

CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting

Wednesday, October 11, 2023 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Teleconference Location (Edson) Hyatt Regency Orlando, 9801 International Drive Orlando, FL 32819

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- [Live web-streaming](#): Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- [Live Broadcast on Local Govt. Channel](#): Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- [Archived videos online](#): The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's Department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

- [Written correspondence](#) (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.
- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
 - Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u>CITY COUNCILMEMBERS</u>		
Lesa Heebner Mayor		
David A. Zito Deputy Mayor / Councilmember District 1		Jewel Edson Councilmember District 3
Kristi Becker Councilmember District 2		Jill MacDonald Councilmember District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

None at the posting of this agenda

ORAL COMMUNICATIONS:

Comments relating to items on this evening’s agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today’s agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.2.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for August 26, 2023 – September 22, 2023.

[Item A.1. Report \(click here\)](#)

A.2. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1. – B.2.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business

project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 611 Seabright Lane, Applicant: Boat, Case: DRP22-017/SDP22-015. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-112** conditionally approving a DRP and SDP to construct a 119 square-foot second-floor addition with associated improvements to two-story single-family residence at 611 Seabright Lane, Solana Beach.

[Item B.1. Report \(click here\)](#)

B.2. Public Hearing: 256 Pacific Ave., Applicant: Hester, Case: DRP22-018, SDP22-016. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-115** conditionally approving a DRP and SDP to construct a 2,498 square-foot split-level single-family residence with an attached two-car garage and perform associated site improvements at 256 Pacific Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

C. STAFF REPORTS: (C.1. – C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Temporary Public Arts Program Modifications. (File 0910-41)

Recommendation: That the City Council

1. Consider adoption of **Resolution 2023-116** authorizing modifications to the Temporary Public Arts Program loan duration and artist compensation from \$1,500 for a one-year loan to \$3,000 for a two-year loan and the addition of a new temporary public art location on Highland Drive.

[Item C.1. Report \(click here\)](#)

C.2. Purchasing Authority - Adoption (2nd Reading) of Ordinance 532. (File 0370-10)

Recommendation: That the City Council

1. Adopt **Ordinance 532** amending Solana Beach Municipal Code (SBMC) Chapter 3.08 to increase the City Manager's purchasing authority from \$25,000 to \$50,000, and to revise the thresholds for the procurement process.

[Item C.2. Report \(click here\)](#)

WORK PLAN COMMENTS:

Adopted June 28, 2023

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is October 25, 2023

Always refer to the City’s website Event Calendar for an updated schedule or contact City Hall. www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
 COUNTY OF SAN DIEGO } §
 CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the October 11, 2023 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on October 4, 2023 at 3:30 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., October 11, 2023, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission’s Agenda webpage. See the [Citizen Commission’s Agenda webpages](#) or the City’s Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands: 08/26/2023 through 09/22/2023

Check Register - Disbursement Fund (Attachment 1)		\$	1,244,667.00
Net Payroll Retiree Health	September 7, 2023		3,547.00
Net Payroll Council	September 14, 2023		4,412.32
Net Payroll Staff O05	September 1, 2023		338,400.18
Net Payroll Staff O06	September 15, 2023		268,538.55
Net Payroll Staff OM3	September 1, 2023		11,159.50
TOTAL		\$	<u>1,870,724.55</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for August 26, 2023 through September 22, 2023 reflects total expenditures of \$1,870,721.55 from various City sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

8/26/2023 - 9/22/2023

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O05	08/31/2023	9000982	\$17,221.33
MISSION SQUARE PLAN 302817	Payroll Run 2 - Warrant OC03	09/13/2023	9001005	\$5,495.33
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O06	09/13/2023	9001005	\$16,803.89
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant O05	08/31/2023	9000985	\$900.00
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant O06	09/13/2023	9001009	\$900.00
PRE-PAID LEGAL SERVICES, INC	AUG 23-PPD LEGAL	08/31/2023	104342	\$25.90
AFLAC	AUGUST 23	09/13/2023	104376	\$789.70
STERLING HEALTH SERVICES, INC.	O05 FSA/DCA CONTRIBUTIONS	09/08/2023	9000998	\$1,442.97
STERLING HEALTH SERVICES, INC.	O05 FSA/DCA CONTRIBUTIONS	09/08/2023	9000998	\$611.68
STERLING HEALTH SERVICES, INC.	OC3 FSA CONTRIBUTION	09/21/2023	9001021	\$216.67
STERLING HEALTH SERVICES, INC.	O06FSA/DCA CONTRIBUTIONS	09/21/2023	9001021	\$1,442.97
STERLING HEALTH SERVICES, INC.	O06FSA/DCA CONTRIBUTIONS	09/21/2023	9001021	\$611.68
SELF INSURED SERVICES COMPANY	DENTAL AUG 23	08/31/2023	9000979	\$45.00
SELF INSURED SERVICES COMPANY	SEPT 23-DENTAL	09/13/2023	9001000	\$2,764.30
INSTATAX	O05 TAX PAYMENT	08/31/2023	990120267	\$48,813.91
INSTATAX	O05 TAX PAYMENT	08/31/2023	990120267	\$3,218.10
INSTATAX	O05 TAX PAYMENT	08/31/2023	990120267	\$10,203.56
INSTATAX	O05 TAX PAYMENT	08/31/2023	990120267	\$18,596.86
INSTATAX	O05 TAX PAYMENT	08/31/2023	990120267	\$2,464.23
PAYMENTUS CORPORATION	AUG 23-TRANSACTION FEES	09/21/2023	104415	\$430.53
FIDELITY SECURITY LIFE INSURANCE COMPANY	SEPT 23-VISION	09/13/2023	104382	\$537.38
TEMPLETON ENGINEERING, INC.	RFND-ENC23-0042	08/31/2023	104348	\$571.00
SEAN ESPINO	RFND-ENC22-0140	08/31/2023	104346	\$24,947.42
DANIEL AND JESSICA KREMS	RFND-DRP22-005/SDP22-002	08/31/2023	104337	\$20.68
AZITA VAKILI, D.M.D., A DENTAL CORPORATION	RFND-B23-0352 OVERPAYMENT	09/08/2023	104356	\$62.75
RYAN BARBER	RFND-FCCC 08/18/23	09/08/2023	104371	\$500.00
SKYLER BUKATY	RFND-FCCC-08/20/23	09/08/2023	104372	\$1,580.00
FINNOVATE GROUP	RFND-SBGR-414/310 N ACACIA AVE	09/21/2023	104408	\$4,780.65
TOTAL GENERAL FUND				\$165,998.49
1005100 - CITY COUNCIL				
US BANK	CLOSED SESSION	08/31/2023	104332	\$202.57
US BANK	COUNCIL PENS	08/31/2023	104332	\$21.41
US BANK	CLOSED SESSION	08/31/2023	104332	\$207.57
XEROX CORPORATION	AUG 23-XEROX CLERK	09/21/2023	104425	\$73.63
TOTAL CITY COUNCIL				\$505.18
1005150 - CITY CLERK				
IRON MOUNTAIN	JUL 23-STORAGE	08/31/2023	104338	\$1,157.36
IRON MOUNTAIN	AUG 23- STORAGE	08/31/2023	104338	\$911.88
PITNEY BOWES GLOBAL FINANCIAL SVC	INK CTG	08/31/2023	9000984	\$406.57
STAPLES CONTRACT & COMMERCIAL	COLOR PAPER/SURGE PROTECTORS	08/31/2023	104347	\$96.58
STAPLES CONTRACT & COMMERCIAL	PACKING TAPE/PENS	08/31/2023	104347	\$52.53
STAPLES CONTRACT & COMMERCIAL	KEYBOARD	08/31/2023	104347	\$51.26

US BANK	PST VIEWER	08/31/2023	104332	\$22.50
US BANK	STAMPS	08/31/2023	104332	\$71.03
US BANK	MAYORS GAVEL	08/31/2023	104332	\$146.29
US BANK	TRANSCRIPTION SERVICES	08/31/2023	104332	\$62.50
US BANK	PHONE CORD	08/31/2023	104332	\$5.86
US BANK	CABINET LOCK	08/31/2023	104332	\$28.00
UT SAN DIEGO - NRTH COUNTY	ORD 531-INTRO	08/31/2023	104350	\$98.36
CODE PUBLISHING COMPANY INC	MUNICIPAL CODE UPDATE	08/31/2023	104336	\$470.00
CODE PUBLISHING COMPANY INC	MUNICIPLE CODE SUPP 39	09/08/2023	104357	\$556.00
REGENTS OF THE UNIVERSITY OF CALIFORNIA	CA MUNICIPAL HANBOOK 2023 UPDATE	09/08/2023	104370	\$546.62
TOTAL CITY CLERK				\$4,683.34
1005200 - CITY MANAGER				
US BANK	LA TIMES	08/31/2023	104332	\$51.87
DRO MANAGEMENT CONSULTANTS, LLC	JUL-AUG 23- CONSULTING SRVC	09/21/2023	104405	\$1,250.00
EMANUELS JONES AND ASSOCIATES	JUL 23-LOBBYING CONSULTING SERVICES	09/21/2023	9001015	\$2,704.00
EMANUELS JONES AND ASSOCIATES	AUG 23-LOBBYING CONSULTING SERVICES	09/21/2023	9001015	\$2,779.00
EMANUELS JONES AND ASSOCIATES	SEP 23-LOBBYING CONSULTING SERVICES	09/21/2023	9001015	\$2,704.00
TOTAL CITY MANAGER				\$9,488.87
1005250 - LEGAL SERVICES				
BURKE WILLIAMS & SORENSEN	96-0001-MAR 23- PROF SVC	08/31/2023	9000981	\$7,027.20
TOTAL LEGAL SERVICES				\$7,027.20
1005300 - FINANCE				
HDL COREN & CONE	22/23 ACFR STATISTICAL PCKG	09/13/2023	9001004	\$695.00
KFORCE INC.	TEMP SERVICES 08/10/23	09/08/2023	9000991	\$1,280.00
KFORCE INC.	TEMP SERVICES 08/17/23	09/08/2023	9000991	\$1,280.00
KFORCE INC.	TEMP SERVICES-08/24/23	09/13/2023	9001006	\$1,280.00
KFORCE INC.	TEMP SERVICES-08/31/23	09/13/2023	9001006	\$1,280.00
FOSTER & FOSTER CONSULTING ACTUARIES,	FY23-GASB 74 & 75 REPORT/CITY'S OPEB	09/13/2023	104383	\$4,500.00
FOSTER & FOSTER CONSULTING ACTUARIES,	FY23-GASBS 68	09/21/2023	104409	\$1,950.00
TOTAL FINANCE				\$12,265.00
1005350 - SUPPORT SERVICES				
BUSINESS PRINTING COMPANY INC	WINDOW ENVELOPES	08/31/2023	104331	\$1,109.00
XEROX CORPORATION	AUG 23-XEROX UPSTAIRS	09/21/2023	104425	\$177.70
XEROX CORPORATION	AUG 23-XEROX UPSTAIRS	09/21/2023	104425	\$298.25
XEROX CORPORATION	AUG 23-XEROX PLN/ENG	09/21/2023	104425	\$112.32
XEROX CORPORATION	AUG 23-XEROX PLN/ENG	09/21/2023	104425	\$546.78
XEROX CORPORATION	AUG 23-XEROX CLERK	09/21/2023	104425	\$271.68
XEROX CORPORATION	AUG 23-XEROX FIERY-PLNG	09/21/2023	104425	\$132.61
XEROX CORPORATION	AUG 23-XEROX FIERY-UPSTAIRS	09/21/2023	104425	\$132.61
XEROX CORPORATION	AUG 23-XEROX FIERY-CLK	09/21/2023	104425	\$122.84
READY REFRESH BY NESTLE	FY24 DRINKING WATER-PW	09/13/2023	104388	\$73.36
READY REFRESH BY NESTLE	AUG 23- DRINKING WATER-LC	09/13/2023	104388	\$71.94
READY REFRESH BY NESTLE	AUG 23- DRINKING WATER-CH	09/13/2023	104388	\$418.44
TOTAL SUPPORT SERVICES				\$3,467.53
1005400 - HUMAN RESOURCES				
SHARP REES-STEALY MEDICAL GROUP	PRE-EMPLOYMENT SCREENINGS	09/08/2023	9000996	\$348.00
NEOGOV, INC	NEOGOV- FY23/24 RENEWAL	09/13/2023	104386	\$12,457.83
NEOGOV, INC	NEOGOV-FY23/24 2023 RENEWAL	09/13/2023	104386	\$5,985.18
DEPARTMENT OF JUSTICE	AUG 23- FINGERPRINT APPS	09/21/2023	104403	\$32.00
COASTAL LIVE SCAN AND INSURANCE	AUG 23-FINGERPRINTS	09/13/2023	104377	\$30.00

TOTAL HUMAN RESOURCES**\$18,853.01****1005450 - INFORMATION SERVICES**

COX COMMUNICATIONS INC	13410039730701-08/19/23-09/18/23	09/08/2023	104359	\$315.84
CDW GOVERNMENT INC	TECH SUPPORT RENEWAL	09/13/2023	9001001	\$1,975.19
US BANK	ATT LC	08/31/2023	104332	\$64.20
US BANK	ATT LC	08/31/2023	104332	\$64.20
US BANK	CONSTANT CONTACT	08/31/2023	104332	\$86.00
BOB HOFFMAN VIDEO PRODUCTIONS	06/14/23-06/28/23-COUNCIL MEETINGS	08/31/2023	9000980	\$2,352.00
MANAGED SOLUTION	JUL 23-IT PROF SVC MANAGED SOLUTIONS	09/08/2023	9000992	\$550.00
MANAGED SOLUTION	JUL 23-IT PROF SVC MANAGED SOLUTIONS	09/08/2023	9000992	\$2,190.86
MANAGED SOLUTION	AUG 23-IT PROF SVC MANAGED SOLUTIONS	09/08/2023	9000992	\$550.00
MANAGED SOLUTION	AUG 23-IT PROF SVC MANAGED SOLUTIONS	09/08/2023	9000992	\$2,224.21
TING FIBER INC.	AUG 22-Ting Fiber-SB FACILITIES	09/21/2023	9001022	\$255.00
TING FIBER INC.	AUG 22-Ting Fiber-SB FACILITIES	09/21/2023	9001022	\$2,994.00
TING FIBER INC.	AUG 22-TING FIBER-DEL MAR SHORES LG TWR	09/21/2023	9001022	\$450.00
TING FIBER INC.	AUG 22-TING FIBER-TIDE BEACH PRK LG TWR	09/21/2023	9001022	\$450.00
360CIVIC	FY 24-WEBSITE MAINT	08/31/2023	104324	\$7,500.00

TOTAL INFORMATION SERVICES**\$22,021.50****1005550 - PLANNING**

BUSINESS PRINTING COMPANY INC	BUSINESS CARDS	08/31/2023	104331	\$170.96
-------------------------------	----------------	------------	--------	----------

TOTAL PLANNING**\$170.96****1005560 - BUILDING SERVICES**

ESGIL CORPORATION	JUL 23-BUILDING INSPECTIONS	09/08/2023	104364	\$35,386.63
ESGIL CORPORATION	AUG 23-BUILDING AND SAFETY PLAN REVIEW	09/21/2023	104407	\$38,625.91
ESGIL CORPORATION	FEB-JUN 23-PLAN REVIEW & BUILDING INSPECTION	09/21/2023	104407	\$11,721.57

TOTAL BUILDING SERVICES**\$85,734.11****1005590 - CODE ENFORCEMENT**

DATATICKET INC.	JUL 23-PARKING CITATION SERVICES	09/08/2023	104361	\$1,481.75
DATATICKET INC.	JUL 23-PARKING CITATION SERVICES	09/08/2023	104361	\$425.00
VERIZON WIRELESS-SD	442224168 - 07/24/23-08/23/23	09/21/2023	104423	\$141.79
BUSINESS PRINTING COMPANY INC	BUSINESS CARDS	08/31/2023	104331	\$170.96
COUNTY OF SAN DIEGO 5210	APR-JUN 23-PARKING CITE ADMIN	09/13/2023	104379	\$8,996.96
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$191.98
DIAMOND MMP, INC.	PARKING CITATIONS	09/08/2023	9000994	\$168.04
CECILIO CANSECO	ADU/ABANDON PROPERTIES WEBINAR	09/21/2023	104399	\$72.00

TOTAL CODE ENFORCEMENT**\$11,648.48****1006110 - LAW ENFORCEMENT**

SAN DIEGO COUNTY SHERIFF'S DEPT.	JUL-DEC 23-SHERIFF CAL-ID PROGRAM	09/21/2023	104417	\$1,456.00
ARJIS	FY 24-ARJIS FEES	08/31/2023	104328	\$12,591.55

TOTAL LAW ENFORCEMENT**\$14,047.55****1006120 - FIRE DEPARTMENT**

US BANK	T237 HEADSET	08/31/2023	104332	\$401.30
US BANK	FIRESTATION SUPPLIES	08/31/2023	104332	\$316.61
US BANK	POSTAGE	08/31/2023	104332	\$19.25
US BANK	GYM EQUIPMENT	08/31/2023	104332	\$171.90
US BANK	SMALL TOOLS	08/31/2023	104332	\$50.26
US BANK	SMALL TOOLS	08/31/2023	104332	\$11.70
NORTH COUNTY EVS, INC	FIRE APPARATUS MAINT/REPAIR	09/08/2023	104367	\$580.70
NORTH COUNTY EVS, INC	FIRE APPARATUS MAINT/REPAIR	09/08/2023	104367	\$1,013.79
CULLIGAN OF SAN DIEGO	CULLIGAN REVERSE OSMOSIS-08/01/23-09/30/23	09/08/2023	104360	\$94.35

ACE UNIFORMS LLC	SHIRTS/PANTS/PATCHE	08/31/2023	9000977	\$1,396.36
VERIZON WIRELESS-SD	962428212-06/29/23-07/28/23	09/08/2023	104374	\$564.31
PARKHOUSE TIRE INC	TIRES	09/08/2023	104368	\$2,656.33
AT&T CALNET 3	9391059865-07/01/23-07/31/23	09/08/2023	104355	\$396.04
AT&T CALNET 3	9391012280 - 08/24/22-09/23/22	09/21/2023	104395	\$1,499.67
AT&T CALNET 3	9391012280 - 07/24/22-08/23/22	09/21/2023	104395	\$1,572.17
AT&T CALNET 3	9391012280 - 06/24/22-07/23/22	09/21/2023	104395	\$1,281.04
AT&T CALNET 3	9391012280 - 09/24/22-10/23/22	09/21/2023	104395	\$1,497.93
CHARLES MEAD	RFND-FIRELINE PARAMEDIC-06/29/23-06/30/23	09/21/2023	104411	\$240.00
WEX BANK	JUL 23-FUEL/CR TAX	08/31/2023	104352	\$1,623.43
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$264.25
NORTH COUNTY DISPATCH (JPA)	FY 23 Q4-Dispatch Services	08/31/2023	104341	\$16,664.70
MICHAEL MONKEN	RIEMB-CERT TRAINING-04/25/23-05/01/23	08/31/2023	104339	\$387.80
TOTAL FIRE DEPARTMENT				\$32,703.89
1006130 - ANIMAL CONTROL				
HABITAT PROTECTION, INC	AUG 23- DEAD ANIMAL PICK UP	09/13/2023	9001003	\$145.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	JULY 23-ANIMAL SERVICES	08/31/2023	104343	\$7,603.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	AUG 23-ANIMAL SERVICES	08/31/2023	104343	\$7,603.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	SEP 23-ANIMAL SERVICES	09/13/2023	104389	\$7,603.00
TOTAL ANIMAL CONTROL				\$22,954.00
1006150 - CIVIL DEFENSE				
AT&T CALNET 3	939102275 - 06/24/22-07/23/22	09/21/2023	104395	\$167.08
AT&T CALNET 3	9391012275 - 02/24/23-03/23/23	09/21/2023	104395	\$167.43
TOTAL CIVIL DEFENSE				\$334.51
1006170 - MARINE SAFETY				
CAMEO PAPER & JANITORIAL SUPPLY INC	TOILET PAPER	09/21/2023	104398	\$82.64
US BANK	RETURN SHIPPING RADIO BAG	08/31/2023	104332	\$36.70
VERIZON WIRELESS-SD	962428212-06/29/23-07/28/23	09/08/2023	104374	\$152.04
BILL SMITH FOREIGN CAR SERVICE INC	A/C COMPRESSOR PARTS AND LABOR	09/21/2023	104396	\$1,651.08
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$1,370.05
TOTAL MARINE SAFETY				\$3,292.51
1006180 - GF-JUNIOR GUARD				
BILL SMITH FOREIGN CAR SERVICE INC	ALTERNATOR	09/21/2023	104396	\$819.00
TOTAL GF-JUNIOR GUARD				\$819.00
1006510 - ENGINEERING				
AMERICAN PUBLIC WORKS ASSOCIATION	FY 24 MEMBERSHIP DUE-ID#75153	08/31/2023	104327	\$376.67
US BANK	PLANS	08/31/2023	104332	\$32.00
US BANK	PA MICROPHONE P&R	08/31/2023	104332	\$122.82
US BANK	AUTO DETAIL	08/31/2023	104332	\$39.98
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$56.81
JOSHUA BLEA	RFND-PARKING-08/29/23	09/21/2023	104397	\$20.00
MOHAMMAD SAMMAK	RFND-PARKING-08/29/23	09/21/2023	104413	\$20.00
PSC	FY23/24-MEMBERSHIP RENEWAL	09/21/2023	104414	\$145.00
BUSINESS PRINTING COMPANY INC	BUINESS CARDS-GREENSTEIN/WRIGHT	08/31/2023	104331	\$214.54
UNDERGROUND SVC ALERT OF SOCAL INC	SEP 23-DIG ALERT	09/13/2023	9001012	\$97.50
ANDA WRIGHT	RFND-PARKING-08/28/23	09/21/2023	104393	\$20.00
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$184.16
TOTAL ENGINEERING				\$1,329.48
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	08/31/2023	104340	\$13.13

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES-PW	09/08/2023	104366	\$13.13
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	09/21/2023	104412	\$13.13
SANTA FE IRRIGATION DISTRICT	005506-014-AUG 23	09/21/2023	104419	\$266.95
AMERICAN PUBLIC WORKS ASSOCIATION	FY 24 MEMBERSHIP DUE-ID#75153	08/31/2023	104327	\$376.67
MIKHAIL OGAWA ENGINEERING, INC.	JUL 23-STORMWATER SERVICES	08/31/2023	9000983	\$9,617.27
MIKHAIL OGAWA ENGINEERING, INC.	AUG 23-STORMWATER SERVICE	09/21/2023	9001017	\$21,356.03
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$56.83
SAN ELIJO JPA	Q2-FY 24 OPERATIONS & MAINTENANCE	09/21/2023	104418	\$2,972.00
CITY OF SAN DIEGO, CITY TREASURER	FY23-WQIP SAN DIEGUITO WATERSHED	08/31/2023	104335	\$16,701.78
SOLANA CENTER FOR ENVIRONMENTAL	AUG 23-SB1383 INSPECTION & EDUCATION	09/21/2023	9001020	\$2,256.75
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$535.75
CLEAN EARTH ENVIROMENTAL SOLUTIONS	JUL 23- HHW COLLECTION	09/21/2023	104401	\$1,390.40
IDRAINS LLC	H- SEWER-STORMDRAIN MAINT	09/08/2023	104354	\$1,700.00

TOTAL ENVIRONMENTAL SERVICES**\$57,269.82****1006530 - STREET MAINTENANCE**

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	08/31/2023	104340	\$21.33
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES-PW	09/08/2023	104366	\$21.33
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	09/21/2023	104412	\$21.33
DIXIELINE LUMBER CO INC	GLOVES/HEX KEY	09/08/2023	104363	\$55.76
DIXIELINE LUMBER CO INC	RATCHET SET	09/08/2023	104363	\$27.18
DIXIELINE LUMBER CO INC	DUSTER/PLIERS/JET NOZZLE	09/08/2023	104363	\$36.57
DIXIELINE LUMBER CO INC	BLACK TOP PATCH	09/21/2023	104404	\$157.58
DIXIELINE LUMBER CO INC	SCREWDRIVER SET/GLOVES	09/21/2023	104404	\$70.43
DIXIELINE LUMBER CO INC	NAIL PULLER/KEY RING/AEROSOL	09/21/2023	104404	\$36.96
SANTA FE IRRIGATION DISTRICT	011695-000-AUG 23	09/21/2023	104419	\$91.05
SDG&E CO INC	07/08/23-08/08/23-UTILITIES	08/31/2023	104345	\$996.55
SDG&E CO INC	07/01/23-08/08/23-UTILITIES	08/31/2023	104345	\$538.01
US BANK	LC-F250 TIRES	08/31/2023	104332	\$1,308.65
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$56.83
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$485.53
WEST COAST ARBORISTS, INC.	AUG 23-CITY-WIDE TREE MAINT	09/21/2023	104424	\$2,773.00
CORNERSTONE AGGREGATES, INC.	SAND BAGS	09/13/2023	104378	\$2,520.63

TOTAL STREET MAINTENANCE**\$9,218.72****1006540 - TRAFFIC SAFETY**

SDG&E CO INC	07/08/23-08/08/23-UTILITIES	08/31/2023	104345	\$1,306.22
SDG&E CO INC	07/01/23-08/08/23-UTILITIES	08/31/2023	104345	\$604.03
REDFLEX TRAFFIC SYSTEMS, INC	AUG 23-RED LIGHT CAMERA ENFORCEM	09/13/2023	9001008	\$7,694.85
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$40.59
TRAFFIC SUPPLY, INC	SIGNS	09/13/2023	9001011	\$980.99
AT&T CALNET 3	9391012279-07/24/23-08/23/23	09/08/2023	104355	\$61.29
YUNEX LLC	JUL 23-TRAFFIC SIGNAL AND SAFETY	09/21/2023	9001024	\$1,120.00

TOTAL TRAFFIC SAFETY**\$11,807.97****1006550 - STREET CLEANING**

SANTA FE IRRIGATION DISTRICT	011695-000-AUG 23	09/21/2023	104419	\$53.48
PRIDE INDUSTRIES	AUG 23-TRASH ABATEMENT SERVICES	09/21/2023	104416	\$2,104.50
SCA OF CA, LLC	AUG 23-CITY-WIDE STREET SWEEPING	09/21/2023	104420	\$3,988.34

TOTAL STREET CLEANING**\$6,146.32****1006560 - PARK MAINTENANCE**

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	08/31/2023	104340	\$15.59
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES-PW	09/08/2023	104366	\$15.59
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	09/21/2023	104412	\$15.59

DIXIELINE LUMBER CO INC	WASTEBASKET/AEROSOL	09/08/2023	104363	\$74.53
DIXIELINE LUMBER CO INC	BOLTS/NUTS/WASHER/LEDS	09/13/2023	104380	\$26.63
DIXIELINE LUMBER CO INC	WIRE CLIP	09/13/2023	104380	\$0.77
SANTA FE IRRIGATION DISTRICT	005506-018- 08/02/23-09/018/23	09/21/2023	104419	\$302.87
SANTA FE IRRIGATION DISTRICT	005506-019- 08/02/23-09/018/23	09/21/2023	104419	\$1,382.83
SANTA FE IRRIGATION DISTRICT	005506-000- 07/01/23-09/01/23	09/21/2023	104419	\$138.32
SANTA FE IRRIGATION DISTRICT	005506-001- 07/01/23-09/01/23	09/21/2023	104419	\$94.48
SANTA FE IRRIGATION DISTRICT	005506-002- 07/01/23-09/01/23	09/21/2023	104419	\$474.82
SANTA FE IRRIGATION DISTRICT	05979-001- 07/01/23-09/01/23	09/21/2023	104419	\$122.64
SANTA FE IRRIGATION DISTRICT	012448-000- 07/01/23-09/01/23	09/21/2023	104419	\$150.40
SANTA FE IRRIGATION DISTRICT	012448-001- 07/01/23-09/01/23	09/21/2023	104419	\$94.48
SANTA FE IRRIGATION DISTRICT	005506-009- 07/01/23-09/01/23	09/21/2023	104419	\$94.48
SANTA FE IRRIGATION DISTRICT	005506-010- 07/01/23-09/01/23	09/21/2023	104419	\$344.26
SANTA FE IRRIGATION DISTRICT	005506-011- 07/01/23-09/01/23	09/21/2023	104419	\$349.93
SANTA FE IRRIGATION DISTRICT	005506-012- 07/01/23-09/01/23	09/21/2023	104419	\$2,646.82
SANTA FE IRRIGATION DISTRICT	005506-013- 07/01/23-09/01/23	09/21/2023	104419	\$170.50
SANTA FE IRRIGATION DISTRICT	005506-004- 07/01/23-09/01/23	09/21/2023	104419	\$94.48
SANTA FE IRRIGATION DISTRICT	005506-005- 07/01/23-09/01/23	09/21/2023	104419	\$243.56
SANTA FE IRRIGATION DISTRICT	005506-006- 07/01/23-09/01/23	09/21/2023	104419	\$150.40
SANTA FE IRRIGATION DISTRICT	005506-007- 07/01/23-09/01/23	09/21/2023	104419	\$132.49
SANTA FE IRRIGATION DISTRICT	005506-008- 07/01/23-09/01/23	09/21/2023	104419	\$507.40
W.W. GRAINGER, INC	SERVOMOTOR	09/08/2023	9000989	\$434.24
US BANK	FANS FOR LA COLONIA	08/31/2023	104332	\$102.32
US BANK	TRASH CANS	08/31/2023	104332	\$39.12
US BANK	RECYCLING CANS	08/31/2023	104332	\$101.68
US BANK	LANDSCAPE EDGING	08/31/2023	104332	\$71.64
CONSOLIDATED ELECTRICAL DIST INC	LMPHLDR ADAPTER	09/08/2023	9000988	\$25.47
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$81.18
JOSE GARCIA	MILEAGE-08/16/23 & 08/19/23	09/08/2023	104365	\$78.60
JOSE GARCIA	MILEAGE-09/03/23-09/05/23	09/13/2023	104384	\$117.90
THE HOME DEPOT PRO	LINERS/BLEACH	08/31/2023	104349	\$509.44
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$100.46
ARTURO ZERMENO	MILEAGE-08/12/23	08/31/2023	104329	\$68.12

TOTAL PARK MAINTENANCE**\$9,374.03****1006570 - PUBLIC FACILITIES**

SEASIDE HEATING & AIR CONDITIONING	FY23 HVAC SERVICES -FCCC	09/13/2023	104390	\$120.00
SEASIDE HEATING & AIR CONDITIONING	FY23 HVAC SERVICES-FS	09/13/2023	104390	\$210.00
DIXIELINE LUMBER CO INC	FLASHLIGHT/SPADE BIT/BIT EXTENSION	09/08/2023	104363	\$117.90
DIXIELINE LUMBER CO INC	ADHESIVE	09/13/2023	104380	\$6.64
DIXIELINE LUMBER CO INC	ADHSV/GRIP PLUG	09/21/2023	104404	\$12.51
DIXIELINE LUMBER CO INC	URINAL KIT/CLOSET KIT/REBUILD KIT	09/21/2023	104404	\$106.54
DIXIELINE LUMBER CO INC	LEVEL/PLUG KIT/PLUG SCREW	09/13/2023	104380	\$31.19
DIXIELINE LUMBER CO INC	COLORMAXX SPRAY	09/13/2023	104380	\$19.55
DIXIELINE LUMBER CO INC	PVC/STRAP/CONDUITS	09/13/2023	104380	\$54.74
DIXIELINE LUMBER CO INC	LUMBER	09/13/2023	104380	\$413.96
SDG&E CO INC	07/08/23-08/08/23-UTILITIES	08/31/2023	104345	\$9,828.22
SDG&E CO INC	07/01/23-08/08/23-UTILITIES	08/31/2023	104345	\$3,303.03
LEE'S LOCK & SAFE INC	REPAIR/HARDWARE	09/21/2023	104410	\$156.27
US BANK	5 BURNER GAS GRILL	08/31/2023	104332	\$322.17
US BANK	CRAWL SPACE FAN VENTILATOR	08/31/2023	104332	\$108.70
US BANK	VERTICAL BLINDS CHAIN	08/31/2023	104332	\$7.17

SAN ELIJO JPA	Q2-FY 24 OPERATIONS & MAINTENANCE	09/21/2023	104418	\$3,877.00
24 HOUR ELEVATOR, INC	SEP 23- ELEVATOR PREVENTATIVE MAINT	09/21/2023	104392	\$194.48
CINTAS CORPORATION NO. 2	MEDICAL SUPPLIES-CH	08/31/2023	104334	\$362.25
CINTAS CORPORATION NO. 2	MEDICAL SUPPLIES-PW	09/21/2023	104400	\$164.16
HABITAT PROTECTION, INC	JUL 23- PEST/RODENT CONTROL	09/08/2023	9000990	\$64.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-PW	09/13/2023	9001003	\$64.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-LCC	09/13/2023	9001003	\$64.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-FS	09/13/2023	9001003	\$78.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-CH	09/13/2023	9001003	\$52.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL -FCCC	09/13/2023	9001003	\$35.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-MS	09/13/2023	9001003	\$64.00
HABITAT PROTECTION, INC	AUG 23- PEST/RODENT CONTROL-FC	09/13/2023	9001003	\$39.00
STANDARD PLUMBING SUPPLY COMPANY	FLUSH VALVE/TAPE	09/21/2023	104421	\$127.60
CALIFORNIA OFFICE CLEANING, INC	FS WATER DAMAGE SVC	09/21/2023	9001013	\$1,294.00
CALIFORNIA OFFICE CLEANING, INC	AUG 23- JANITORIAL/CUSTODIAL SVC	09/21/2023	9001013	\$8,060.00
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$167.42
WEST COAST ARBORISTS, INC.	AUG 23-CITY-WIDE TREE MAINT	09/21/2023	104424	\$2,000.00
PRIDE INDUSTRIES	AUG 23-TRASH ABATEMENT SERVICES	09/21/2023	104416	\$2,104.50
ELITE GLASS & WINDOW, INC.	FIRE STATION WINDOW REPLACEMENT	09/21/2023	104406	\$4,225.00
TREAT CORP.	DRYWALL REPAIR	09/08/2023	104369	\$865.25
TOTAL PUBLIC FACILITIES				\$38,720.25
1007100 - COMMUNITY SERVICES				
US BANK	PLAYGROUND OPENING SUPPLIES	08/31/2023	104332	\$10.76
US BANK	CUPS/PLATES	08/31/2023	104332	\$25.63
TOTAL COMMUNITY SERVICES				\$36.39
1007110 - GF-RECREATION				
US BANK	PLAYGROUND OPENING SUPPLIES	08/31/2023	104332	\$973.35
US BANK	BUGSPRAY	08/31/2023	104332	\$14.13
US BANK	PLAYGROUND OPENING SUPPLIES	08/31/2023	104332	\$196.05
RAPHAEL'S PARTY RENTALS	GENERATOR-10/22/23	09/13/2023	104387	\$295.50
ABLE PATROL & GUARD, INC	AUGUST 23-FCC EVENT SECURITY	09/08/2023	104353	\$270.00
CALIFORNIA OFFICE CLEANING, INC	AUG 23-FCCC CUSTODIAL SERVICE	09/08/2023	9000987	\$180.00
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$78.04
TOTAL GF-RECREATION				\$2,007.07
1205460 - SELF INSURANCE RETENTION				
US BANK	CLM2308 POSTAGE	08/31/2023	104332	\$8.76
JOYCE B LONDONO	CLAIM 2401.LONDONO	09/13/2023	104385	\$2,000.00
TOTAL SELF INSURANCE RETENTION				\$2,008.76
1255465 - WORKERS COMPENSATION				
CORVEL ENTERPRISE COMP INC.	ONE TIME IMPLEMENTATION FEE	09/08/2023	104358	\$10,000.00
CORVEL ENTERPRISE COMP INC.	JUL 23- CLAIMS SERVICES-FNOL FEES	09/21/2023	104402	\$74.00
CORVEL ENTERPRISE COMP INC.	AUG 23- CLAIMS SERVICES-MAINT FEE	09/21/2023	104402	\$250.00
TOTAL WORKERS COMPENSATION				\$10,324.00
1355450 - ASSET REPLACEMENT-INFO SYS				
DELL MARKETING L.P.	COMPUTER REFRESH	09/08/2023	104362	\$19,914.16
TOTAL ASSET REPLACEMENT-INFO SYS				\$19,914.16
1356120 - ASSET REPLACEMENT-FIRE				
US BANK	FIRESTATION MATTRESSES	08/31/2023	104332	\$749.60
AMAZON.COM SALES, INC	INV#1QQ3-Q3V1-KFGJ-TREADMILL	09/08/2023	9000986	\$3,261.41
TOTAL ASSET REPLACEMENT-FIRE				\$4,011.01

1605360 - OPEB OBLIGATION

MIDAMERICA	OCTOBER 23	09/21/2023	9001016	\$7,320.00
TOTAL OPEB OBLIGATION				\$7,320.00

2026510 - GAS TAX-ENGINEERING

MICHAEL BAKER INTERNATIONAL, INC	JUL 23-LSF CORRIDOR III DESIGN	09/08/2023	9000993	\$9,228.50
TOTAL GAS TAX-ENGINEERING				\$9,228.50

2037510 - HIGHWAY 101 LANDSC #33

SANTA FE IRRIGATION DISTRICT	05979-000- 07/01/23-09/01/23	09/21/2023	104419	\$501.12
SDG&E CO INC	07/08/23-08/08/23-UTILITIES	08/31/2023	104345	\$3,317.10
TOTAL HIGHWAY 101 LANDSC #33				\$3,818.22

2047520 - MID 9C SANTA FE HILLS

SANTA FE IRRIGATION DISTRICT	005979-024- 08/02/23-09/018/23	09/21/2023	104419	\$749.47
SANTA FE IRRIGATION DISTRICT	005979-025- 08/02/23-09/018/23	09/21/2023	104419	\$546.47
SANTA FE IRRIGATION DISTRICT	005979-026- 08/02/23-09/018/23	09/21/2023	104419	\$643.91
SANTA FE IRRIGATION DISTRICT	005979-018- 08/02/23-09/018/23	09/21/2023	104419	\$125.95
SANTA FE IRRIGATION DISTRICT	005979-019- 08/02/23-09/018/23	09/21/2023	104419	\$373.61
SANTA FE IRRIGATION DISTRICT	005979-020- 08/02/23-09/018/23	09/21/2023	104419	\$741.35
SANTA FE IRRIGATION DISTRICT	005979-021- 08/02/23-09/018/23	09/21/2023	104419	\$1,175.77
SANTA FE IRRIGATION DISTRICT	005979-022- 08/02/23-09/018/23	09/21/2023	104419	\$940.29
SANTA FE IRRIGATION DISTRICT	005979-023- 08/02/23-09/018/23	09/21/2023	104419	\$850.97
SANTA FE IRRIGATION DISTRICT	005979-014- 08/02/23-09/018/23	09/21/2023	104419	\$753.53
SANTA FE IRRIGATION DISTRICT	005979-015- 08/02/23-09/018/23	09/21/2023	104419	\$493.69
SANTA FE IRRIGATION DISTRICT	005979-016- 08/02/23-09/018/23	09/21/2023	104419	\$611.43
SANTA FE IRRIGATION DISTRICT	005979-017- 08/02/23-09/018/23	09/21/2023	104419	\$48.81
TOTAL MID 9C SANTA FE HILLS				\$8,055.25

2087580 - COASTAL RAIL TRAIL MAINT

SANTA FE IRRIGATION DISTRICT	005506-020- 08/02/23-09/018/23	09/21/2023	104419	\$2,055.66
SANTA FE IRRIGATION DISTRICT	005506-003- 07/01/23-09/01/23	09/21/2023	104419	\$155.88
TOTAL COASTAL RAIL TRAIL MAINT				\$2,211.54

2117600 - STREET LIGHTING DISTRICT

SDG&E CO INC	07/01/23-08/08/23-UTILITIES	08/31/2023	104345	\$9,042.33
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$16.24
TOTAL STREET LIGHTING DISTRICT				\$9,058.57

213 - DEVELOPER PASSTHRU

DANIEL AND JESSICA KREMS	RFND-DRP22-005/SDP22-002	08/31/2023	104337	\$137.87
TOTAL DEVELOPER PASSTHRU				\$137.87

2505570 - COASTAL BUSINESS/VISITORS

US BANK	MOVIE NIGHT RIGHTS	08/31/2023	104332	\$480.00
SOLANA BEACH CHAMBER OF COMMERCE	Q1-CHAMBER OF COMMERCE VISITORS	09/08/2023	104373	\$7,500.00
SARAH SHULKIN	REIMB-BEACH BLANKET MOVIE NIGHT	08/31/2023	104344	\$23.97
TOTAL COASTAL BUSINESS/VISITORS				\$8,003.97

2557110 - CAMP PROGRAMS

US BANK	CAMP ADMISSIONS	08/31/2023	104332	\$450.00
US BANK	CAMP ADMISSIONS	08/31/2023	104332	\$760.00
US BANK	CAMP SUPPLIES	08/31/2023	104332	\$185.40
US BANK	DAY CAMP ADMISSIONS	08/31/2023	104332	\$342.00
US BANK	CAMP ADMISSIONS	08/31/2023	104332	\$671.40
WESS TRANSPORTATION SERVICES	07/28/23-CAMP TRANSPORTATION	08/31/2023	104351	\$682.45
WESS TRANSPORTATION SERVICES	08/03/23-CAMP TRANSPORTATION	08/31/2023	104351	\$936.24
WESS TRANSPORTATION SERVICES	08/10/23-CAMP TRANSPORTATION	08/31/2023	104351	\$3.16

WESS TRANSPORTATION SERVICES	08/10/23-CAMP TRANSPORTATION	08/31/2023	104351	\$622.89
BRYAN HAYWOOD JOHNSON	FILM EDIT-JR GUARD 2023	08/31/2023	104330	\$1,630.00
TOTAL CAMP PROGRAMS				\$6,283.54
2706120 - PUBLIC SAFETY- FIRE				
VERIZON WIRELESS-SD	962428212-06/29/23-07/28/23	09/08/2023	104374	\$114.03
TOTAL PUBLIC SAFETY- FIRE				\$114.03
2706170 - PUBLIC SAFETY- MARINE SAFETY				
GUARDIAN SAFETY & SUPPLY, LLC	CSA.17-DISPOSABLE GLOVES	09/13/2023	9001002	\$173.99
TOTAL PUBLIC SAFETY- MARINE SAFETY				\$173.99
4506190 - SAND REPLNSHMNT/RETENTION				
CALIFORNIA COASTAL COMMISSION	CCC CDP SCOUP AMENDMENT FEE	08/31/2023	104333	\$1,412.00
SUMMIT ENVIROMENTAL GROUP, INC.	AUG 23-9926-PROF SVC	09/08/2023	9000999	\$6,618.85
SUMMIT ENVIROMENTAL GROUP, INC.	JUL 23-SPECIALTY COASTAL PLANNING SER	09/13/2023	9001010	\$1,625.00
TOTAL SAND REPLNSHMNT/RETENTION				\$9,655.85
4506510 - SANDREPLNSHMNT/RETNTN-CIP				
DOMUSSTUDIO ARCHITECTURE	JUL 23- 9449 MS CENTR	09/13/2023	104381	\$380.00
TOTAL SANDREPLNSHMNT/RETNTN-CIP				\$380.00
459 - MISC. CAPITAL PROJECTS				
CONTRACTOR MANAGING GENERAL	RETENTION-FY22 PVMNT MAINT/RPRS	09/21/2023	104394	\$43,916.44
A PREMAN ROOFING INC	FCCC ROOF REPLACEMENT	08/31/2023	104325	(\$450.00)
TOTAL MISC. CAPITAL PROJECTS				\$43,466.44
4596510 - MISC.CAPITALPROJECTS-ENG				
VAN DYKE LANDSCAPE ARCHITECTS	JUL 23-LC MASTER PLAN UPDATE	09/21/2023	104422	\$2,437.50
VAN DYKE LANDSCAPE ARCHITECTS	JUL 23-9438 FC PRK DSN	09/21/2023	104422	\$571.19
VAN DYKE LANDSCAPE ARCHITECTS	JUL 23-9438 FC PRK DSN	09/21/2023	104422	\$1,633.81
A PREMAN ROOFING INC	FCCC ROOF REPLACEMENT	08/31/2023	104325	\$9,000.00
TOTAL MISC.CAPITALPROJECTS-ENG				\$13,642.50
4596520 - MISC CAPITAL PROJ - ENVIR				
UNIVERSITY OF SAN DIEGO	JUL 23-CLIMATE ACTION PLAN UPDATE	09/21/2023	9001023	\$2,862.49
TOTAL MISC CAPITAL PROJ - ENVIR				\$2,862.49
5097700 - SANITATION				
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	08/31/2023	104340	\$8.20
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES-PW	09/08/2023	104366	\$8.20
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WO	09/21/2023	104412	\$8.20
SANTA FE IRRIGATION DISTRICT	005506-014-AUG 23	09/21/2023	104419	\$800.87
AMERICAN PUBLIC WORKS ASSOCIATION	FY 24 MEMBERSHIP DUE-ID#75153	08/31/2023	104327	\$376.66
VERIZON WIRELESS-SD	362455526 - 08/02/23-09/01/23	09/21/2023	104423	\$16.24
SAN ELIJO JPA	Q2-FY 24 OPERATIONS & MAINTENANCE	09/21/2023	104418	\$516,011.00
SAN ELIJO JPA	06/16/23 & 08/11/23-BRD OF DRCTRS PER DIEM-ZITO	09/21/2023	104418	(\$320.00)
AT&T CALNET 3	9391012277-07/24/23-08/23/23	09/08/2023	104355	\$18.72
WEX FLEET UNIVERSAL	07/08/23-08/07/23-AUTO FUEL	09/13/2023	104391	\$200.90
IDRAINS LLC	JUL 23- GEN SEWER CLEANING-21,178	08/31/2023	104326	\$13,342.14
IDRAINS LLC	J-SEWER-STORMDRAIN MAINT	09/08/2023	104354	\$575.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	09/13/2023	104375	\$525.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	09/13/2023	104375	\$500.00
TOTAL SANITATION				\$532,071.13
REPORT TOTAL:				\$1,244,667.00



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2023-24

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget. The information provided in this Staff Report lists the changes made through September 27, 2023.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 28, 2023 (Resolution 2023-089) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of 09/27/23						
General Fund - Operations						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	24,472,918	(23,078,124)	(980,000)	\$ 414,794
						414,794
General Fund - Measure S						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	4,400,000	(1,124,000)	(733,400)	\$ 2,542,600
						2,542,600
Combined General Fund Net Surplus						\$ 2,957,394

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

COUNCIL ACTION:

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2023-2024 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for a DRP and SDP to Construct a Second-Floor Addition to an Existing Two-Story, Single-Family Residence with an Attached Garage at 611 Seabright Lane. (Applicants: Laura and John Boat; Application: DRP22-017/SDP22-015; APN: 263-062-05; Resolution No. 2023-112)**

BACKGROUND:

The Applicants, Laura and John Boat, are requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a 119 square-foot second-floor addition with associated improvements to a two-story single-family residence. The project proposes 10 cubic yards of excavation for footings to be exported offsite. The maximum building height of the proposed addition would be 25.0 feet above the existing and proposed grade (or 97.10 feet above Mean Sea Level (MSL)). The 10,397 square-foot lot is located within the Low Medium Residential (LMR) Zone and the Scale Residential Overlay Zone (SROZ).

A DRP is required for a proposed addition to a structure that would exceed 60 percent of the maximum allowable floor area. An SDP is required for an addition over 16 feet in height as measured from the pre-existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2023-112 (Attachment 1).

DISCUSSION:

The subject 10,397 square-foot lot is located on the west side of Seabright Lane. The topography slopes gently down from Seabright Lane to the rear (west) property line. The property is developed with a two-story single-family residence with an attached two-car garage. The existing residence is legal nonconforming for the following four reasons; 1) a portion of the second story roof exceeds the maximum building height by approximately 3.9 feet; 2) the roof deck railing exceeds the maximum allowable building height by approximately 1.25 feet; 3) the garage encroaches diagonally into the front yard setback by a maximum of 5.33 feet; and 4) the northern exterior wall of the residence encroaches approximately 6 inches into the side yard setback. The Residential Building Record (RBR) maintained by the County Assessor identifies the existing improvements as being permitted prior to the City's incorporation. Pursuant to Solana Beach Municipal Code

AGENDA ITEM # B.1.

(SBMC) Section 17.16.050, “where a nonconforming use exists on a lot, additional uses, structures or structural internal and external additions may be established on the lot; provided such additional uses, structures, or structural additions do not increase the size, degree, or intensity of the existing nonconformity.”

The Applicants are proposing to remodel the existing second floor, reconstruct the nonconforming portion of the roof in compliance with building height, and construct a 119 square-foot addition on the second floor. The project would not expand or intensify the remaining nonconforming aspects of the residence, which would be maintained in compliance with SBMC Chapter 17.16. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicants’ proposed design.

Table 1		
LOT INFORMATION		
Property Address:	611 Seabright Ln	Zoning Designation: LMR (4 du/ac)
Lot Size (Gross):	10,397 sf	# Units Allowed: 1 D/U, 1 ADU, 1 JADU
Max. Allowable Floor Area:	3,769 sf	# Units Ex/Proposed: 1 D/U
Proposed Floor Area:	2,861 sf	Setbacks:
Below Max. Floor Area by:	908 sf	Required Proposed
Max. Allowable Height:	25 ft	Front (E) 25 ft 20 ft***
Max. Existing Height:	(roof) 28.9 ft*	Interior Side (N) 10 ft 9 ft 5 in****
	(deck rail) 26.3 ft**	Interior Side (S) 10 ft 11 ft
Max. Proposed Height:	25.0 ft	Rear (W) 25 ft 68 ft
Highest Point/Ridge:	97.10 MSL	
	*Legal nonconforming loft roof to be removed	***Legal nonconforming encroachment to be maintained
	Legal nonconforming roof deck railing to be maintained	** Legal nonconforming encroachment to be maintained
PROPOSED PROJECT INFORMATION		
Proposed Floor Area Breakdown:		Required Permits:
Existing First Floor Living Area	2,182 sf	DRP for proposed total floor area to exceed 60% of maximum allowable
Existing Second Floor Living Area	560 sf	SDP for addition in excess of 16 feet in height
Existing Garage	390 sf	
Proposed Second Floor Addition	119 sf	
Subtotal	3,251 sf	
Off-Street Parking Exemption	- 390 sf	
Total Proposed Floor Area:	2,861 sf	
Required/Proposed Parking: 2 (SFR) / 2 Garage		Existing Development: Single-family residence with attached garage to remain that is legal nonconforming related to setbacks and height
Proposed Fences and Walls: Existing to remain		
Proposed Accessory Structure: No		
Proposed Grading: 10 CY of excavation for footings to be exported offsite.		

Staff has prepared draft findings for approval of the project in the attached Resolution 2023-112 for Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process.

If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2023-112.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the total proposed floor area would exceed 60 percent of the maximum allowable for the property. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2023-112 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The proposed project may be found consistent with the General Plan, which designates the property as Low Medium Density Residential and is intended for single-family residential development at a maximum density of four dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The existing residence is legal nonconforming as the northeast corner of the garage encroaches approximately 5.33 feet into the required front yard setback, and the northern exterior wall of the residence encroaches approximate 6 inches into the required side yard setback. The Applicants are proposing to maintain the existing footprint of the residence and garage in compliance with the Nonconforming regulations set forth in SBMC Chapter 17.16.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 10,397 square-foot lot is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	769 ft ²
<hr/> Maximum Allowable Floor Area:	<hr/> 3,769 ft ²

The existing residence includes a 2,182 square-foot first floor, a 560 square-foot second floor, and a 390 square-foot two-car garage. The proposed project includes a 119 square-foot addition to the second floor. The subtotal of the proposed gross floor area would be 2,861 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space (or the total square footage of the

garage if it is less than 400 square feet). The existing 390 square-foot garage provides two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 390 square-foot exemption from gross floor area calculation. With the exemption, the total gross floor area of the project would be 2,861 square feet, which is 908 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LMR Zone is 25 feet. The existing legal nonconforming roof deck railing exceeds the maximum allowable height by approximately 1.25 feet and would be maintained with the project in compliance with the Nonconforming regulations set forth in SBMC Chapter 17.16. A portion of the existing legal nonconforming roof also exceeds the maximum allowable building height by approximately 3.9 feet and would be removed and reconstructed with the project to comply with the maximum height allowance. The maximum height of the proposed addition would be 25.0 feet above the pre-existing and proposed grade or 97.10 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. As a condition of approval, the Applicants would be required to submit a height certification to certify that no portion of the structure will exceed 25.0 feet from the existing grade or 97.10 feet above MSL.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the existing garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

Currently, the plans show the existing six-foot tall wooden fence enclosing and side and rear yards to remain and in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified

landscape areas that exceed 500 square feet. The proposed project does not include any modification to landscape areas. As a condition of approval, should the Applicants decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, A condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 are listed below with further discussion as to how they relate to the proposed Project:

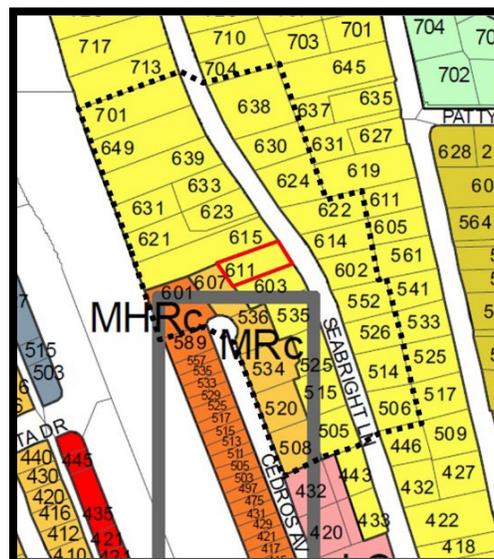
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The property and the surrounding neighborhood are located in the LMR Zone. These properties were constructed in a planned development prior to the City's incorporation and are developed with a mix and one-and two-story single-family residences.

Neighborhood Comparison:

Staff compared the proposed project to 29 nearby properties located on Seabright Lane and North Cedros Avenue, as shown on the following map:



The properties evaluated in this comparison are also located in the LMR Zone as well as the Medium Residential and Medium-High Residential Zones. The surrounding properties are developed primarily with single-family homes ranging in size from 888 square feet to 4,050 square feet. The existing square footage information is obtained through the County Assessor records. It should be noted that the County Assessor does not include garages, covered patios or enclosed exterior areas, accessory buildings, or unfinished basements in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the garage:

Project Gross Building Area:	3,251 ft ²
Delete Attached Garage:	- 390 ft ²
Project Area for Comparison to Assessor's Data:	2,861 ft ²

Table 2, below, is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft2	Max. Allowable ft2	Zone
1	701 Seabright Ln	22,000*	3,004		5,175	LMR
2	649 Seabright Ln	22,000*	6,810		5,175	LMR
3	639 Seabright Ln	18,000*	888		4,875	LMR
4	633 Seabright Ln	10,500*	2,660		3,788	LMR
5	631 Seabright Ln	11,200*	1,284		3,910	LMR
6	623 Seabright Ln	10,150*	2,659		3,726	LMR
7	621 Seabright Ln	13,300*	1,480		4,278	LMR
8	615 Seabright Ln	24,829	2,212		5,316	LMR
9	611 Seabright Ln	10,397	2,746	2,861	3,769	LMR
10	603 Seabright Ln	10,140	2,637		3,725	LMR
11	535 Seabright Ln	10,900	3,247		3,858	LMR
12	525 Seabright Ln	7,800	3,203		3,315	LMR
13	515 Seabright Ln	10,870	2,556		3,853	LMR
14	505 Seabright Ln	10,600	984		3,805	LMR
15	607 N Cedros Ave	9,115	3,320		3,545	MR
16	536 N Cedros Ave	9,392*	2,542		3,594	MR
17	534 N Cedros Ave	13,240*	2,745		4,267	MR
18	520 N Cedros Ave	10,920	1,244	3,471	3,781	MR
19	508 N Cedros Ave	10,460*	1,170		3,781	MR
20	601 N Cedros Ave	15,608	1,282	5,571	11,706	MHR
21	638 Seabright Ln	24,000	Unavailable		5,275	LMR
22	630 Seabright Ln	13,000	4,050		4,225	LMR
23	624 Seabright Ln	11,800	1,774		4,015	LMR
24	622 Seabright Ln	13,000	1,752		4,225	LMR
25	614 Seabright Ln	11,000	1,358		3,875	LMR

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
26	602 Seabright Ln	10,700	1,666		3,823	LMR
27	552 Seabright Ln	11,000	1,321		3,875	LMR
27	526 Seabright Ln	11,600	1,444		3,980	LMR
29	514 Seabright Ln	10,700	3,452		3,823	LMR
30	506 Seabright Ln	10,300	3,516		3,753	LMR

*The County Assessor lot size information provided in Table 2 appears to be exclusive of the vegetated slopes in the rear yards. For clarification, Staff has provided the actual lot size and maximum allowable floor area for the subject property in bold as well as the lot size listed with the County data.

Building and Structure Placement:

The proposed project includes a 14 square-foot living area addition and a 44 square-foot partially covered deck that would be exempt from the gross floor area calculation located on the west side of the existing second story as well as a 105 square-foot living area addition on the east side of the existing second story.

Landscape:

The proposed project does not include any modification to existing landscape areas or proposal of new landscape areas. As a condition of approval, should the Applicants decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the existing legal nonconforming garage, which is accessed by the existing driveway on the west side of Seabright Lane. Pedestrian access to the property would be maintained from the existing walkway as well as access around both sides of the residence to the rear yard.

Grading:

The Applicants are proposing approximately 10 cubic yards of excavation for footings to construct the second-story addition. There would be no visible change to the existing grade with the project.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of an addition to a single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

Structure Development Permit Compliance (SBMC Chapter 17.63):

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63. Story poles were installed depicting the original proposal, which included a first-floor remodel, a significantly larger second-floor addition, and expansion of the roof deck over the proposed addition. A Story Pole Height Certification was certified by a licensed land surveyor on March 8, 2023, showing a maximum building height of 25.00 feet (97.10 feet above MSL) above the existing and proposed grade. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by April 23, 2023. The City received one application for View Assessment (Attachment 3) from the property owner (Nick Wildgoose; "Claimant") of 607 North Cedros Avenue, which is located immediately west of the subject property.

The project was presented to the View Assessment Commission (VAC) on June 20, 2023. The VAC has not met since the June 20, 2023 meeting; therefore, the minutes have not been approved. Table 3 below includes a draft of the disclosures and findings from the June 20, 2023 meeting.

Table 4								
Nick Wildgoose █ N Cedros		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant	6/16	6/16	6/19	6/16	6/16		6/16
	Applicant	6/16	6/16	6/19	6/16	6/19		6/16
Primary Viewing Area		Living Room / Dining (NE)	Living Room / Great Room (E)	Kitchen / Sitting / Outdoor Deck (NW)	Living Room / Kitchen (E)	Bedroom (NW)		Dining Room (N)
#1. Communication Taken Place		Y	Y	Y	Y	Y		Y
#2. No Public View Impairment		Y	Y	Y	Y	Y		Y
#3. Designed to Minimize View Impairment		Y	N	Y	N	Y		N

#4. No Cumulative View Impairment	Y	Y	Y	Y? 51:05	Y		Y
#5. Neighborhood Compatibility	Y	Y	N	Y	N		Y

One VAC member was absent from the meeting. The six participating VAC members did not reach consensus on the primary viewing area. They were each able to make Findings 1, 2, and 4. They were split evenly on Finding 3. Four of the six participating VAC members were able to make Finding 5. The VAC members discussed shared concerns with the size of the proposed second-story addition and the proposed expansion of the roof deck. When offered a continuance, the Applicants did not consent and instead requested that the VAC make a recommendation. Chair Cohen made a motion to recommend denial of the project, which was seconded by Commissioner Coad. The motion passed 5/1/1 Ayes: Villasenor, Najjar, Moldenhauer, Coad, Cohen. Nos: Stribling. Absent: Zajac. The Notice of Recommendation is included in Attachment 4.

The Applicants have revised the proposed project since the June 20, 2023, VAC meeting. The revised project is located entirely within the three-dimensional envelope of the originally story poles; therefore, the Applicants were not required to update the poles. The changes include an overall reduction of the proposed second-story addition by 759 square feet and removal of the second proposed roof deck. The revised project plans dated September 28, 2023, are included in Attachment 2.

The Claimant has maintained his application for view assessment.

The City Council should consider the recommendation from VAC, the information provided by the Applicants and Claimant, and the View Assessment Ordinance (SBMC 17.63) including the definition of a “Viewing Area” and the five required findings, which are provided below:

SBMC Section 17.63.020(I): “Viewing area” shall be that area of the structure (excluding bathrooms, hallways, garages or closets) or lot (excluding the building setback areas) where the view assessment committee, or the city council on appeal, determines the best and most important view exists. The finished floor elevation of any viewing area must be at or above existing grade adjacent to the exterior wall of the part of the building nearest to that viewing area. The determination shall be made by balancing the nature of the view to be protected and the importance of the area of the structure or lot from where the view is taken.

SBMC Section 17.63.040(F): Findings. In making a decision on a matter for which view assessment has been requested, the view assessment committee shall be required to make the following findings:

- 1. The applicant for the structure development permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good*

faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.

- 2. The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.*
- 3. The structure is designed and situated in such a manner as to minimize impairment of views.*
- 4. There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.*
- 5. The proposed structure is compatible with the immediate neighborhood character.*

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicants submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 25.0 feet above the pre-existing and proposed grade or 97.10 feet above MSL, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary finding to approve the project.

The Draft Resolution of Approval (Attachment 1) reflects the Applicants' request that the City Council consider the findings of the SDP and includes findings in support of the DRP. The Draft Resolution of Approval includes the applicable SBMC sections in italicized text and the recommended conditions of approval from the Community Development, Engineering, and Fire Departments. An additional condition of approval requires that the Applicants obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the public hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Property Frontage and Public Right-of-Way Improvements:

The existing property frontage is unimproved with vegetation and a nonstandard driveway. If approved, the Applicants will be required to remove the existing landscaping

and construct a 10-foot wide Decomposed Granite (DG) pathway graded at a two percent maximum slope for walking and parking purposes. In addition, a mountable concrete curb for drainage will be required if the project is approved. The driveway approach will also be reconstructed as a condition of approval to meet the Americans with Disabilities Act (ADA) standards.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on September 28, 2023. The Applicants provided a letter to the City Council, which is included in Attachment 5. Staff has not received correspondence from neighbors regarding the proposed project except for the referenced View Assessment application from the adjacent neighbor.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2023-112 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines. Class 1 consists of the minor alteration of existing private structures involving negligible or no expansion to the existing use including additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2023-112.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP and SDP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2023-112 conditionally approving a DRP and SDP to construct a 119 square-foot second-floor addition with associated improvements to two-story single-family residence at 611 Seabright Lane, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-112
2. Project Plans
3. Wildgoose View Claim
4. VAC Notice of Recommendation
5. Boat Letter to City Council

RESOLUTION 2023-112

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A SECOND-STORY ADDITION TO AN EXISTING TWO-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE AT 611 SEABRIGHT LANE, SOLANA BEACH.

**APPLICANTS: JOHN AND LAURA BOAT
CASE NO.: DRP22-017/SDP22-015**

WHEREAS, John and Laura Boat (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the View Assessment Committee recommended denial of the project on June 20, 2023 based on an application for View Assessment by Nick Wildgoose (hereinafter referred to as “Claimant”) at 607 North Cedros Avenue; and

WHEREAS, the Applicants submitted a revised project for consideration of the City Council and the Claimant maintained his application for View Assessment; and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on October 11, 2023, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council determined the primary viewing area(s) at 607 North Cedros Avenue to be _____; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a 119 square-foot second-floor addition with associated improvements to a two-story single-family residence at 611

Seabright Lane, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Medium Density Residential in the General Plan and intended for single-family residential development with a maximum density of four dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LMR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "c", which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The existing residence is legal nonconforming as the northeast corner of the garage encroaches approximately 5.33 feet into the required front yard setback, and the northern exterior wall of the residence encroaches approximate 6 inches into the required side yard setback. The Applicants are proposing to maintain the existing footprint of the residence and garage in compliance with the Nonconforming regulations set forth in SBMC Chapter 17.16.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 10,397 square-foot lot is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	769 ft ²
<hr/> Maximum Allowable Floor Area:	<hr/> 3,769 ft ²

The existing residence includes a 2,182 square-foot first floor, a 560 square-foot second floor, and a 390 square-foot two-car garage. The proposed project includes a 119 square-foot addition to the second floor. The subtotal of the proposed gross floor area is 2,861 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space (or the total square footage of the garage if it is less than 400 square feet). The existing 390 square-foot garage provides two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 390 square-foot exemption from gross floor area calculation. With the exemption, the total gross floor area of the project is 2,861 square feet, which is 908 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LMR Zone is 25 feet. The existing legal nonconforming roof deck railing exceeds the maximum allowable height by approximately 1.25 feet and would be maintained with the project in compliance with the Nonconforming regulations set forth in SBMC Chapter 17.16. A portion of the existing legal nonconforming roof also exceeds the maximum allowable building height by approximately 3.9 feet and would be removed and reconstructed with the project to comply with the maximum height allowance. The maximum height of the proposed addition would be 25.0 feet above the pre-existing and proposed grade or 97.10 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. As a condition of approval, the Applicants would be required to submit a height certification to certify that no portion of the structure will exceed 25.0 feet from the existing grade or 97.10 feet above MSL.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the existing garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

Currently, the plans show existing fences to remain and in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified landscape areas that exceed 500 square feet. The proposed project does not include any modification to landscape areas. As a condition of approval, should the Applicants decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City's third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, A condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*
 - a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the LMR Zone as are the properties located in the immediate surrounding neighborhood on Seabright Lane and North Rios Avenue. Properties immediately to the west on North Cedros Avenue are located in the Medium Residential (MR) and Medium-High Residential (MHR) Zones. Properties on Seabright Lane, North Rios Avenue, and the east side of North Cedros Avenue are developed with a mix of one- and two-story single-family residences. Properties on the west side of North Cedros Avenue consist of an attached condominium “row home” development.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The proposed project includes a 14 square-foot living area addition and a 44 square-foot partially covered deck located on the west side of the existing second story and a 105 square-foot living area addition on the east side of the existing second story.

- c. Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The proposed project does not include any modification to existing landscape areas or proposal of new landscape areas. As a condition of approval, should the Applicants decide to modify more than 500 square feet of aggregate landscape area, they would be required to prepare a conceptual landscape plan for review by the City’s third-party landscape architect and approval by City Council under a Modification to the DRP. In addition, a condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the existing legal nonconforming garage, which is accessed by the existing driveway on the east side of the property from Seabright Lane. Pedestrian access to the property would be maintained from the existing driveway as well as access around both sides of the residence to the rear yard.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The Applicants are proposing approximately 10 cubic yards of excavation for footings to construct the second-story addition. All excavated soil would be exported offsite. There will be no visible change to the existing grade with the project.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of an addition to a single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit, including the Structure Development Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicants shall obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

- I. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.*

To be completed based on Council findings.

- II. The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.*

To be completed based on Council findings.

- III. The structure is designed and situated in such a manner as to minimize impairment of views.*

To be completed based on Council findings.

IV. *There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.*

To be completed based on Council findings.

V. *The proposed structure is compatible with the immediate neighborhood character.*

To be completed based on Council findings.

C. In accordance with Chapter 17.63 (Structure Development Permit) of the SBMC, the Applicants provided a Residential Building Record (RBR) that identifies the existing residence, and specifically the garage, as having been built legally and prior to the City's incorporation.

i. *The existing floor plan shall verify that the existing garage currently accommodates the two (2) 9-foot by 19-foot off-street parking spaces required for the single-family residence and has not been converted into habitable space.*

The garage currently accommodates the two required off-street parking spaces.

ii. *The portion of the new roof located in the front yard setback shall not exceed 15 feet in height measured from the existing finished surface of the garage.*

The existing roof is flat, and the Applicants are requesting to remove the existing roof and construct a replacement 4:12 pitch gable roof with a maximum height of 14.25 feet (or 231.08 feet above MSL).

iii. *There shall not be any second-story addition of habitable area above the portion of the garage located in the front yard setback.*

No additional habitable area is proposed above the existing garage.

iv. *The portion of the garage located in the front yard setback may include non-habitable storage within the roof structure with a minimum vertical clearance of 7 feet above the finished surface of the garage.*

New attic area is proposed in the roof structure and the garage will maintain eight-foot vertical clearance.

- v. *The existing footprint of the garage shall not be expanded within the front yard setback.*

The footprint of the exterior walls will not be modified.

V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.
- II. The Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on October 11, 2023, and located in the project file with a submittal date of September 28, 2023.
- III. Prior to requesting a framing inspection, the Applicants shall be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with City Council approval on October 11, 2023, and that the maximum height of the proposed addition will not exceed 25.0 feet above the pre-existing and proposed grade or 97.10 feet above MSL, which is the maximum proposed structure height reflected on the project plans.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. Should the Applicants propose to modify more than 500 square feet of

landscape area, the project shall comply with the Water Efficient Landscape Ordinance (SBMC Chapter 17.56) and a Modification to the DRP will be required.

- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on Seabright Lane and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.
- IV. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Engineering Department Conditions:

- I. The Applicants shall obtain an Encroachment permit in accordance with Chapter 11.20 of the SBMC, prior to the demolition and construction of any improvements within the public right-of way, including the following as shown on the Preliminary Grading Plan to the satisfaction of the City Engineer. For concrete work within the right-of-way, the contractor must have a valid State of California “A” or “C-8” contractor’s license.
 - a) Construction of a low profile mountable 9-inch by 9-inch by 12-inch concrete curb along the entire frontage of the property of Seabright Lane at the flow line of the street.
 - b) Installation of 10-foot wide stabilized, compacted, Decomposed Granite (DG) at 2 percent slope maximum from the property line down toward the curb.

c) Removal and construction of SDRSD modified G-14 driveway approach.

- II. An Encroachment Maintenance Removal Agreement (EMRA) will be recorded against this property for any non-standard improvements in the public-right-of-way.
- III. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- IV. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

C. Fire Department Conditions:

- I. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- II. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.
- III. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.01.
 - a. Sprinklers will be required if the Fire Marshall determines that significant modifications are proposed to the second floor during the building permit plan check.

- IV. Class “A” Roof: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney’s fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney’s fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning

Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 11th day of October, 2023, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

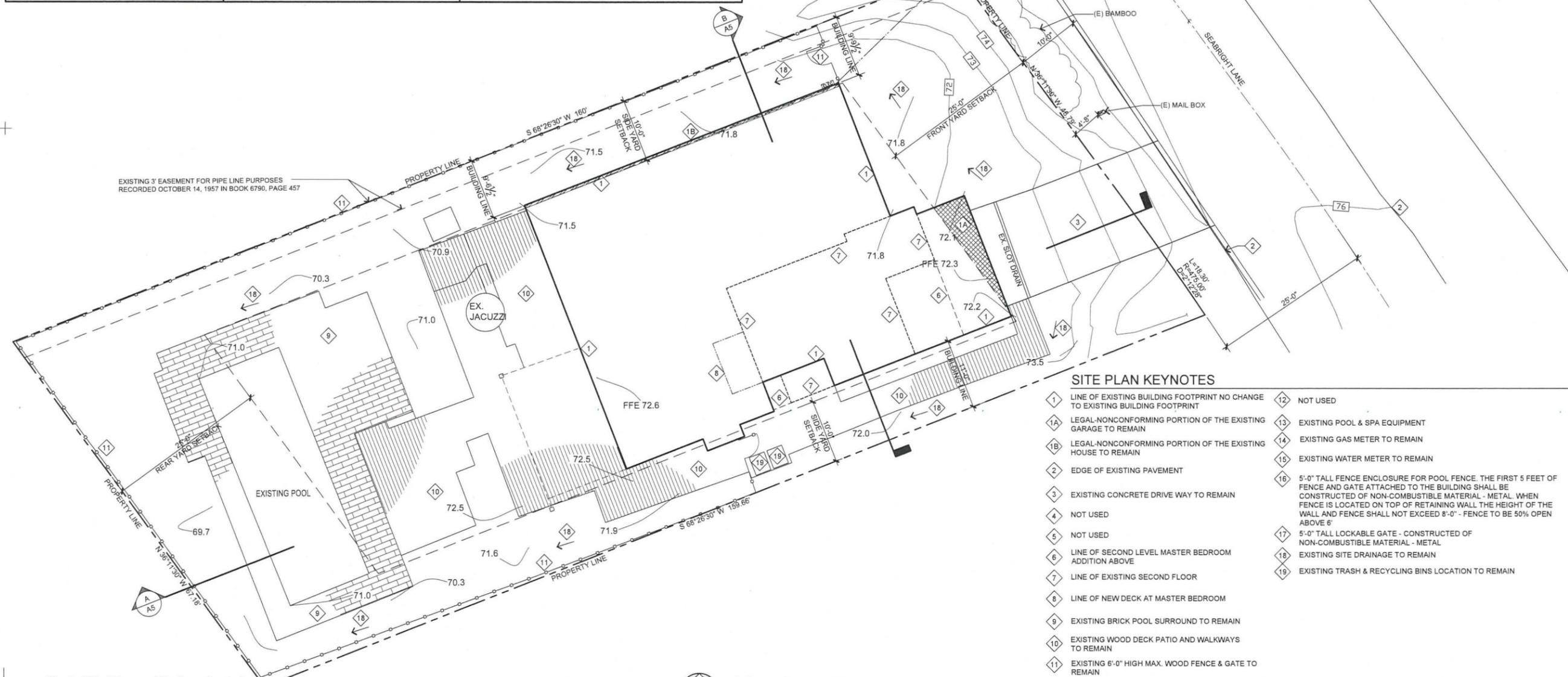
APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

VICINITY MAP		TABLE - LEGAL-NONCONFORMING		BREAKDOWN OF PROPERTY AREA		AREA CALCULATIONS		PROJECT DATA																																			
		ROOF EXISTING ROOF CALCULATIONS TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT. 2,165 / 2,582 = 79.63% OF EXISTING ROOF TO REMAIN		<table border="1"> <thead> <tr> <th></th> <th>EXISTING S.F.</th> <th>PROPOSED TOTAL S.F.</th> </tr> </thead> <tbody> <tr> <td>NON-LANDSCAPE AREA</td> <td>5,420 S.F.</td> <td>5,420 S.F.</td> </tr> <tr> <td>NON-IRRIGATED LANDSCAPE</td> <td>0 S.F.</td> <td>0 S.F.</td> </tr> <tr> <td>IRRIGATED LANDSCAPE</td> <td>4,432 S.F.</td> <td>4,432 S.F.</td> </tr> <tr> <td>WATER FEATURES</td> <td>545 S.F.</td> <td>545 S.F.</td> </tr> <tr> <td>DECORATIVE HARDSCAPE</td> <td>0 S.F.</td> <td>0 S.F.</td> </tr> <tr> <td>TOTAL LOT AREA</td> <td>10,397 S.F.</td> <td>10,397 S.F.</td> </tr> </tbody> </table>			EXISTING S.F.	PROPOSED TOTAL S.F.	NON-LANDSCAPE AREA	5,420 S.F.	5,420 S.F.	NON-IRRIGATED LANDSCAPE	0 S.F.	0 S.F.	IRRIGATED LANDSCAPE	4,432 S.F.	4,432 S.F.	WATER FEATURES	545 S.F.	545 S.F.	DECORATIVE HARDSCAPE	0 S.F.	0 S.F.	TOTAL LOT AREA	10,397 S.F.	10,397 S.F.	LIVING AREA EXISTING 1ST FLOOR LIVING AREA: 2,182 S.F. EXISTING 2ND FLOOR LIVING AREA: 560 S.F. PROPOSED 2ND FLOOR LIVING AREA ADDITION: 119 S.F. EXISTING GARAGE AREA: 390 S.F. SUBTOTAL : 3,251 S.F.		OWNER JOHN AND LAURA BOAT TEL: (510) 459-8446 SITE ADDRESS 611 SEABRIGHT LANE SOLANA BEACH, CALIFORNIA 92075 A.P.N. 283-062-05-00 LEGAL DESCRIPTION: THAT PORTION OF LOT 22 OF SEABRIGHT ACRES IN THE CITY OF SOLANA BEACH COUNTY OF SAN DIEGO STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 2373 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY DECEMBER 10, 1946.														
	EXISTING S.F.	PROPOSED TOTAL S.F.																																									
NON-LANDSCAPE AREA	5,420 S.F.	5,420 S.F.																																									
NON-IRRIGATED LANDSCAPE	0 S.F.	0 S.F.																																									
IRRIGATED LANDSCAPE	4,432 S.F.	4,432 S.F.																																									
WATER FEATURES	545 S.F.	545 S.F.																																									
DECORATIVE HARDSCAPE	0 S.F.	0 S.F.																																									
TOTAL LOT AREA	10,397 S.F.	10,397 S.F.																																									
SHEET INDEX <table border="1"> <tr><td>A1</td><td>SITE PLAN</td></tr> <tr><td>A1.1</td><td>AREA CALCULATIONS</td></tr> <tr><td>EX</td><td>EXISTING FIRST FLOOR PLAN</td></tr> <tr><td>EX.1</td><td>EXISTING SECOND FLOOR PLAN</td></tr> <tr><td>EX.2</td><td>EXISTING ROOF PLAN</td></tr> <tr><td>A2</td><td>FIRST FLOOR PLAN</td></tr> <tr><td>A2.1</td><td>SECOND FLOOR PLAN</td></tr> <tr><td>A3</td><td>ROOF PLAN</td></tr> <tr><td>A4</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A4.1</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A5</td><td>SECTIONS</td></tr> <tr><td>S1</td><td>SECOND FLOOR FRAMING PLAN</td></tr> </table>		A1	SITE PLAN	A1.1	AREA CALCULATIONS	EX	EXISTING FIRST FLOOR PLAN	EX.1	EXISTING SECOND FLOOR PLAN	EX.2	EXISTING ROOF PLAN	A2	FIRST FLOOR PLAN	A2.1	SECOND FLOOR PLAN	A3	ROOF PLAN	A4	EXTERIOR ELEVATIONS	A4.1	EXTERIOR ELEVATIONS	A5	SECTIONS	S1	SECOND FLOOR FRAMING PLAN	SCOPE OF WORK REMODEL AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE. PROJECT TO INCORPORATE AN ENLARGED MASTER SUITE AT THE SECOND LEVEL.		<table border="1"> <thead> <tr> <th></th> <th>AREA OF WORK (S.F.)</th> </tr> </thead> <tbody> <tr> <td>IRRIGATED LANDSCAPE</td> <td>0 S.F.</td> </tr> <tr> <td>WATER FEATURES</td> <td>0 S.F.</td> </tr> <tr> <td>DECORATIVE HARDSCAPE</td> <td>0 S.F.</td> </tr> <tr> <td>AGGREG. LANDSCAPE AREA</td> <td>0 S.F.</td> </tr> </tbody> </table>			AREA OF WORK (S.F.)	IRRIGATED LANDSCAPE	0 S.F.	WATER FEATURES	0 S.F.	DECORATIVE HARDSCAPE	0 S.F.	AGGREG. LANDSCAPE AREA	0 S.F.	TOTAL PROPOSED FLOOR AREA : 2,861 S.F. FLOOR AREA RATIO (F.A.R.) FLOOR AREA CALCULATION TABLE FOR RESIDENTIAL PROPERTIES SUBJECT TO SBMC SECTION 17.48.040 - SCALED RESIDENTIAL OVERLAY ZONE ALLOWED F.A.R.: 0.50 (FOR THE FIRST 6,000 S.F.) = 6,000 x .5 = 3,000 S.F. 0.175 (FOR THE NEXT 8K - 15K S.F.) = 4,397 x .175 = 769 S.F. TOTAL ALLOWED F.A.R. = 3,769 S.F. PROPOSED F.A.R. = 2,861 S.F.		ZONE: LMRc (LOW MEDIUM RESIDENTIAL) OVERLAY: SROZ (SCALED RESIDENTIAL OVERLAY ZONE) LOT SIZE: GROSS & NET ARE THE SAME: 10,397 S.F. (0.238 AC) HEIGHT DATA: MAXIMUM HEIGHT EXISTING STRUCTURE: 26'-3" MAXIMUM HEIGHT PROPOSED STRUCTURE: 24'-11" MAXIMUM HEIGHT IN LRD ZONE: 25'-0"	
A1	SITE PLAN																																										
A1.1	AREA CALCULATIONS																																										
EX	EXISTING FIRST FLOOR PLAN																																										
EX.1	EXISTING SECOND FLOOR PLAN																																										
EX.2	EXISTING ROOF PLAN																																										
A2	FIRST FLOOR PLAN																																										
A2.1	SECOND FLOOR PLAN																																										
A3	ROOF PLAN																																										
A4	EXTERIOR ELEVATIONS																																										
A4.1	EXTERIOR ELEVATIONS																																										
A5	SECTIONS																																										
S1	SECOND FLOOR FRAMING PLAN																																										
	AREA OF WORK (S.F.)																																										
IRRIGATED LANDSCAPE	0 S.F.																																										
WATER FEATURES	0 S.F.																																										
DECORATIVE HARDSCAPE	0 S.F.																																										
AGGREG. LANDSCAPE AREA	0 S.F.																																										
PARKING REQUIREMENTS <table border="1"> <thead> <tr> <th>PARKING SPACES</th> <th>REQUIRED</th> <th></th> </tr> </thead> <tbody> <tr> <td>SINGLE FAMILY RESIDENCE</td> <td>2</td> <td>2 ENCLOSED PARKING</td> </tr> </tbody> </table>		PARKING SPACES	REQUIRED		SINGLE FAMILY RESIDENCE	2	2 ENCLOSED PARKING	GRADING W C.Y. - SITE GRADING: 0 CY +/- X C.Y. - EXCAVATION FOR THE FOOTINGS OF NEW CONSTRUCTION: 10 CY +/- Y C.Y. - REMOVAL FOR RE-COMPACTION FOR CONSTRUCTION: 0 CY Z C.Y. - TOTAL GRADING (W+X+Z): 10 CY +/-		FOUNDATION EXISTING FOUNDATION CALCULATIONS (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS) TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT. 100% OF THE EXISTING FOUNDATION TO REMAIN		NET AREA INCREASE PROPOSED AREA: 2,861 S.F. EXISTING AREA: 2,742 S.F. TOTAL AREA INCREASE: 119 S.F.																															
PARKING SPACES	REQUIRED																																										
SINGLE FAMILY RESIDENCE	2	2 ENCLOSED PARKING																																									



SITE PLAN

SCALE: 1/8" = 1'-0"



ATTACHMENT 2

COHN + ASSOCIATES
 ARCHITECTURE PLANNING
 240 CALIFORNIA SWIMMER DR., SUITE 206
 SOLANA BEACH, CALIFORNIA 92075
 607/755-1726



COPYRIGHT 2023. ALL INSTRUMENTS OF INTELLECTUAL SERVICE, ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
 SOLANA BEACH, CALIFORNIA
 611 SEABRIGHT LANE

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GCMCS
JOB NUMBER:	2113
DWG FILE:	BS_SITE

SHEET
A1

LEGEND

EXISTING LIVING AREA TO REMAIN

EXISTING GARAGE TO REMAIN

PROPOSED LIVING AREA ADDITION

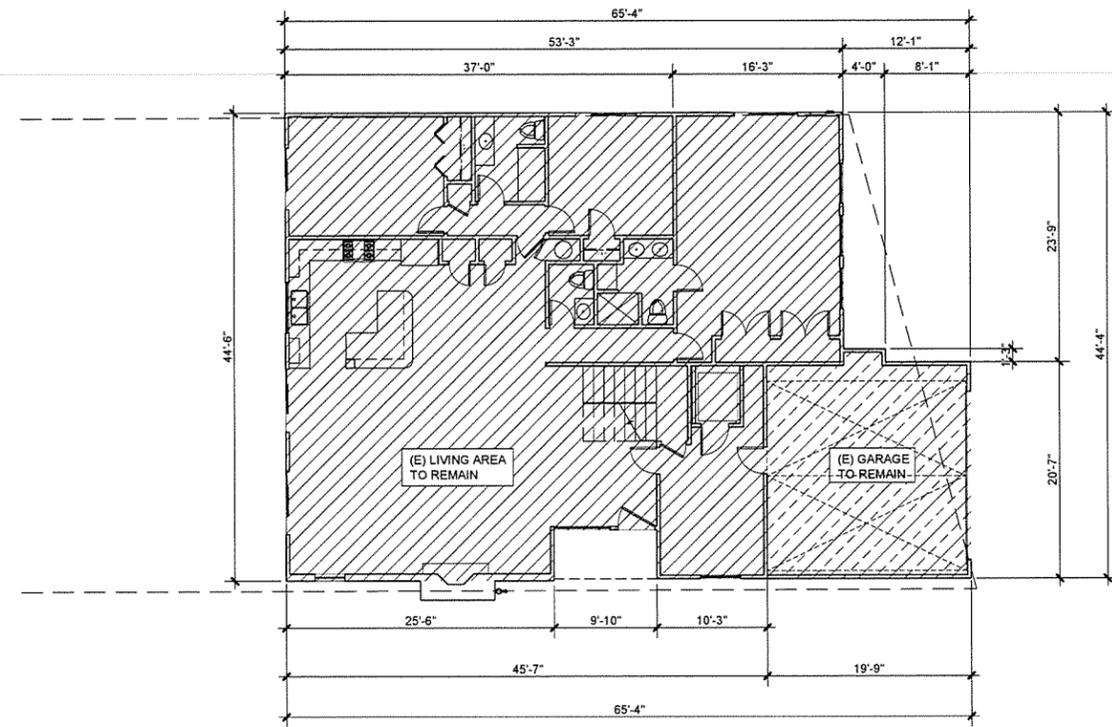
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES

AREA CALCULATIONS

EXISTING 1ST FLOOR LIVING AREA:	2,182 S.F.
EXISTING 2ND FLOOR LIVING AREA:	560 S.F.
PROPOSED 2ND FLOOR LIVING AREA:	119 S.F.
EXISTING GARAGE AREA:	390 S.F.
SUBTOTAL	3,251 S.F.
GARAGE EXEMPTION	- 390 S.F.
TOTAL PROPOSED FLOOR AREA	2,861 S.F.
ALLOWED F.A.R. :	
0.50 (FOR THE FIRST 6,000 S.F.) = 6,000 x .5 = 3,000 S.F.	
0.175 (FOR THE NEXT 6K - 15K S.F.) = 4,397 x .175 = 769 S.F.	
TOTAL ALLOWED F.A.R. =	3,769 S.F.

TABLE - LEGAL-NONCONFORMING

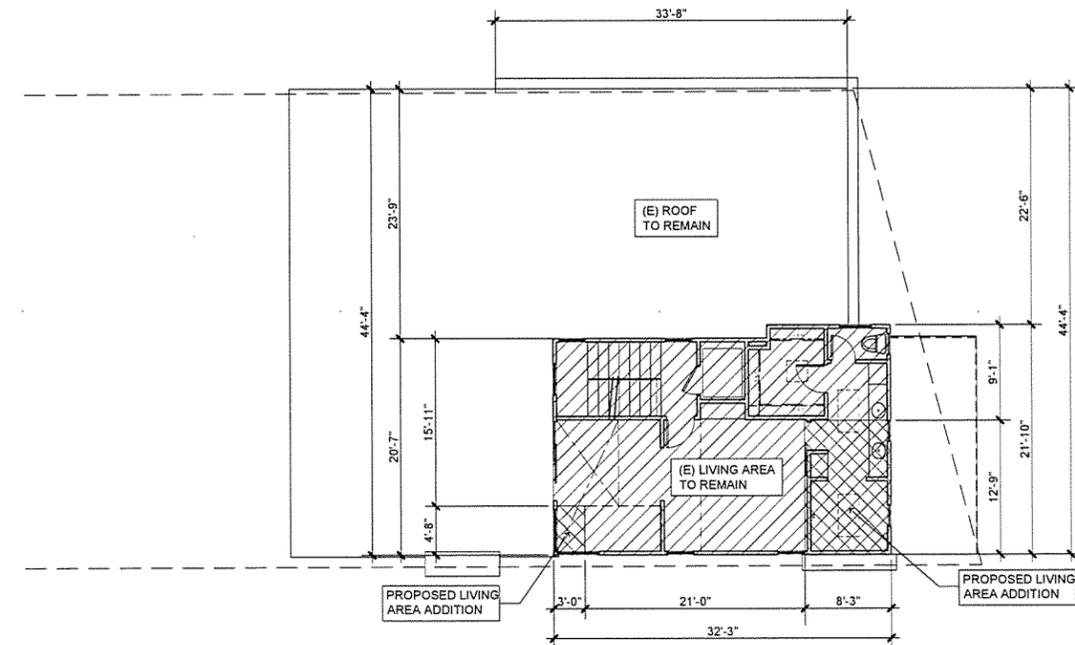
ROOF	<p>EXISTING ROOF CALCULATIONS</p> <p>TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>2,165 / 2,582 = 83.85% OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p>EXISTING EXTERIOR WALLS CALCULATIONS</p> <p>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6" TOTAL WALL LENGTH TO REMAIN: 278'-1"</p> <p>278'-1" / 341'-7" = 81.41% OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p>EXISTING FLOOR STRUCTURE CALCULATIONS</p> <p>TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) TO REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p>EXISTING FOUNDATION CALCULATIONS (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS)</p> <p>TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN : 2,572 SQ. FT.</p> <p>100 % OF THE (E) FOUNDATION TO REMAIN</p>



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA DIAGRAM



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

AREA DIAGRAM



COPYRIGHT 2023 AS INSTRUMENTS OF INTELLECTUAL SERVICE ALL DESIGNS CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS

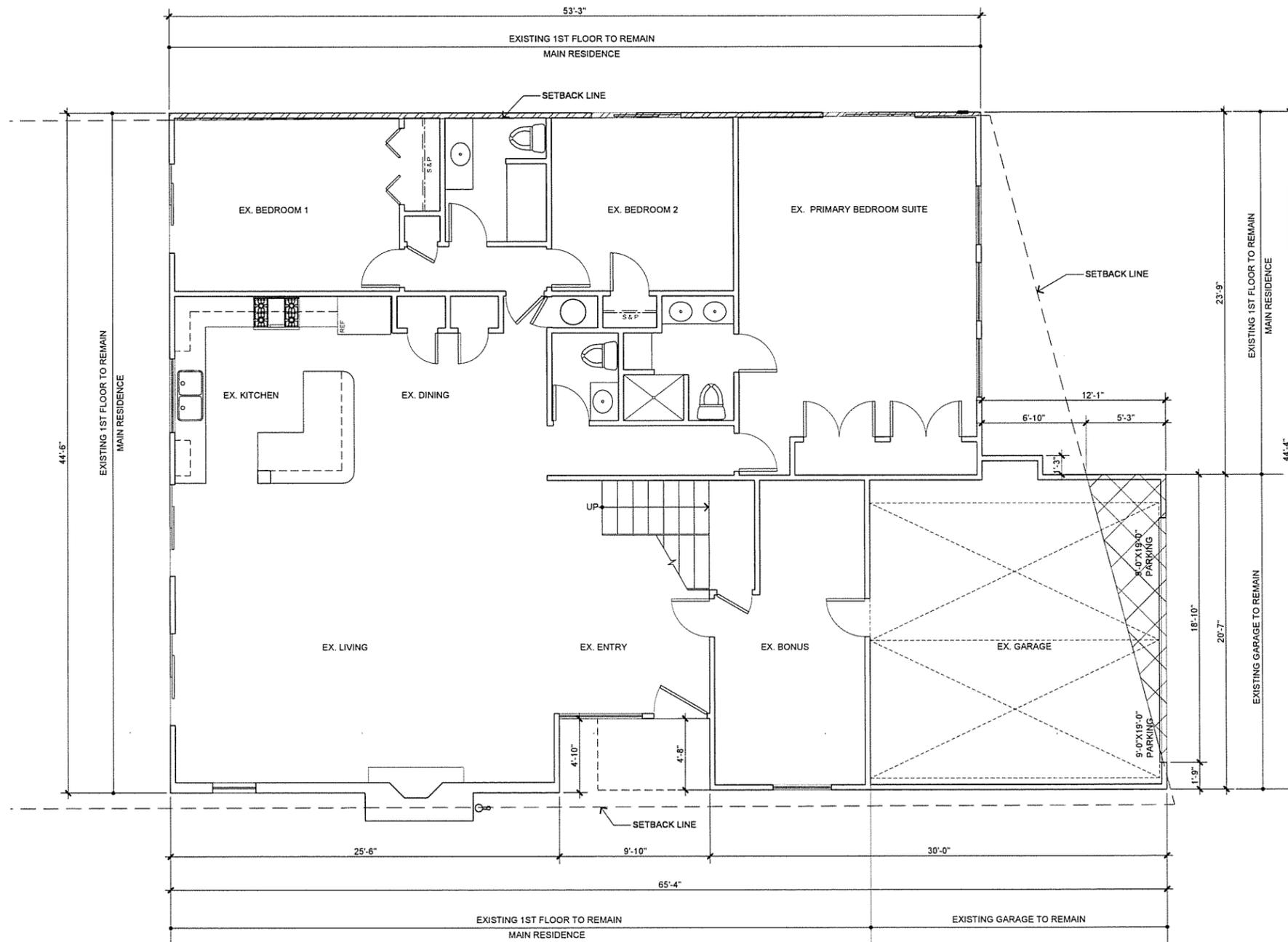
BOAT RESIDENCE
 611 SEABRIGHT LANE
 SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI
DATE MODIFIED:	9/12/23
DRAWN BY:	GCIMCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

SHEET
A1.1

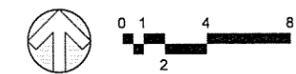
WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

TABLE - LEGAL-NONCONFORMING	
ROOF	<p>EXISTING ROOF CALCULATIONS</p> <p>TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>2,165 / 2,582 = 83.85% OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p>EXISTING EXTERIOR WALLS CALCULATIONS</p> <p>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6"</p> <p>TOTAL WALL LENGTH TO REMAIN: 278'-1"</p> <p>278'-1" / 341'-7" = 81.41% OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p>EXISTING FLOOR STRUCTURE CALCULATIONS</p> <p>TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p>EXISTING FOUNDATION CALCULATIONS (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS)</p> <p>TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>



EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



COPYRIGHT 2023. AS INSTRUMENTS OF INTELLECTUAL SERVICE. ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
 611 SEABRIGHT LANE
 SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GC
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

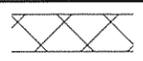
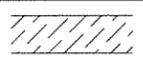
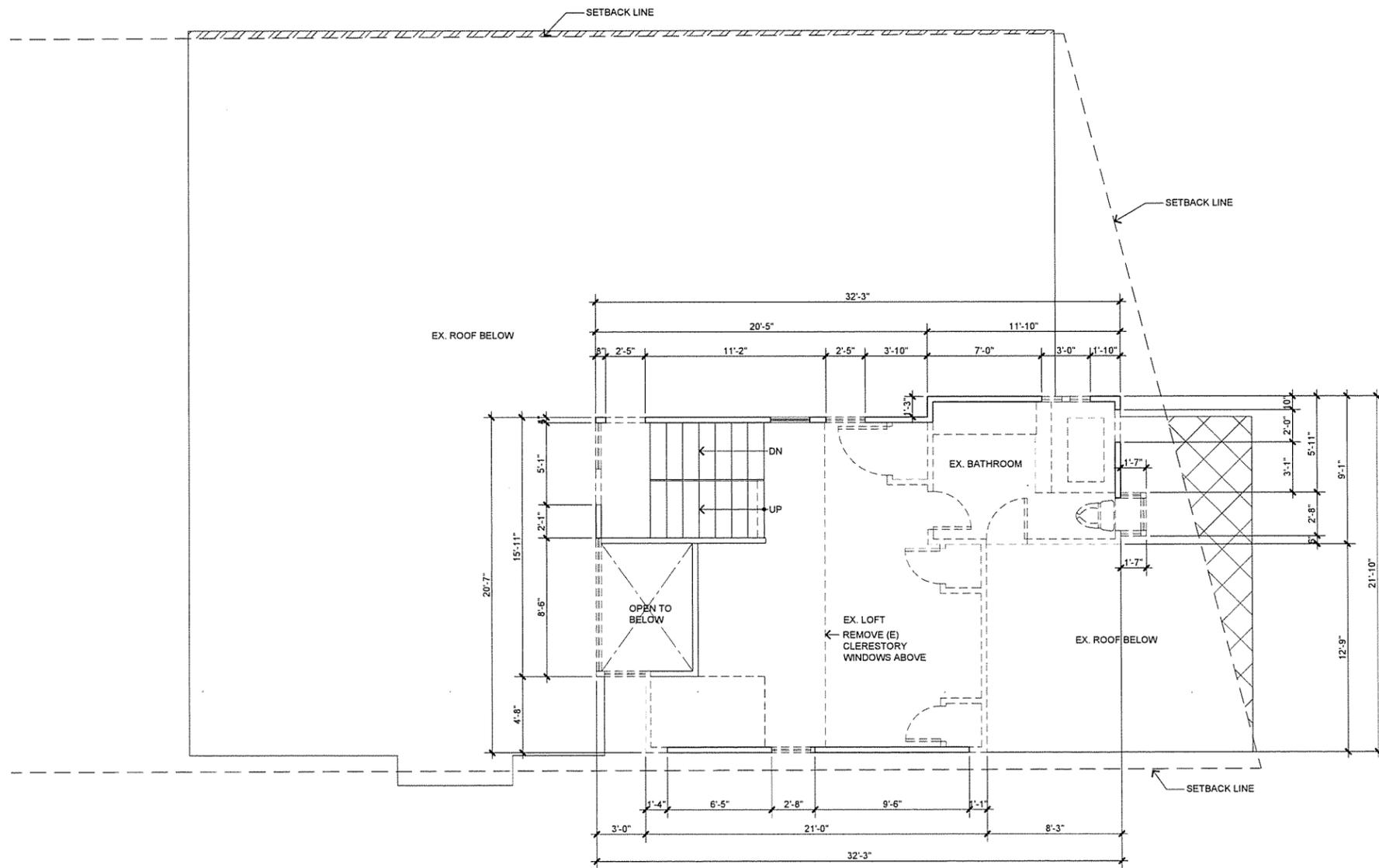
WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

TABLE - LEGAL-NONCONFORMING	
ROOF	<p>EXISTING ROOF CALCULATIONS</p> <p>TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>$2,165 / 2,582 = 83.85\%$ OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p>EXISTING EXTERIOR WALLS CALCULATIONS</p> <p>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6"</p> <p>TOTAL WALL LENGTH TO REMAIN: 278'-1" $278'-1" / 341'-7" = 81.41\%$ OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p>EXISTING FLOOR STRUCTURE CALCULATIONS</p> <p>TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p>EXISTING FOUNDATION CALCULATIONS (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS)</p> <p>TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>



COPYRIGHT 2023. ALL INSTRUMENTS OF INTELLECTUAL SERVICE, ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

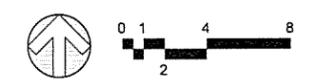
BOAT RESIDENCE
611 SEABRIGHT LANE
SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED: 9/12/23
 DRAWN BY: GC
 JOB NUMBER: 2113
 DWG FILE: BS_PLAN

EXISTING / DEMO SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET
EX.1

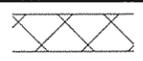
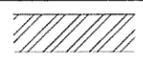
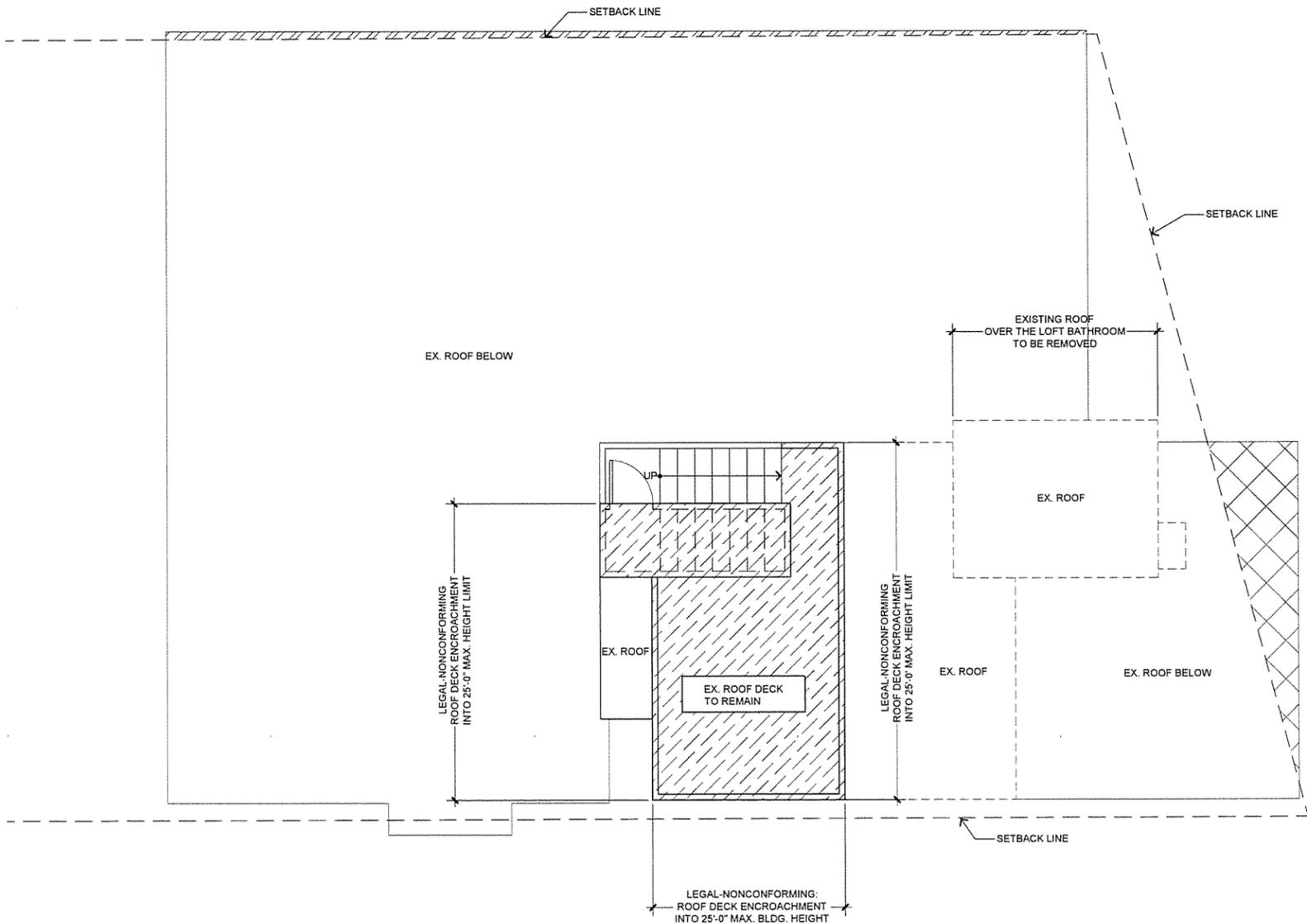
WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

TABLE - LEGAL-NONCONFORMING	
ROOF	<p>EXISTING ROOF CALCULATIONS</p> <p>TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>$2,165 / 2,582 = 83.85\%$ OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p>EXISTING EXTERIOR WALLS CALCULATIONS</p> <p>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6"</p> <p>TOTAL WALL LENGTH TO REMAIN: 278'-1" $278'-1" / 341'-7" = 81.41\%$ OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p>EXISTING FLOOR STRUCTURE CALCULATIONS</p> <p>TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p>EXISTING FOUNDATION CALCULATIONS (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS)</p> <p>TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>



COPYRIGHT 2023. AS INSTRUMENTS OF INTELLECTUAL SERVICE. ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

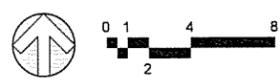
BOAT RESIDENCE
 611 SEABRIGHT LANE
 SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GC
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

EXISTING / DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



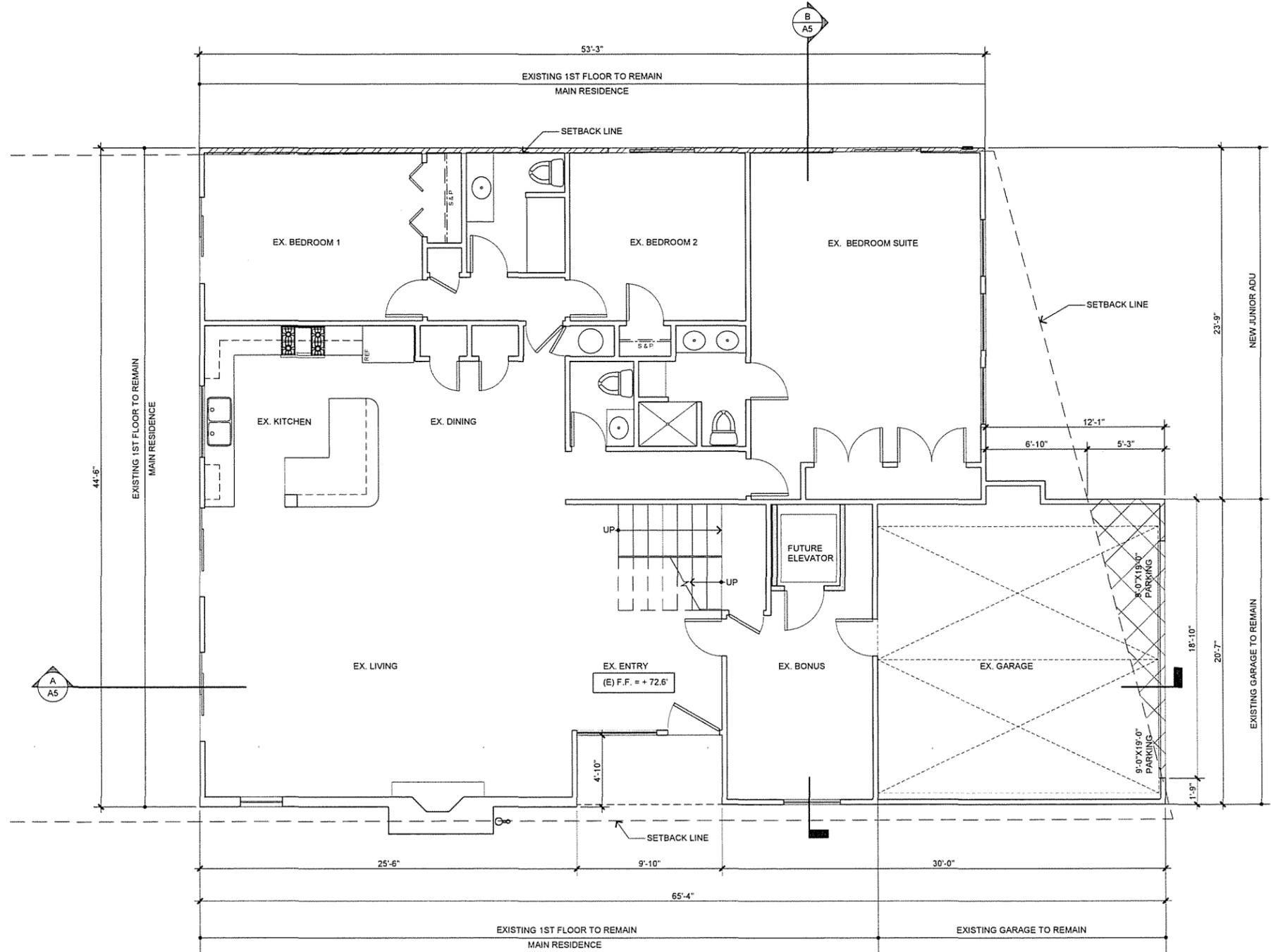
SHEET
EX.2



COPYRIGHT 2023 AS INSTRUMENTS OF INTELLECTUAL SERVICE. ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

TABLE - LEGAL-NONCONFORMING	
ROOF	<p><u>EXISTING ROOF CALCULATIONS</u></p> <p>TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>2,165 / 2,582 = 83.85% OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p><u>EXISTING EXTERIOR WALLS CALCULATIONS</u></p> <p>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6"</p> <p>TOTAL WALL LENGTH TO REMAIN: 278'-1"</p> <p>278'-1" / 341'-7" = 81.41% OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p><u>EXISTING FLOOR STRUCTURE CALCULATIONS</u></p> <p>TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p><u>EXISTING FOUNDATION CALCULATIONS</u> (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS)</p> <p>TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>



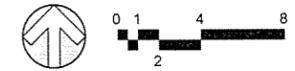
BOAT RESIDENCE
 SOLANA BEACH, CALIFORNIA
 611 SEABRIGHT LANE

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GCMCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"





COPYRIGHT 2023. AS INSTRUMENTS OF INTELLECTUAL SERVICE. ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

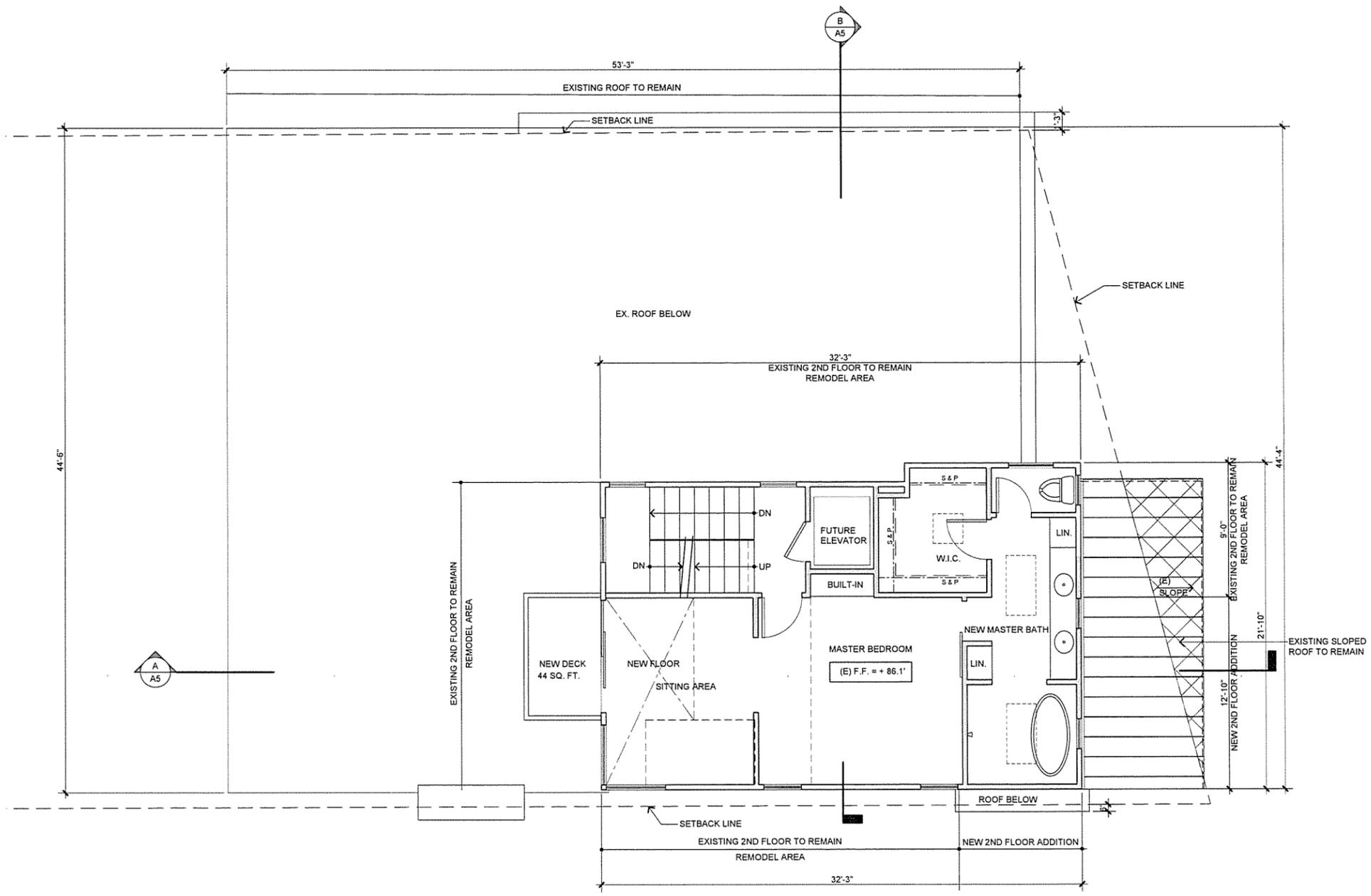
BOAT RESIDENCE
611 SEABRIGHT LANE
SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GCMCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

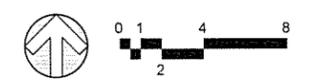
WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

TABLE - LEGAL-NONCONFORMING							
ROOF	<p><u>EXISTING ROOF CALCULATIONS</u> TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>2,165 / 2,582 = 83.85% OF EXISTING ROOF TO REMAIN</p>						
EXTERIOR WALLS	<p><u>EXISTING EXTERIOR WALLS CALCULATIONS</u></p> <table border="0"> <tr> <td>TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR:</td> <td>230'-3"</td> </tr> <tr> <td>TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR:</td> <td>111'-4"</td> </tr> <tr> <td>TOTAL WALL PERIMETER OF EXISTING HOUSE:</td> <td>341'-7"</td> </tr> </table> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6" TOTAL WALL LENGTH TO REMAIN: 278'-1"</p> <p>278'-1" / 341'-7" = 81.41% OF EXISTING WALLS TO REMAIN</p>	TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR:	230'-3"	TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR:	111'-4"	TOTAL WALL PERIMETER OF EXISTING HOUSE:	341'-7"
TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR:	230'-3"						
TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR:	111'-4"						
TOTAL WALL PERIMETER OF EXISTING HOUSE:	341'-7"						
FLOOR STRUCTURE	<p><u>EXISTING FLOOR STRUCTURE CALCULATIONS</u> TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>						
FOUNDATION	<p><u>EXISTING FOUNDATION CALCULATIONS</u> (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS) TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>						



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



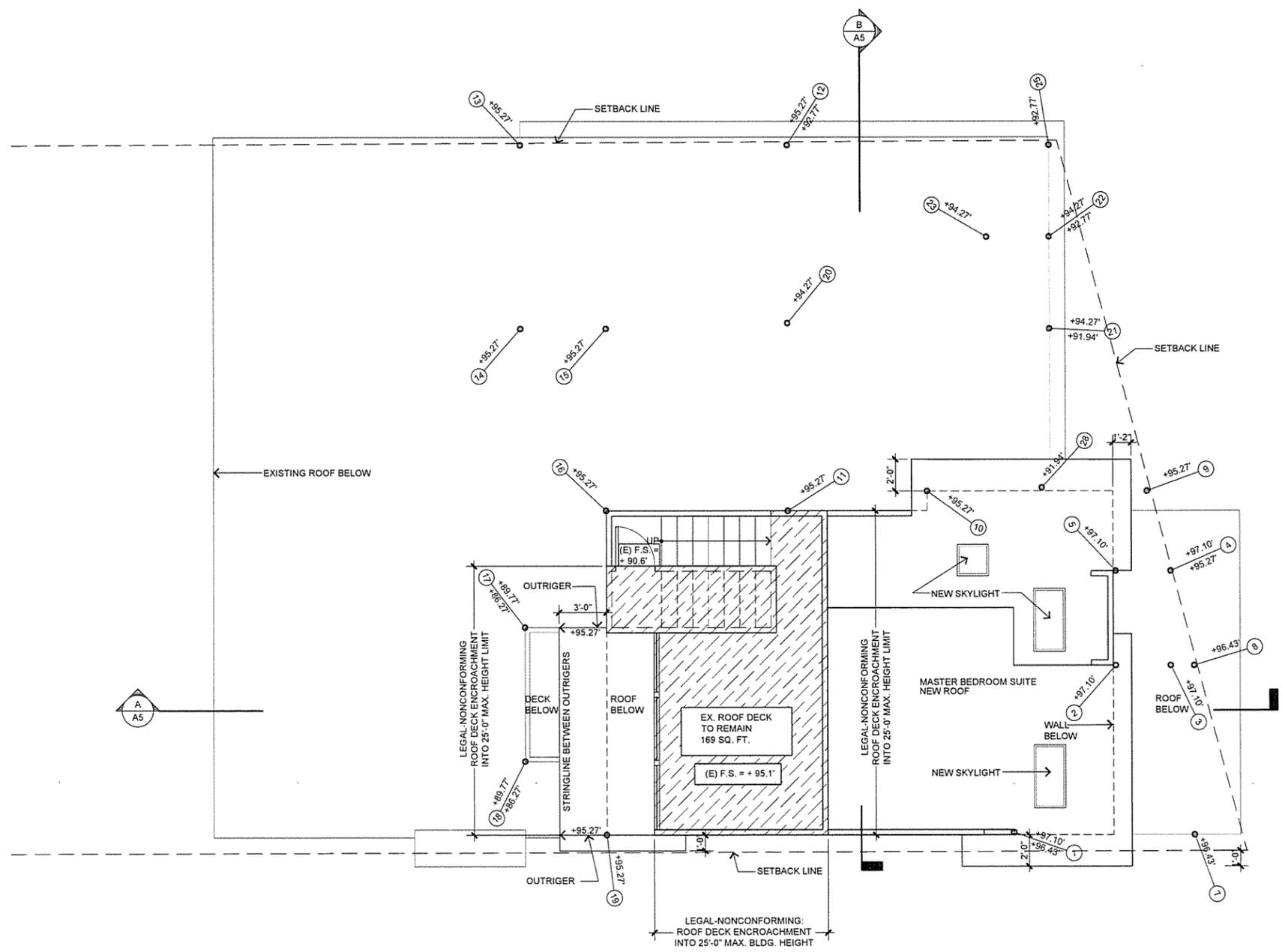
SHEET
A2.1

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	9/12/23
DRAWN BY:	GC/MCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN

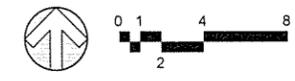
	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	PORTION OF EXISTING GARAGE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" FRONT YARD SETBACK
	PORTION OF EXISTING HOUSE LEGAL-NONCONFORMING ENCROACHMENT INTO THE 10'-0" SIDE YARD SETBACK
	EXISTING ROOF DECK LEGAL-NONCONFORMING ENCROACHMENT INTO THE 25'-0" MAX. HEIGHT LIMIT

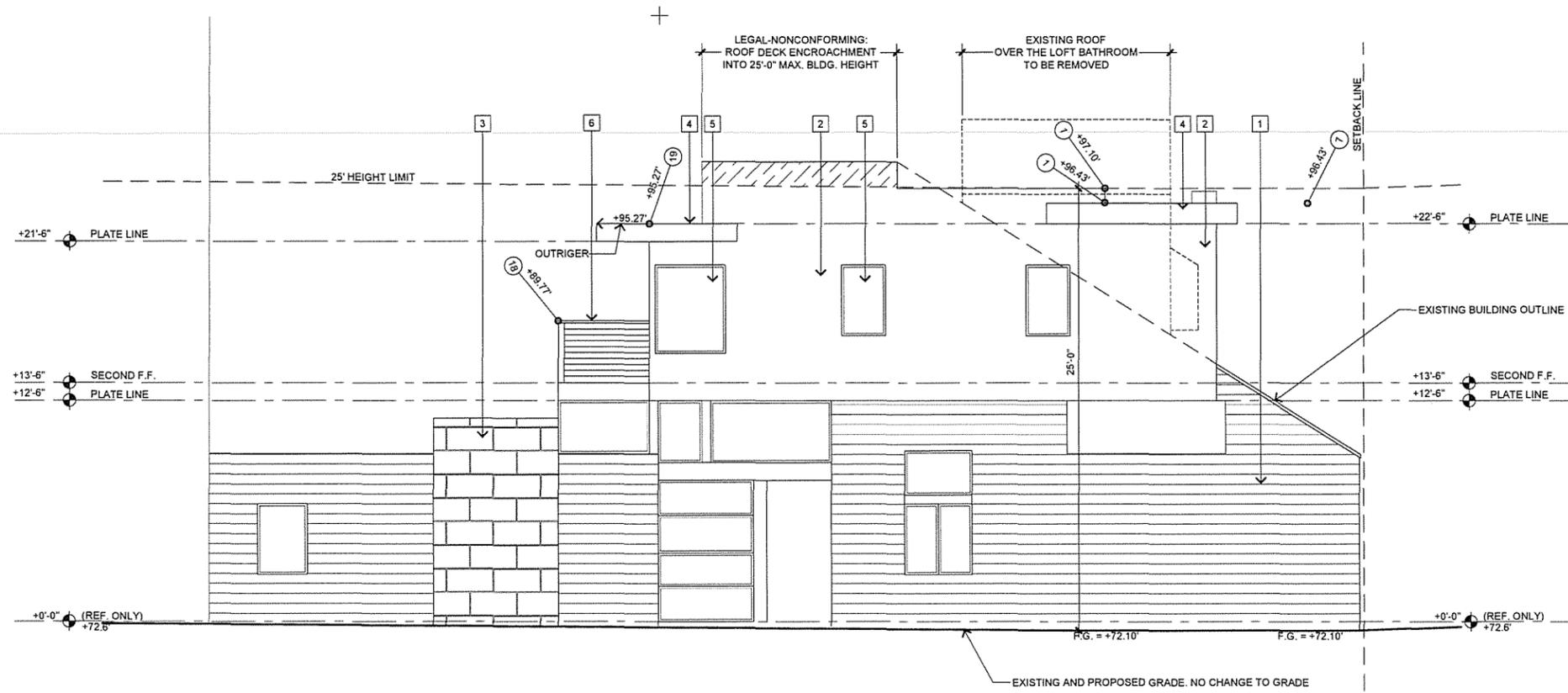
ROOF	<p><u>EXISTING ROOF CALCULATIONS</u> TOTAL ROOF (SQ. FT.) OF EXISTING HOUSE: 2,582 SQ. FT. TOTAL ROOF (SQ. FT.) TO BE REMOVED: 417 SQ. FT. TOTAL ROOF (SQ. FT.) TO REMAIN: 2,165 SQ. FT.</p> <p>2,165 / 2,582 = 83.85% OF EXISTING ROOF TO REMAIN</p>
EXTERIOR WALLS	<p><u>EXISTING EXTERIOR WALLS CALCULATIONS</u> TOTAL WALL PERIMETER OF EXISTING 1ST FLOOR: 230'-3" TOTAL WALL PERIMETER OF EXISTING 2ND FLOOR: 111'-4" TOTAL WALL PERIMETER OF EXISTING HOUSE: 341'-7"</p> <p>TOTAL WALL LENGTH TO BE REMOVED @ 1ST FLOOR: 0'-0" TOTAL WALL LENGTH TO BE REMOVED @ 2ND FLOOR: 63'-6"</p> <p>TOTAL WALL LENGTH TO REMAIN: 278'-11"</p> <p>278'-11" / 341'-7" = 81.41% OF EXISTING WALLS TO REMAIN</p>
FLOOR STRUCTURE	<p><u>EXISTING FLOOR STRUCTURE CALCULATIONS</u> TOTAL FLOOR STRUCTURE (SQ. FT.) OF (E) HOUSE: 564 SQ. FT. TOTAL FLOOR STRUCTURE (SQ. FT.) OF REMAIN: 564 SQ. FT.</p> <p>100% OF THE EXISTING FLOOR STRUCTURE TO REMAIN</p>
FOUNDATION	<p><u>EXISTING FOUNDATION CALCULATIONS</u> (EXISTING FOUNDATION INCLUDES SLAB + FOOTINGS) TOTAL FOUNDATION (SQ. FT.) OF (E) HOUSE: 2,572 SQ. FT. TOTAL FOUNDATION (SQ. FT.) TO REMAIN: 2,572 SQ. FT.</p> <p>100% OF THE EXISTING FOUNDATION TO REMAIN</p>



ROOF PLAN + STORY POLE PLAN

SCALE: 1/4" = 1'-0"





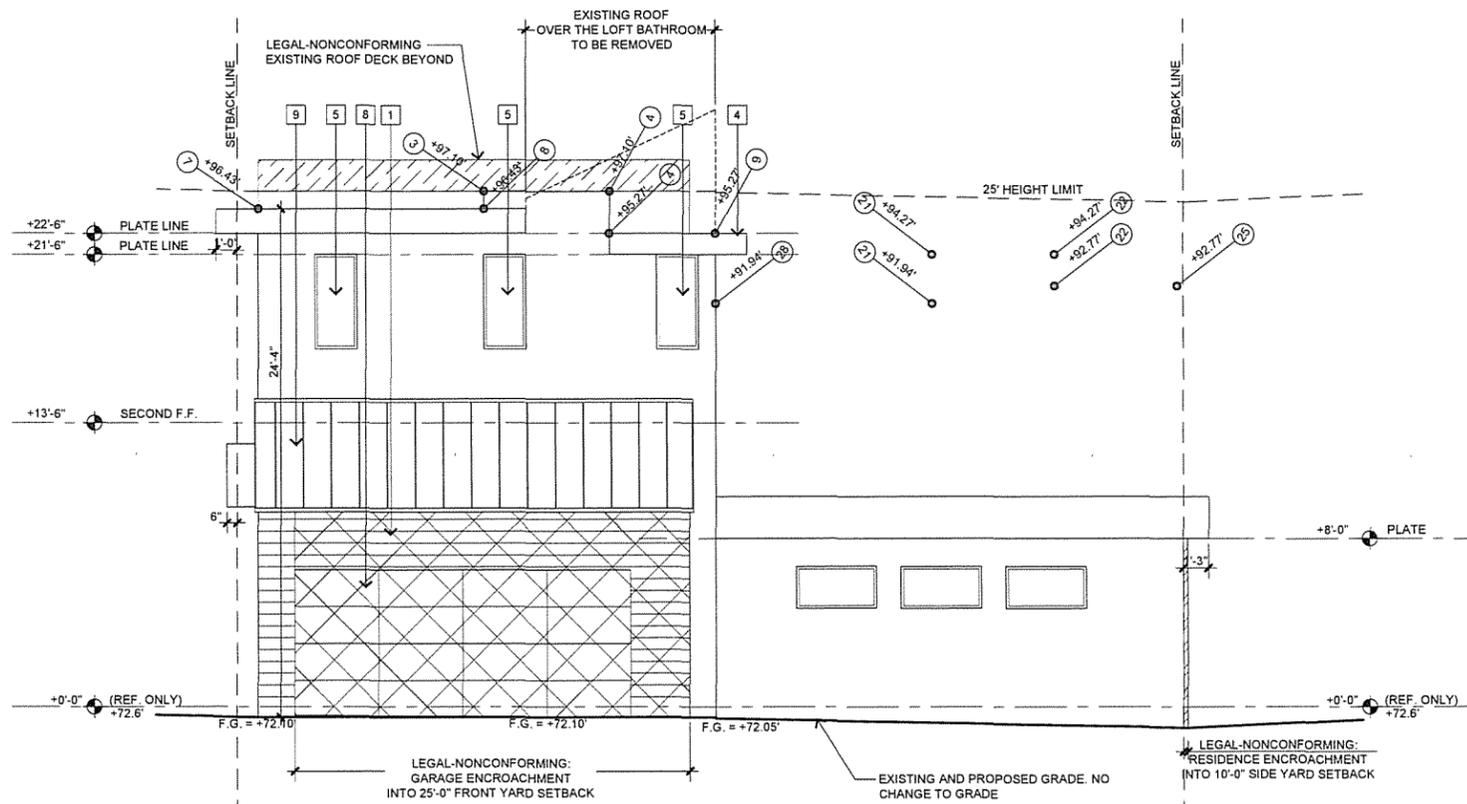
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



MATERIAL & COLOR SCHEDULE/KEYNOTES				
KEYNOTE	DESCRIPTION	MANUF.	COLOR	FINISH
1	HORIZONTAL WOOD SIDING		NATURAL	
2	EXT. CEMENT PLASTER		GREY	
3	NOT USED			
4	METAL FASCIA		GREY	
5	WINDOW / DOOR FRAME		DARK BRONZE	
6	CABLE RAIL		GREY	
7	GLASS RAIL			
8	GLASS GARAGE DOOR			
9	NEW METAL ROOF		GREY	

***NOTE:**
 PROVIDE COLOR SAMPLES ON SITE FOR OWNER'S APPROVAL FOR ALL EXTERIOR MATERIALS.
 COLOR COAT AN AREA A MIN. 4'X4' - PAINT OR STAIN: WOOD SIDING & TRIM SAMPLES FOR APPROVAL PRIOR TO INSTALLATION



EAST ELEVATION

SCALE: 1/4" = 1'-0"

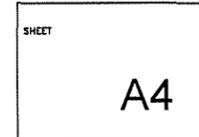


COPYRIGHT 2023. AS INSTRUMENTS OF INTELLECTUAL SERVICE. ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
 611 SEABRIGHT LANE
 SOLANA BEACH, CALIFORNIA

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

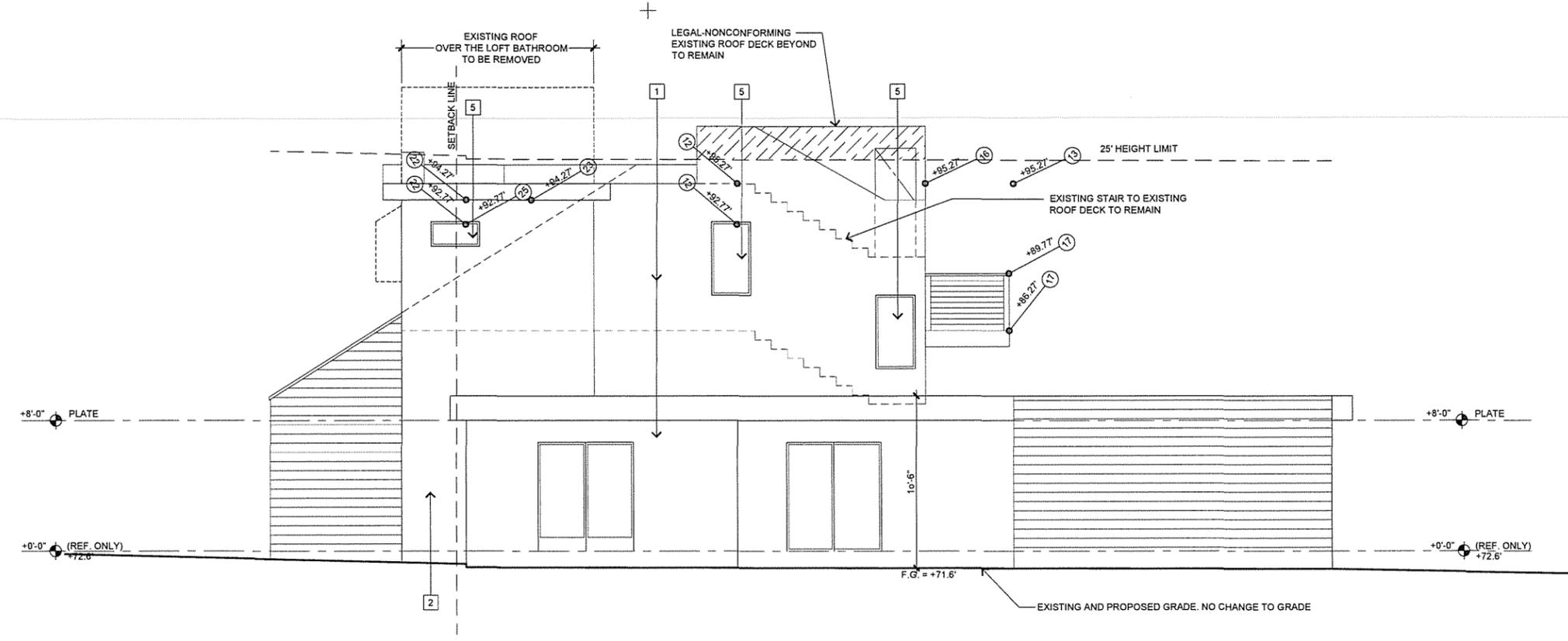
DATE MODIFIED:	9/12/23
DRAWN BY:	GCMCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN





COPYRIGHT 2023. ALL INSTRUMENTS OF SERVICE ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
611 SEABRIGHT LANE
SOLANA BEACH, CALIFORNIA



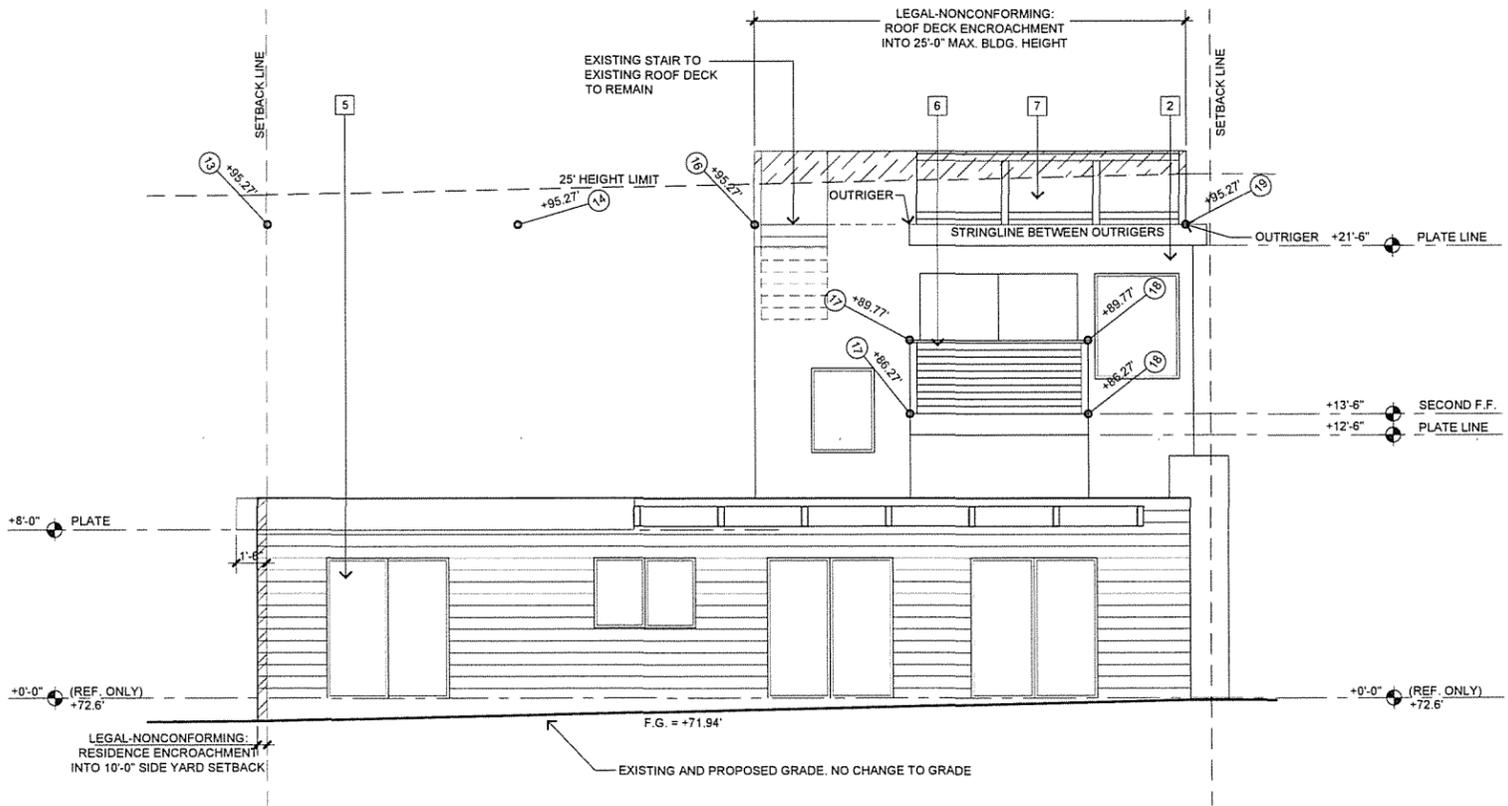
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



MATERIAL & COLOR SCHEDULE/KEYNOTES				
	DESCRIPTION	MANUF.	COLOR	FINISH
1	HORIZONTAL WOOD SIDING		NATURAL	
2	EXT. CEMENT PLASTER		GREY	
3	NOT USED			
4	METAL FASCIA		GREY	
5	WINDOW / DOOR FRAME		DARK BRONZE	
6	CABLE RAIL		GREY	
7	GLASS RAIL			
8	GLASS GARAGE DOOR			
9	NEW METAL ROOF		GREY	

*NOTE:
PROVIDE COLOR SAMPLES ON SITE FOR OWNER'S APPROVAL FOR ALL EXTERIOR MATERIALS.
COLOR COAT AN AREA A MIN. 4'x4'. PAINT OR STAIN: WOOD SIDING & TRIM SAMPLES FOR APPROVAL PRIOR TO INSTALLATION

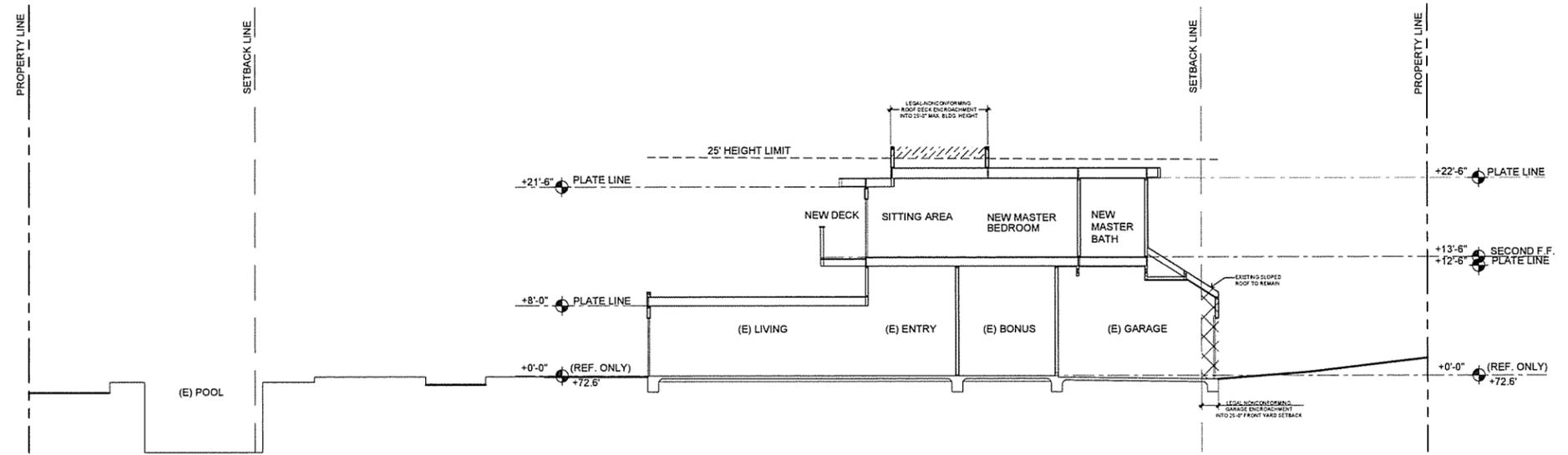


WEST ELEVATION

SCALE: 1/4" = 1'-0"

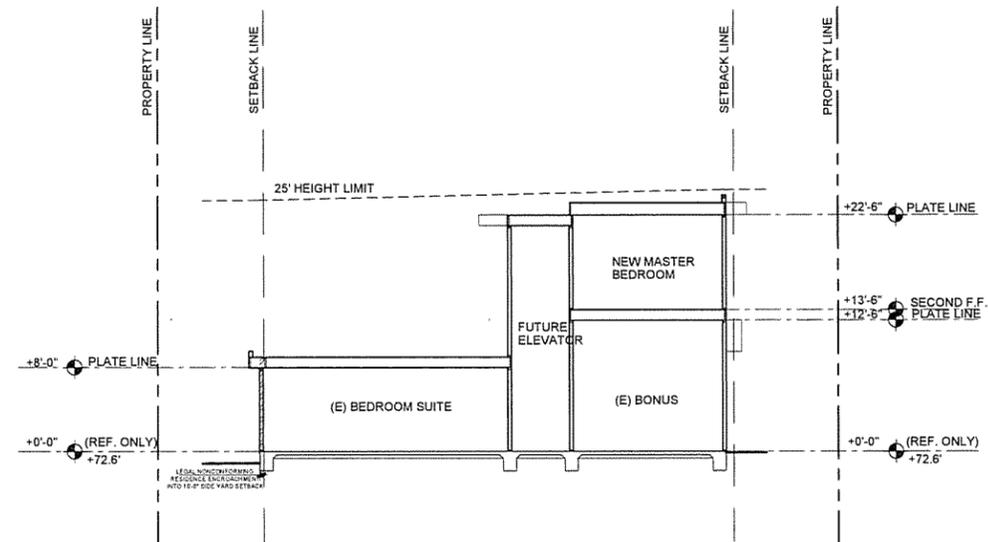


SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI
DATE MODIFIED:	9/12/23
DRAWN BY:	GCMCS
JOB NUMBER:	2113
DWG FILE:	BS_PLAN



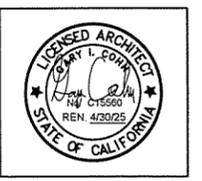
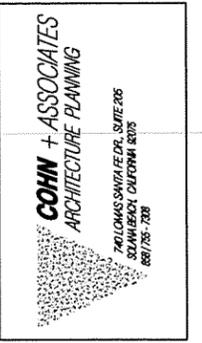
SECTION A

SCALE: 1/8" = 1'-0"



SECTION B

SCALE: 1/8" = 1'-0"



COPYRIGHT 2023. ALL INSTRUMENTS OF INTELLECTUAL SERVICE, ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
 SOLANA BEACH, CALIFORNIA
 611 SEABRIGHT LANE

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

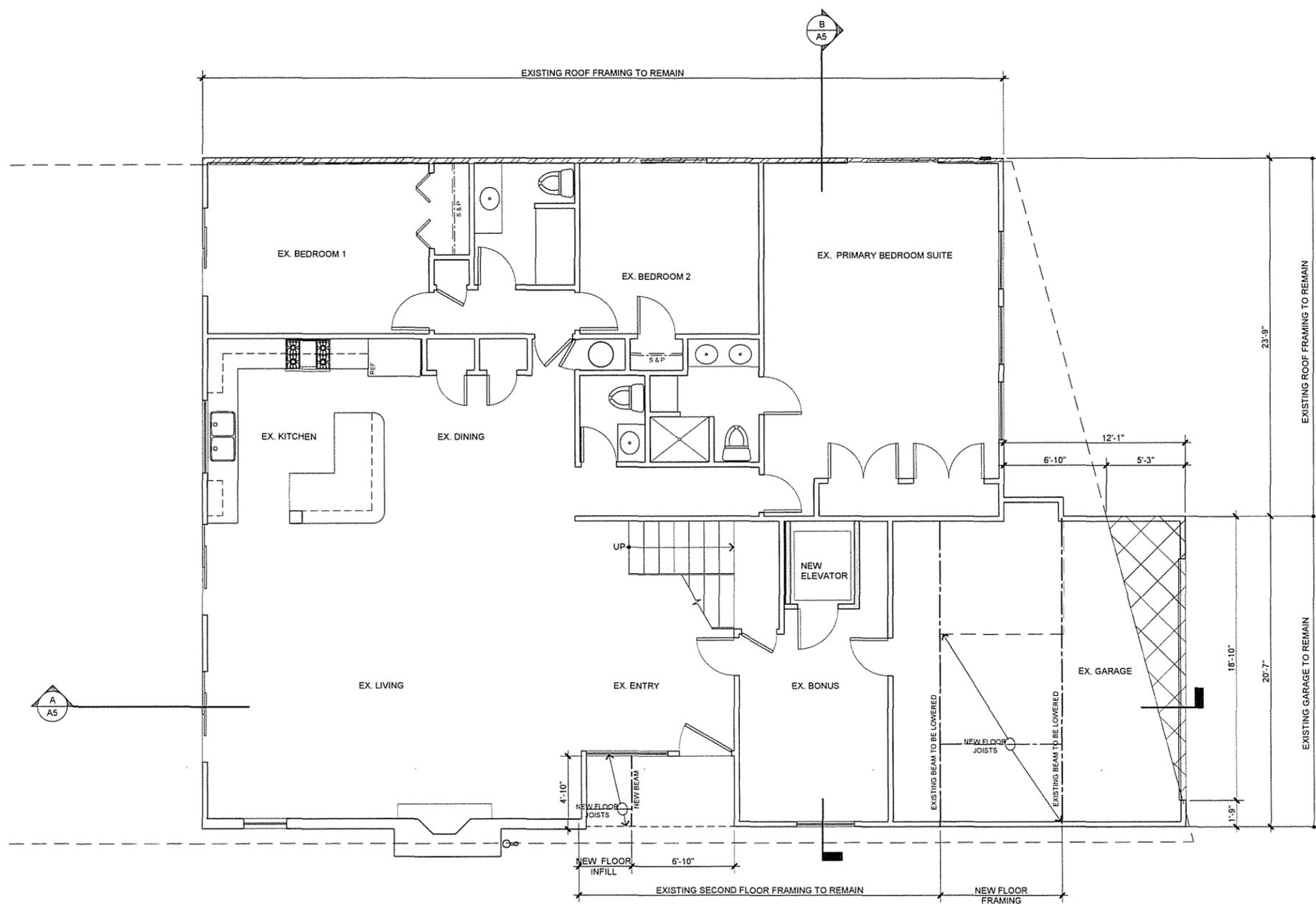
DATE MODIFIED: 9/12/22
 DRAWN BY: MCS
 JOB NUMBER: 2113
 DWG FILE: BS_PLAN

COPYRIGHT 2023. ALL INSTRUMENTS OF INTELLECTUAL SERVICE, ALL DESIGNS, CONCEPTS & CONFIGURATIONS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF COHN + ASSOCIATES AND ARE NOT TO BE USED WITHOUT WRITTEN PERMISSION. COHN + ASSOCIATES SHALL BE THE ARCHITECT OF RECORD FOR PROJECTS UTILIZING ALL OR PART OF THEIR DESIGNS.

BOAT RESIDENCE
 SOLANA BEACH, CALIFORNIA
 611 SEABRIGHT LANE

SUBMITTAL DATE	PURPOSE
8/1/22	DRP/SDP I
9/19/22	DRP/SDP II
2/1/23	DRP/SDP III
3/10/23	DRP/SDP IV
8/16/23	DRP/SDP V
9/12/23	DRP/SDP VI

DATE MODIFIED:	8/15/23
DRAWN BY:	GC
JOB NUMBER:	2113
DWG FILE:	BS_PLAN



WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"





CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH, CA 92075 • (858) 720-2400 • Fax (858) 720-2455

www.cityofsolanabeach.org

CITY OF SOLANA BEACH
View Assessment Commission Notice of Recommendation
Tuesday, June, 2023 - 6:00 P.M. Regular Mtg.

PROJECT CASE NO: DRP22-017/SDP22-015 Boat Residence

PROJECT LOCATION: 611 Seabright Lane, Solana Beach

APPLICANT NAME: John and Laura Boat

APPLICANT CONTACT: Gary Cohn, Cohn + Associates Architecture

PRESENT VAC MEMBERS: Matt Cohen, Robert Moldenhauer, Frank Stribling, Linda Najjar, Rich Villasenor and Pat Coad

STAFF MEMBERS: Joseph Lim, Community Development Director; Tim Campen, Assistant City Attorney; Katie Benson, Senior Planner; John Delmer, Junior Planner

ABSENT: Robert Zajac

ASSESSMENT FILED BY:

Name: Nick Wildgoose
Address: [REDACTED] North Cedros Avenue

PROJECT DESCRIPTION:

The Applicants are requesting the approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a second-story addition to a two-story single-family residence with an attached two-car garage. The following is a breakdown of the proposed floor area:

Existing First Floor Living Area	2,182 SF
Existing Second Floor Living Area	564 SF
Existing Garage	390 SF
Proposed Second Floor Living Area Addition	878 SF
<hr/> Subtotal	<hr/> 4,014 SF
JADU Conversion (1 st Floor)	- 466 SF
Required Parking Exemption	- 390 SF
<hr/> Total Floor Area Proposed	<hr/> 3,158 SF
Maximum Allowable Floor Area (SROZ)	3,769 SF

The 10,397 square-foot lot is located within the Low-Medium Residential (LMR) Zone. The project includes grading in the amount of 10 CY of excavation for footings to be exported off site. **The maximum building height of the proposed addition would be 25.0 feet above the existing and proposed grade (or 97.10 feet above MSL).** The project requires a DRP for an addition that would exceed 60% of the maximum allowable floor area for the property and a second floor that would exceed 35% of the floor area of the existing first floor.

VAC RECOMMENDATION:

The project was heard at the regularly scheduled, June 20, 2023, VAC meeting. After the Commissioners presented their findings Chair Cohen motioned to recommend denial of the project, seconded by Commissioner Coad. Motion passed 5/1/1 (No: Stribling, Absent: Zajac)

FINDINGS:

1. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the Claimants requesting view assessment. Written evidence of a good faith voluntary effort to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve view impairment issues.

Yes – The present VAC members found that written accounts and oral testimony at the public meeting showed that there had been a reasonable attempt by the Applicants to communicate.

2. The proposed structure does not significantly impair any view from public property (parks, major thoroughfares, bikeways, walkways, equestrian trails), which has been identified in the City's General Plan or City designated viewing areas.

Yes – The present VAC members found that the subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.

3. The proposed structure is designed and situated in such a manner as to minimize impairment of views.

Divided – Three out of the six participating VAC members found the proposed residence was not designed or situated to minimize impairment of views.

4. There is no significant cumulative view impairment caused by granting the application as proposed.

Yes – The present VAC members found that there would not be significant cumulative view impairment caused by granting the application if adjacent lots were allowed to construct a development of a similar size and height.

5. The proposed structure is compatible with the immediate neighborhood character.

Yes – The majority (5 of 6) of the present VAC members found that the proposed development is compatible with the immediate neighborhood character. The development would be compatible with the existing neighboring structures in terms of design, bulk, scale, height, and size.

VAC Vote:

Chair Cohen motioned to recommend denial of the project, seconded by Commissioner Coad. Motion passed 5/1/1 (No: Stribling, Absent: Zajac)

Issue Date of VAC Recommendation: June 20, 2023

For 

Corey Andrews, Principal Planner
Staff Liaison, View Assessment Committee



Matthew Cohen, Chair
View Assessment Committee

APR 24 2023

Community Development Dept
CITY OF SOLANA BEACH

APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)

Project No.: DRP22-017

1. Address of property for which the structure development permit has been requested:

611 Seabright Lane.
SOLANA BEACH.

2. Provide the following information for the individual filing this Application for Assessment:

Name: NICK WILDGOOSE
Address: [REDACTED] N CEDROS AVE S/B
Phone Number: [REDACTED]
Email: [REDACTED]

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment: Easterly view from my living room obscured.

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment: the western part and its height.

Reduce size and height of proposed addition.

5. Description of the Claimants attempt(s) to resolve this issue with the owner/representative of the property for which a Structure Development Permit has been requested: I have texted the owner my concerns.

[Signature]
Signature of Applicant for Assessment

4/24/23.
Date Submitted

STAFF USE ONLY:

Application for Assessment fee paid?

[Signature]

October 2, 2023

TO: City Council of Solana Beach
FROM: John and Laura Boat, 611 Seabright Lane, Solana Beach CA
RE: DRP22-017/SDP22-015 Boat Residence – 611 Seabright Lane, Solana Beach
HEARING DATE: October 11, 2023

Mayor Heebner and members of the Council:

We want to emphasize that we withdrew most of the project originally proposed. The 2nd story addition that was the subject of the view claim and VAC recommendation has been completely eliminated from the project. The remaining portion of the project has been shrunk so that it only involves a 119 sq ft addition over the existing garage and a 44 sq ft coffee deck. Nobody has ever mentioned or complained about these additions, not our neighbors, not the VAC, not the view claimant.

If you visit our house, the “peak roof” over the existing bathroom facing Seabright will be lowered/leveled-off to conform with the current height limit (correcting an existing legal non-conformance). The story poles on the sloped garage facing Seabright show the prior, larger, remodel idea that nobody complained about and was not the subject of the view complaint or VAC hearing. The current 119 sq ft extension is entirely within the existing story pole outline and WILL NOT extend past the existing bathroom wall.

Our original idea, that has been completely scrapped from this application, was: convert our downstairs master bedroom to a JADU to create a ground floor unit for an aging parent. Enlarge our existing top floor to create a replacement master bedroom and add 2 children’s bedrooms and laundry adjacent to the new master so that it would be a functional family house (parents in proximity to kids). The 2 existing small bedrooms downstairs would then become our offices (we work from home). Even though this project has been abandoned, we are told by staff that since the VAC took action and the view claimant has not withdrawn his claim, we still need to address the SDP:

A. STRUCTURE DEVELOPMENT PERMIT (SDP) / VIEW ASSESSMENT COMMISSION

1. The second story addition with new roof deck that was the subject of the view assessment claim by Nick Wildgoose of [REDACTED] N Cedros **HAS BEEN WITHDRAWN, IS NOT BEING PURSUED AND IS NO LONGER PART OF THIS PROJECT.**
2. The VAC recommendation of denial of our project was mostly due to the fact we were proposing a roof deck on the “new” northern 2nd floor addition and one member didn’t like the bulk of the new 2nd floor addition. **THE NEW SECOND FLOOR ADDITION HAS BEEN WITHDRAWN, IS NOT BEING PURSUED AND IS NO LONGER PART OF THIS PROJECT.**
3. We understand that Katie Benson provided the view claimant, Mr. Wildgoose, our revised plans and explained to Mr. Wildgoose that the “new” northern 2nd floor addition **HAS BEEN WITHDRAWN, IS NO LONGER BEING PURSUED AND IS NOT A PART OF THIS PROJECT,** but he has not withdrawn his view claim. Wildgoose advised us that he was filing his view claim to mete-out revenge against us because, in 2017/18, we objected to our ocean view being blocked by the initial plans of spec builder, Greg Agee, to build a new house at 607 North Cedros Avenue. Mr. Wildgoose’s correspondence to us on April 4, 2023 regarding the project was as follows:

4:29 **B**

68%

< **N** Nick Wildgoose Cedro... ▾ ⋮

Hi John, I received your application for building permits. I'm going to be submitting an application to block it on every level.
Nick Wildgoose
[redacted]n Cedros

3:48 PM

3:57 PM

Hey Nick, do you have any specifics we can address?

Karma is a fucking bitch bud.

3:59 PM

4:00 PM

Ok

You caused so many problems for my builder on my property. You should have thought ahead

4:00 PM

4:05 PM

Sorry you feel that way.

You are the reason I don't have an ocean view and am unable to burn wood in my fireplace outside. You can stick your story poles up your ass. That's all they'll be good for.

4:08 PM

4:18 PM

Wow. Ok.

At least you have the decency not to deny it.

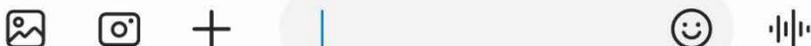
4:25 PM

4:26 PM

Really not feeling anything productive will come from this exchange.

Oh I disagree. There's so many productive things that are about to come. Just not for you.

4:29 PM



It's bizarre that Mr. Wildgoose somehow blames us for him not having an ocean view when he purchased the property already built, with no ocean view. As background, [REDACTED] N Cedros was purchased by spec builder Greg Agee in September, 2017. Mr. Agee filed a Project Application with the City of Solana Beach on October 16, 2017 and stated that he was the sole person with any financial interest in the property. When Mr. Agee finished the house, it was listed on the open market in October, 2020 and purchased by Mr. Wildgoose in November, 2020. As an aside, Mr. Agee's architect accompanied Mr. Wildgoose to the VAC hearing. In line with his express stated purpose of dishing out revenge against us, Mr. Wildgoose did not retract his view claim.

4. No portion of our current project, as revised, was the subject of the view claim or VAC meeting, so we are unsure what exactly we are supposed to talk about. Nobody – not the VAC, not Mr. Wildgoose, not any of our other neighbors – have ever mentioned, discussed or objected to the small additions that we are currently seeking. Nevertheless, I guess we still have to go through the “required findings”:

SDP REQUIRED FINDINGS:

First, The Council must find “the primary viewing area(s)...” As stated, there is nothing to find since we withdrew the objected portion of the project entirely. **So, the viewing area is “none.”**

- I. “The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.”

WE COMPLETELY REMOVED THE ENTIRE PART OF OUR PROJECT THAT WAS THE SUBJECT OF THE VIEW CLAIM. THERE IS NOTHING LEFT TO RESOLVE. WHEN APPROCHED BY THE VIEW CLAIMANT ABOUT HIS OBJECTIONS TO OUR ORIGINAL PLANS, OUR RESPONSE WAS “DO YOU HAVE ANY SPECIFICS WE CAN ADDRESS?” NO SPECIFICS WERE EVER PRESENTED. WE HAVE NOT HAD ANY COMMUNICATION WITH MR. WILDGOOSE SUBSEQUENT TO HIS TEXTS WITH THE IMPLIED THREATS. WE DO NOT KNOW MR. WILDGOOSE, BUT BASED ON INFORMATION WE GATHERED, THE ONLY ACTION WE HAVE TAKEN IN THIS REGARD IS TO INSTALL ADDITIONAL SECURITY CAMERAS AROUND OUR PROPERTY.

- II. “The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.”

WE COMPLETELY REMOVED THE ENTIRE PART OF OUR PROJECT THAT WAS THE SUBJECT OF THE VIEW CLAIM. THERE IS NOTHING LEFT. THERE IS NO IMPAIRMENT OF VIEW FROM PUBLIC PROPERTY.

- III. “The structure is designed and situated in such a manner as to minimize impairment of views.”

WE COMPLETELY REMOVED THE ENTIRE PART OF OUR PROJECT THAT WAS THE SUBJECT OF THE VIEW CLAIM. THERE IS NOTHING LEFT. THERE ARE NO VIEWS BEING IMPAIRED.

- IV. There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.

WE COMPLETELY REMOVED THE ENTIRE PART OF OUR PROJECT THAT WAS THE SUBJECT OF THE VIEW CLAIM. THERE IS NOTHING LEFT. THERE ARE NO VIEWS BEING IMPAIRED

- V. The proposed structure is compatible with the immediate neighborhood character.

WE'RE TRYING TO IMPROVE OUR EXISTING HOUSE TO REMOVE THE FUNKY NON-CONFORMING SLOPED ROOF OVER THE BATHROOM AND LESSEN THE IMPACT OF THE SEVERE SLOPING GARAGE ROOF SO THAT IT NOT SUCH AN EYESORE TO THE NEIGHBORHOOD. THE ADDITION IS MINOR.

B. DEVELOPMENT REVIEW PERMIT (DRP) / DEVELOPMENT REVIEW CRITERIA

We understand that there are criteria that need to be met for the DRP, which are listed below.

1. "Relationship with Adjacent Land Uses. The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects."

WE ARE ADDING 119 SQUARE FEET TO THE FRONT OF THE HOUSE AND A SMALL 44 SQ FT COFFEE DECK IN THE BACK. IN THE PROCESS WE WILL BE REMOVING THE NON-CONFORMING HEIGHT OF THE PART OF THE STRUCUTRE THAT IS ABOVE THE EXISTING BATHROOM. THE SIZE AND BULK OF OUR HOUSE WILL NOT CHANGE IN ANY SIGNIFICANT MANNER AND WILL BE SIMILAR OR SMALLER THAN MANY OTHER HOUSES ON OUR STREET.

2. Building and Structure Placement. Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.

WE ARE CONSTRUCTING ENTIRELY WITHIN THE EXISTING BUILDING FOOTPRINT.

3. Landscaping. The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.

WE ARE NOT DISTURBING ANY OF OUR EXISTING LANDSCAPING

4. Roads, Pedestrian Walkways, Parking, and Storage Areas. Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

WE ARE NOT CHANGING OUR EXISTING GARAGE OR EXISTING PARKING DRIVEWAY OR OFF-STREET PARKING AREAS.

5. Grading. To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

WE RE-DESIGNED AND SHRUNK OUR EXISTING REMODEL TO UTILIZE EXISTING BEAMS SO TO AVOID HAVING TO DO ANY MAJOR GRADING/EXCAVATING.

6. Lighting. Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).

WE ARE NOT PROPOSING ANY NEW EXTERNAL LIGHTING WITH THIS PROJECT. THERE IS NO GROUND-LEVEL CONSTRUCTION, ACCESS TO THE NEWLY CONSTRUCTED AREA IS FROM THE INSIDE OF OUR EXISTING HOUSE.

7. Usable Open Space. Recreational facilities proposed within required usable open space areas shall be located and designed to maintain essential open space values. Consideration shall be given to type and quantity of such uses, including but not limited to golf courses, picnic and barbecue areas, tot lots, open playing fields, swimming pools and spas, and court facilities.

THIS DOES NOT SEEM APPLICABLE TO OUR PROJECT.

We respectfully request the City Council approve the project as presented. Thank you for your time and consideration.

Sincerely,

John and Laura Boat



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for a DRP and SDP to Construct a Split-Level Single-Family Residence with an Attached Two-Car Garage and Perform Associated Site Improvements on a Vacant Lot Located at 256 Pacific Avenue. (Applicants: Charles and Krista Hester; Application: DRP22-018/SDP22-016; APN: 263-311-13; Resolution No. 2023-115)**

BACKGROUND:

The Applicants, Charles and Krista Hester, are requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to construct a 2,498 square-foot split-level single-family residence with an attached two-car garage and perform associated site improvements on a vacant lot located on the east side of Pacific Avenue at 256 Pacific Avenue. The project proposes 162 cubic yards of cut, 155 cubic yards of fill, 33 cubic yards of excavation for footings, 309 cubic yards of remedial grading, 49 cubic yards to be exported off site, for an aggregate grading total of 659 cubic yards. The maximum building height of the proposed addition would be 24.62 feet above the pre-existing grade (or 100.49 feet above Mean Sea Level (MSL)). The 5,000 square-foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The project meets three thresholds for the requirement of a DRP, including: 1) grading in excess of 100 cubic yards; 2) construction in excess of 60 percent of the maximum allowable floor area; and 3) construction of a second story that exceeds 35 percent of the floor area of the first floor. The project requires an SDP because the proposed development exceeds 16 feet in height above the pre-existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2023-115 (Attachment 1).

DISCUSSION:

The subject 5,000 square-foot vacant lot is located on the east side of Pacific Avenue and immediately north of 252 Pacific Avenue. The topography slopes gently down from Pacific Avenue to the rear (east) property line with an approximately 13-foot drop in elevation.

The Applicants are proposing to construct a split-level single-family residence with an attached two-car garage and perform associated site improvements including grading, drainage, hardscape, landscaping, fences and walls, a spa, a barbeque counter, and a firepit. The Applicants are also proposing a 258 square-foot attached Accessory Dwelling Unit (ADU) on the lower level that is not subject to the DRP or SDP, pursuant to SBMC Section 17.20.040(D). The ADU is shown voluntarily on the project plan, which is included in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicants' proposed design.

Table 1			
LOT INFORMATION			
Property Address:	256 Pacific Ave	Zoning Designation:	MR (5-7 du/ac)
Lot Size (Gross):	5,000 sf	# Units Allowed:	1 D/U, 1 ADU, 1 JADU
Max. Allowable Floor Area:	2,500 sf	# Units Ex/Proposed:	1 D/U, 1 ADU
Proposed Floor Area:	2,498 sf	Setbacks:	Required Proposed
Below Max. Floor Area by:	2 sf	Front (W)	25 ft 26 ft
Max. Allowable Height:	25.0 ft	Interior Side (N)	5 ft 6 ft
Max. Proposed Height:	24.62 ft	Interior Side (S)	5 ft 5 ft
Highest Point/Ridge:	100.49 MSL	Rear (E)	25 ft 25 ft
PROPOSED PROJECT INFORMATION			
Proposed Floor Area Breakdown:		Required Permits:	
Main Level Living Area	1,271 sf	DRP for grading in excess of 100 cubic yards, proposed total floor area to exceed 60% of maximum allowable, and for a second story in excess to 35% of the first floor.	
Upper Level Living Area	621 sf		
Lower Level Living Area	556 sf	SDP for addition in excess of 16 feet in height	
Main Level Garage	440 sf		
Lower Level Covered Area	10 sf		
Subtotal	2,898 sf	Existing Development: Vacant Lot	
Off-Street Parking Exemption	- 400 sf		
Total Proposed Floor Area:	2,498 sf		
Required/Proposed Parking: 2 (SFR) / 2 Garage			
Proposed Fences and Walls: Yes			
Proposed Accessory Structure: Yes			
Proposed Grading: 162 CY of cut, 155 CY of fill, 33 CY of excavation for footings, 309 CY of removal and recompaction (remedial), 49 CY to be exported off site, and an aggregate grading total of 659 CY			

Staff has prepared draft findings for approval of the project in the attached Resolution 2023-115 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2023-115.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the total proposed floor area would exceed 60 percent of the maximum allowable for the property. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2023-115 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The proposed project may be found consistent with the General Plan, which designates the property as Medium Density Residential and is intended for single- and multi-family residential development at a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the MR Zone for a wide range of residential development types including detached single-family and attached duplex units at the low end of the density range and multiple-family attached units at the higher end of the density range. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “d”, which requires 25-foot front and rear yard setbacks and 5-foot street and interior side yard setbacks. The proposed residence would be located entirely within the buildable area with allowable roof eave and detached accessory structure encroachments into permissible setbacks.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 5,000 square-foot lot is as follows:

$$\frac{0.50 \text{ for first } 6,000 \text{ ft}^2}{\text{Maximum Allowable Floor Area:}} \quad \frac{2,500 \text{ ft}^2}{2,500 \text{ ft}^2}$$

The Applicants are proposing to construct a split-level single-family residence that would include 2,448 square feet of living area, a 440 square-foot attached two-car garage, and a 10 square-foot exterior covered area. The project is afforded a floor area exemption for off-street parking. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 440 square-foot garage would accommodate two unobstructed parking spaces and two spaces are required for the single-family development; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable exemption, the total proposed floor area of the project would be 2,498 square feet, which is 2 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LMR Zone is 25 feet. The maximum height of the proposed residence would be 24.62 feet above the pre-existing grade with the highest portion of the structure to be at 100.49 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to

the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the proposed attached garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

The proposed project includes perimeter fences and walls to enclose the side and rear yards. There would be a wooden fence above a retaining wall located along the southern property line that would step with the grade and range in height from 42 inches to 8 feet. Six-foot high wooden fences would also be located along the northern and eastern property lines. There would be a 42-inch-high solid wooden fence with an additional 2 feet of open paneling located in the front yard setback along the southern property line and returning to the north, parallel to the front property line. The proposed fences and walls are in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is subject to the current Water Efficient Landscape Ordinance (WELo) of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. If the project is approved, the Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan and the WELo. In addition, the City's consultant will perform an inspection during the construction phase of the project to verify compliance.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 are listed below with further discussion as to how they relate to the proposed Project:

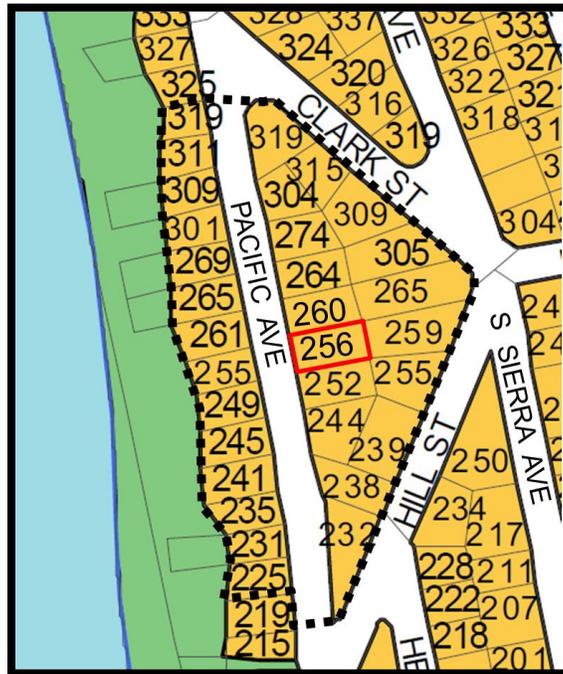
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The property and the surrounding neighborhood are located in the MR Zone and are developed with a mix and one-and two-story single-family residences.

Neighborhood Comparison:

Staff compared the proposed project to 29 nearby properties located on Pacific Avenue, Clark Street, and Hill Street, as shown on the following map:



The properties evaluated in this comparison are also located in the LMR Zone and are also part of the planned development constructed prior to the City's incorporation. The surrounding properties are developed primarily with single-family homes ranging in size from 840 square feet to 4,431 square feet. The existing square footage information is obtained through the County Assessor records. It should be noted that the County Assessor does not include garages, covered patios or enclosed exterior areas, accessory buildings, or unfinished basements in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the garage:

Project Gross Building Area:	2,898 ft ²
Delete Attached Garage:	-440 ft ²
Delete Covered Area:	-10 ft ²
Project Area for Comparison to Assessor's Data:	2,448 ft ²

Table 2, below, is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	304 Pacific Ave	4,100	2,468		2,050	MR
2	274 Pacific Ave	5,100	2,407		2,550	MR
3	264 Pacific Ave	5,000	2,296		2,500	MR
4	260 Pacific Ave	5,000	Vacant		2,500	MR
5	256 Pacific Ave	5,000	Vacant	2,448	2,500	MR
6	252 Pacific Ave	5,000	2,656		2,500	MR
7	244 Pacific Ave	5,500	2,370		2,750	MR
8	238 Pacific Ave	5,600	3,046		2,800	MR
9	232 Pacific Ave	7,400	2,664		3,245	MR
10	319 Clark St	6,400	840		3,070	MR
11	315 Clark St	4,200	1,108		2,100	MR
12	309 Clark St	6,791	Unavailable		3,138	MR
13	305 Clark St	6,900	3,025		3,158	MR
14	256 Hill St	7,500	976		3,263	MR
15	259 Hill St	7,666	4,431		3,292	MR
16	255 Hill St	5,700	1,670		2,850	MR
17	239 Hill St	7,700	3,086		3,298	MR
18	311 Pacific Ave	3,600	1,374		1,800	MR
19	309 Pacific Ave	4,000	2,852		2,000	MR
20	301 Pacific Ave	4,200	2,922		2,100	MR
21	269 Pacific Ave	4,400	3,036		2,200	MR
22	265 Pacific Ave	4,800	3,071		2,400	MR
23	261 Pacific Ave	4,800	3,023		2,400	MR
24	255 Pacific Ave	4,350	3,018		2,175	MR
25	249 Pacific Ave	4,400	1,364		2,200	MR
26	245 Pacific Ave	4,800	3,284		2,400	MR
27	241 Pacific Ave	5,100	3,004		2,550	MR
28	235 Pacific Ave	4,300	1,382		2,150	MR
29	231 Pacific Ave	3,800	2,751		1,900	MR
30	225 Pacific Ave	4,200	1,949		2,100	MR

Building and Structure Placement:

The proposed project would utilize the majority of the buildable area of the property with the main level of the proposed residence and the garage. The residence would have the appearance of a two-story home from the front of the property on Pacific Avenue with the second story located on the northwest corner of the buildable area. The residence would step down to the east to include a lower level along the east side of the buildable area.

The 1,271 square-foot main level would consist of an open living room, kitchen, and dining area, a bedroom with an ensuite bathroom, a laundry room, and a powder room. The dining room would open to an uncovered deck that would be enclosed on three sides and face the east. The living room would open to a covered patio on the west side of the residence and adjacent to the main entry. The main level would also include a 440 square-foot two-car garage. The 621 square-foot upper living area would consist of the primary suite. The 556 square-foot lower level living area would include a family room, a third bedroom, and a bathroom. The family room would open to the lower level patio in the rear yard that would include a spa, a barbeque and seating counter, and a firepit seating area.

Landscape:

The proposed landscape plan includes a variety of shrubs, grasses, and vines as well as an Australian Willow tree located in the northeast corner of the rear yard.

Should the City Council approve the project, the Applicants would be required to submit a landscape construction plan in substantial conformance with the planting plan presented to the City Council. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be consistent with the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the proposed garage, which would be accessed by a new driveway from Pacific Avenue on the northern side of the front yard. Pedestrian access would be located immediately south of the driveway to the main entrance of the residence and additional walkways would follow along both sides of the property and down to the rear yard. The trash enclosure would be located along the northern side yard.

Grading:

The Applicants are proposing 162 cubic yards of cut, 155 cubic yards of fill, 33 cubic yards excavation for footings, 309 cubic yards of remedial grading, 49 cubic yards to be exported off site, for an aggregate grading total of 659 cubic yards. The proposed cut is associated with the lower level of the residence that would be partially built into the existing slope. Of the total proposed cut, 26 cubic yards would be associated with the proposed ADU and is, therefore, not subject to the DRP approval. The proposed fill is associated with raising the grade to create a slab-on-grade pad for the proposed garage. The proposed grade would generally follow the existing topography down both sides of the residence.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a single-family residence with an attached garage on a vacant residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

Structure Development Permit Compliance (SBMC Chapter 17.63):

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63. A Story Pole Height Certification was certified by a licensed land surveyor on March 8, 2022, showing a maximum building height of 24.62 feet (96.37 feet above MSL) above the pre-existing grade and the highest point of the structure to be 100.49 feet above MSL. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by August 28, 2023. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.62 feet above the pre-existing grade and the highest point of the structure will not exceed 100.49 feet above the Mean Sea Level (MSL).

Property Frontage and Public Right-of-Way Improvements:

The existing public improvements along the property frontage consist of a shallow curb and old concrete sidewalk. If approved, the Applicants will be required to grind the pavement along the property line to expose a minimum of four inches of concrete curb.

Additionally, the Applicants will be required to remove and reconstruct any damaged sidewalk per City Standards.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on September 28, 2023, Staff has not received formal correspondence regarding the proposed project. However, Planning and Engineering Staff met with the adjacent neighbors at 259 Hill Street to discuss drainage options.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2023-115 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2023-115.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP and SDP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2023-115 conditionally approving a DRP and SDP to construct a 2,498 square-foot split-level single-family residence with an attached two-car garage and perform associated site improvements at 256 Pacific Avenue, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-115
2. Project Plans

RESOLUTION 2023-115

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO CONSTRUCT A 2,498 SQUARE-FOOT SPLIT-LEVEL SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 256 PACIFIC AVENUE, SOLANA BEACH.

APPLICANTS: CHARLES AND KRISTA HESTER
CASE NO.: DRP22-018/SDP22-016
APN: 263-311-13

WHEREAS, Charles and Krista Hester (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on October 11, 2023, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a 2,498 square-foot split-level single-family residence with an attached two-car garage and perform associated site improvements on a vacant lot located at 256 Pacific Avenue, is conditionally approved based upon the following Findings and subject to the following Conditions:
- III. FINDINGS
 - A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential and is intended for single- and multi-family residential development at a maximum density of five to seven dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the MR Zone for a wide range of residential development types including detached single-family and attached duplex units at the low end of the density range and multiple-family attached units at the higher end of the density range. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

The property is located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LMR Zone are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is "d", which requires 25-foot front and rear yard setbacks and 5-foot street and interior side yard setbacks. The proposed residence will be located entirely within the buildable area with allowable roof eave and detached accessory structure encroachments into permissible setbacks.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 5,000 square-foot lot is as follows:

0.50 for first 6,000 ft ²	2,500 ft ²
Maximum Allowable Floor Area:	2,500 ft ²

The Applicants are proposing to construct a split-level single-family residence that will include 2,448 square feet of living area, a 440 square-foot attached two-car garage, and a 10 square-foot exterior covered area. The project is afforded a floor area exemption for off-street parking. The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 440 square-foot garage will accommodate two unobstructed parking spaces and two spaces are required for the single-family development; therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the applicable exemption, the total proposed floor area of the project is 2,498 square feet, which is 2 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LMR Zone is 25 feet. The maximum height of the proposed residence would be 24.62 feet above the pre-existing grade with the highest portion of the structure to be at 100.49 feet above MSL. The proposed structures would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the proposed garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

The proposed project includes perimeter fences and walls to enclose the side and rear yards. There will be a wooden fence above a retaining wall

located along the southern property line that would step with the grade and range in height from 42 inches to 8 feet. Six-foot high wooden fences would also be located along the northern and eastern property lines. There will be a 42-inch-high solid wooden fence with an additional 2 feet of open paneling located in the front yard setback along the southern property line and returning wall to the north, parallel to the front property line. The proposed fences and walls are in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is subject to the current Water Efficient Landscape Ordinance (WELO) of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. If the project is approved, the Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan and the WELO. In addition, the City's consultant will perform an inspection during the construction phase of the project to verify compliance.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the MR Zone as are the properties located in the immediate surrounding neighborhood on Pacific Avenue, Hill Street, Clark Street, and North Sierra Avenue. Properties in the surrounding neighborhood are developed with one- and two-story single-family residences and multi-family developments.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The proposed project will utilize the majority of the buildable area of the property with the main level of the proposed residence and the garage. The residence will have the appearance of a two-story home from the front of the property on Pacific Avenue with the second story located in the northwest corner of the buildable area. The residence will step down to the east to include a lower level along the east side of the buildable area.

The 1,271 square-foot main level consists of an open living room, kitchen, and dining area, a bedroom with an ensuite bathroom, a laundry room, and a powder room. The dining room will open to an uncovered deck that would be enclosed on three sides and face the east. The living room will open to a covered patio on the west side of the residence and adjacent to the main entry. The main level will also include a 440 square-foot two-car garage. The 621 square-foot upper living area will consist of the primary suite. The 556 square-foot lower level living area will include a family room, a third bedroom, and a bathroom. The family room will open to the lower level patio in the rear yard that will include a spa, a barbeque and seating counter, and a firepit seating area.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The proposed landscape plan includes a variety of shrubs, grasses, and vines as well as an Australian Willow tree located in the northeast corner of the rear yard.

Should the City Council approve the project, the Applicants would be required to submit a landscape construction plan in

substantial conformance with the planting plan presented to the City Council. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces will be located within the proposed garage, which will be accessed by a new driveway from Pacific Avenue on the northern side of the front yard. Pedestrian access will be located immediately south of the driveway to the main entrance of the residence and additional walkways will follow along both sides of the property and down to the rear yard. The trash enclosure will be located along the northern side yard.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The Applicants are proposing 162 cubic yards of cut, 155 cubic yards of fill, 33 cubic yards excavation for footings, 309 cubic yards of remedial grading, 49 cubic yards to be exported off site, for an aggregate grading total of 659 cubic yards. The proposed

cut is associated with the lower level of the residence that would be partially built into the existing slope. Of the total proposed cut, 26 cubic yards is associated with the proposed ADU and is, therefore, not subject to the DRP approval. The proposed fill is associated with raising the grade to create a slab-on-grade pad for the proposed garage. The proposed grade will generally follow the existing topography down both sides of the residence.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a single-family residence with an attached garage on a vacant residential lot. Usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit, including the Structure Development Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicants shall obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63. A Story Pole Height Certification was certified by a licensed land surveyor on March 8, 2022, showing a maximum building height of 24.62 feet (96.37 feet above MSL) above the pre-existing grade and the highest point of the structure to be 100.49 feet above MSL. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by August 28, 2023. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.62 feet above the pre-existing grade and the highest point of the structure will not exceed 100.49 feet above the Mean Sea Level (MSL).

V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:
- I. The Applicants shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.
 - II. The Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on October 11, 2023, and located in the project file with a submittal date of October 2, 2023.
 - III. Prior to requesting a framing inspection, the Applicants shall be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with City Council approval on October 11, 2023, and that the maximum height of the proposed addition will not exceed 24.62 feet above the pre-existing grade or 100.49 feet above MSL, which is the maximum

proposed structure height and the tallest portion of the structure reflected on the project plans.

- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. The Applicants shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on October 11, 2023, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicants shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied and the installation has passed inspection by the City's third-party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on Pacific Avenue and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.
- IV. Pursuant to SBMC 17.68.040 subsection K, the signed final

development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Engineering Department Conditions:

- I. The Applicants shall obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the below frontage improvements being done in the public right-of-way. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - a. Grinding of AC pavement to expose 4" concrete curb along the property frontage with transitions to the existing improvements on both ends to the satisfaction of the City Engineer.
 - b. Construction of the D.G. pathway along the frontage of the property.
 - c. Construction of any damaged sidewalk panels or curb/gutter as directed by the City Inspector.
 - d. Construction of the SDRSD modified driveway approach.
 - e. Proposed trench resurfacing for utilities.
- II. Per current rates, the Applicants shall pay in full the one-time sewer capacity fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit Issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed ADU unit would increase the property's EDU assignment by 0.8 EDU. The cost the Applicants are responsible for is \$3,600.00 concurrently with Building Permit Issuance (0.8 EDU multiplied by \$4,500.00).
- III. Please be advised that this project will be required to record a covenant against the property acknowledging that the property owners will not oppose formation of an assessment district for undergrounding of the overhead utilities.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.

- V. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VI. Grading:
- a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicants shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicants shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
 - d. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
 - e. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.

- f. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicants shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicants shall obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- i. The Applicants shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicants. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- k. The Applicants shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.
- n. Prior to the foundation inspection, the Applicants shall submit a building pad certification statement from a soils engineer and an

engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.

C. Fire Department Conditions:

- I. POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”: Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.3 and 503.4.3.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- III. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4” high with a ½” inch stroke width for residential buildings, 8” high with a ½” stroke for commercial and multi-family residential buildings, 12” high with a 1” stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.
- IV. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.
- V. Class “A” Roof: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-

mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 11th day of October, 2023, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –

ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



PACIFIC AVE

256 Pacific Ave, Solana Beach, CA 92075

AREA TABULATION

LOT INFORMATION:
 LOT SIZE: 5,000 SF
 FLOOR AREA RATIO: CALCULATION PER SROZ

0.5 (FIRST 6,000 SF)	2,500 SF
0.175 (FROM 6,001 SF - 15,000 SF)	0 SF
0.1 (FOR 15,000 SF - 20,000 SF)	0 SF
ALLOWABLE GFA:	2,500 SF

DEMOLITION:
 NO EXISTING STRUCTURE: 0 SF
 SUBTOTAL: 0 SF

PROPOSED AREAS:

AREA CALCULATIONS:

MAIN LEVEL LIVING	1,271 SF
UPPER LEVEL LIVING AREA	621 SF
LOWER LEVEL LIVING AREA	556 SF
MAIN LEVEL GARAGE	440 SF
LOWER LEVEL COVERED AREA	10 SF
SUBTOTAL	2,898 SF
OFF STREET PARKING EXEMPTION	-400 SF
TOTAL PROPOSED FLOOR AREA	2,498 SF
MAXIMUM FLOOR AREA ALLOWED	2,500 SF

ACCESSORY DWELLING UNIT (ADU) 258 SF

PROJECT DATA

PROJECT NAME: 256 PACIFIC AVE
 OWNER: CHARLES & KRISTA HESTER
 PROJECT ADDRESS: 256 PACIFIC AVE, SOLANA BEACH CA 92075
 A.P.N.: 263-311-13
 LEGAL DESCRIPTION: BLK 20*LOT 14* ACCORDING TO MAP NO.001749
 BASE ZONE: MR
 GEOLOGICAL HAZARD: _____
 REQUIRED SETBACKS: FRONT: 25' REAR: 25' SIDE (EXTERIOR): 5' SIDE (STREET): 5'
 EASEMENTS: SEE SITE PLAN
 REQUIRED PERMITS: DESIGN REVIEW PERMIT STRUCTURAL DEVELOPM. PERMIT BUILDING PERMIT
 BUILDING CODE(S): 2019 CBC
 CONSTRUCTION TYPE: VB
 OCCUPANCY: R-3
 EXISTING BUILDING AGE: NO EXISTING BUILDING
 SPRINKLERS: YES
 STORIES: 3
 PROPOSED HEIGHT: 21'-9"

SHEET INDEX

AD-1	TITLE SHEET
C-1	EXISTING CONDITIONS
C-2	PRELIMINARY GRADING PLAN
C-3	CIVIL DETAILS
C-4	AC PAVE & GRIND EXHIBIT
A1-1	ARCHITECTURAL SITE PLAN
A1-4	SITE SECTIONS
A1-3	AREA DIAGRAMS AND CALCULATIONS
A1-4	STORY POLE PLAN
A2-0	LOWER LEVEL FLOOR PLAN
A2-1	MAIN LEVEL FLOOR PLAN
A2-2	UPPER LEVEL FLOOR PLAN
A2-4	ROOF PLAN
A3-1	EXTERIOR ELEVATIONS
A3-2	EXTERIOR ELEVATIONS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE WATER CALCULATIONS

TOTAL EARTHWORK INFORMATION:

CUT:	162 CY
FILL:	155 CY
EXPORT:	69 CY
MAX CUT HEIGHT:	5.4'
MAX FILL HEIGHT:	5.2'
FOOTINGS:	62 CY

ADU EARTHWORK INFORMATION:

CUT:	26 CY
FILL:	0 CY
EXPORT:	0 CY
MAX CUT HEIGHT:	5.4'
MAX CUT FILL:	5.2'
FOOTINGS:	9 CY

LANDSCAPE INFORMATION:

NON-LANDSCAPED AREA:	0 SF	EXISTING	3,375 SF	PROPOSED
NON-IRRIGATED LANDSCAPE:	0 SF		0 SF	
IRRIGATED LANDSCAPE:	0 SF		1,668 SF	
DECORATIVE HARDSCAPE:	0 SF		841 SF	
TOTAL LOT AREA:			5,000 SF	

AREA OF WORK

IRRIGATED LANDSCAPE:	1,668 SF
DECORATIVE HARDSCAPE:	841 SF
AGGREGATE LANDSCAPE AREA:	1,625 SF

	ADU	NON-ADU PROJECT SCOPE	TOTAL GRADING
CUT	26 CY	136 CY	162 CY
FILL	0 CY	155 CY	155 CY
EXCAVATION FOR FOOTINGS (CUT)	9 CY	53 CY	62 CY
REMOVAL/RECOMPACTION	0 CY	309 CY	309 CY
AGGREGATE	35 CY	653 CY	688 CY
IMPORT/EXPORT	35 CY	34 CY	69 CY

project title
PACIFIC AVE
 256 PACIFIC AVE, SOLANA BEACH CA 92075



Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916

TITLE SHEET
 sda ARCHITECTS

job no. **2147**
 date
 12/20/2022 PLANNING PERMIT SUB II
 2/25/2023 PLANNING PERMIT SUB III
 5/12/2023 PLANNING PERMIT SUB IV
 7/10/2023 STORY POLE CERT
 7/31/2023 PLANNING PERMIT SUB V
 10/2/2023 CITY COUNCIL MTG
 sheet **A0-1**

ABBREVIATIONS

(E) EXISTING	CONC CONCRETE	FLR SNK FLOOR SINK	MIN MINIMUM	RAG RETURN AIR GRILLE	STRUCT STRUCTURAL
ABV ABOVE	CONT CONTINUOUS	FLSHG FLASHING	MIR MIRROR	RB RESILIENT BASE	SUSP SUSPENDED
AC ACOUSTICAL	CORR CORRIDOR	FO FACE OF	MNT MOUNTED	RCP REFLECTED CEILING PLAN	SELF-ADHERING WATERPROOF
ACC ACCESSIBLE	CPT CARPET	FR FRENCH DOOR	MO MASONRY OPENING	RD ROOF DRAIN	MEMBRANE
ACT ACOUSTICAL CEILING TILE	CTR CENTER	FRP FIBER REINFORCED PLASTIC	MS MOP SINK	RE-SAWN RECESSED	T&G TONGUE & GROOVE
AD AREA DRAIN	DBL DOUBLE	FS FINISH SURFACE	MTL METAL	RECS S'D RECESSED	TB TOWEL BAR
ADA AMERICANS W/ DISABILITIES ACT	DF DRINKING FOUNTAIN	FT FOOT OR FEET	MTR METER	REF REFERENCE	TEL TELEPHONE
ADDL ADDITIONAL	DIA DIAMETER	FTG FOOTING	MTRL MATERIAL	REFL REFLECTED	THRESH THRESHOLD
ADJ ADJUSTABLE	DS DOWNSPOUT	FRJRR FURRING	MULL MULLION	REFRIG REFRIGERATOR	TO TOP OF
AFF ABOVE FINISH FLOOR	DTL DETAIL	GA GAUGE	NIC NOT IN CONTRACT	REQD REQUIRED	TPH TOILET PAPE HOLDER
ALUM ALUMINUM	DWG DRAWING	GALV GALVANIZED	NOM NOMINAL	RES RESILIENT	TUBE STEEL
AN ANODIZED	EA EACH	GALV GALVANIZED	NTS NOT TO SCALE	RFG ROOFING	TYP TYPICAL
AP ACCESS PANEL	EJ EXPANSION JOINT	GC GENERAL CONTRACTOR	OI OVER	RM ROOM	UNO UNLESS NOTED OTHERWISE
APPROX APPROXIMATE	EL ELEVATION	GL GLASS	OFL OVERFLOW DRAIN	RMC RECESSED MEDICINE CABINET	VAV VARIABLE AIR VOLUME
ASYM ASYMMETRICAL	ELEC ELECTRICAL	GYP GYPSUM	OC ON CENTER	RO ROUGH OPENING	VCT VINYL COMPOSITION TILE
BATT BATTING	EMER EMERGENCY	HB HOSE BIBB	OD OUTSIDE DIAMETER	RP RAISED PANEL	VERT VERTICAL
BD BOARD	EP ELECTRICAL PANEL	HC HOLLOW CORE	OPNG OPENING	RR RESTROOM	VIF VERIFY IN FIELD
BLDG BUILDING	EQ EQUIPMENT	HD HOT DIPPED	OPP OPPOSITE	SC SOLID CORE	W WIDTH
BLW BELOW	EQPT EQUIPMENT	HM HOLLOW METAL	OSCI OWNER SUPPLIED CONTRACTOR	SCHED SCHEDULE	W/ WITH
BM BEAM	EX EXISTING	HORIZ HORIZONTAL	INSTALLED	SECT SECTION	W/O WITHOUT
BO BOTTOM OF	EXT EXTERIOR	HR HOUR	OVHD OVERHEAD	SHT SHEET	WC WATER CLOSET
BTWN BETWEEN	FAC FAC	ID INSIDE DIAMETER	PART PARTITION	SHT SHEATHING	WD WOOD
BUR BUILT-UP ROOFING	FAC FIN FAC FINISH	IN INCHES	PLAM PLASTIC LAMINATE	SHTG SHOWER	WH WATER HEATER
BYD BEYOND	FAU FORCED AIR UNIT	INSUL INSULATION	PLSTR PLASTER	SIMR SIMILAR	WR WATER RESISTANT
CAB CABINET	FC FIBER CEMENT	INT INSULATION	PLT PLATE	SIP STRUCTURAL INSULATED PANEL	
CEMT CEMENTITIOUS	FD FLOOR DRAIN	INT INTERIOR	PLYWD PLYWOOD	SMF SHEET METAL FLASHING	
CIP CAST IN PLACE	FE FIRE EXTINGUISHER CABINET	JST JOIST	PNT PAINT(ED)	SPEC SPECIFICATION	
CJ CONTROL JOINT	FF FINISH FLOOR	LAV LAVATORY SINK	PR PAIR	SS STAINLESS STEEL	
CL CENTER LINE	FG FINISH GRADE	MANUF MANUFACTURER	PREFIN PRE-FINISHED	SSG STRUCTURAL SILICONE GLAZED	
CLG CEILING	FN FINISH	MAX MAXIMUM	PHOTOVOLTAIC	STD STANDARD	
CMU CONCRETE MASONRY UNIT	FL FLUORESCENT	MDF MEDIUM DENSITY FIBERBOARD	PWDR POWDER	STL STEEL	
CNTR COUNTER	FLR FLOOR	MECH MECHANICAL	R RADIUS		

DRAFTING SYMBOLS

0	DRAWING TITLE	-----	ABOVE, BELOW, OR HIDDEN
0	GRID LINES	○	CUTLINE
1	BUILDING SECTION	○	DOOR IDENTIFIER
1	WALL OR DETAIL SECTION	◇	WINDOW IDENTIFIER
1	DETAIL CALLOUT	○	MATERIAL IDENTIFIER
1	EXT/INT ELEVATIONS	F01	FIXTURE IDENTIFIER
1		01.01	KEYNOTE
1		RI	REVISION CLOUD/CALLOUT
1		+	DATUM POINT
1		EL 99.99	ELEVATION
1		+	SLAB STEP
1		N	NORTH ARROW

PROJECT TEAM

ARCHITECT	STEPHEN DALTON ARCHITECTS 444 S CEDROS AVE, STUDIO 190 SOLANA BEACH, CA 92075 858.792.5906
SURVEY	METROPOLITAN MAPPING 3712 30TH STREET SAN DIEGO, CA 92104 619-431-5250
CIVIL	SAMPO ENGINEERING INC. 171 SAXONY ROAD, SUITE 213 ENCINITAS, CA 92024 760-436-0660
LANDSCAPE	GEORGE MERCER 990 SEACOAST DRIVE, SUITE 20 IMPERIAL BEACH, CA 91932 619-882-2499
SOILS	CHRISTIAN WHEELER ENGINEERING 3980 HOME AVE SAN DIEGO, CA 92105 619-550-1700
STRUCTURAL	

SCOPE OF WORK

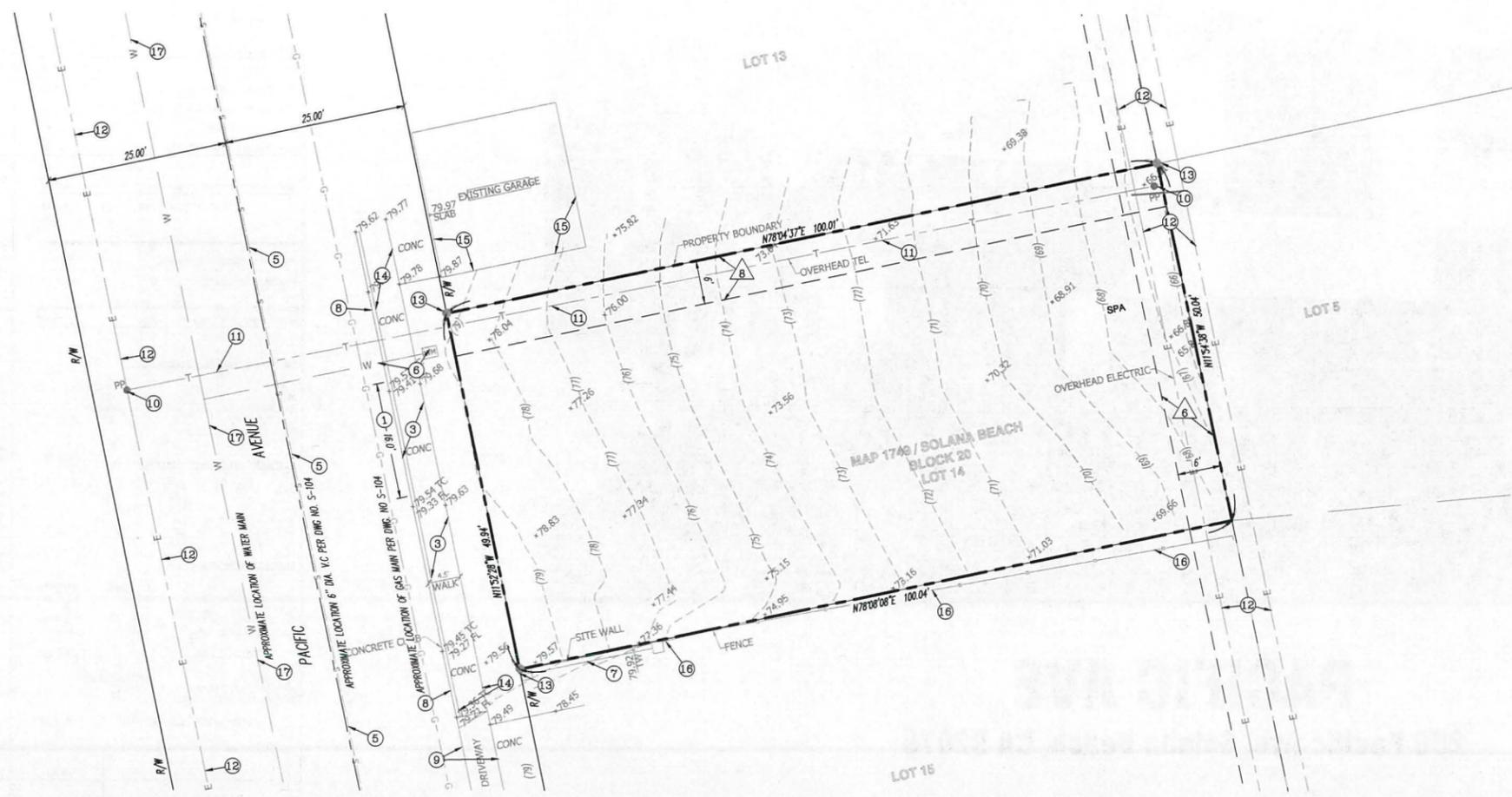
CONSTRUCTION OF A NEW 2 STORY SINGLE FAMILY DWELLING WITH BASEMENT, (1) ACCESSORY DWELLING UNIT AND ASSOCIATED GRADING AND LANDSCAPING ON AN UNDEVELOPED LOT.

VICINITY MAP

Attachment 2

OWNER: CHARLES SCOTT HESTER AND KRISTA BADOCDO HESTER
 SITE ADDRESS: PACIFIC AVENUE (LOT 14-VACANT LAND), SOLANA BEACH, CA 92075
 ASSESSOR'S PARCEL NO.: 263-311-13
 LEGAL DESCRIPTION: LOT 14 IN BLOCK 20 OF SOLANA BEACH, ACCORDING TO MAP THEREOF NO. 1749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 5, 1923.
 DATE OF SURVEY: 12-29-21
 VERTICAL BENCHMARK: CITY OF SOLANA BEACH SURVEY CONTROL MONUMENT ID: SOLB-1
 DATUM: NAVD 88 ELEVATION: 71.450 FEET

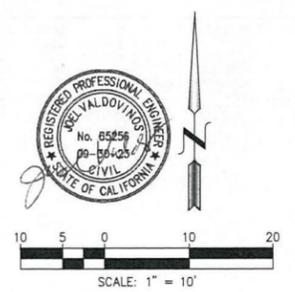
NOTES:
 1. EXISTING TOPOGRAPHY SHOWN HEREON PROVIDED BY METROPOLITAN MAPPING, INC.
 2. EASEMENTS BELOW LISTED IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER DV-6541362, DATED APRIL 2, 2021.
 3. GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO: BOOK 1906, PAGE 345, OF DEEDS AFFECTS: THE EASTERLY 6 FEET OF LOT 14 (PLOTTED HEREON)
 4. GRANTED TO: SANTA FE IRRIGATION DISTRICT PURPOSE: WATER MAINS RECORDING NO: BOOK 1115, PAGE 402, OF DEEDS AFFECTS: LOCATION CANNOT BE DETERMINED
 5. GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY PURPOSE: SUSPENDED WIRES RECORDING NO: 81-134824, O.R. AFFECTS: THE NORTHERLY 6 FEET OF LOT 14 (PLOTTED HEREON)
 6. IF ANY MONUMENT IS DISTURBED OR DESTROYED IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD SHALL BE FILED WITH THE COUNTY PRIOR TO RELEASE OF OCCUPANCY.



LEGEND

	PROPERTY LINE
	CENTER LINE
	RIGHT OF WAY
	FOUND BOUNDARY MONUMENT
	EDGE OF CONCRETE
	CONCRETE CURB
	CMU WALL
	CONCRETE
	SEWER LINE
	WATER LINE
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELECOMM LINE
	FENCE
	SPOT ELEVATION
	EXISTING CONTOURS

- KEY NOTES:
- DEMOLISH/PROTECT IN-PLACE ○
- DEMOLISH ±16 LF OF EXISTING CURB
 - NOT USED
 - REMOVE AND REPLACE PCC SIDEWALK ALONG PROPERTY FRONTAGE
 - NOT USED
 - PROTECT SEWER MAIN IN-PLACE
 - PROTECT WATER SERVICE & WATER METER IN-PLACE AND REUSE IF FEASIBLE FOR THE NEW RESIDENCE
 - PROTECT RETAINING WALL IN-PLACE
 - PROTECT CURB IN-PLACE
 - PROTECT CONCRETE DRIVEWAY IN-PLACE
 - PROTECT POWER POLE IN-PLACE
 - PROTECT OVERHEAD TELECOMM LINE IN-PLACE
 - PROTECT OVERHEAD ELECTRIC LINE IN-PLACE
 - PROTECT SURVEY MONUMENT IN-PLACE. SEE NOTE NO. 3
 - PROTECT CONCRETE SIDEWALK IN-PLACE
 - PROTECT BUILDING IN-PLACE
 - PROTECT FENCE IN-PLACE
 - PROTECT WATER MAIN IN-PLACE



PRELIMINARY GRADING PLAN

OWNER: CHARLES SCOTT HESTER AND KRISTA BADOCOCO HESTER

SITE ADDRESS: PACIFIC AVENUE (LOT 14-VACANT LAND), SOLANA BEACH, CA 92075

ASSESSOR'S PARCEL NO.: 263-311-13

LEGAL DESCRIPTION: LOT 14 IN BLOCK 20 OF SOLANA BEACH, ACCORDING TO MAP THEREOF NO. 1749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 5, 1923.

DATE OF SURVEY: 12-29-21

VERTICAL BENCHMARK: CITY OF SOLANA BEACH SURVEY CONTROL MONUMENT ID: SOLB-1

DATUM NAVD 88 ELEVATION: 71.450 FEET

IMPERVIOUS AREA CALCULATIONS:

EXISTING TOTAL IMPERVIOUS AREA	8.57
EXISTING TOTAL PERVIOUS AREA	5,000.57
PROPOSED TOTAL IMPERVIOUS AREA	3,053.57
PROPOSED TOTAL PERVIOUS AREA	1,947.57
PROPOSED INCREASE IN IMPERVIOUS AREA	3,050.57

CONSTRUCTION NOTES:

- EXISTING TOPOGRAPHY SHOWN HEREON PROVIDED BY METROPOLITAN MAPPING, INC.
- ALL ON-SITE STORM DRAIN AND BMP AREAS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- WALL ELEVATIONS SHOWN HEREON MAY VARY DURING CONSTRUCTION DUE TO EXISTING GRADES AND SOIL ENGINEER RECOMMENDATIONS. SOIL ENGINEER SHALL DETERMINE FINAL WALL FOOTING DEPTHS.
- ROOF DOWNSPOUTS TO BE DISCHARGED INTO LANDSCAPE AREAS PRIOR TO DISCHARGE TO THE SATISFACTION OF THE CITY ENGINEER. WATER SHALL NOT BE ALLOWED TO POOL ON SITE AND SHALL NOT DRAIN TOWARD BUILDING FOUNDATIONS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR IMPLEMENTING ANY AND ALL TYPES OF SHORING SYSTEMS THAT MAY BE NECESSARY IN ORDER TO EXCAVATE FOR STRUCTURES, RETAINING WALLS, UTILITIES, AND PRIVATE SEWER SHOWN HEREON. THE SOILS ENGINEER SHOULD BE CONSULTED FOR SHORING AND STABILIZATION RECOMMENDATIONS PRIOR TO CONSTRUCTION. A BUILDING PERMIT IS REQUIRED FOR ALL SHORING.
- CONTRACTOR TO REUSE THE EXISTING WATER SERVICE CURRENTLY IN-USE IF FEASIBLE.
- ANY DAMAGED CURB AND GUTTER AS RESULT OF THE CONSTRUCTION IS TO BE RECONSTRUCTED AND REPLACED.
- THE INFORMATION SHOWN ON THIS PLAN, INCLUDING DESIGN DETAILS, CONSTRUCTION NOTES AND OTHER PROPOSED IMPROVEMENTS ARE CONCEPTUALLY REVIEWED BY THE CITY AS PART OF THE DISCRETIONARY APPROVAL OF THE PROJECT. A MORE DETAILED AND COMPREHENSIVE REVIEW WILL BE PERFORMED BY THE CITY AS PART OF THE CONSTRUCTION PERMIT PROCESS.
- CONCRETE SURFACE SHALL NOT BE LESS THAN 4" PCC OVER 2" CLEAN SAND REINFORCED WITH NO. 3 BARS AT 18" O.C. IN BOTH DIRECTIONS OVER RECOMPACTED NATIVE SUBGRADE SOIL, UNLESS DETERMINED OTHERWISE BY SOIL ENGINEER. JOINTS AND REINFORCEMENT PER SOIL ENGINEER.
- ANY DAMAGED OR BROKEN SIDEWALK PANELS ARE TO BE REMOVED AND RESTRICTED PER THE CITY INSPECTOR.

GRADING QUANTITIES:

CUT	FILL
UNDER ADU	26 CY
UNDER RESIDENCE	56 CY
OUTSIDE STRUCTURE	80 CY
ADU FOOTING	9 CY
MAIN RESIDENCE FOOTING	33 CY
CMU RETAINING WALL FOOTING	20 CY
TOTAL	224 CY

EARTHWORK QUANTITIES OF OVERALL SITE:

CUT:	224 CY	MAX CUT:	5.4 FT
FILL:	155 CY	MAX FILL:	5.2 FT
EXPORT:	69 CY		
REMEDIAL:	309 CY (3.0' REMOVAL AND RECOMPACTION UNDER, AND 5' OUTSIDE OF BUILDING AREAS UNO BY SOIL ENGINEER)		

EASEMENT NOTES:

EASEMENTS BELOW LISTED IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER D41-6541362, DATED APRIL 2, 2021.

6. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO. BOOK 1906, PAGE 345, OF DEEDS AFFECTS: THE EASTERLY 6 FEET OF LOT 14 (PLOTTED HEREON)

7. GRANTED TO SANTA FE IRRIGATION DISTRICT PURPOSE: WATER MAINS RECORDING NO. BOOK 1115, PAGE 402, OF DEEDS AFFECTS: LOCATION CANNOT BE DETERMINED

8. GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY PURPOSE: SUSPENDED WIRES RECORDING NO. 61-134824, O.R. AFFECTS: THE NORTHERLY 6 FEET OF LOT 14 (PLOTTED HEREON)

ABBREVIATIONS:

- BW: BOTTOM OF WALL
- HP: HIGH POINT
- EG: EXISTING GRADE
- FG: FINISH GRADE
- FL: FLOW LINE
- FS: FINISH SURFACE
- IE: INVERT ELEVATION
- TC: TOP OF CURB
- TG: TOP OF GRADE
- TM: TOP OF WALL
- TF: TOP OF FENCE

NOTE: ANY DAMAGED OR BROKEN SIDEWALK PANELS ARE TO BE REMOVED AND RESTRICTED PER THE CITY INSPECTOR.

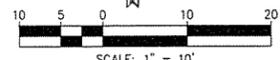
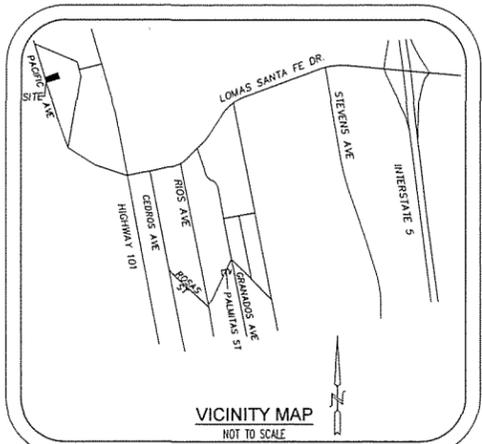
NOTE: GRIND AND OVERLAY AC PAVEMENT TO EXPOSE 4" CURB AND GUTTER

SEE DETAIL G ON SHEET 3 FOR THE WALL AND FENCE ELEVATIONS.

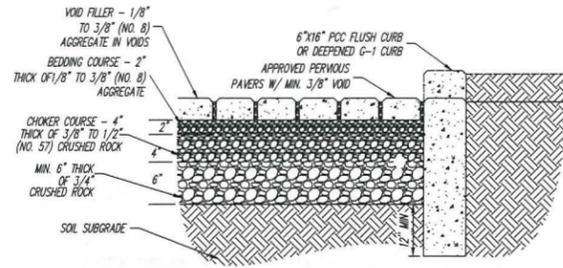
SEE DETAIL G ON SHEET 3 FOR THE WALL AND FENCE ELEVATIONS.

LEGEND	SYMBOL
PROPERTY BOUNDARY	---
PROPERTY LINE	---
EASEMENT LINE	---
PROPOSED CONTOUR	---(146)---
PROPOSED ELEVATION	146.00
DAYLIGHT LINE/SANOUT LINE	--- --- ---
DIRECTION OF FLOW	--->---
CONCRETE PAVEMENT	---[]---
BIO-BASIN/FLOW THROUGH PLANTER	---[]---
PRIVATE GRANTY STORM DRAIN PIPE	---SD---
PRIVATE SUB-DRAIN PIPE	---SUB---
PRIVATE AREA DRAIN CATCH BASIN	---CB---
CMU RETAINING WALL	---[]---
BUILDING WALL	---[]---
PERMEABLE PAVEMENT SURFACE	---[]---
RIP-RAP ENERGY DISSIPATER	---[]---
TRENCH DRAIN	---[]---
TRENCH RESURFACING	---[]---
PRESSURE SEWER PIPE	---PS---
SEWER LATERAL	---S---
SEWER SLUMP PUMP	---[]---
SEWER POC	---[]---
DOWNSPOUT	---[]---

- NEW IMPROVEMENTS**
- PROPOSED RESIDENCE PER ARCHITECT'S PLANS
 - PROPOSED GARAGE PER ARCHITECT'S PLANS
 - PROPOSED CONCRETE PATH ON GRADE. SEE CONSTRUCTION NOTE NO. 9
 - PROPOSED CONCRETE DRIVEWAY PER SORSO G-14
 - PROPOSED PERMEABLE PAVEMENT PATIO PER DETAIL "A" ON SHEET 3
 - PROPOSED PCC FLUSH CURB PER DETAIL "A" ON SHEET 3
 - PROPOSED 3" CONCRETE SQUARES WITH ARTIFICIAL TURF PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED 5.5 FEET HIGH FENCE PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED FIRE PIT PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED SPA PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED BBQ PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED BENCH PER ARCHITECT'S PLAN
 - PROPOSED CONCRETE SURFACE. SEE CONSTRUCTION NOTE NO. 9
 - PROPOSED STAIRS ABOVE GRADE PER ARCHITECT'S PLANS
 - PROPOSED 5" WIDE BY 6" HIGH NEUR CUT OUT OF TOP WALL FOR DRAINAGE BOTTOM OF WEIR FLOW LINE @ 68.0 ELEVATION
 - PROPOSED CMU RETAINING WALL PER SORSO C-1
 - PROPOSED TRENCH RESURFACING
 - PROPOSED CONCRETE PATH PER ARCHITECT'S PLAN
 - PROPOSED RESIDENCE'S SECOND LEVEL PER ARCHITECT'S PLANS
 - PROPOSED WOOD FENCE PER LANDSCAPE ARCHITECT'S PLANS
 - PROPOSED DECOMPOSED GRANITE PATH
 - PROPOSED TRASH/RECYCLE ENCLOSURE
 - PROPOSED ADU PER ARCHITECT'S PLAN
 - PROPOSED CMU RETAINING WALL PER SORSO C-3
 - PROPOSED CMU SORSO C-5
 - PROPOSED CONCRETE STEPS
- STORM DRAIN/WATER QUALITY**
- PROPOSED TRENCH DRAIN
 - PROPOSED PRIVATE STORM DRAIN PVC PIPE @ 1% MIN. SLOPE
 - PROPOSED PERFORATED STORM DRAIN PIPE @ 1% MIN. SLOPE
 - PROPOSED PRIVATE CATCH BASIN BY NDS OR APPROVED EQUAL
 - PROPOSED (83 SF) BIO-RETENTION BASIN
 - PROPOSED (68 SF) FLOW THROUGH PLANTER PER DETAIL "C" ON SHEET 3
 - PROPOSED RIP-RAP ENERGY DISSIPATER
 - PROPOSED 24" WIDE VEGETATED DRAINAGE SWALE PER DETAIL "B" ON SHEET 3
 - PROPOSED OVERFLOW PIPE
 - PROPOSED PERFORATED STORM DRAIN PIPE OVERFLOW OUTLET PIPE "SPREADER" LAID LEVEL AND CONSTRUCT TO OUTLET IN A SHEET MANNER. CAP ENDS.
 - PROPOSED OVERFLOW PCC CATCH BASIN WITH STEEL GRATE
 - PROPOSED COBBLE ROCK DISSIPATER
- UTILITIES**
- PROPOSED SEWER SLUMP PUMP DESIGN BY OTHERS
 - PROPOSED 2'X2' CONCRETE CLEANOUT PRESSURE TO GRANTY SEWER
 - PROPOSED PRESSURE SEWER LATERAL
 - PROPOSED SEWER LATERAL

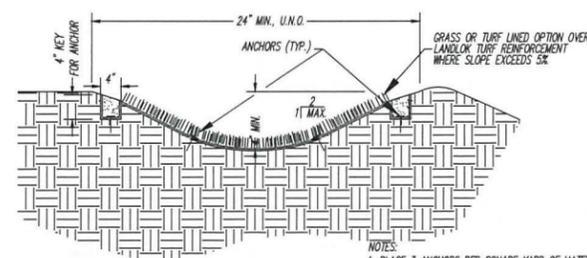


SCALE: 1" = 10'



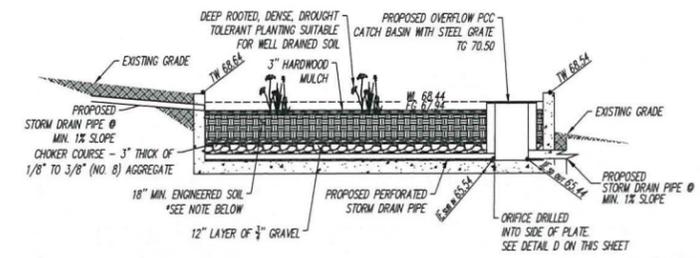
PERMEABLE PAVER DETAIL WITH CONCRETE EDGES

- NOTES:
- ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)
 - THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED
 - EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
 - NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
 - SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED



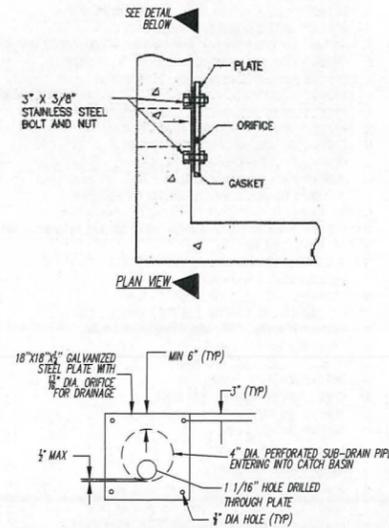
TYPICAL DRAINAGE SWALE FOR BMP'S

- NOTES:
1. PLACE 3 ANCHORS PER SQUARE YARD OF MATERIAL
 2. FOR GRASS OR TURF OPTION, INSTALL LANOLOK TRM 450 TURF REINFORCEMENT MAT

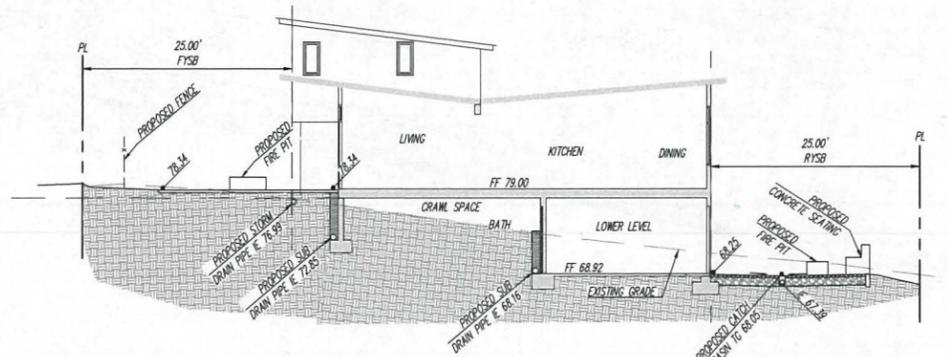


TYPICAL DRAINAGE SWALE FOR BMP'S

*BIOFILTRATION ENGINEERED SOIL LAYER SHALL BE MINIMUM 18" DEEP SANDY LOAM SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. USE BIO 65 SOIL MIX THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL

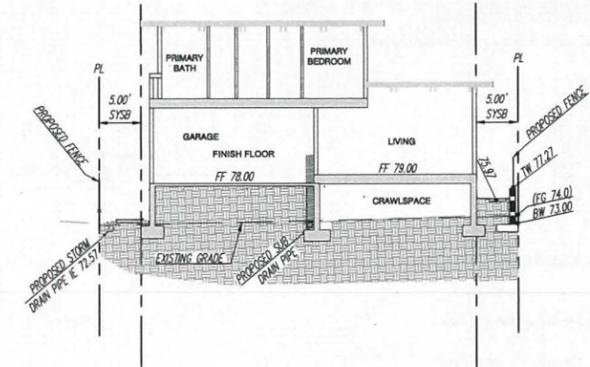


FLOW CONTROL ORIFICE PLATE DETAIL



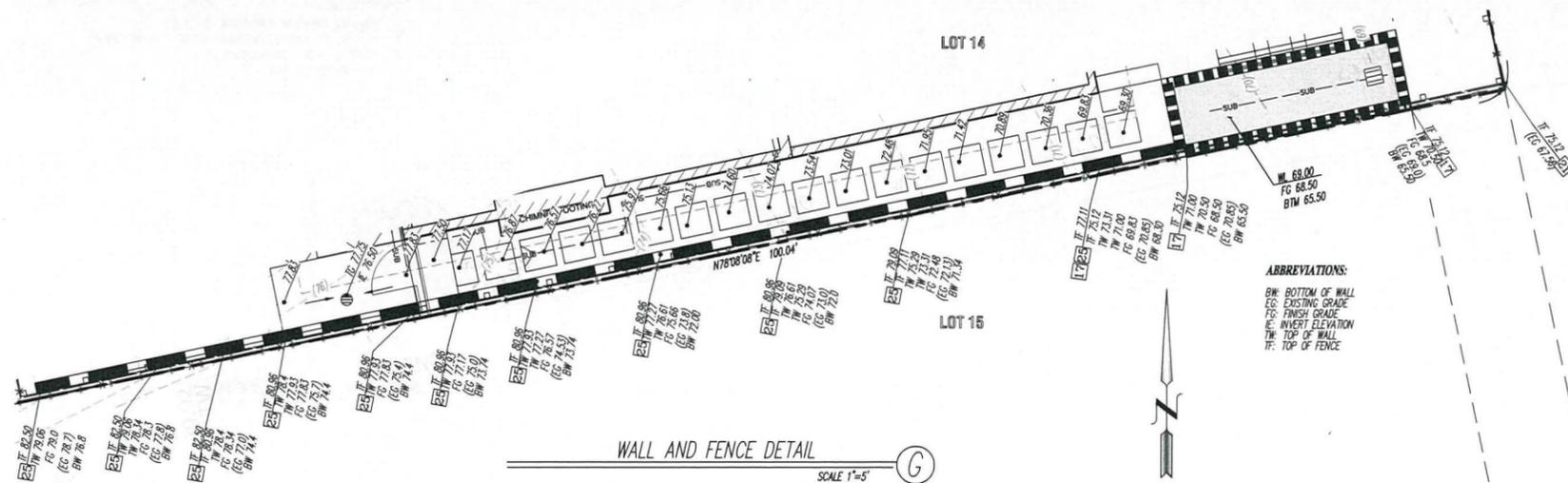
ON-SITE CROSS SECTION

SCALE 1"=10'



ON-SITE CROSS SECTION

SCALE 1"=10'



WALL AND FENCE DETAIL

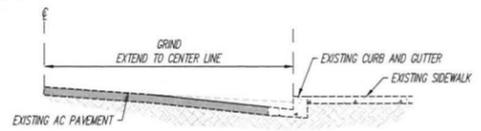
SCALE 1"=5'



AC PAVEMENT GRIND EXHIBIT

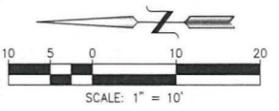


GRIND AND OVERLAY EXISTING AC PAVEMENT TO THE EXTENTS AS REQUIRED TO MAINTAIN 4" OF CURB ALONG PROJECT PROPERTY FRONTAGE



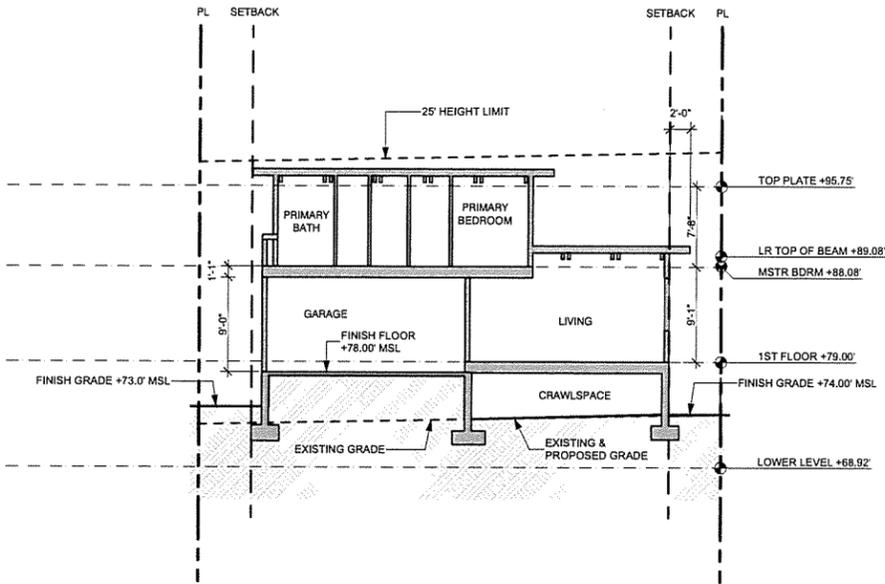
AC PAVEMENT GRIND SECTION A

LEGEND	SYMBOL
AREA OF AC PAVEMENT GRIND	
TRENCH RESURFACING	
PROPERTY LINE	
PROPOSED CONTOUR	
DAYLIGHT LINE	
GAS LINE	
SEWER LATERAL	
PRESSURE SEWER PIPE	
SEWER SUMP PUMP	
SEWER POC	

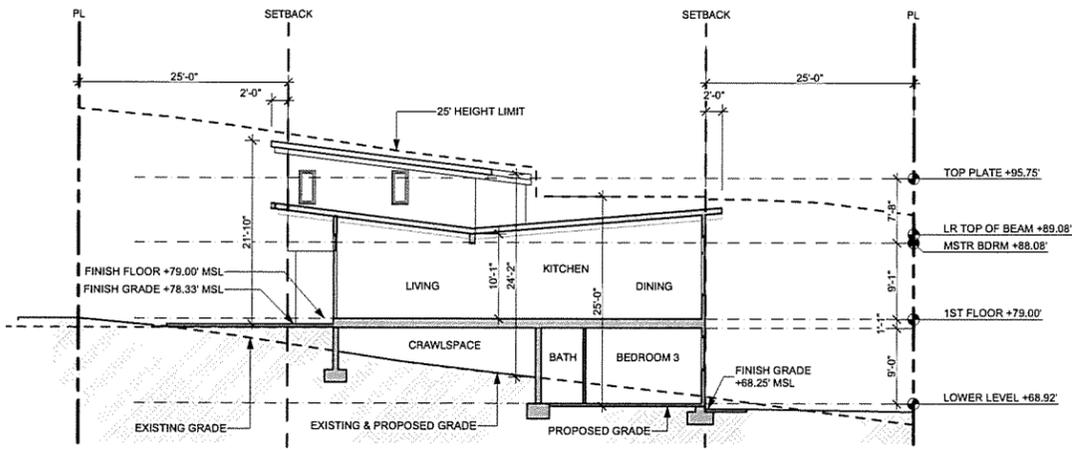


ENGINEERING DEPARTMENT	HESTER RESIDENCE 260 PACIFIC AVENUE
GRIND EXHIBIT SHEET FOR:	CASE NO: DRP21-018/SDP22-016
	SHEET 1 OF 1

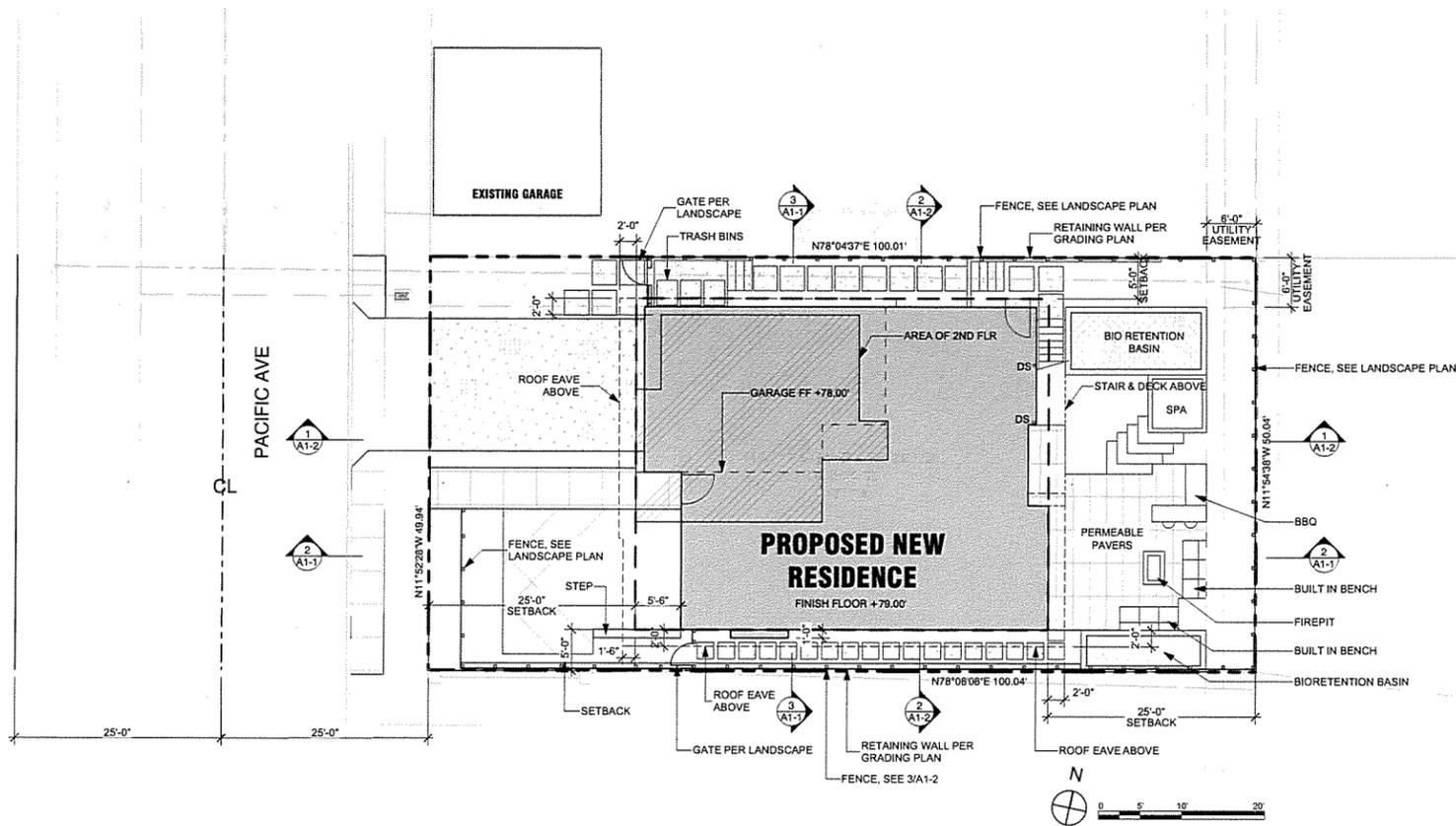




3 SECTION NORTH SOUTH
SCALE: 1/8" = 1'-0"



2 SECTION EAST - WEST 1
SCALE: 1" = 10'

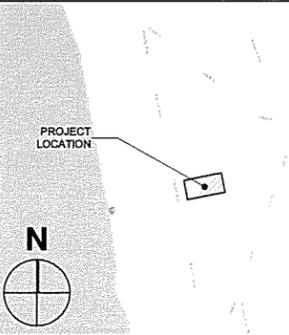


1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'

SITE PLAN LEGEND

	PROPOSED BUILDING FOOTPRINT
	SECOND FLOOR
	HARDSCAPE: CONCRETE
	HARDSCAPE: PAVERS
	LANDSCAPE

VICINITY MAP



PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

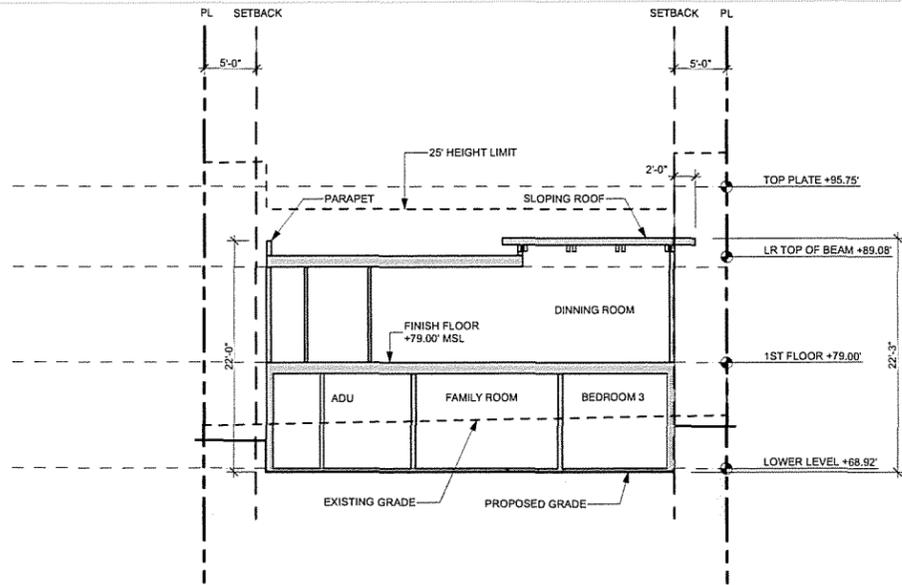


Job no. **2147**

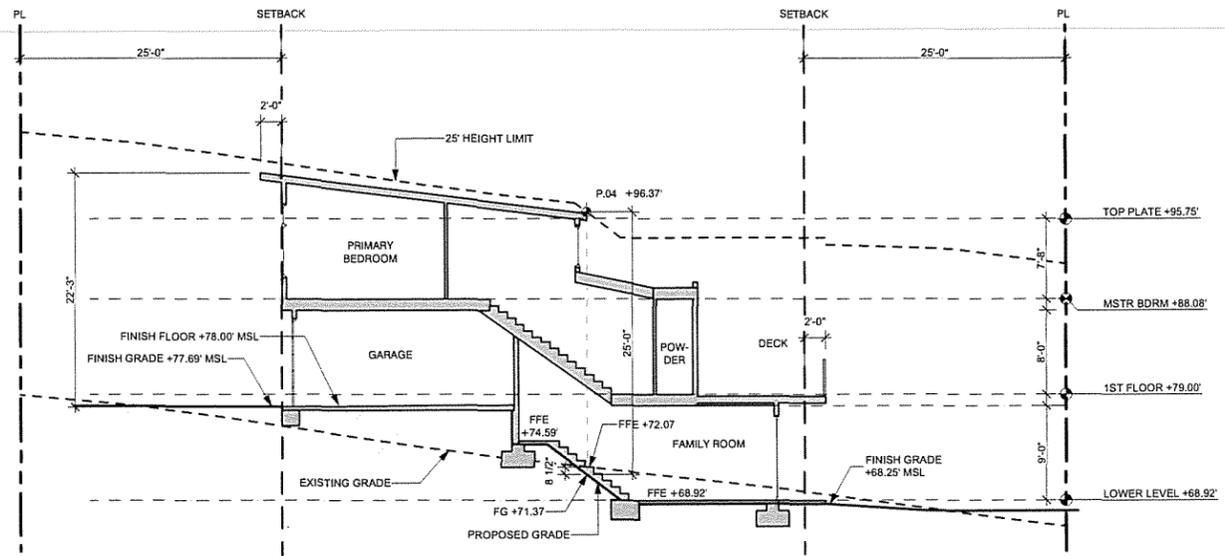
date

12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

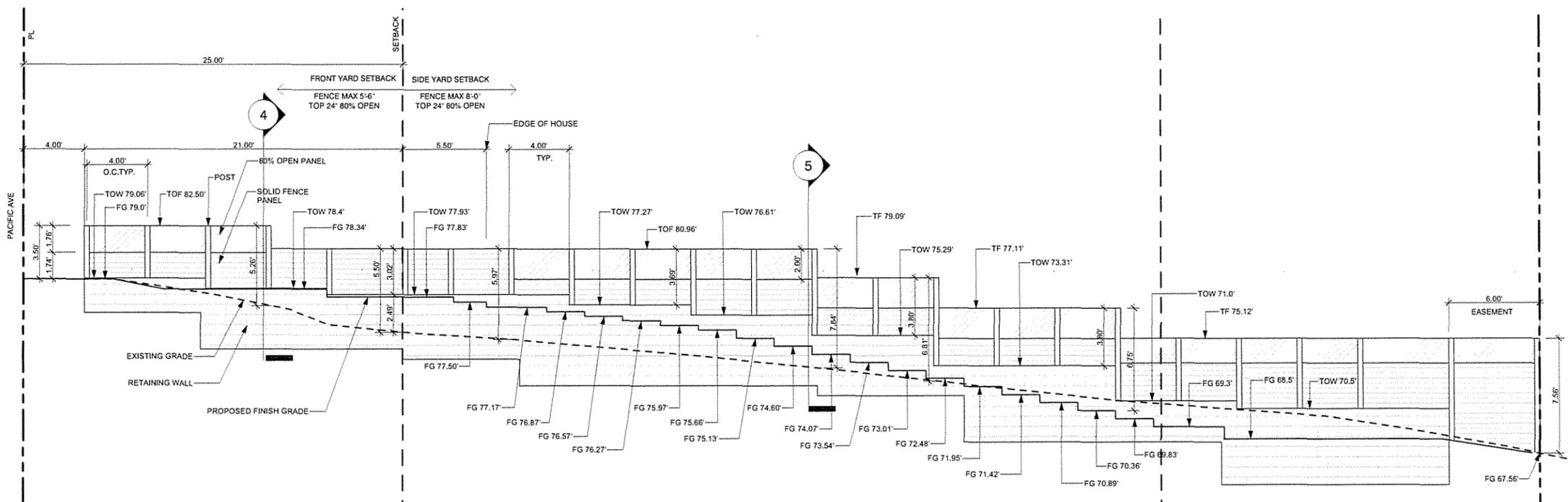
sheet **A1-1**



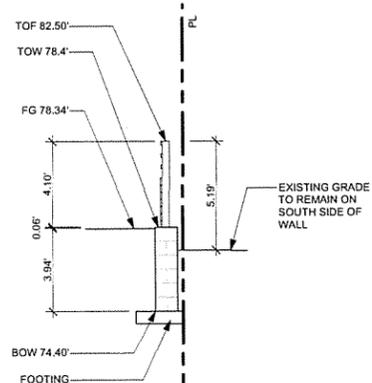
2 SECTION NORTH SOUTH 2
SCALE 1/8" = 1'-0"



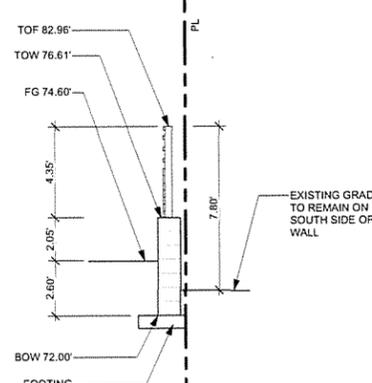
1 SECTION EAST WEST 2
SCALE 1/8" = 1'-0"



3 EAST PL FENCE ELEVATION
SCALE 1/4" = 1'-0"



4 SECTION 4
SCALE 1/4" = 1'-0"



5 SECTION 5
SCALE 1/4" = 1'-0"

project title
PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



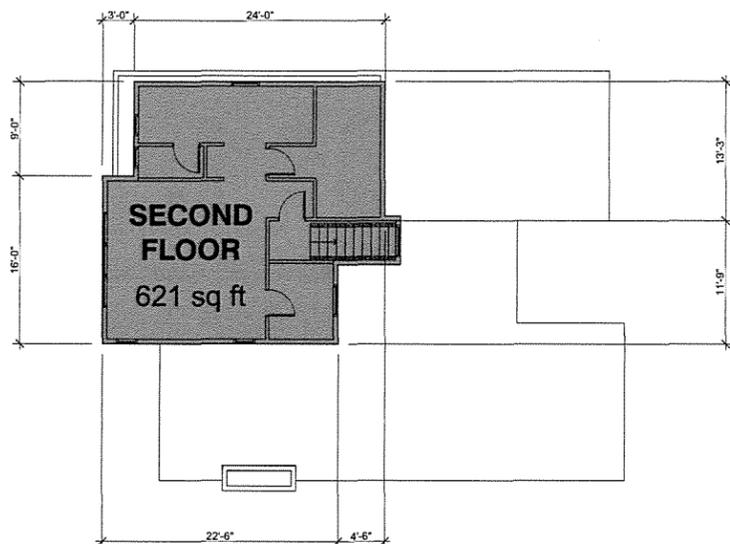
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

SECTIONS
sda
ARCHITECTS

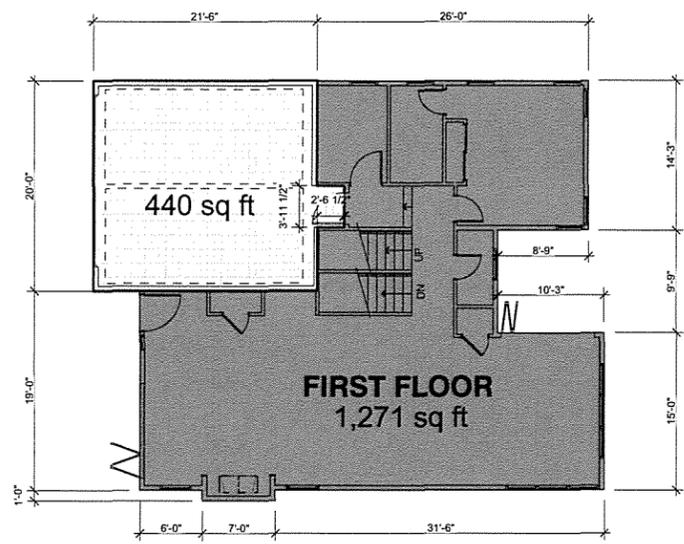
2147

12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

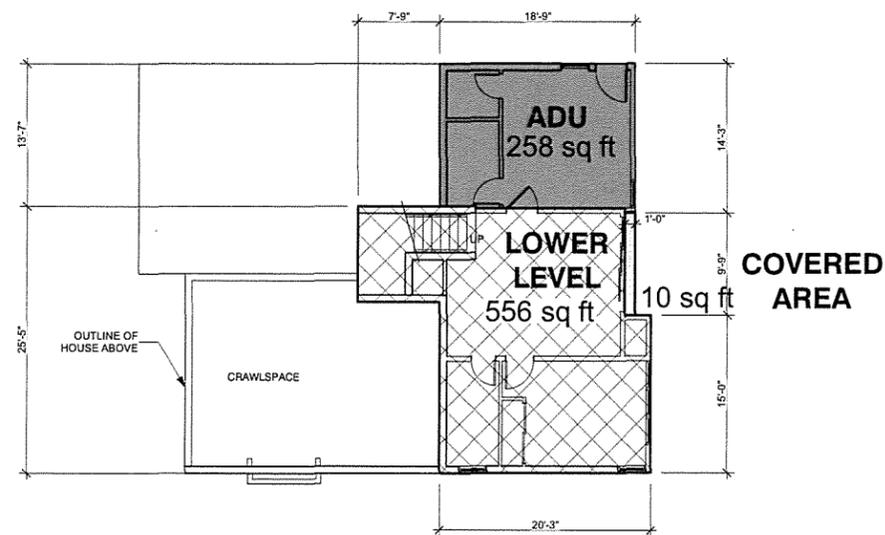
sheet
A1-2



3 UPPER FLOOR AREA PLAN
SCALE: 1/8" = 1'-0"



2 MAIN FLOOR AREA PLAN
SCALE: 1/8" = 1'-0"



1 LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"

AREA TABULATION

LOT INFORMATION:

LOT SIZE:	5,000 SF
FLOOR AREA RATIO:	CALCULATION PER SROZ
0.5 (FIRST 6,000 SF)	2,500 SF
0.175 (FROM 6,001 SF - 15,000 SF)	0 SF
0.1 (FOR 15,000 SF - 20,000 SF)	0 SF
ALLOWABLE GFA:	2,500 SF

DEMOLITION:

NO EXISTING STRUCTURE	0 SF
SUBTOTAL	0 SF

PROPOSED AREAS:

AREA CALCULATIONS:	
MAIN LEVEL LIVING	1,271 SF
UPPER LEVEL LIVING AREA	621 SF
LOWER LEVEL LIVING AREA	556 SF
MAIN LEVEL GARAGE	440 SF
LOWER LEVEL COVERED AREA	10 SF
SUBTOTAL	2,898 SF
OFF STREET PARKING EXEMPTION	-400 SF
TOTAL PROPOSED FLOOR AREA	2,498 SF

TOTAL PROPOSED FLOOR AREA	2,498 SF
MAXIMUM FLOOR AREA ALLOWED	2,500 SF
ACCESSORY DWELLING UNIT (ADU)	258 SF

TOTAL EARTHWORK INFORMATION:

CUT:	162 CY
FILL:	155 CY
EXPORT:	69 CY
MAX CUT HEIGHT:	5.4'
MAX FILL HEIGHT:	5.2'
FOOTINGS:	62 CY

ADU EARTHWORK INFORMATION:

CUT:	26 CY
FILL:	0 CY
EXPORT:	0 CY
MAX CUT HEIGHT:	5.4'
MAX CUT FILL:	5.2'
FOOTINGS:	9 CY

LANDSCAPE INFORMATION:

NON-LANDSCAPED AREA:	EXISTING	PROPOSED
NON-IRRIGATED LANDSCAPE:	0 SF	3,375 SF
IRRIGATED LANDSCAPE:	0 SF	1,668 SF
DECORATIVE HARDSCAPE:	0 SF	841 SF
TOTAL LOT AREA	5,000 SF	
AREA OF WORK		
IRRIGATED LANDSCAPE:	1,668 SF	
DECORATIVE HARDSCAPE:	841 SF	
AGGREGATE LANDSCAPE AREA	1,625 SF	

FLOOR AREA LEGEND

	FLOOR AREA
	ADU AREA (EXEMPT)
	GARAGE
	EXTERIOR FLOOR AREA

PACIFIC AVE
 256 PACIFIC AVE, SOLANA BEACH CA 92075



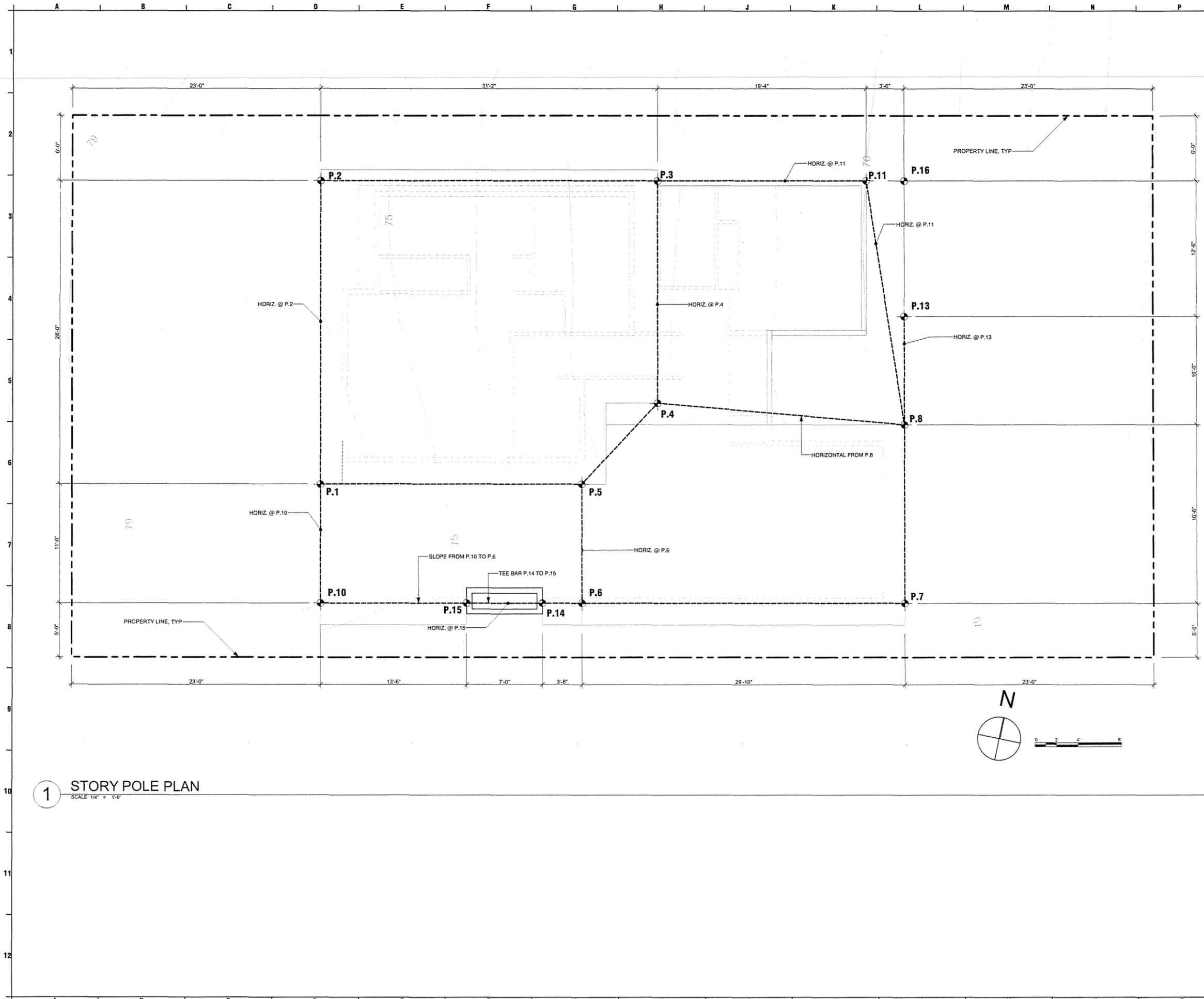
Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916



Job no. **2147**

12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet **A1-3**



STORY POLE DATA				
POLE #	POLE TOP	EXIST GRADE [EG]	PROP GRADE [PG]	HT FRM [EX/FIN]
1	100.49	76.65	78.33	23.84
2	100.49	75.93	77.20	24.56
3	96.37	71.75	72.10	24.62
4	96.37	72.37	74.64	24.00
5	97.25	73.15	73.25	24.10
6	90.09	73.36	74.60	16.73
7	92.58	70.51	68.25	22.07
8	92.58	70.03	68.25	22.55
10	93.16	77.23	78.33	15.93
11	91.17	69.81	68.25	21.36
13	82.83	69.45	68.25	13.38
14 - CHIMNEY	98.33	73.93	75.56	24.40
15 - CHIMNEY	98.33	74.98	77.78	23.35
16	73.34	69.47	68.30	3.87

1 STORY POLE PLAN
SCALE 1/4" = 1'-0"

project title
PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



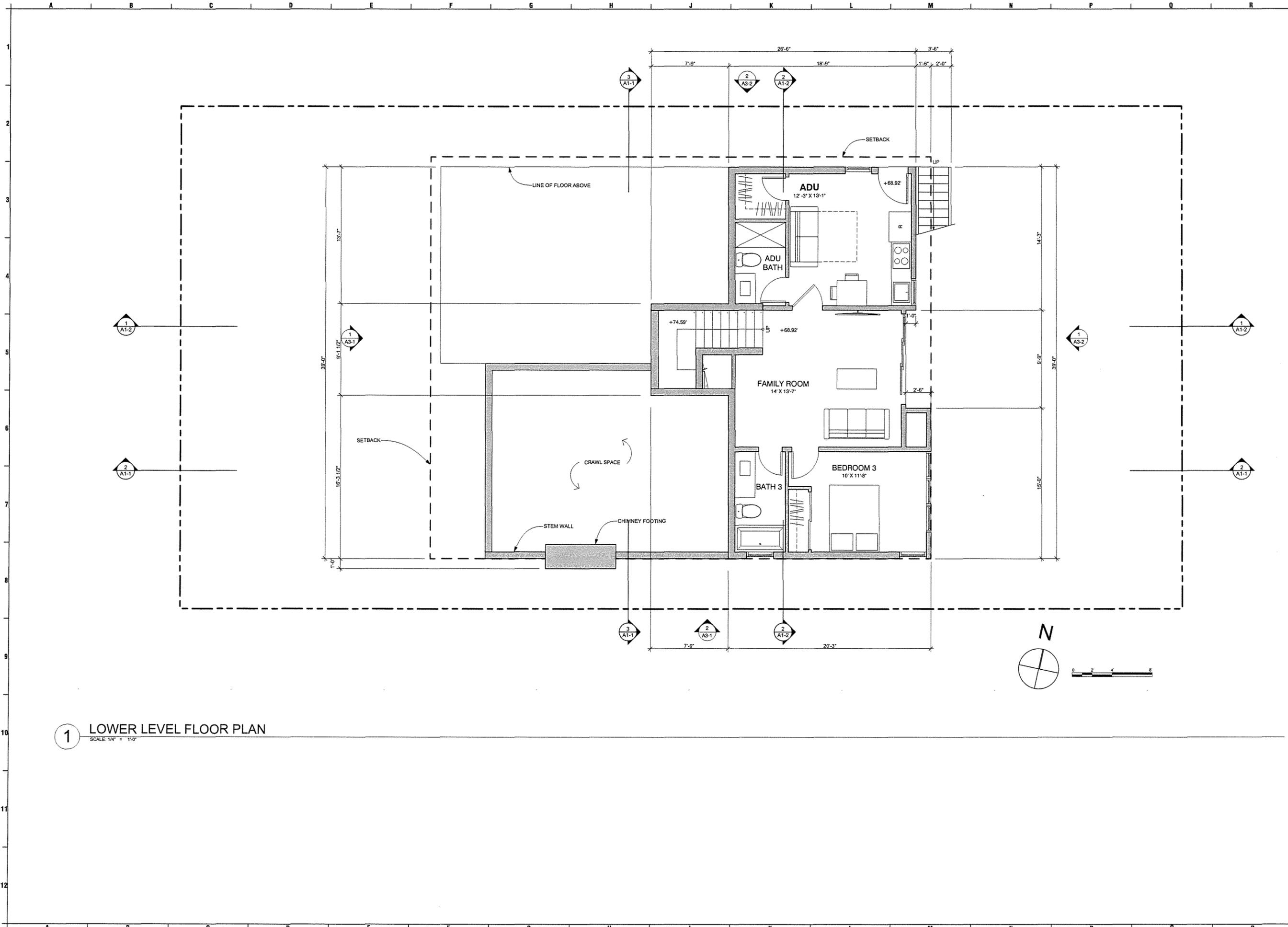
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



2147

- 12/20/2022 PLANNING PERMIT SUB II
- 2/25/2023 PLANNING PERMIT SUB III
- 5/12/2023 PLANNING PERMIT SUB IV
- 7/10/2023 STORY POLE CERT
- 7/31/2023 PLANNING PERMIT SUB V
- 10/2/2023 CITY COUNCIL MTG

sheet
A1-4



PACIFIC AVE
 256 PACIFIC AVE, SOLANA BEACH CA 92075

project title



LOWER LEVEL FLOOR PLAN

Stephen Dalton Architects
 444 S. CEDROS, STUDIO 190
 SOLANA BEACH, CA 92075
 t: 858.792.5906 / f: 858.792.5916

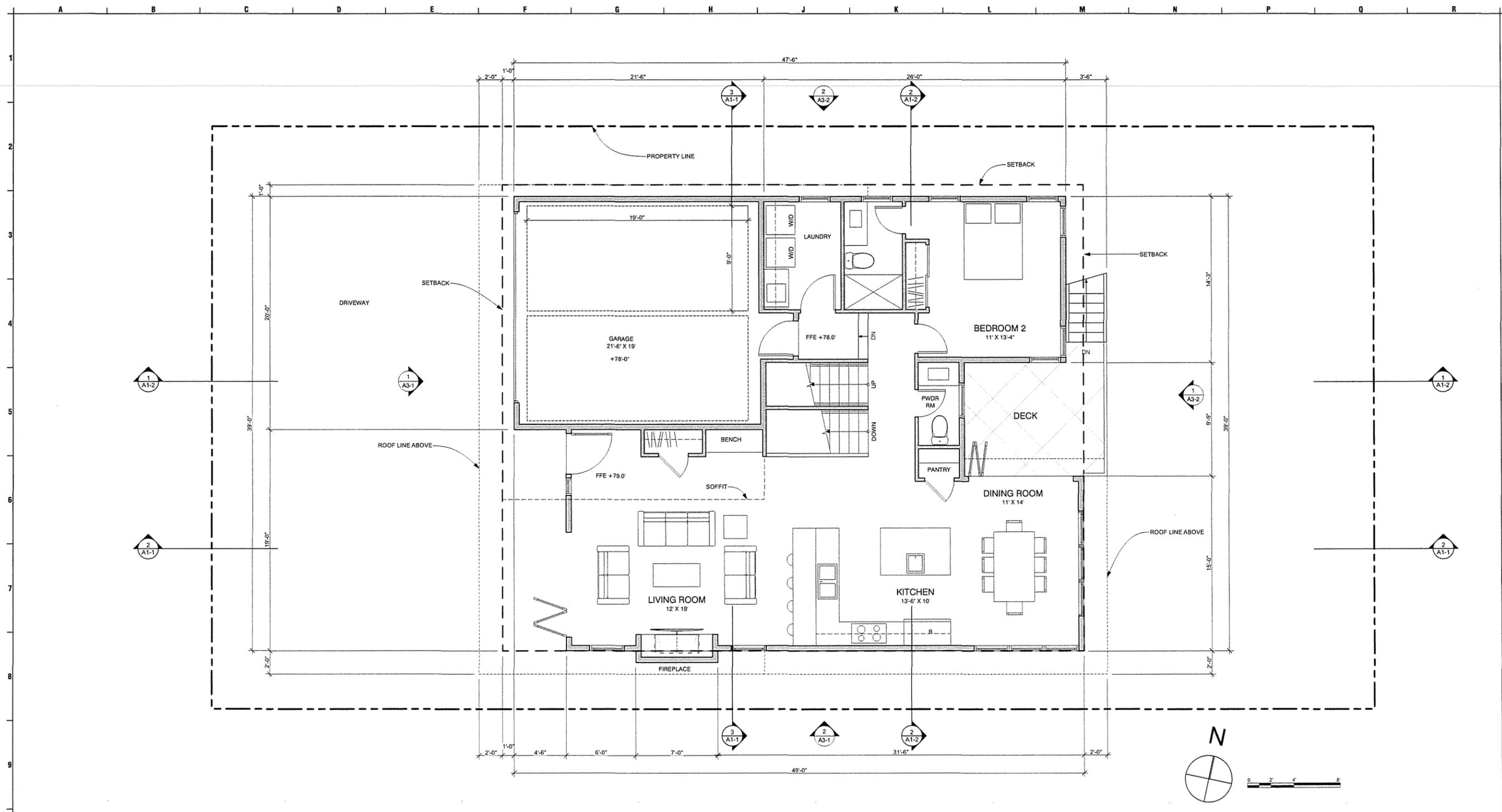


job no. **2147**

12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet **A2-0**

1 LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"

PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



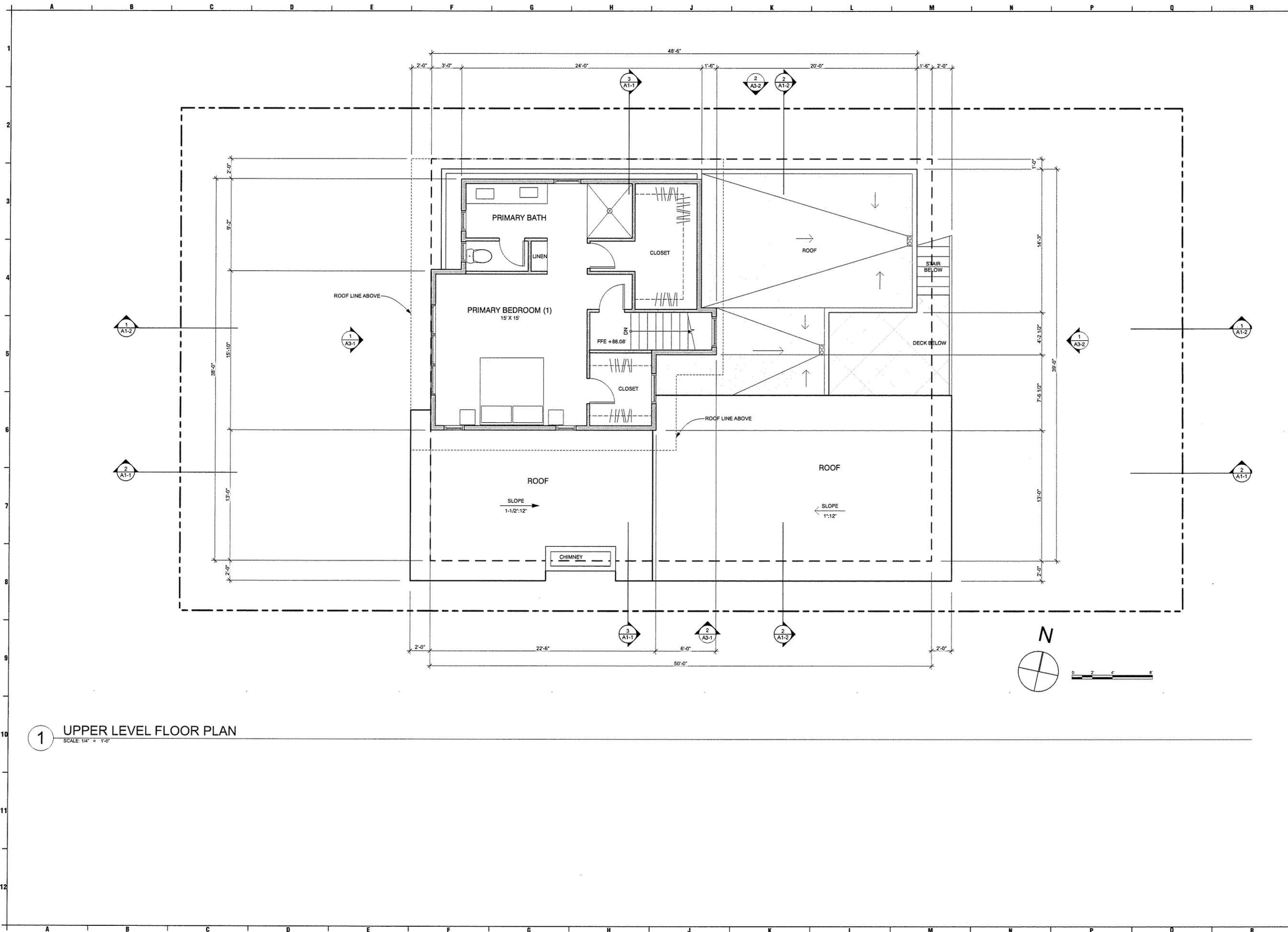
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



Job no. **2147**

12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet **A2-1**



1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



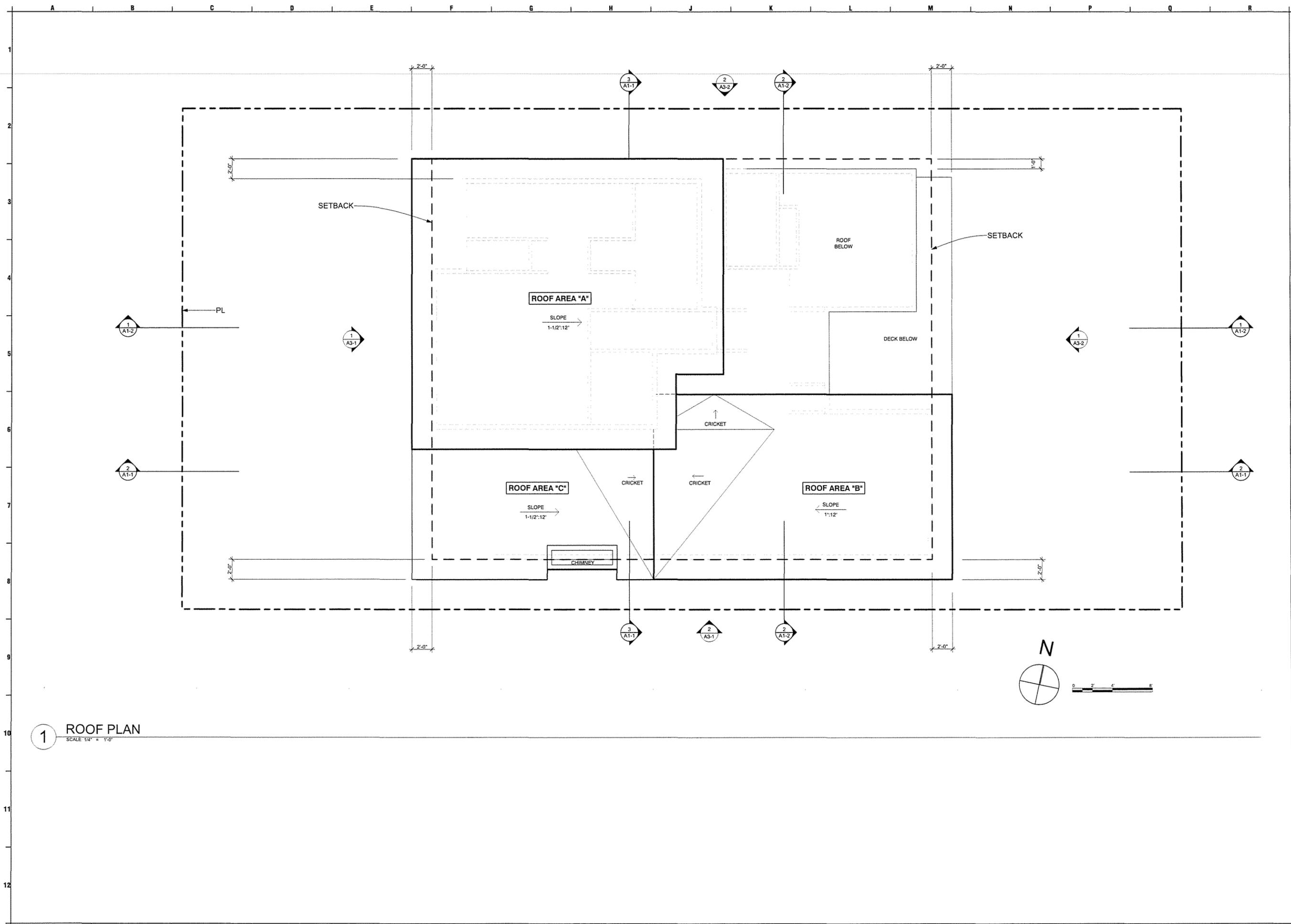
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sda ARCHITECTS

job no. **2147**

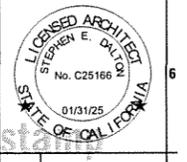
date	
12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet **A2-2**



1 ROOF PLAN
SCALE 1/4" = 1'-0"

project title
PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

ROOF PLAN
sda
ARCHITECTS

Job no.
2147

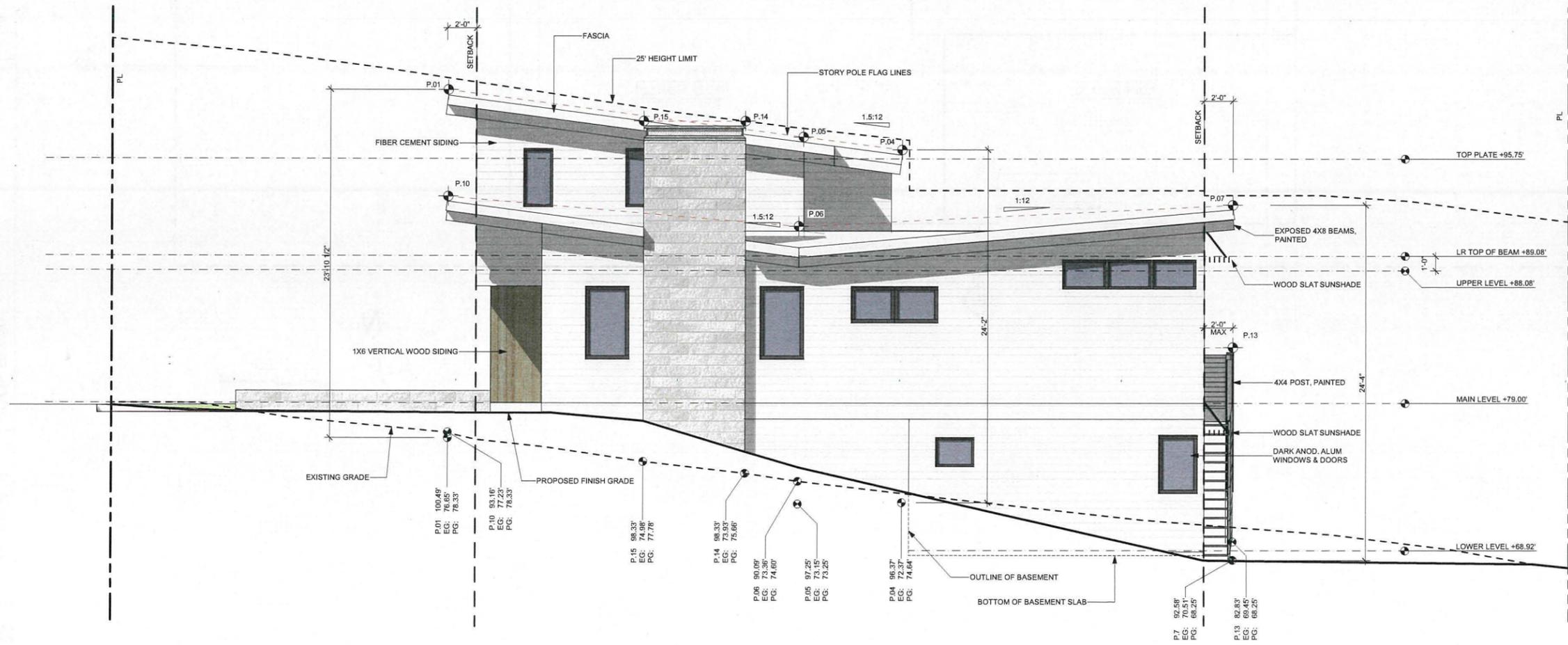
12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet
A2-4

STORY POLE DATA				
POLE #	POLE TOP	EXIST GRADE (EG)	PROP GRADE (PG)	HT FRM LOWEST (EX/FIN)
1	100.49	76.65	78.33	23.84
2	100.49	75.93	77.20	24.56
3	96.37	71.75	72.10	24.62
4	96.37	72.37	74.64	24.00
5	97.25	73.15	73.25	24.10
6	90.09	73.36	74.60	16.73
7	92.58	70.51	68.25	22.07
8	92.58	70.03	68.25	22.55
10	93.16	77.23	78.33	15.93
11	91.17	69.81	68.25	21.36
13	82.83	69.45	68.25	13.38
14 - CHIMNEY	98.33	73.93	75.56	24.40
15 - CHIMNEY	98.33	74.98	77.78	23.35
16	73.34	69.47	68.30	3.87



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075

project title



WEST & SOUTH EXTERIOR ELEVATIONS
Stephen Dalton Architects
444 S. CEDROS STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916

sps ARCHITECTS

job no. **2147**
date

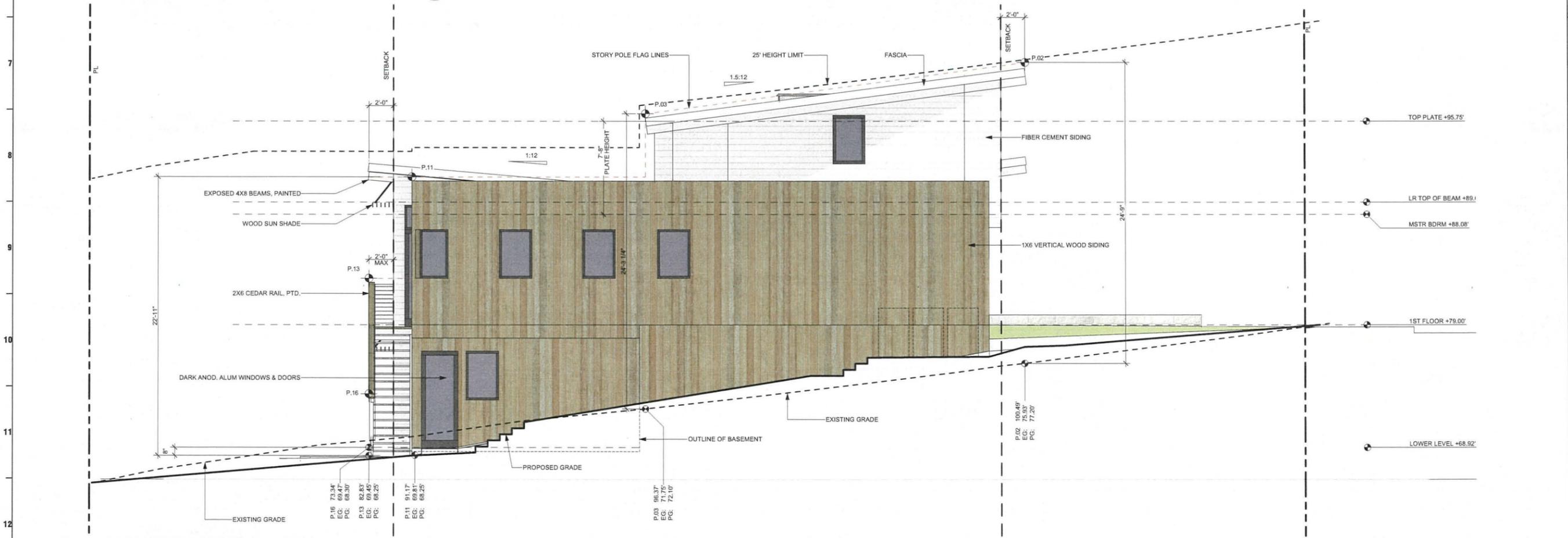
- 12/20/2022 PLANNING PERMIT SUB II
- 2/25/2023 PLANNING PERMIT SUB III
- 5/12/2023 PLANNING PERMIT SUB IV
- 7/10/2023 STORY POLE CERT
- 7/31/2023 PLANNING PERMIT SUB V
- 10/2/2023 CITY COUNCIL MTG

sheet **A3-1**



STORY POLE DATA				
POLE #	POLE TOP	EXST GRADE (EG)	PROP GRADE (PG)	HT FRM LOWEST (EX/FIN)
1	100.49	76.65	78.33	23.84
2	100.49	75.93	77.20	24.56
3	96.37	71.75	72.10	24.62
4	96.37	72.37	74.64	24.00
5	97.25	73.15	73.25	24.10
6	90.09	73.36	74.60	16.73
7	92.58	70.51	68.25	22.07
8	92.58	70.03	68.25	22.55
10	93.16	77.23	78.33	15.93
11	91.17	69.81	68.25	21.36
13	82.83	69.45	68.25	13.38
14 - CHIMNEY	98.33	73.93	75.56	24.40
15 - CHIMNEY	98.33	74.98	77.78	23.35
16	73.34	69.47	68.30	3.87

1 EAST ELEVATION
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"

project title
PACIFIC AVE
256 PACIFIC AVE, SOLANA BEACH CA 92075



EAST & NORTH EXTERIOR ELEVATIONS
Stephen Dalton Architects
444 S. CEDROS, STUDIO 190
SOLANA BEACH, CA 92075
t: 858.792.5906 / f: 858.792.5916



job no. **2147**

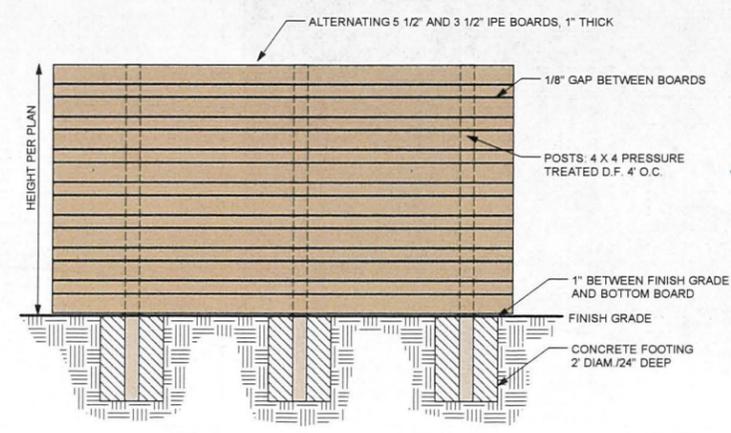
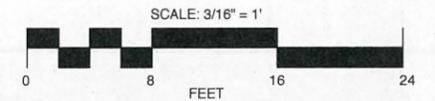
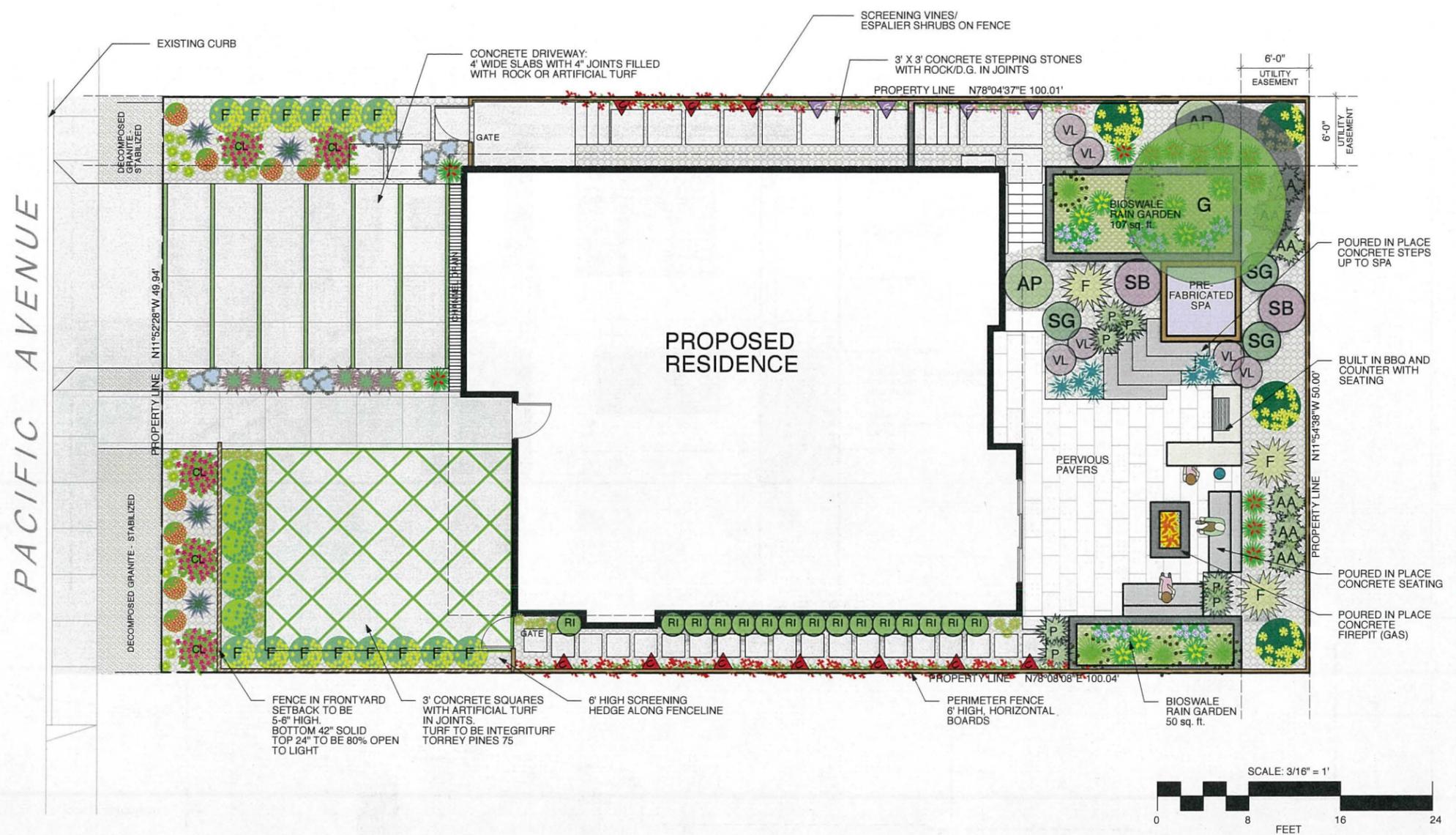
date	description
12/20/2022	PLANNING PERMIT SUB II
2/25/2023	PLANNING PERMIT SUB III
5/12/2023	PLANNING PERMIT SUB IV
7/10/2023	STORY POLE CERT
7/31/2023	PLANNING PERMIT SUB V
10/2/2023	CITY COUNCIL MTG

sheet
A3-2

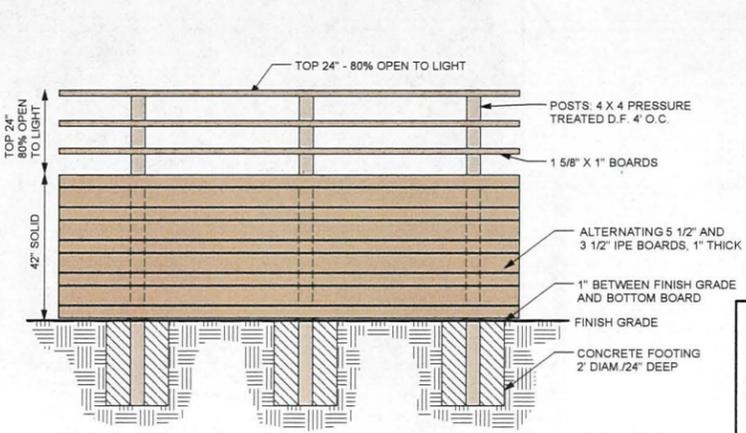
PLANTING LEGEND

SYMBOL	SPECIES/Common NAME	SIZE	WUCOLS WATER USE	HEIGHT/SPREAD	QUANTITY
AP	ABUTILON PALMERI PALMER'S INDIAN MALLOW	15 GAL.	LOW	5/5'	2
	AEONIUM 'SUNBURST' SUNBURST AEONIUM	1 GAL.	LOW	1/1'	29
	AGAVE OVATIFOLIA WHALE'S TONGUE AGAVE	15 GAL.	LOW	3/3'	4
AA	ALOE ARBORESCENS KRANTZ ALOE	15 GAL.	LOW	10/6'	6
	ALOE STRIATA GHOST ALOE	5 GAL.	LOW	2/2'	6
	CALANDRINA GRANDIFLORA JAZZ TIME JADE	5 GAL.	LOW	2/2'	8
	CALLIANDRA INAEQUILATERA PINK POWDER PUFF ESPALIER ON FENCE	15 GAL.	MOD.	10/10'	7
	CALLISTEMON 'LITTLE JOHN' DWARF BOTTLEBRUSH	15 GAL.	LOW	4/4'	5
	CHONDRPETALUM TECTORUM CAPE RUSH	5 GAL.	LOW	4/4'	5
	DIANELLA REV. 'BABY BLISS' FLAX LILY	5 GAL.	LOW	12/12'	7
F	FEIJOA (ACCA) SELLOWIANA PINEAPPLE GUAVA	15 GAL.	LOW	18/18" (MAINTAIN AS HEDGE)	14
	FURCRAEA FOETIDA 'VARIEGATA' MAURITIUS HEMP	15 GAL.	LOW	4/4'	3
	GREWIA CAFFRA LAVENDER STAR FLOWER ESPALIER ON FENCE	15 GAL.	MOD.	8/8'	4
	IRIS DOUGLASIANA DOUGLAS IRIS	1 GAL.	LOW	1/1'	12
	LEUCADENDRON 'SAFARI SUNSET' SAFARI CONEBUSH	15 GAL.	LOW	8/6'	5
	MIMULUS AURIANTICUS MONKEY FLOWER	1 GAL.	LOW	4/4'	9
	PEDILANTHUS BRACTEUS TALL SLIPPER PLANT	5 GAL.	LOW	4/3'	12
P	PENNISETUM 'FIREWORKS' FEATHER GRASS (STERILE)	1 GAL.	LOW	2/2'	7
RI	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDO	15 GAL.	LOW	4/4'	15
SG	SALVIA GREGII 'LIPSTICK' AUTUMN SAGE	5 GAL.	LOW	3/3'	3
SB	SALVIA 'SANTA BARBARA' DWARF MEXICAN BUSH SAGE	5 GAL.	LOW	3/3'	2
	SEDUM NUSSBAUMERIANUM COOPERTONE STONECROP	1 GAL.	LOW	1/1'	23
	SENECIO MADRALISCE BLUE CHALK FINGERS	1 GAL.	LOW	1/1'	11
	TECOMA STANS 'GOLD STAR' YELLOW BELLS	15 GAL.	LOW	7/6'	4
VL	VERBENA LILACINA 'DE LA MINA'	5 GAL.	LOW	2/2'	6

G	GELERA PARVIFOLIA AUSTRALIAN WILLOW	36" BOX STANDARD	LOW	30'-35' / 20'	1
	AT BIOSWALE CAREX DIVULSA BERKELEY SEDGE	1 GAL.	LOW	16" O.C.	
	MULCH: 3" DEPTH 'FOREST FINES' BY AGRISERVICE				



FENCE DETAIL - SIDE YARD AND REAR
1/2" = 1'



FENCE DETAIL - IN FRONTYARD SETBACK
1/2" = 1'



GMA
GEORGE MERCER ASSOCIATES INC.
LANDSCAPE ARCHITECTURE
590 SEACOAST DRIVE, STE. 20
IMPERIAL BEACH, CA 91932
(619) 882-2499
E-mail: 5mercers@sbcglobal.net

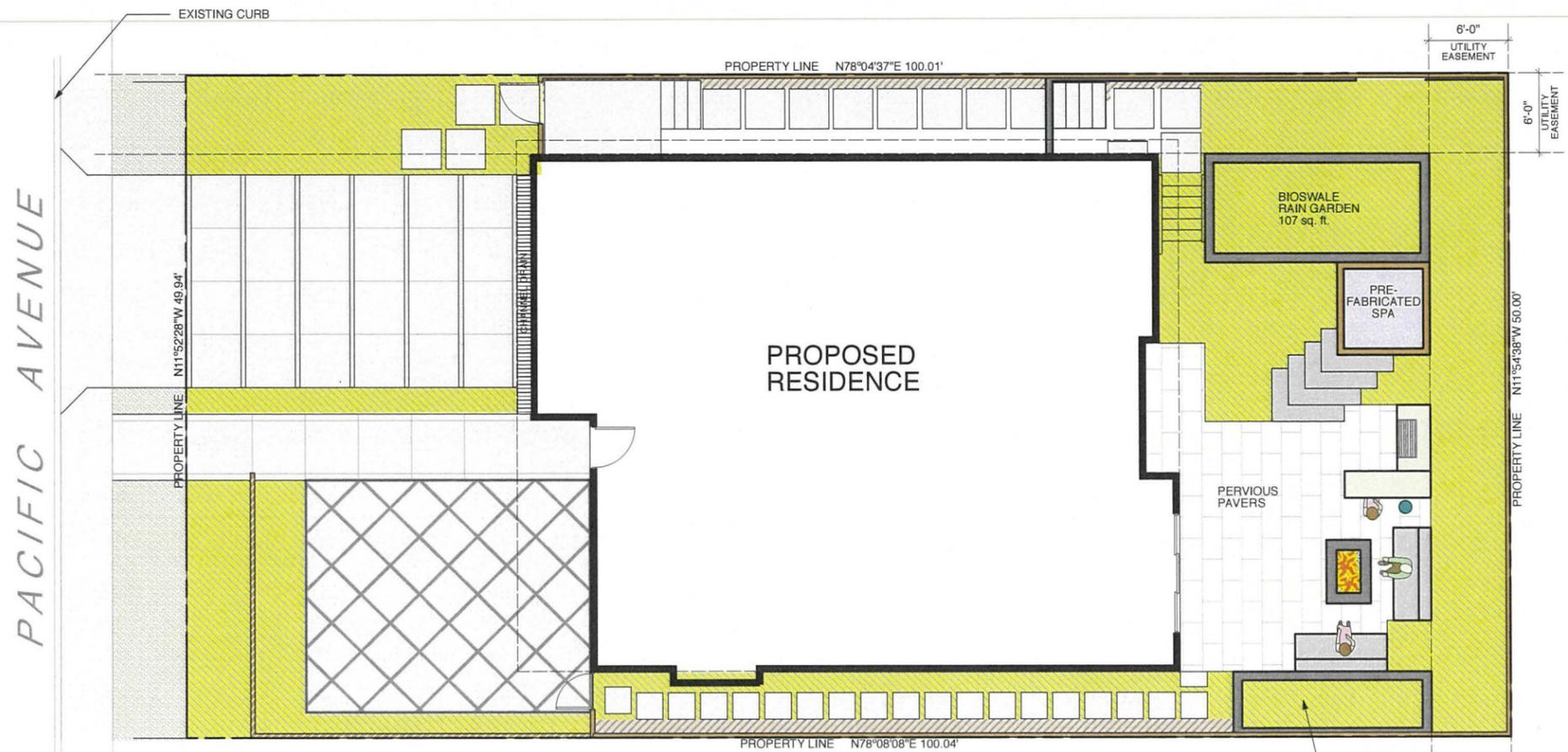


LANDSCAPE ARCHITECT'S CERTIFICATION
I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.
George Mercer
GEORGE MERCER RLA #4055
2/23/23
DATE

COASTAL COMMISSION PERMIT NO. X-XX-XXXX-X

L-1

LANDSCAPE ARCHITECT OF WORK		CITY OF SOLANA BEACH		DRAWING NO.	
GM	By <i>George Mercer</i> Date 2/23/23	LANDSCAPE PLAN FOR:		SBGR-XXXL	
Drawn By	Name GEORGE MERCER License # 4055 Exp 4/30/23	APN: 263-311-13-00		KRISTA & SCOTT HESTER RESIDENCE 256 PACIFIC AVENUE	
				SHEET 1 OF 2	



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo)(0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$$

- ETWU = Estimated total water use per year (gallons per year)
- ETo = Evapotranspiration rate (inches per year)
- PF = Plant Factor from WUCOLS (see Definitions)
- HA = Hydro-zone Area (square feet). Define hydro-zones by water use: very low, low, moderate and high
- SLA = Special Landscape Area (square feet). Edible plants, irrigated with recycled water, & turf used for active play
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET						
Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)	Hydro-zone				SLA
		1	2	3	4	
Evapotranspiration Rate (ETo) See "A" below	1	Use 41 (west of I-5) / 47 (east of I-5)				
Conversion Factor - 62	2	0.62				
(Line 1 x Line 2)	3	25.42 (west of I-5) / 29.14 (east of I-5)				
Plant Factor (PF) See "B" below	4	0.3	0.6	1.0		
Hydrozone Area (HA) - in square feet	5	1,455	98	36		
(Line 4 x Line 5)	6	436.5	58.8	36		
Irrigation Efficiency (IE) See "C" below	7	0.81	0.81	1.00		
(Line 6 - Line 7)	8	538.9	72.6	36		
TOTAL of all Line 8 boxes + SLA	9	647.5				
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	16,459 gallons per year				

A	B	C
ETo - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)	PF - Plant Factor - Use WUCOLS values to determine the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone. 0.3 - VLB - Very Low Water Use Plants 0.6 - LB - Low Water Use Plants 1.0 - MB - Moderate Water Use Plants 1.0+ - HW - High Water Use Plants	IE - Irrigation Efficiency Spots = 55 Eps = 70 Buildups = 75 MI results = 75 Drip & Micro spots = 81 A different IE must be used if supported by documentation subject to approval by the City Planner

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:

$$\frac{25.42}{25.42 \text{ or } 29.14} \left[(ETAF \times \frac{1,589}{\text{Total Landscape Area}}) + (1-ETAF \times \frac{0}{\text{Total SLA}}) \right] = \frac{MAWA}{22,216 \text{ gallons}}$$

Evapotranspiration adjustment factor (ETAF) use .55 residential, .45 non-residential

SYMBOL	ZONE	VEG. TYPE	WATER USE	PLANT FACTOR	AREA SQ. FT.	IRRIGATION TYPE	IRRIGN. EFFIC.
[Yellow hatched]	#1	TREES/SHRUBS	LOW	0.3	1,455	DRIP	0.81
[Diagonal hatched]	#2	SHRUBS	MOD	0.6	98	DRIP	0.81
[Blue hatched]	#3	SPA	WATER FEATURE	1.0	36	HOSE	1.00

TOTAL: 1,589



GMA
GEORGE MERCER ASSOCIATES INC.
LANDSCAPE ARCHITECTURE
890 SEACAST DRIVE, STE. 20
IMPERIAL BEACH, CA 91932
(619) 882-2499
E-mail: Smercerc@sbcglobal.net



LANDSCAPE ARCHITECT'S CERTIFICATION
I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.
George Mercer
GEORGE MERCER RLA #4055
2/23/23
DATE

COASTAL COMMISSION PERMIT NO. X-XX-XXXX-X

L-2

LANDSCAPE ARCHITECT OF WORK		CITY OF SOLANA BEACH		DRAWING NO.	
GM	By <i>George Mercer</i> Date 2/23/23	HYDROZONE/WATER USE PLAN FOR		SBGR-XXXL	
Drawn By	Name <i>George Mercer</i> License # 4055 Exp 4/30/23	KRYSTA & SCOTT HESTER RESIDENCE		SHEET 2 OF 2	
		256 PACIFIC AVENUE			



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: City Manager's Department
SUBJECT: **City Council Consideration of Resolution 2023-116 Approving Modifications to the City's Temporary Public Arts Program**

BACKGROUND:

On October 8, 2008, the City Council approved the initiation of the Temporary Public Arts Program. Immediately after approval, three (3) locations were installed, with the intent to start slow and build the program over time. Since 2008, the City Council has approved various modifications that helped the program adapt and grow into a successful public art program.

On July 12, 2017, the City Council approved modifications to the Temporary Public Arts Program which included the addition of three (3) more approved locations, which included the Solana Beach Towne Center, Tide Park beach access, and El Viento Pocket Park. On May 9, 2018, the City Council approved the addition of one (1) more location at Seascape Sur beach access.

On March 24, 2021, the City Council approved a modification to the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan. Due to the continuing success of the program, the Public Arts Commission (PAC) is requesting that the City Council consider extending the sculpture's loan period from one-year to two-years and increase the artist's compensation from \$1,500 to \$3,000 to increase the quality of submissions and further grow the program's success. This increased artist stipend is also more aligned with Temporary Public Art programs in neighboring cities.

In addition, Staff recently identified a new potential location for a temporary art pad in one of the new medians being constructed on Highland Drive just south of Lomas Santa Fe Drive as part of the City's Annual Citywide Pavement Rehabilitation Project. As discussed and supported the City Council's Public Arts Committee on October 2, 2023,

CITY COUNCIL ACTION:

the median is located in front of the main entrance to the Lomas Santa Fe Country Club, and would add another location on the east side of the community, a main priority of the PAC.

This item is before the City Council to consider Resolution 2023-116 (Attachment 1) approving modifications to the Temporary Public Arts Program's loan duration and artist compensation from \$1,500 for a one-year loan to \$3,000 for a two-year loan and also consideration of approving the addition of one (1) new temporary public art site located within a newly constructed median on Highland Drive.

DISCUSSION:

At the August 22, 2023 PAC meeting, City Staff presented the draft 2024 Call to Artists to the Commission. After the presentation, the PAC discussed two key modifications to the program: extending the sculpture's loan period from one year to two years and adjusting the artist's compensation accordingly. The PAC unanimously voted to recommend that the City Council consider modifying the Temporary Public Arts Program loan period to two-years and adjust the artist's compensation from \$1,500 to \$3,000, which helps to cover the costs of both installing and removing the art pieces.

As previously mentioned in this Staff Report, the current program has proven to be a success and the PAC believes that extending the sculpture's loan period and adjusting the artist's compensation will enhance the City's program, making it more appealing and competitive in comparison to temporary arts programs in other cities. Many cities in San Diego County have adjusted their temporary public art programs to have longer loan periods and increased compensation (Attachment 2). The City of Encinitas and the City of Del Mar temporary public art programs have a loan period of 2-years, and the City of Carlsbad's rotating sculpture program has a minimum loan period of 18-months.

Temporary Public Art Locations

As mentioned previously in this Staff Report, the Temporary Public Arts Program initially started with three locations. Four more locations were subsequently added, but due to the overwhelming community support of three of the art pieces, the City purchased them and made the art pieces, and locations, part of the Permanent Art Program. On October 14, 2020, the City Council approved acquiring the *Fleur de Lumiere* to be part of the City's Permanent Art Collection, therefore, removing Viento Pocket Park as a temporary art location. On October 13, 2021, the City Council approved acquiring the *Pinion* to be part of the City's Permanent Art Collection, therefore, removing Cliff Street Bridge as a temporary art location. On February 8, 2023, the City Council approved acquiring the *Rio* to be part of the City's Permanent Art Collection, therefore, removing Tide Park beach access as a temporary art location.

With these modifications, the City's Temporary Public Art Program currently has four (4) active art sites located at Solana Beach Towne Center, Lomas Santa Fe Median (adjacent to Skyline Elementary), Seascape Sur Beach Access, and the intersection of San Andreas and Las Banderas (south side adjacent to slope). The proposed addition of the Highland Drive median location (Attachment 3) would bring the total temporary art locations to five (5). A map of all locations is provided in Attachment 4.

City Council Public Arts Standing Committee Review

On Monday, October 2, 2023, Staff met with the City Council's Public Arts Standing Committee (Mayor Heebner and Council Member Edson) to present the PAC recommendations. As previously noted, Staff and the Council Standing Committee also discussed the addition of a temporary art location on the new median in Highland Drive near the main entrance to the Lomas Santa Fe Country Club. The Council Standing Committee supported both the PAC recommendations and the addition of this new temporary art location.

CEQA COMPLIANCE:

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 - New construction or conversion of small structures.

FISCAL IMPACT:

The proposed modification to extend the Temporary Public Arts Program loan period to two years and adjust artist compensation from \$1,500 to \$3,000 would not result in any fiscal impact. It maintains the same overall compensation amount, potentially reduces administrative costs, and enhances the program's appeal and continuity.

When the City Council approved the initial artist compensation increase from \$500 to \$1,500, they also allocated an annual budget of \$9,000 to support six locations. If the Council approves the new location, the program will only be responsible for funding five locations, maintaining the existing budgetary framework.

The addition of a new Temporary Public Art Location on Highland Drive will have minor costs, which will be covered under the contingency amount of the Annual Citywide Payment Rehabilitation Project. This cost will be reported to the City Council as part of filing the notice of completion for this project.

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation.

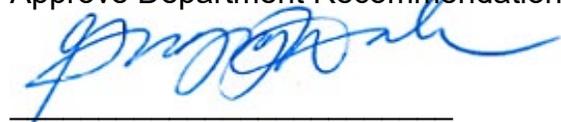
- Approve Staff recommendation with modifications.
- Deny Staff recommendation and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2023-116 authorizing modifications to the Temporary Public Arts Program loan duration and artist compensation from \$1,500 for a one-year loan to \$3,000 for a two-year loan and the addition of a new temporary public art location on Highland Drive.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-116
2. Temporary Art Program City Comparison
3. Map of Highland Drive Temporary Art Location
4. Map of Temporary Public Arts Program

RESOLUTION 2023-116

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A MODIFICATION TO THE CITY'S TEMPORARY PUBLIC ARTS PROGRAM

WHEREAS, the residents of the City of Solana Beach have expressed a desire to further enhance the identity of their City as an artistic community; and

WHEREAS, on October 8, 2008, the City Council approved three (3) sites to initiate the Temporary Public Arts Program, with the intent to start slow and build the program over time; and

WHEREAS, on March 24, 2021, Council approved a modification to the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan; and

WHEREAS, at the August 22, 2023 Public Arts Commission (PAC) meeting, the PAC unanimously voted to recommend to the Council that they consider an increase to the loan period from one to two years and the artist compensation amount from \$1,500 to \$3,000 to make the City's program more attractive to artists and to increase the quality of submissions; and

WHEREAS, City Staff also identified a new temporary art location in a newly constructed median on Highland Drive.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the Council approves modifying the Temporary Public Arts Program artist compensation from \$1,500 to \$3,000.
3. That the Council approves modifying the Temporary Public Arts Program loan duration from one year to two years.

\\

\\

\\

\\

\\

- 4. That the Council approves the addition of a Temporary Public Art location in the median on Highland Drive across from the main entrance to the Lomas Santa Fe Country Club.

PASSED AND ADOPTED this 11th day of October, 2023 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -
NOES: Councilmembers -
ABSTAIN: Councilmembers -
ABSENT: Councilmembers -

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

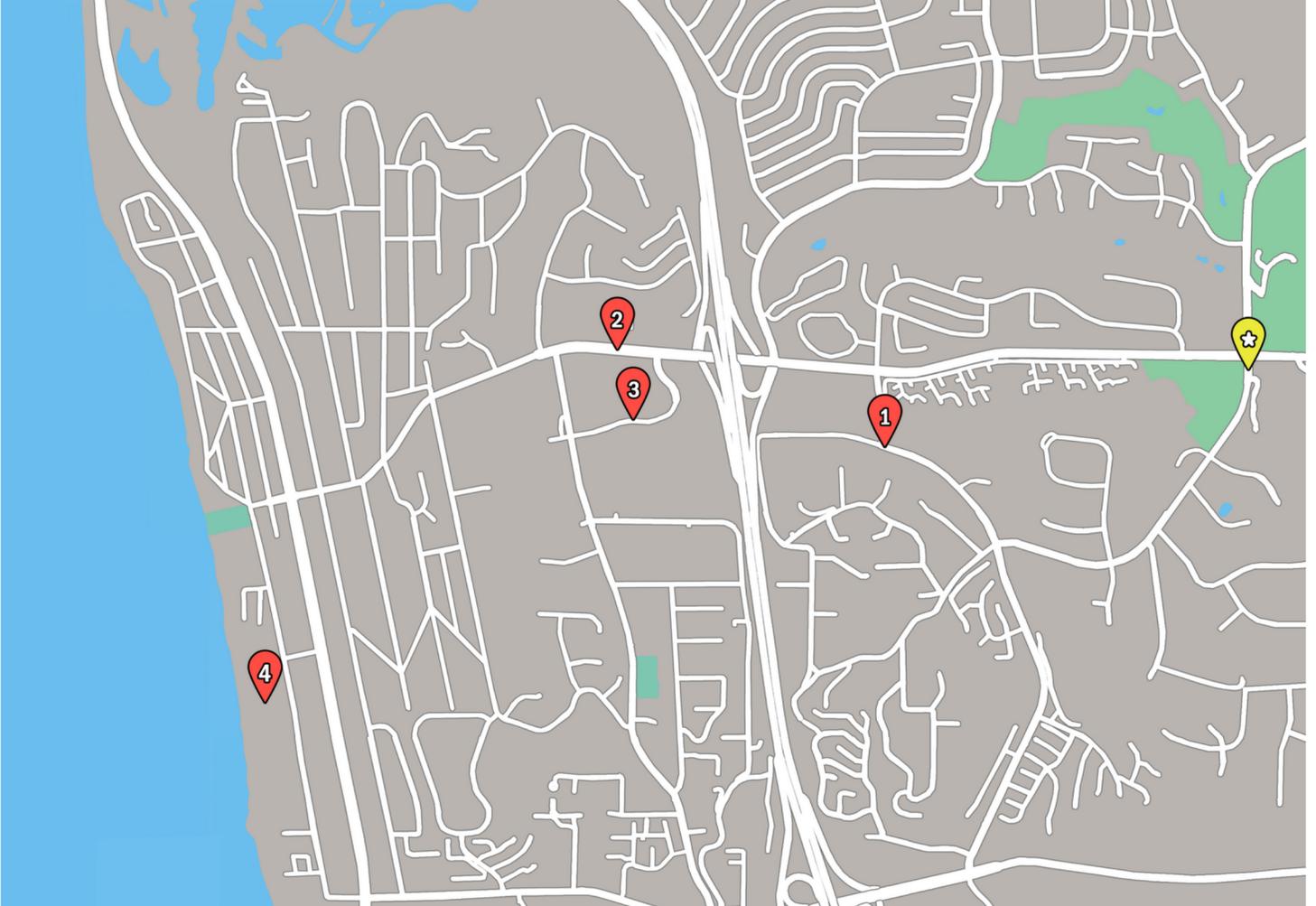
JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

Temporary Public Art Programs

City/Program	Loan Duration	Stipend	# of Sites
City of Solana Beach Temporary Public Arts Program	1 year	\$1,500	4
City of Encinitas Temporary Public Arts Program	2 years	\$4,000	5
City of Carlsbad Rotating Sculpture Garden	18 months	\$5,000	7
City of Del Mar Temp Public Arts Program	23 months	\$750	5
City of Vista Kites Over Vista	1 year	\$2,500	23

Temporary Public Arts Program



Las Banderas Drive

This temporary art site is located at the south side of the 3-way stop sign on San Andres Drive and Las Banderas Drive.



Lomas Santa Fe Median

This temporary art site is located within the median center divide on Lomas Santa Fe Drive, in front of Skyline Elementary School.



Solana Beach Towne Center

This temporary art site is located within the Solana Beach Town Center on San Rodolfo Drive at the southwest corner of the 4-way stop sign.



Seascape Sur Beach Access

This temporary art site is located halfway down the entrance of the Seascape Sur Beach public access way, at 501 South Sierra Avenue.



Highland Drive Median

This temporary art site will be located within the newly constructed median center divide on Highland Drive, in front of Lomas Santa Fe Country Club.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: October 11, 2023
ORIGINATING DEPT: City Manager/City Attorney
SUBJECT: **Adoption of Ordinance 532 Amending Solana Beach Municipal Code Chapter 3.08 Related to Purchasing**

BACKGROUND:

As required by Government Code section 54202, Chapter 3.08 of the City of Solana Beach Municipal Code (SBMC) contains guidance on the City's procurement requirements for the purchase of goods, services, and equipment (Purchasing Ordinance). The Purchasing Ordinance regulates when formal bidding, informal bidding, or when no competitive bidding is required for the purchase of supplies, services, and equipment. The last increase to the City Manager's purchasing authority occurred in 2015.

The cost of goods and services has substantially increased since the Purchasing Ordinance was last amended almost a decade ago. The San Diego regional consumer price index-urban consumers (CPI) has significantly increased over that time period.

The impacts of the pandemic have further hampered the City's ability to procure goods, equipment and services in a timely manner due to lingering delays within supply chains. As a result, Staff proposes changes to Municipal Code Chapter 3.08 to provide greater flexibility, administrative efficiencies, reduced costs, and enhanced ability to acquire goods and services in a timely manner.

At the August 23, 2023 Council Meeting, the City Council directed Staff to return with revisions to the City's Purchasing ordinance increasing certain thresholds. At the September 27, 2023 Council Meeting, Council introduced Ordinance 532 amending Chapter 3.08 of the Solana Beach Municipal Code (SBMC).

This item is before the Council to consider the adoption of Ordinance 532 (Attachment 1) amending Chapter 3.08 of the SBMC.

4884-4826-6625 v1

CITY COUNCIL ACTION:

DISCUSSION:

The City frequently enters into contracts with all manner of consultants in carrying out City services or projects and for the purchase of supplies and equipment to effectively run the City and its operations. Establishing a clear threshold whereby the City Manager can execute a contract facilitates City business.

The cost of goods and services has substantially increased since the Purchasing Ordinance was last amended. Accordingly, Staff recommends that the Council increase the City Manager's purchasing authority from \$25,000 to \$50,000, and to increase the floor for the requirements of competitive bidding from \$2,500 to \$5,000 (ten percent of the City Manager's authority). Again, for the City Manager to execute a contract, the budget must be available for the goods or services. To the extent that the cost of the goods or services exceeds the recommended \$50,000 threshold, or if funds were not available, and in those situations where the project has not been previously approved by the City Council, Staff would present the item to the City Council for approval.

CEQA COMPLIANCE STATEMENT:

The adoption of this ordinance is not subject to CEQA pursuant to Section 15060(c)(2) and 15060(c)(3) of the State CEQA Guidelines, because it will not result in a direct or reasonably foreseeable indirect physical change in the environment and is not a "project," as defined in Section 15378 of the CEQA Guidelines.

FISCAL IMPACT:

The introduction and adoption of the ordinance has no significant impact on the budget. It is anticipated that there may be savings in Staff time with a more efficient and streamlined procurement process as proposed.

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments / modifications.
- Take no action.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Ordinance 532 amending Solana Beach Municipal Code (SBMC) Chapter 3.08 to increase the City Manager's purchasing authority from \$25,000 to \$50,000, and to revise the thresholds for the procurement process.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Ordinance 532

ORDINANCE 532

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AMENDING TITLE 3, CHAPTER 3.08 OF THE SOLANA BEACH MUNICIPAL CODE REGARDING PURCHASING

WHEREAS, California Government Code section 54202 provides that every city “shall adopt policies and procedures, including bidding regulations, governing purchases of supplies and equipment” and that “[p]urchases of supplies and equipment by the [city] shall be in accordance with said duly adopted policies and in accordance with all provisions of law governing same;” and

WHEREAS, Chapter 3.08 of the Solana Beach Municipal Code contains procurement procedures for the purchase of goods, services, and equipment; and

WHEREAS, there have been significant increases to the San Diego regional consumer price index-urban consumers (CPI) since the City’s last revision to its purchasing regulations; and

WHEREAS, the impacts of the pandemic have further hampered the City’s ability to procure goods, equipment, and services in a timely manner due to lingering delays within supply chains; and

WHEREAS, it is recommended that the Council increase the City Manager’s purchasing authority from \$25,000 to \$50,000, and to increase the floor for the requirements of competitive bidding from \$2,500 to \$5,000 (ten percent of the City Manager’s authority); and

WHEREAS, the authority vested in the City Manager for the approval of small to medium size purchases ensures that the procurement process does not become overly cumbersome by creating undue delays in the approval process for small to medium size purchases; and

WHEREAS, the proposed changes to Municipal Code Chapter 3.08 will provide greater flexibility, administrative efficiencies, reduced costs, and enhanced ability to acquire goods and services in a timely manner.

The City Council of the City of Solana Beach, California, DOES HEREBY ORDAIN as follows:

SECTION 1. All of the above recitals are true and correct and are incorporated herein.

SECTION 2. The adoption of the ordinance is not subject to CEQA pursuant to Section 15060(c)(2) and 15060(c)(3) of the State CEQA Guidelines, because it will not result in a direct or reasonably foreseeable indirect physical change in the environment and is not a “project,” as defined in Section 15378 of the CEQA Guidelines.

SECTION 3. Sections 3.08.030, 3.08.050, 3.08.060, 3.08.070, 3.08.080, 3.08.085, 3.08.095, 3.08.100, and 3.08.140 of the Solana Beach Municipal Code are hereby amended to read as follows (underlines are additions and ~~strikeouts~~ are deletions)::

3.08.030 Duties and authority of the purchasing officer.

The purchasing officer shall have the authority to:

A. Negotiate, process the purchase of, and contract for all supplies, services and equipment needed by any city department or agency which derives its support wholly or in part from the city; provided however, that any single expenditure or contract in excess of ~~\$25,000~~ \$50,000 shall require city council approval.

B. Make procurements:

1. In accordance with the purchasing procedures prescribed by this chapter; and
2. In accordance with relevant administrative policies approved by the city manager for internal control and operations management.

C. Act to procure for the city the needed supplies, equipment and services with the necessary quality, capacity, safety, performance ability and overall cost, considering labor and maintenance costs and other applicable factors required to meet the service objectives of the using department or agency at the least expense to the city.

D. Discourage collusion in bidding and discourage vendor uniform bidding; endeavor to obtain the most open competition possible on all purchases.

E. Prepare and recommend administrative regulations, including revisions and amendments thereto, governing the purchase of supplies, services and equipment for the city; said regulations shall be effective upon approval by the city manager.

F. Remain informed of current developments in the field of purchasing, prices, market conditions and new products.

G. Prescribe and maintain such forms as are reasonably necessary for the operation of this chapter and other rules and regulations.

H. Transfer between departments any unused goods and supplies within any fiscal year.

I. Sell or exchange any and all equipment, materials, fixtures and other personal property of the city having a salvage value and which is obsolete or unserviceable, or is surplus to the city, or for which replacement is to be purchased. The purchasing officer or designee may sell the same for the best price obtainable in the open market or, when he/she deems it advisable, to the highest bidder at public sale, or he/she may exchange the same for other property or for credit on other property. In the event the purchasing officer determines that any such obsolete or surplus property has no salvage value, he/she may dispose of it as he/she deems advisable in accordance with Chapter 2.52 SBMC et seq. Any employees involved in declaring property surplus, or in the sale of said property, are excluded from acquiring the surplus property in any way.

J. Prescribe, design and issue forms needed for the operation of this chapter and other applicable rules and regulations.

K. Grant authority to any department director to purchase or contract for specified supplies and equipment; but shall require that such purchases or contracts be made in conformity with purchasing procedures established in this chapter. All fiduciary duties and responsibilities of the purchasing officer are incumbent upon the department directors when acting in the capacity of purchasing officer, particularly when negotiating contracts for professional services.

L. Grant each department director authority to perform the duties and exercise the authority of the purchasing officer with a limit on purchases from the same vendor, purchased on the same day, to less than ~~\$2,500~~ \$5,000 in value, except to the extent that the city manager reserves the duties and authority for himself/herself.

M. Grant a one percent advantage in the bid price to in-town vendors whenever supplies and equipment are subject to sales tax. Price alone shall not be the determining factor but shall be considered along with the other factors, including, but not limited to, the ability of the bidder to deliver, prior experience with the bidder and other factors relating to the particular needs of the city for the supplies and equipment to be purchased.

3.08.050 Use of purchase orders required and exceptions.

A. Purchase of supplies, services and equipment in excess of ~~\$2,500~~ \$5,000 shall be made only by purchase order. Except as otherwise provided in this chapter, no purchase order shall be issued unless the prior approval of the purchasing officer has been obtained. SBMC 3.08.070 and 3.08.080 shall not apply to the purchase of supplies, services or equipment under the following circumstances:

1. Emergency purchases as provided in SBMC 3.08.060; or
2. Purchases from the same vendor, made on the same day, by each department, of an estimated value of less than ~~\$2,500~~ \$5,000; or
3. Billing for utilities, and other similar payments, unless there exists maintenance or service agreements; or
4. Services provided only by another governmental agency where there exists a service agreement.

B. The purchasing officer may establish accounts with vendors for specified supplies, services and equipment. Open accounts shall be made pursuant to provisions of this chapter. The aggregate purchases under an open vendor account shall not exceed ~~\$2,500~~ \$5,000 per transaction. The accounts shall be open at the discretion of the purchasing officer after considering risk and need.

C. Except in cases of emergency or in cases where specific authority has first been obtained from the city council, the purchasing officer shall not issue any purchase order

for supplies, services and equipment unless there exists an unencumbered appropriation in the fund account against which such purchase is to be charged.

3.08.060 Emergency purchases.

The city manager or designee may make emergency purchases, not to exceed ~~\$25,000~~ \$50,000, free of the provisions of this chapter upon a showing by any department that the purchase required is for the immediate protection of life, health, or property and there is a present, immediate and existing emergency which could not reasonably be foreseen, or to prevent or mitigate an emergency condition from occurring. Emergency purchases that exceed ~~\$25,000~~ \$50,000 in response to conditions that endanger life, health or safety are free from the provisions of this chapter, but are required to be ratified by the city council at the soonest available regular city council meeting.

3.08.070 Informal purchasing procedures.

The purchasing officer may make purchases of supplies, equipment or services with a value of less than ~~\$25,000~~ \$50,000 by following the informal bid procedures provided in this section:

A. Purchases of supplies, services and equipment of an estimated value of less than ~~\$25,000~~ \$50,000 may be made by the purchasing officer in accordance with the procedures set forth in this section. The purchasing officer shall solicit informal competitive bids for all such purchases; provided, however, informal competitive bidding shall not be required for any purchase that has an estimated value of less than ~~\$2,500~~ \$5,000.

B. Except where competitive bidding is not required, informal bids shall be solicited for purchases of supplies, services or equipment and awarded to the lowest responsible bidder, as follows:

1. The informal bids may be oral or written;
2. Whenever possible, at least three informal bids or quotations shall be obtained, and the award be given to the lowest responsible bidder;
3. The purchasing officer shall solicit informal bids or quotations from prospective responsible vendors by written request, by telephone, by public notice posted on a bulletin board in City Hall and/or by adjudicated newspaper publication;

4. The informal bid purchase shall not require city council approval; the city manager, or designee, is authorized to execute the contract for any such purchase.

3.08.080 Formal contract procedure.

Except as otherwise specifically provided in this section or in other sections of this chapter, purchases of supplies, services and equipment of an estimated value of ~~\$25,000~~ \$50,000 or more shall be by formal sealed written competitive bids. Awards of such contracts shall be made by the city council to the lowest responsible bidder in accordance with the following provisions:

A. Notices Inviting Bids. Notices inviting bids shall include a general description of the supplies, services or equipment to be purchased. Notices shall also state where bid forms and specifications may be secured as well as the time and place for opening bids. Notices inviting bids must be given by publication in a newspaper of general circulation throughout the city at least 10 calendar days before the date of opening the bids. The notice shall be published twice, not less than five days apart per Public Contract Code Subsection 20164 of the State of California. The notice shall specify that the award shall be made to the lowest responsible bidder in accordance with SBMC 3.08.080.

B. Bidders' Security. When considered necessary by the purchasing officer, bidders' security may be prescribed in the notices inviting bids. Bidders shall not be entitled to the return of bid securities. The city council, on the refusal or failure of the successful bidder to execute the contract, may award the contract to the next lowest responsible bidder.

C. Confidentiality of Bids. Any bid received pursuant to the provisions of this chapter shall not be disclosed directly or indirectly to any other bidder until the bidding is closed and further bidding is excluded.

D. Bid Opening Procedure. Sealed bids shall be submitted to the city clerk or designee and shall be identified as bids on the sealed envelope. All bids submitted by the deadline shall be opened at the time and place stated in the public notice. All bids received shall be open for public inspection in the city clerk's office during business hours for 30 days after the bid opening. Bids will be destroyed in accordance with the city's adopted records retention schedule. The city reserves the right to confirm mathematical accuracy of the bids prior to award of the contract.

E. Rejection of Bids. The city council may, at its discretion, reject any and all bids presented and readvertise for bids.

F. Tie Bids. If two or more bids are received for the same total amount, quality and service being equal, and if public interest will not permit the delay of readvertising for bids, the city council may accept the one it chooses or accept the lowest bid made by negotiation with the tie bidders.

G. Contracts Exceeding Bid Amount. Change orders for contracts for the purchase of supplies, services or equipment may not exceed the bid amount by more than 25 percent.

H. Performance Bonds. The purchasing officer shall have the authority to require a performance bond before entering into a contract. The bond will be in an amount reasonably necessary to protect the best interest of the city. If a performance bond is required, the form and amount shall be described in the notice inviting bids.

I. Splitting or Separating Purchases or Contract. Contracts for the purchase of supplies, equipment or services may not be split or separated into smaller work orders for the express purpose of circumventing purchasing procedures.

J. Returning Retention Withholdings. The purchasing officer shall be required to return the required 10 percent retention withholdings in accordance with the original signed contract, or 60 calendar days after a notice of completion has been signed by the authorized department director and the authorized project coordinator, provided there are no outstanding stop orders or mechanics liens.

3.08.085 Purchase of used equipment.

If opportunities arise to purchase used equipment, such equipment may be purchased without competitive bidding, provided all the following conditions are met:

A. The equipment being sold is warranted or, in the case of an “as-is, where-is” purchase, there is an inspection by a qualified party who certifies that the condition of the item is acceptable and adequate for efficient city use.

B. The dealer of the equipment is a bona fide and reputable dealer as verified through reference checks or the equipment is being purchased from another governmental entity.

C. The selling price of the equipment is less than ~~\$25,000~~ \$50,000, including tax, installation, freight, and any other additional acquisition costs.

D. If no bids are received from the formal bidding process for the purchase of used equipment with a selling price of over ~~\$25,000~~ \$50,000, a written request to commence negotiation with a vendor(s) must be submitted to the city manager for approval. Acceptance of the contract is subject to city council approval.

Justification for the sole source purchase of used equipment must be documented and maintained as part of the procurement file.

It is not allowable to purchase used equipment when procedures for the acquisition of new equipment have been circumvented to avoid the competitive bidding process.

3.08.095 Award and execution of contracts.

Except in emergency situations pursuant to SBMC 3.08.060, all contracts for supplies, services and equipment in an estimated amount of ~~\$25,000~~ \$50,000, or more, shall be awarded by the city council. Contracts for supplies, services and equipment in an estimated amount of less than ~~\$25,000~~ \$50,000 shall be executed by the city manager or designee.

3.08.100 Change orders for contracts covering the purchase of supplies, services or equipment.

A. Change orders for contracts for the purchases of supplies, services and equipment may not exceed the original bid amount by more than 25 percent.

B. Change orders for an amount of less than ~~\$25,000~~ \$50,000 may be approved by the city manager if unencumbered funds are available.

C. Change orders for an amount of ~~\$25,000~~ \$50,000 or more shall require city council approval.

D. Any change order that results in the need for additional appropriation shall be approved by the city council.

3.08.140 Contracts for professional services.

Because of their unique nature, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as attorneys, accountants, architects, planning consultants, computer consultants, engineers, auditors, financial advisors, public relations consultants, real estate agents and brokers, insurance and bond agents and brokers, or other professional or consultant services of a similar nature, or at the discretion of the purchasing officer, be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the city manager is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price.

The procurement of professional services shall be as follows:

A. The city manager may exempt professional service contracts from the bid requirements of SBMC 3.08.070 for contracts less than ~~\$25,000~~ \$50,000 when it is necessary or convenient for the management of the city's affairs.

B. The purchasing officer shall ascertain from informed sources the names of not less than three professionals qualified for the service desired who are professionally and financially qualified to undertake the proposed assignment. When three such professionals are not readily identifiable, the city manager may determine that a lesser number of professionals is adequate.

C. A request for proposal shall be provided to all potential candidates outlining the scope of services required, time frame for completion, pricing structure, liability insurance information and coverage and other pertinent information. Professionals must submit their responses in the specified format no later than the stated final due date for proposals. The response must include liability insurance information and coverage.

D. The evaluation process will be based on the criteria stated in the request for proposal but will generally include the scope of services offered, the professional's capabilities and previous experience in the field.

E. After the proposals are evaluated, the purchasing officer will negotiate an agreement with the selected professional. If an agreement is not reached within a reasonable time, the purchasing officer will terminate discussion with the first candidate and open negotiations with the second choice.

SECTION 4. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council of the City of Solana Beach hereby declares that it would have adopted this Ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more section, subsection, sentence, clause, phrase, or portion may be declared invalid or unconstitutional.

SECTION 5. This ordinance shall be effective thirty (30) days after its adoption. Within fifteen (15) days after its adoption, the City Clerk shall cause this ordinance to be published pursuant to state law.

INTRODUCED at a regular meeting of the City Council of the City of Solana Beach, California held on the 27th day of September 2023, and thereafter,

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, on the ___ day of _____, 2023, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk