIVIL ENGINEERS LAND SURVEYORS PLANNERS  
7888 SILVERTON AVENUE, SUITE 'J', SAN DIEGO, CALIFORNIA 92126  
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UNAUTHORIZED CHANGES & USES  
CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized change to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

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Project: STEVENS 13  
718-32 STEVENS AVENUE  
SOLANA BEACH, CA 92075

Sheet Title: PRELIMINARY GRADING PLAN

Revision 6: 06-08-23 REVISE DW  
Revision 5: 03-27-23 REVISE VERT CURVES IN DW  
Revision 4: 12-19-22 REVISE DESIGN  
Revision 3: 09-05-22 ADDRESS CITY COMMENTS  
Revision 2: 05-19-22 REVISE DESIGN  
Revision 1: 12-10-21 REVISE DESIGN  
Original Date: SEPTEMBER 07, 2021  
Sheet 2 of 3 Sheets



ANTHONY K. CHRISTENSEN, RCE 54021  
AUGUST 08, 2023  
Date

EDEN GARDENS  
PORTION LOT 19  
MAP NO. 1757  
(LA COLONIA PARK)

CONSTRUCTION NOTES

- 1 PROPOSED PUB 1" IRRIGATION SERVICE WITH WATER METER BOX SHALL CONNECT TO RECYCLED WATER MAIN. CONTRACTOR TO VERIFY LOCATION
- 2 EXISTING WATER SERVICE TO BE KILLED AT MAIN
- 3 PROPOSED PUB 2" WATER SERVICE WITH WATER METER BOX
- 4 PROPOSED PUB 4" FIRE SERVICE
- 5 PROPOSED PVT FIRE SERVICE BACKFLOW PREVENTER
- 6 PROPOSED PVT WATER SERVICE BACKFLOW PREVENTER
- 7 PROPOSED PVT IRRIGATION SERVICE BACKFLOW PREVENTER
- 8 WATER METER BOX (TYPICAL)
- 9 PROPOSED PVT 6.5' X 4' FILTERRA BIOFILTRATION UNIT (9,011 SF TREATED) IMP-PCN
- 10 PROPOSED PVT 6' X 8' FILTERRA BIOFILTRATION UNIT (21,137 SF TREATED) IMP-PCN
- 11 PROPOSED PVC DRAIN (TYPICAL)
- 12 PROPOSED SEWER MANHOLE PER SDRSD SM-01/SM-03
- 13 EXISTING SEWER LATERALS TO BE LOCATED AND ABANDONED AT THE PROPERTY LINE
- 14 PROPOSED PVT 12' AMENDED SOIL AREA (390 SF), TO RETAIN RUNOFF FROM CONCRETE AREA (365 SF) FOR IMP-PCN
- 15 PROPOSED PVT 12' AMENDED SOIL AREA (140 SF), TO RETAIN RUNOFF FROM CONCRETE AREA (345 SF) FOR IMP-PCN
- 16 PROPOSED MASONRY WALL (TYPICAL)
- 17 REMOVE EXISTING DRIVEWAY, REPLACE WITH 20' DRIVEWAY PER SDRSD G-14D
- 18 PROPOSED CATCH BASIN (TYPICAL)
- 19 PROPOSED PRIVATE SEWER CLEANOUT
- 20 EXISTING 12" CMP DRAIN DISCHARGING TO CONCRETE CHANNEL NORTHERLY TO BE REMOVED AND REPLACED WITH 12" PVC SEE LETTERS OF PERMISSION FOR WORK ON NEIGHBORING PROPERTIES
- 21 PROPOSED PRIVATE 6" SEWER MAIN
- 22 2' OPENING IN WALL TO ALLOW RUNOFF FROM SLAB TO FLOW TO VEGETATION WITH AMENDED SOIL
- 23 PROPOSED PRIVATE WATER SERVICE AND METER (TYPICAL)
- 24 PROPOSED PRIVATE SEWER LATERAL WITH CLEANOUT
- 25 PROPOSED PRIVATE 6" CURB (TYPICAL)
- 26 PROPOSED PRIVATE PVC WATER MAIN
- 27 SEE SHEET C-3 FOR TURNING TEMPLATE (TYPICAL)
- 28 PROPOSED 7' X 15' X 5' STORM CAPTURE VAULT TO COLLECT RUNOFF FROM AREA PCN, DETAIN 455 CF OF RUNOFF TO MITIGATE THE INCREASE IN RUNOFF VOLUME FROM THE 6-HR, 100-YR STORM (415 CF) AND DISCHARGE THAT VOLUME THROUGH AN ORIFICE OR OVERFLOW, ONCE 455 CF OF RUNOFF HAS BEEN COLLECTED, TO A CLEANOUT WITH PUMP TO CONVEY IT TO FILTERRA UNIT BEFORE BEING DISCHARGED FROM SITE.
- 29 TYPE A-4 CLEANOUT WITH PUMP TO CONVEY RUNOFF FROM STORM CAPTURE UNIT TO FILTERRA UNIT.
- 30 OFFSITE DRAIN SYSTEM (WITH APPROVAL OF CITY OF SOLANA BEACH) TO COLLECT AND CONVEY OFFSITE RUNOFF TO ONSITE CATCH BASIN AND THEN BY 12" PVC DRAIN TO OFFSITE CHANNEL.
- 31 PROPOSED 20' WIDE PUBLIC SEWER ACCESS AND MAINTENANCE EASEMENT
- 32 PROPOSED 5' WIDE PUBLIC SEWER ACCESS AND MAINTENANCE EASEMENT

GRADING DATA

AREA OF SITE - 32,742 S.F. (0.7521 AC)  
AREA OF SITE TO BE GRADED - 32,742 SF  
PERCENT OF SITE TO BE GRADED - 100%

VOLUME OF CUT - 1,140 C.Y.  
VOLUME OF FILL - 340 C.Y.  
VOLUME OF EXPORT - 780 C.Y.  
(VOLUMES ARE TO FINISH GRADE/SURFACE)  
MAXIMUM HEIGHT OF FILL SLOPE - NONE  
MAXIMUM HEIGHT OF CUT SLOPE - NONE  
MAXIMUM HEIGHT OF VERTICAL CUT: 3 FEET  
MAXIMUM HEIGHT OF VERTICAL FILL: 4 FEET  
HEIGHT OF CUT AND FILL DOES NOT INCLUDE EXCAVATION FOR SLAB  
RETAINING WALL: 725" IN LENGTH; LESS THAN 6.25' MAX HEIGHT

EXISTING IMPERVIOUS AREA = 21,948 SF, 0.5039 AC (67.0%)  
PROPOSED CREATED AND REPLACED IMPERVIOUS AREA = 24,864 SF, 0.5708 AC (75.9%)

STEVENS AVENUE

8" PVC WATER SHOWN ON DWG CG-3008-4.9

UNAUTHORIZED CHANGES & USES

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SCALE: 1" = 10'  
CONTOUR INTERVAL: 1'



EDEN GARDENS  
PORTION LOT 18  
MAP NO. 1757

80°54'00" 213.01'  
28.0 TW  
25.0 FG  
23.5 BW  
25.7 EG

ANTHONY K. CHRISTENSEN, RCE 54021

AUGUST 08, 2023  
Date



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Project:  
STEVENS 13  
718-32 STEVENS AVENUE  
SOLANA BEACH, CA 92075

Sheet Title:  
PRELIMINARY GRADING PLAN

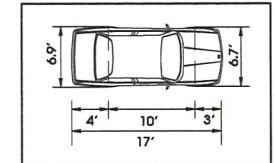
- Revision 7: 08-08-23 REVISE DW
  - Revision 6: 03-27-23 REVISE VERT CURVES IN DW
  - Revision 5: 02-10-23 ADDRESS CITY COMMENTS
  - Revision 4: 12-19-22 ADDRESS CITY COMMENTS
  - Revision 3: 09-05-22 ADDRESS CITY COMMENTS
  - Revision 2: 05-19-22 REVISE DESIGN
  - Revision 1: 12-10-21 REVISE DESIGN
- Original Date: SEPTEMBER 07, 2021  
Sheet 3 of 3 Sheets



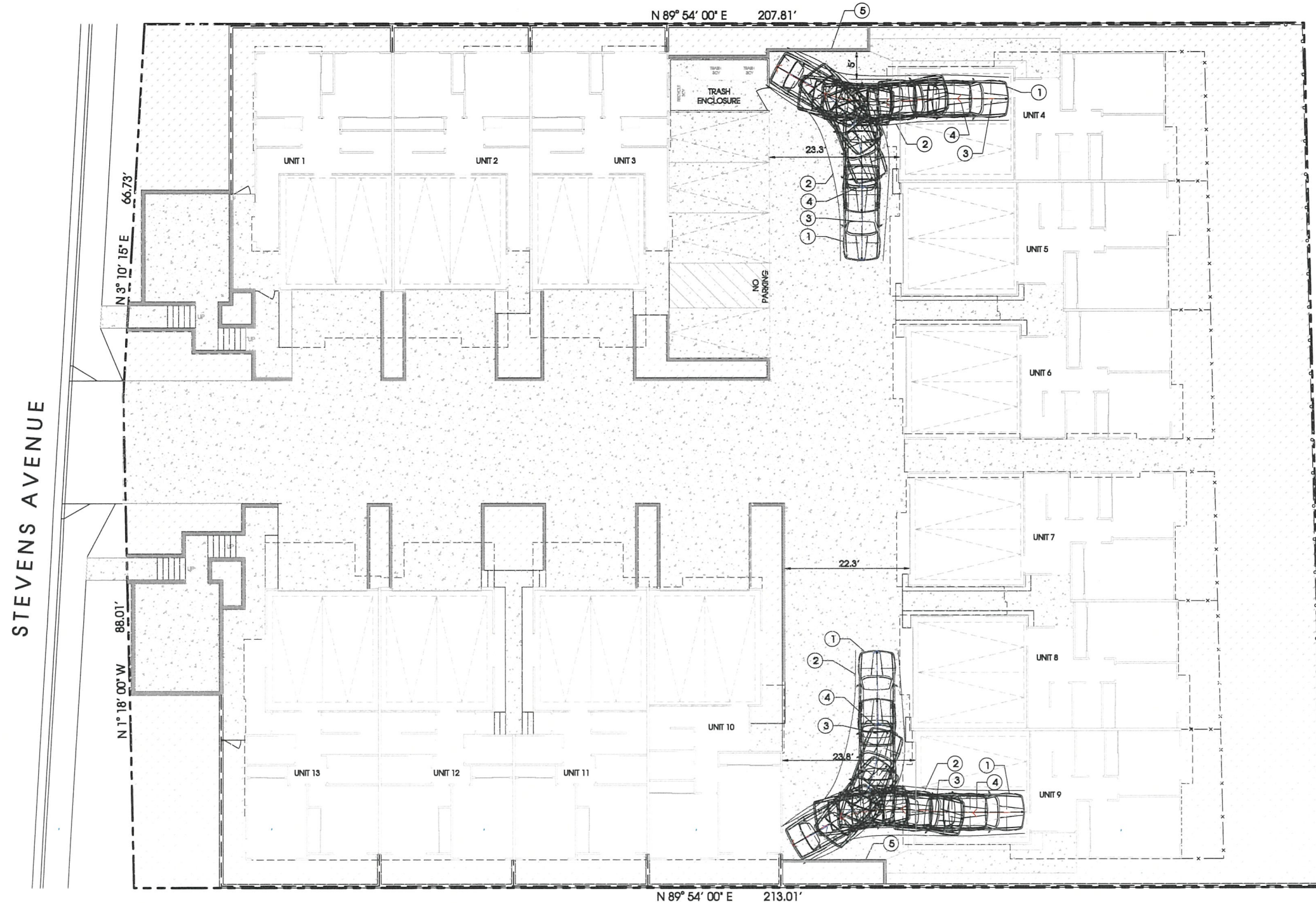
**DIAGRAM NOTES**

- ① PASSENGER VEHICLE OUTLINE (TYPICAL)
- ② TURNING PATH LIMIT (TYPICAL)
- ③ PATH OF TRAVEL (TYPICAL)
- ④ DIRECTION OF TRAVEL (TYPICAL)
- ⑤ PROPOSED 6' CURB

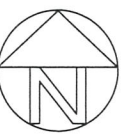
NOTE:  
DRIVE AISLE WIDTH IS 22' MINIMUM, AS PERMITTED BY CITY OF SOLANA BEACH OFF-STREET DESIGN GUIDELINES.



PASSENGER VEHICLE TEMPLATE



STEVENS AVENUE



SCALE: 1" = 10'

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Project:  
STEVENS 13  
718-32 STEVENS AVENUE  
SOLANA BEACH, CA 92075

Sheet Title:  
**TURNING DIAGRAM - END UNITS**

Revision 5:  
Revision 4:  
Revision 3: 08-08-23 REVISE DESIGN  
Revision 2: 02-10-23 ADDRESS CITY COMMENTS  
Revision 1: 12-19-22 REVISE DESIGN  
Original Date: SEPTEMBER 07, 2021  
Sheet of Sheets

STEVENS AVENUE

**LEGAL DESCRIPTION:**

A PORTION OF LOT 18 OF EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1757, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. SEE GRANT DEED FOR FULL LEGAL DESCRIPTION.

APN: 298-164-10-00  
298-164-13-00




**BENCHMARK**

CITY OF SOLANA BEACH CONTROL STATION NO. 2005. ELEVATION 107.12 MEAN SEA LEVEL (N.A.V.D. 1988).

**NOTES**

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED APRIL 22, 2021.

**SLOPE ANALYSIS**

-  AREA 'A'  
NET AREA OF SITE WITH SLOPES GREATER THAN 40% (511 SF)
-  AREA 'B'  
NET AREA OF SITE WITH SLOPES BETWEEN 25% AND 40% (506 SF)
-  AREA 'C'  
NET AREA OF SITE WITH SLOPES LESS THAN 25% (30,313 SF)

TOTAL SITE AREA = 32,762 SF (31,330 NET AREA)

DENSITY ADJUSTMENT = (AREA 'A' X 0) + (AREA 'B' X 0.5) + (AREA 'C' X 1)  
AREA OF SITE

DENSITY ADJUSTMENT = (511 SF X 0) + (506 SF X 0.5) + (30,313 SF X 1)  
31,330 SF

DENSITY ADJUSTMENT = 0.976

**NOTE:**

NO PART OF THE SUBJECT PROPERTY IS LOCATED IN OR IN PROXIMITY TO SENSITIVE LANDS; THE DENSITY ADJUSTMENT CALCULATION SHOWN ABOVE DOES NOT APPLY. NO DENSITY ADJUSTMENT IS REQUIRED. SEE MUNICIPAL CODE SECTION 17.20.030 (B)(4). THE DENSITY ADJUSTMENT FOR SUBDIVISIONS AND MULTIPLE DWELLING UNIT PROJECTS ONLY APPLY FOR PROJECTS IN OR IN PROXIMITY TO SENSITIVE LANDS.

**NET AREA:**

NET AREA OF SITE = AREA OF SITE - AREA OF PUBLIC EASEMENTS

NET AREA = 32,762 SF - 1,432 SF = 31,330 SF

NET AREA = 31,330 SF / 43,560 SF/AC = 0.719 AC

DENSITY ADJUSTMENT MULTIPLIER LOW END				
SLOPE RANGE %	DENSITY ADJUSTMENT FACTOR	ADJUSTED DENSITY (DU/NET AC)	NET AREA (ACRE)	NUMBER OF UNITS PERMITTED
0-25	1.0	13	0.70	9.10
25-40	0.5	6.5	0.01	0.03
40-100	0	0	0.01	0
TOTAL UNITS:				9.13

DENSITY ADJUSTMENT MULTIPLIER HIGH END				
SLOPE RANGE %	DENSITY ADJUSTMENT FACTOR	ADJUSTED DENSITY (DU/NET AC)	NET AREA (ACRE)	NUMBER OF UNITS PERMITTED
0-25	1.0	20	0.70	14.0
25-40	0.5	10	0.01	0.1
40-100	0	0	0.01	0.0
TOTAL UNITS:				14.1

**Prepared By:**

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**Project:**

STEVENS 13  
718-32 STEVENS AVENUE  
SOLANA BEACH, CA 92075

**Revision 5:**

Revision 4:

Revision 3:

Revision 2:

Revision 1: 12-19-22 ADDRESS COMMENTS

Original Date: SEPTEMBER 03, 2022



*Anthony K. Christensen*  
ANTHONY K. CHRISTENSEN, RCE 54021

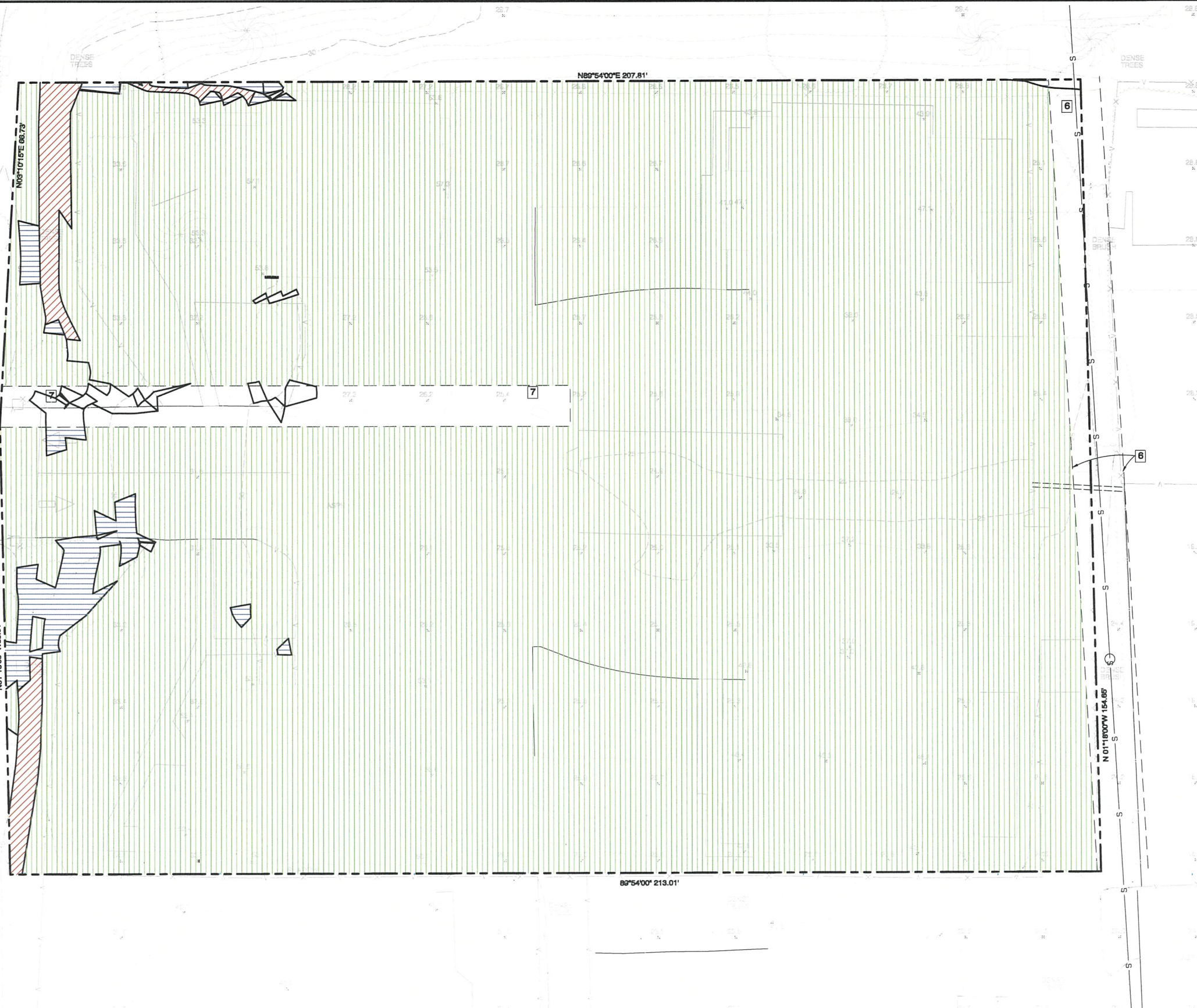
SEPTEMBER 03, 2022  
Date

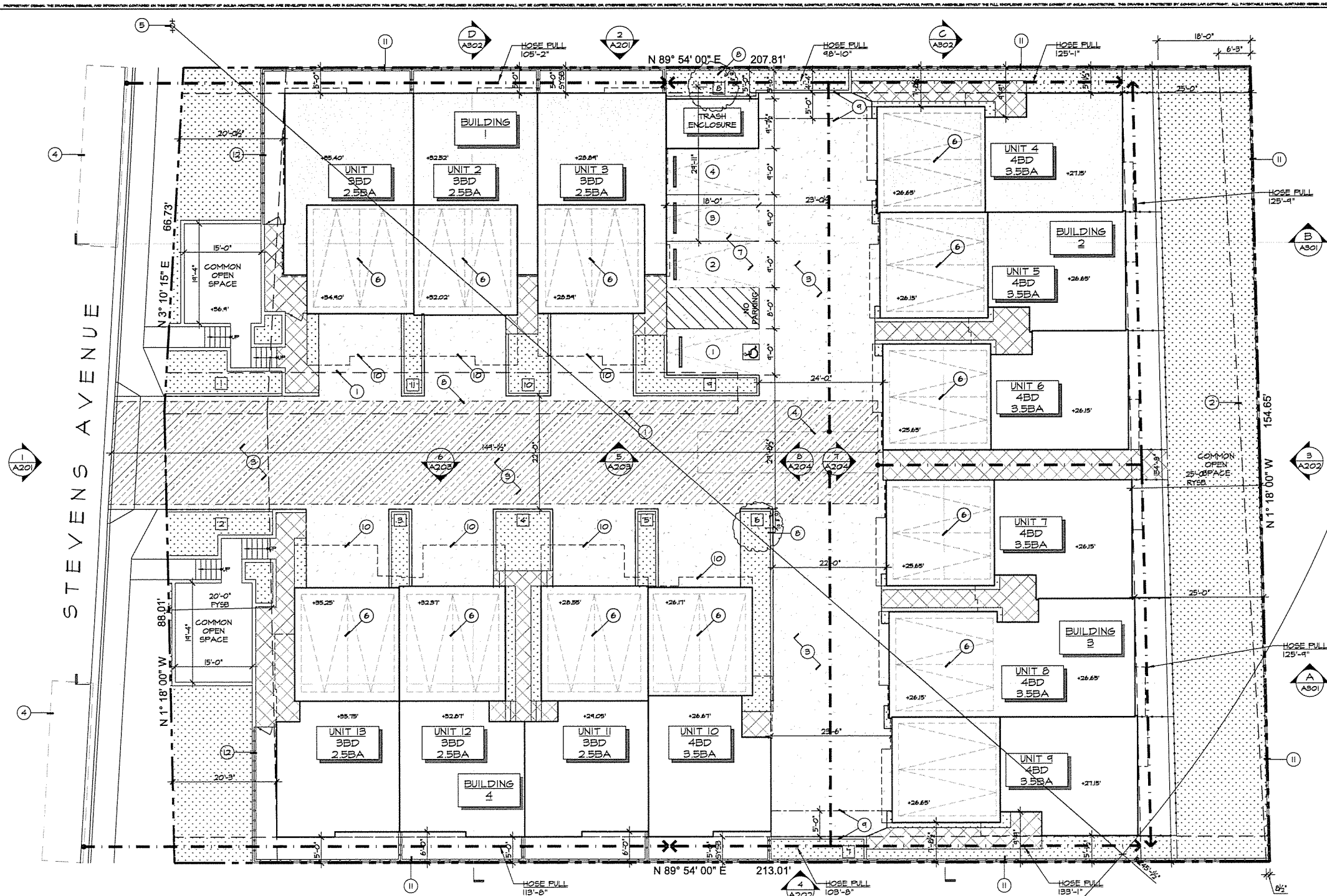
**SLOPE ANALYSIS EXHIBIT**

SA



SCALE: 1" = 10'  
CONTOUR INTERVAL: 1'





- SITE LEGEND:**
- AREA OF PROPOSED RESIDENTIAL STRUCTURES
  - AREA OF PROPOSED PEDESTRIAN WALKWAYS
  - PROPOSED LANDSCAPE AREAS, SEE LANDSCAPE DEVELOPMENT PLANS
  - PROPOSED COMMON OPEN SPACE PER SBMC 17.20.040(J)
  - FIRE APPARATUS ACCESS ROAD PER CFC SECTION 503. 20'-0" WIDE BY 144'-3" LONG; SURFACE SHALL BE PORTLAND CEMENT CONCRETE WITH A DEEP BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAVEL
  - VEHICULAR USE AREA PER THE CITY OF SOLANA BEACH OFF-STREET PARKING DESIGN MANUAL SECTION 9.B.1
- HOSE PULL: LINE FROM FIRE APPARATUS TO ALL POINTS OF THE EXTERIOR OF THE STRUCTURE AT THE GROUND FLOOR TO BE LESS THAN 150'-0" PER CFC SECTION 503.1.1

- SITE PLAN KEYNOTES**
- 1 PUBLIC UTILITIES EASEMENT, SEE PRELIMINARY GRADING PLAN SHEET C-1 & C-2
  - 2 SEWER EASEMENT, SEE PRELIMINARY GRADING PLAN SHEET C-1 T C-2
  - 3 DRIVEWAY/ MOTOR COURT, SEE PRELIMINARY GRADING PLAN SHEET C-2 FOR SLOPE, VEHICULAR USE AREA, SEE MATRIX BELOW
  - 4 FIRE APPARATUS (FIRE TRUCK)
  - 5 EXISTING FIRE HYDRANT
  - 6 2 PARKING SPACES IN THE GARAGE AT EACH INDIVIDUAL UNIT, TYP.
  - 7 4 GUEST PARKING SPACES, 3 STANDARD & 1 ADA COMPLIANT
  - 8 VEHICULAR USE AREA TREE PER SECTION 9.B.5 OF THE CITY OF SOLANA BEACH OFF-STREET PARKING DESIGN MANUAL, SEE LANDSCAPE CONCEPT PLAN SHEET LI
  - 9 5'-0" EXTENDED BACKING AREA AT DEAD-END DRIVE AISLE PER SECTION 9.K.2 OF THE CITY OF SOLANA BEACH OFF-STREET PARKING DESIGN MANUAL
  - 10 OUTLINE OF FLOOR ABOVE
  - 11 FENCE/WALL WITHIN REQUIRED REAR & SIDE YARDS SHALL BE 6'-0" MAX. HEIGHT WITH ADDITIONAL 24" OF 50% OPEN TO LIGHT FENCING ABOVE
  - 12 FENCE/WALL WITHIN REQUIRED FRONT YARDS SHALL BE 3'-6" MAX. HEIGHT WITH ADDITIONAL 24" OF 80% OPEN TO LIGHT FENCING ABOVE

**VEHICULAR USE AREA**

**VEHICULAR USE AREA LANDSCAPE MATRIX**

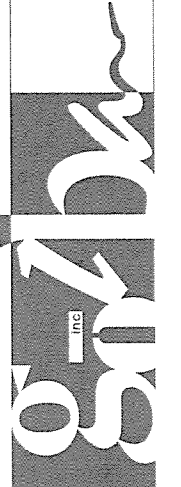
AREA	REQUIRED SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE
VEHICULAR USE AREA*	--	6,565
10% REQUIRED LANDSCAPING**	656.5	430.4
5% REQUIRED INTERNAL LANDSCAPING***	420.3	654.6
LANDSCAPING AREA	SQUARE FOOTAGE	INTERNAL***
1	144.5	--
2	191.6	--
3	51.2	51.2
4	121.2	121.2
5	51.2	51.2
6	164.4	164.4
7	64.0	--
8	156.6	--
9	116.3	116.3
10	46.7	46.7
11	53.6	53.6
TOTAL	430.4	654.6

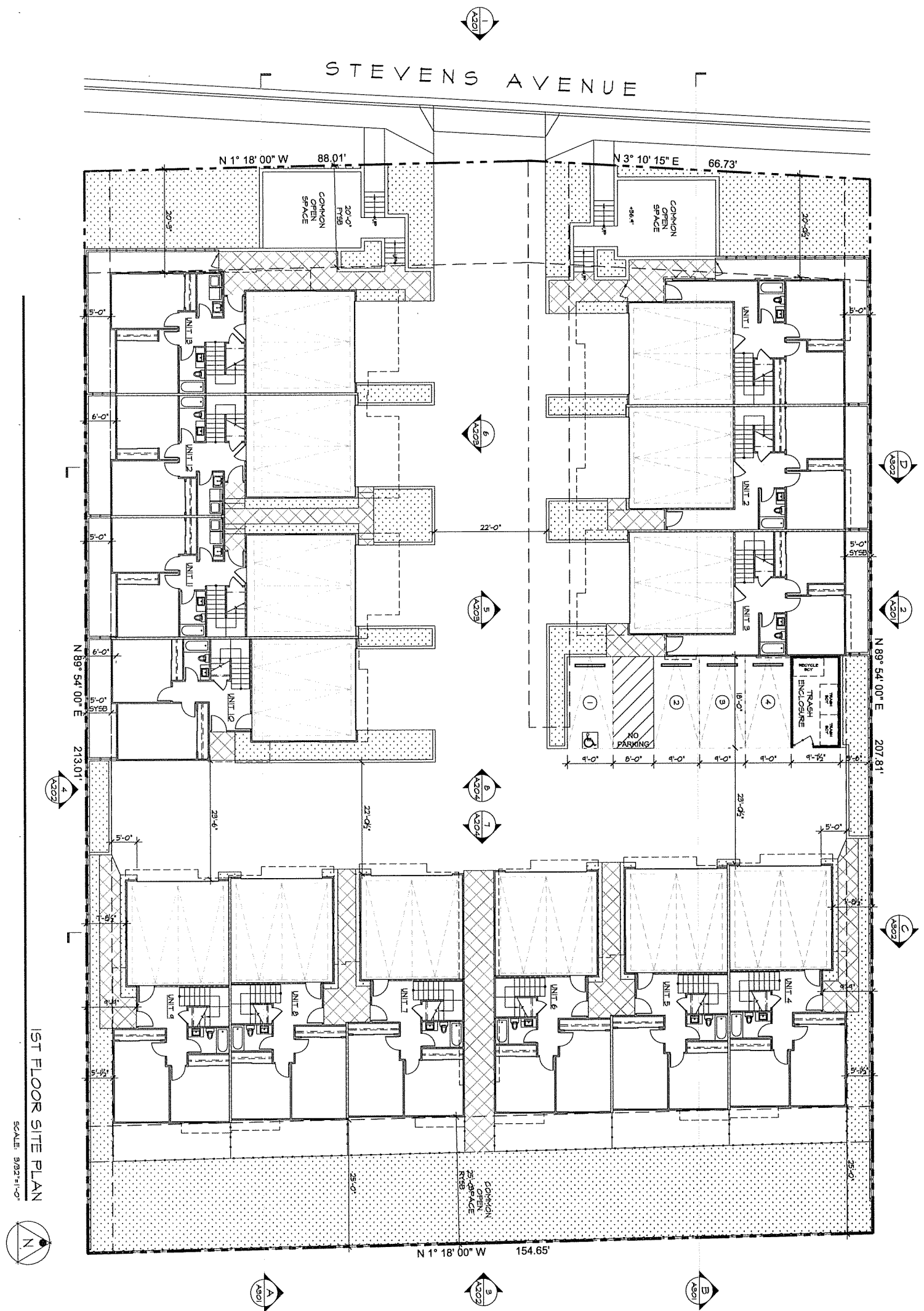
\*PER THE OSPDM SECTION 9.B.1, THE VEHICULAR USE AREA IS THE AREA OF THE PROPERTY ALLOWED FOR PARKING AND VEHICULAR TRAFFIC.  
 \*\*PER THE OSPDM SECTION 9.B.2, A MINIMUM OF 10% OF THE VEHICULAR USE AREA SHALL BE LANDSCAPED.  
 \*\*\*PER THE OSPDM SECTION 9.B.3, SINCE THE VEHICULAR USE AREA IS GREATER THAN 5,000 S.F., AT LEAST 50% OF THE REQUIRED LANDSCAPING SHALL BE INTERNAL.  
 NOTE: THE LANDSCAPING AREA SHALL BE A MINIMUM OF 3'-0" WIDE IN ORDER TO BE COUNTED TOWARD THE 10% LANDSCAPING AREA REQUIREMENT.

**SITE PLAN**  
SCALE: 3/32"=1'-0"

**GOLBA ARCHITECTURE**  
 Architecture ■ Space Planning ■ Interior Design  
 4455 Lamont St., Suite 101 ■ San Diego, California 92109  
 Phone: (619) 231-9905 ■ www.Golba.com

**STEVENS 13**  
 718-732 STEVENS AVE.  
 SOLANA BEACH, CA 92075





1ST FLOOR SITE PLAN  
SCALE: 3/8"=1'-0"

STEVENS AVENUE

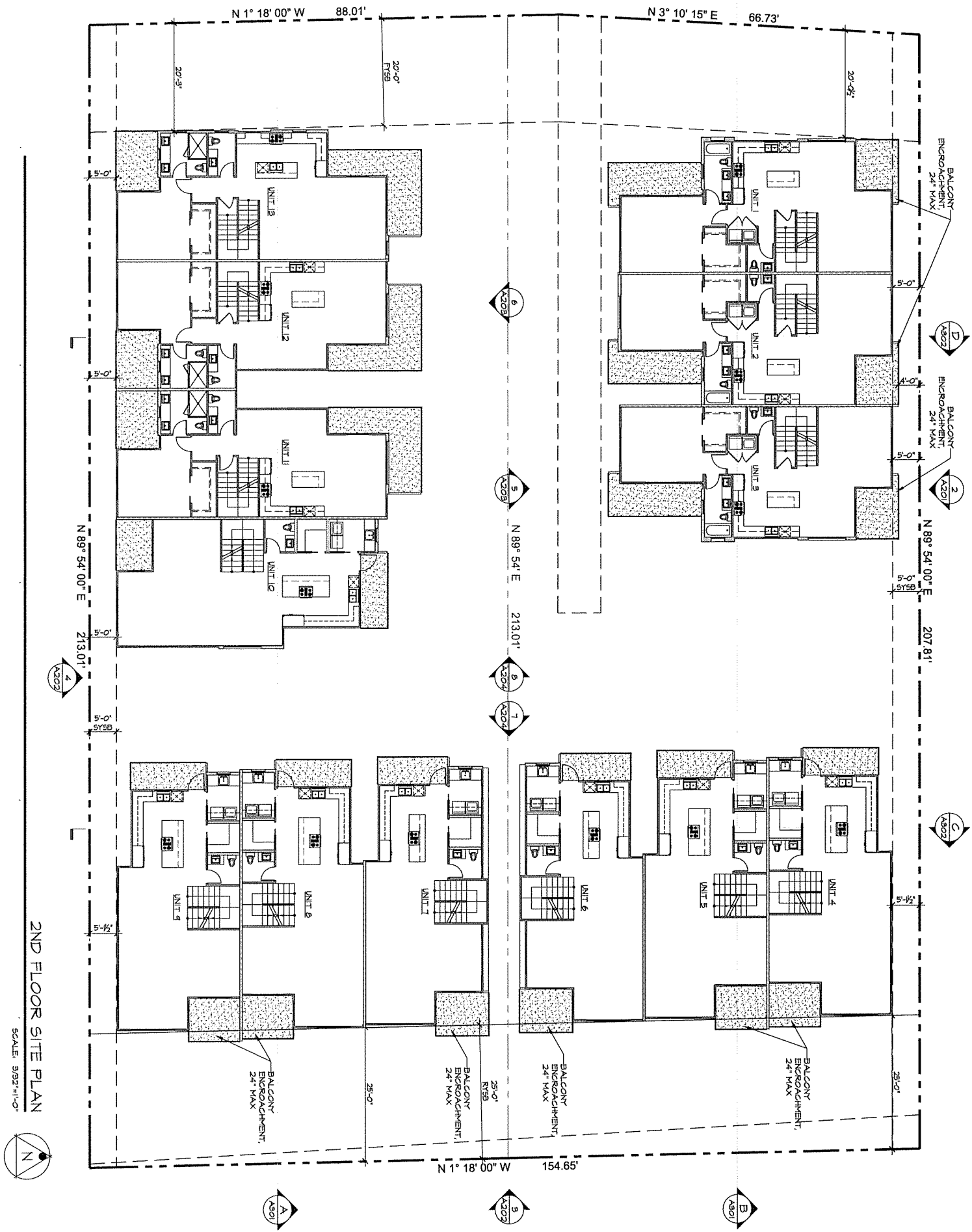
N 1° 18' 00" W 88.01'

N 3° 10' 15" E 66.73'

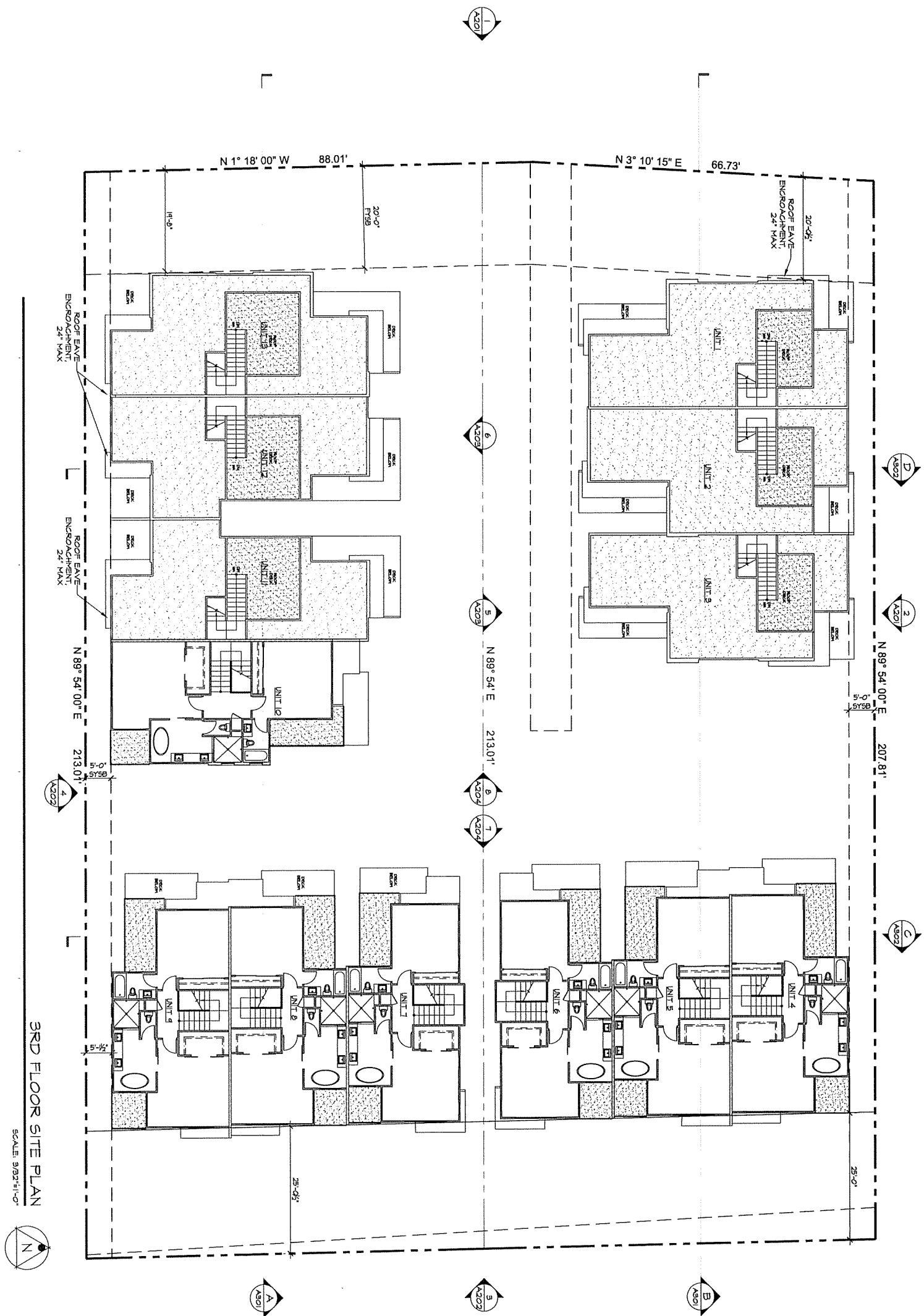
N 89° 54' 00" E 213.01'

N 89° 54' 00" E 207.81'

N 1° 18' 00" W 154.65'



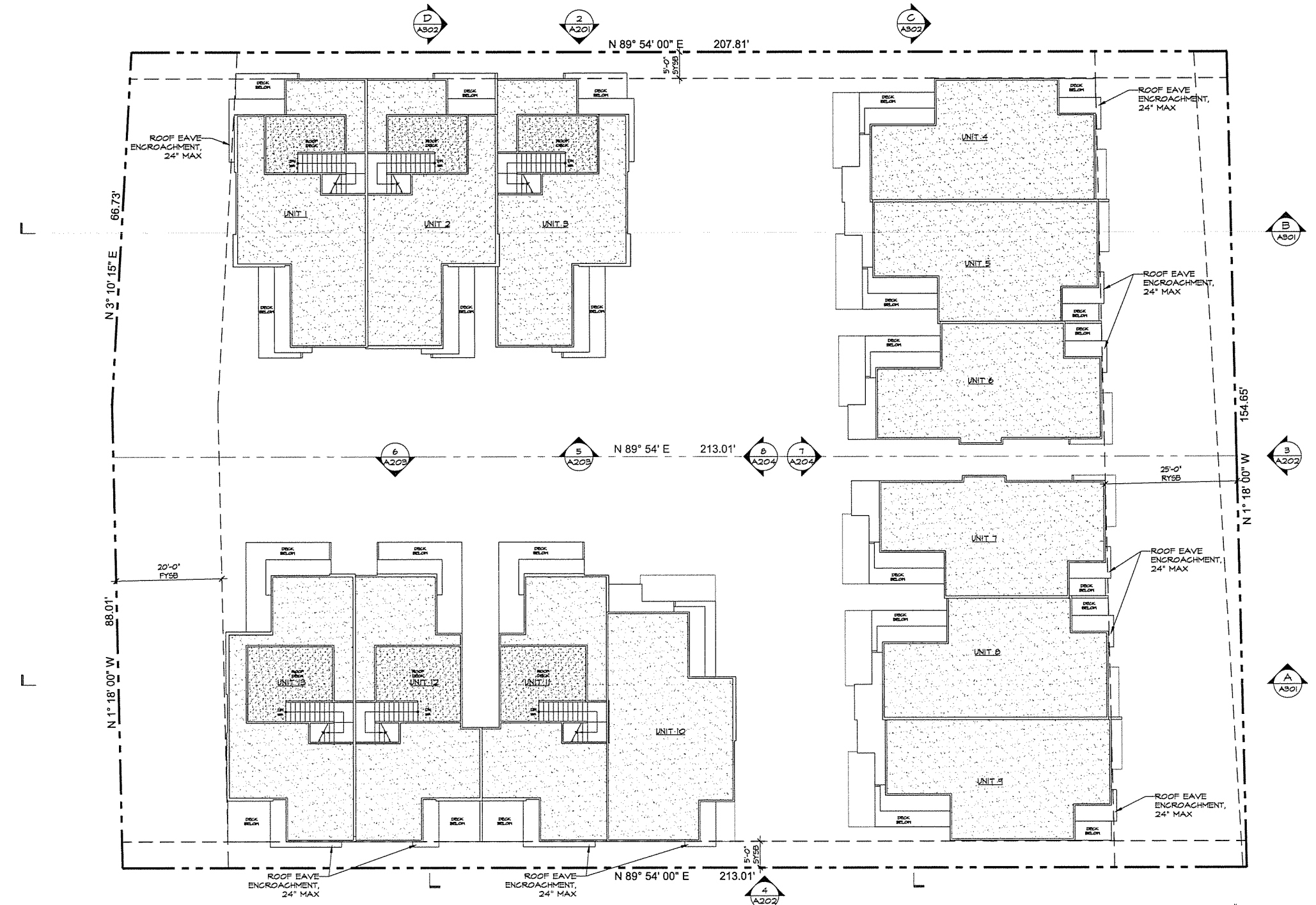
2ND FLOOR SITE PLAN  
SCALE: 9/32"=1'-0"



3RD FLOOR SITE PLAN  
SCALE: 9/32"=1'-0"



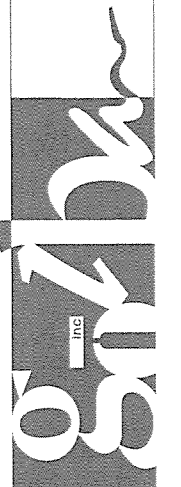
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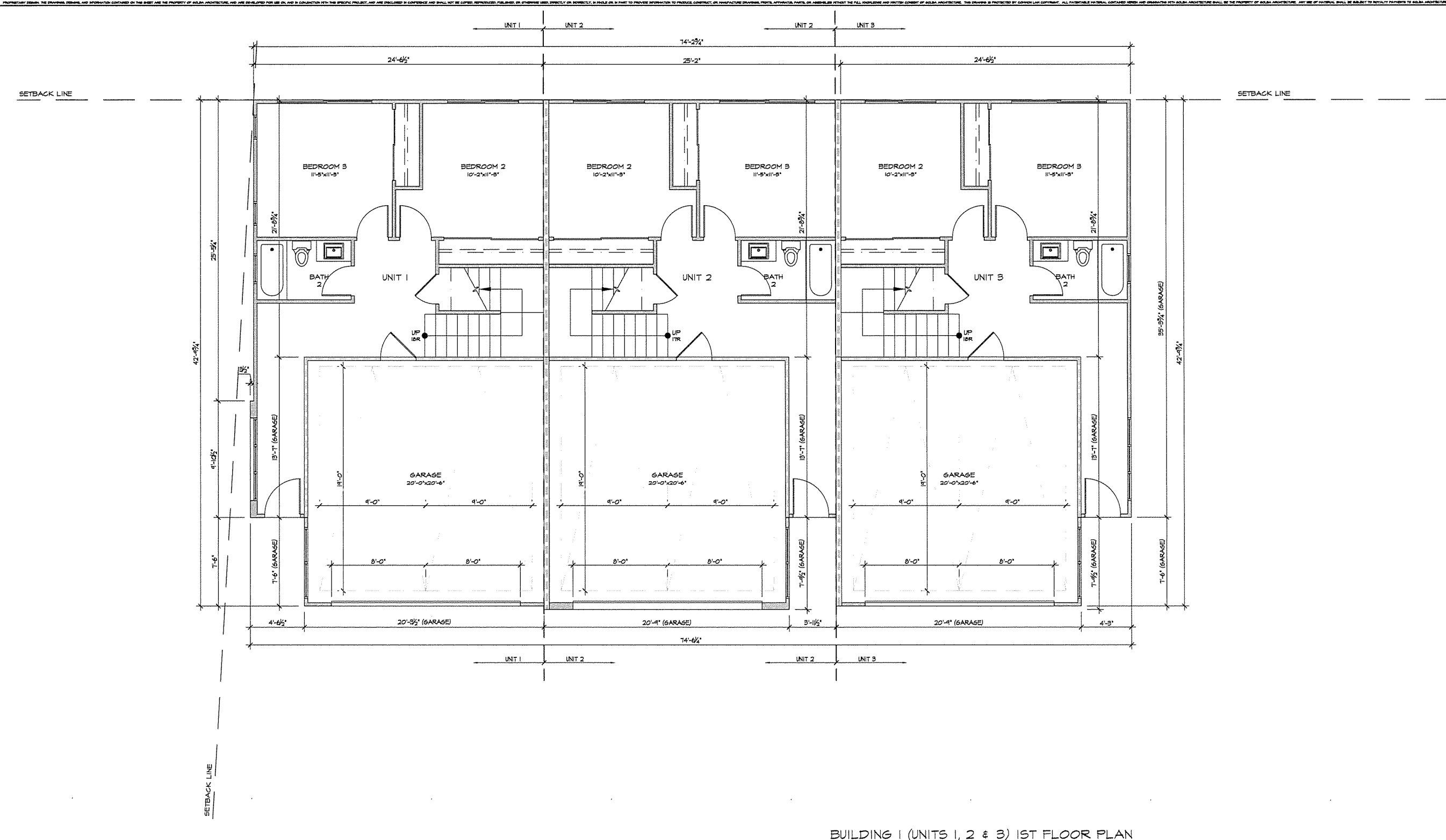
ROOF SITE PLAN  
SCALE: 3/32"=1'-0"

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A005  
 DATE: 08-10-23



BUILDING I (UNITS 1, 2 & 3) 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

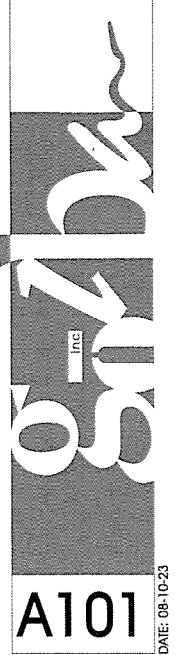
- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

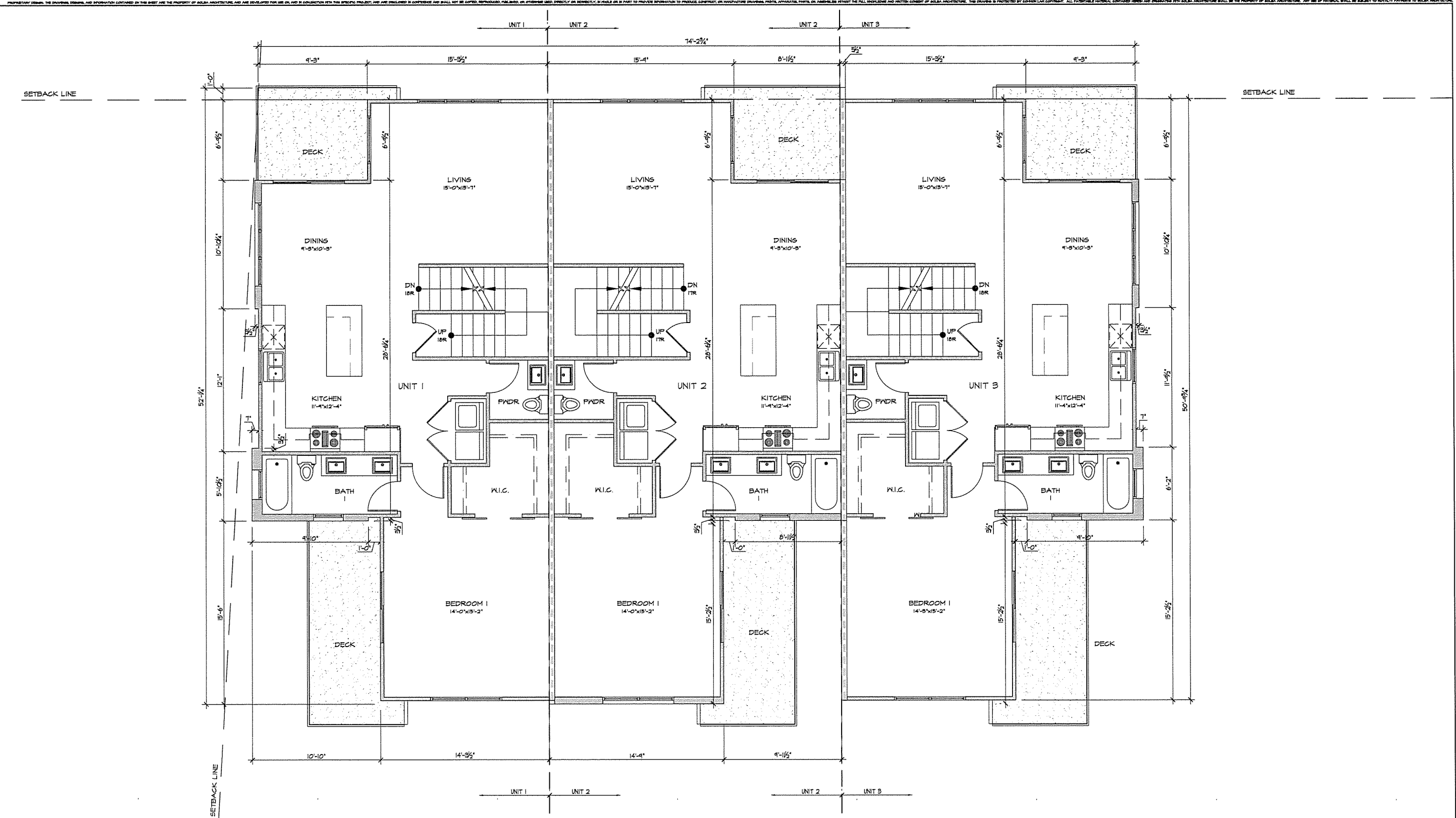
- NEW 2x4 STUD WALL PER STRUCTURAL DVSS.
- NEW 2x6 STUD WALL PER STRUCTURAL DVSS.
- 2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
- LOWERED/SOFFIT CEILING, MIN. 1'-0" ABOVE FINISH FLOOR
- DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
- WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
- SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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BUILDING I (UNITS 1, 2 & 3) 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

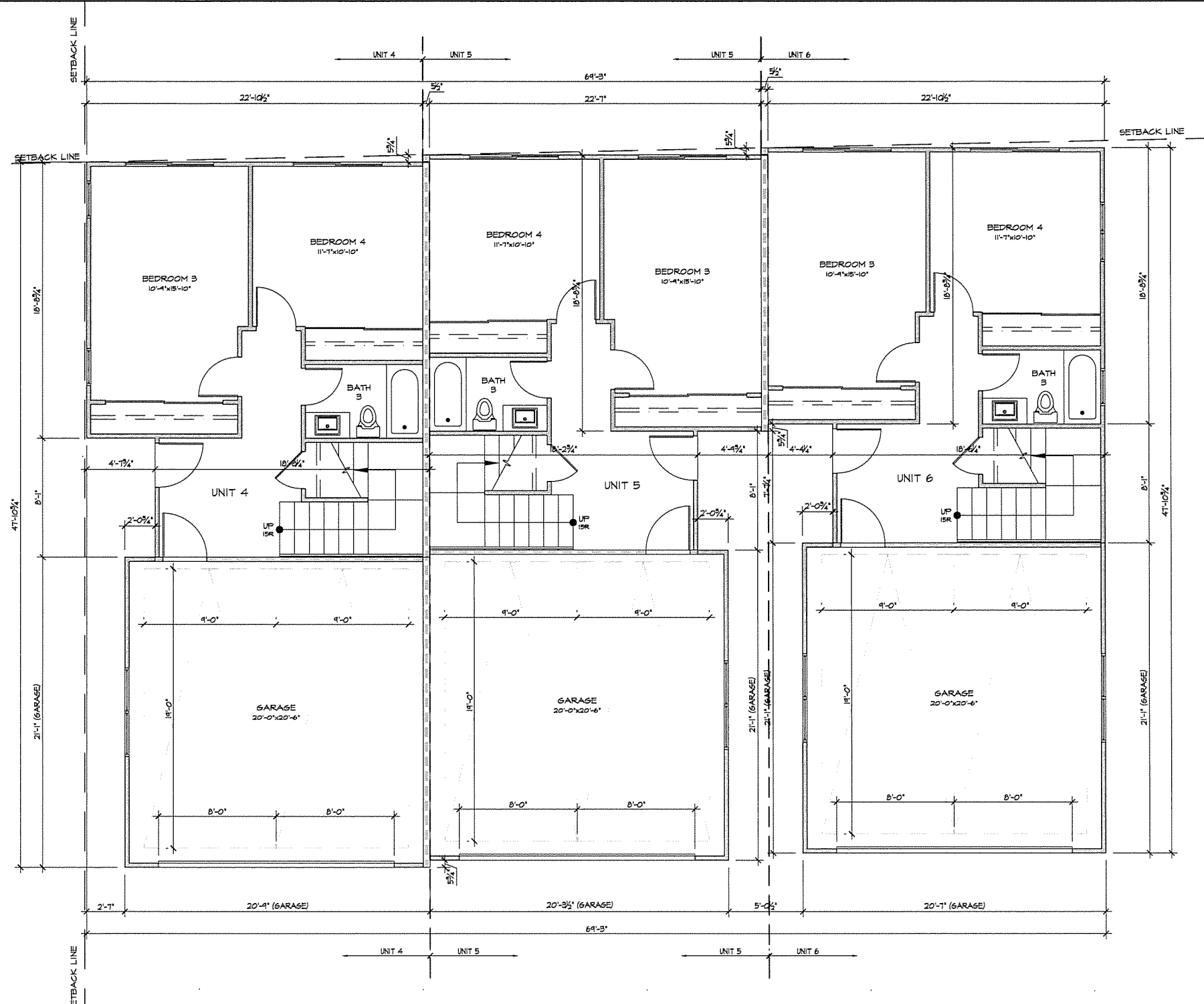
- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
- LOWERED/SOFFIT CEILINGS, MIN. 7'-0" ABOVE FINISH FLOOR
- DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
- WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
- SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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






BUILDING 2 (UNITS 4, 5 & 6) 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

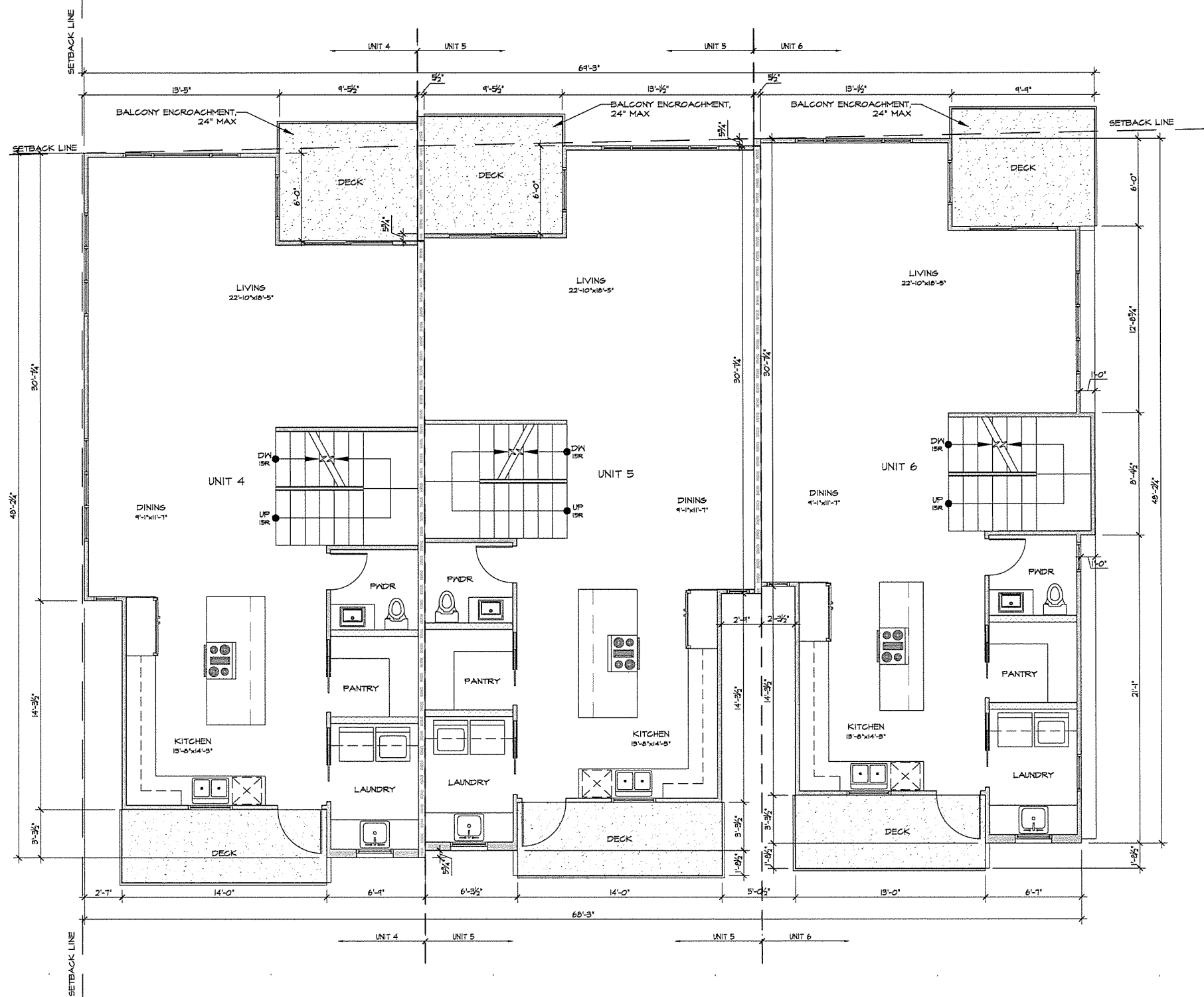
FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

-  NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
-  NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
-  2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
-  LOWERED/SOFFIT CEILINGS, MIN. 1'-0" ABOVE FINISH FLOOR
-  DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
-  WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
-  SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
-  CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
-  EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENINGS. SEE T1.2 FOR VENTILATION NOTES.

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BUILDING 2 (UNITS 4, 5 & 6) 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

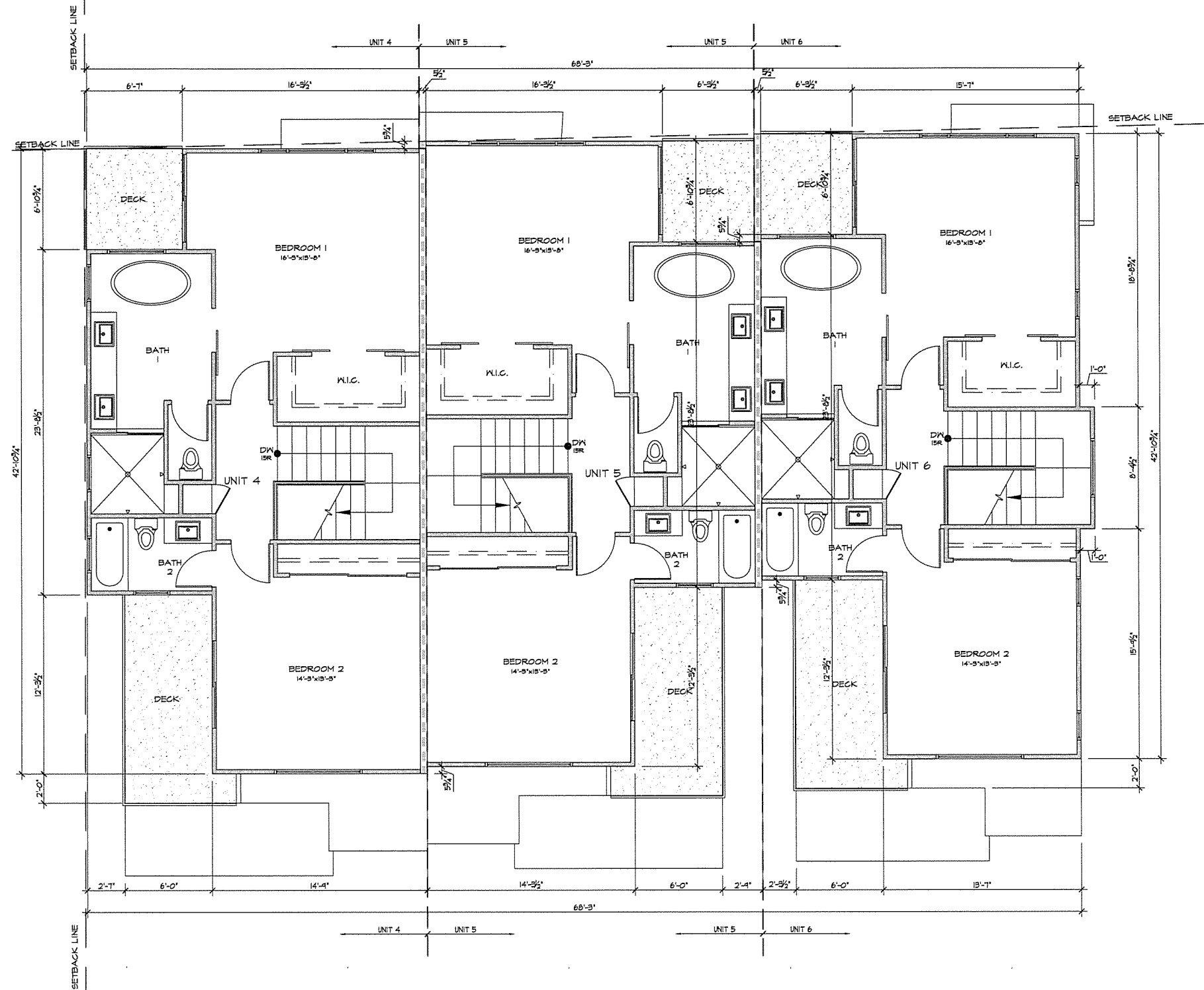
FLOOR PLAN NOTES:		FLOOR PLAN LEGEND	
1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.			NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
			NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
			2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
			LOWERED/SOFFIT CEILING, MIN. 1'-0" ABOVE FINISH FLOOR
			DOOR SYMBOL, * INDICATES TEMPERED GLAZING
			WINDOW SYMBOL, * INDICATES TEMPERED GLAZING
			SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
			CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
			EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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BUILDING 2 (UNITS 4, 5 & 6) 3RD FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

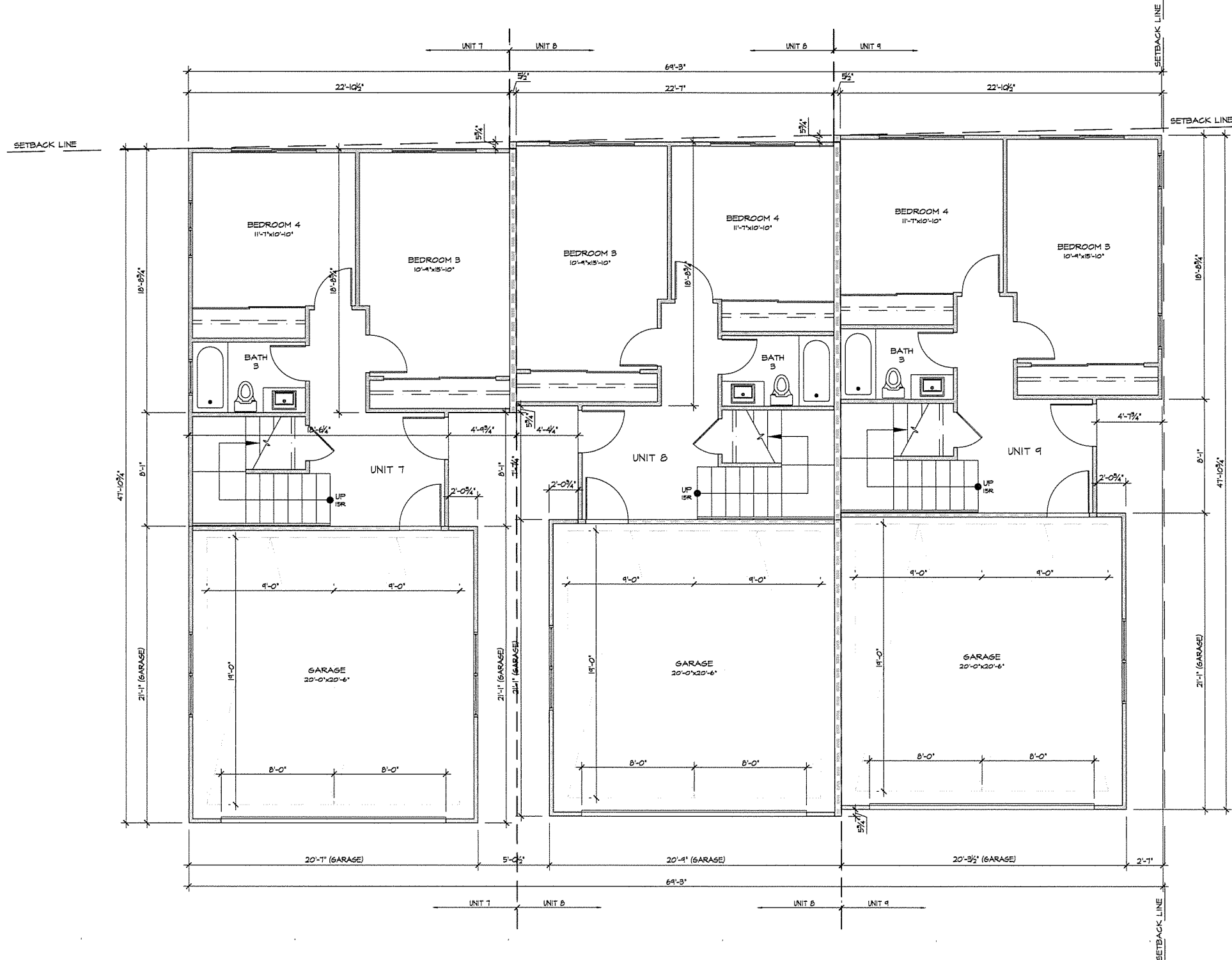
- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 2X 1-HR. RATED WALL PER DETAILS 15 & 16/A&J
- LOWERED/SOFFIT CEILING, MIN. 7'-0" ABOVE FINISH FLOOR.
- DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
- WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
- SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 9 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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BUILDING 3 (UNITS 7, 8 & 9) 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

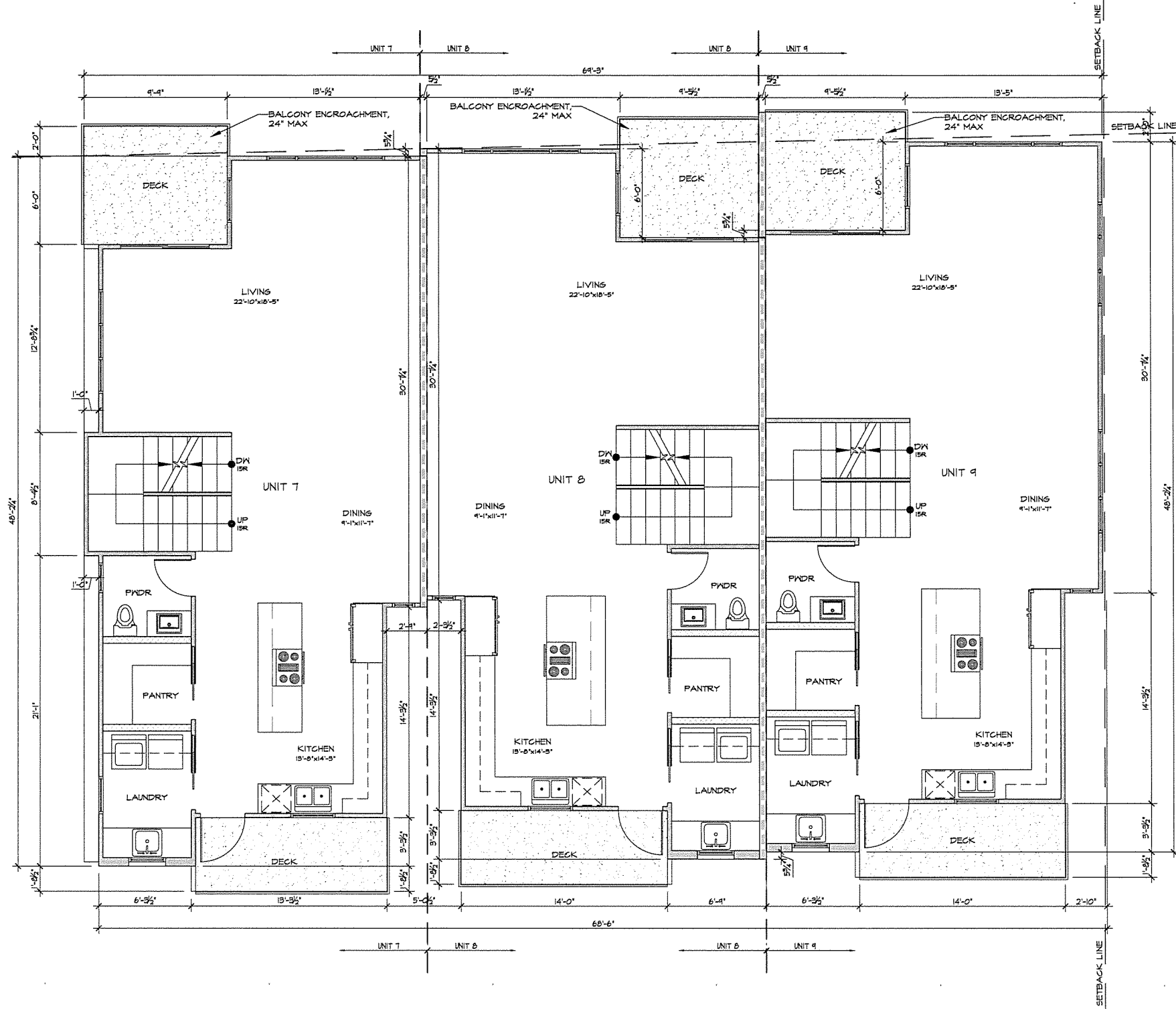
- NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
- NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
- 2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
- LOWERED/SOFFIT CEILING, MIN. 7'-0" ABOVE FINISH FLOOR
- DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
- WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
- SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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BUILDING 3 (UNITS 7, 8 & 9) 2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

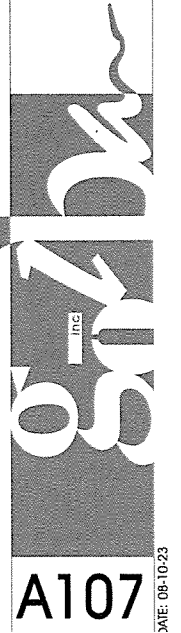
1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

- NEW 2x4 STUD WALL PER STRUCTURAL DVSS.
- NEW 2x6 STUD WALL PER STRUCTURAL DVSS.
- 2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
- LOWERED/SOFFIT CEILING, MIN. 7'-0" ABOVE FINISH FLOOR
- DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
- WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
- SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
- CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
- EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

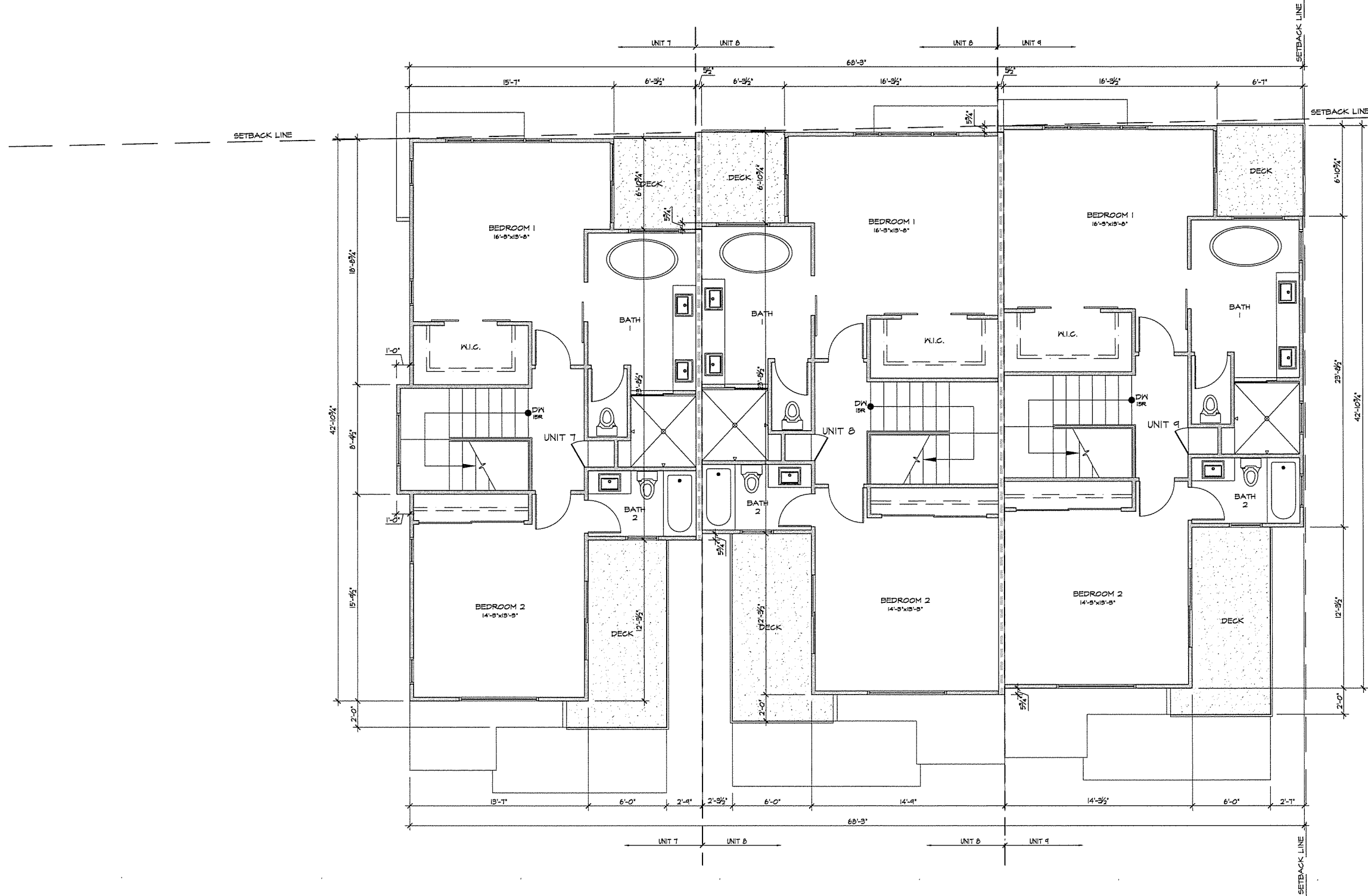
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


BUILDING 3 (UNITS 7, 8 & 9) 3RD FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

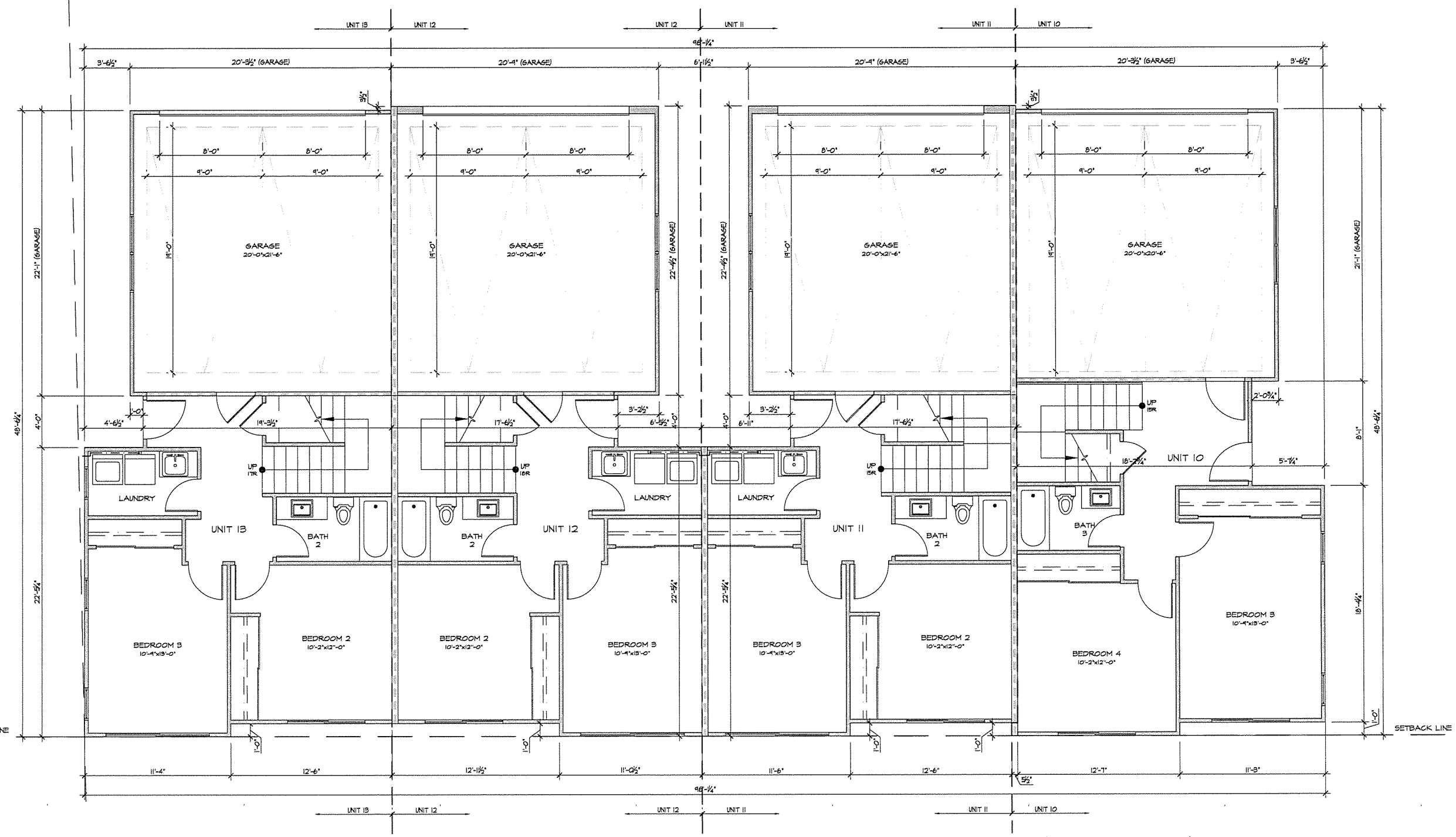
-  NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
-  NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
-  2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
-  LOWERED/SOFFIT CEILINGS, MIN. 7'-0" ABOVE FINISH FLOOR
-  DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
-  WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
-  SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
-  CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
-  EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENINGS. SEE T1.2 FOR VENTILATION NOTES.

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










BUILDING 4 (UNITS 10, 11, 12 & 13) 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN LEGEND

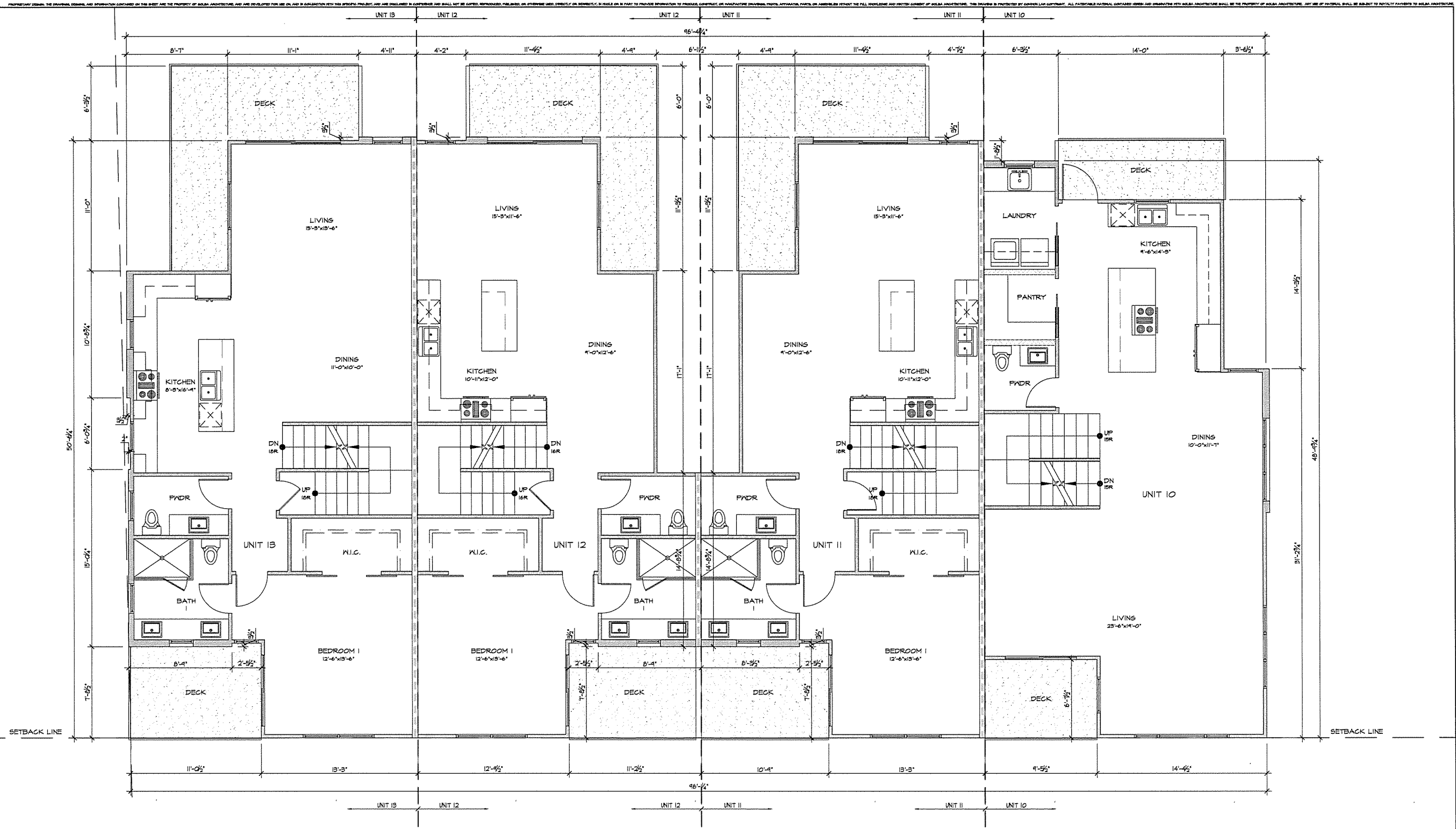
-  NEW 2x4 STUD WALL PER STRUCTURAL DVSS.
-  NEW 2x6 STUD WALL PER STRUCTURAL DVSS.
-  2X 1-HR. RATED WALL PER DETAILS B5 & B6/A6.1
-  LOWERED/SOFFT CEILING, MIN. 7'-0" ABOVE FINISH FLOOR
-  DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
-  WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
-  SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
-  CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
-  EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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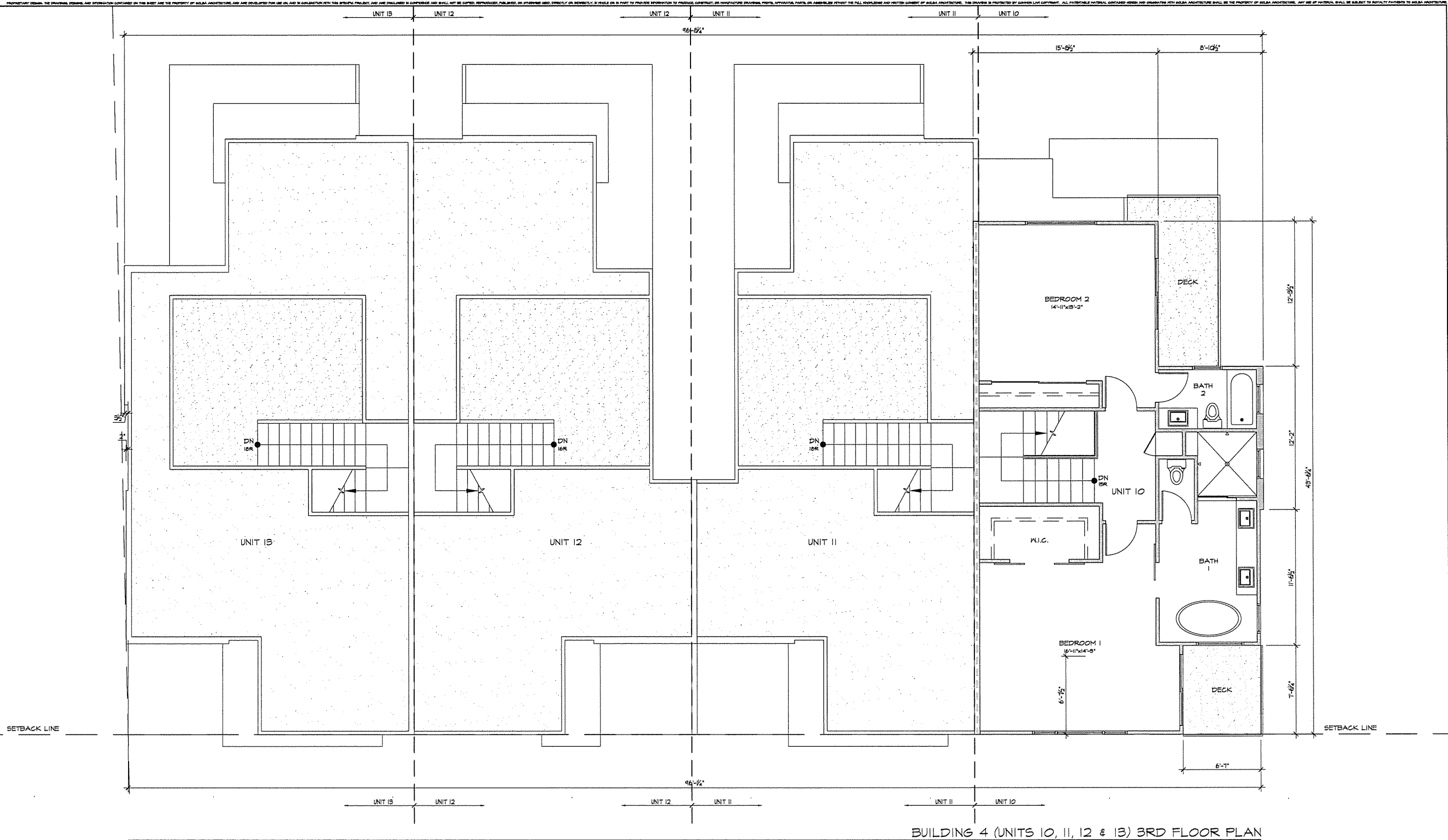
BUILDING 4 (UNITS 10, 11, 12 & 13) 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES:	FLOOR PLAN LEGEND
1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.	NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
	NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
	2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
	LOWERED/SOFFIT CEILINGS, MIN. 7'-0" ABOVE FINISH FLOOR
	DOOR SYMBOL, * INDICATES TEMPERED GLAZING
	WINDOW SYMBOL, * INDICATES TEMPERED GLAZING
	SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
	CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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







BUILDING 4 (UNITS 10, 11, 12 & 13) 3RD FLOOR PLAN

SCALE: 1/4"=1'-0"

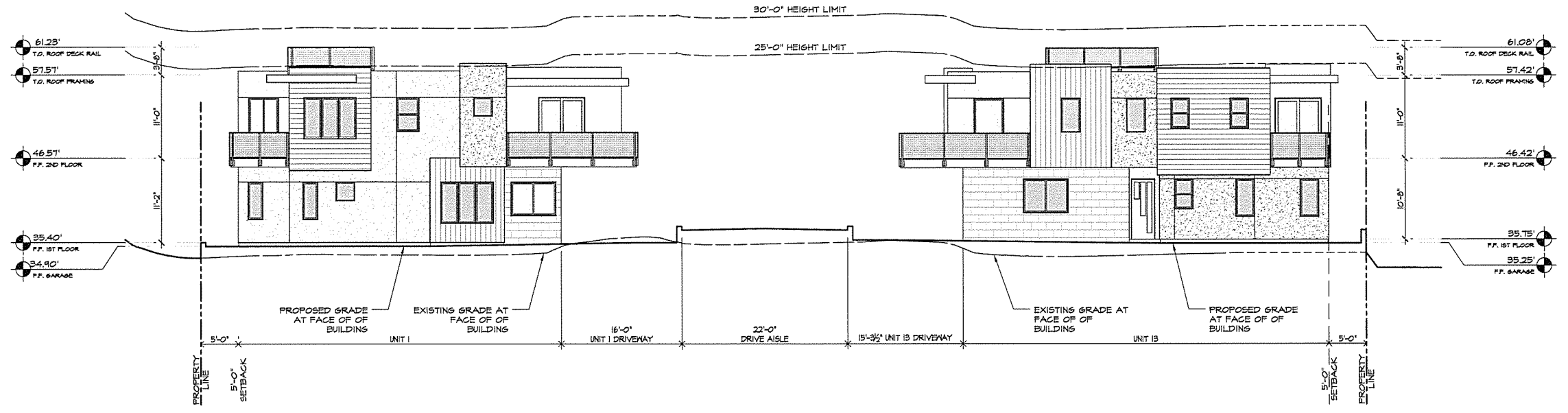
FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

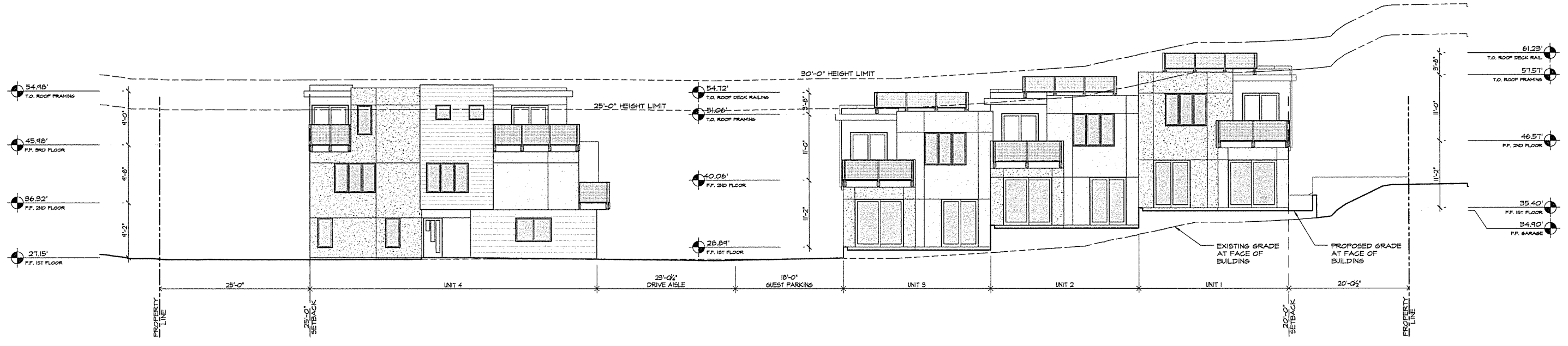
FLOOR PLAN LEGEND

-  NEW 2x4 STUD WALL PER STRUCTURAL DWGS.
-  NEW 2x6 STUD WALL PER STRUCTURAL DWGS.
-  2X 1-HR. RATED WALL PER DETAILS 15 & 16/A6.1
-  LOWERED/SOFFIT CEILINGS, MIN. 1'-0" ABOVE FINISH FLOOR
-  DOOR SYMBOL, \* INDICATES TEMPERED GLAZING
-  WINDOW SYMBOL, \* INDICATES TEMPERED GLAZING
-  SMOKE DETECTOR - SEE NOTES ON SHT. T1.2
-  CARBON MONOXIDE DETECTOR - SEE NOTES ON SHT. T1.2
-  EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/ HR. DISCHARGE TO THE OUTSIDE NO CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE T1.2 FOR VENTILATION NOTES.

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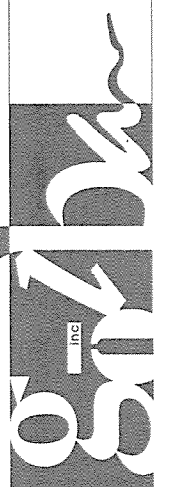
WEST ELEVATION, BUILDINGS 1 & 4  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION, BUILDINGS 1 & 2  
SCALE: 1/8" = 1'-0"

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 Phone: (619) 231-9905 www.Golba.com

**STEVENS 13**  
 718-732 STEVENS AVE.  
 SOLANA BEAC, CA 92075

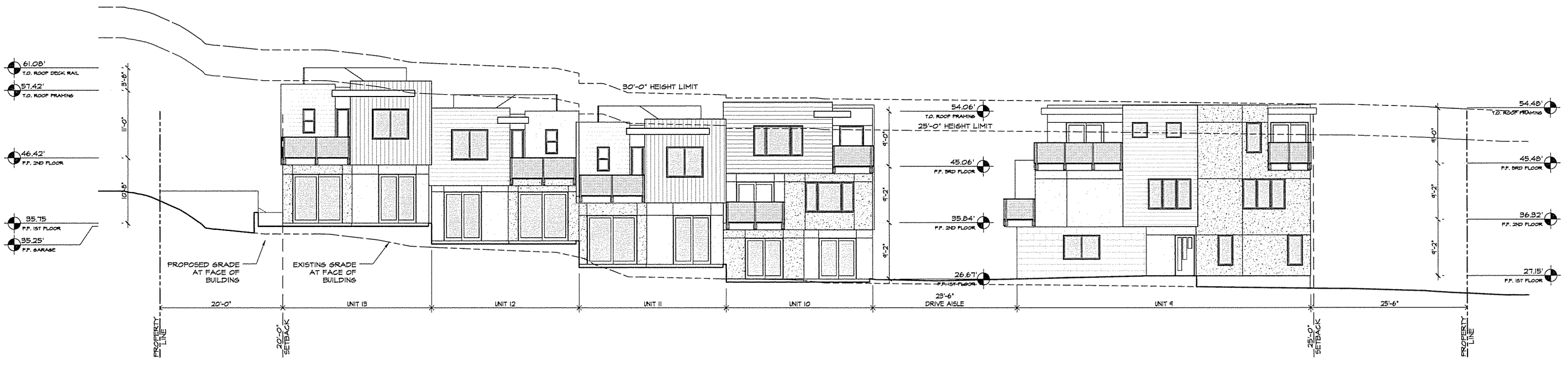


**A201**  
 DATE: 08-08-23

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EAST ELEVATION, BUILDINGS 2 & 3 3  
SCALE: 1/8" = 1'-0"



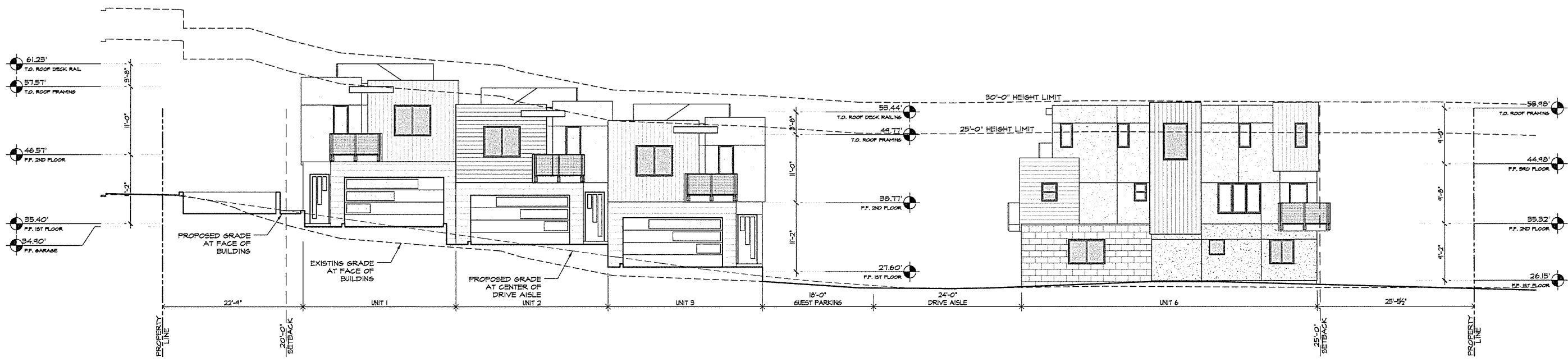
SOUTH ELEVATION, BUILDINGS 3 & 4 4  
SCALE: 1/8" = 1'-0"

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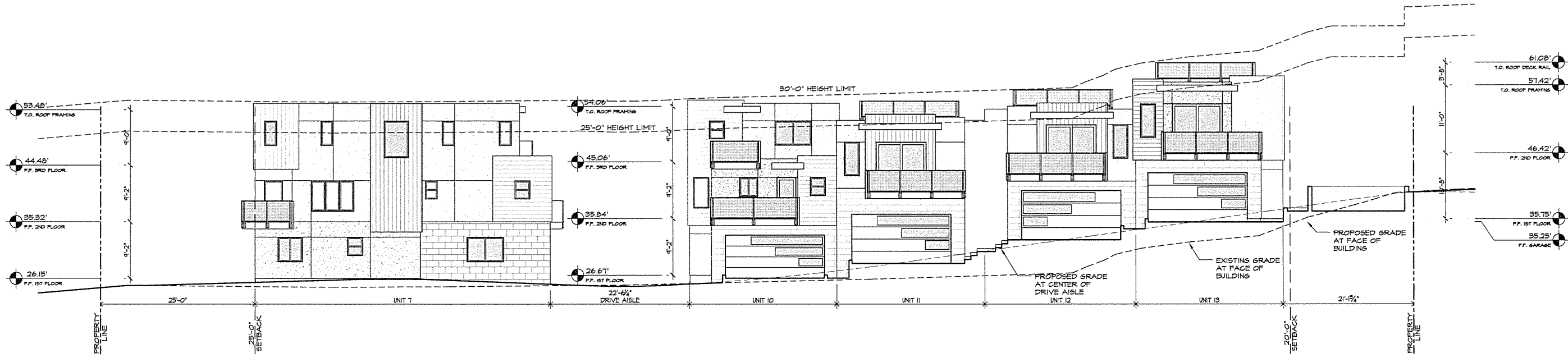
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SOUTH ELEVATION, BUILDINGS 1 & 2 5  
SCALE: 1/8" = 1'-0"



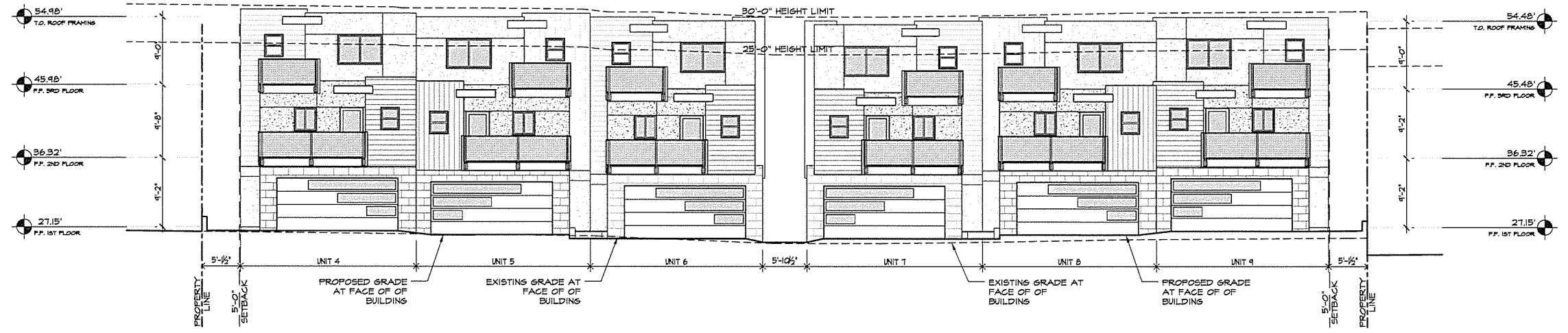
NORTH ELEVATION, BUILDINGS 3 & 4 6  
SCALE: 1/8" = 1'-0"

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Phone: (619) 231-9905 ■ www.Golba.com

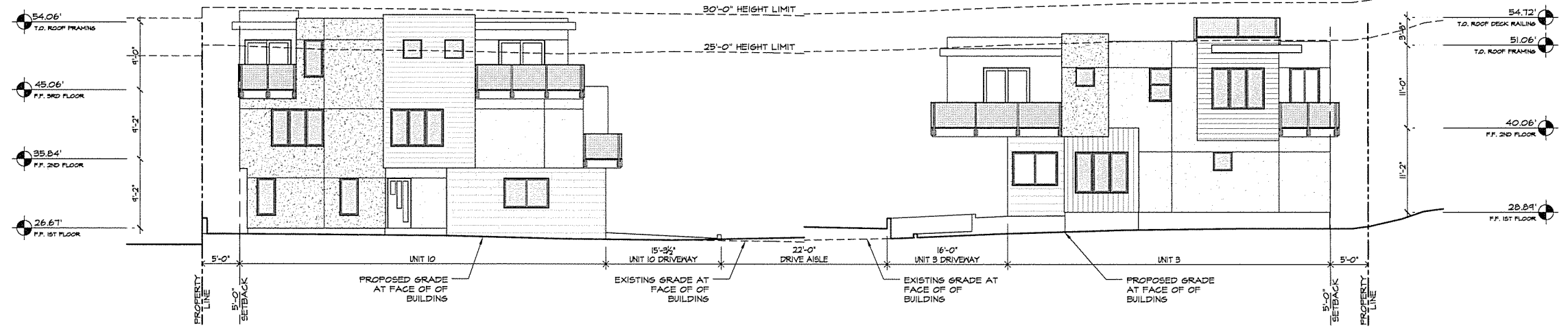
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DATE: 06-06-23

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WEST ELEVATION, BUILDINGS 2 & 3 7  
SCALE: 1/8" = 1'-0"

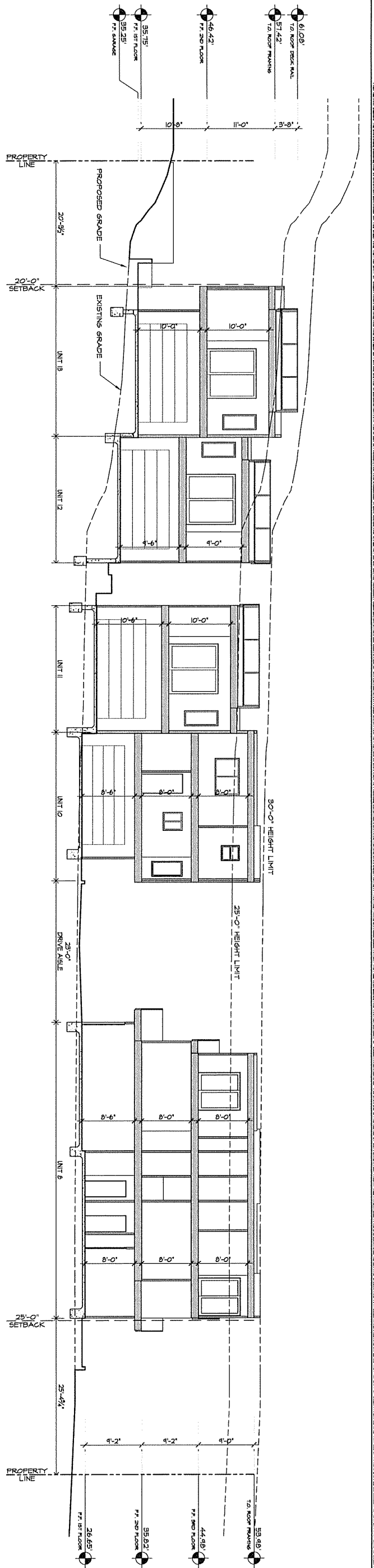


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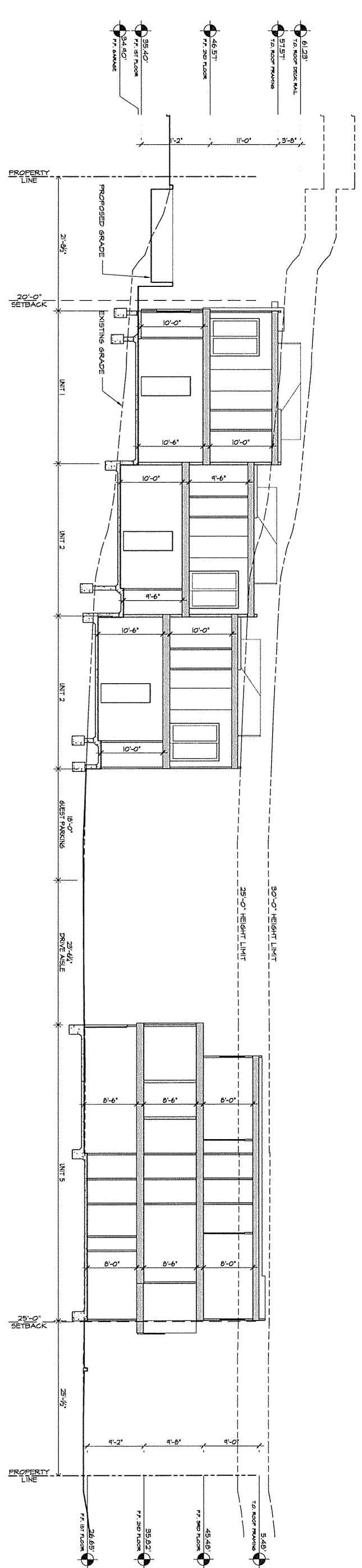
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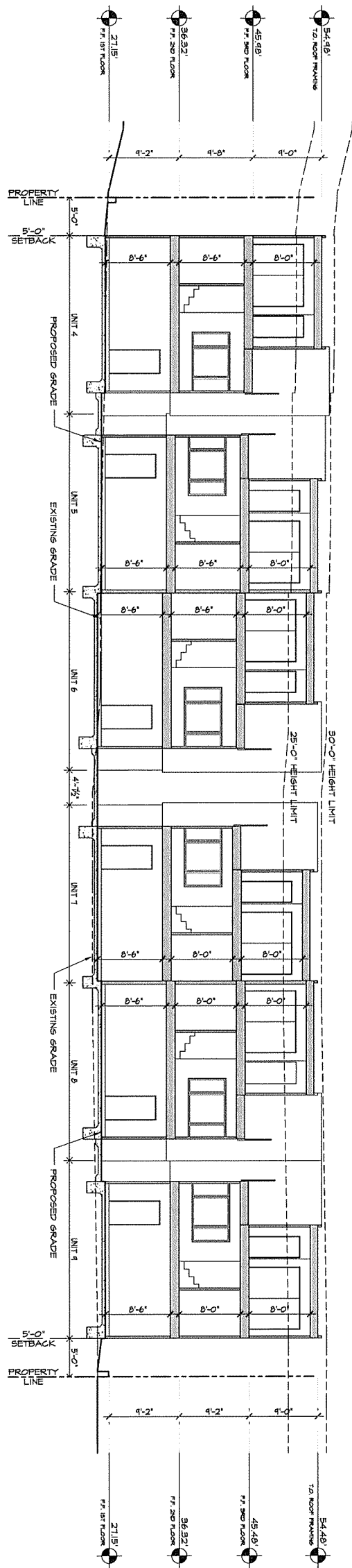
**golba**  
INC.  
A204  
ATE: 08-08-23



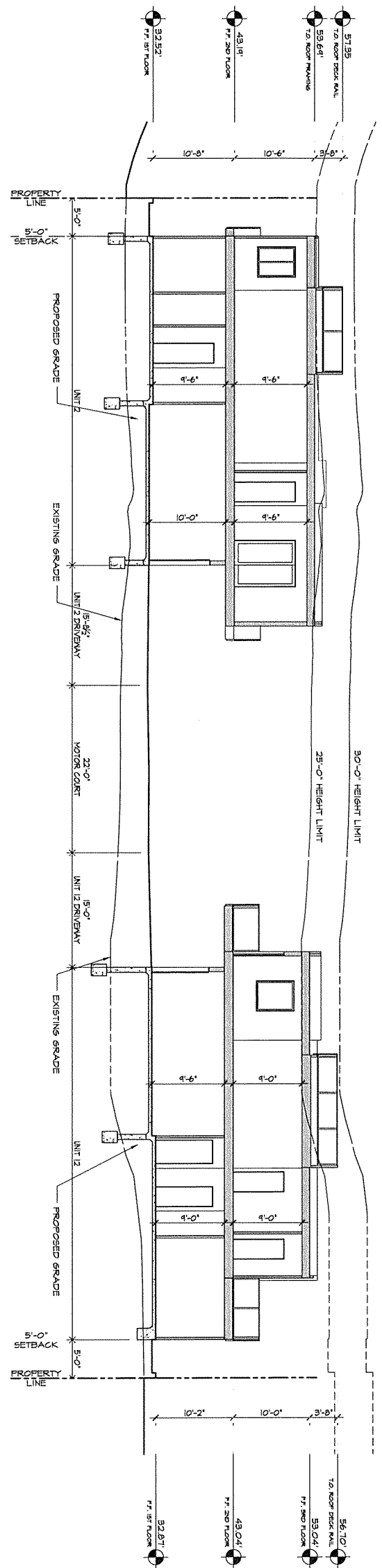
BUILDING SECTION A  
SCALE: 1/8" = 1'-0"



BUILDING SECTION B  
SCALE: 1/8" = 1'-0"



BUILDING SECTION C  
SCALE: 1/8" = 1'-0"



BUILDING SECTION D  
SCALE: 1/8" = 1'-0"



# PLANT PALETTE

NICOLS IV Water Usage:  
 \* Very Low \*\* Low  
 \*\*\* Moderate \*\*\*\* High

## Entry Accent Tree

- 24" BOX such as:  
 Yucca Gloriosa (Spanish Dagger)\*  
 H:8'-10' x W:6'-8'
- Aloe barberae (Hercule's Aloe)\*\*  
 H:15'-20' x W:10'-15'
- Aloe bainesii 'Neanderthaloe' (Neanderthaloe)\*\*  
 H:15'-20' x W:10'-15'

## Med. Accent Shade Trees

- 24" BOX such as:  
 Cercis canadensis 'Forest Pansy'  
 (Forest Pansy Redbud) \*\*\*  
 H:20'-25' x W:20'-25'
- Lagerstroemia (Crape Myrtle) \*\*\*  
 H:15'-25' x W:10'-15'
- Olea europaea 'SWAN HILL' (Fruitless Olive) \*\*  
 H:20'-35' x W:15'-20'
- Thevetia peruviana (Thevetia) \*\*  
 H:20'-25' x W:10'-15'

## Large Street Trees

- 36" BOX such as:  
 Cassia leptophylla (Gold Medallion Tree) \*\*\*  
 H:20'-25' x W:20'-25'
- Fraxinus uhdei 'Majestic' (Majestic Ash) \*\*\*  
 H:30'-80' x W:35'-45'

## Interior Trees

- 15 GAL. such as:  
 PODOCARPUS ELONGATUS 'MONMAL'  
 (ICEE BLUE YEW PINE) \*\*\* H:15'-20' x W:10'-15'
- Ficus nitida columns (Indian Laurel Columns) \*\*\*  
 H:25'-30' x W:15'-20'

## Large Screening Shrubs

- 15 GAL. such as:  
 Dodonaea viscosa (Green hopseed) \*\*  
 H:10'-15' x W:6'-8'
- Leucadendron 'Hawaii Magic' (Royal Hawaiian) \*\*  
 H:5'-6' x W:4'-5'
- Vitex trifolia 'Purpurea' (Arabian Lilac) \*\*  
 H:10'-12' x W:6'-8'

## Formal Entry Planting

- 1 Gal. such as:  
 Agave desmettiana  
 (Smooth Agave) \*\*
- Dasyllirion wheeleri  
 (Desert Spoon) \*
- Festuca glauca (Blue Fescue) \*\*

## Parkway Planting

- (1 Gal. or Liners - 18" O.C.)  
 Pennisetum setaceum  
 (Green Fountain Grass) \*\*
- Hesperaloe parviflora  
 (Red Yucca) \*
- Calandrinia spp. \*\*
- Dymondia margaretae (Rock Ditty) \*\*

## Slope & Perimeter Planting

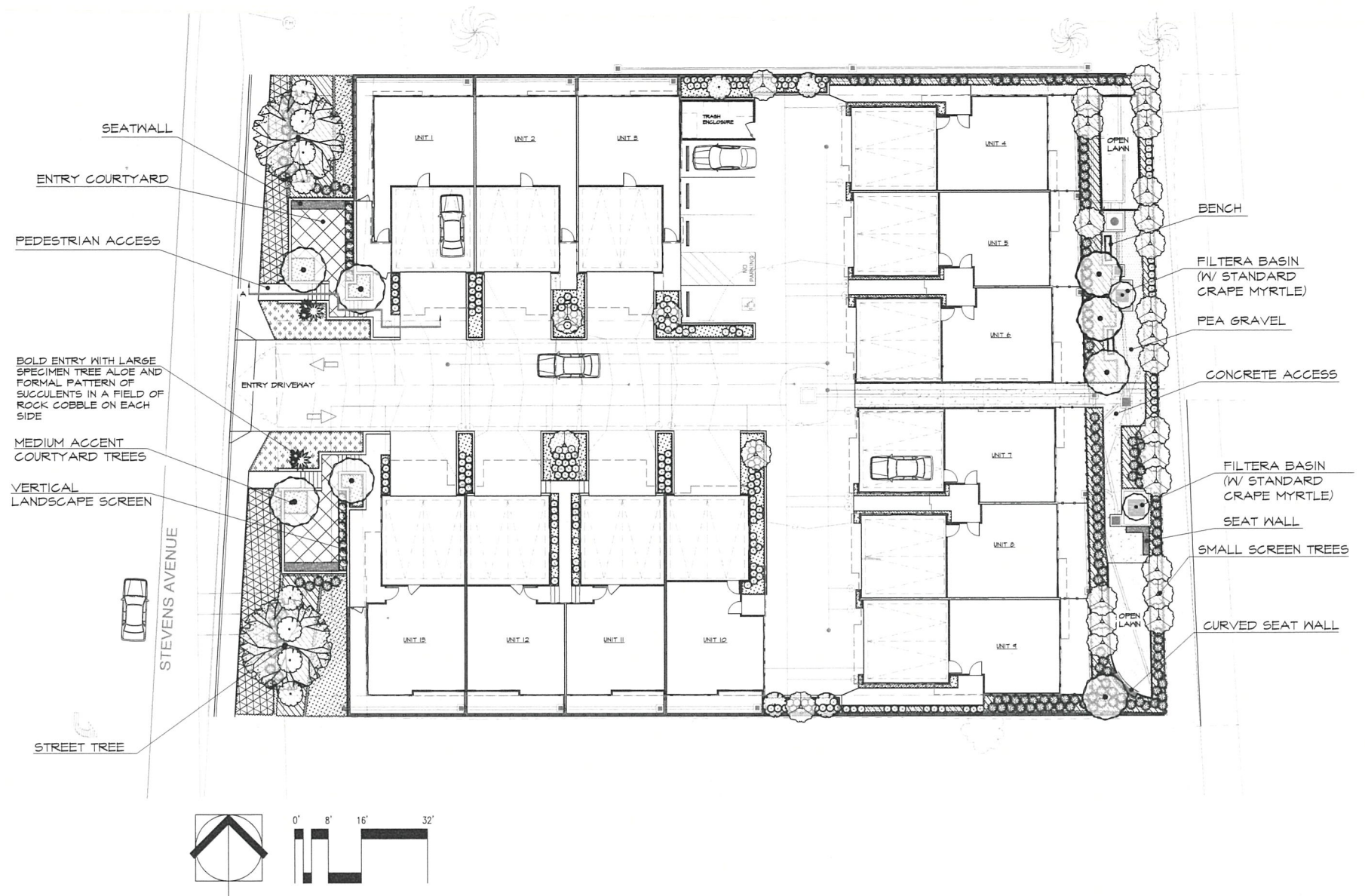
- 1 Gal. or Liners such as:  
 Leucophyllum frutescens  
 (Blue Texas Ranger) \*\*
- Myrtus communis 'Compacta'  
 (Dwarf Myrtle) \*\*
- Myoporum parvifolium (Myoporum) \*\*
- Ruellia brittoniana 'Katie'  
 (Katie Ruellia) \*\*

## Interior Shrubs & Groundcover

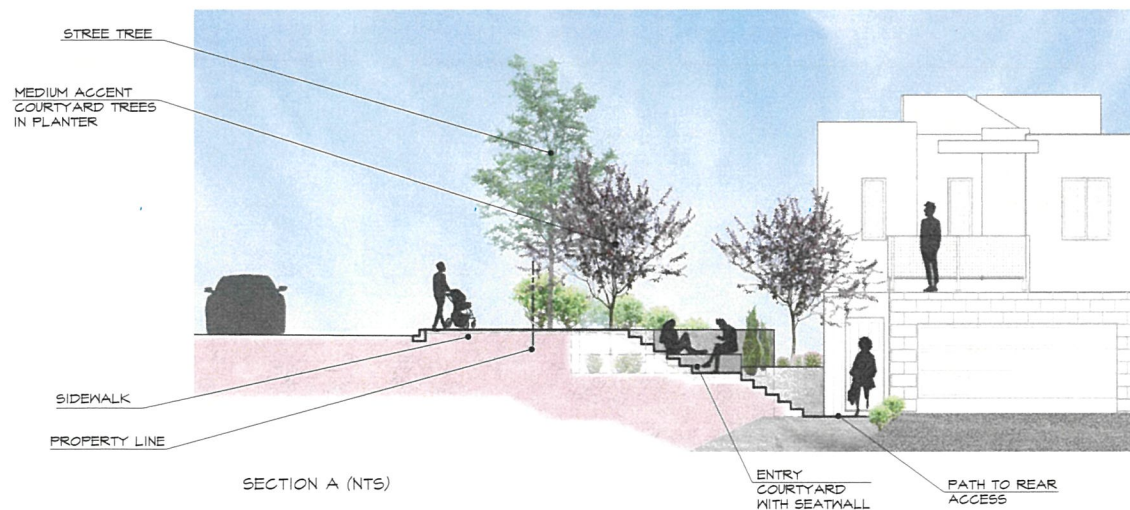
- (1 Gal. or Liners - 18" O.C.)  
 Festuca Californica \*\*
- Hesperaloe parviflora  
 (Red Yucca) \*
- Kniphofia ulvaria 'Flamenco'  
 (Flamenco Red Hot Poker) \*\*

## OPEN TURF AREA

- Sod:  
 Seashore Paspalum \*\*\*



## SECTION THROUGH ENTRY PLAZA



## CONCEPT STATEMENT

THE LANDSCAPE THEME FOR THE STEVENS TOWNHOMES PROMOTES A NAPA VALLEY CONTEMPORARY STYLE TO COMPLEMENT THE CRISP MODERN ARCHITECTURE. THROUGH THE CREATION OF CONTEMPORARY GARDENS THAT ECHO THE STRAIGHT LINES OF THE STRUCTURES, A SIMPLE OR MINIMALIST PLANT PALETTE OFFERS A RICHNESS TO THE PROJECT. UNIFORM ROWS OF SMALL SUCCULENTS PROVIDE A BASE FOR LARGE SPECIMEN ALOE TREES THAT SERVE AS SENTINELS ARTICULATING THE PROJECT ENTRY.

GATHERING OR SOCIALIZING COURTYARDS ARE TERRACED INTO THE SLOPE ADJACENT THE PEDESTRIAN ENTRIES. ENHANCED CONCRETE PAVING AND SEATWALLS ALONG WITH RICH WOOD ACCENTS DEFINE THE AREAS ALONG WITH ACCENT TREES TO OFFER SHADE FOR THE RESIDENTS.

WITHIN THE NORTHEAST REAR OF THE SITE, A BOSQUE OF DECIDUOUS PATIO TREES AND BENCHES PROVIDE A HOMEOWNERS QUIET RETREAT AREA THAT WILL OFFER SHADE IN THE SUMMER AND WARMING SUN IN THE WINTER. A PASSIVE RECREATION AREA WITH A SMALL TURF AREA OFFERS A RELAXING RESPITE FOR FAMILIES AND CHILDREN WITHIN THE SOUTHEAST REAR CORNER OF THIS CONTEMPORARY COMMUNITY.

## GENERAL NOTES

- 1) ALL LANDSCAPE IMPROVEMENTS SHALL BE COMPLIANT WITH THE CITY OF SOLANA BEACH LANDSCAPE MANUAL.
- 2) ALL IRRIGATION WITHIN 24" OF IMPERMEABLE SURFACES, SHALL BE SUBSURFACE DRIP, UNLESS ADJACENT IMPERMEABLE SURFACE IS DESIGNED AND CONSTRUCTED TO DRAIN ENTIRELY INTO A LANDSCAPE AREA.
- 3) CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO FINAL PLACEMENT OF ALL TREES TO AVOID ANY CONFLICTS.
- 4) ALL LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER/ PROPERTY MANAGEMENT. ENCLOSED REAR YARDS OF EACH UNIT SHALL BE MAINTAINED BY THE UNIT OWNER.
- 5) ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE (2% IN PLANTING AREAS) AWAY FROM ALL STRUCTURES AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.
- 6) ALL UTILITIES TO BE SCREENED.





# Landscape Concept Plan for: Stevens 13 Townhomes

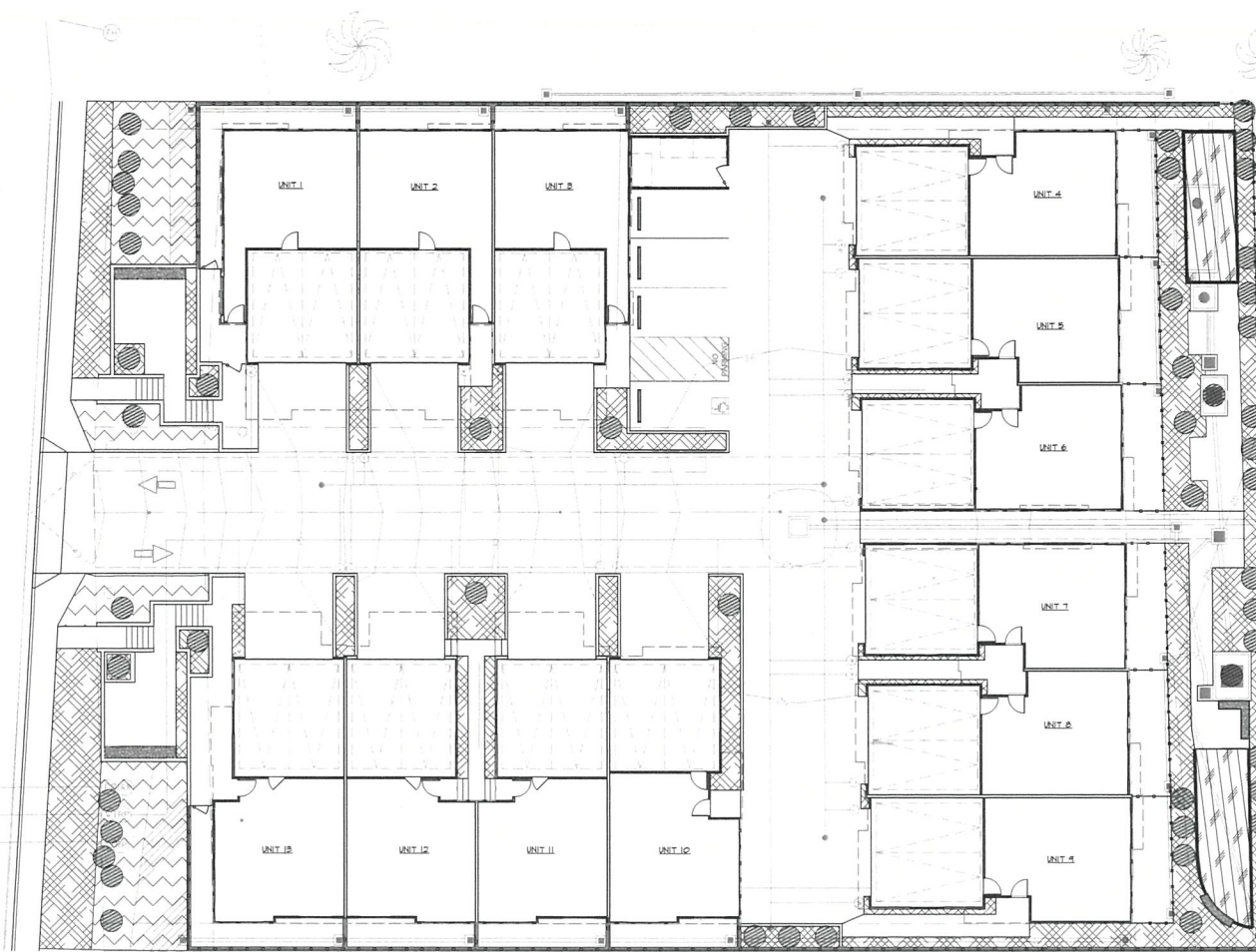
ADL  
 PLANNING  
 ASSOCIATES

LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 2979 STATE STREET SUITE "C"  
 CARLSBAD, CA. 92008  
 (760) 729-8637 FAX: (760) 729-8324

LI AUGUST 18, 2023

**HYDROZONES**

-  HYDROZONE 1: LOW USE PLANTING  
3,400 SQ. FT (58% OF TOTAL PROPOSED LANDSCAPE)  
IRRIGATION METHOD: DRIP
-  HYDROZONE 2: LOW USE PLANTING  
1,220 SQ. FT (20% OF TOTAL PROPOSED LANDSCAPE)  
IRRIGATION METHOD: ROTATOR
-  HYDROZONE 3: MODERATE USE TREES  
700 SQ. FT (12% OF TOTAL PROPOSED LANDSCAPE)  
IRRIGATION METHOD: BUBBLERS
-  HYDROZONE 4: MODERATE USE TURF  
550 SQ. FT (10% OF TOTAL PROPOSED LANDSCAPE)  
IRRIGATION METHOD: ROTATOR



**Water Conservation Features:**

- Water Efficient Landscape Principles that will be incorporated into this project include:
- 1. Planning and Design**
    - Design for aesthetics, practicality and above all, water efficiency.
    - Take advantage of interesting and colorful drought tolerant plants.
    - Consider sun orientation, soil type, slopes, location of utility lines and planned usage.
  - 2. Soil Analysis**
    - Test soils to determine the need for specific soil amendments.
    - Incorporate soil amendments prior to installation of irrigation and planting.
    - Add compost and aerate soils for better water absorption and to improve water-holding capacity.
  - 3. Appropriate Plant Selection**
    - Select plants that are native to the region.
    - Select plants based on their ultimate size in order to reduce pruning maintenance.
    - Group plants together according to their water and sun needs (hydrozones).
    - Use plants with minimal water requirements on hot, dry areas with south and west exposures.
    - Limit the use of plants that require more moisture, and if used, select planting areas that are in the cooler areas on north and east facing slopes and walls.
  - 4. Efficient Irrigation**
    - Water deeply and infrequently to develop deep root systems.
    - Water in the evening or early morning to reduce water loss due to evaporation.
    - Adjust your controller monthly to accommodate changing weather conditions.
    - Install rain-sensor devices that automatically shut off irrigation during rain events.
    - Adjust irrigation systems to eliminate runoff, low head drainage and overspray.
  - 5. Use of Mulches**
    - Use mulch to keep plant roots cool, minimize erosion and reduce weed growth.
    - Add organic mulches to decompose and add nutrients to the soil.
    - Limit the use of rocks around plants because it will make the area hotter.
  - 7. Appropriate Maintenance**
    - Replace mulch as it decomposes.
    - Occasional pruning of trees and shrubs to remove dead stems promotes blooming and controls height/spread.
    - Regularly inspect, maintain and adjust irrigation systems.

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PLANNING  
ASSOCIATES

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LANDSCAPE ARCHITECTURE  
2979 STATE STREET SUITE "C"  
CARLSBAD, CA. 92008

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L2 AUGUST 18, 2023



**ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

Applicant Last Name: \_\_\_\_\_ Project/Plan Check Number: \_\_\_\_\_ Project Address: \_\_\_\_\_

The project's Estimated Total Water Use is calculated using the following formula:  $ETWU = (ET_0)(0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$

- ETWU = Estimated total water use per year (gallons per year)
- ET<sub>0</sub> = Evapotranspiration rate (inches per year)
- PF = Plant Factor from WUCOLS (see Definitions)
- HA = Hydro-zone Area (square feet). Define hydro-zones by water use: very low, low, moderate and high
- SLA = Special Landscape Area (square feet). Edible plants, irrigated with recycled water, & turf used for active play
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Irrigation Efficiency

**CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)				SLA
	1	2	3	4	
Evapotranspiration Rate (ET <sub>0</sub> ) See "A" below	Use 41 (west of I-5) / 47 (east of I-5)				
Conversion Factor - 0.62	0.62				
(Line 1 x Line 2)	25.42 (west of I-5) / 29.14 (east of I-5)				
Plant Factor (PF) See "B" below	.3	.3	.6	.6	
Hydrozone Area (HA) - in square feet	3,400	1,220	700	550	
(Line 4 x Line 5)	1,020	366	420	330	
Irrigation Efficiency (IE) See "C" below	.81	.75	.75	.75	
(Line 6 - Line 7)	1,259.26	488	560	440	
TOTAL of all Line 8 boxes + SLA	2,747.26				
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	69,835.35				

A	B	C
ET <sub>0</sub> - Evapotranspiration rate 41 (west of I-5) 47 (east of I-5)	PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.1 - VLF - Very Low Water Use Plants 0.3 - LW - Low Water Use Plants 0.6 - MW - Moderate Water Use Plants 1.0 - HF - High Water Use Plants	IE - Irrigation Efficiency Spray = .55 Rotor = .70 Bubble = .75 MP rotator = .75 Drip & Micro-sprays = .81 A different IE may be used if supported by documentation subject to approval by the City Planner

**MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:**  
Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential

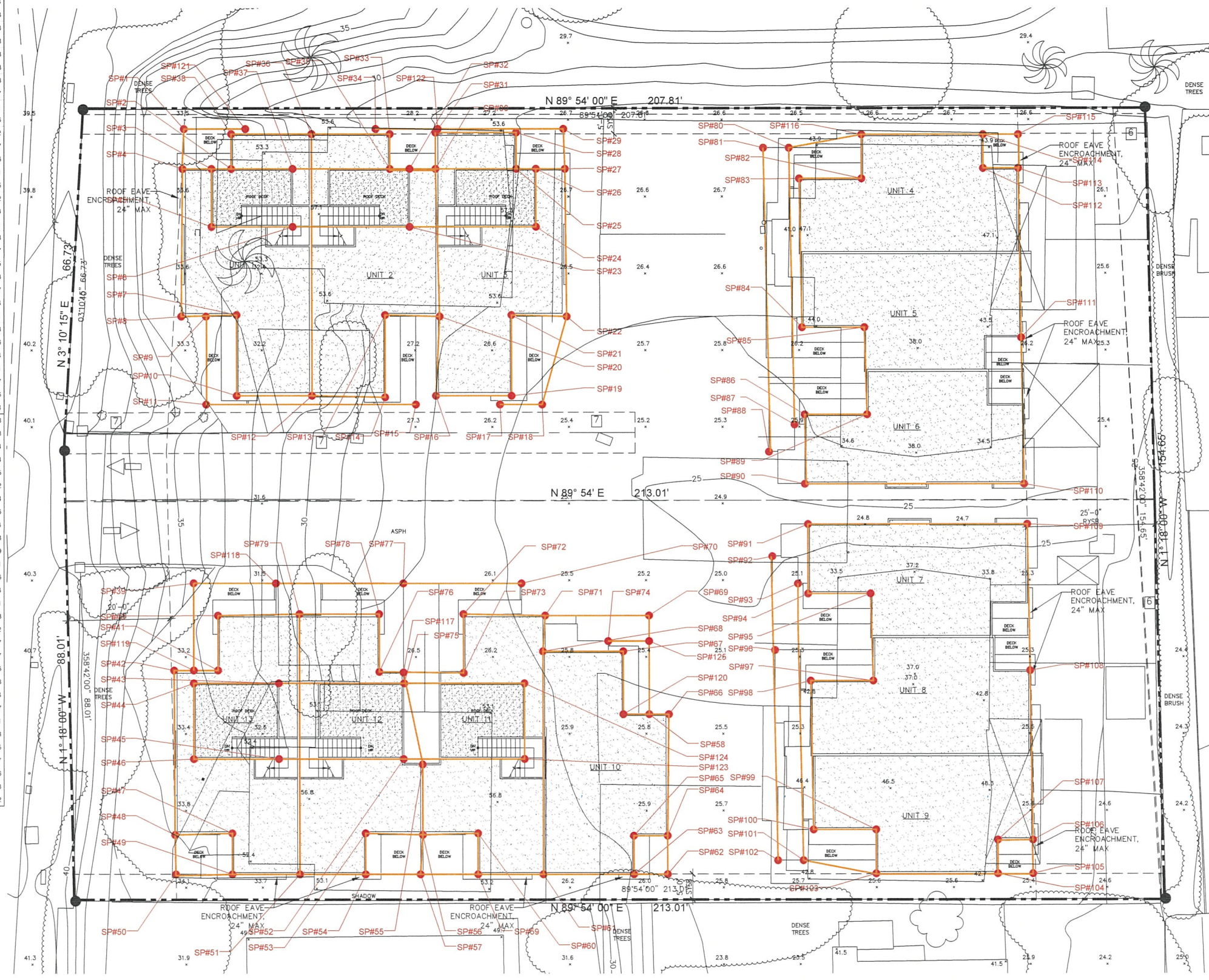
$$\frac{25.42}{25.42 \text{ or } 29.14} \left[ \frac{.55}{(ETAF \times \frac{5,870}{\text{Total Landscape Area}}) + (1-ETAF \times \frac{0}{\text{Total SLA}}) \right] = \text{MAWA } 82,068.47$$

# Water Conservation Plan for: Stevens 12 Town Homes

AS BUILT

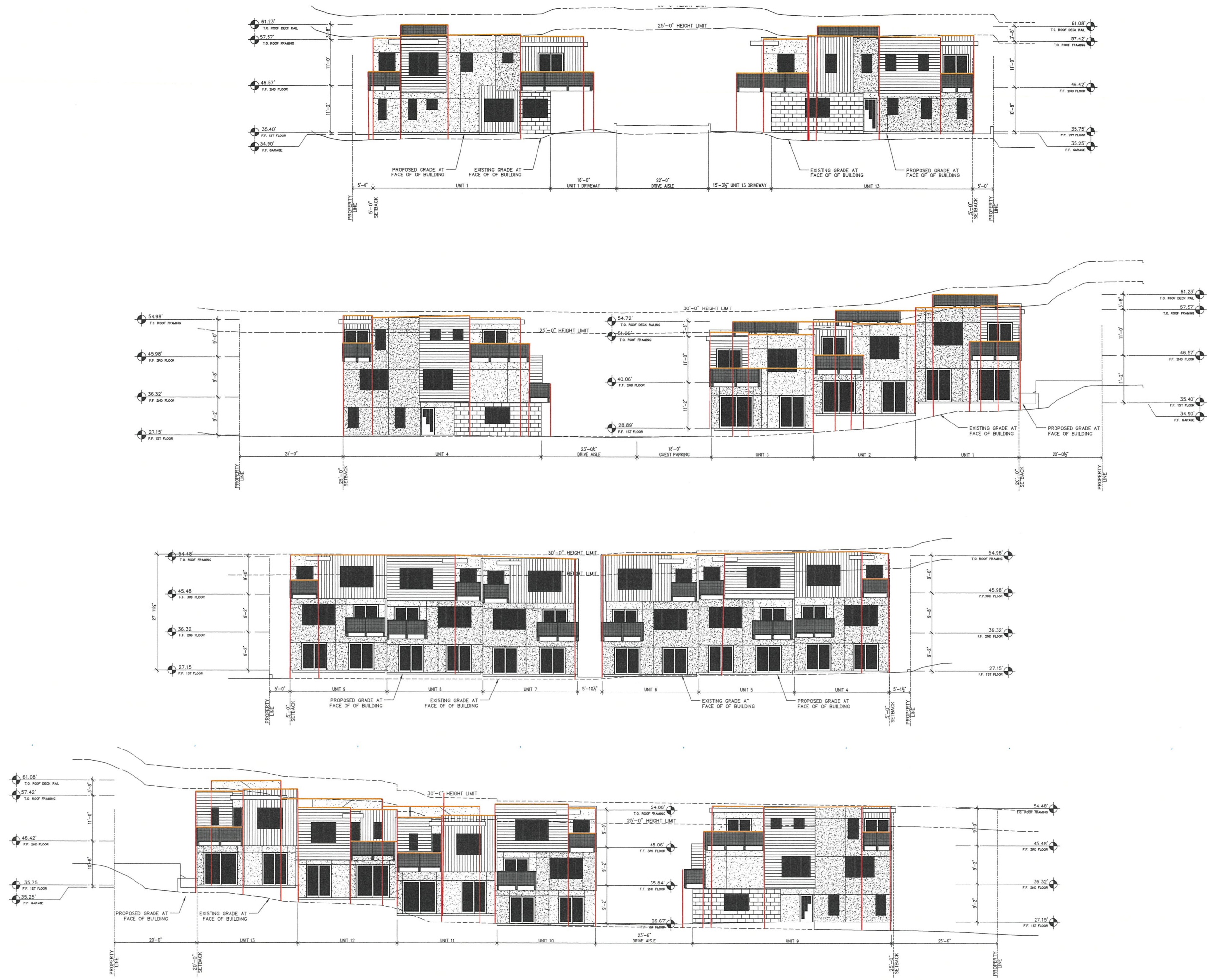
01/06/2024

POLE NUMBER	BASE GRADE ELEVATION	TOP OF POLE ELEVATION	POLE HEIGHT	POLE NUMBER	BASE GRADE ELEVATION	TOP OF POLE ELEVATION	POLE HEIGHT
1	33.275	49.98	16.705	64	26.016	55	28.984
2	33.627	58.57	24.943	65	25.957	55.5	29.543
3	34.201	61.22	27.019	66	25.636	55	29.363
4	33.81	58.57	24.76	67	25.699	54.5	28.8
5	33.56	61.22	27.66	68	26.192	54.5	28.308
6	53.773	61.22	7.447	69	25.422	39.17	13.748
7	32.904	58.66	25.756	70	26.202	43.6	17.398
8	33.489	58.66	25.171	71	26.113	52.67	26.557
9	33.396	49.9	16.534	72	26.609	52.67	26.061
10	32.43	58.56	26.13	73	26.663	56.43	29.766
11	35.45	49.9	14.449	74	25.748	48.42	22.672
12	31.261	58.56	27.299	75	26.811	56.58	29.77
13	27.163	55.18	28.017	76	26.894	54.04	27.146
14	27.919	54.68	26.761	77	27.169	46.42	19.251
15	27.555	46.6	19.045	78	27.034	54.5	27.465
16	27.252	52.06	24.808	79	31.648	57.92	26.272
17	26.418	43.43	17.012	80	27.398	49.4	22.003
18	26.079	43.43	17.351	81	26.879	39.73	12.851
19	26.398	52.06	25.662	82	45.252	55.98	10.728
20	27.097	55.18	28.09	83	27.374	55.48	28.107
21	26.836	52.55	25.714	84	26.445	55.48	29.035
22	26.495	52.55	26.054	85	35.687	54.98	19.293
23	56.851	57.35	0.499	86	26.133	55.48	29.347
24	27.219	54.73	27.511	87	25.936	49.98	24.044
25	27.057	51.97	24.913	88	25.459	39.23	13.771
26	26.953	54.73	27.777	89	35.75	54.98	19.23
27	26.968	51.97	25.002	90	25.364	54.48	29.116
28	26.994	51.47	24.476	91	24.94	53.98	29.04
29	26.707	43.47	16.763	92	24.959	38.73	13.771
30	55.421	54.69	-0.731	93	25.213	47.9	22.687
31	54.044	51.47	-2.574	94	25.294	53.98	28.686
32	55.383	57.35	1.967	95	35.307	54.98	19.674
33	54.024	54.19	0.166	96	25.422	39.23	13.808
34	53.843	46.6	-7.243	97	35.352	54.98	19.628
35	55.473	54.69	-0.783	98	25.477	54.48	29.004
36	28.61	58.06	29.45	99	45.006	54.98	9.974
37	53.793	61.22	7.427	100	45.045	54.98	9.935
38	28.407	58.06	29.653	101	26.038	48.9	22.862
39	36.063	49.83	13.767	102	26.191	39.73	13.54
40	32.554	57.92	25.366	103	43.484	54.98	11.496
41	32.804	58.92	26.116	104	25.846	54.98	29.134
42	33.602	58.92	25.318	105	25.632	48.9	23.268
43	32.284	61.08	28.796	106	33.851	54.98	21.129
44	33.232	61.08	27.848	107	34.609	54.98	20.371
45	53.151	61.08	7.928	108	25.464	54.98	29.516
46	33.75	61.08	27.331	109	24.786	53.98	29.194
47	33.714	58.92	25.206	110	25.389	54.98	29.591
48	34.187	58.42	24.233	111	26.262	55.98	29.718
49	38.524	58.92	20.396	112	44.859	55.98	11.122
50	34.206	49.83	15.622	113	26.403	55.98	29.577
51	44.856	58.92	14.064	114	26.493	55.48	28.987
52	55.259	56.58	1.321	115	26.44	49.4	22.96
53	55.667	54.58	-1.087	116	26.751	55.98	29.23
54	53.959	54.27	0.312	117	26.846	54.04	27.194
55	55.582	54.58	-1.002	118	31.86	49.83	17.97
56	55.687	54.58	-1.107	119	33.239	48.18	14.941
57	53.984	46.42	-7.564	120	26.022	55	28.978
58	25.748	48.42	22.672	121	28.455	49.98	21.525
59	54.022	52.67	-1.352	122	53.877	46.6	-7.277
60	55.664	52.67	-2.993	123	26.534	54.76	28.226
61	26.331	55.5	29.17	124	26.33	54.76	28.43
62	25.913	48.42	22.507	125	25.508	48.42	22.912
63	26.097	55.5	29.403				



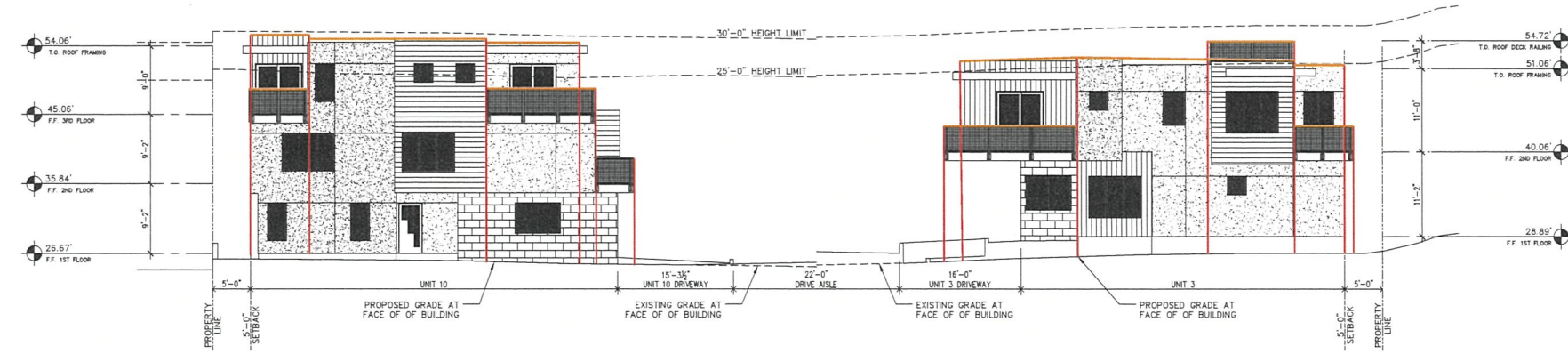
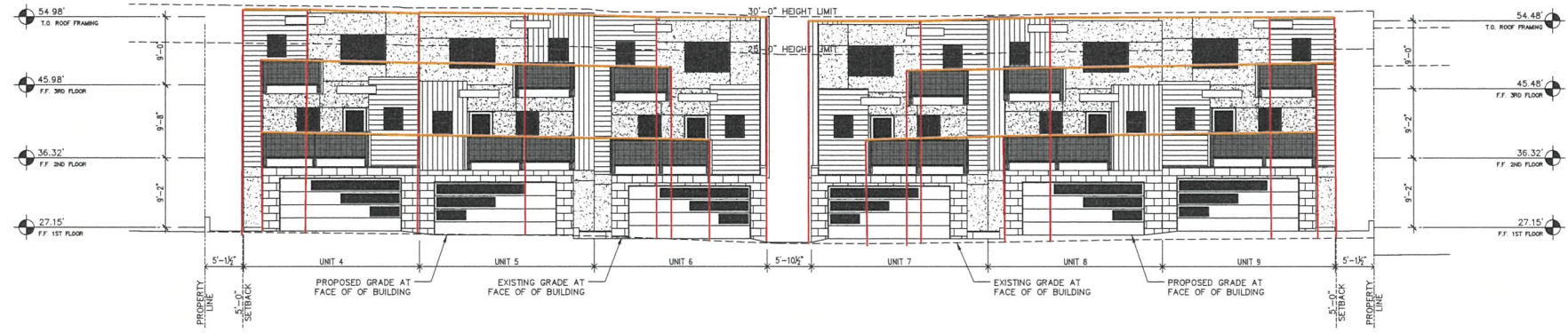
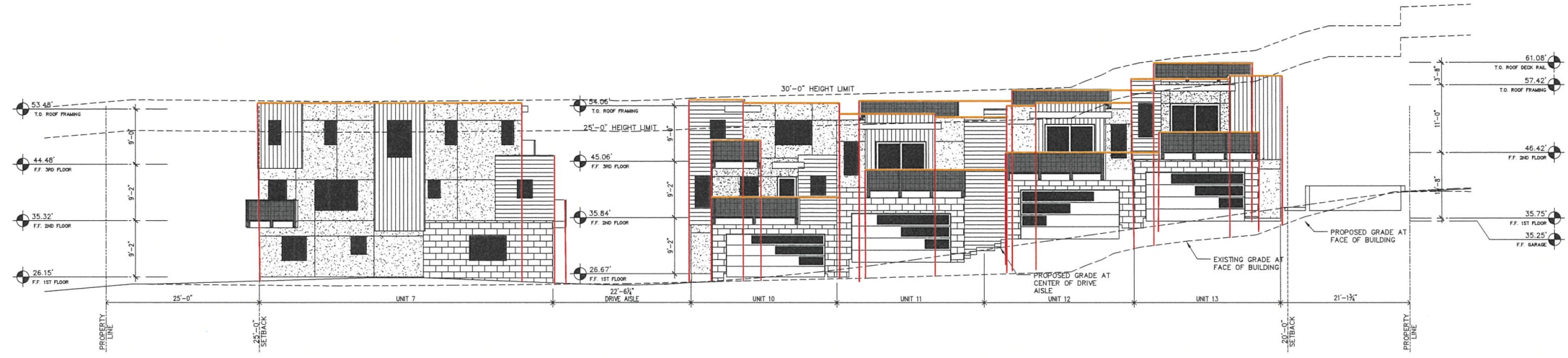
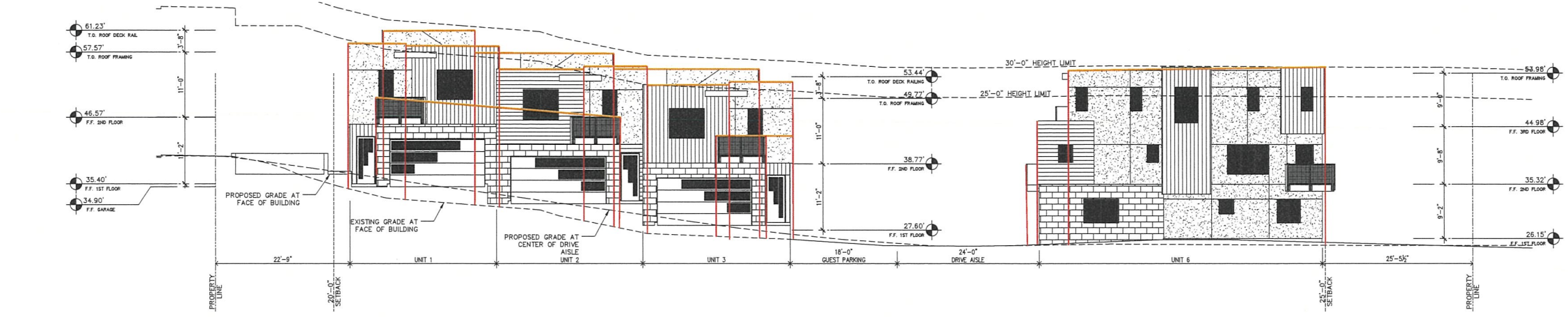
STEVENS 13 TOWNHOMES

718-726 STEVENS AVE  
SOLANA BEACH, CA



STEVENS 13 TOWNHOMES

718-726 STEVENS AVE  
 SOLANA BEACH, CA



# STEVENS 13 TOWNHOMES

718-726 STEVENS AVE  
SOLANA BEACH, CA

March 20, 2024

## **PROJECT NARRATIVE**

### **STEVENS 13 - DRP22-003, SDP22-001, SMAP22-001**

The Stevens 13 Multi-Family Residential development is an affordable infill housing project located in the southern part of Solana Beach just west of the 5 freeway. The project site is underutilized currently with 8 units that are old and in a run-down condition and aesthetic. The site is centrally located within close proximity to public transportation, recreation and amenities. In fact, La Colonia Park and Skatepark is located directly adjacent to the project site to the north and the Del Mar Racetrack and Fair Grounds is approximately half a mile to the south of the project site. There are multiple shopping centers offering various goods and services within one mile radius of the property as well. There are also a number of schools and churches in the immediate vicinity of this multi-family lot as well making it a key site for young families. The site is also very transit friendly as Bus route 308 runs along Stevens Avenue with the northbound stop just to the north of the project site adjacent to the neighboring La Colonia Park and the southbound stop directly across Stevens Avenue to the west.

The proposed development utilizes a residentially zoned parcel at 718 thru 732 Stevens Avenue that is full of potential for increased density. The current development on the project site consists of 8 dwelling units in 4 duplex structures on a parcel with an allowable density of between 9 and 14 dwelling units. The project proposes to demolish the existing 4 duplex structures and construct 13 new dwelling units in 3 triplex and 1 fourplex structures including two for-sale affordable dwelling units to be located on site. The demolition of the existing 50+ year-old structures and the construction of the new dwelling units will contribute to revitalization of this prime lot and will enhance the existing community, neighborhood quality and character by providing this much needed infill housing in such an ideal location.

The proposed development will provide an additional 5 dwelling units above the existing development including 2 On-Site affordable dwelling units. The 2021-2029 Housing Element Update references the Regional Housing Needs Assessment (RHNA), which quantifies the statewide housing need and allocates those needs among 18 State Metropolitan Planning Organizations (MPOs). The MPO representing the City of Solana Beach is SANDAG. SANDAG has delegated a portion of the housing needs to the City of Solana Beach that includes 875 dwelling units divided into four income categories. The Stevens 13 development will contribute to the City of Solana Beach meeting those housing needs by providing 2 affordable dwelling units on site reserved for sale to low-income households. The increased density proposed by the development, utilizing the higher density provided through the Development Review Permit, will also assist in meeting equal opportunity housing goals as set forth in the Housing Element update. The development will be required to provide 10% of the dwelling units accessible to persons with disabilities.

# **AFFORDABLE HOUSING PLAN**

**FOR**

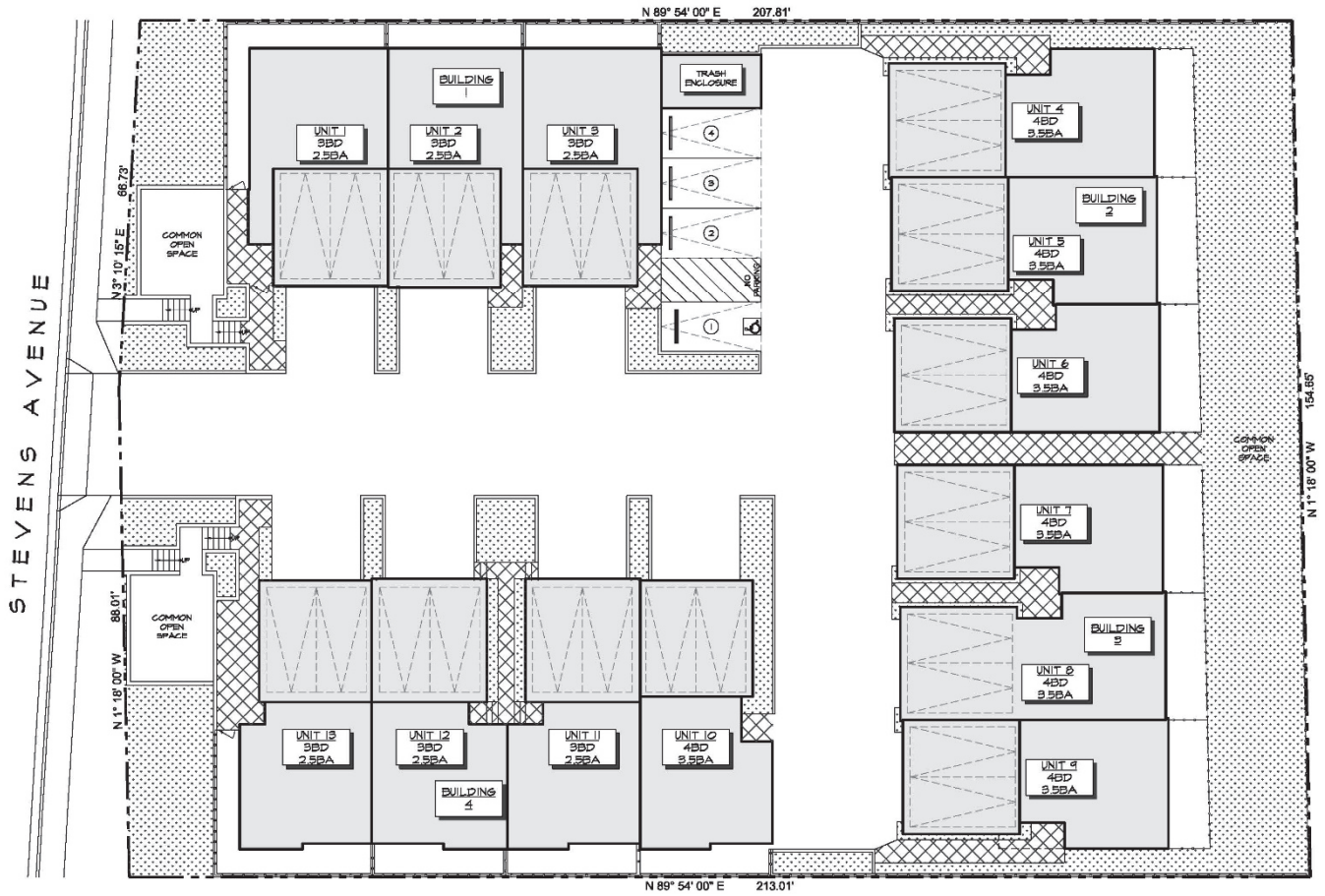
**STEVENS 13 TOWNHOMES  
718-732 STEVENS AVENUE  
SOLANA BEACH, CA 92075**

1. **Affordable Housing Plan: On-Site Units.** The following requirements shall apply to the two (2) on-site units:
  - a. **Nature of Affordable Units:** Two (2) units, or 15% of the proposed 13, for-sale dwelling unit development, shall be for-sale units reserved for low-income households (as defined in section 50052.5 of the California Health and Safety Code). Per Solana Beach Municipal Code Section 17.70.035 A & B, the affordable units will be constructed in the same residential style maintaining the same general bulk, scale, average square footage and height as the market-rate units. The affordable units will be further comparable to the market-rate units in number of bedrooms, with one (1) three-bedroom unit and one (1) four-bedroom unit being designated as affordable units. See Exhibit A for the proposed development Site Plan and proposed affordable units.
  - b. **Construction Scheduling and Phasing:** The two (2) for-sale affordable units will be constructed in conjunction with the remaining market-rate units, there will be no phasing in the construction schedule of the proposed development.
  - c. **Affordable housing required – For sale residential projects:** As stated in paragraph 1a, the two (2) on-site affordable units will be for-sale units reserved for low-income households and the remaining 11 units in the proposed development will be for-sale market-rate units. Therefore, the proposed development is a “For-sale residential project” and shall comply with Solana Beach Municipal Code Section 17.70.020 and all State Code Sections specified within.



# EXHIBIT A

## SITE PLAN:



## AFFORDABLE UNITS:

- Unit 11, three bedrooms
- Unit 8, four bedrooms

# Santa Fe Irrigation District



March 1, 2023

Corey Andrews, Principal Planner  
City of Solana Beach

*Via Email Transmission Only*

***Subject: 718-732 Stevens Ave, APNs 298-164-10 & -13 – Will Serve***

Dear Mr. Gomes,

This letter is to confirm that Santa Fe Irrigation District (SFID) and its regional water supplier, the San Diego County Water Authority, has sufficient water supply to continue to serve 718-732 Stevens Ave (APNs 298-164-10 & -13) and the additional planned units as identified in the Stevens 13 Development Review Permit Submittal Set prepared by Golba Architecture Inc dated January 4<sup>th</sup>, 2023.

Please note that depending on the details of the proposed development, supplemental hydraulic analyses may be required to confirm the adequacy of the existing water distribution infrastructure to meet the service and fire protection requirements (set forth by the Fire Department).

Should you have any questions, please contact SFID's Senior Engineer, Hanna Dodd at (858) 227-5783.

Sincerely,

A handwritten signature in black ink, appearing to read "Marissa Potter". The signature is fluid and cursive.

Marissa Potter, P. E.  
Engineering Services Manager

c. file



November 18, 2022

3981 Garfield Street LLC  
PO Box 408  
Rancho Santa Fe, CA 92067

Dear Customer:

Subject: **718 Stevens Ave, Solana Beach CA 92075**

In accordance with our "RULES FOR THE SALE OF ELECTRIC ENERGY" and "RULES FOR THE SALE OF GAS", filed with and approved by the California Public Utilities Commission, gas and electric facilities can be made available to APN #29816410.

If purchaser is to pay any cost for the installation and/or extension of utility service, the costs will be calculated in conformance with our extension and service rules.

Evidence of financial arrangements for the installation of gas and electricity can be obtained from the developer and/or owner based on correspondence from SDG&E on this project.

Our ability to serve future projects in our service territory will depend on the supply of fuel and other essential materials available to us and on our obtaining government authorization to construct the facilities required.

For additional general information, please visit our website at <http://sdge.com/index.html>.

A handwritten signature in black ink that reads "Andrea Persing". The signature is written in a cursive style.

Andrea Persing  
Distribution Planning Advisor  
Telephone: (760) 480-7729

# EDCO

WASTE & RECYCLING SERVICES

July 13, 2022

Matt Gomes  
Project Manager  
Golba Architecture Inc.  
4455 Lamont Street, Suite 101  
San Diego, CA 92109

RECEIVED

JUL 18 2022

Community Development Dept.  
City of Solana Beach

Re: **Stevens 13 Townhomes at 718-732 Stevens Ave., Solana Beach, CA**

Dear Mr. Gomes:

Per your request, EDCO has reviewed the site plan for the project you are proposing to develop at the above referenced location. Based on our review, EDCO finds the location of the enclosure acceptable and we can provide service there. Our approval is based on the following:

- There will be no plans for any overhead structures leading up to the trash enclosure location.
- The enclosure will accommodate four (4) 3-cy containers (2 for trash and 2 for recycling) and two (2) or more 64-gallon carts for organic waste. You planned space for six (6) bins, however, there needs to be room for tenants and/or service providers to access the containers.

If you have any questions regarding this response, please feel free to contact us.

All the best.



Jim Ambroso  
General Manager

Cc: Armando Cendejas

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December 20, 2022

Mr. Todd Parnell  
3891 Garfield Street LLC P.O. Box 408  
Rancho Santa Fe California 92067

SUBJECT: 718 STEVENS AVENUE – CITY OF SOLANA BEACH, CALIFORNIA TRAFFIC ASSESSMENT (JOB NUMBER 19762)

Dear Mr. Parnell:

The following traffic assessment has been prepared to quantify the expected traffic generation for the above-referenced project and includes a Vehicle Miles Traveled (VMT) screening assessment as required by CEQA. This project is located along the west side of Stevens Avenue just north of the signalized Nardo Avenue/Stevens Avenue intersection in the City of Solana Beach, California.

## INTRODUCTION

The project consists of developing thirteen (13) multi-family residential units within three (3) three-unit structures and one (1) four-unit structure. The project will replace four (4) existing duplex structures (8 units).

**Attachment A** shows the Vicinity Map and **Attachment B** shows the Project Site Plan.

## PROJECT ACCESS

The project proposes to maintain full access at the existing driveway along Stevens Avenue that will serve the project site. A two-way left-turn lane is currently provided on Stevens Avenue for left-turn ingress and would serve as a refuge area for left-turning vehicles exiting the site prior to merging into through traffic. Two-way circulation is proposed around the facility.

The following is a description of the existing roadways in the vicinity of the project site:

Stevens Avenue is classified as a commercial collector roadway in the City of Solana Beach General Plan 2014. The roadway currently provides one travel lane in each direction with a two-way left-turn lane in the vicinity of the project site. The posted speed limit ranges from 25MPH to 30 MPH depending on the presence of school zones, buffered bike lanes are provided on both sides of the roadway and street parking is allowed. Sidewalk is currently provided on both sides of the roadway in the vicinity of the project including along the project access driveway.

**PROJECT TRAFFIC GENERATION**

The San Diego Association of Governments' (SANDAG) *(Not So) Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region* was used to calculate the project's trip generation. Based on the SANDAG trip rate for the Condominium land use (6-20 dwelling units per acre), the project is estimated to generate 104 ADT, with 8 trips during the AM peak (2 inbound/6 outbound) and 10 trips during the PM peak (7 inbound/3 outbound) during a typical weekday.

To account for existing trips on the project site, trip generation was calculated for the existing duplex structures. Based on the SANDAG trip rate for the Condominium land use, the existing site is estimated to generate 64 ADT, with 5 trips during the AM Peak (1 inbound/4 outbound) and 6 trips during the PM peak (4 inbound/2 outbound) during a typical weekday. The existing trips were discounted from the proposed trips to generate a net total trip volume of 40 ADT, with 3 trips during the AM peak (1 inbound/2 outbound) and 4 trips during the PM peak (3 inbound/1 outbound) during a typical weekday.

**Table 1** shows the net traffic generation calculations for the proposed project.

**Attachment C** contains the SANDAG *(Not So) Brief Guide of Vehicular Traffic Generation Rates* for the San Diego Region (2002).

**Table 1  
 718 STEVENS AVENUE TRIP GENERATION**

Land Use	Unit	Daily (per unit)	AM Peak Hour			PM Peak Hour			
			Total (per unit)	Inbound (% AM)	Outbound (% AM)	Total (per unit)	Inbound (% PM)	Outbound (% PM)	
<b>Trip Generation Rates (ITE)</b>									
Condominium (6-20 DU/acre) (SANDAG Trip Rate)	acre	8.00	8%	20%	80%	10%	70%	30%	
<b>Forecast Project Generated Trips</b>									
Land Use	Size	Unit	Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	Inbound	Outbound	Total	Inbound	Outbound
<b>Existing Trip Generation</b>									
Condominium (SANDAG Rate)	8	DU	64	5	1	4	6	4	2
<b>Proposed Project Trip Generation</b>									
Condominium (SANDAG Rate)	13	DU	104	8	2	6	10	7	3
<b>Net Change in Trips</b>			<b>40</b>	<b>3</b>	<b>1</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>1</b>

SOURCE: SANDAG *(Not So) Brief Guide to Vehicular Traffic Generation Rates for the San Diego Region* (2002).

## LOCAL TRANSPORTATION ANALYSIS (LTA)

A Local Transportation Analysis (LTA) for a project in the San Diego Region is required when the following criteria outlined in the ITE's *Guidelines for Transportation Impact Studies in the San Diego Region* (May, 2019) is met:

*Projects in conformance to the Land Use & Transportation Elements of the General/Community Plan:*

- The project generates more than 1,000 ADT or 100 peak hour trips

As previously shown in Table 1, the proposed multi-family residential development is estimated to generate a total of 104 trips per day. However, there are currently eight multi-family residences on the project site that will be removed with development of the proposed project. Including the trip credit associated with the existing multi-family residences, the proposed project would generate a net increase of **40 trips per day**. As shown, vehicular trips generated by the proposed project are not estimated to exceed the recommended screening threshold of 1,000 ADT or 100 peak-hour trips per day projects consistent with the General Plan or Community Plan, and therefore the project does not require an LTA.

## VEHICLE MILES TRAVELED (VMT) SCREENING ASSESSMENT

As required by CEQA, a Vehicles Miles Traveled (VMT) screening assessment was conducted for the proposed project. This VMT screening assessment was conducted in accordance with ITE's *Guidelines for Transportation Impact Studies in the San Diego Region* (May, 2019).

The ITE document referenced above recommends the following VMT screening thresholds for land development projects:

- Screening Threshold for Small Projects
- Map-Based Screening for Residential and Office Projects
- Presumption of Less Than Significant Impact for certain local-serving retail projects
- Presumption of Less Than Significant Impact for Affordable Residential Development
- Presumption of Less Than Significant Impact within transit priority access

The SANDAG SB-743 VMT Web App on their Transportation Forecast Information Center (TFIC) webpage provides VMT screening maps for residential and office projects, which are based on data from the SANDAG Series 14 ABM-2+ regional travel demand model for Base Year 2016 and Future Year 2050. The SANDAG VMT screening maps for residential uses show that the VMT per capita resident in the census tract in which the project is located exceeds the screening threshold for a low VMT-generating area (15% or more below the regional average VMT per service population) for both Base Year 2016 and Future Year 2050. **Attachment D** contains the SANDAG VMT screening maps for residential projects for the census tract in which the project is located.

However, the project's trip generation would not exceed the VMT screening threshold for Small Projects. The ITE guidelines suggests that land development projects consistent with the General Plan or Community Plan generating **fewer than 1,000 vehicular trips per day** may be assumed to have a less than significant transportation impact.

As previously shown in Table 1, the proposed multi-family residential development is estimated to generate a total of 104 trips per day. However, there are currently eight multi-family residences on the project site that will be removed with development of the proposed project. Including the trip credit associated with the existing multi-family residences, the proposed project would generate a net increase of **40 trips per day**. As shown, vehicular trips generated by the proposed project are not estimated to exceed the recommended screening threshold of 1,000 trips per day for Small Projects consistent with the General Plan or Community Plan, and the project is expected have a less than significant transportation impact per CEQA.

### **PROPOSED RECOMMENDATIONS IMPROVEMENTS/CONCLUSIONS**

**Table 1** shows that the proposed project is anticipated to generate a net increase of 40 ADT, with a net increase of 3 trips during the AM peak (1 inbound/2 outbound) and a net increase of 4 trips during the PM peak (3 inbound/1 outbound) during a typical weekday. It is anticipated that this generated traffic will have minimal impacts on intersections and roadways in the vicinity of the project.

The LTA screening assessment shows that the proposed project would not exceed ITE's recommended screening threshold of 1,000 trips per day for projects consistent with the General Plan or Community Plan. Therefore, the proposed project does not require an LTA.

The VMT screening assessment shows that the proposed project would not exceed ITE's recommended screening threshold of 1,000 trips per day for Small Projects consistent with the General Plan or Community Plan. Therefore, the proposed project is screened out from a full VMT analysis and is considered to have a less than significant transportation impact per CEQA.

Should you have any questions, please contact either David Mizell or me at (619) 291-0707.

Sincerely,

RICK ENGINEERING COMPANY

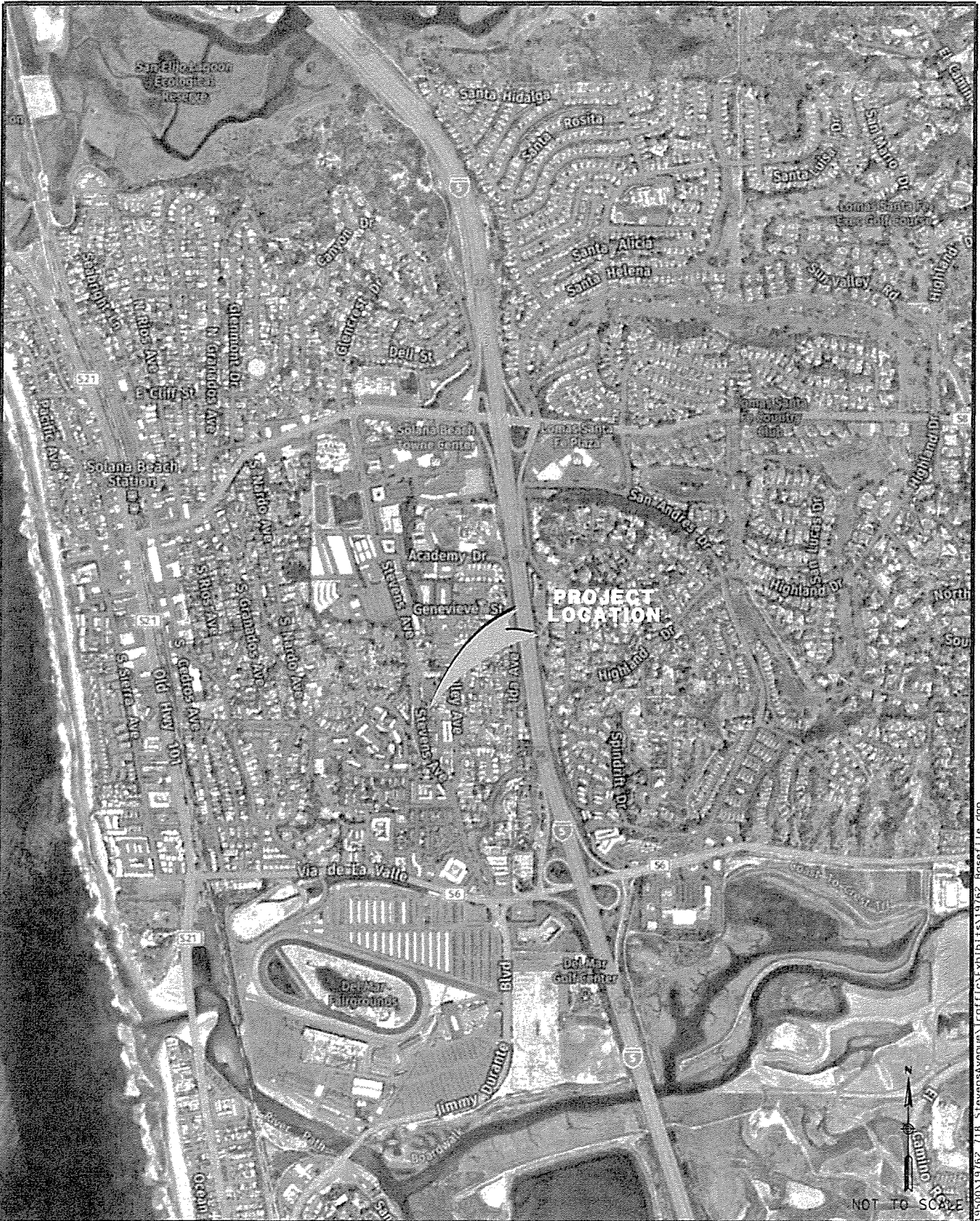


Brian R. Stephenson, PE, PTOE  
Associate Principal

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Attachments





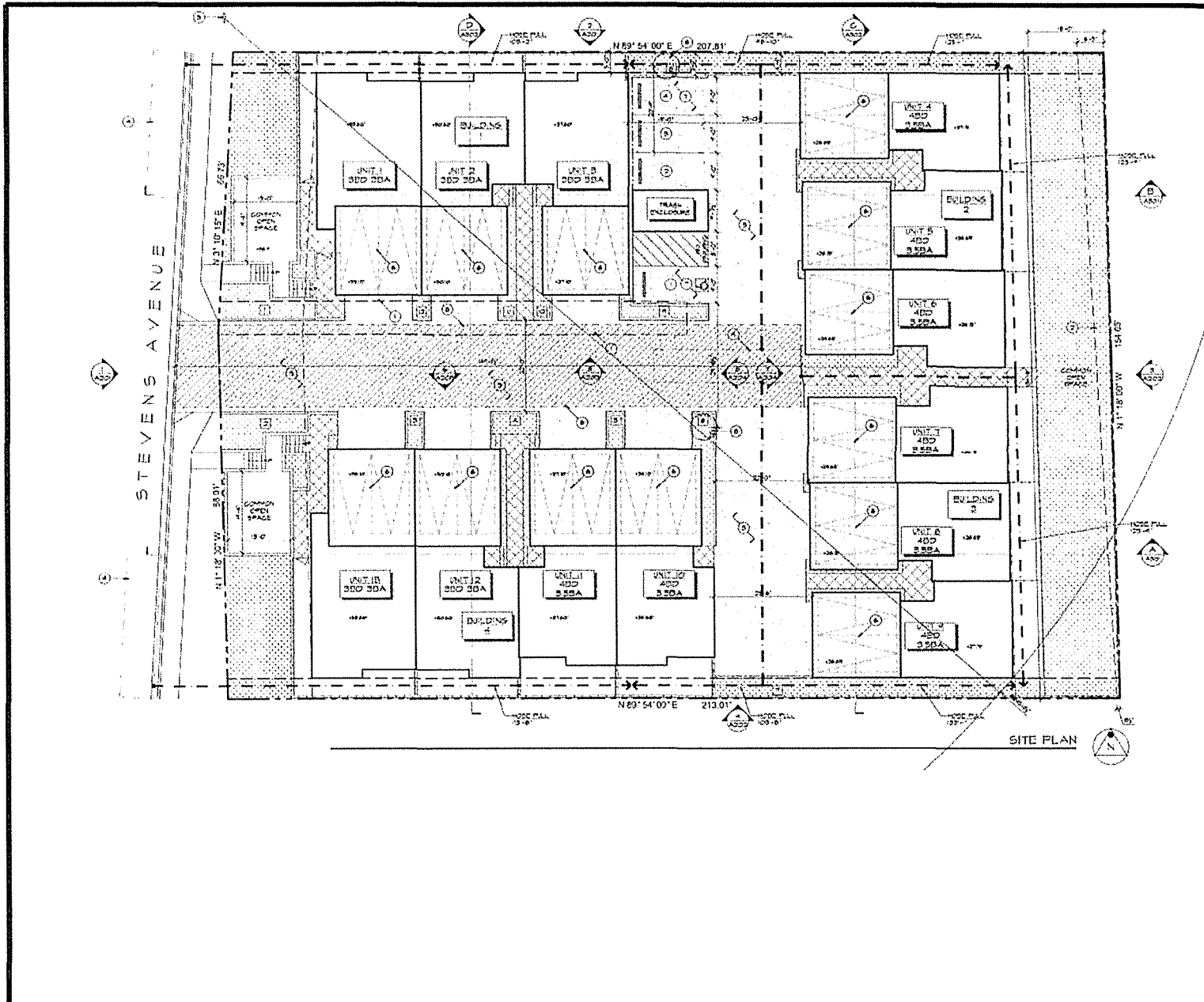
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**ATTACHMENT A**  
VICINITY MAP

718 STEVENS AVENUE TRAFFIC ASSESSMENT

C:\RICK\Projects\19500\19762-718-StevensAvenue\Traffic\Exhibits\19762-Base File.dgn  
 C:\RICK\Projects\19500\19762-718-StevensAvenue\Traffic\Exhibits\SD\_Corps\ids\_2005.dscr.lpt  
 16-DEC-2022 11:08



- SITE LEGEND:**
- [Symbol] AREA OF PROPOSED RESIDENTIAL DRIVEWAYS
  - [Symbol] AREA OF PROPOSED RESIDENTIAL WALKWAYS
  - [Symbol] PROPOSED LANDSCAPE AREAS SEE LANDSCAPE DEVELOPMENT PLAN
  - [Symbol] PROPOSED COMMON OPEN SPACE PER SDG 120.040.01
  - [Symbol] FIRE APPARATUS ACCESS ROAD PER THE SECTION 302.01 FIDE BY 144.07. LOWER SURFACE SHALL BE PORTLAND CEMENT CONCRETE WITH A DEEP BROOM FINISH. WETTED EQUAL TO THE DIRECTION OF TRAFFIC.
  - [Symbol] VEHICULAR USE AREA PER THE CITY OF SOLANA BEACH OFF-STREET PARKING DESIGN MANUAL SECTION 5.8.1
  - [Symbol] NOISE WALL USE FROM FIRE APPARATUS TO ALL PORTS OF THE EXTERIOR OF THE BUILDING AT THE ANGLED FLOOR TO BE LESS THAN 90° OF THE CIRC SECTION 302.1

- SITE PLAN KEYNOTES:**
1. FIELDS UTILITIES EASEMENT SEE PRELIMINARY GRADING PLAN SHEET G1 & G-2
  2. SEWER EASEMENT SEE PRELIMINARY GRADING PLAN SHEET G1 & G-2
  3. PRELIMINARY MOTOR COURT, SEE PRELIMINARY GRADING PLAN SHEET G-3 FOR 0.00' ELEV. VEHICULAR USE AREA SEE PART 4 DESIGN
  4. FIRE APPARATUS TRUCK TRUCK
  5. EXISTING FIRE HYDRANT
  6. 3 PARKING SPACES IN THE GARAGE AT EACH INDIVIDUAL UNIT FIVE
  7. 4 KISS' PARKING SPACES 3 STANDARD 1 ADA COMPLIANT
  8. VEHICULAR USE ARE PER SECTION 302.01 OF THE CITY OF SOLANA BEACH OFF-STREET PARKING DESIGN MANUAL, SEE LANDSCAPE CONCEPT PLAN SHEET L

**VEHICULAR USE AREA**

VEHICULAR USE AREA LANDSCAPE MATRIX		
AREA	REQ. FEET SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE
VEHICULAR USE AREA*	---	7604
LOW REQUIRED LANDSCAPE**	7604	806
HIGH REQUIRED INTERNAL LANDSCAPE***	7602	4408
LANDSCAPE AREA	SQUARE FOOTAGE	INTERNAL***
[Symbol]	1440	---
[Symbol]	19.8	---
[Symbol]	24.4	24.4
[Symbol]	32.1	32.1
[Symbol]	24.4	24.4
[Symbol]	104.7	104.7
[Symbol]	107.8	---
[Symbol]	100.2	100.2
[Symbol]	88.8	88.8
[Symbol]	21.4	21.4
[Symbol]	21.4	21.4
[Symbol]	110	110
TOTAL	771	54

\*PER THE CDPH SECTION 302.1, THE VEHICULAR USE AREA IS THE AREA OF THE PROPERTY ALLOTTED FOR PARKING AND VEHICULAR TRAFFIC.

\*\*PER THE CDPH SECTION 302.1, A MINIMUM OF 50% OF THE VEHICULAR USE AREA SHALL BE LANDSCAPED.

\*\*\*PER THE CDPH SECTION 302.1, SINCE THE VEHICULAR USE AREA IS GREATER THAN 8000 SF, AT LEAST 50% OF THE REQUIRED LANDSCAPE SHALL BE INTERNAL.

NOTE: THE LANDSCAPE AREA SHALL BE A MINIMUM OF 3'-0" WIDE IN ORDER TO BE COUNTED TOWARD THE LOW LANDSCAPE AREA REQUIREMENT.



**ATTACHMENT B**  
PROJECT SITE PLAN

718 STEVENS AVENUE TRAFFIC ASSESSMENT

# ATTACHMENT C

(NOT SO)

## BRIEF GUIDE OF VEHICULAR TRAFFIC GENERATION RATES FOR THE SAN DIEGO REGION



401 B Street, Suite 800  
San Diego, California 92101  
(619) 699-1900 • Fax (619) 699-1950

APRIL 2002

NOTE: This listing only represents a *guide* of average, or estimated, traffic generation "driveaway" rates and some very general trip data for land uses (emphasis on acreage and building square footage) in the San Diego region. These rates (both local and national) are subject to change as future documentation becomes available, or as regional sources are updated. For more specific information regarding traffic data and trip rates, please refer to the San Diego Traffic Generators manual. *Always check with local jurisdictions for their preferred or applicable rates.*

LAND USE	TRIP CATEGORIES [PRIMARY-DIVERTED-PASS-BY]*	ESTIMATED WEEKDAY VEHICLE TRIP GENERATION RATE (DRIVEWAY)	HIGHEST PEAK HOUR % (plus IN:OUT ratio)		TRIP LENGTH (Miles) <sup>1</sup>
			Between 6:00-9:30 A.M.	Between 3:00-6:30 P.M.	
AGRICULTURE (Open Space) .....	[80:18:2]	2/acre**			10.8
AIRPORT .....	[78:20:2]				12.5
Commercial		60/acre, 100/flight, 70/1000 sq. ft. **	8% (6:4)	8% (5:5)	
General Aviation		6/acre, 2/flight, 6/based aircraft * **	9% (7:3)	15% (5:5)	
Heliports		100/acre**			
AUTOMOBILE <sup>5</sup>					
Car Wash					
Automatic		900/site, 600/acre**	4% (5:5)	9% (5:5)	
Self-serve		100/wash stall**	4% (5:5)	8% (5:5)	
Gasoline .....	[21:51:28]				2.8
with/Food Mart		160/vehicle fueling space**	7% (5:5)	8% (5:5)	
with/Food Mart & Car Wash		155/vehicle fueling space**	8% (5:5)	9% (5:5)	
Older Service Station Design		150/vehicle fueling space, 900/station**	7% (5:5)	9% (5:5)	
Sales (Dealer & Repair)		50/1000 sq. ft., 300/acre, 60/service stall**	5% (7:3)	8% (4:6)	
Auto Repair Center		20/1000 sq. ft., 400/acre, 20/service stall**	8% (7:3)	11% (4:6)	
Auto Parts Sales		60/1000 sq. ft. **	4%	10%	
Quick Lube		40/service stall**	7% (6:4)	10% (5:5)	
Tire Store		25/1000 sq. ft., 30/service stall**	7% (6:4)	11% (5:5)	
CEMETERY		5/acre*			
CHURCH (or Synagogue) .....	[64:25:11]	9/1000 sq. ft., 30/acre** (quadruple rates for Sunday, or days of assembly)	5% (6:4)	8% (5:5)	5.1
COMMERCIAL/RETAIL <sup>5</sup>					
Super Regional Shopping Center (More than 80 acres, more than 800,000 sq. ft., w/usually 3+ major stores)		35/1000 sq. ft., <sup>c</sup> 400/acre*	4% (7:3)	10% (5:5)	
Regional Shopping Center (40-80 acres, 400,000-800,000 sq. ft., w/usually 2+ major stores)	[54:35:11]	50/1000 sq. ft., <sup>c</sup> 500/acre*	4% (7:3)	9% (5:5)	5.2
Community Shopping Center (15-40 acres, 125,000-400,000 sq. ft., w/usually 1 major store, detached restaurant(s), grocery and drugstore)	[47:31:22]	80/1000 sq. ft., 700/acre**	4% (6:4)	10% (5:5)	3.6
Neighborhood Shopping Center (Less than 15 acres, less than 125,000 sq. ft., w/usually grocery & drugstore, cleaners, beauty & barber shop, & fast food services)		120/1000 sq. ft., 1200/acre**	4% (6:4)	10% (5:5)	
Commercial Shops .....	[45:40:15]				4.3
Specialty Retail/Strip Commercial		40/1000 sq. ft., 400/acre*	3% (6:4)	9% (5:5)	
Electronics Superstore		50/1000 sq. ft.**		10% (5:5)	
Factory Outlet		40/1000 sq. ft.**	3% (7:3)	9% (5:5)	
Supermarket		150/1000 sq. ft., 2000/acre**	4% (7:3)	10% (5:5)	
Drugstore		90/1000 sq. ft.**	4% (6:4)	10% (5:5)	
Convenience Market (15-16 hours)		500/1000 sq. ft.**	8% (5:5)	8% (5:5)	
Convenience Market (24 hours)		700/1000 sq. ft.**	9% (5:5)	7% (5:5)	
Convenience Market (w/gasoline pumps)		850/1000 sq. ft., 550/vehicle fueling space**	6% (5:5)	7% (5:5)	
Discount Club		60/1000 sq. ft., 600/acre**	1% (7:3)	9% (5:5)	
Discount Store		60/1000 sq. ft., 600/acre**	3% (6:4)	8% (5:5)	
Furniture Store		6/1000 sq. ft., 100/acre**	4% (7:3)	9% (5:5)	
Lumber Store		30/1000 sq. ft., 150/acre**	7% (6:4)	9% (5:5)	
Home Improvement Superstore		40/1000 sq. ft.**	5% (6:4)	8% (5:5)	
Hardware/Paint Store		60/1000 sq. ft., 600/acre**	2% (6:4)	9% (5:5)	
Garden Nursery		40/1000 sq. ft., 90/acre**	3% (6:4)	10% (5:5)	
Mixed Use: Commercial (w/supermarket)/Residential		1/110/1000 sq. ft., 2000/acre* (commercial only) 1/5/dwelling unit, 200/acre* (residential only)	3% (6:4) 9% (3:7)	9% (5:5) 13% (6:4)	
EDUCATION					
University (4 years) .....	[91:9:0]	2.4/student, 100 acre*	10% (8:2)	9% (3:7)	8.9
Junior College (2 years) .....	[92:7:1]	1.2/student, 24/1000 sq. ft., 120/acre**	12% (8:2)	9% (6:4)	9.0
High School .....	[75:19:6]	1.3/student, 15/1000 sq. ft., 60/acre**	20% (7:3)	10% (4:6)	4.8
Middle/Junior High .....	[63:25:12]	1.4/student, 12/1000 sq. ft., 50/acre**	30% (6:4)	9% (4:6)	5.0
Elementary .....	[57:25:10]	1.6/student, 14/1000 sq. ft., 90/acre**	32% (6:4)	9% (4:6)	3.4
Day Care .....	[28:58:14]	5/child, 80/1000 sq. ft.**	17% (5:5)	18% (5:5)	3.7
FINANCIAL <sup>5</sup> .....	[35:42:23]				3.4
Bank (Walk-In only)		150/1000 sq. ft., 1000/acre**	4% (7:3)	8% (4:6)	
with Drive-Through		200/1000 sq. ft., 1500/acre*	5% (6:4)	10% (5:5)	
Drive-Through only		250 (125 one-way)/lane*	3% (5:5)	13% (5:5)	
Savings & Loan		60/1000 sq. ft., 600/acre**	2%	9%	
Drive-Through only		100 (50 one-way)/lane**	4%	15%	
HOSPITAL .....	[73:25:2]				8.3
General		20/bed, 25/1000 sq. ft., 250/acre*	8% (7:3)	10% (4:6)	
Convalescent/Nursing		3/bed**	7% (6:4)	7% (4:6)	
INDUSTRIAL					
Industrial/Business Park (commercial included) .....	[79:19:2]	16/1000 sq. ft., 200/acre**	12% (8:2)	12% (2:8)	9.0
Industrial Park (no commercial)		8/1000 sq. ft., 90/acre**	11% (8:1)	12% (2:8)	
Industrial Plant (multiple shifts) .....	[92:5:3]	10/1000 sq. ft., 120/acre*	14% (8:2)	15% (3:7)	11.7
Manufacturing/Assembly		4/1000 sq. ft., 50/acre**	19% (9:1)	20% (2:8)	
Warehousing		5/1000 sq. ft., 60/acre**	13% (7:3)	15% (4:6)	
Storage		2/1000 sq. ft., 0.2/vault, 30/acre*	6% (5:5)	9% (5:5)	
Science Research & Development		8/1000 sq. ft., 80/acre*	16% (9:1)	14% (1:9)	
Landfill & Recycling Center		6/acre	11% (5:5)	10% (4:6)	

(OVER)

MEMBER AGENCIES: Cities of Carlsbad, Chula Vista, Coronado, Del Mar, El Cajon, Encinitas, Escondido, Imperial Beach, La Mesa, Lemon Grove, National City, Oceanside, Poway, San Diego, San Marcos, Santee, Solana Beach, Vista and County of San Diego.

ADVISORY/LIAISON MEMBERS: California Department of Transportation, County Water Authority, U.S. Department of Defense, S.D. Unified Port District and Tijuana/Baja California.

LAND USE	TRIP CATEGORIES (PRIMARY:DIVERTED:PASS-BY)*	ESTIMATED WEEKDAY VEHICLE TRIP GENERATION RATE (DRIVEWAY)	HIGHEST PEAK HOUR % (plus IN:OUT ratio)		TRIP LENGTH (Miles)†
			Between 6:00-9:30 A.M.	Between 3:00-6:30 P.M.	
LIBRARY	[44:44:12]	50/1000 sq. ft., 400/acre**	2% (7:3)	10% (5:5)	3.9
LODGING	[58:38:4]				7.6
Hotel (w/convention facilities/restaurant)		10/occupied room, 300/acre	8% (6:4)	8% (6:4)	
Motel		9/occupied room, 200/acre*	8% (4:5)	9% (6:4)	
Resort Hotel		8/occupied room, 100/acre*	5% (6:4)	7% (4:5)	
Business Hotel		7/occupied room**	8% (4:5)	9% (6:4)	
MILITARY	[82:16:2]	2.5/military & civilian personnel*	9% (9:1)	10% (2:8)	11.2
OFFICE					
Standard Commercial Office (less than 100,000 sq. ft.)	[77:19:4]	20/1000 sq. ft., 300/acre*	14% (9:1)	13% (2:8)	8.8
Large (High-Rise) Commercial Office (more than 100,000 sq. ft., 6+ stories)	[82:15:3]	17/1000 sq. ft., 600/acre*	13% (9:1)	14% (2:8)	10.0
Office Park (400,000+ sq. ft.)		12/1000 sq. ft., 200/acre**	13% (9:1)	13% (2:8)	
Single Tenant Office		14/1000 sq. ft., 180/acre*	15% (9:1)	15% (2:8)	8.8
Corporate Headquarters		7/1000 sq. ft., 110/acre*	17% (9:1)	16% (1:9)	
Government (Civic Center)	[50:34:16]	30/1000 sq. ft.**	9% (9:1)	12% (3:7)	6.0
Post Office					
Central/Walk-In Only		90/1000sq. ft.**	5%	7%	
Community (not including mail drop lane)		200/1000 sq. ft., 1300/acre*	8% (6:4)	9% (5:5)	
Community (w/mail drop lane)		300/1000 sq. ft., 2000/acre*	7% (5:5)	10% (5:5)	
Mail Drop Lane only		1500 (750 one-way)/lane*	7% (5:5)	12% (5:5)	
Department of Motor Vehicles		180/1000 sq. ft., 900/acre**	6% (6:4)	10% (4:6)	
Medical-Dental	[60:30:10]	50/1000 sq. ft., 500/acre*	8% (8:2)	11% (3:7)	6.4
PARKS	[66:28:6]				5.4
City (developed w/meeting rooms and sports facilities)		50/acre*	4%	8%	
Regional (developed)		20/acre*	13% (5:5)	9% (5:5)	
Neighborhood/County (undeveloped)		5/acre (add for specific sport uses), 6/picnic site**			
State (average 1000 acres)		1/acre, 10/picnic site**			
Amusement (Theme)		80/acre, 130/acre (summer only)**		6% (6:4)	
San Diego Zoo		115/acre*			
Sea World		80/acre*			
RECREATION					
Beach, Ocean or Bay	[52:39:9]	600/1000 ft. shoreline, 60/acre*			6.3
Beach, Lake (fresh water)		50/1000 ft. shoreline, 5/acre*			
Bowling Center		30/1000 sq. ft., 300/acre, 30/lane**	7% (7:3)	11% (4:6)	
Campground		4/campsite**	4%	8%	
Golf Course		7/acre, 40/hole, 700/course**	7% (8:2)	9% (3:7)	
Driving Range only		70/acre, 14/tee box*	3% (7:3)	9% (5:5)	
Marinas		4/berth, 20/acre**	3% (3:7)	7% (6:4)	
Multi-purpose (miniature golf, video arcade, batting cage, etc.)		90/acre	2%	6%	
Racquetball/Health Club		30/1000 sq. ft., 300/acre, 40/court*	4% (6:4)	9% (6:4)	
Tennis Courts		16/acre, 30/court**	5%	11% (5:5)	
Sports Facilities					
Outdoor Stadium		50/acre, 0.2/seat*			
Indoor Arena		30/acre, 0.1/seat*			
Racetrack		40/acre, 0.6/seat*			
Theaters (multiplex w/matinee)	[66:17:17]	80/1000 sq. ft., 1.8/seat, 360/screen*	10%	8% (6:4)	6.1
RESIDENTIAL	[86:11:3]				7.9
Estate, Urban or Rural (average 1-2 DU/acre)		12/dwelling unit**	8% (3:7)	10% (7:3)	
Single Family Detached (average 3-6 DU/acre)		10/dwelling unit**	8% (3:7)	10% (7:3)	
Condominium (or any multi-family 6-20 DU/acre)		8/dwelling unit**	8% (2:8)	10% (7:3)	
Apartment (or any multi-family units more than 20 DU/acre)		6/dwelling unit**	8% (2:8)	9% (7:3)	
Military Housing (off-base, multi-family) (less than 6 DU/acre)		8/dwelling unit	7% (3:7)	9% (6:4)	
(6-20 DU/acre)		6/dwelling unit	7% (3:7)	9% (6:4)	
Mobile Home					
Family		5/dwelling unit, 40/acre*	8% (3:7)	11% (6:4)	
Adults Only		3/dwelling unit, 20/acre*	9% (3:7)	10% (6:4)	
Retirement Community		.4/dwelling unit**	5% (4:6)	7% (6:4)	
Congregate Care Facility		2.5/dwelling unit**	4% (6:4)	8% (5:5)	
RESTAURANT*	[51:37:12]				4.7
Quality		100/1000 sq. ft., 3/seat, 500/acre**	8% (6:4)	8% (7:3)	
Sit-down, high turnover		160/1000 sq. ft., 6/seat, 1000/acre**	8% (5:5)	8% (6:4)	
Fast Food (w/drive-through)		650/1000 sq. ft., 20/seat, 3000/acre**	7% (5:5)	7% (5:5)	
Fast Food (without drive-through)		700/1000 sq. ft.**	5% (6:4)	7% (5:5)	
Delicatessen (7am-4pm)		150/1000 sq. ft., 11/seat*	9% (6:4)	3% (3:7)	
TRANSPORTATION					
Bus Depot		25/1000 sq. ft.**			
Truck Terminal		10/1000 sq. ft., 7/bay, 80/acre**	9% (4:6)	8% (5:5)	
Waterport/Marine Terminal		170/berth, 12/acre**			
Transit Station (Light Rail w/parking)		300/acre, 2 <sup>1/2</sup> /parking space (4/occupied)**	14% (7:3)	15% (3:7)	
Park & Ride Lots		400/acre (600/paved acre), 5/parking space (8/occupied)**	14% (7:3)	15% (3:7)	

\* Primary source: San Diego Traffic Generators.

\*\* Other sources: ITE Trip Generation Report [6th Edition], Trip Generation Rates (other agencies and publications), various SANDAG & CALTRANS studies, reports and estimates.

† Trip category percentage ratios are daily from local household surveys, often cannot be applied to very specific land uses, and do not include non-resident drivers (draft SANDAG Analysis of Trip Diversion, revised November, 1990).

PRIMARY - one trip directly between origin and primary destination.

DIVERTED - linked trip (having one or more stops along the way to a primary destination) whose distance compared to direct distance  $\geq 1$  mile.

PASS-BY - undiverted or diverted < 1 mile.

† Trip lengths are average weighted for all trips to and from general land use site. (All trips system-wide average length = 6.9 miles)

° Fitted curve equation:  $\ln(T) = 0.502 \ln(x) + 6.945$  } T = total trips, x = 1,000 sq. ft.

° Fitted curve equation:  $\ln(T) = 0.756 \ln(x) + 3.950$  }

° Fitted curve equation:  $t = -2.169 \ln(d) + 12.85$  } t = trips/DU, d = density (DU/acre), DU = dwelling unit

° Suggested PASS-BY (undiverted or diverted < 1 mile) percentages for trip rate reductions only during P.M. peak period (based on combination of local data/review and other sources\*\*):

COMMERCIAL/RETAIL	
Regional Shopping Center	20%
Community	30%
Neighborhood	40%
Specialty Retail/Strip Commercial (other)	10%
Supermarket	40%
Convenience Market	50%
Discount Club/Store	30%
FINANCIAL	
Bank	25%
AUTOMOBILE	
Gasoline Station	50%
RESTAURANT	
Quality	10%
Sit-down high turnover	20%
Fast Food	40%

† Trip Reductions - In order to help promote regional "smart growth" policies, and acknowledge San Diego's expanding mass transit system, consider vehicle trip rate reductions (with proper documentation and necessary adjustments for peak periods). The following are some examples:

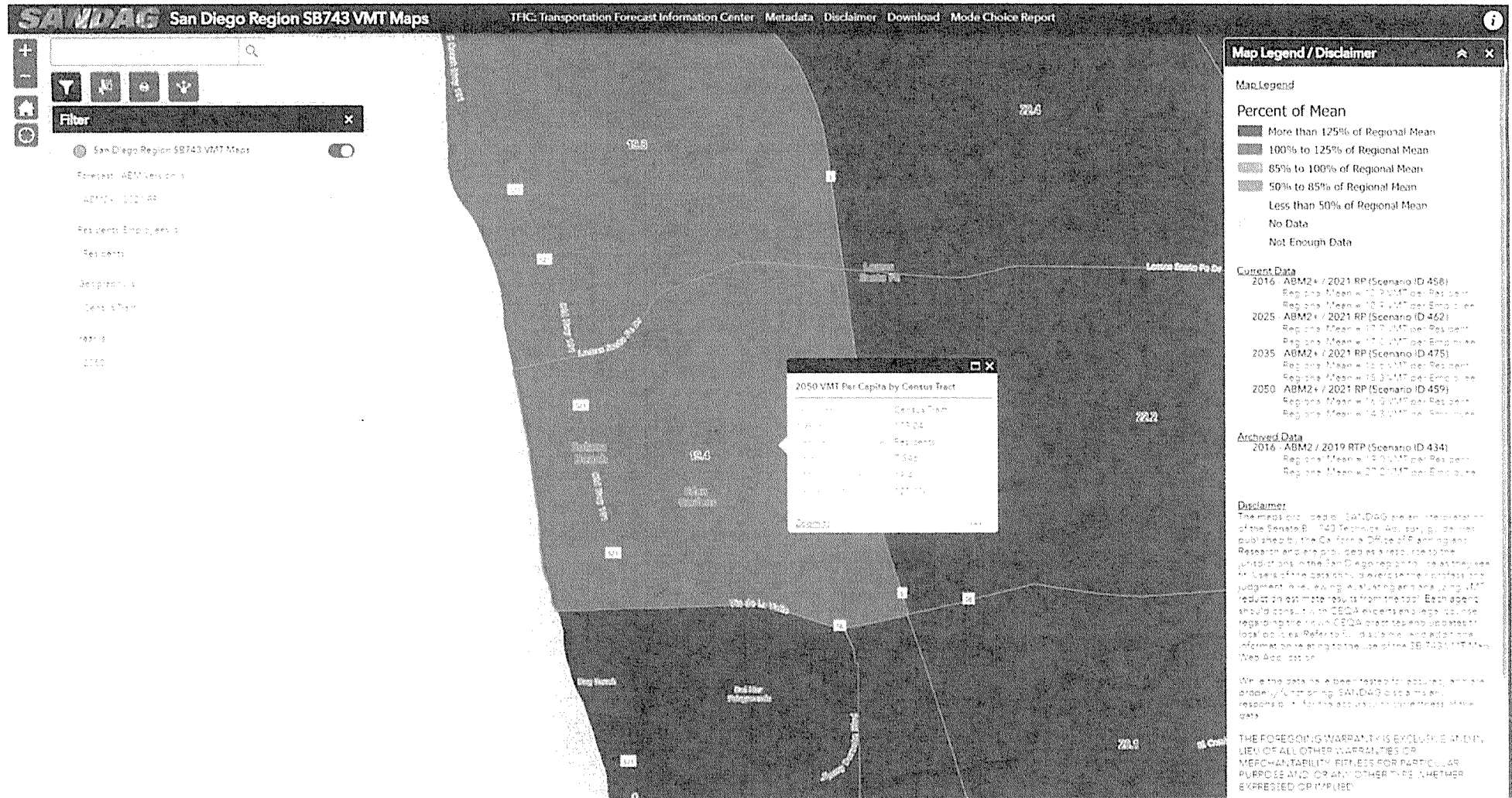
[1] A 5% daily trip reduction for land uses with transit access or near transit stations accessible within 1/4 mile.

[2] Up to 10% daily trip reduction for mixed-use developments where residential and commercial retail are combined (demonstrate mode split of walking trips to replace vehicular trips).

# ATTACHMENT D - 2016 Screening Map



# ATTACHMENT D - 2050 Screening Map





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Daniel King, Interim City Manager  
**MEETING DATE:** April 24, 2024  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **Presentation of Public Right-of-Way Parkway Surface Alternatives**

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### **BACKGROUND:**

Public street improvements in some of the older residential neighborhoods in the City are limited to two 12-foot wide paved vehicular travel lanes within a 40-foot wide right-of-way. In most instances, the pavement is on top of native soil or an aggregate base with no edge treatments or sidewalks. While there is a minimum 40-foot wide right-of-way in most neighborhoods, a majority of the right-of-way is encroached upon by adjacent property owners with private improvements such as planting, sprinklers, pavers, walkways, stairs, and other decorative front yard improvements.

This item is before the City Council to provide information about the City's current practice and receive directions about how the space between the edge of pavement and the property line, also known as a parkway, should be improved when adjacent private development is proposed.

### **DISCUSSION:**

To make the public right-of-way more user friendly for all users, as part of the private development process, as well as implementation of the City's Capital Improvement Projects, Staff continues to make every effort to create the space adjacent to the vehicle travel lanes for walking and parking purposes. Since maintaining community character is one of the pillars of the City's Work Plan, Staff has traditionally required private development applicants to improve their street frontage by constructing a low profile mountable concrete curb along the edge of the pavement and 10 feet of bonded and compacted Decomposed Granite (DG) surface in the public right-of-way for walking and parking.

COUNCIL ACTION:

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Bonded and compacted DG is an aesthetically pleasing surface, particularly when it is first constructed. DG is durable on flat or gradually sloped areas. However, in steeper sloped areas, DG surfaces erode and require frequent maintenance. The erosion of DG into streets and storm drains is undesirable because of reduced traction and storm drain issues. Walkway erosion can pose trip hazards for pedestrians and DG can become very soft when mixed with rain or surface water.

As part of the land entitlement and permit process for residential neighborhoods, Staff requires that, except for the driveway access from the street to the garage, the rest of the parkway area to be surfaced with bonded and compacted DG. Some development projects discharge the site drainage at the property line and allow the run-off to flow towards the street through the DG area. This can create a soft surface when DG is exposed to water and, therefore, Staff requires a concrete or other type of hard apron approximately 3-5 feet wide for drainage purposes. Some property owners also request that a paved surface be allowed for walking from the street to their front doors. We have also received requests from residents to place decorative pavers or other hard surface improvements in the parkway area along their property frontage on a voluntary basis.

In response to the community's requests, City Council directed Staff to perform a more comprehensive evaluation of the functionality of the DG surfaces and to provide alternative options for other surface improvements such as pavers and decorative pavements for the City Council's consideration.

Staff visited several locations where DG has been constructed during the past 10 years. All locations visited by Staff show signs of deterioration. Areas in steeper locations or higher traffic volumes show significantly more deterioration. In some locations, the DG has been removed and reconstructed because the deteriorated surface was unrepairable. Some DG areas were constructed with wood diverters to direct the runoff toward the street and reduce erosion. However, even with the wood diverters, the DG deteriorated and needed frequent maintenance to maintain an acceptable walking surface for pedestrians. In general, paving the public right-of-way with D.G. is not the most suitable surface in all instances, particularly when excessive moisture is introduced. A few examples of DG failures are presented in Attachment 1.

Staff also investigated various alternatives for surface improvements in the parkway area. In addition to asphalt and concrete, there are countless alternatives for pavers and other types of surfaces. Many of these alternatives have been placed in the parkway areas in Solana Beach. Some of these locations are presented in Attachment 2.

Staff will present these alternative surface options for the City Council's consideration.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (c).



**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**DEPARTMENT RECOMMENDATION:**

Receive report, discuss and provide direction, as necessary.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Daniel King, Interim City Manager

Attachments:

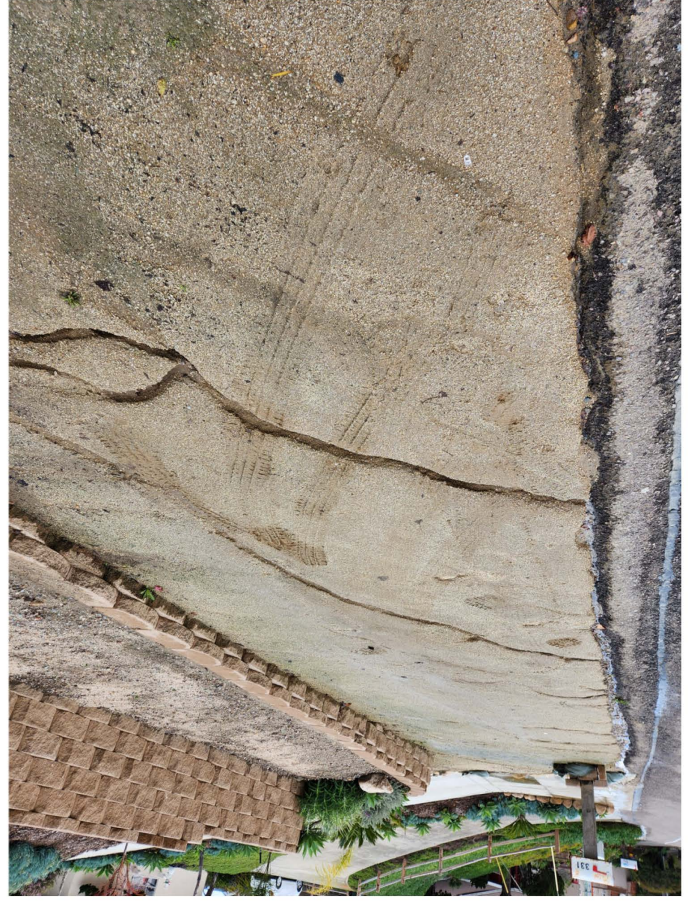
1. DG Erosion Pictures
2. Paver Alternative Pictures



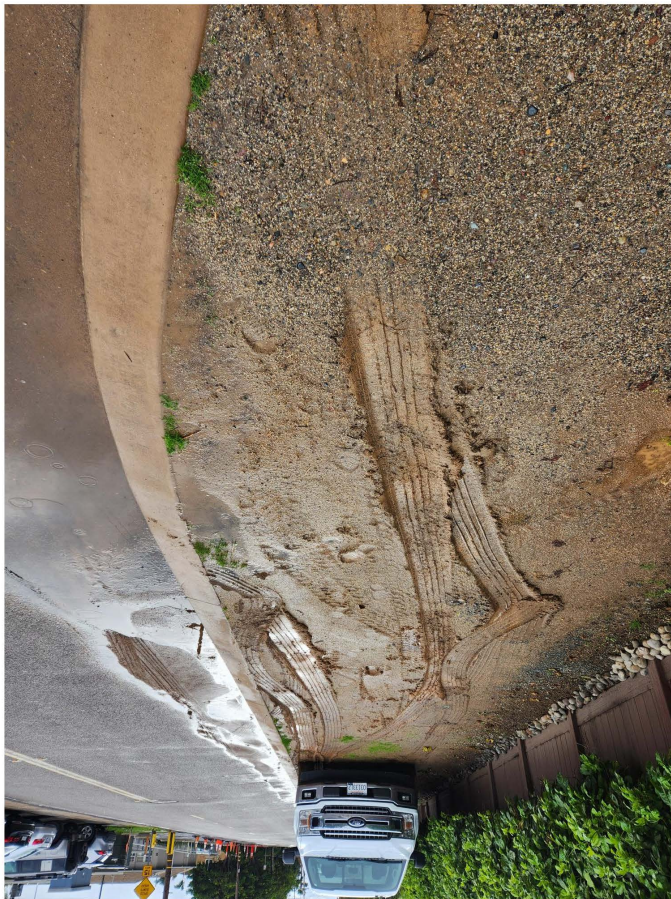
986 Avocado Pl



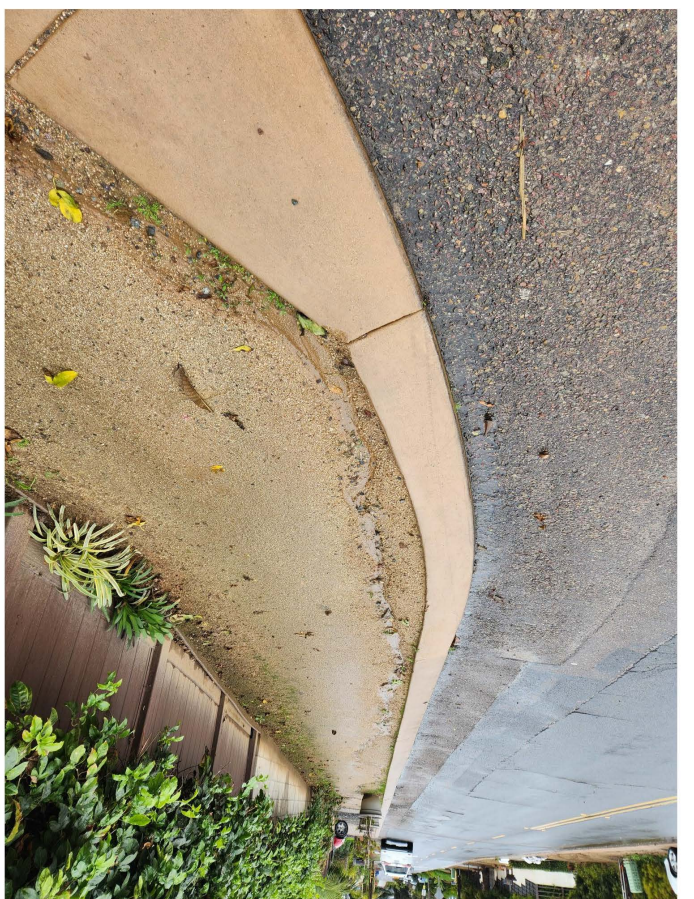
East Cliff at N Rios  
**PG 1 OF 2**



205 E Cliff at N Rios



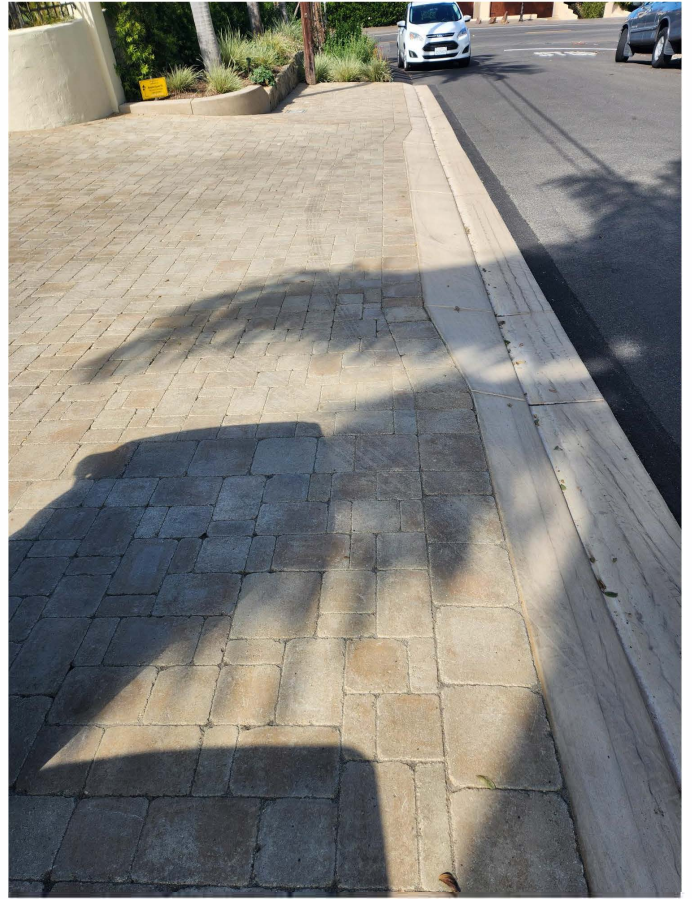
Glencrest Dr



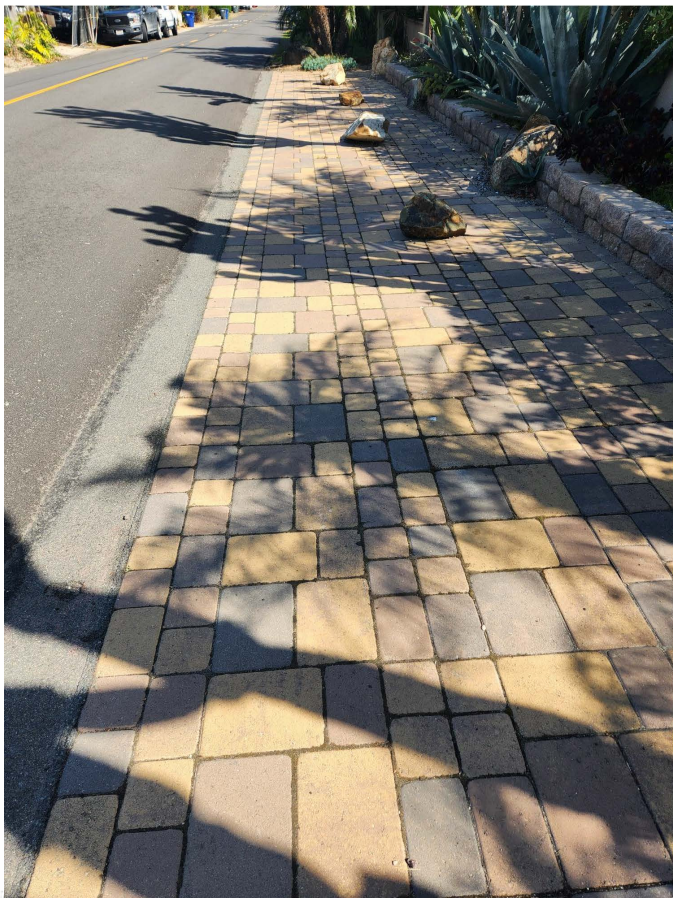
North Cedros



548 Ford



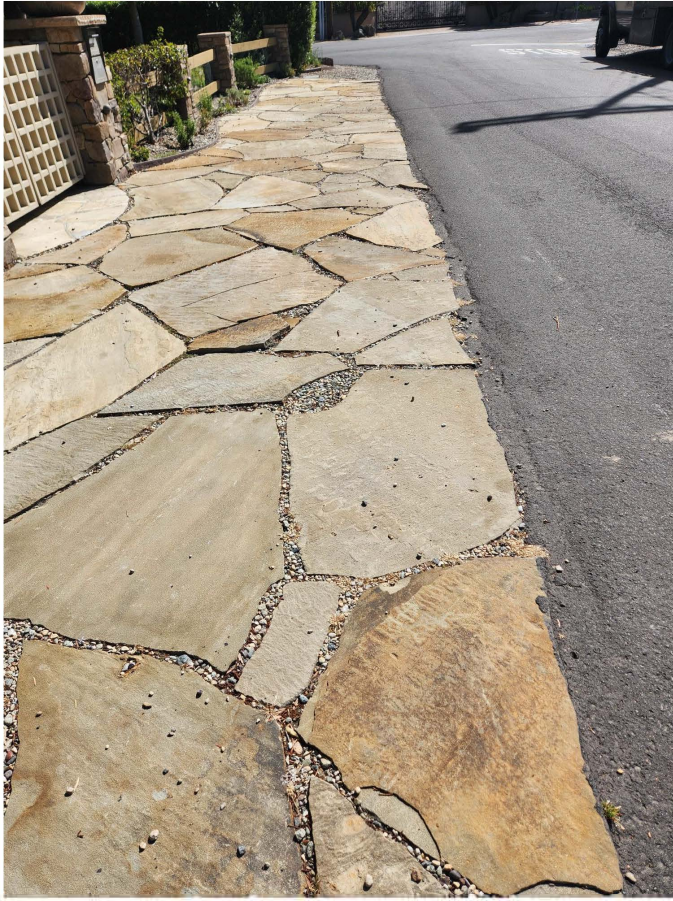
304 Corto



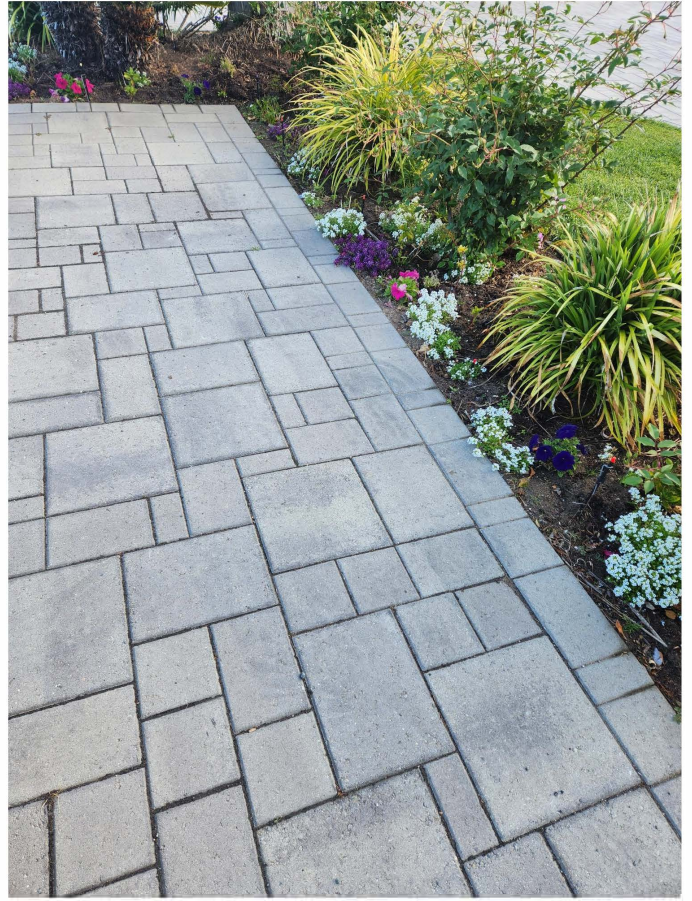
302 S Nardo



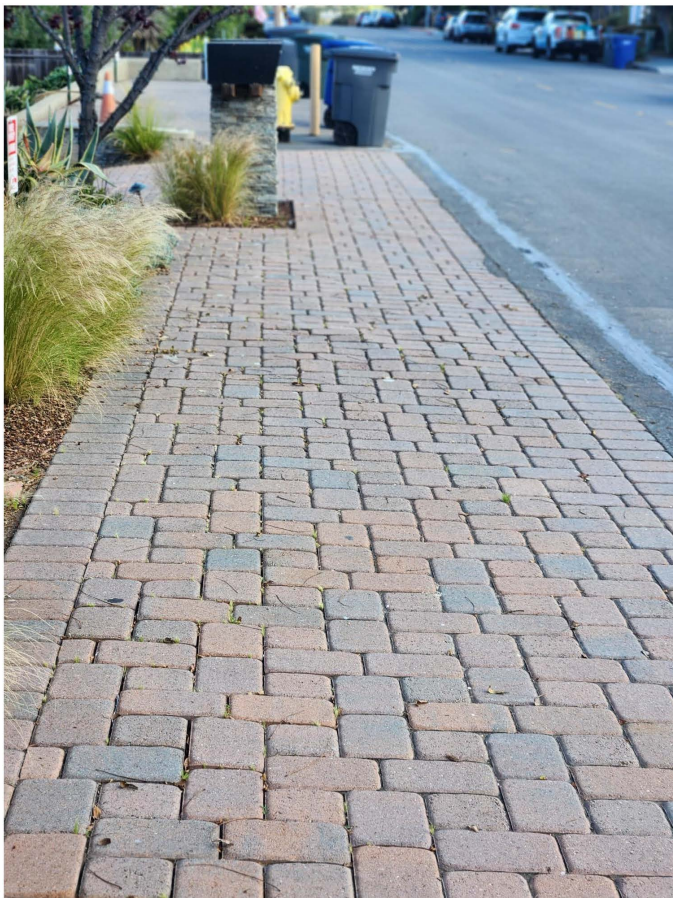
514 Seabright



336 Corto



704 Seabright



727 N Rios



826 Seabright



346 Glenmont



402 S Rios



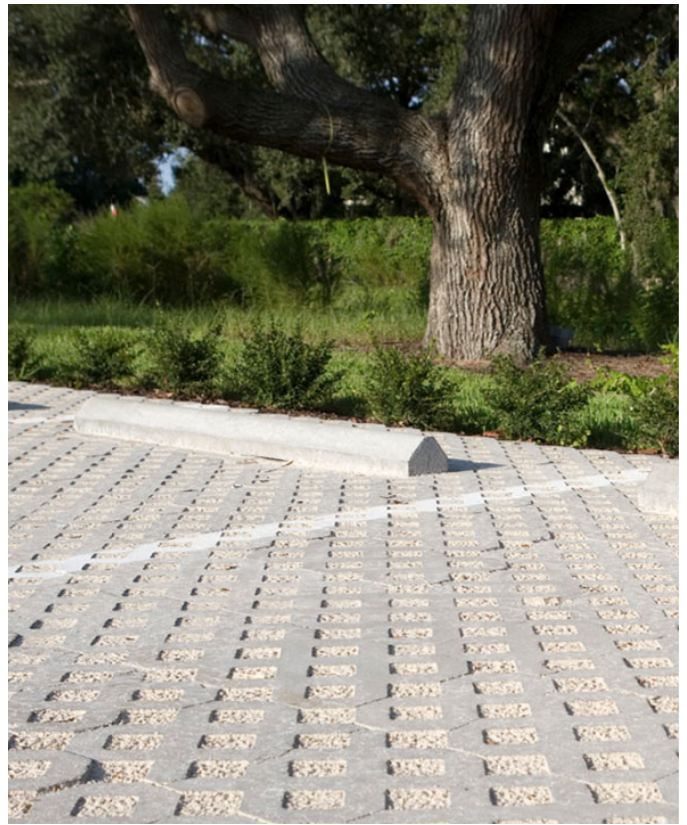
632 Marvista



640 N Granados



RCP HydroGrid



Belgard Turfstone



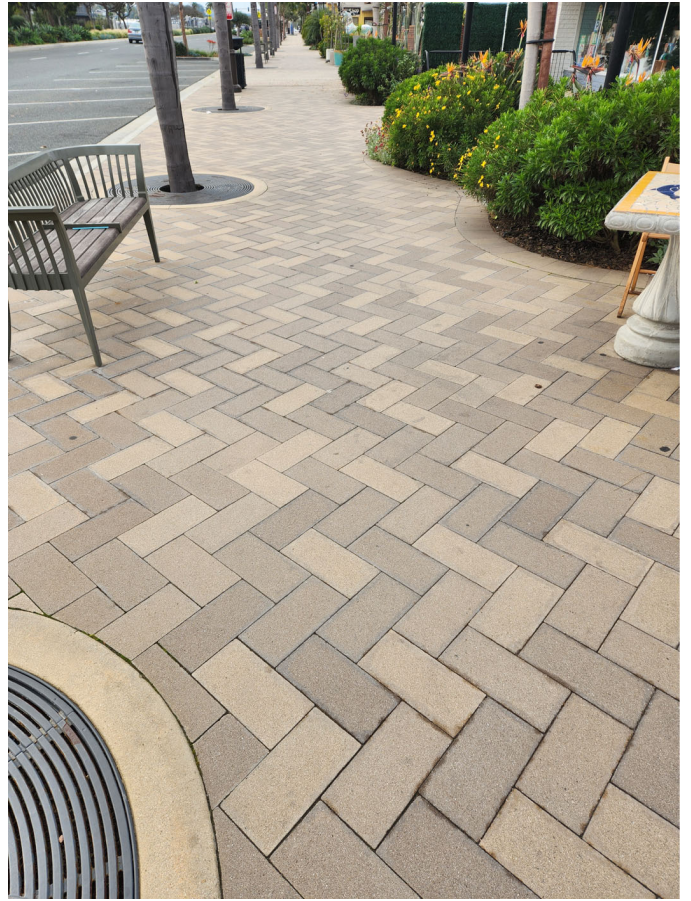
Drivable Grass (with gravel)



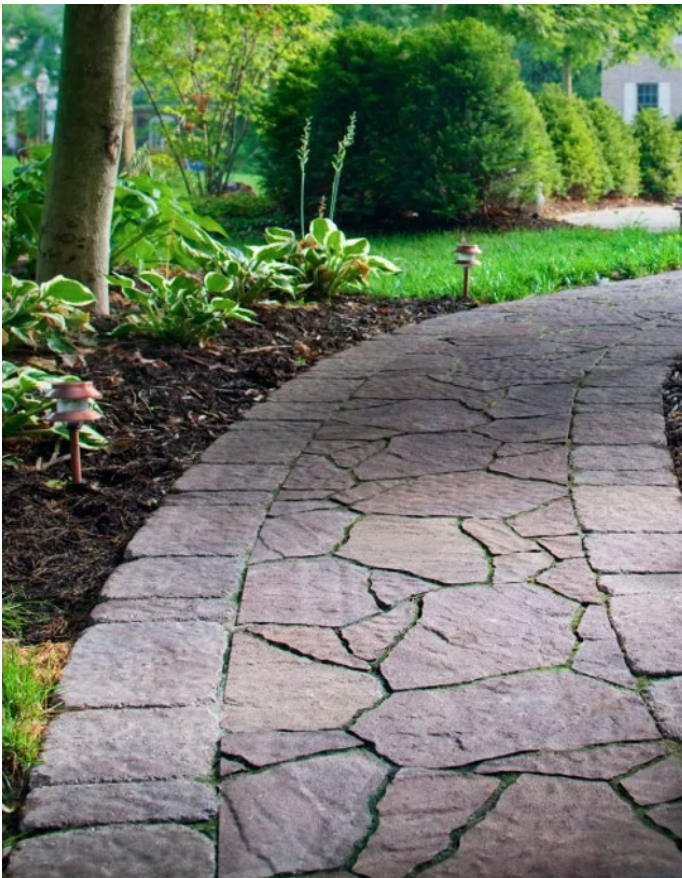
GeoBondX Resin Bonded Aggregate



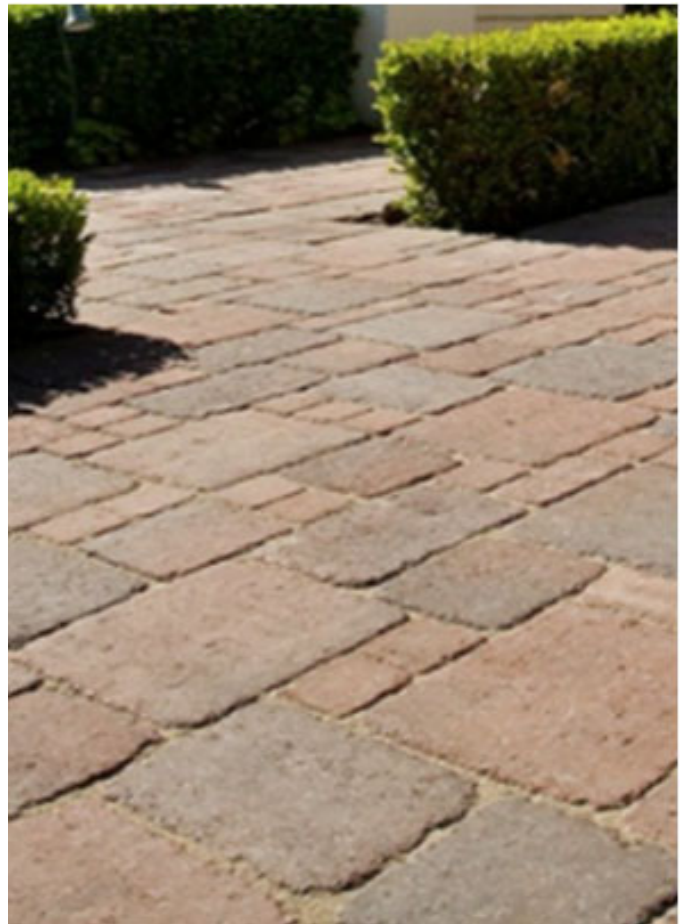
RCP HydroLogic



Highway 101



Belgard Mega-Arbel



Orco Pacific Cobble