

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting
Wednesday, May 24, 2023 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's Department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual

who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u>CITY COUNCILMEMBERS</u>		
Lesa Heebner Mayor		
David A. Zito Deputy Mayor / Councilmember District 1		Jewel Edson Councilmember District 3
Kristi Becker Councilmember District 2		Jill MacDonald Councilmember District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

- National Public Works Week
- Gun Violence Awareness Day

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

- San Dieguito River Park JPA
- San Diego County Fair

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.6.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on April 26, 2023.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for April 22, 2023 – May 05, 2023.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. General Fund Adopted Budget for Fiscal Year 2022/2023 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2022/2023 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Citywide Landscape Maintenance Services. (File 0750-25)

Recommendation: That the City Council

1. Adopt **Resolution 2023-047**:
 - a. Authorizing the City Manager to execute a Professional Services Agreement with Nissho of California, Inc., in an amount not to exceed \$388,652.84, for Citywide Landscape Maintenance effective July 1, 2023, for Fiscal Year 2023/24.
 - b. Authorizing the City Manager to extend the agreement for up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.5. Economic Consulting Services. (File 0390-00)

Recommendation: That the City Council

1. Adopt **Resolution 2023-066** authorizing the City Manager to execute an amendment to the Professional Services Agreement, in an amount not to exceed \$55,000, with Keyser Marston Associates, Inc. for economic consulting services.
2. Authorize an appropriation of \$30,000 from the Professional Services account in the City Manager's department.
3. Authorize the City Treasurer to amend the FY 2023/2024 Budget accordingly.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.6. 2023 Multi-Jurisdictional Hazard Mitigation Plan Update. (File 0240-30)

Recommendation: That the City Council

1. Adopt **Resolution 2023-065** approving the updated City of Solana Beach Annex of the 2023 Multi-Jurisdictional Hazard Mitigation Plan.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 228 N. Helix Ave., Applicant: Ryan Bowers, Case No.: DRP22-013, SDP22-011. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-064** conditionally approving a DRP and SDP, for a new two-story, single-family residence with a fully subterranean basement and an attached two-car garage and perform associated site improvements at 228 North Helix Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Short Term Vacation Rental (STVR) Ordinance Discussion. (File 0610-15)

Recommendation: That the City Council

1. Provide input and direction regarding the City's STVR regulations.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 22, 2022

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Becker
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is June 14, 2023

Always refer to the City's website Event Calendar for an updated schedule or contact City Hall. www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the May 24, 2023 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on May 17, 2023 at 12:45 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., May 24, 2023, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MINUTES

Joint Meeting - Closed Session
Wednesday, April 26, 2023 at 5:00 p.m.
City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

<u>CITY COUNCILMEMBERS</u>		
David A. Zito Deputy Mayor / Councilmember District 1	Lesa Heebner Mayor	Jewel Edson Councilmember District 3
Kristi Becker Councilmember District 2		Jill MacDonald Councilmember District 4
Gregory Wade City Manager	Johanna Canlas City Attorney	Angela Ivey City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

- Present: Lesa Heebner, David A. Zito, Jewel Edson, Kristi Becker, Jill MacDonald
- Absent: None
- Also Present: Greg Wade, City Manager
Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):

Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.

CLOSED SESSION:

- 1. CONFERENCE WITH LABOR NEGOTIATORS**
Pursuant to Government Code Section 54957.6
Agency designated representative: Gregory Wade
Employee organizations: Marine Safety Unit, Miscellaneous
- 2. CONFERENCE WITH REAL PROPERTY NEGOTIATOR**
Pursuant to Government Code Section 54956.8
Property: APN: 263-352-03,04,05,06 and 07 and 263-342-02
City Negotiators: City Manager Gregory Wade and City Attorney Johanna Canlas
Negotiating Parties: Matt Tucker, North County Transit District
Under negotiation: Purchase Price and Terms
- 3. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**
Pursuant to Government Code Section 54956.9(d)(2)
One (1) Potential case

No reportable action.

ADJOURN:

Mayor Heebner adjourned the meeting at 6:10 p.m.

Angela Ivey, City Clerk

Council Approved: _____

CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting
Wednesday, April 26, 2023 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

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CITY COUNCILMEMBERS

Lesa Heebner
Mayor

David A. Zito
Deputy Mayor / Councilmember District 1

Kristi Becker
Councilmember District 2

Jewel Edson
Councilmember District 3

Jill MacDonald
Councilmember District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:20 p.m.

Present: Lesa Heebner, David A. Zito, Jewel Edson, Kristi Becker, Jill MacDonald

Absent: None

Also: Dan King, Assistant City Manager

Present: Johanna Canlas, City Attorney

Angela Ivey, City Clerk

Mo Sammak, City Engineer/Public Works Dir.

Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.

Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

- Bike Month

Mayor Heebner read the proclamation.

Jill and Carl Rudnick accepted the proclamation and spoke about the community grant that made two recent Solana Beach tours possible, two upcoming events, a tour and scavenger hunt, finding all events and updates on bikewalksolana.org.

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Peggy Walker, San Dieguito Alliance of Drug Free Youth, spoke about California Assembly Bill 1207, the Cannabis Candy Child Safety Act, and asked for Council's support, the regulatory and enforcement efforts for Prop 64 promising the industry would not market or advertise products directly to children had failed, statistics of cannabis poisoning of children, AB1207's purpose to clarify the definition of what is attractive to children and more clearly prohibit the sales, manufacturing, packaging, or marketing of these products to children.

The City Council nodded in agreement that they would support the bill.

Rosette Garcia, League of Women's Voters of North County San Diego, stated that they request an agenda item regarding their proposal to host a candidate forum for the next City Council and Mayoral elections, that their hosted forums were the most effective and efficient platform, the benefits of candidate forums to the community, that the best place was at City Hall due to the available technical abilities, and that their website was www.lwvncsd.org for the organization's information.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on March 22, 2023.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for March 25, 2023 – April 07, 2023.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.3. General Fund Adopted Budget for Fiscal Year 2022/2023 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2022/2023 General Fund Adopted Budget.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.4. Local Conflict of Interest Code Update. (File 0440-20)

Recommendation: That the City Council

1. Adopt **Resolution 2023-043** adopting an amended Solana Beach Conflict of Interest Code.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

B. PUBLIC HEARINGS: (B.1. – B.4.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 502 S. Rios Ave., Applicant: Buchanan, Case: DRP22-012.
(File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned,

to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-048** conditionally approving a DRP to construct a remodel, a 203 square-foot conversion of garage area to habitable area, a 176 square-foot addition to the garage, and perform associated site improvements at 502 South Rios Avenue, Solana Beach.
4. Adopt **Resolution 2023-049** vacating the 4 feet of excess public street right-of-way at 502 South Rios Avenue, Solana Beach.

Councilmember Becker recused herself due to property interest within 500 ft. of the project vicinity.

Dan King, Assistant City Manager, introduced the item.

Katie Benson, Sr. Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Council and Staff discussed the public improvements, curb recommendations, and the irrevocable offer of dedication (IOD).

The Applicant did not have a presentation.

Motion: Moved by Deputy Mayor Zito and second by Councilmember Edson to close the public hearing. **Approved 4/0/1.** Ayes: Heebner, Zito, Edson, MacDonald. Noes: None. Absent: Becker (recused). Motion carried.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Zito to approve. **Approved 4/0/1.** Ayes: Heebner, Zito, Edson, MacDonald. Noes: None. Absent: Becker (recused). Motion carried.

B.2. Public Hearing: 658 Marsolan Ave., Applicants: Gumanoyskaya & Shlopov, Case: DRP21-018/SDP21-016. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, should the City Council be able to make the findings to approve the SDP, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.

2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-009** conditionally approving a DRP, and SDP, to demolish the existing single-family residence, construct a replacement multi-level single-family residence of 2,745 square-feet built above a 392 square-foot basement with an attached 509 square-foot basement level two-car garage, and perform associated site improvements at 658 Marsolan Avenue, Solana Beach.

Councilmember Edson recused herself due to property interest within 500 ft. of the project vicinity.

Dan King, Assistant City Manager, introduced the item.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Marina Gumanoykaya, Applicant, spoke about the roof decks and their intention to use it to watch sunsets, having her mother-in-law live with them, that they took all comments and made changes to accommodate, and that they did not intend to have roof deck parties.

Steve Dalton, Applicant's Architect, stated that they made changes upon Council's comments that the project was too close to the street, that they reduced the upper deck and upper floor walls, the "waterfall" element had been removed, that more articulation was implemented by redesigning the fascia board of the roof and a recessive color, pop outs, all retaining walls were removed from the front yard and replaced with tiered slope, recessed the garage further for more shadow and depth in front of the garage.

Council and Applicant discussed the improvements, that the design was beautiful, all of the changes were impactful, the intent of the roof deck, the roof decks in the surrounding area, the roof deck adding bulk and scale, the roof deck appeared to be minimally invasive to the structure, and the lack of support of the roof deck, and that people's lives change and owners change so there was no way to ensure how a roof deck may be used over time.

Deputy Mayor Zito stated that he would support this roof deck but that he would support the motion as is.

Motion: Moved by Mayor Heebner and second by Councilmember MacDonald to close the public hearing. **Approved 4/0/1.** Ayes: Heebner, Zito, Becker, MacDonald. Noes: None. Absent: Edson (recused). Motion carried.

Motion: Moved by Mayor Heebner and second by Councilmember Becker to approve but removing the roof deck. **Approved 4/0/1.** Ayes: Heebner, Zito, Becker, MacDonald. Noes: None. Absent: Edson (recused). Motion carried.

B.3. Public Hearing: 1466 Santa Luisa, Applicant: Krems, Case: DRP22-005/SDP22-002. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-042** conditionally approving a DRP and SDP for an interior remodel and a square footage addition to the existing two-story, single-family residence with an attached garage and associated site improvements at 1466 Santa Luisa, Solana Beach.

Dan King, Assistant City Manager, introduced the item.

Corey Andrews, Principal Planner, presented a PowerPoint (on file) and explained that a View Assessment Claim was filed but withdrawn.

Mayor Heebner opened the public hearing.

Council disclosures.

Mr. Krems, Applicant, stated that this was their primary residence for his family and that they designed a house that would meet their functional needs.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to close the public hearing. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

Motion: Moved by Councilmember Edson and second by Councilmember MacDonald to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

B.4. Introduction (1st Reading) of Ordinance 530 Public Hearing: Zoning text Amendment – San Elijo Hills. (File 0600-05)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Introduce **Ordinance 530** adding section 17.68.030(C)(1)(c)(i-vii) to the Solana Beach Municipal Code that would allow for modifications to roof structures of legal nonconforming garages that encroach into the required front yard setback and are located in the Low-Medium Residential Zone north of Lomas Santa Fe Drive and east of the Interstate 5 Freeway.

Councilmember MacDonald recused herself due to a property interest within 500 ft. of the project vicinity.

Dan King, Assistant City Manager, introduced the item.

Katie Benson, Sr. Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Motion: Moved by Deputy Mayor Zito and second by Councilmember Becker to close the public hearing. **Approved 4/0/1.** Ayes: Heebner, Zito, Edson, Becker. Noes: None. Absent: MacDonald (recused). Motion carried.

Council discussed the public letters received regarding existing living space above a garage that would be legal nonconforming, that expansion of this area would probably not be appropriate, that the restrictive rules were narrow of the functionality for this area, and that it might be useful citywide.

Motion: Moved by Councilmember Becker and second by Councilmember Edson to approve. **Approved 4/0/1.** Ayes: Heebner, Zito, Edson, Becker. Noes: None. Absent: MacDonald (recused). Motion carried.

WORK PLAN COMMENTS:

Adopted June 22, 2022

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 7:44 p.m.

Angela Ivey, City Clerk

Council Approved: _____



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands - 04/22/2023 through 05/05/2023		
Check Register - Disbursement Fund (Attachment 1)		\$ 433,817.56
Net Payroll Retiree Health	May 4, 2023	3,721.00
Net Payroll Staff N22	April 28, 2023	<u>228,631.03</u>
TOTAL		\$ <u>666,169.59</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for April 22, 2023 through May 5, 2023 reflects total expenditures of \$666,169.59 from various City sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

4/22/2023 - 5/5/2023

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant N22	04/27/2023	9000762	\$18,176.76
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant N22	04/27/2023	9000764	\$850.00
NORTH COUNTY TRANSIT DISTRICT	23/24-ANNUAL LEASE FEE	05/05/2023	103742	\$174.70
US BANK	LCW CONFERENCE	05/05/2023	103726	\$356.56
US BANK	LCW CONFERENCE	05/05/2023	103726	\$496.65
US BANK	LCW CONFERENCE	05/05/2023	103726	(\$20.00)
US BANK	SD STAY	05/05/2023	103726	\$527.03
PRE-PAID LEGAL SERVICES, INC	APR 23-PPD LEGAL	05/05/2023	103744	\$25.90
AFLAC	APRIL 23	05/05/2023	103723	\$789.70
MISSION SQUARE RHS 801939	Payroll Run 1 - Warrant N22	04/27/2023	9000763	\$2,115.90
CALPERS	NC10 04/13/23 PD (05/05/23 PERS)	05/02/2023	9050223	\$705.29
STERLING HEALTH SERVICES, INC.	N22 DCA/FCA CONTRIBUTIONS	05/05/2023	9000771	\$1,442.97
STERLING HEALTH SERVICES, INC.	N22 DCA/FCA CONTRIBUTIONS	05/05/2023	9000771	\$611.68
SELF INSURED SERVICES COMPANY	MAY 23-DENTAL	05/05/2023	9000767	\$2,591.40
FRANCHISE TAX BOARD	Payroll Run 1 - Warrant N22	04/27/2023	103691	\$100.00
FIDELITY SECURITY LIFE INSURANCE COMPANY	MAY 23-VISION	05/05/2023	103733	\$417.31
ELLEN LEFKOWITZ	RFND-FCCC-03/31/23	04/27/2023	103688	\$500.00
TARZIAN LANDSCAPE, INC.	RFND-ENC23-0013/233 S HELIX	04/27/2023	103717	\$571.00
JP ENGINEERING	RFND-TE23-001	05/05/2023	103737	\$2,229.00
JP ENGINEERING	RFND-TE23-001	05/05/2023	103737	\$576.00
SDCM INC	RFND-DUP23-003	05/05/2023	103747	\$2,277.25
SDCM INC	RFND-DUP23-003	05/05/2023	103747	\$576.00
TOTAL GENERAL FUND				\$36,091.10
1005100 - CITY COUNCIL				
US BANK	CLOSED SESSION	05/05/2023	103726	\$62.95
US BANK	CLOSED SESSION	05/05/2023	103726	\$216.43
JALISCIENCE FOLKLORIC ACADEMY	FY23 COMMUNITY GRANT	05/05/2023	103736	\$5,000.00
TOTAL CITY COUNCIL				\$5,279.38
1005150 - CITY CLERK				
STAPLES CONTRACT & COMMERCIAL	FILE CABINET	05/05/2023	103748	\$461.16
STAPLES CONTRACT & COMMERCIAL	DOLLY	05/05/2023	103748	\$41.31
STAPLES CONTRACT & COMMERCIAL	DOLLY	05/05/2023	103748	\$82.63
STAPLES CONTRACT & COMMERCIAL	RFND - INV# 3246936871	05/05/2023	103748	(\$108.75)
US BANK	COLORED PAPER	05/05/2023	103726	\$152.62
US BANK	LAMINATING SHEETS	05/05/2023	103726	\$59.68
US BANK	MINTUES TRANSCRIPT	05/05/2023	103726	\$16.50
US BANK	RECORD REQUEST	05/05/2023	103726	\$2.30
US BANK	REFUND RECYCLING BIN LID	05/05/2023	103726	(\$25.95)
US BANK	WIRE CLIPS	05/05/2023	103726	\$4.28
US BANK	MONITOR MEMO/STAMP/TIMER	05/05/2023	103726	\$52.31
US BANK	MONITOR MEMO HOLDER	05/05/2023	103726	\$28.93
US BANK	RECORD REQUEST PROGRAM	05/05/2023	103726	\$57.50

ATTACHMENT 1

UT SAN DIEGO - NRTH COUNTY	ORD 530 INTRO	05/05/2023	103749	\$95.79
GRANICUS INC	WEBSITE UPDATE	04/27/2023	103692	\$897.17
SPECTRA ASSOCIATES, INC	D CUSTOM MINUTE BOOKS/LETTERING	04/27/2023	103712	\$360.50
SPECTRA ASSOCIATES, INC	C MINUTE BOOKS/LETTERING	04/27/2023	103712	\$215.50
1 STOP TONER & INKJET, LLC	TONER	04/27/2023	103704	\$74.64
TOTAL CITY CLERK				\$2,468.12
1005200 - CITY MANAGER				
US BANK	SCHOOL RELATIONS REFRESHMENT	05/05/2023	103726	\$20.00
US BANK	INK CARTRIDGES	05/05/2023	103726	\$71.00
EMANUELS JONES AND ASSOCIATES	JAN 23-CONSULTING SERVICES	05/05/2023	103731	\$2,600.00
EMANUELS JONES AND ASSOCIATES	FEB 23-CONSULTING SERVICES/4TH QTR 2022 FILED	05/05/2023	103731	\$2,675.00
EMANUELS JONES AND ASSOCIATES	MAR 23-CONSULTING SERVICES	05/05/2023	103731	\$2,600.00
EMANUELS JONES AND ASSOCIATES	APR 23-CONSULTING SERVICES	05/05/2023	103731	\$2,600.00
TOTAL CITY MANAGER				\$10,566.00
1005250 - LEGAL SERVICES				
PILLSBURY WINTHROP SHAW PITTMAN LLP	MAR 23-PROFESSIONAL SERVICE	05/05/2023	103743	\$1,541.00
PILLSBURY WINTHROP SHAW PITTMAN LLP	MAR 23-PROFESSIONAL SERVICE	05/05/2023	103743	\$1,541.00
TOTAL LEGAL SERVICES				\$3,082.00
1005300 - FINANCE				
US BANK	EXCEL TRAINING	05/05/2023	103726	\$189.99
US BANK	ACA E-FILING FORMS	05/05/2023	103726	\$193.55
KFORCE INC.	04/20/23-TEMP SERVICES-FIN	05/05/2023	9000770	\$1,280.00
TOTAL FINANCE				\$1,663.54
1005350 - SUPPORT SERVICES				
READY REFRESH BY NESTLE	MAR 23-DRINKING WATER-CH	04/27/2023	103706	\$174.46
READY REFRESH BY NESTLE	MAR 23-DRINKING WATER-REC	04/27/2023	103706	\$47.60
READY REFRESH BY NESTLE	MAR 23-DRINKING WATER-PW	04/27/2023	103706	\$73.36
AMAZON.COM SALES, INC	POST ITS/PENCILS/LEAD/RECEIPT BOOK	05/05/2023	103724	\$76.81
TOTAL SUPPORT SERVICES				\$372.23
1005400 - HUMAN RESOURCES				
US BANK	TEMP EE PERSONNEL FILE FOLDERS	05/05/2023	103726	\$65.72
US BANK	FIRE PREVENTIONS REFRESHMENTS	05/05/2023	103726	\$17.05
COASTAL LIVE SCAN AND INSURANCE	LIVE SCAN-FINGERPRINTS	05/05/2023	103727	\$330.00
BUSINESS OFFICE OUTFITTERS	New Principal HR Analyst Offic	04/27/2023	103683	\$4,997.20
HANS SCHMIDT	PANEL LUNCH	05/05/2023	103735	\$65.00
TOTAL HUMAN RESOURCES				\$5,474.97
1005450 - INFORMATION SERVICES				
COX COMMUNICATIONS INC	0013410039730701 - 03/19/23-04/18/23	05/05/2023	103728	\$317.49
VERIZON WIRELESS-SD	670601022 - 02/24/23-03/23/23	05/05/2023	103750	\$114.03
WESTERN AUDIO VISUAL	AUDIO VISUAL MAINTENANCE-APR 23	05/05/2023	103751	\$499.00
AT&T CALNET 3	9391062899-02/24/23-03/23/23	05/05/2023	103725	\$167.43
AT&T CALNET 3	9391012282 - 02/24/23-03/23/23	05/05/2023	103725	\$27.11
AT&T CALNET 3	9391053641 - 02/24/23-03/23/23	05/05/2023	103725	\$167.43
MANAGED SOLUTION	APR 23-IT Services Managed Solution	05/05/2023	103740	\$550.00
MANAGED SOLUTION	APR 23-IT Services Managed Solution	05/05/2023	103740	\$2,178.94
MALWAREBYTES	MALWARE PROTECTION-APR 23/24	05/05/2023	103739	\$3,215.90
FISHER INTEGRATED, INC.	MAR 23-WEB STREAMING SVC	05/05/2023	103734	\$800.00
TING FIBER INC.	APR 23-Ting Fiber-TIDE BEACH	05/05/2023	9000772	\$450.00
TING FIBER INC.	APR 23-Ting Fiber-DEL MAR SHORES	05/05/2023	9000772	\$450.00
TING FIBER INC.	APR 23-Ting Fiber-SB FACILITIES	05/05/2023	9000772	\$3,249.00

ZOOM VIDEO COMMUNICATIONS INC	23/24-ZOOM MEETINGS	05/05/2023	9000773	\$13,737.90
TOTAL INFORMATION SERVICES				\$25,924.23
1005550 - PLANNING				
UT SAN DIEGO - NRTH COUNTY	DRP22-009/SDP22-007/MEC23-001	05/05/2023	103749	\$385.36
UT SAN DIEGO - NRTH COUNTY	PUB NTC-HOUSING ELEMENT ADOPT:ARTC 10.6	05/05/2023	103749	\$329.59
SAN DIEGO COUNTY RECORDER	MAR 23-MAP FEE	04/27/2023	103708	\$2.00
DANIEL WELTE	RFND-PVC PIPE SEGMENTS	05/05/2023	103729	\$25.22
TOTAL PLANNING				\$742.17
1005590 - PARKING ENFORCEMENT				
US BANK	PHONE CASES	05/05/2023	103726	\$43.23
US BANK	UNIFORM SHIRTS	05/05/2023	103726	\$42.02
US BANK	COUNTY MAPS	05/05/2023	103726	\$8.00
COUNTY OF SAN DIEGO_5210	JUL-DEC 2020-PARKING CITATIONS ADMIN FEES	05/05/2023	103730	\$3,097.75
COUNTY OF SAN DIEGO_5210	JAN - DEC 2021-PARKING CITATION ADMIN FEE	05/05/2023	103730	\$14,401.50
CECILIO CANSECO	REIMB-SUBSTND HOUSING WEBINAR/PLAN READING COURSE	04/27/2023	103684	\$111.00
TOTAL PARKING ENFORCEMENT				\$17,703.50
1006120 - FIRE DEPARTMENT				
US BANK	LED TURN MARKER	05/05/2023	103726	\$309.40
US BANK	COUNTER PENS WITH CHAIN	05/05/2023	103726	\$12.92
US BANK	LADDER GUIDE	05/05/2023	103726	\$59.74
US BANK	TRUCK CABLES	05/05/2023	103726	\$31.22
US BANK	TIRE CLEANER	05/05/2023	103726	\$28.38
US BANK	FIRE STATION OFFICE SUPPLIES	05/05/2023	103726	\$74.60
US BANK	FIRE STATION SUPPLIES	05/05/2023	103726	\$1,272.39
THE STATE CHEMICAL MFG CO	STA-ZORB HAZMAT CLEANUP	04/27/2023	103714	\$728.40
NORTH COUNTY EVS, INC	NCEVS APPARATUS REPAIR	05/05/2023	103741	\$1,013.79
NORTH COUNTY EVS, INC	NCEVS APPARATUS REPAIR	05/05/2023	103741	\$2,126.94
FIRE ETC.	FABRIC CLEANER/GERMICIDAL CLEANER	04/27/2023	103690	\$385.06
REGIONAL COMMS SYS, MS 056 - RCS	MAR 23-CAP CODE	04/27/2023	103707	\$32.50
AAIR PURIFICATION SYSTEMS	BATTERIES/LABOR	04/27/2023	103678	\$414.23
AAIR PURIFICATION SYSTEMS	HOSES/LABOR	04/27/2023	103678	\$463.64
MUNICIPAL EMERGENCY SERVICES, INC	SCBA FLOW TEST	04/27/2023	103702	\$920.79
AT&T CALNET 3	9391059865 - 03/01/23-03/31/23	05/05/2023	103725	\$398.55
TRAUMA INTERVENTION PROGRAMS INC	FY 21/22-24 HOUR VOLUNTEER RESPONSE SVC	04/27/2023	103718	\$2,018.00
TRAUMA INTERVENTION PROGRAMS INC	FY 22/23-24 HOUR VOLUNTEER RESPONSE SVC	04/27/2023	103718	\$1,941.15
CHARLES MEAD	RFND-COMPANY OFFICER 2A	04/27/2023	103697	\$450.00
CHARLES MEAD	RFND-COMPANY OFFICER 2E	04/27/2023	103697	\$450.00
FAILSAFE TESTING, LLC	ANNUAL INSPECTION T-237	04/27/2023	103689	\$2,232.68
LINEGEAR FIRE & RESCUE EQUIPMENT	RESPONSE JACKET	04/27/2023	103696	\$302.43
LINEGEAR FIRE & RESCUE EQUIPMENT	STRUCTURAL GLOVES	05/05/2023	103738	\$4,429.25
AFECO INC	REPAIR/RESTICHING	04/27/2023	103711	\$510.25
TOTAL FIRE DEPARTMENT				\$20,606.31
1006130 - ANIMAL CONTROL				
HABITAT PROTECTION, INC	APR 23-DEAD ANIMAL REMOVAL	04/27/2023	103693	\$145.00
HABITAT PROTECTION, INC	MAR 23-DEAD ANIMAL REMOVAL	04/27/2023	103693	\$145.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	MAY 23-Animal Services	05/05/2023	103745	\$7,603.00
TOTAL ANIMAL CONTROL				\$7,893.00
1006170 - MARINE SAFETY				
US BANK	SUPERVISOR TRAINING	05/05/2023	103726	\$105.00
US BANK	SUPERVISOR TRAINING	05/05/2023	103726	\$105.00

US BANK	SUPERVISOR TRAINING	05/05/2023	103726	\$105.00
US BANK	NOW HIRING BANNER	05/05/2023	103726	\$156.24
US BANK	SHIPPING BOX	05/05/2023	103726	\$8.07
US BANK	RADIO MAINTENCE SHIPPING	05/05/2023	103726	\$37.12
US BANK	EXTENSION CORD/MOTOR OIL	05/05/2023	103726	\$67.59
US BANK	TRUCK RACK HARDWARE	05/05/2023	103726	\$5.67
US BANK	SCUBA TANK REGULAR SERVICE	05/05/2023	103726	\$392.76
US BANK	HQ STORAGE SUPPLIES	05/05/2023	103726	\$59.83
US BANK	HQ STORAGE SUPPLIES	05/05/2023	103726	\$30.59
US BANK	SMALL TOOLS	05/05/2023	103726	\$20.24
US BANK	CPR RECERTIFICATIONS X13	05/05/2023	103726	\$408.00
US BANK	PWC EQUIPMENT	05/05/2023	103726	\$112.69
US BANK	BATTERIES	05/05/2023	103726	\$23.48
US BANK	PWC SEALANT	05/05/2023	103726	\$12.91
TOTAL MARINE SAFETY				\$1,650.19
1006510 - ENGINEERING				
NORTH COUNTY TRANSIT DISTRICT	23/24-ANNUAL LEASE FEE	05/05/2023	103742	\$124.79
US BANK	DG-2021 GREENBOOK STAND SPEC	05/05/2023	103726	\$148.82
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$52.17
MOHAMMAD SAMMAK	RFND-ENGINEER LUNCHEON	04/27/2023	103700	\$17.07
TOTAL ENGINEERING				\$342.85
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	LAUNDRY PW	04/27/2023	103699	\$14.99
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	04/27/2023	103699	\$14.97
SANTA FE IRRIGATION DISTRICT	005506-014-03/02/23-03/31/23	05/05/2023	103746	\$246.74
MIKHAIL OGAWA ENGINEERING	MAR 23-STORMWATER PROGRAM	04/27/2023	103698	\$5,981.21
MIKHAIL OGAWA ENGINEERING	MAR 23-STORMWATER PROGRAM	04/27/2023	103698	\$387.10
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$52.16
TOTAL ENVIRONMENTAL SERVICES				\$6,697.17
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	LAUNDRY PW	04/27/2023	103699	\$25.68
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	04/27/2023	103699	\$25.69
DIXIELINE LUMBER CO INC	WASHER HEAD/SCREWS/PAINT/SPRAY PAINT	04/27/2023	103686	\$79.91
DIXIELINE LUMBER CO INC	HOT GLUE/GAS CAN	04/27/2023	103686	\$43.83
DIXIELINE LUMBER CO INC	BALL VALVE/PRUNER/HOLSTER	04/27/2023	103686	\$55.29
DIXIELINE LUMBER CO INC	WRENCH/CABLE TIES	04/27/2023	103686	\$209.41
SANTA FE IRRIGATION DISTRICT	011695-000-03/02/23-03/31/23	05/05/2023	103746	\$121.81
US BANK	RAIN BOOTS	05/05/2023	103726	\$76.49
US BANK	GRANITE	05/05/2023	103726	\$224.01
US BANK	FLAME RETARDANT OVERALLS	05/05/2023	103726	\$156.13
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$52.16
UNDERGROUND SVC ALERT OF SOCAL INC	JAN 23-DIG ALERT	04/27/2023	9000765	\$122.00
NISSHO OF CALIFORNIA	MAR 23-LANDSCAPE MAINTENANCE SERVICES	04/27/2023	103703	\$1,330.00
BILL SMITH FOREIGN CAR SERVICE INC	OIL CHANGE/FILTER	04/27/2023	103682	\$482.23
WEST COAST ARBORISTS, INC.	MAR 23-TREE MAINTENANCE SERVICES	04/27/2023	103722	\$2,114.70
WEST COAST ARBORISTS, INC.	MAR 23-TREE MAINTENANCE SERVICES	04/27/2023	103722	\$1,813.20
TOTAL STREET MAINTENANCE				\$6,932.54
1006540 - TRAFFIC SAFETY				
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$37.26
YUNEX LLC	FY23 TRAFFIC SIGNAL AND SAFETY LIGHT MAINT/REPAIR	04/27/2023	9000766	\$7,746.25

TOTAL TRAFFIC SAFETY**\$7,783.51****1006550 - STREET CLEANING**

SANTA FE IRRIGATION DISTRICT	011695-000-03/02/23-03/31/23	05/05/2023	103746	\$71.54
PRIDE INDUSTRIES	MAR 23-TRASH ABATEMENT SERVICES	04/27/2023	103705	\$1,257.75
SCA OF CA, LLC	MAR 23- STREET SWEEPING SERVICES	04/27/2023	103710	\$3,910.15

TOTAL STREET CLEANING**\$5,239.44****1006560 - PARK MAINTENANCE**

MISSION LINEN & UNIFORM INC	LAUNDRY PW	04/27/2023	103699	\$18.19
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	04/27/2023	103699	\$18.19
SANTA FE IRRIGATION DISTRICT	005506-018 - 03/02/23-03/31/23	05/05/2023	103746	\$201.47
SANTA FE IRRIGATION DISTRICT	005506-019 - 03/02/23-03/31/23	05/05/2023	103746	\$262.37
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$519.82
US BANK	FCP PAINT	05/05/2023	103726	\$256.21
US BANK	BOAT PAINT	05/05/2023	103726	\$183.11
US BANK	FCP PAINT	05/05/2023	103726	\$405.67
US BANK	FCP HAND DRYERS	05/05/2023	103726	\$828.57
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$74.51
NISSHO OF CALIFORNIA	FEB 23-AS NEEDED LANDSCAPING SERVICES	04/27/2023	103703	\$2,493.88
NISSHO OF CALIFORNIA	JAN 23-AS NEEDED LANDSCAPING SERVICES	04/27/2023	103703	\$728.74
NISSHO OF CALIFORNIA	MAR 23-LANDSCAPE MAINTENANCE SERVICES	04/27/2023	103703	\$325.00
NISSHO OF CALIFORNIA	MAR 23-LANDSCAPE MAINTENANCE SERVICES	04/27/2023	103703	\$325.00
DOG WASTE DEPOT	WASTE BAGS	04/27/2023	103687	\$301.69
SUNBELT RENTALS, INC.	TILLER RENTAL	04/27/2023	103716	\$105.24
MOST DEPENDABLE FOUNTAINS, INC.	CALRECY FCP BOTTLE FILL STATIO	04/27/2023	103701	\$5,509.57

TOTAL PARK MAINTENANCE**\$12,557.23****1006570 - PUBLIC FACILITIES**

DIXIELINE LUMBER CO INC	BATTERIES	04/27/2023	103686	\$10.76
DIXIELINE LUMBER CO INC	BOLT/TAPE/WALL ANCHOR/SPACKLE	04/27/2023	103686	\$34.67
DIXIELINE LUMBER CO INC	STUD FINDER/SCREWS	04/27/2023	103686	\$30.21
DIXIELINE LUMBER CO INC	WEATHER PROOF COVER/DRILL BIT/BOLT ANCHOR	04/27/2023	103686	\$37.00
DIXIELINE LUMBER CO INC	PAINT BRUSHES/SANDING SCREEN/SANDER	04/27/2023	103686	\$26.19
DIXIELINE LUMBER CO INC	PUTTY KNIFE/JOINT KNIFE	04/27/2023	103686	\$28.36
DIXIELINE LUMBER CO INC	COVER/BIT	04/27/2023	103686	\$36.16
LEE'S LOCK & SAFE INC	DOOR HANDLE FIXED	04/27/2023	103695	\$145.78
US BANK	FLOOD LIGHTING	05/05/2023	103726	\$196.08
US BANK	LAMP	05/05/2023	103726	\$31.94
US BANK	STEP LADDER	05/05/2023	103726	\$268.30
24 HOUR ELEVATOR, INC	APR 23- ELEVATOR PREVENTATIVE MAINT/REPAIR	04/27/2023	103677	\$185.22
STANDARD PLUMBING SUPPLY COMPANY	FLUSH VALVE/TAPE	04/27/2023	103713	\$170.10
PRIDE INDUSTRIES	MAR 23-TRASH ABATEMENT SERVICES	04/27/2023	103705	\$1,257.75

TOTAL PUBLIC FACILITIES**\$2,458.52****1007100 - COMMUNITY SERVICES**

EXTERIOR PRODUCTS INC	ANLN CITY BANNER	05/05/2023	103732	\$4,015.00
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TOTAL COMMUNITY SERVICES**\$4,015.00****1007110 - GF-RECREATION**

US BANK	LA COLONIA WORKSHOP REFRESH	05/05/2023	103726	\$113.21
ABLE PATROL & GUARD, INC	MAR 23-GUARD SVC-FCCC	04/27/2023	103679	\$650.00

TOTAL GF-RECREATION**\$763.21****1205460 - SELF INSURANCE RETENTION**

US BANK	CLM23.05 POSTAGE	05/05/2023	103726	\$8.76
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GEORGE HILLS COMPANY, INC.	2202.RIECKEN	05/05/2023	9000769	\$246.40
YUNEX LLC	CR23.125-ACCIDENT REIMBURSEMENT	04/27/2023	9000766	\$1,570.99
TOTAL SELF INSURANCE RETENTION				\$1,826.15
135 - EQUIPMENT REPLACEMENT				
JP ENGINEERING	RFND-TE23-001	05/05/2023	103737	\$28.05
SDCM INC	RFND-DUP23-003	05/05/2023	103747	\$28.45
TOTAL EQUIPMENT REPLACEMENT				\$56.50
1355200 - ASSET REPLACEMENT-CTY MNGR				
TYLER TECHNOLOGIES, INC.	50/50 WORK SPLIT	04/27/2023	103719	\$224.94
TOTAL ASSET REPLACEMENT-CTY MNGR				\$224.94
1355300 - ASSET REPLACEMENT-FINANCE				
TYLER TECHNOLOGIES, INC.	50/50 WORK SPLIT	04/27/2023	103719	\$475.06
TOTAL ASSET REPLACEMENT-FINANCE				\$475.06
1355450 - ASSET REPLACEMENT-INFO SYS				
US BANK	SS-PROJECTOR	05/05/2023	103726	\$1,641.41
AMAZON.COM SALES, INC	NETWORK SWITCH	04/27/2023	103680	\$3,232.49
TOTAL ASSET REPLACEMENT-INFO SYS				\$4,873.90
1356170 - ASSET REPLACEMENT-MARN SFTY				
US BANK	RACK FOR NEW TRUCK	05/05/2023	103726	\$754.20
TOTAL ASSET REPLACEMENT-MARN SFTY				\$754.20
2047520 - MID 9C SANTA FE HILLS				
SANTA FE IRRIGATION DISTRICT	005979-029 - 02/16/23-04/14/23	04/27/2023	103709	\$224.86
SANTA FE IRRIGATION DISTRICT	005979-026 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-020 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-021 - 03/02/23-03/31/23	05/05/2023	103746	\$197.41
SANTA FE IRRIGATION DISTRICT	005979-022 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-023 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-024 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-025 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-014 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-015 - 03/02/23-03/31/23	05/05/2023	103746	\$256.13
SANTA FE IRRIGATION DISTRICT	005979-016 - 03/02/23-03/31/23	05/05/2023	103746	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-017 - 03/02/23-03/31/23	05/05/2023	103746	\$61.56
SANTA FE IRRIGATION DISTRICT	005979-018 - 03/02/23-03/31/23	05/05/2023	103746	\$61.56
SANTA FE IRRIGATION DISTRICT	005979-019 - 03/02/23-03/31/23	05/05/2023	103746	\$61.56
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$224.86
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$121.31
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$643.38
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$121.31
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$237.44
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$224.86
TOTAL MID 9C SANTA FE HILLS				\$3,983.04
2087580 - COASTAL RAIL TRAIL MAINT				
SANTA FE IRRIGATION DISTRICT	005506-020 - 03/02/23-03/31/23	05/05/2023	103746	\$622.38
KOPPEL & GRUBER PUBLIC FINANCE	JAN-MAR 23-CRT ADMIN	04/27/2023	103694	\$332.50
TOTAL COASTAL RAIL TRAIL MAINT				\$954.88
2117600 - STREET LIGHTING DISTRICT				
KOPPEL & GRUBER PUBLIC FINANCE	JAN-MAR 23-CRT ADMIN	04/27/2023	103694	\$687.45
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$14.90
TOTAL STREET LIGHTING DISTRICT				\$702.35

2505570 - COASTAL BUSINESS/VISITORS

US BANK	EASTER EGG HUNT SUPPLIES	05/05/2023	103726	\$44.19
US BANK	EASTER EGG HUNT SUPPLIES	05/05/2023	103726	\$21.55
US BANK	EASTER EGG HUNT CRAFTS	05/05/2023	103726	\$280.43

TOTAL COASTAL BUSINESS/VISITORS**\$346.17****2706120 - PUBLIC SAFETY- FIRE**

STRYKER SALES CORPORATION	CSA.17-SINGLE ELECTROD KIT	04/27/2023	103715	\$162.11
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TOTAL PUBLIC SAFETY- FIRE**\$162.11****459 - MISC. CAPITAL PROJECTS**

CONTRACTOR MANAGING GENERAL	FY22 PVMT MAINT/RPR	04/27/2023	103681	(\$4,912.41)
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TOTAL MISC. CAPITAL PROJECTS**(\$4,912.41)****4596510 - MISC.CAPITALPROJECTS-ENG**

VAN DYKE LANDSCAPE ARCHITECTS	MAR 23-9438 FC PRK DSN	04/27/2023	103720	\$11,185.00
SUNBELT RENTALS, INC.	FORKLIFT-FC	04/27/2023	103716	\$1,151.95
CONTRACTOR MANAGING GENERAL	FY22 PVMNT MAINT/RPRS PROJ	04/27/2023	103681	\$5,263.16
CONTRACTOR MANAGING GENERAL	CONT FY22 PVMNT MAINT/RPRS PROJ	04/27/2023	103681	\$92,985.04
COAST RECREATION, INC	9441.06 FCP TOT LOT EQUIPMENT	04/27/2023	103685	\$126,617.09

TOTAL MISC.CAPITALPROJECTS-ENG**\$237,202.24****5097700 - SANITATION**

MISSION LINEN & UNIFORM INC	LAUNDRY PW	04/27/2023	103699	\$10.70
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	04/27/2023	103699	\$10.71
SANTA FE IRRIGATION DISTRICT	005506-014-03/02/23-03/31/23	05/05/2023	103746	\$740.22
SANTA FE IRRIGATION DISTRICT	TWO MONTH B-02/02/23-03/31/23	05/05/2023	103746	\$85.69
VERIZON WIRELESS-SD	362455526-03/02/23-04/01/23	04/27/2023	103721	\$14.90

TOTAL SANITATION**\$862.22****REPORT TOTAL:****\$433,817.56**



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2022-23

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget. The information provided in this Staff Report lists the changes made through May 10, 2023.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 23, 2021 (Resolution 2021-092) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES						
As of May 10, 2023						
General Fund - Operations						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/23/2021	Reso 2021-092	Adopted Budget	22,148,385	(20,867,260)	(482,500)	\$ 798,625
07/14/2021	Reso 2021-097	MS MOU		(11,570)		787,055
04/13/2022	Reso 2022-034	Keyser Marston		(15,000)		772,055
06/08/2022	Reso 2022-041	On-Call Repair Svcs		(30,000)		742,055
06/08/2022	Reso 2022-065	Janitorial		(20,000)		722,055
06/22/2022	Reso 2022-082	FY23 Budget Update	1,965,100	(615,680)	(1,423,000)	648,475
08/24/2022	Reso 2022-106	Lew Edwards Group		(36,000)		612,475
09/14/2022	Reso 2022-102	SBFA MOU		(182,000)		430,475
12/14/2022	Reso 2022-138	Pacific Ave Utility Underground - Pase 2			(42,000)	388,475
02/22/2023	Reso 2023-017	Yunex Traffic		(45,000)		343,475
01/25/2023	Reso 2023-007	CIP - Roof Replacement FCCC and MS Cntr		(120,000)		223,475
01/25/2023	Reso 2023-014	Emanuel Jones and Associates		(150)		223,325
01/25/2023	Reso 2023-015	License Plate Recognition Cameras		(46,064)		177,261
02/08/2023	Reso 2023-020	FC Tot Lot Construction		(157,000)		20,261
02/22/2023	Reso 2023-022	Nissho Landscape Maint. Services		(25,000)		(4,739)
03/08/2023	Reso 2023-027	HDL Audit Services		(25,000)		(29,739)
03/08/2023	Reso 2023-028	USACE Construction Funding		(313,556)		(343,295)
03/22/2023	Reso 2023-023	FY23 Mid-Year Update	400,000	68,117		124,822
04/12/2023	Reso 2023-044	Principal Mgmt Analyst Position		(20,000)		104,822
04/12/2023	Reso 2023-046	Building Permit Revenue and Services	220,000	(200,000)		124,822
05/10/2023	Reso 2023-059	Sewer & Storm Drain Rehab Project		(89,802)		35,020

COUNCIL ACTION:

General Fund - Measure S						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
03/22/2023	Reso 2023-023	FY23 Mid-Year Update	750,000			750,000

General Fund Unreserved Balance						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net
12/09/2022	Reso 2022-123	FY22 Surplus - PARS Contribution		(720,000)		(720,000)
12/09/2022	Reso 2022-123	FY22 Surplus - Pavement Mgmt Prgm		(150,000)		(870,000)

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2022-2023 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: Public Works Department
SUBJECT: **City Council Consideration of Resolution 2023-047 Awarding an Agreement for Landscape Maintenance Services with Nissho of California, Inc.**

BACKGROUND:

A Request for Bids (RFB) for Landscape Maintenance Services was posted in February 2023. Staff posted the RFB to the City's electronic procurement system to solicit proposals from private industry service providers. Four bid proposals were received by the March 28, 2023, closing date.

This item is before the City Council for the consideration of Resolution 2023-047 (Attachment 1) authorizing the City Manager to execute a Professional Services Agreement (PSA) with Nissho of California, Inc., for one year, with an option to extend the PSA for four additional one-year terms, for a not to exceed amount of \$388,652.84, for Fiscal Year (FY) 2023/24, for City-wide landscape maintenance services.

DISCUSSION:

In February 2023, the City posted an RFB for Landscape Maintenance Services. Before posting the RFB, Staff reviewed the current maintenance requirements of the current agreement and revised the scope of work to include five additional maintenance sites. The 36 sites to be maintained as part of this contract are included as Attachment 2. Four bid proposals were received in response to the RFB, as detailed in the table on the following page.

COUNCIL ACTION:

BID RESULTS

Service Provider	Proposal
Westturf Landscape Management Inc.	\$279,494.00
NISSHO of California, Inc.	\$335,880.84
Mariposa Landscape Inc.	\$377,703.13
Brightview Landscape Services Inc.	\$439,599.62

After reviewing the bids submitted, some bid irregularities were discovered with the low bid submitted by Westturf Landscape Management, Inc. (Westturf). These irregularities include the bid amounts on several of the properties to be in feet or foot dollars instead of dollars; the bid submitted for providing a part-time worker for 20 hours per week on the Coastal Rail Trail is so low that either the work would be less than 20 hours per week or the worker would be paid less than prevailing wages; and Westturf's bids on various line items, specifically mulching at each of the properties, is so low as to be nonresponsive because it would be impossible to properly perform the task in such little time with such little materials. Combined, these bid irregularities render the bid submitted by Westturf to be non-responsive. Staff has determined that the bid submitted by Nissho of California, Inc. (Nissho) is responsive and the best qualified company for this contract. A Notice to Reject Bid was sent to Westturf that detailed the reasons their bid was determined to be non-responsive. Notices of Intent to Award a contract to Nissho were sent to Westturf, Mariposa Landscape Inc. and Brightview Landscape Services Inc. stating that Staff intended to recommend to the City Council that an agreement be awarded to Nissho at the May 24, 2023 City Council meeting and the method for protesting the award if they so choose.

Staff recommends that a contract be awarded to Nissho. Nissho currently provides landscape maintenance services for several parks, facilities, public rights-of-way, and playgrounds for several cities in San Diego County including the City of Solana Beach. Nissho's maintenance strategies consist of utilizing environmentally friendly materials for soil amendments, fertilizers, pesticides, and herbicides as well as employing efficient water management. In addition to qualified maintenance staff, Nissho has several highly qualified experts in landscaping and irrigation design, tree trimming, horticulture and other related expertise among their staff who are available to assist the City on short notice. Nissho has been the landscape maintenance provider for the City since 2013. In addition, Nissho has assisted in various projects such as the Mayors' Monarch Pledge, tree planting, and developing new landscape sites around the City of Solana Beach.

CEQA COMPLIANCE STATEMENT:

All work covered by this agreement is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(h) of the State CEQA Guidelines.

FISCAL IMPACT:

The cost of this agreement, in the amount of \$335,880.84, is funded through the Operating Budgets in the Streets, Parks, Public Facilities, MID # 33, and Coastal Rail Trail Assessment District Budget Units as proposed in the Fiscal Year (FY) 2023/24 Budget.

Staff recommends that an additional \$52,772 be added on a yearly basis to the proposed PSA with Nissho. \$50,000 of that amount is for miscellaneous items such as City-wide tree/plant replacement services and unanticipated services. The remaining \$2,772 will allow for the continuation of the comprehensive Integrated Pest Management Plan (IPMP) that would provide a more natural and holistic method for controlling weeds and pests. If approved, the not to exceed amount of the PSA with Nissho would be \$388,652.84 for FY 2023/24 as detailed below. Sufficient funding for this PSA will be included in the FY 2023/24 Budget and future budgets.

Proposed Nissho Funding

City-wide Landscape Maintenance Services	\$335,880.84
City-wide tree/plant replacement/ Unforeseen Services	\$ 50,000.00
Integrated Pest Management Plan	\$ 2,772.00
TOTAL	\$388,652.84

WORK PLAN:

This item is not mentioned in the Work Plan.

OPTIONS:

- Adopt Staff recommendations.
- Provide direction to Staff and award a modified maintenance contract.
- Reject maintenance proposal and provide direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2023-047:

- a. Authorizing the City Manager to execute a Professional Services Agreement with Nissho of California, Inc., in an amount not to exceed \$388,652.84, for Citywide Landscape Maintenance effective July 1, 2023, for Fiscal Year 2023/24.

- b. Authorizing the City Manager to extend the agreement for up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-047
2. List of sites to be maintained

RESOLUTION 2023-047

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A PROFESSIONAL SERVICES AGREEMENT WITH NISSHO OF CALIFORNIA, INC., FOR LANDSCAPE MAINTENANCE SERVICES

WHEREAS, a Request for Bid (RFB) for Landscape Maintenance Services was posted in February 2023. Staff posted a RFB to the City's electronic procurement system to solicit proposals from private industry service providers. Four bid proposals were received by the March 28, 2023, closing date; and

WHEREAS, the RFB process provides a more efficient and effective method for hiring a landscape maintenance service contractor that would provide the higher level of service required; and

WHEREAS, Staff determined that the bid submitted by Nissho of California, Inc. (Nissho) is responsive and the best qualified company for this contract; and

WHEREAS, Nissho provides landscape maintenance services for several parks, facilities, public rights-of-way, and playgrounds for several cities in San Diego County including the City of Solana Beach. Nissho's maintenance strategies consist of utilizing environmentally friendly materials for soil amendments, fertilizers, pesticides, and herbicides as well as employing efficient water management.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a Professional Services Agreement with Nissho of California, Inc., in an amount not to exceed \$388,652.84, for Citywide Landscape Maintenance effective July 1, 2023, for Fiscal Year 2023/24.

3. That the City Council authorizes the City Manager to extend the agreement for up to four additional one-year terms, at the City's option, at an amount not to exceed the amount budgeted in each subsequent year.

PASSED AND ADOPTED this 24th day of May 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

LIST OF SITES

1. Tide Park Beach Access
2. Fletcher Cove Park
3. North Seascape Sur Public Beach Access
4. La Colonia Park and Stevens Lot Frontage Improvements
5. Plaza Street median and landscaping
6. North and south medians along Highway 101
7. City Hall
8. Fletcher Cove Community Center and Community Park Overlook
9. Southwest corner of Nardo and Stevens Avenue
10. Ivy Surrounding Retaining Walls on the West Side of the Nardo/Stevens intersection
11. Coastal Rail Trail from Via De La Valle to North City limits
12. Distillery Parking Lot
13. Landscape Areas Surrounding City's Public Works Yard, along Highland and Sun Valley
14. Medians on Lomas Santa Fe at Solana Hills, including 14 street palms on west side
15. Del Mar Shores Parking Lots (2)
16. Solana Beach & Tennis Club Parking Lot
17. Del Mar Shores Beach Access
18. Solana Beach Fire Station
19. Marine View right-of-way
20. Eden Gardens Pump Station
21. Pacific Avenue Overlook
22. Sun Valley Pocket Park
23. North City Limits Entrance Sign Area on Highway 101
24. El Viento/North Granados Pocket Park
25. Highway 101 West Side Improvements
26. Solana Hills Court slope
27. South Cedros and Via De La Valle parkways
28. San Andres Street medians
29. San Dieguito Park - planters and monuments; plus medians at Lomas Santa Fe/Highland intersection
30. Stevens Avenue median islands near Genevieve
31. Solana Hills Trail Head
32. Seascape Parking Lot
33. Interstate 5, all four corners
34. Pinion Sculpture near east side of Cliff Street Bridge
35. Median at Santa Helena/Sun Valley intersection
36. Coastal Rail Trail-Part Time Landscape Maintenance Worker



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: City Manager
SUBJECT: **Consideration of Resolution 2023-066 Authorizing the City Manager to Execute Amendment 2 to the Professional Services Agreement with Keyser Marston Associates, Inc. to Provide Economic Consulting Services**

BACKGROUND:

From time to time, the City of Solana Beach (City) requires detailed and highly technical economic analyses to be performed in support of City operations, real property negotiations and project evaluation. Because of the unique nature of these services, and pursuant to Solana Beach Municipal Code (SBMC) Section 3.08.140, it is in the best interest of the public, as allowed by state law, that contracts for professional services such as these can be selected on the basis of demonstrated competence and on the professional qualifications necessary for the satisfactory performance of the services required, negotiated between parties rather than on the basis of cost alone. Therefore, the City Manager is not limited to awarding professional services contracts to the lowest responsible bidder, but rather on the basis of demonstrated competence and qualifications for the types of service to be performed at a fair and reasonable price.

This item is before the City Council to consider adoption of Resolution 2023-066 (Attachment 1) authorizing the City Manager to execute a second amendment to the Professional Service Agreement (PSA) with Keyser Marston Associates, Inc. (KMA) to provide as-needed economic consulting services.

DISCUSSION:

The City has been engaged with KMA to provide highly technical economic consulting services. The original agreement with KMA was for one year from July 1, 2021 to June 30, 2022 for a not-to-exceed amount of \$24,999. In April 2022, Council authorized an

CITY COUNCIL ACTION:

amendment to the PSA for an additional amount of \$30,000 and a total not-to-exceed amount of \$55,000. Since the services needed at this time require demonstrated competence, qualifications and specific knowledge of the subject matter for which the services are requested, Staff recommends that the PSA with KMA be extended for an additional year for these as-needed economic consultant services.

CEQA COMPLIANCE STATEMENT:

Approval of the PSA with KMA is not a project as defined by CEQA.

FISCAL IMPACT:

The current fiscal year 2022/23 adopted budget includes \$30,000 for services provided by Keyser Marston Associates, Inc. The proposed amendment to the PSA would add an additional \$30,000 to the agreement and extend the term for an additional year to June 30th, 2024. Staff is recommending adding appropriations of \$30,000 from General Fund unreserved fund balance to the City Manager's Professional Services account.

WORK PLAN:

This project is consistent with Items B.3 of the Community Character Priorities and A.1 of the Fiscal Sustainability Priorities of the FY 2021/22 Work Plan.

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2023-066 authorizing the City Manager to execute an amendment to the Professional Services Agreement, in an amount not to exceed \$55,000, with Keyser Marston Associates, Inc. for economic consulting services.
2. Authorize an appropriation of \$30,000 from the Professional Services account in the City Manager's department.
3. Authorize the City Treasurer to amend the FY 2023/2024 Budget accordingly.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-066
2. Amendment 2 to the PSA with KMA

RESOLUTION 2023-066

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING AMENDMENT 2 TO A PROFESSIONAL SERVICES AGREEMENT WITH KEYSER MARSTON ASSOCIATES, INC. FOR ECONOMIC CONSULTING SERVICES

WHEREAS, the CITY has employed Keyser Marston Associates, Inc, (CONSULTANT) to furnish economic consulting services (“PROFESSIONAL SERVICES”) to the City of Solana Beach (CITY); and

WHEREAS, the CITY has determined that CONSULTANT is qualified by experience and its ability to perform the services desired by CITY, and CONSULTANT is willing to perform such services; and

WHEREAS, CONSULTANT will conduct all the work as described and detailed in this AGREEMENT to be provided to the CITY.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to execute a second amendment to the Professional Services Agreement, in a total amount not to exceed \$85,000, with Keyser Marston Associates, Inc. to provide economic consulting services.
3. That the City Council appropriates \$30,000 from the Professional Services account in the City Manager’s department.
4. That the City Council authorizes the City Treasurer to include this contracted amount in the FY 2023/2024 Budget accordingly.

PASSED AND ADOPTED this 24th day of May 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

AMENDMENT NO. 2 TO PROFESSIONAL SERVICES AGREEMENT WITH KEYSER MARSTON ASSOCIATES, INC FOR ECONOMIC CONSULTING SERVICES

This Amendment No. 1 to the Professional Services Agreement with Keyser Marston Associates. Inc. ("Amendment No. 2") is entered into and effective as of the _____ day of _____, 2023, by and between the City of Solana Beach, a municipal corporation, ("CITY"), and **Keyser Marston Associates, Inc.** a California Corporation, ("CONSULTANT") (collectively, the "Parties").

RECITALS

A. CITY and CONSULTANT entered into a Professional Services Agreement with Keyser Marston Associates, Inc. for Economic Consulting Services on July 1, 2021 ("Agreement") under which CONSULTANT furnished professional services for Financial Feasibility Analysis to City; and

B. The Parties executed Amendment No. 1 to the Professional Services Agreement with Keyser Marston Associates, Inc. for Economic Consulting Services ("Amendment No.1") on June 6, 2022, which extended the term of the Agreement for a period of one (1) year until June 30, 2023); and

C. The CITY now desires to amend the Agreement to extend the term for a period of one (1) additional year until June 30, 2024, and increase the compensation by Thirty Thousand dollars (\$30,000) to a total amount not to exceed Eighty-Five Thousand dollars (\$85,000).

NOW, THEREFORE, in consideration of these recitals and the mutual covenants contained herein, CITY and CONSULTANT agree as follows:

1. The Agreement, as may have been amended from time to time is hereby extended for a period of one (1) year, beginning July 1, 2023 and ending on June 30, 2024.

2. CITY will pay CONSULTANT, at the rates as displayed in the attached Exhibit "A", for all work associated with the terms of the Agreement, as amended, at an amount not to exceed Eighty-Five Thousand dollars (\$85,000).

3. All requisite insurance policies to be maintained by the CONSULTANT pursuant to the Agreement, as amended, shall include coverage for this Amendment No. 2 . A copy of the CONSULTANT's updated insurance requirements is attached. (Attachment 1)

4. Sections 4.2, 4.3 and 4.4 are deleted in their entirety and replaced by Sections 4.2, 4.3, 4.4 and 4.5, which shall read as follows:

4.2 PERS Eligibility Indemnification. In the event that CONSULTANT's employee providing services under this AGREEMENT claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS of the CITY, CONSULTANT shall indemnify, defend, and hold harmless CITY from such claims and for the payment of any employer and employee contributions for PERS benefits on behalf of the employee as well as for payment of any costs (including attorney fees and costs) related to, and penalties and interest on such contributions which would otherwise be the responsibility of the CITY. Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, CONSULTANT's employees providing service under this AGREEMENT shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation and benefit including but not limited to eligibility to enroll in PERS as an employee of CITY and entitlement to any contributions to be paid by CITY for employer contributions and/or employee contributions for PERS benefits.

4.3 Limitation of CITY Liability. The payment made to CONSULTANT pursuant to this contract shall be the full and complete compensation to which CONSULTANT and CONSULTANT's officers, employees, agents and subcontractors are entitled for performance of any work under this AGREEMENT. Neither CONSULTANT nor CONSULTANT's officers or employees are entitled to any salary or wages, or retirement, health, leave or other fringe benefits applicable to employees of the CITY. The CITY will not make any federal or state tax withholdings on behalf of CONSULTANT. The CITY shall not be required to pay any workers' compensation insurance on behalf of CONSULTANT.

4.4 Indemnification for Employee Payments. CONSULTANT agrees to defend and indemnify the CITY for any obligation, claim, costs (including attorney fees and expert costs), suit or demand for tax, retirement contribution including any contribution to the Public Employees Retirement System (PERS), social security, salary or wages, overtime payment, or workers' compensation payment which the CITY may be required to make on behalf of CONSULTANT or any employee of the CITY for work done under this AGREEMENT.

4.5 The provisions of this section 4 are continuing obligations that shall survive expiration or termination of this AGREEMENT.

5. All other provisions of the Agreement, as amended, shall remain in full force and effect.

6. The individuals executing this Amendment No. 2 and the instruments

referenced on behalf of CONSULTANT each represent and warrant that they have the legal power, right and actual authority to bind CONSULTANT to the terms and conditions hereof of this Amendment No. 2 .

Keyser Marston Associates, Inc., a
California Corporation

CITY OF SOLANA BEACH, a municipal
corporation of the State of California

By:

(Sign here)

Gregory Wade, City Manager

(Print name/title)

(Date)

(Date)

APPROVED AS TO CONTENT:

Rodney Greek, Interim Finance Director

APPROVED AS TO FORM:

Johanna Canlas, City Attorney

ATTEST:

Angela Ivey, City Clerk

EXHIBIT "A"

**KEYSER MARSTON ASSOCIATES, INC.
PUBLIC SECTOR HOURLY RATES**

	<u>2022/2023</u>
CHAIRMAN, PRESIDENT, MANAGING PRINCIPALS*	\$305.00
SENIOR PRINCIPALS*	\$295.00
PRINCIPALS*	\$275.00
MANAGERS*	\$245.00
SENIOR ASSOCIATES	\$205.00
ASSOCIATES	\$185.00
SENIOR ANALYSTS	\$170.00
ANALYSTS	\$145.00
TECHNICAL STAFF	\$105.00
ADMINISTRATIVE STAFF	\$90.00

Directly related job expenses not included in the above rates are: auto mileage, parking, airfares, hotels and motels, meals, car rentals, taxies, telephone calls, delivery, electronic data processing, graphics and printing. Directly related job expenses will be billed at 110% of cost.

Monthly billings for staff time and expenses incurred during the period will be payable within thirty (30) days of invoice date.

* Rates for individuals in these categories will be increased by 50% for time spent in court testimony.

Attachment 1

1. INSURANCE

- 1.1. CONSULTANT shall procure and maintain for the duration of the AGREEMENT insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work hereunder and the results of that work by the CONSULTANT, their agents, representatives, employees or subcontractors. Insurance shall be placed with insurers with a current A.M. Best's rating of no less than "A" and "VII" unless otherwise approved in writing by the CITY's Risk Manager.
- 1.2. CONSULTANT's liabilities, including but not limited to CONSULTANT's indemnity obligations, under this AGREEMENT, shall not be deemed limited in any way to the insurance coverage required herein. All policies of insurance required hereunder must provide that the CITY is entitled to thirty (30) days prior written notice of cancellation or non-renewal of the policy or policies, or ten (10) days prior written notice for cancellation due to non-payment of premium. Maintenance of specified insurance coverage is a material element of this AGREEMENT.
- 1.3. **Types and Amounts Required.** CONSULTANT shall maintain, at minimum, the following insurance coverage for the duration of this AGREEMENT. If CONSULTANT maintains broader coverage and/or higher limits than the minimums shown below, the CITY shall be entitled to the broader coverage and/or the higher limits maintained by the CONSULTANT. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the CITY.
- 1.3.1. **Commercial General Liability (CGL).** If checked the CONSULTANT shall maintain CGL Insurance written on an ISO Occurrence form or equivalent providing coverage at least as broad as CG 00 01 which shall cover liability arising from any and all personal injury or property damage, including ongoing and completed operations, in the amount no less than \$2,000,000.00 per occurrence and subject to an annual aggregate of \$4,000,000.00. If limits apply separately to this project (CG 25 03 or 25 04) the general aggregate limit shall not apply. There shall be no endorsement or modification of the CGL limiting the scope of coverage for either insured vs. insured claims or contractual liability. All defense costs shall be outside the limits of the policy. Any excess or umbrella policies being used to meet the required limits of insurance will be evaluated separately and must meet the same qualifications as the CONSULTANT's primary policy.

- 1.3.2. **Commercial Automobile Liability.** If checked the CONSULTANT shall maintain Commercial Automobile Liability Insurance for all of the CONSULTANT's automobiles including owned, hired and non-owned automobiles, automobile insurance written on an ISO form CA 00 01 12 90 or a later version of this form or an equivalent form providing coverage at least as broad for bodily injury and property damage for a combined single limit no less than \$1,000,000.00 per occurrence. Insurance certificate shall reflect coverage for any automobile (any auto).
- 1.3.3. **Workers' Compensation.** If checked the CONSULTANT shall maintain Worker's Compensation insurance for all of the CONSULTANT's employees who are subject to this AGREEMENT and to the extent required by applicable state or federal law, a Workers' Compensation policy providing at minimum \$1,000,000.00 employers' liability coverage. The CONSULTANT shall provide an endorsement that the insurer waives the right of subrogation against the CITY and its respective elected officials, officers, employees, agents and representatives.
- 1.3.4. **Professional Liability.** If checked the CONSULTANT shall also maintain Professional Liability (errors and omissions) coverage with a limit no less than \$1,000,000 per claim and \$2,000,000 annual aggregate. The CONSULTANT shall ensure both that (1) the policy retroactive date is on or before the date of commencement of the Scope of Services; and (2) the policy will be maintained in force for a period of three years after substantial completion of the Scope of Services or termination of this AGREEMENT whichever occurs last. The CONSULTANT agrees that for the time period defined above, there will be no changes or endorsements to the policy that increase the CITY's exposure to loss. All defense costs shall be outside the limits of the policy..
- 1.3.5. **Cyber Liability.** If checked the CONSULTANT shall also maintain Cyber Liability coverage on a claims made basis with a limit no less than \$2,000,000 per occurrence or claim and \$2,000,000 annual aggregate. The CONSULTANT shall ensure both that (1) the policy retroactive date is on or before the date of commencement of any services under this AGREEMENT; and (2) the policy will be maintained in force for a period of three years after substantial completion of the Scope of Services or termination of this AGREEMENT whichever occurs last. Coverage shall be sufficiently broad to respond to the duties and obligations as are undertaken by CONSULTANT in this AGREEMENT and shall include claims involving infringement of intellectual property, infringement of copyright, trademark, trade dress, invasion of privacy violations, information theft, damage to or destruction of electronic information, release of private information, alteration of electronic information, extortion and network security. The policy shall provide coverage for breach response costs as well as regulatory fines and penalties as well as credit monitoring expenses with limits sufficient to respond to such obligations. All defense costs shall be outside the limits of the policy.
- 1.3.6. **Fidelity and Crime Liability.** If checked, the CONSULTANT shall also maintain Fidelity and Crime coverage for theft of CITY property for an amount no less than \$1,000,000 per loss.

- 1.3.7. **Sexual Abuse and Molestation (“SAM”) Insurance.** If checked, the CONSULTANT shall also maintain sexual abuse and molestation (SAM) insurance with limits not less than \$1,000,000 per occurrence or claim with an aggregate of not less than \$2,000,000. The policy shall provide coverage including but not limited to claims for improper sexual conduct, damages because of bodily injury, and negligent hiring and supervision. All defense costs shall be outside the limits of the policy.
- 1.3.8. **Contractor’s Pollution Legal Liability.** If checked, the CONSULTANT shall procure and maintain contractors’ pollution legal liability and/or errors and omissions with limits no less than \$1,000,000 per occurrence or claim with an aggregate of not less than \$2,000,000 to cover liability and legal expenses arising out of cleanup, removal, storage, or handling of hazardous or toxic chemicals, materials, substances, or any other pollutants by the CONSULTANT or any subcontractor resulting from pollution conditions.
- 1.4. **Self-Insured Retentions.** Any self-insured retentions are the responsibility of the CONSULTANT and must be declared to and approved by the CITY. At the option of the CITY, either (1) the insurer shall reduce or eliminate such self-insured retentions as respects the CITY, its officers, officials, employees and volunteers, or (2) the CONSULTANT shall provide a financial guarantee satisfactory to the CITY guaranteeing payment of losses and related investigations, claim administration, and defense expenses.
- 1.5. **Waiver of Subrogation.** CONSULTANT hereby grants to CITY and its respective elected officials, officers, employees, agents and representatives a waiver of any right to subrogation which any insurer of said CONSULTANT may acquire against the CITY by virtue of the payment of any loss under such insurance. CONSULTANT agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not the CITY has received a waiver of subrogation endorsement from the insurer.
- 1.6. **Additional Required Provisions.** The commercial general liability, including any excess or umbrella policies being used to meet the required limits of insurance, and automobile liability policies shall contain, or be endorsed to contain, the following provisions:
- 1.6.1. The CITY, its officers, officials, employees, and representatives shall be named as additional insureds with respect to liability arising out of work or operations performed by or on behalf of the CONSULTANT including materials, parts, or equipment furnished in connection with such work or operations. The CITY’s additional insured status must be reflected on additional insured endorsement form (at least as broad as ISO Form CG 20 10 11 85 or both CG 20 10, CG 20 26, CG 20 33, or CG 20 38 and CG 20 37) which shall be submitted to the CITY.
- 1.6.2. The policies are primary and non-contributory to any insurance that may be carried by the CITY, as reflected in an endorsement at least as broad as CG 20 01 04 13 which shall be submitted to the CITY. Any insurance or self-insurance maintained by the CITY, its officers, officials, employees, or

representatives shall be excess of the CONSULTANT's insurance and shall not contribute with it. This requirement shall also apply to any Excess or Umbrella liability policies.

- 1.7. Verification of Coverage.** CONSULTANT shall furnish the CITY with original certificates and amendatory endorsements effecting coverage required by this Section 11 and a copy of the Declarations and Endorsements Pages of the CGL and any Excess policies listing all policy endorsements. The endorsements should be on forms approved by the CITY or on other than the CITY's forms provided those endorsements conform to CITY requirements. All certificates and endorsements are to be received and approved by the CITY before work commences. However, failure to obtain the required documents prior to the work beginning shall not waive the Contractor's obligation to provide them. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements affecting the coverage required by these specifications at any time.
- 1.8. Excess or Umbrella Policies.** If any Excess or Umbrella Liability policies are used to meet the limits of liability required by this agreement, said policies shall meet all of the insurance requirements stated in this document, including, but not limited to, the additional insured, contractual liability, "insured contract" definition, occurrence definition, primary and non-contributory, indemnity, and defense requirements. No insurance policies maintained by the Additional Insureds, whether primary or excess, and which also apply to a loss covered hereunder, shall be called upon to contribute to a loss until the CONSULTANT's primary and excess liability policies are exhausted.
- 1.9. Special Risks or Circumstances.** CITY reserves the right to modify these requirements, including limits, based on the nature of risk, prior experience, insurer, coverage, or other special circumstances.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: City Manager's Office
SUBJECT: **City Council Consideration of Resolution 2023-065 Approving the Updated City of Solana Beach Annex of the 2023 Multi-Jurisdictional Hazard Mitigation Plan**

BACKGROUND:

The Disaster Mitigation Act (DMA), signed into law on October 30, 2000, requires all jurisdictions to have a Federal Emergency Management Agency (FEMA)-approved hazard mitigation plan to qualify for hazard mitigation program grants and public assistance funds. In 2004, the San Diego County Office of Emergency Services (County OES) led an effort to develop the first Multi-Jurisdictional Hazard Mitigation Plan (Plan), a pre-disaster strategic plan that serves as a guideline for lowering the risks and exposure to hazards in the region.

Federal law requires the Plan to contain the following information related to natural disasters:

- Identification and assessment of risks related to potential disasters;
- Implementation measures to reduce potential losses; and
- Plans for the continuation of critical services and facilities after the disaster.

In response to the 2000 DMA, the first edition of the Plan was developed in 2004 by the County OES and all eighteen (18) incorporated cities, including Solana Beach. All participating jurisdictions were required to write and individually adopt their portion of the Plan (referred to as Annexes). The DMA intends for hazard mitigation plans to remain relevant and current; therefore, the Plan is required to be updated every five (5) years and be resubmitted to FEMA for approval.

The first edition of the City of Solana Beach Annex to the Plan was adopted by City Council resolution in 2004 (Resolution 2004-62) and has been subsequently updated and approved by the City Council in 2010 (Resolution 2011-52) and 2018 (Resolution 2018-004). The 2023 Plan update is consistent with DMA and FEMA required standards that will allow the City to be eligible for funding for future hazard mitigation projects. The 2023 Plan update and the Annexes was adopted by the County of San Diego Board of Supervisors on February 7, 2023, and recently approved by FEMA.

CITY COUNCIL ACTION: _____

This item is before the City Council to consider adoption of Resolution 2023-065 (Attachment 1) approving the updated City of Solana Beach Annex (Attachment 2) of the 2023 Multi-Jurisdictional Hazard Mitigation Plan.

DISCUSSION:

The DMA is intended to facilitate and encourage cooperation between State and local jurisdictions in disaster planning efforts. This enhanced planning network is intended to enable local and State agencies to articulate needs for mitigation, resulting in faster allocation of funding and more effective risk reduction projects.

The process of updating the 2018 Plan began in September 2019, and involved coordination with representatives from all of the jurisdictions in the region. Between September 2019 and November 2022, all affected City departments conducted a comprehensive review of the Plan and related mitigation action items and revised the Plan. After Staff completed its updates, the 2023 City of Solana Beach Annex was submitted to the County's Unified Disaster Council, California OES, and FEMA for a preliminary review. Based on additional direction and feedback from FEMA, City Staff made requested modifications to the 2023 City of Solana Beach Annex. On May 9, 2023, FEMA notified County OES (Attachment 3) that the City of Solana Beach must submit an adopted resolution to receive final approval. As such, the 2023 City of Solana Beach Annex is now ready for approval and adoption by the City Council.

The 2023 updates reflect public feedback regarding hazard concerns, and updated hazard mitigation goals, objectives, actions/priority actions for the County of San Diego and cities within the region to align with current and existing countywide plans, procedures, and priorities.

Upon adoption of Resolution 2023-065, the 2023 Plan will carry the City through the next five (5) years (2023-2028) of hazard mitigation planning, after which it will again be revisited, updated and submitted to County OES, California OES, and FEMA for re-approval.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

There is no direct fiscal impact associated with this Council action. However, it is necessary that states, and local jurisdictions, have an approved mitigation plan in place prior to receiving post-disaster assistance from FEMA, as well as, to be eligible for potential related grant funding.

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Deny Staff recommendation and provide direction, as needed.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2023-065 approving the updated City of Solana Beach Annex of the 2023 Multi-Jurisdictional Hazard Mitigation Plan.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-065
2. Updated 2023 City of Solana Beach Annex
3. FEMA County Hazard Mitigation Plan Amendment Notice

RESOLUTION 2023-065

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE UPDATED CITY OF SOLANA BEACH ANNEX OF THE 2023 MULTI-JURISDICTIONAL HAZARD MITIGATION PLAN

WHEREAS, in October 2000, the President signed the Disaster Mitigation Act (DMA) of 2000 into federal law; and

WHEREAS, among other things, this law requires that the state and local jurisdictions develop and maintain plans to reduce hazards and to ultimately protect communities from the effects of disasters; and

WHEREAS, the 2000 Multi-Jurisdictional Hazard Mitigation Plan was developed and revised by the County of San Diego and all eighteen (18) incorporated cities in 2004 and adopted by the City of Solana Beach on 2004; and

WHEREAS, the 2004 Multi-Jurisdictional Hazard Mitigation Plan was developed and revised by the County of San Diego and all eighteen (18) incorporated cities in 2010 and adopted by the City of Solana Beach on April 13, 2011; and

WHEREAS, the 2010 Multi-Jurisdictional Hazard Mitigation Plan was developed and revised by the County of San Diego and all eighteen (18) incorporated cities in 2018 and adopted by the City of Solana Beach on February 28, 2018; and

WHEREAS, between September 2019 and November 2022, all affected City departments conducted a comprehensive review of the Plan and related mitigation action items, and created revisions to the Annex (the “Updated Annex”); and

WHEREAS, the Updated Annex recommends many hazard mitigation actions that will protect the people and property affected by the natural and manmade hazards that face San Diego County and specifically the City of Solana Beach; and

WHEREAS, public meetings were held throughout the county to review the Revised Plan as required by law; and

WHEREAS, mitigation measures have been shown to be effective in saving lives and reducing property damage caused by disasters.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.

2. That the updated City of Solana Beach Annex of the 2023 Multi-Jurisdictional Hazard Mitigation Plan is hereby adopted as an official plan of the City of Solana Beach.

PASSED AND ADOPTED this 24th day of May 2023, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

**Multi-Jurisdictional
Hazard Mitigation Plan:
City of Solana Beach Annex
San Diego County, California
2023**



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1. SECTION ONE: DETERMINE THE PLANNING AREA AND RESOURCES

1.1. Planning Area: City of Solana Beach

Solana Beach is a small city located in southern California in Northern San Diego County. It overlooks the Pacific Ocean to the west from sandstone bluffs. It is bounded on the north by the San Elijo Lagoon and the city of Encinitas. To the east lies the San Dieguito County Park and the County unincorporated area of Rancho Santa Fe. The cities of San Diego and Del Mar and the San Dieguito Lagoon form the southern boundary.

Its primary access routes include Interstate 5, Highway 101, Lomas Santa Fe Drive, and Via de la Valle. The City is home to a train station that serves both Amtrak and the Coaster, one of only three in San Diego County.

2. SECTION TWO: BUILD THE PLANNING TEAM

2.1. Planning Participants

The following City Employees contributed toward the development of this Annex:

City Manager's Office

Dan King, Assistant City Manager

Rimiga Viskanta, Senior Management Analyst

Patricia Letts, Administrative Assistant III

Community Development Department

Joseph Lim, Director of Community Development

Engineering and Public Works Department

Mo Sammak, City Engineer

Dan Goldberg, Principal Engineer

2.2. Planning Process

A Hazard Mitigation Working Group (HMWG) was established by the County of San Diego to facilitate the development of the Plan. Representatives from each incorporated city, special district and the unincorporated county were designated by their jurisdiction as the HMWG member. Each HMWG member identified a Local Mitigation Planning Team and the City of Solana Beach Local Mitigation Team is identified above in section 2.1.

This team assisted in identifying the specific hazards/risks that are of greatest concern to the City of Solana Beach and to prioritize hazard mitigation measures. The HMWG members met as-needed and then brought this information to HMWG meetings held regularly to provide jurisdiction-specific input to the multi-jurisdictional planning effort and to assure that all aspects of each jurisdiction's concerns were addressed. All HMWG members were provided an overview of hazard mitigation planning elements at the HMWG meetings. This training was designed after the FEMA State and Local Mitigation Planning How-to Guide worksheets, which led the HMWG members through the process of defining the jurisdiction's assets, vulnerabilities, capabilities, goals and objectives, and action items. Preliminary goals, objectives and actions developed by jurisdiction staff were then reviewed with their respective City Council, City Manager and/or representatives for approval.

3. SECTION THREE: CREATE AN OUTREACH STRATEGY

The City of Solana Beach did not conduct a separate outreach strategy for this Hazard Mitigation Plan Annex. Rather, the measures identified have been vetted through the development of other City Plans such as the General Plan and Climate Action Plan. Instead, the City relied on the County's public outreach strategy for the totality of the Hazard Mitigation Plan including all annexes (see the *San Diego County Multi-Jurisdictional Hazard Mitigation Plan's* Section Three for details about the county-wide outreach strategy).

4. SECTION FOUR: REVIEW

COMMUNITY CAPABILITIES

Local mitigation capabilities are existing authorities, policies, programs, and resources that reduce hazard impacts or that could be used to implement hazard mitigation activities, and are outlined in the sections that follow.

4.1. Capability Assessment

The primary types of capabilities for reducing long-term vulnerability through mitigation planning are:

- Planning and regulatory
- Administrative and technical
- Financial
- Education and outreach

The City of Solana Beach can expand on and improve its existing policies and programs in each of the capability categories listed above, through additional research regarding vulnerabilities, further input and meetings from city departments, applying for grant funding, and additional community outreach efforts.

4.1.1. Planning and Regulatory

Planning and regulatory capabilities are the plans, policies, codes, and ordinances that prevent and reduce the impacts of hazards.

Overall, this jurisdiction can expand upon these capabilities by creating and applying an updated five-year Multi-Jurisdictional Hazard Mitigation Plan Cycle and Work Plan along with the addition of more funding opportunities for applicable staff, research, plan developments/projects, and applicable resources/expenses. Further, future opportunities for planning and regulatory enhancement would focus on implementing improvements in energy use and safety in the City. Additional efforts will also be made to incorporate references from the MJHMP in any future plan updates.

Please indicate which of the following your jurisdiction has in place:

Plans	Yes/No Year	Does the plan address hazards? Does the plan identify projects to include in the mitigation strategy? Can the plan be used to implement mitigation actions?
Comprehensive/Master Plan	Yes 2014	Yes. The Safety Element portion identifies hazards. Yes, It outlines goals, objectives and policies to address these hazards, so it may be used to guide mitigation actions, but no specific projects are identified.
Capital Improvements Plan	Yes Annually	Yes, the Capital Improvement Plan is part of the City's Work Plan. Yes, Capital Improvement projects are identified in the Council Work Plan and budget document. Yes, These documents can be used to implement any mitigation actions that may be identified.
Economic Development Plan	Yes 2014	Yes, The Economic Development Element is part of the City's General Plan. No, It does not address hazards nor mitigation.
Local Emergency Operations Plan	Yes 1996	Yes, as of September 2021, the plan is in the process of being updated.
Continuity of Operations Plan	No	As of September 2021, the plan is in the process of being created.
Transportation Plan	Yes 2014	The Circulation Element of the General Plan address transportation issues and identifies related goals and policies. No, It does not address hazards nor mitigation.
Stormwater Management Plan	Yes 2017	Yes, Jurisdictional Runoff Management Program (JRMP) to comply with NPDES permit requirements. Focus is on water quality management, not on hazard mitigation specifically.
Community Wildfire Protection Plan	No	
M. Real estate disclosure requirements	N/A	None that are mandated by the City.
Other special plans (e.g., brownfields redevelopment, disaster recovery, coastal zone management, climate change adaptation)	Yes 2017, 2020	Climate Action Plan including Adaptation Plan (amended in 2020).

Building Code, Permitting, and Inspections	Yes/No	Are codes adequately enforced?
Building Code	Yes	Yes Version/Year: 2022 California Building Standards Code; Title 24 2021 International Fire Code; 2022 California Fire Code
Building Code Effectiveness Grading Schedule (BCEGS) Score	No	Score:
Fire department ISO rating	Yes	Rating: 1
Site plan review requirements	Yes	Yes The fire department and other departments review site plans for code compliance.
Land Use Planning and Ordinances	Yes/No	Is the ordinance an effective measure for reducing hazard impacts? Is the ordinance adequately administered and enforced?
Zoning ordinance	Yes	Yes
Subdivision ordinance	Yes	Yes
Special purpose ordinances (floodplain management, storm water management, hillside or steep slope ordinances, wildfire ordinances, hazard setback requirements)	Yes	Yes The City has adopted the CalFire VHFHSZ maps and utilizes CBC Chapter 7A for building requirements within these zones. The City has various ordinances and municipal codes that require the special requirements.
Flood insurance rate maps	Yes	Yes
Acquisition of land for open space and public recreation uses	Yes	
Other		
How can these capabilities be expanded and improved to reduce risk?		
<i>This jurisdiction can expand and enhance these capabilities by continuing to collaborate with partners and participating/staying informed of update related to JRMP, Climate Action Plan, Capital Improvement Plan, and the above listed elements of the Comprehensive/Master/General Plan.</i>		

TABLE 1: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.1 DATA.

4.1.2. Administrative and Technical

Administrative and technical capabilities include staff and their skills and tools that can be used for mitigation planning and to implement specific mitigation actions.

The table below describes the capabilities within the City of Solana Beach. Because the City is small, it relies upon consultant services to augment any staffing gaps.

Administration	Yes/No	Describe capability Is coordination effective?
Planner(s) or engineer(s) with knowledge of land development and land management practices	Yes	The City's Engineers and Planners work in coordination with each other to effectively review land development in the City.
Engineer(s) or professional(s) trained in construction practices related to buildings and/or infrastructure	Yes	City Engineer and Building Official are trained in construction practices related to buildings and or infrastructure.
Planners or Engineer(s) with an understanding of natural and/or manmade hazards	Yes	Planners, Engineers, and Building Officials all have an understanding of the natural and/or manmade hazards as they could relate to the City.
Mitigation Planning Committee	Yes	Ad hoc committee formed to develop Hazard Mitigation Plan in coordination with County efforts.
Maintenance programs to reduce risk (e.g., tree trimming, clearing drainage systems)	Yes	Under Public Works, the City does have a maintenance program for trimming trees in the public Right-of-Way, parks and City-owned facilities. The City is not responsible for privately owned and maintained trees. The Public Works Department also perform annual and as-needed storm drain maintenance and cleaning.
Mutual aid agreements	Yes	The Public Works department is part of the Countywide Public Works MOA. The Fire Department is part of several MOAs.
Staff or Under Contract	Yes/No	Is staffing adequate to enforce regulations? Is staff trained on hazards and mitigation? Is coordination between agencies and staff effective?
Chief Building Official	Yes	Yes, the position is contracted through professional service agreement with the City
Floodplain Administrator	Yes	City Engineer

	PT -1*	*Part of other duties as assigned to full-time position
Emergency Manager	Yes PT-3*	City Manager, Assistant City Manager and Fire Chief *Part of other duties as assigned to full-time position
Surveyors	Yes	Yes, the position is contracted through professional service agreement with the City
Staff with education or expertise to assess the community's vulnerability to hazards	Yes	Some Engineering and Planning Staff can assess local hazards, but we rely on outside geotechnical consultants and others for definite reports and assessments.
Community Planner	Yes FT-3	Community Development Department
Scientists familiar with the hazards of the community	Yes	Consultants available as-needed for specific projects or issues.
Civil Engineer	Yes FT-3	Engineering Department
Personnel skilled in GIS and/or HAZUS	Yes	No Staff dedicated, but some Staff have GIS experience.
Grant writers	Yes	As part of their regular duties, some Staff in each department also write grants.
Other	Yes	Code Compliance Officers
Technical	Yes/No	Describe capability Has capability been used to assess/mitigate risk in the past?
Warning systems/services (Reverse 911, outdoor warning signals)	Yes	AlertSanDiego for Reverse 911 operations. Wireless Emergency Alerts (WEA) for emergency notifications. Traffic message boards with ability to be posted throughout City. All, but WEA, have been used to mitigate risks from hazards in the past.
Hazard data and information	Yes	Previous regional hazard data and information has been used to identify and mitigate risks in the past.
Grant writing	Yes	Personnel from various departments are assigned to writing grants for their departments. These are other duties as assigned to full-time positions. A contractor is also used through City Manager's Office on an as needed basis.
Hazus analysis	Yes	FEMA Hazus Program has been used to identify and mitigate risks in the past.

Other		
How can these capabilities be expanded and improved to reduce risk?		
<i>Future enhancements may include forming a mitigation planning steering committee to foster inter-departmental collaboration, decrease duplication of hazard mitigation efforts, and prioritize and monitor progress on local hazard mitigation actions.</i>		

TABLE 2:FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.1 DATA CONTINUED.

4.1.3. Financial

The City of Solana Beach has access to or is eligible to use the following funding resources for hazard mitigation:

Funding Resource	Access/ Eligibility (Yes/No)	Has the funding resource been used in past and for what type of activities? Could the resource be used to fund future mitigation actions?
Community Development Block Grants (CDBG)	Yes	Engineering and Planning Department have utilized, primarily for sidewalks and curbs. Assistance that's available for non-entitlement cities. Not likely for the type of hazards the City faces and the areas where the funds can be used.
Capital improvements project funding	Yes	Yes, through City Budget process. Yes
Authority to levy taxes for specific purposes	Yes, Vote Required	Previous mitigation measures and available for future mitigation actions if needed.
Fees for water, sewer, gas, or electric service	Yes	The City collect fees for sewer. Water, gas, and electric are managed by other agencies.
Impact fees for homebuyers or developers for new developments/homes	Yes	Departments collect impact fees based on a fee schedule that applies to new construction. Funding could be applied to past and future mitigation actions if needed. .
Incur debt through general obligation bonds	Yes	Previous mitigation measures and available for future mitigation actions if needed
Incur debt through special tax and revenue bonds	Yes, Vote Required	Previous mitigation measures and available for future mitigation actions if needed.
Incur debt through private activity bonds	Yes	Previous mitigation measures and available for future mitigation actions if needed.
How can these capabilities be expanded and improved to reduce risk?		

Projects within the City often require grant funding to reach completion. Future enhancements may include improved staffing levels to increase capacity to pursue grant funding opportunities for hazard mitigation. This may include a position dedicated to grant writing and management for the City's Finance Department.

TABLE 3: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.1 DATA CONTINUED.

4.1.4. Education and Outreach

The following education and outreach programs and methods are already in place and could be used to implement mitigation activities and communicate hazard-related information:

Program/Organization	Yes/No	Describe program/organization and how relates to disaster resilience and mitigation. Could the program/organization help implement future mitigation activities?
Local citizen groups or non-profit organizations focused on environmental protection, emergency preparedness, access, and functional needs populations, etc.	Yes	Community Emergency Response Team (CERT) The City's Climate Action Commission is focused on environmental protection and climate adaptation which includes a focus on hazard mitigation strategies.
Ongoing public education or information program (e.g., responsible water use, fire safety, household preparedness, environmental education)	Yes	Fire safety public education is provided by Fire Department. Other education occurs through website and electronic city communications and print materials at the counter.
Natural disaster or safety related school programs	Yes	The Fire Department offers disaster and safety programs to local schools as requested.
StormReady certification	No	
Firewise Communities certification	No	
Public-private partnership initiatives addressing disaster-related issues	No	
How can these capabilities be expanded and improved to reduce risk?		
<i>Future enhancements may include increased public involvement and focused outreach to under-represented and special-interest groups through social media and website posts, promotional materials, community education, and advertisements to share information on local hazard mitigation activities.</i>		

TABLE 4: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.1 DATA CONTINUED.

4.2. Safe Growth Audit

The City's growth guidance instruments provide adequate considerations to reduce hazard vulnerability due to future development:

Comprehensive Plan	Yes/No
Land Use	
1. Does the future land-use map clearly identify natural hazard areas?	Yes
See Public Safety Element of City's General Plan	
2. Do the land-use policies discourage development or redevelopment within natural hazard areas?	Yes
See Public Safety Element of City General Plan	
3. Does the plan provide adequate space for expected future growth in areas located outside natural hazard areas?	Yes
The City's Housing Element of the City General Plan has adequate sites for RHNA numbers	
Transportation	
1. Does the transportation plan limit access to hazard areas?	Yes
The City's Circulation Element of the City General Plan and transportation plans rely on existing network of roadway connections that facilitates pedestrian and vehicular access throughout the city including Cedros shopping area, public beach, and trails while limiting access to environmentally sensitive and hazardous areas. Further the Safety Element of the General Plan references circulation element.	
2. Is transportation policy used to guide growth to safe locations?	Yes
The City's General Plan reflects transportation policies and desired protection for the public health and safety that are considered when considering growth to safe locations.	
3. Are movement systems designed to function under disaster conditions (e.g., evacuation)?	Yes
Environmental Management	
1. Are environmental systems that protect development from hazards identified and mapped?	Yes
The City's General Plan maps the environmentally sensitive locations within the City.	
2. Do environmental policies maintain and restore protective ecosystems?	Yes
The City's General Plan policies protect the environmentally sensitive locations within the City.	
3. Do environmental policies provide incentives to development that is located outside protective ecosystems?	Yes

TABLE 5: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.2 DATA.

Comprehensive Plan (continued)	Yes/No
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Public Safety	
1. Are the goals and policies of the comprehensive plan related to those of the FEMA Local Hazard Mitigation Plan?	Yes
The city's general Plan and Local Coastal Program are consistent with the goals and policies of the FEMA Local Hazard Mitigation Plan	
2. Is safety explicitly included in the plan's growth and development policies?	Yes
Protection of the public health, safety and general welfare is a primary objective and component of the City's General Plan, Local Coastal Program and Municipal Code.	
3. Does the monitoring and implementation section of the plan cover safe growth objectives?	Yes
Safe Growth and assured protection of the public health, safety, and general welfare is a primary objective and component of the City's General Plan, Local Coastal Program, and Municipal Code.	
Zoning Ordinance	
1. Does the zoning ordinance conform to the comprehensive plan in terms of discouraging development or redevelopment within natural hazard areas?	Yes
The location of new development outside of hazardous areas is a required regulatory standard as reflected by the City's General Plan, Local Coastal Program and Municipal Code.	
2. Does the ordinance contain natural hazard overlay zones that set conditions for land use within such zones?	Yes
The City's Municipal Code Title 17 Zoning covers the locations at risk of natural hazards and explicitly either prohibits new development or identifies how new development may be conditionally approved via a discretionary permit process and subject to conditions of approval.	
3. Do rezoning procedures recognize natural hazard areas as limits on zoning changes that allow greater intensity or density of use?	Yes
The city's General Plan, Local Coastal Plan, and Municipal Code identify policies, regulations, and permit approval procedures that effectively provide for decision makers to limit zoning changes, as appropriate within natural hazard areas, including proposed changes that would allow greater intensity or density. Requested zoning changes require processing of legislative approvals through a public process via the Planning Commission and City council. Following local adoption, the proposed zoning amendments require further processing via the California Coastal Commission for final certification approval to become effective. Consistency with the Coastal Act environmental protections and provisions for minimization of hazard risk is required to gain final certification approval of any proposed zoning changes.	
4. Does the ordinance prohibit development within, or filling of, wetlands, floodways, and floodplains?	Yes
The City's Local Coastal Program and Municipal Code prohibit the filling of wetlands and new development within the wetlands and floodways. New development within the existing developed areas of the floodplain is required to meet all Federal Floodplain management requirements and additional limitations in accordance with the City's Municipal Code and Local Coastal Program.	
Subdivision Regulations	
1. Do the subdivision regulations restrict the subdivision of land within or adjacent to natural hazard areas?	Yes
The City's subdivision regulations are incorporated in the Municipal Code Title 16. Further, the City's Local Coastal Program regulates proposed subdivisions as "coastal development" subject to approval	

of a Coastal Development Permit, which is a discretionary permit that requires findings for approval that include environmental projections and assurances to minimize risk of hazards for new development.	
2. Do the regulations provide for conservation subdivisions or cluster subdivisions in order to conserve environmental resources?	Yes
The City's general Plan, Local Coastal Program and Municipal Code identify policies, regulations, and permit approval procedures that provide for development to be clustered to avoid environmentally sensitive resources or hazards. Further , the City utilizes easements as a condition of approval where appropriate, to reserve areas as sensitive areas as open space or building restricted as necessary to ensure sensitive environmental resources are protected and conserved in perpetuity.	
3. Do the regulations allow density transfers where hazard areas exist?	Yes
Capital Improvement Program and Infrastructure Policies	
1. Does the capital improvement program limit expenditures on projects that would encourage development in areas vulnerable to natural hazards?	Yes
The City reviews CIP each year as part of its Work Plan. The projects take into consideration areas vulnerable to natural hazards to minimize the risks.	
2. Do infrastructure policies limit extension of existing facilities and services that would encourage development in areas vulnerable to natural hazards?	Yes
The City reviews CIP each year as part of its Work Plan. The projects take into consideration areas vulnerable to natural hazards to minimize the risks	
3. Does the capital improvement program provide funding for hazard mitigation projects identified in the FEMA Mitigation Plan?	No
Other	
1. Do small area or corridor plans recognize the need to avoid or mitigation natural hazards?	Yes
The City's Municipal Code and General Plan recognize the need to avoid or mitigate natural hazards. Specific identifications are outlined in the Safety Element of the General Plan.	
2. Does the building code contain provisions to strengthen or elevate construction to withstand hazard forces?	Yes
The City's Safety Element of the General Plan, Local Coastal Program and Municipal Code, including California Building Codes, include policies and regulations applicable to construction requiring provisions for flood proofing or elevation of new construction to withstand hazard forces (such as flooding).	
3. Do economic development or redevelopment strategies include provisions for mitigation natural hazards?	N/A
The City's General Plan, Local Coastal Program, and Municipal Code include provisions to facilitate and require mitigation and reduction of risk of natural hazard.	
4. Is there an adopted evacuation and shelter plan to deal with emergencies from natural hazards?	Yes

TABLE 6: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.2 DATA CONTINUED.

Questions were adapted from Godschalk, David R. *Practice Safe Growth Audits, Zoning Practice, Issue Number 10, October 2009, American Planning Association.*

4.2.1. Growth and Development

The City of Solana Beach incorporated in 1986. Below is the change in population since incorporation:

Year	Population	Change	% Change
1990*	12,962	---	--%
2000	12,979	17	.13%
2010	12,867	-112	-.87%
2020	12,941	74	.58%

Source: US Census Bureau, California Department of Finance E-1 Report (2020)

*City of Solana Beach incorporated in July 1986, however population data is not available for the City in that year.

The City of Solana Beach is primarily land locked due to boundaries with other jurisdictions. These development constraints have led to increased infill development with the City. New development does not extend City boundaries, it is re-utilizing existing real estate within the City limits.

4.2.2. Development since 2018 Plan

Development Services tracked total building permits issued since the 2018 plan. A summary of this development is shown in table below:

Property Use	2019	2020	2021
Residential	019	084	099
Commercial	004	023	023
Total	023*	107	122

Source: City of Solana Beach Community Development Department

*City of Solana Beach Community Development Department implemented a new permit tracking method in later 2019 effecting the data available for 2018 and early 2019.

Development is also tracked if built in the identified hazard areas, which includes the 1% annual chance floodplain and the high and very high fire hazard severity zone (VHFHSZ). All development in the identified hazard areas were completed in accordance with all current and applicable development codes and standards and should be adequately protected. Thus, with the exception of more people living in the area potentially exposed to natural hazards, this growth should not cause a significant change in vulnerability of the City to identified priority hazards. A summary of development in hazard zones since 2018 is shown in the table below:

Property Use	VHFHSZ
Residential	43
Non-Residential	0
Total	43

4.3. National Flood Insurance Program (NFIP)

As a participant in the National Flood Insurance Program (NFIP), a community develops capabilities for conducting flood mitigation activities. This program provides flood insurance for structures located within the floodplain areas in the city and as designated by FEMA. The City of Solana Beach coordinates with FEMA to ensure their program remains current.

The City also has a Municipal Code (Chapter 17.80; FLOOD DAMAGE PREVENTION OVERLAY ZONE). This ordinance references the Federal Flood Insurance Rate Maps and its purpose is to minimize public and private losses due to flood conditions in specific areas by legally enforceable regulations applied uniformly throughout the community to all publicly and privately owned land within flood-prone, mudslide or flood-related erosion areas. The ordinance designates the City Engineer as the Floodplain Administrator to implement the chapter by granting, conditionally granting, or denying flood damage prevention development permits in accordance with its provisions.

The City of Solana Beach has been and continues to be a participant in FEMA's National Flood Insurance Program (NFIP).

NFIP Topic	Source of Information	Comments
Insurance Summary		
How many NFIP policies are in the community? What is the total premium and coverage?	State NFIP Coordinator or FEMA NFIP Specialist	One
How many claims have been paid in the community? What is the total amount of paid claims? How many of the claims were for substantial damage?	FEMA NFIP or Insurance Specialist	Zero
How many structures are exposed to flood risk within the community?	Solana Beach Overlay Map found on city website.	<20 in the floodplain overlay zone.
Describe any areas of flood risk with limited NFIP policy coverage	N/A	N/A
Staff Resources		
Is the Community FPA or NFIP Coordinator certified?	N/A	No
Is floodplain management an auxiliary function?	SBMC 17.80	Yes

Provide an explanation of NFIP administration services (e.g., permit review, GIS, education or outreach, inspections, engineering capability)	SBMC 17.80	Permit review and engineering capability.
What are the barriers to running an effective NFIP program in the community, if any?	N/A	N/A
Compliance History		
Is the community in good standing with the NFIP?	https://www.fema.gov/cis/CA.html	Yes
Are there any outstanding compliance issues (i.e., current violations)?	https://www.fema.gov/cis/CA.html	No
When was the most recent Community Assistance Visit (CAV) or Community Assistance Contact (CAC)?	Ordinance 507	In 2019 prior to most recent flood management code update
Is a CAV or CAC scheduled or needed?	N/A	No
Regulation		
When did the community enter the NFIP?	Community Status Book http://www.fema.gov/national-flood-insurance-program/national-flood-insurance-program-community-status-book	06/03/1988 Initial FIRM identified
Are the FIRMs digital or paper?	N/A	Digital
Do floodplain development regulations meet or exceed FEMA or State minimum requirements?	SBMC 17.80	Meet
Provide an explanation of the permitting process.	SBMC 17.80	Process outlined in SBMC 17.80.090.
Community Rating System (CRS)		
Does the community participate in CRS?	Community FPA, State, FEMA NFIP	No
What is the community's CRS Class Ranking?	N/A	N/A
What categories and activities provide CRS points and how can the class be improved?	N/A	N/A

Does the plan include CRS planning requirements	N/A	N/A
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TABLE 7: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 4.3 DATA.

5. SECTION FIVE: CONDUCT A RISK ASSESSMENT

The planning team conducted a risk assessment to determine the potential impacts of hazards to the people, economy, and built and natural environments of the community. The risk assessment provides the foundation for the rest of the mitigation planning process, which is focused on identifying and prioritizing actions to reduce risk to hazards.

In addition to informing the mitigation strategy, the risk assessment also can be used to establish emergency preparedness and response priorities, for land use and comprehensive planning, and for decision making by elected officials, city and county departments, businesses, and organizations in the community.

5.1. Hazards Summary

The table below summarizes hazard description information and identifies which hazards are most significant to the planning area. After reviewing the hazards and their overall significance ranking, the following priority hazards were identified by the planning group as significant to mitigate against. A brief rationale for including each of these is included.

- **Earthquake:** proximity to local faults
 - **Likely:** 10 to 90 percent probability of occurrence in the next year or a recurrence interval of 1 to 10 years
 - **High:** The criteria consistently fall in the high classifications and the event is likely/highly likely to occur with severe strength over a significant to extensive portion of the planning area.
- **Rising or High-Water Events:** constant and historical
 - Flood
 - Sea Level Rise
 - Storm Surge
 - Tsunami (proximity to Pacific Ocean)
- **Extreme Heat:** increasing temperatures due to climate change
- **Drought:** decreased rainfall in recent years

- **Wildfire:** climate and location
- **Erosion/Landslide:** coupled with earthquake/tsunami

Hazard	Location (Geographic Area Affected)	Maximum Probable Extent (Magnitude/Strength)	Probability of Future Events	Overall Significance Ranking
Avalanche	Negligible	Weak	Unlikely	Low
Dam Failure	Negligible	Moderate	Unlikely	Low
Drought	Extensive	Moderate	Likely	Medium
Earthquake	Extensive	Severe	Likely	High
Erosion	Limited	Severe	Likely	Medium
Expansive Soils	Negligible	Weak	Unlikely	Low
Extreme Cold	Negligible	Weak	Unlikely	Low
Extreme Heat	Extensive	Moderate	Likely	Medium
Flood	Negligible	Moderate	Unlikely	Low
Hail	Negligible	Weak	Unlikely	Low
Hurricane	Negligible	Weak	Unlikely	Low
Landslide	Limited	Moderate	Likely	Medium
Lightning	Negligible	Weak	Occasional	Low
Sea Level Rise	Negligible	Weak	Likely	Medium
Severe Wind	Negligible	Weak	Occasional	Low
Severe Winter Weather	Negligible	Weak	Unlikely	Low
Storm Surge	Limited	Moderate	Unlikely	Medium
Subsidence	Negligible	Weak	Unlikely	Low
Tornado	Negligible	Weak	Unlikely	Low
Tsunami	Limited	Moderate	Unlikely	Medium
Wildfire	Limited	Moderate	Likely	Medium

TABLE 8: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 5.1 DATA.

Definitions for Classifications

Location (Geographic Area Affected)

- **Negligible:** Less than 10 percent of planning area or isolated single-point occurrences
- **Limited:** 10 to 25 percent of the planning area or limited single-point occurrences
- **Significant:** 25 to 75 percent of planning area or frequent single-point occurrences
- **Extensive:** 75 to 100 percent of planning area or consistent single-point occurrences

Maximum Probable Extent (Magnitude/Strength based on historic events or future probability)

- **Weak:** Limited classification on scientific scale, slow speed of onset or short duration of event, resulting in little to no damage
- **Moderate:** Moderate classification on scientific scale, moderate speed of onset or moderate duration of event, resulting in some damage and loss of services for days
- **Severe:** Severe classification on scientific scale, fast speed of onset or long duration of event, resulting in devastating damage and loss of services for weeks or months
- **Extreme:** Extreme classification on scientific scale, immediate onset or extended duration of event, resulting in catastrophic damage and uninhabitable conditions

Hazard	Scale / Index	Weak	Moderate	Severe	Extreme
Drought	Palmer Drought Severity Index ³	-1.99 to +1.99	-2.00 to -2.99	-3.00 to -3.99	-4.00 and below
Earthquake	Modified Mercalli Scale ⁴	I to IV	V to VII	VII	IX to XII
	Richter Magnitude ⁵	2, 3	4, 5	6	7, 8
Hurricane Wind	Saffir-Simpson Hurricane Wind Scale ⁶	1	2	3	4, 5
Tornado	Fujita Tornado Damage Scale ⁷	F0	F1, F2	F3	F4, F5

Probability of Future Events

- **Unlikely:** Less than 1 percent probability of occurrence in the next year or a recurrence interval of greater than every 100 years.
- **Occasional:** 1 to 10 percent probability of occurrence in the next year or a recurrence interval of 11 to 100 years.
- **Likely:** 10 to 90 percent probability of occurrence in the next year or a recurrence interval of 1 to 10 years
- **Highly Likely:** 90 to 100 percent probability of occurrence in the next year or a recurrence interval of less than 1 year.

Overall Significance

- **Low:** Two or more criteria fall in lower classifications, or the event has a minimal impact on the planning area. This rating is sometimes used for hazards with a minimal or unknown record of occurrences or for hazards with minimal mitigation potential.
- **Medium:** The criteria fall mostly in the middle ranges of classifications and the event's impacts on the planning area are noticeable but not devastating. This rating is sometimes used for hazards with a high extent rating but very low probability rating.
- **High:** The criteria consistently fall in the high classifications and the event is likely/highly likely to occur with severe strength over a significant to extensive portion of the planning area.

- Cumulative meteorological drought and wet conditions: <http://ncdc.noaa.gov/>
- Earthquake intensity and effect on population and structures: <http://earthquake.usgs.gov>
- Earthquake magnitude as a logarithmic scale, measured by a seismograph: <http://earthquake.usgs.gov>
- Hurricane rating based on sustained wind speed: <http://nhc.noaa.gov>
- Tornado rating based on wind speed and associated damage: <http://spc.noaa.gov>

In addition, the County provided the City of Solana Beach with some data to complete the table below.

***Summary of Potential Hazard-Related Exposure/Loss in Solana Beach**

		Residential		Commercial		Critical Facilities	
Hazard Type	Exposed Population	Number of Residential Buildings	Potential Exposure/Loss for Residential Buildings (x\$1,000)	Number of Commercial Buildings	Potential Exposure/Loss for Commercial Buildings (x\$1,000)	Number of Critical Facilities	Potential Exposure for Critical Facilities (x\$1,000)
Coastal Storm / Erosion	1,260	0	\$0	0	\$0	0	0
Sea Level Rise	470	0	0	0	0	0	0
Dam Failure	206	332	129,015,200	13	3,930,550	0	0
Earthquake (Annualized Loss - Includes shaking, liquefaction and landslide components)	353	136	63,606,558	109	38,851,975	0	0
Flood (Loss)							
100 Year	656	313	121,631,800	11	3,325,850	1	6,670,000
500 Year	1,022	509	197,797,400	57	17,233,950	1	6,670,000
Rain-Induced Landslide							

High Risk	0	0	0	0	0	0	0
Moderate Risk	0	0	0	0	0	0	0
Tsunami	1,441	0	0	0	0	0	0
Fire							
Very High Risk	2,538	579	224,999,400	25	7,558,750	0	0
High Risk	954	505	196,192,500	15	4,535,250	1	24,864,000
Rose Canyon M6.9 Scenario	353	136	\$63,606,558	109	\$38,851,975	5	\$47,920,000

* Data provided by the County of San Diego.

5.2 Hazard Profiles

A hazard profile is a description of the physical characteristics of a hazard and a determination of various hazard descriptors, including magnitude, duration, frequency, probability and extent. The City of Solana Beach has incorporated the hazard data that was collected and mapped in the hazard identification process by the County of San Diego in its Base Plan. The hazard profile information below is incorporated, in relevant part, from the San Diego County Base Plan.

Most hazards were given a risk level of high, medium, or low depending on several factors unique to the hazard. The priority hazards identified and profiled for City of Solana Beach, as well as the data used to profile each hazard are presented in this section. The hazards are presented in alphabetical order; and this does not signify level of importance.

The final list of high-ranking priority hazards to be profiled for City of Solana Beach was determined as Drought, Earthquake, Erosion/Landslide, Extreme Heat, Rising or High-Water Events (Flooding, Sea Level Rise, Storm Surge, Tsunami), and Wildfire.

5.2.1 Drought

Nature of Hazard

Warming temperatures statewide could result in reduced water supply for the San Diego region, which includes the City of Solana Beach. The State Water Project and Colorado River provide 75% to 95% of the water supply for the San Diego region, depending on the year. Both of these water supplies originate in mountain snowpack. Over the past 50 years across most of the Southwest, there has been less late-winter precipitation falling as snow, earlier snowmelt, and earlier arrival of most of the year's streamflow. Projections of further warming will result in reduced snowpack, which could translate into reduced water supply for the San Diego region's cities, agriculture, and ecosystems. In fact, studies indicate that San Diego's sources of water could shrink by 20 percent or more by 2050. An additional threat to water supply is the vulnerability of the levees protecting the California Delta, which feeds the State Water Project. According to the California Adaptation Planning Guide, jurisdictions in the San Diego region must carefully consider the vulnerability of their water supply.

Local water managers also report that higher temperatures could lead to increased demand for water for irrigation. Water shortages could become more frequent and more severe in the future, straining the local economy. The potential for drought in Solana Beach is “Likely.” The desalinization plant in Carlsbad slightly off-sets that potential. The plant, designed to produce 50 million gallons per day, was estimated to provide 8% of the regions water resources by 2020.

A U.S. Drought Monitor, using the Palmer Drought Severity Index, can be found at <http://droughtmonitor.unl.edu/>.

Disaster History

The depression era drought of 1929-1934 was the worst drought in California’s history. Its impact was felt statewide. At that time, San Diego was self-sufficient, relying on local water supplies. The region would not begin to import water until 1947.

The drought of 1987-1992 was extremely severe and resulted in the Metropolitan Water District ordered a 50% reduction in water use. The San Diego County Water Authority considered banning outdoor water use. The rains of “Miracle March” in 1991 replenished rivers, reservoirs, and the Sierra snowpack.

A drought occurred in 2007 and lasted until 2011. Then, another drought began in 2012 just ended in 2017, following a series of winter storms that brought heavy rainfall to the state. The proclamation was extended again on July 8, 2021, amid deepening drought and record-breaking temperatures. The Governor requested Californians to voluntarily reduce water use by 15% to protect water reserves if drought conditions continue.

On April 21, 2021, California Governor Newsom, proclaimed a drought emergency, which enables state response to water supply shortfalls where conditions are extremely dry. This drought emergency proclamation was expanded to include new counties on May 10, 2021. By October 19, 2021, the Governor expanded the drought emergency proclamation to include San Diego County and seven other counties, which were the last of the 58 California counties to be included in the drought emergency proclamation.

On March 28, 2022, the Governor prompted local water suppliers, at the local level, to move to Level 2 of their Water Shortage Contingency Plans, which “requires locally appropriate actions that will conserve water across all sectors, and he directed the State Water Resources Control Board to consider a ban decorative watering at businesses and institutions. Although key improvements have been made since 2016, California is still experiencing drought conditions.

As extreme drought periods become more frequent, the increase in slow, or chronic drought periods can cause long term and indirect health effects. Potential health effects include “compromised quantity and quality of drinking water, increased recreational risks, effects on air quality, diminished living conditions related to energy, air quality, and sanitation and hygiene, mental health effects related to economic and job losses, compromised food and nutrition and increased incidence of illness and disease” (Centers for Disease Control, 2022).

Location & Extent/Probability of Occurrence & Magnitude

Since California is still experiencing drought conditions as of 2022, the probability of occurrence is “Likely”.

Climate Change Considerations

Although there is a lot of variability, projections indicate that there will be longer and more frequent drought that will be punctuated by extreme precipitation. The evaporative demand (atmospheric thirst) is an important component in driving the extent of future droughts (McEvoy et al, 2020).

Drought can increase wildfire risk and lead to fine fuel regrowth after a fire. This type of vegetation is more susceptible to fires, creating a feedback.

Extreme drought has the potential to intensify and change community composition and structure of ecosystems. Drought has severe consequences because it operates at spatial scales larger than other disturbances such as fire (Jennings et al., 2018).

The highest priority mitigation actions to reduce Climate Change impacts on this hazard should include water supply reliability that originates from a diversity of water supplies and conservation planning that addresses the impacts of drought on ecosystems.

5.2.2 Earthquake

Nature of the Hazard

An earthquake is a sudden motion or trembling that is caused by a release of strain accumulated within or along the edge of the Earth's tectonic plates. The effects of an earthquake can be felt far beyond the site of its occurrence. They usually occur without warning and, after just a few seconds, can cause massive damage and extensive casualties. Common effects of earthquakes are ground motion and shaking, surface fault ruptures, and ground failure. Ground motion is the vibration or shaking of the ground during an earthquake.

When a fault ruptures, seismic waves radiate, causing the ground to vibrate. The severity of the vibration increases with the amount of energy released and decreases with distance from the causative fault or epicenter. Soft soils can further amplify ground motions. The severity of these effects is dependent on the amount of energy released from the fault or epicenter. One way to express an earthquake's severity is to compare its acceleration to the normal acceleration due to gravity. The acceleration due to gravity is often called "g". A 100% g earthquake is very severe.

More damage tends to occur from earthquakes when ground acceleration is rapid. Peak ground acceleration (PGA) is a measure of the strength of ground movement. PGA measures the rate in change of motion relative to the established rate of acceleration due to gravity (980 cm/sec/sec). PGA is used to project the risk of damage from future earthquakes by showing earthquake ground motions that have a specified probability (10%, 5%, or 2%) of being exceeded in 50 years. These ground motion values are used for reference in construction design for earthquake resistance. The ground motion values can also be used to assess relative hazard between sites, when making economic and safety decisions.

Another tool used to describe earthquake intensity is the Richter scale. The Richter scale was devised as a means of rating earthquake strength and is an indirect measure of seismic energy released. The scale is logarithmic with each one-point increase corresponding to a 10-fold increase in the amplitude of the seismic shock waves generated by the earthquake. In terms of actual energy released, however, each one-point increase on the Richter scale corresponds to about a 32-fold increase in energy released. Therefore, a magnitude (M) 7 earthquake is 100 times (10 X 10) more powerful than a M5 earthquake and releases 1,024 times (32 X 32) the energy. An earthquake generates different types of seismic shock waves that travel outward from the focus or point of rupture on a fault. Seismic waves that travel through the earth's crust are called body waves and are divided into primary (P) and secondary (S) waves. Because P waves move faster (1.7 times) than S waves they arrive at the seismograph first. By measuring the time delay between arrival of the P and S waves and knowing the distance to the epicenter, seismologists can compute the Richter scale magnitude for the earthquake.

The Modified Mercalli Scale (MMI) is another means for rating earthquakes, but one that attempts to quantify intensity of ground shaking. Intensity under this scale is a function of distance from the epicenter (the closer to the epicenter the greater the intensity), ground acceleration, duration of ground shaking, and degree of structural damage. This rates the level of severity of an earthquake by the amount of damage and perceived shaking, as displayed in the table below:

MMI Value	Description of Shaking Severity	Summary Damage Description used on 1995 Maps	Full Description
I			Not Felt
II			Felt by persons at rest, on upper floors, or favorably placed
III			Felt indoors. Hanging objects swing. Vibration like passing of light trucks. Duration estimated. May not be recognized as an earthquake.
IV			Hanging objects swing. Vibration like passing of heavy trucks; or sensation of a jolt like a heavy ball striking the walls. Standing motorcars rock. Windows, dishes, doors rattle. In the upper range of IV, wooden walls and frames creak.
V	Light	Pictures Move	Felt outdoors; direction estimated. Sleepers wakened. Liquids disturbed, some spilled. Small unstable objects displaced or upset. Doors swing, close, open. Shutters, pictures move. Pendulum clock stop, start, change rate.
VI	Moderate	Objects Fall	Felt by all. Many frightened and run outdoors. Persons walk unsteadily. Windows, dishes, glassware broken. Knickknacks, books, etc., off shelves. Pictures off walls. Furniture

			moved or overturned. Weak plaster and masonry D cracked
VII	Strong	Nonstructural Damage	Difficult to stand. Noticed by drivers of motorcars. Hanging objects quiver. Furniture broken. Damage to masonry D, including cracks. Weak chimneys broken at roofline. Fall of plaster, loose bricks, stones, tiles, cornices. Some cracks in masonry C. Small slides and caving in along sand or gravel banks. Concrete irrigation ditches damaged.
VIII	Very Strong	Moderate Damage	Steering of motorcars affected. Damage to masonry C, partial collapse. Some damage to masonry B; none to masonry A. Fall of stucco and some masonry walls. Twisting, fall of chimneys, factory stacks, monuments, towers, and elevated tanks. Frame houses moved on foundations if not bolted down; loose panel walls thrown out. Cracks in wet ground and on steep slopes.
IX	Very Violent	Extreme Damage	Most masonry and frame structures destroyed with their foundations. Some well-built wooden structures and bridges destroyed. Serious damage to dams, dikes, embankments.

**Table 12: Modified Mercalli Scale, taken from the San Diego County's Base Plan*

Several major active faults exist in San Diego County, including the Rose Canyon, La Nacion, Elsinore, San Jacinto, Coronado Bank and San Clemente Fault Zones. The Rose Canyon Fault Zone is part of the Newport-Inglewood fault zone, which originates to the north in Los Angeles, and the Vallecitos and San Miguel Fault Systems to the south in Baja California.

The Rose Canyon Fault extends inland from La Jolla Cove, south through Rose Canyon, along the east side of Mission Bay, and out into San Diego Bay. The Rose Canyon Fault is considered the greatest potential threat to San Diego as a region, including the City of Solana Beach, due to its proximity to areas of high population. The La Nacion Fault Zone is located near National City and Chula Vista. The Elsinore Fault Zone is a branch of the San Andreas Fault System. It originates near downtown Los Angeles and enters San Diego County through the communities of Rainbow and Pala; it then travels in a southeasterly direction through Lake Henshaw, Santa Ysabel, Julian; then down into Anza-Borrego Desert State Park at Agua Caliente Springs, ending at Ocotillo, approximately 40 miles east of downtown.

The San Jacinto Fault is also a branch of the San Andreas Fault System. This fault branches off from the major fault as it passes through the San Bernardino Mountains. Traveling southeasterly, the fault passes through Clark Valley, Borrego Springs, Ocotillo Wells, and then east toward El Centro in Imperial County. This fault is the most active large fault within County of San Diego. The Coronado Bank fault is located about 10 miles offshore. The San Clemente Fault lies about

40 miles off La Jolla and is the largest offshore fault at 110 miles or more in length (Unified San Diego County Emergency Services Organization Operational Area Emergency Plan, 2014).

Disaster History

As stated in the San Diego County base Plan, historic documents record a very strong earthquake struck San Diego on May 27, 1862; damaging buildings in Old Town and opening cracks in the earth near the San Diego River mouth. This destructive earthquake was centered on either the Rose Canyon or Coronado Bank faults and descriptions of damage suggest that it had a magnitude of about 6.0 (M6).

The strongest recently recorded earthquake in San Diego County was a M5.3 earthquake that occurred on July 13, 1986 on the Coronado Bank Fault, 25 miles west of Solana Beach. In recent years there have been several moderate earthquakes recorded within the Rose Canyon Fault Zone as it passes beneath the City of San Diego. Three temblors shook the city of San Diego on 17 June 1985 (M3.9, 4.0, 3.9) and a stronger quake occurred on 28 October 1986 (M4.7) (Demere, SDNHM website 2003). The most recent significant earthquake activity occurred on June 15, 2004 with a M5.3 on the San Diego Trough Fault Zone approximately 50 miles SW of San Diego. It was reported as an IV on the MMI (Southern California Seismic Network).

Location & Extent/Probability of Occurrence & Magnitude

The figures below display the location and extent of the profiled earthquake hazard areas for San Diego County:

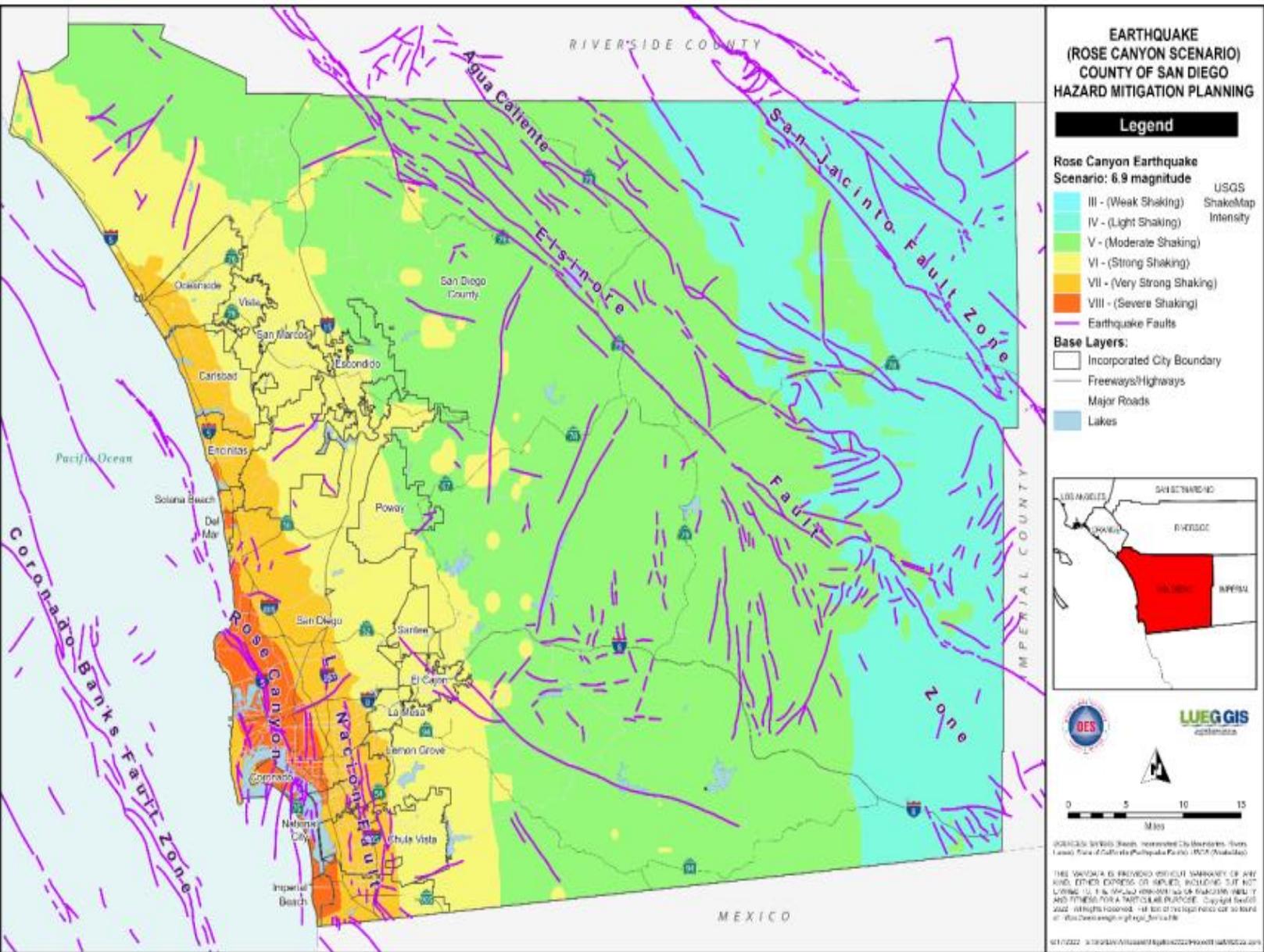


Figure 4. Map of San Diego County Rose Canyon Fault Earthquake Scenario- incorporated from San Diego County Base Plan.

This is based on a United States Geological Survey (USGS) earthquake model that shows probabilistic peak ground acceleration for every location in San Diego County, including the City of Solana Beach. Since 1984, earthquake activity in San Diego County has increased twofold over the preceding 50 years (Demere, SDNHM website 2003). All buildings that have been built in recent decades must adhere to building codes that require them to be able to withstand earthquake magnitudes that create a PGA of 0.4 or greater. Ongoing field and laboratory studies suggest the following maximum likely magnitudes for local faults: San Jacinto (M6.4 to 7.3), Elsinore (M6.5 to 7.3), Rose Canyon (M6.2 to 7.0), La Nacion (M6.2 to 6.6), Coronado Bank (M6.0 to 7.7), and San Clemente (M6.6 to 7.7) (Demere, SDNHM website 2003).

Data used to profile earthquake hazard included probabilistic PGA data from USGS and a Scenario Earthquake Shake map for Rose Canyon from the California Integrated Seismic Network (CISN). From these data, the Hazard Mitigation Planning Group (HMPG) determined that risk level for earthquake is determined to be high if an area lies within a 0.3 or greater PGA designation. Earthquakes were modeled using HAZUS-MH, which uses base information to derive probabilistic peak ground accelerations much like the PGA map from USGS that was used for the profiling process.

The potential for an earthquake in the City of Solana Beach is considered “Likely”.

Climate Change Considerations

Not applicable.

5.2.3. Erosion/Landslide

Nature of the Hazard

Coastal erosion is the wearing of coastal land. It is commonly used to describe the horizontal retreat of the shoreline along the ocean and is considered a function of larger processes of shoreline change, which include erosion and accretion. Erosion results when more sediment is lost along a particular shoreline than is deposited by the water body and is measured as a rate with respect to either a linear retreat or volumetric loss. Erosion rates are not uniform and vary over time at any single location. Various locations along the Coast of San Diego County are highly susceptible to erosion. Erosion prevention and repair measures such as installation of seawalls and reinforcement of cliffs have been required in different locations along the San Diego coast in the past. The risk/probability of coastal erosion in the City of Solana Beach is considered “Likely”.

Landslides occur when masses of rock, earth, or debris move down a slope, including rock falls, deep failure of slopes, and shallow debris flows. Landslides are influenced by human activity (mining and construction of buildings, railroads, and highways) and natural factors (geology, precipitation, and topography). Frequently they accompany other natural hazards such as floods, earthquakes, and volcanic eruptions. Although landslides sometimes occur during earthquake activity, earthquakes are rarely their primary cause.

The most common cause of a landslide is an increase in the down slope gravitational stress applied to slope materials (oversteepening). This may be produced either by natural processes or by man's activities. Undercutting of a valley wall by stream erosion or of a sea cliff by wave erosion are ways in which slopes may be naturally oversteeped.

Other ways include excessive rainfall or irrigation on a cliff or slope. Another type of soil failure is slope wash, the erosion of slopes by surface-water runoff. The intensity of slope wash is dependent on the discharge and velocity of surface runoff and on the resistance of surface materials to erosion. Surface runoff and velocity is greatly increased in urban and suburban areas due to the presence of roads, parking lots, and buildings, which have zero filtration capacities and provide generally smooth surfaces that do not slow down runoff.

Mudflows are another type of soil failure and are defined as flows or rivers of liquid mud down a hillside. They occur when water accumulates under the ground, usually following long and heavy rainfalls. If there is no brush, tree, or ground cover to hold the soil, mud will form and flow down-slope.

Disaster History

Coastal erosion is an ongoing process that is difficult to measure but can be seen in various areas along the coastline of San Diego County. While City of Solana Beach has not had significant erosion events, significant coast erosion events have occurred nearby. Unstable cliffs at Beacon's Beach in Encinitas caused a landslide that killed a woman sitting on the beach in January 2000. In 1942, the Self-Realization Fellowship building fell into the ocean because of erosion and slope failure caused by groundwater oversaturated the cliffs it was built on.

Landslides and landslide-prone sedimentary formations are present throughout the coastal plain of western San Diego County. Landslides also occur in the granitic mountains of East San Diego County, although they are less prevalent. Ancient landslides are those with subdued topographic expressions that suggest movements at least several hundred and possibly several thousands of years before present. Many of these landslides are thought to have occurred under much wetter climatic conditions than at present. Recent landslides are those with fresh or sharp geomorphic expressions suggestive of active (ongoing) movement or movement within the past several decades. Reactivations of existing landslides can be triggered by disturbances such as heavy rainfall, seismic shaking and/or grading. Many recent landslides are thought to be reactivations of ancient landslides.

While significant landslides have not occurred in the City of Solana Beach, other areas in San Diego County have experienced landslides, including neighboring Del Mar and Encinitas. Per the County's Base Plan, significant landslides have occurred in: the Otay Mesa area, Oceanside, Mt. Soledad in La Jolla, Sorrento Valley, in the vicinity of Rancho Bernardo and Rancho Penasquitos, along the sides of Mission Gorge (San Carlos and Tierrasanta), western Santee, the Fletcher Hills area of western El Cajon, western Camp Pendleton, and the east side of Point Loma. Some of the more significant historical coastal bluff landslides have occurred along north La Jolla (Black's Beach), Torrey Pines, Del Mar, and Encinitas.

Landslides tend to be more widespread in these areas where the underlying sedimentary formations contain weak claystone beds that are more susceptible to sliding.

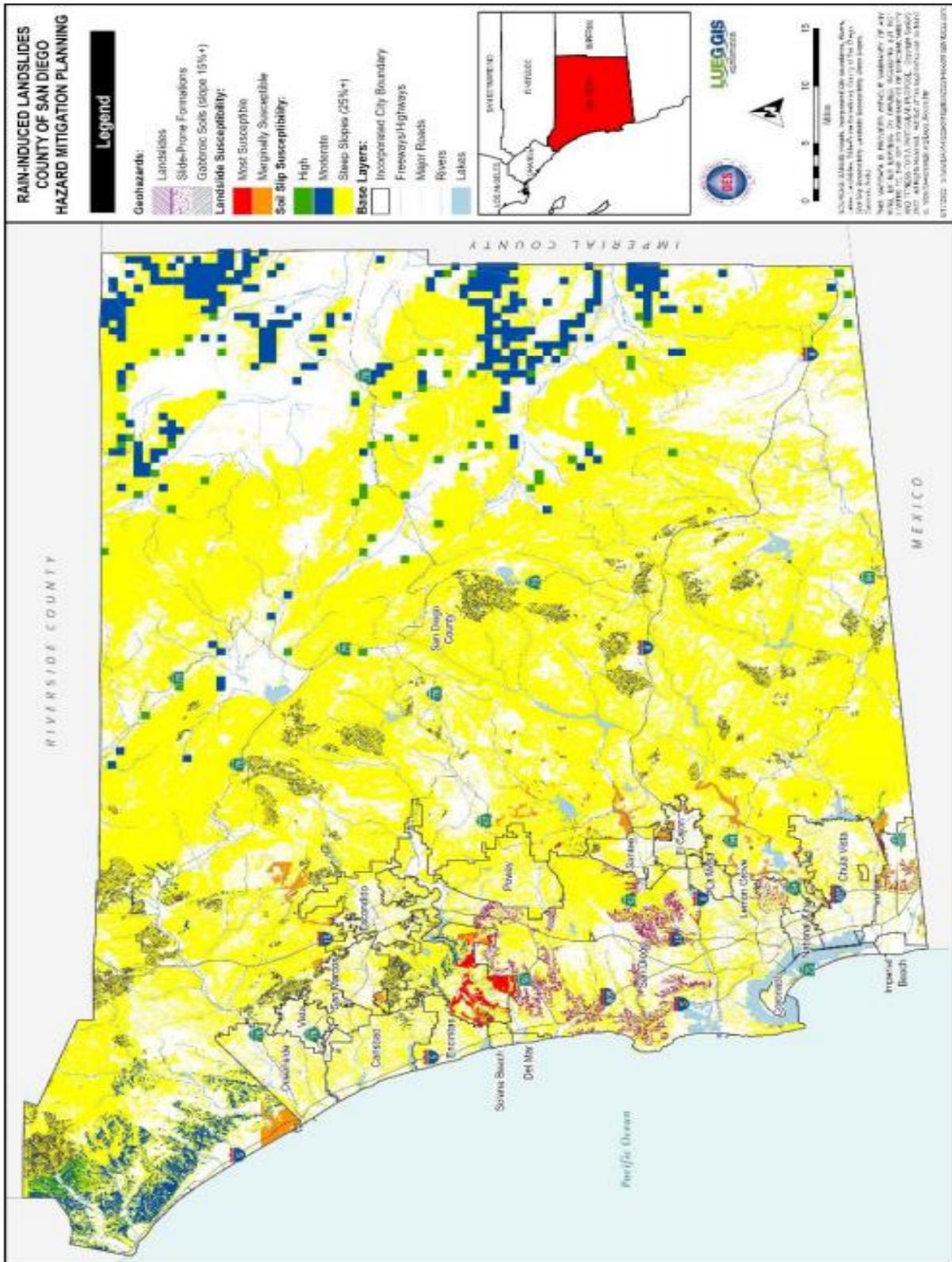
Remedial grading and other mitigation measures have stabilized many but not all landslides in urban areas and other developments within San Diego County. Published geologic maps and other sources of information pertaining to landslide occurrence may not differentiate between known or suspected landslides.

Moreover, published landslide maps (such as those used to compile the landslide areas for this effort) are not always updated or revised to reflect landslides that have been stabilized, or in some cases completely removed.

The landslide maps for this study have been compiled for planning and emergency responses preparedness, and the compilation sources may not reflect current or existing conditions.

Location & Extent/Probability of Occurrence & Magnitude

Data used to determine landslide risk were steep slope (greater than 25%), soil series data (SANDAG, based on USGS 1970s series), and soil-slip susceptibility from USGS. Because landslide data in GIS format was not available for the entire county, a model was run using USGS soils and steep slope data to determine landslide risk areas for the entire County. Tan Landslide Susceptibility Maps that depict steep slope areas, landslide formations, and landslide susceptible areas based on a combination of slope, soils and geologic instability were also used in the analysis. As shown in the figure below, the location and extent of landslide hazard areas are generally concentrated along canyons near the coastal areas with steep slopes:



*Figure 7: Map of San Diego County Rain-Induced Landslide Susceptibilities – incorporated from San Diego County Base Plan.

The western portion of the county, which includes the City of Solana Beach, shows the soil-slip susceptibility data, while the eastern portion of the county shows the results of the model used to determine landslide risk for areas that were not included in the soil-slip susceptibility model. Housing development on marginal lands and in unstable but highly desirable coastal areas has increased the threat from landslides throughout San Diego County.

Based on historical occurrences, the potential for an erosion/ landslide is considered “Likely”.

Climate Change Considerations

Post-fire debris flows require high intensity precipitation. Global Climate models do not project hourly rates of precipitation. One study that dynamically downscaled climate projection suggested that hourly precipitation rates in the mountainous area increased in Central and Northern California (Huang et al, 2020), but it did show results over San Diego.

The highest priority mitigation actions to reduce Climate Change impacts on this hazard should include evaluation of vulnerable landscapes, monitoring and educating partners and the public, paying attention to weather forecasts of heavy and prolonged rainfall, especially in conditions when landscape is already soaked, consulting with experts in landslides/debris flows.

5.2.4. Extreme Heat

Nature of the Hazard

Although extreme heat does not cause structural damage like floods, fires, and earthquakes, heat waves claim many lives due to heat exhaustion and heat stroke. According to a California Energy Commission Study, from 1994 to 2009, heat waves have claimed more lives in California than all declared disaster events combined.

Despite this history, not a single heat emergency was formally proclaimed at the state level or as a federal disaster between 1960 and 2008. The author of an account of a heat wave which killed 739 people in Chicago in July 1995 suggests that the hidden nature of social vulnerability combined with the inconspicuous nature of heat events (unlike floods, fires, and earthquakes) prevent them from being declared as legitimate disasters. However, the California State Hazard Mitigation Plan considers extreme heat a legitimate disaster type.

Extreme heat is exacerbated by the “urban heat island effect”, whereby impervious surfaces, such as concrete and asphalt, absorb heat and result in greater warming in urban areas compared to rural areas. Urban heat islands exacerbate the public health impacts that heat waves have upon the more vulnerable populations. San Diego County has among the highest percentages of impervious surfaces in the states, increasing the potential impacts of heat islands. In fact, Southern California’s urban centers are warming more rapidly than other parts of the state.

Extreme heat events put vulnerable populations (such as older adults, children, people who are chronically ill, and people who work outside) at risk of heat-related illnesses and even death. Extreme heat events highlight the importance of thoughtful social vulnerability analysis. For example, socially isolated older adults are especially vulnerable. People who live in urban areas

with high impervious surface coverage and no access to air conditioning are also especially vulnerable.

Extreme heat also has secondary impacts, such as power outages and poor air quality. Heat events, and the increased use of air conditioning, can lead to power outages, which makes the events even more dangerous. Hotter temperatures may also lead to poorer air quality because ozone formation, a component of smog, increases with higher temperatures.

Disaster History

Following the events of 2006, when there was a prolonged period of extreme heat across the state of California, San Diego County developed an Excessive Heat Preparedness and Response Plan.

According to Spatial Hazard Events and Losses Database for the United States (SHELDUS) there have been four extreme heat events in San Diego in the past 18 years resulting in four heat related fatalities and 28 heat related injuries.

Location & Extent/Probability of Occurrence & Magnitude

San Diego is facing an increase in the frequency, duration, and strength of heat waves in the coming decades. While greater warming is expected in inland areas, residents of coastal areas are vulnerable when the temperature spikes, because they are less accustomed to the heat, and they are less likely to have air conditioning.

Research also indicates that heat waves are likely to become more humid in the future and with nighttime temperatures staying high, further stressing public health. Extreme warm temperatures in the San Diego region mostly occur in July and August, but as climate warming takes hold, the occurrences of these events will likely begin in June and could continue to take place into September.

The potential for extreme heat event is considered “Likely”.

Climate Change Considerations

An increase in the intensity, frequency and duration of extreme heat events is expected in the context of climate change. Furthermore, observations have shown, and projections indicate, that the flavor of extreme heat events have and will continue to change with more and more humid heat events (that drive nighttime heat events) (Gershunov et al., 2009, Gershunov et al., 2012).

The highest priority mitigation actions to reduce Climate Change impacts on this hazard should include preparation, with strong attention to weather forecasts and ready social services, infrastructure (e.g. County Cooling Centers), and programs to support installation of air conditioning units in communities lacking access.

5.2.5 Rising or High-Water Events (Flood, Sea Level Rise, Storm Surge, and Tsunami)

Nature of the Hazard

These four hazards were mapped and profiled as a group because many of the factors and risks involved are similar and limited to the coastal areas. Coastal storms can cause increases in tidal elevations (called storm surge), wind speed, and erosion. The most dangerous and damaging feature of a coastal storm is storm surge. Storm surges are large waves of ocean water that sweep across coastlines where a storm makes landfall. Storm surges can inundate coastal areas, wash out dunes, and cause backwater flooding. If a storm surge occurs at the same time as high tide, the water height will be even greater.

With up to two feet of sea level rise projected by 2050, low-lying areas could become inundated more frequently and with increasingly higher water levels. In addition, storm related flooding may reach further inland and occur more often. Beaches and cliffs could also see increased erosion as they are exposed to more hours of high sea levels and wave action. The NOAA Sea Level Rise Viewer allows for planners to predict the impact of sea level rise over the next several decades. It can be found at <https://coast.noaa.gov/digitalcoast/tools/slr>.

According to the Sea Level Rise Adaptation Strategy for the San Diego Bay, the sectors that are most vulnerable to sea level rise are storm water, wastewater, shoreline parks, transportation facilities, commercial buildings, and ecosystems. Low-lying communities, such as Imperial Beach, Coronado, Mission Beach, and parts of La Jolla Shores, Del Mar, and Oceanside may be particularly vulnerable to sea level rise. In addition, some of San Diego's military installations and the region controlled by the Port of San Diego may also be affected. However, sea level rise is considered (on a scale of low, medium, high, very high) a low hazard for the region.

A tsunami is a series of long waves generated in the ocean by a sudden displacement of a large volume of water. Underwater earthquakes, landslides, volcanic eruptions, meteoric impacts, or onshore slope failures can cause this displacement. Tsunami waves can travel at speeds averaging 450 to 600 miles per hour. As a tsunami nears the coastline, its speed diminishes, its wavelength decreases, and its height increases greatly. After a major earthquake or other tsunami-inducing activity occurs, a tsunami could reach the shore within a few minutes. One coastal community may experience no damaging waves while another may experience very destructive waves. Some low-lying areas could experience severe inland inundation of water and deposition of debris more than 3,000 feet inland. Historically the impact of Tsunamis on the San Diego County coastline has been low, but inundation maps developed by the California Office of Emergency Services and the California Geologic Survey show the potential for moderate damage along low-lying areas. The California Geologic Survey has developed Tsunami Inundation maps that can be found at: http://www.conservation.ca.gov/cgs/geologic_hazards/Tsunami/Inundation_Maps.

A flood occurs when excess water from snowmelt, rainfall, or storm surge accumulates and overflows onto a river's bank or to adjacent floodplains. Floodplains are lowlands adjacent to rivers, lakes, and oceans that are subject to recurring floods. Most injuries and deaths from flood

occur when people are swept away by flood currents, and property damage typically occurs as a result of inundation by sediment-filled water.

Several factors determine the severity of floods, including rainfall intensity and duration. A large amount of rainfall over a short time span can result in flash flood conditions. A sudden thunderstorm or heavy rain, dam failure, or sudden spills can cause flash flooding. The National Weather Service's definition of a flash flood is a flood occurring in a watershed where the time of travel of the peak of flow from one end of the watershed to the other is less than six hours.

There are no watersheds in San Diego County that have a longer response time than six hours. In this county, flash floods range from the stereotypical wall of water to a gradually rising stream. The central and eastern portions of San Diego County are most susceptible to flash floods where mountain canyons, dry creek beds, and high deserts are the prevailing terrain.

Disaster History

In January and February 1983, the strongest-ever El Nino-driven coastal storms caused over 116 million dollars in beach and coastal damage, at this time the City of Solana Beach was not incorporated as a city. Thirty-three homes were destroyed, and 3,900 homes and businesses were damaged. As stated in the San Diego County Base Plan, other coastal storms that caused notable damage were during the El Nino winters of 1977-1978 and 1997-1998 and 2003-2004. Other Proclamations occurred in December 2010, July 2015, and February 2017. The City of San Diego proclaimed for winter storms in 2013.

Wave heights and run-up elevations from tsunami along the San Diego County Coast have historically fallen within the normal range of the tides (Joy 1968). The largest tsunami effect recorded in San Diego County since 1950 was May 22, 1960, which had a maximum wave height 2.1 feet (NOAA, 1993). In this event, 80 meters of dock were destroyed, and a barge sunk in Quivera Basin.

Other tsunamis felt in San Diego County occurred on November 5, 1952, with a wave height of 2.3 feet and caused by an earthquake in Kamchatka; March 9, 1957, with a wave height of 1.5 feet; May 22, 1960, at 2.1 feet; March 27, 1964 with a wave height of 3.7 feet, February 2010 with a wave height of 0.6 meters; June, 2011 with wave height of 2 feet; and January 15, 2022 with a wave height of 1-3 feet.

It should be noted that damage does not necessarily occur in direct relationship to wave height, illustrated by the fact that the damages caused by the 2.1-foot wave height in 1960 were worse than damages caused by several other tsunamis with higher wave heights.

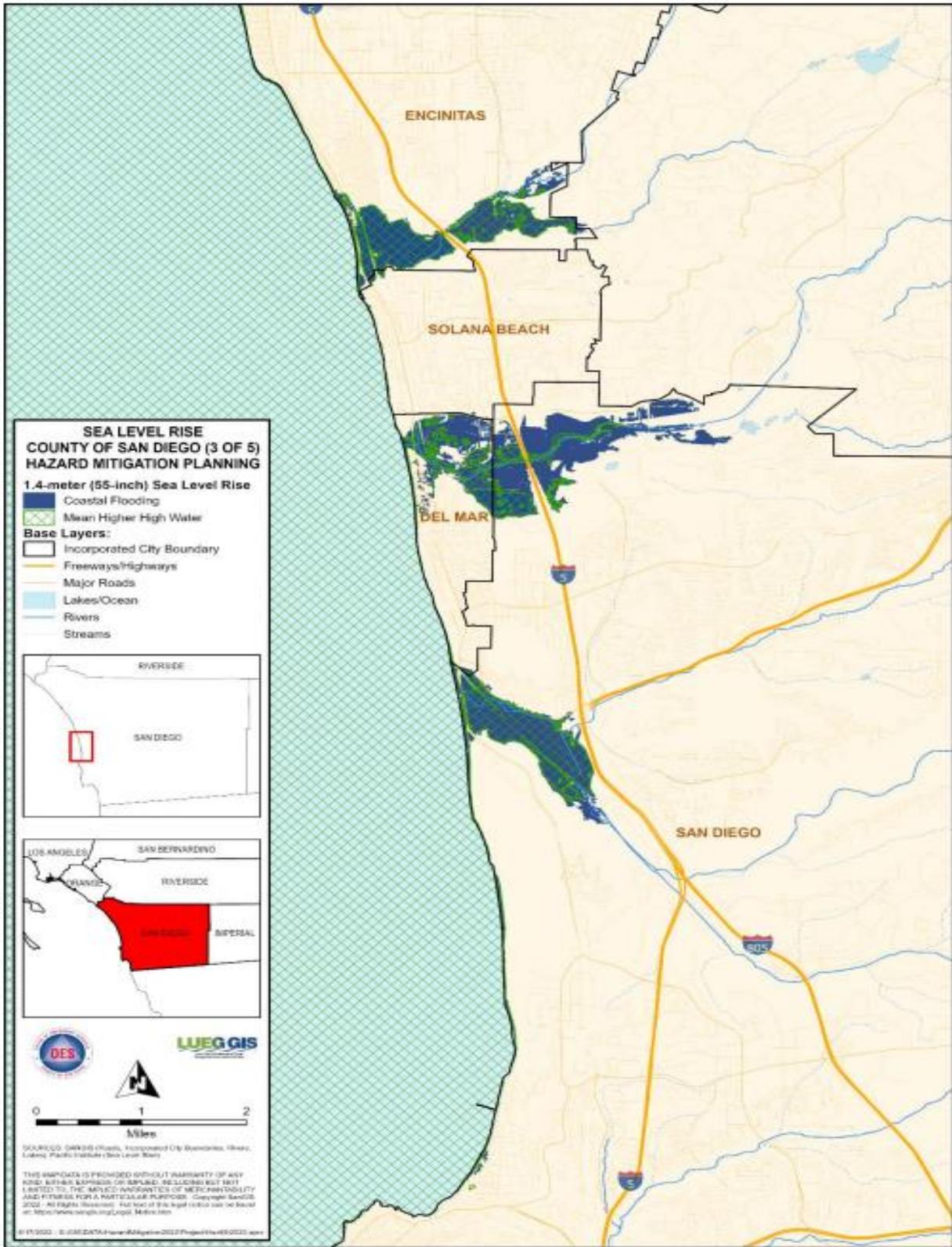
The California Tsunami Program, led by the California Governor's Office of Emergency Services (Cal OES) and the California Geological Survey (CGS), is responsible for updating the State's Tsunami Hazard Area Maps for emergency response planning and public safety. Communities use the State tsunami maps to develop and update their evacuation maps and plans. The State is constantly evaluating tsunami events, sources, and analysis techniques to ensure that coastal communities are safe from tsunami hazards.

The State has updated previous 2009 Tsunami Inundation Maps by working with local emergency management officials and Cal OES. Each County provides important considerations to CGS' decision on the inland boundaries of the Tsunami Hazard Area.

The State tsunami website (www.tsunami.ca.gov), includes new Tsunami Hazard Area maps/data available to view and download using easy-to-use, interactive web applications. Find a location by typing in an address or use a current location to pinpoint the location on the Tsunami Hazard Map. This is useful to find out if you are in a Tsunami Hazard Area wherever you live, work, or visit. As local tsunami evacuation brochures are developed, they will also be added to the online map interface.

Location & Extent/Probability of Occurrence & Magnitude

The figures below display the locations and extent of tsunami, coastal storm, erosion and sea level rise hazard areas for the City of Solana Beach as prepared by County of San Diego. As shown in these figures, the City of Solana Beach are in the highest risk zones in San Diego County located within the coastal zone of San Diego County. Coastal storm hazards are most likely during El Nino events:



*Figure 13: Map of San Diego County sea level rise hazard areas – Incorporated from San Diego County Base Plan

Maximum wind speeds along the coast are not expected to exceed 60 miles per hour, resulting in only minor wind-speed related damage. Coastal erosion risk is highest where geologically unstable cliffs become over-saturated by irrigation or rainwater. The greatest type of tsunami risk is material damage to small watercraft, harbors, and some waterfront structures (Joy 1968), with flooding along the coast, as shown in the run-up projections on the figure below.

The risk of damage from sea level rise is considered somewhat “Likely” with the risk of damage from coastal erosion considered to be “Likely” but flood and tsunami are both “Unlikely”.

Data used to profile this group of hazards included the digitized flood zones from the FEMA FIRM Flood maps, NOAA historical shoreline data, and Caltrans’ coastal zone boundary for the coastal storm/erosion hazard. Maximum tsunami run up projections modeled by the University of Southern California and distributed by the California Office of Emergency Services were used for identifying tsunami hazard. The tsunami model was the result of a combination of inundation modeling and onsite surveys and shows maximum projected inundation levels from tsunamis along the entire coast of San Diego County.

NOAA historical tsunami effects data were also used, which showed locations where tsunami effects have been felt, and when available, details describing size and location of earthquakes that caused the tsunamis. The Shoreline Erosion Assessment and Atlas of the San Diego Region Volumes I and II (SANDAG, 1992) were reviewed for the shoreline erosion category. This publication shows erosion risk levels of high, moderate, and low for the entire coastline of San Diego County.

For modeling purposes, the VE Zone of the FEMA FIRM map series was used as the high hazard value for coastal storms and coastal erosion. The VE Zone is defined by FEMA as the coastal area subject to a velocity hazard (wave action). Coastal storm and erosion risk were determined to be high if areas were found within the VE zone of the FEMA FIRM maps. Tsunami hazard risk levels were determined to be high if an area was within the maximum projected tsunami run-up and inundation area.

FEMA FIRM data was used to determine hazard risk for floods in the County of San Diego. FEMA defines flood risk primarily by a 100-year flood zone, which is applied to those areas with a 1% chance, on average, of flooding in any given year. Any area that lies within the FEMA-designated 100-year floodplain is designated as high risk. Any area found in the 500- year floodplain is designated at low risk. Base flood elevations (BFE) were also used in the HAZUS-MH modeling process. A BFE is the elevation of the water surface resulting from a flood that has a 1% chance of occurring in any given year (i.e. the height of the base flood).

The figure below displays the location and extent of flood hazard areas for the County of San Diego:

As shown, high hazard (100-year floodway) zones in San Diego County are generally concentrated within the coastal areas, including bays, coastal inlets, and estuaries. Major watershed areas connecting the local mountain range to the coastal region, where flash floods are more common, show several 100-year flood hazard areas.

Based on FEMA records, there have been numerous repetitive losses (losses of at least \$1,000 each) in San Diego County. These losses are provided in the table below:

Jurisdiction	Number of Repetitive Losses	Jurisdiction	Number of Repetitive Losses	Jurisdiction	Number of Repetitive Losses
Carlsbad	1	Chula Vista	1	Coronado	1
Del Mar	16	El Cajon	2	Encinitas	2
Escondido	2	Imperial Beach	5	La Mesa	2
Lemon Grove	0	National City	4	Oceanside	20
Poway	8	San Diego	53	San Marcos	1
Santee	1	Solana Beach	6	Vista	1
County of San Diego	40				

**Table 14: Repetitive Loss Due to Floods In San Diego County – incorporated from County of San Diego Base Plan.*

Based on historical occurrences, the potential for a rising or high-water event is considered “Likely”.

Climate Change Considerations

The most extreme events are going to become more extreme regarding climate change effects. These events are primarily atmospheric rivers and will become more so in the future based on global climate models (Gershunov et al., 2019). In addition, the increase in sea level increases the potential for severe flooding caused by the occurrence of coastal and inland flooding. Coastal flooding can cause pollution of coastal waters (Aguilera et al., 2019).

The highest priority mitigation actions to reduce Climate Change impacts on this hazard should include preparation, with strong attention to weather forecasts, assessing infrastructure flooding vulnerability, and developing plans to mitigate flood severity and frequency.

5.2.6 Wildfire

Nature of the Hazard

A wildfire is an uncontrolled fire spreading through vegetative fuels and exposing or possibly consuming structures. They often begin unnoticed and spread quickly. Naturally occurring and non-native species of grasses, brush, and trees fuel wildfires.

A wildfire is in a wildland area in which development is essentially nonexistent—except for roads, railroads, power lines and similar facilities. An Urban-Wildland/Urban Interface fire is a wildfire in a geographical area where structures and other human development meet or intermingle with wildland or vegetative fuels. Significant development in San Diego County is located along canyon

ridges at the wildland/urban interface. Areas that have experienced prolonged droughts or are excessively dry are at risk of wildfires.

People start more than 80 percent of wildfires, usually as debris burns, arson, or carelessness. Lightning strikes are the next leading cause of wildfires. Wildfire behavior is based on three primary factors: fuel, topography, and weather. The type, and amount of fuel, as well as its burning qualities and level of moisture affect wildfire potential and behavior.

The continuity of fuels, expressed in both horizontal and vertical components is also a determinant of wildfire potential and behavior. Topography is important because it affects the movement of air (and thus the fire) over the ground surface. The slope and shape of terrain can change the speed at which the fire travels, and the ability of firefighters to reach and extinguish the fire. Weather affects the probability of wildfire and has a significant effect on its behavior. Temperature, humidity, and wind (both short and long term) affect the severity and duration of wildfires.

San Diego County's topography consists of a semi-arid coastal plain and rolling highlands which, when fueled by shrub overgrowth, occasional Santa Ana winds and high temperatures, creates an ever-present threat of wildland fire. Extreme weather conditions such as high temperature, low humidity, and/or winds of extraordinary force may cause an ordinary fire to expand into one of massive proportions.

Large fires would have several indirect effects beyond those that a smaller, more localized fire would create. These may include air quality and health issues, road closures, business closures, and others that increase the potential losses that can occur from this hazard. Modeling for a larger type of fire would be difficult, but the consequences of the three largest San Diego fires this century (October, 2003, October 2007 and May 2014) should be used as a guide for fire planning and mitigation.

Disaster History

The City of Solana Beach does not have specific disaster history for wildfire, however has chosen to incorporate the County of San Diego's disaster history as identified in the County's base plan.

San Diego County's third worst wildfire in history, known as the Laguna Fire, destroyed thousands of acres in the backcountry in September of 1970. The fire resulted in the loss or destruction of 383 homes and 1,200 other structures.

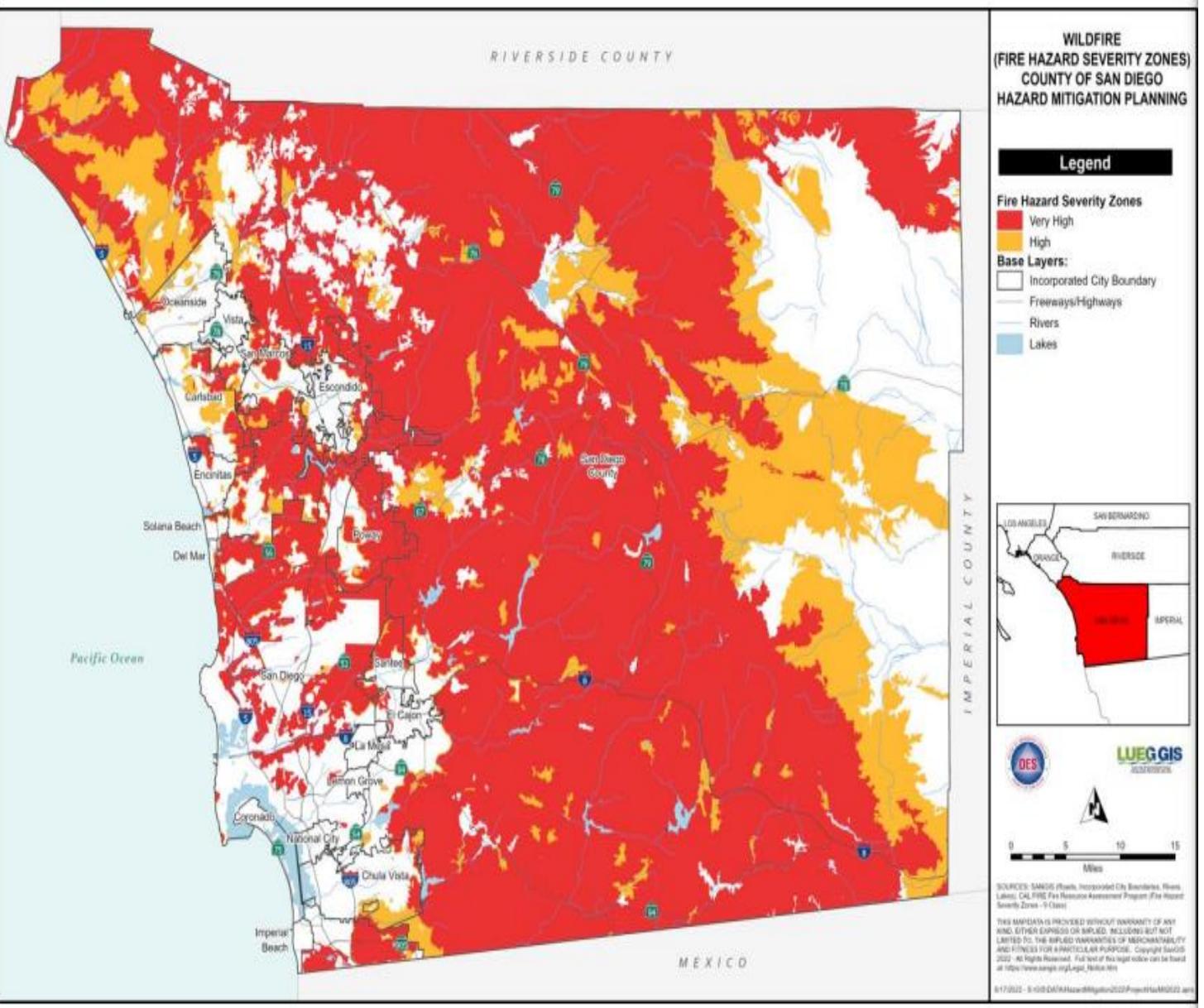
In October 2003, the second-worse wild-land fire in the history of San Diego County destroyed 332,766 acres of land, 3,239 structures and 17 deaths at a cost of approximately \$450M.

San Diego County's worst wildfire occurred in October 2007. At the height of the firestorm there were seven fires burning within the County. The fires destroyed 369,000 acres (13% of the County), 2,670 structures, 239 vehicles, and two commercial properties. There were 10 civilian deaths, 23 civilian injuries and 10 firefighter injuries. The cost of fire exceeded \$1.5 billion.

Wildland fires prompted seven (7) Proclaimed States of Emergency, and Urban/Intermix Fires prompted four (4) Proclaimed States of Emergency in the County of San Diego between 1950-2020.

Location & Extent/Probability of Occurrence & Magnitude

The wildfire maps use the CAL Fire Resource Assessment Program data for Fire Hazard Severity Zones.



*Figure 18: CAL FIRE Fire Hazard Severity Zones (High and Very High) – Incorporated from San Diego County Base Plan.

Under current climate conditions, the wildfire threat to property, lives, and ecosystems in the San Diego region is very high. With hotter temperatures and possibly fewer rainy days in the coming decades, vegetation could become drier. As a result, it is likely that San Diego region will see an increase in the frequency and intensity of fires, making the region more vulnerable to devastating fires like the ones seen in 2003 and 2007. The fire season could also become longer and less predictable, making firefighting efforts more costly.

Building density is also a factor in potential building loss during a wildfire. A recent study in the Ecological Society of America's publication Ecological Applications indicates that the area of the building clusters, the number of buildings in the cluster and building dispersion all contribute to the potential for building loss. While all three factors had a positive influence on the number of structures lost, larger building structures were most strongly associated with building loss. The most likely reason being that more buildings are exposed. Two other top factors were the number of buildings in the cluster and the distance to the nearest building. In the Mediterranean California model the closer the buildings were to each other the less likely they were to be affected.

An increase in wildfire also impacts public health. Fire-related injuries and death are likely to increase as wildfires occur more frequently.¹²⁴ Wildfires can also be a significant contributor to air pollution. Wildfire smoke contains numerous toxic and hazardous pollutants that are dangerous to breath and can worsen lung disease and other respiratory conditions.

The potential for a wildfire in the City of Solana Beach is considered "Likely".

6. SECTION SIX: DEVELOP A MITIGATION STRATEGY

The mitigation strategy serves as the long-term blueprint for reducing potential losses identified in the risk assessment. It describes how Solana Beach will accomplish the overall purpose, or mission, of the planning process.

The mitigation strategy is made up of three main required components: mitigation goals, mitigation actions, and an action plan for implementation. These provide the framework to identify, prioritize, and implement actions to reduce risk to hazards.

Mitigation goals are general guidelines that explain what the community wants to achieve with the plan. They are usually broad policy-type statements that are long-term, and they represent visions for reducing or avoiding losses from the identified hazards

Mitigation actions are specific projects and activities that help achieve the goals.

The action plan describes how the mitigation actions will be implemented, including how those actions will be prioritized, administered, and incorporated into the community's existing planning mechanisms. In a multi-jurisdictional plan, each jurisdiction must have an action plan specific to that jurisdiction and its vulnerabilities.

Although not required, some communities choose to develop **objectives** to help define or organize mitigation actions. Objectives are broader than specific actions, but are measurable, unlike goals. Objectives connect goals with the actual mitigation actions

6.1. Mitigation Action Evaluation

The Solana Beach Planning Team used FEMA Worksheet 6.1 to help evaluate and prioritize each mitigation action being considered by the planning team. For each action, the potential benefits and/or likelihood of successful implementation were considered for the criteria defined below.

Each of the criteria was ranked with a -1, 0 or 1 using the following scale:

- 1 = Highly effective or feasible
- 0 = Neutral
- -1 = Ineffective or not feasible

Example Evaluation Criteria:

- **Life Safety** – How effective will the action be at protecting lives and preventing injuries?
- **Property Protection** – How significant will the action be at eliminating or reducing damage to structures and infrastructure?
- **Technical** – Is the mitigation action technically feasible? Is it a long-term solution? Eliminate actions that, from a technical standpoint, will not meet the goals.

- **Political** – Is there overall public support for the mitigation action? Is there the political will to support it?
- **Legal** – Does the community have the authority to implement the action?
- **Environmental** – What are the potential environmental impacts of the action? Will it comply with environmental regulations?
- **Social** – Will the proposed action adversely affect one segment of the population? Will the action disrupt established neighborhoods, break up voting districts, or cause the relocation of lower income people?
- **Administrative** – Does the community have the personnel and administrative capabilities to implement the action and maintain it or will outside help be necessary?
- **Local Champion** – Is there a strong advocate for the action or project among local departments and agencies that will support the action’s implementation?
- **Other Community Objectives** – Does the action advance other community objectives, such as capital improvements, economic development, environmental quality, or open space preservation? Does it support the policies of the comprehensive plan?

Mitigation Action/ Total Score	Life Safety	Property Protection	Tech	Political	Legal	Env	Social	Administrative	Local Champion	Other Objectives
Local Plans and Regulations										
Require residents to create defensible space around their homes.										
10	1	1	1	1	1	1	0	1	1	1
Require the use of fire-resistant roof structures (Class A Roof) for all new development and redevelopment projects that are subject to a Development Review Permit.										
8	1	1	1	1	1	1	0	0	0	1
Require drought tolerant and native landscaping for new development and redevelopment projects										
7	0	0	1	1	1	1	0	0	1	1
Require the installation of an automatic fire sprinkler system for all new development and redevelopment projects that are subject to a Development Review Permit.										
6	1	1	1	0	1	0	0	1	0	1
Adopt green infrastructure (Low Impact Development) guidance/strategies for the City.										
7	0	0	1	1	1	1	0	0	1	1
Structure and Infrastructure Projects										
Utilize permeable and pervious pavement options for City projects										
8	0	0	1	1	1	1	0	1	1	1

Mitigation Action/ Total Score	Life Safety	Property Protection	Tech	Political	Legal	Env	Social	Admini strative	Local Champion	Other Objectives
Properly maintain flood channels and creeks to permit proper drainage and reduce flood risks.										
9	1	1	1	1	1	1	0	0	1	1
Increase City tree canopy										
7	0	0	1	1	1	1	0	0	1	1
<u>Natural Systems Protection</u>										
Remove dead and dying municipal trees and replace with more drought tolerant and/or native species.										
8	1	1	1	1	1	1	0	0	0	1
Implement and expand upon the short- and long-term sediment management programs identified in the Solana Beach & Encinitas Coastal Storm Damage Reduction. As a part of this process both continue to pursue federal funding and examine other funding mechanisms for beach replenishment, e.g., special taxes or bonds.										
5	1	1	1	0	1	1	0	-1	0	1
Continue to authorize and utilize the Sand Compatibility and Opportunistic Use Program (SCOUP) to replenish the local beaches with beach quality sand from development projects.										
6	1	1	1	1	1	1	0	-1	0	1
<u>Education and Awareness Programs</u>										
Educate residents about the creation of defensible space around their homes.										
7	1	1	1	1	1	1	1	-1	0	1
Develop fire prevention materials to be placed on the City's website and disseminated at City events.										
5	0	1	1	1	1	0	0	0	0	1
Conduct fire prevention presentations at community groups such as Homeowner Association (HOA) meetings and at City Council meetings.										
4	0	0	1	1	1	0	0	0	0	1

TABLE 9: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 6.1 DATA.

6.2. Mitigation Action Implementation

The Planning Team has developed the four overarching goals to reduce vulnerability to threats and hazards form the core of the plan and are a key outcome of the planning process. The goals include a list of objectives and actions for those goals. Each action has also been assigned to a City Department who will have the responsibility to implement the action. The timeline for all the actions will extend five years from 2023 until the next Hazard Mitigation Plan update in 2028.

The City does not use this Hazard Mitigation Plan to create prospective budgets for the actions identified here. Instead, the City Council develops a Work Plan annually and all prioritized City actions or projects for that year are considered for inclusion in the current fiscal budget at which time scope and costs are more carefully considered. For more information on potential funding sources and grants for mitigation actions, please see the County of San Diego Multi-jurisdictional Hazard Mitigation Base Plan, Section 6.2.

❖ Goal 1: Mitigate the threat of wildfires.

- **Objective 1:** Increase fire resistance through landscaping on public and private property.
 - **Action:** Require and educate residents about the creation of defensible space around their homes. **Department: Community Development and Fire Safety**
 - **Action:** Remove dead and dying municipal trees and replace with more drought tolerant and/or native species. **Department: Engineering and Public Works**
 - **Potential Funding Source(s):** General Fund
 - **Timeline:** January 2023 – January 2028
- **Objective 2:** Increase the use of fire-resistant building materials in private development.
 - **Action:** Require the use of fire-resistant roof structures (Class A Roof) for all new development and redevelopment projects that are subject to a Development Review Permit. **Department: Community Development**
 - **Action:** Require the installation of an automatic fire sprinkler system for all new development and redevelopment projects that are subject to a Development Review Permit. **Department: Community Development**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028
- **Objective 3:** Educate the public on fire prevention and preparedness including 1) mitigation strategies to reduce loss of life, property damage, and impacts to natural resources, 2) evacuations and early warning systems, 3) large animal evacuations, 4) fuel/vegetation management; 5) hardening of structures and 6) ignition source reductions.
 - **Action:** Develop educational materials to be placed on the City’s website and disseminated at City events. **Department: Fire Safety**

- **Action:** Conduct educational presentations at community groups such as Homeowner Association (HOA) meetings and at City Council meetings. **Department: Fire Safety**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028
- ❖ **Goal 2: Increase the use of green infrastructure practices to mitigate erosion/landslide, rising or high-water events, extreme heat effects, drought, and wildfire risk.**
- **Objective 1:** Implement green infrastructure additions as part of City projects.
 - **Action:** Increase City tree canopy and require drought tolerant and native landscaping for new development and redevelopment projects. **Department: Engineering & Public Works, Community Development.**
 - **Action:** Utilize permeable and pervious pavement options. **Department: Engineering**
 - **Action:** Adopt green infrastructure (Low Impact Development) guidance/strategies for the City. **Department: Engineering and Community Development**
 - **Action:** Properly maintain flood channels and creeks to permit proper drainage and reduce flood risks during rising or high-water events. **Department: Engineering and Public Works**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028
 - **Objective 2:** Protect and restore native habitat and ecosystem functioning and encourage the use of native landscaping.
 - **Action:** Plant pollinator vegetation on public property. **Department: Engineering & Public Works**
 - **Action:** Partner with local community groups to purchase pollinator plants to distribute to the community to encourage the use on private property. **Department: Engineering & Public Works**
 - **Action:** Require the planting of only native, drought tolerant landscaping at all City projects and facilities. **Department: Community Development**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028

❖ **Goal 3: Mitigate rising or high-water events through beach replenishment and restoration.**

- **Objective 1:** Implement and expand upon the short- and long-term sediment management programs identified in the Solana Beach & Encinitas Coastal Storm Damage Reduction.
 - **Action:** As a part of this process both continue to pursue federal funding and examine other funding mechanisms for beach replenishment, e.g., special taxes or bonds. **Department: Community Development**
 - **Action:** Continue to authorize and utilize the Sand Compatibility and Opportunistic Use Program (SCOUP) to replenish the local beaches with beach quality sand from development projects. **Department: Community Development**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028

❖ **Goal 4: Mitigate the threat of earthquakes.**

- **Objective 1:** Continue to develop a comprehensive approach to reducing the possibility of damage and losses due to earthquake.
 - **Action:** Adopt, enforce, and update building code provisions to reduce earthquake damage risk. **Department: Community Development and Fire Safety**
 - **Action:** Incorporate structural and non-structural seismic strengthening actions into ongoing building plans and activities in the capital improvement plan to ensure that facilities remain operation and prepared in the event of earthquake. **Department: Community Development, Engineering and Fire Safety**
 - **Action:** Monitor existing protective measures to assure continued improvement and effectiveness in addressing the effects of earthquakes on local land mass and infrastructure. **Department: Community Development, Engineering and Fire Safety**
 - **Potential Funding Source(s):** General Fund
 - **Timeline:** January 2023 – January 2028
- **Objective 2:** Protect existing assets with the highest relative vulnerability to the effects of earthquakes.
 - **Action:** Maintain inventory of public and commercial buildings that may be particularly vulnerable to earthquake damage, including pre-1940 homes and homes with cripple wall foundations. **Department: Community Development**
 - **Action:** Explore options for conducting seismic retrofitting for critical public facilities most at risk to earthquakes. **Department: Engineering and Public Works**

- **Action:** Wherever feasible, land uses and buildings that are determined to be unsafe from earthquake shall be mitigated, discontinued, removed, and/or relocated. **Department: Engineering and Community Development**
- **Potential Funding Source(s):** General Fund and Grants
- **Timeline:** January 2023 – January 2028
- **Objective 3:** Educate employees and the public on earthquakes and preparedness including 1) mitigation strategies to reduce loss of life, property damage, and impacts to natural resources, 2) evacuations, and 3) hardening of structures.
 - **Action:** Participate in yearly “Great Shakeout” drills to test employees preparedness. **Department: Fire Safety**
 - **Action:** Develop educational materials to be placed on the City’s website and disseminated at City events. **Department: Fire Safety**
 - **Action:** Conduct educational presentations at community groups such as Homeowner Association (HOA) meetings and at City Council meetings. **Department: Fire Safety**
 - **Potential Funding Source(s):** General Fund and Grants
 - **Timeline:** January 2023 – January 2028

7. SECTION SEVEN: KEEP THE PLAN CURRENT

Hazard Mitigation Plan maintenance is the process the planning team establishes to track the plan's implementation progress and to inform the plan update. The plan must include a description of the method and schedule for monitoring, evaluating, and updating it within a 5-year cycle. These procedures help to:

- Ensure that the mitigation strategy is implemented according to the plan.
- Provide the foundation for an ongoing mitigation program in your community.
- Standardize long-term monitoring of hazard-related activities.
- Integrate mitigation principles into community officials' daily job responsibilities and department roles.
- Maintain momentum through continued engagement and accountability in the plan's progress.

Hazard Mitigation Plan updates provide the opportunity to consider how well the procedures established in the previously approved plan worked and revise them as needed. This annex is part of the most recent *San Diego County Multi-Jurisdictional Hazard Mitigation Plan* update. The plan was last updated in 2018. See the *San Diego County Multi-Jurisdictional Hazard Mitigation Plan* for more information.

7.1. Mitigation Action Progress

Plan monitoring means tracking the implementation of the plan over time. The City participated in the development of the San Diego County Multi-Jurisdictional Hazard Plan in 2018. However, the City has other Plans and mechanisms it draws upon to monitor progress on various hazard mitigation efforts including the General Plan; the Climate Action Plan including a Climate Adaptation Chapter; and the City's Annual Work Plan. The City drew upon these in developing the 2018 Plan and active monitoring and implementation of those plans occurs on a regular basis through processes outside the 5-year Hazard Mitigation Planning cycle. The 2022 Planning Team reviewed the actions listed in 2018.

Below are progress reports for the ten priority mitigation actions listed in the 2018 Plan:

- 1. Action:** Develop a comprehensive approach to reducing the possibility of damage and losses due to geological hazards. Continue to explore strategies and opportunities for future sand replenishment. Adopt Local Coastal Program (LCP) Land Use Plan (LUP).

Progress Report Period: January 2018 to January 2022

Responsible Department: Community Development

Status: Completed and On-going

Explanation: This action remains on-going and was incorporated into the latest HMP.

Summary: During the reporting period, the City incorporated sand replenishment efforts into new development projects in the City. These actions allowed development sites to transport sand to the beach during the excavation process. This action continues to be a priority for the City.

This action is still considered relevant, and revision/ update is ongoing. The mention of this action item within the updated MJHMP has been included in the Goals of the current HMP. This project is planned to continue and be re-evaluated each year.

2. **Action:** Protect existing assets with the highest relative vulnerability to the effects of geological hazards. In addition to the adoption of the LCP LUP, continue efforts to develop other coastal bluff policies to address bluff protection measures. Monitor existing protective measures taken to assure their continued effectiveness.

Progress Report Period: January 2018 to January 2022

Responsible Department: Community Development

Status: Completed and On-going

Explanation: Action has been completed and is also an on-going effort/action.

Summary: Coastal bluffs continue to be monitored on a daily basis. Additionally, the City installed cameras to continue to monitor the bluffs and geological hazards. Coastal bluff policies are reviewed annually and continue to be adapted.

The LCP LUP has been worked on but has not been certified. Due to COVID-19 priorities for the City had to adjust. However, this action is still considered relevant, and revision/ update is ongoing. The mention of this action item within the updated MJHMP has been included in the Goals of the current HMP. This project is planned to continue and be re-evaluated each year.

3. **Action:** Coordinate with and support existing efforts to mitigate wildfire hazards (e.g., County or San Diego and State of California). Develop mitigation measures to enhance protection of homes along San Elijo Reserve. Work in conjunction and cooperation with San Elijo Lagoon Conservancy to achieve mitigation efforts. Coordinate with other agencies to ensure consistency among standards.

Progress Report Period: January 2018 to January 2022

Responsible Department: Fire Department

Status: Completed and On-going

Explanation: Action has been completed and is also an on-going effort/action.

Summary: The City of Solana Beach Fire Department completed annual fire inspections and brush clearing to support mitigating efforts for wildfire hazards.

Due to COVID-19, priorities and employee safety had to adjust for the City. The City had to adapt its annual fire inspection process, but continued its efforts. This action is still considered relevant, and revision/ update is ongoing. The mention of this action item within the updated MJHMP has been included in the Goals of the current HMP. This project is planned to continue and be re-evaluated each year.

- 4. Action:** Upgrade to Next Generation Regional Communications System (RCS). The RCS was placed in service in 1998 and is approaching the end of its useful life, after which the County will no longer be able to support and maintain the system. The Next Generation RCS will provide improved communication capabilities.

Progress Report Period: January 2018 to January 2022

Responsible Department: City Manager's Office

Status: Completed

Explanation: This project was completed during the last HMP period.

- 5. Action:** Develop a comprehensive approach to reducing the possibility of damage and losses due to other manmade hazards. Coordinate with other agencies on training and planning for terrorist-related activities. Maintain communication links with regards to threat assessments and dissemination of information.

Progress Report Period: January 2018 to January 2022

Responsible Department: Fire Department

Status: Completed and On-going

Explanation: Action has been completed and is also an on-going effort/action.

Summary: The City of Solana Beach engaged with the Sherriff's department for a threat assessment of our City facilities. The City worked the with Sherriff's department for training of employees regarding potential terrorist related activities.

Due to importance of this action the City continues to maintain communication links with regards to threat assessments and dissemination of information.

- 6. Action:** Address identified data limitations regarding the relative vulnerability of assets from floods. Use available information to share and train with inundation maps with all City departments and personnel. Coordinate with the Cities of Del Mar and Encinitas for joint training opportunities between staffs.

Progress Report Period: January 2018 to January 2022

Responsible Department: Engineering and Public Works

Status: Completed and On-going

Explanation: This action was completed and is also an on-going effort/action.

Summary: During the last reporting period, the City of Solana Beach updated its FEMA Flood Map plans to address the identified data limitations regarding the relative vulnerability of assets from floods. These flood maps were further incorporated into the created Climate Action Plan after an assessment of the flood vulnerability mitigation.

Additionally, efforts were made to work with Cities of Del Mar and Encinitas when assessing the flood vulnerabilities. The City of Solana Beach continues to assess the relative vulnerability of assets from floods.

- 7. Action:** Protect existing assets with the highest relative vulnerability to the effects of other manmade hazards. Evaluate access levels to public facilities and restrict access where necessary. Evaluate infrastructure and facilities for additional security measures as required

Progress Report Period: January 2018 to January 2022

Responsible Department: City Manager

Status: Completed and On-going

Explanation: This action was completed and is also an on-going effort/action

Summary: The Cit of Solana Beach continues to assess existing assets with the highest relative vulnerability to the effects of other manmade hazards. During COVID-19 pandemic this priority was incorporated into the additional measures the City took to protect employees and the public.

This action is still considered relevant, and revision/ update is ongoing. This project is planned to continue and be evaluated each year.

- 8. Action:** Monitor and publicize the effectiveness of mitigation actions implemented locally. Utilize City newsletter, press releases, and public meetings. Train and review with staff implemented programs as part of regular training.

Progress Report Period: January 2018 to January 2022

Responsible Department: City manager

Status: Completed and On-going

Explanation: This action was completed and is also an on-going effort/action

Summary: The City of Solana Beach continues to monitor and publicize mitigation actions and efforts implemented. The City utilizes e-newsletters, press releases and public meeting to disseminate information to the community.

This action is still considered relevant, and revision/ update is ongoing. This project is planned to continue and be evaluated each year.

- 9. Action:** Discourage activities that exacerbate hazardous conditions. Make hazard mitigation part of the planning and approval process. Develop a checklist and inspection follow up in the flood plain, wildland urban interface, and coastal bluff.

Progress Report Period: January 2018 to January 2022

Responsible Department: Community Development & Code Enforcement

Status: Completed and On-going

Explanation: This action was completed and is also an on-going effort/action

Summary: During the reporting period, the City integrated these efforts when updating building and fire codes. The approval process for new development takes into consideration hazard mitigation during the planning. Further, inspections are preformed by City staff to monitor the flood plain, wildland urban interface and coastal bluff. The City of Solana Beach has additionally restricted building in the wildland urban interface.

This action is still considered relevant, and revision/ update is ongoing. The mention of this action item within the updated MJHMP has been included in the Goals of the current HMP. This project is planned to continue and be re-evaluated each year.

- 10. Action:** Work with the Climate Action Commission to implement policies and programs that promote hazard mitigation measures relevant to the city's most vulnerable assets.

Progress Report Period: January 2018 to January 2022

Responsible Department: Fire Department

Status: Completed and On-going

Explanation: This action was completed and is also an on-going effort/action

Summary: During the reporting period, the City of Solana Beach's Climate Action Commission implemented policies and programs to promote hazard mitigation measures relevant to the city's most vulnerable assets.

This action is still considered relevant, and revision/ update is ongoing. This project is planned to continue and be re-evaluated each year.

To ensure improved Hazard Mitigation Plan action monitoring moving forward, the 2022 Planning has streamlined the Goals, Objectives, and Actions into items that are more easily measured and whose progress can be tracked more concretely throughout the current 5-year planning cycle.

7.2. Plan Update Evaluation

Plan Section	Considerations	Explanation
Planning Process	Should new jurisdictions and/or districts be invited to participate in future plan updates?	Yes, future plan updates should include any jurisdictions and /or districts that have or support critical infrastructure.
	Have any internal or external agencies been invaluable to the mitigation strategy?	Yes, the City Departments mentioned in this plan and the County Planning Team have been invaluable to the mitigation strategy developed.
	Can any procedures (e.g., meeting announcements, plan updates) be done differently or more efficiently?	Yes. In preparation for the 2028 update, streamlined worksheets outlining exactly what the state is looking for would make the process more efficient. Examples provided would also help ensure that agencies provide adequate information in the future.
	Has the Planning Team undertaken any public outreach activities?	No formal outreach with the community was done specific to the HMP. However, because many of these goals are incorporated into other plans the City works on, community outreach was done to gain community buy-in.
	How can public participation be improved?	The public participates in the City's other planning document processes. COVID-19 did impact public participation.
	Have there been any changes in public support and/or decision-maker priorities related to hazard mitigation?	No.
Capability Assessment	Have jurisdictions adopted new policies, plans, regulations, or reports that could be incorporated into this plan?	Yes, Climate Change Adaptation Chapter of the City's Climate Action Plan.
	Are there different or additional administrative, human, technical, and financial resources available for mitigation planning?	Not at this time, however the City is applying for grant funding to support its Sand Compatibility Opportunistic Use Program (SCOUP). Additionally, the City is working with lobbyists to get Federal funding for several mitigation action efforts.
	Are there different or new education and outreach programs and resources available for mitigation activities?	Not at this time.
	Has NFIP participation changed in the participating jurisdictions?	No.
	Has a natural and/or technical or human-caused disaster occurred?	Yes, the City has experienced several minor coastal bluff failures along the Solana Beach Bluffs since 2018 that impacted private property. .

Risk Assessment	Should the list of hazards addressed in the plan be modified?	No, the hazards identified in this plan are up to date and prioritized.
	Are there new data sources and/or additional maps and studies available? If so, what are they and what have they revealed? Should the information be incorporated into future plan updates?	No.
	Do any new critical facilities or infrastructure need to be added to the asset lists?	No.
	Have any changes in development trends occurred that could create additional risks?	No.
	Are there repetitive losses and/or severe repetitive losses to document?	Yes. Solana Beach has 7 repetitive losses and 3 severe repetitive losses as identified in Table 14 on page 89 of the County's Base Plan.

TABLE 10: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 7.2 DATA.

Plan Section	Considerations	Explanation
Mitigation Strategy	Is the mitigation strategy being implemented as anticipated? Were the cost and timeline estimates accurate?	Yes, however the City does not use the Hazard Mitigation Plan for City planning and budgeting purposes. Instead, the City uses its General Plan and annual Work Plan to implement strategies and estimate the costs. The City Council then uses these plans for the adoption of our two-year budget cycle.
	Should new mitigation actions be added to the Action Plan? Should existing mitigation actions be revised or eliminated from the plan?	No.
	Are there new obstacles that were not anticipated in the plan that will need to be considered in the next plan update?	No.
	Are there new funding sources to consider?	Yes, Federal infrastructure funding and potential State grant funding for Climate Action Planning and adaptation.
	Have elements of the plan been incorporated into other planning mechanisms?	No. We utilize our other planning mechanisms to complete this plan.
Plan Maintenance Procedures	Was the plan monitored and evaluated as anticipated?	Yes.
	What are needed improvements to the procedures?	None.

TABLE 11: FEMA LOCAL MITIGATION PLANNING HANDBOOK WORKSHEET 7.2 DATA CONTINUED.

7.3 Plan Maintenance, Monitoring, Evaluation and Updates

Hazard Mitigation Plan maintenance is the process the Planning Team establishes to track the plan's implementation progress and to inform the plan update. The plan must include a description of the method and schedule for monitoring, evaluating, and updating it within a 5-year cycle. These procedures help to:

- Ensure that the mitigation strategy is implemented according to the plan.
- Provide the foundation for an ongoing mitigation program in your community.
- Standardize long-term monitoring of hazard-related activities.
- Integrate mitigation principles into community officials' daily job responsibilities and department roles.
- Maintain momentum through continued engagement and accountability in the plan's progress.

7.3.1 Plan Monitoring

Plan monitoring means tracking the implementation of the plan over time. The plan must identify how, when, and by whom the plan will be monitored.

The planning team participants will be responsible for monitoring the plan annually for updates to goals, objectives, and action items. The City Management department will be responsible for monitoring the plan and incorporating necessary updates on an annual basis.

At the end of the five-year cycle for hazard mitigation plans, planning participants will report on the status of mitigation projects, the success of various implementation processes, difficulties encountered, success of coordination efforts, and strategies that should be revised.

7.3.2 Plan Evaluation

The Plan is evaluated by the planning team annually to determine the effectiveness of programs, and to reflect changes in land development, policies, or programs that may affect mitigation priorities. This includes re-evaluation by project leads based upon the initial STAPLEE criteria used to draft goals, objectives, and action items. Planning team members also review the goals and action items to determine their relevance to changing situations in the city, as well as changes in State or Federal regulations and policy.

Planning team members also review the risk assessment portion of the plan to determine if this information should be updated or modified, given any new available data. The departments responsible for the various action items will report on the status of their projects, the success of various implementation processes, difficulties encountered, success of coordination efforts, and which strategies should be revised.

Any updates or changes necessary will be forwarded to the City Management department for inclusion in further updates to the Plan.

7.3.3 Plan Updates

In the past five years, there has been progress made with the successful completion several action items developed in 2018. Section 7.1 details the status of the action items from the 2018 plan.

This review process has been effective in identifying gaps and shortfalls in funding, support, and other resources. It has also allowed for the re-prioritization of specific actions as circumstances change. It allows the hazard mitigation plan to be a living document. This review process has enabled the planning team to improve the document by eliminating actions that have been completed, adding new actions that have been identified since the plan's adoption and reprioritizing other actions to reflect new priorities and/or limitations.

The planning team will evaluate to progress of the goals, objectives, and actions on a annual basis, update them as necessary, and participate in a complete plan review and update process again in five years.

7.3.4 Implementing Through Existing Programs and Other Planning Mechanisms

Solana Beach has implemented, as indicated in sections above, the identified priority actions from the 2018 Multi-Jurisdictional Hazard Mitigation Plan (MJHMP).

Planning participants used (and will continue to use) this plan as a baseline of information related to priority hazards impacting their jurisdictions, to identify vulnerable communities and critical assets, and plan for their protection. The planning participants have also been able to refer to existing institutions, integrations, plans, policies, and ordinances defined for each jurisdiction, which was outlined in Section 2 of this plan (e.g., General Plan).

After regional adoption of this MJHMP update, the planning team will work to incorporate this plan into the General Plans and/or other comprehensive plans and procedures as those plans require review and revisions. The hazard mitigation plan can influence other City plans to focus on hazard mitigation activities and/or policies that support hazard mitigation. City plans that can be influenced by the hazard mitigation plan include but are not limited to:

EXISTING PLANS/EFFORTS	INTEGRATION WITH HAZARD MITIGATION
GENERAL PLAN	<p>The City of Solana Beach General Plan includes a Safety Element. Upon each revision of the city’s General Plan, the following sections are reviewed to ensure they account for existing hazards and new hazards within the community:</p> <ul style="list-style-type: none"> • Land Use and Transportation Element • Public Facilities and Services Element • Environmental Element • Growth Element. <p>Land use, land development, and transportation corridors must not exacerbate existing hazards or impinge on hazard areas. As the City continues to grow, the general plan guides the City’s growth and considers hazard impact on the community.</p> <p>Since the 2018 MJHMP the General Plan, specifically the Safety Element was updated to incorporate progress of local hazard mitigation efforts. Directors and plan leads met as needed to update the language for council approval.</p> <p>The MJHMP update reflects changes to the hazards facing Solana Beach and the programs that have been put in place to help minimize or eliminate these hazards. A key function of the Safety Element is the integration of the MJHMP updates to ensure compliance with California Government Code.</p>
EMERGENCY OPERATIONS PLAN	<p>The Emergency Operations Plan guides the city’s coordination of resources during emergency response. This plan is reviewed along with the Hazard Mitigation Plan to ensure the EOP is preparing for and addressing responses to all identified hazards.</p> <p>Hazard information from the MJHMP update was incorporated into the 2022 City of Solana Beach Emergency Operations Plan update. All high significance hazards identified in the MJHMP update were addressed in the 2022 EOP update.</p>
CLIMATE ACTION PLAN	<p>The City of Solana Beach’s Climate Action Plan adopted in 2017 and updated in 2020 incorporates and references data from the MJHMP as it pertains to climate change effects and vulnerability assessment.</p> <p>The Climate Action Plan has been under revision since 2022, and takes into consideration hazard information from this MJHMP.</p>
WORK PLAN (CAPITAL IMPROVEMENT PLANS) AND BUDGETS	<p>The City’s Work Plan which incorporates Capital Improvement Plans/ projects identify hazards referenced in the MJHMP where appropriate. The Work Plan is reviewed and updated annually, taking into consideration the most pressing hazards for the upcoming year. Further the budget is reviewed every 2 years, which also takes into consideration the Work Plan and need to fund projects to protect against the most pressing vulnerabilities/ hazards from the MJHMP.</p>

<p>REGIONAL PLANNING EFFORTS</p>	<p>The city takes part in several San Diego County Operational Area planning efforts. The city should continue bringing the content and goals of the Hazard Mitigation Plan into future regional planning efforts, to include the OA Emergency Operations Plan and the next iteration of the Regional Hazard Mitigation Plan.</p>
<p>PUBLIC INFORMATION AND OUTREACHING PLANS</p>	<p>The jurisdictions’ ongoing public education and outreach efforts should reflect the hazards and vulnerabilities described in this Plan. In addition to preparing for disasters, public education should include ways in which the public can reduce their vulnerability to natural and human caused hazards. Furthermore, mitigation activities and success stories should be communicated to the public to show the benefits of effective mitigation planning.</p>

HMPG members involved in these other planning mechanisms will be responsible for integrating the findings and recommendations of this MJHMP with these other plans, programs, etc. as appropriate. As described in this section, incorporation into existing planning mechanisms will be done through routine action of:

- Monitoring other planning/program agendas.
- Attending other planning/program meetings.
- Participating in other planning processes.
- Monitoring community budget meetings for other community program opportunities.

7.3.5 Response Plans Integration Since 2018

During the performance period since adoption of the previous 2018 Hazard Mitigation Plan, the City of Solana Beach made progress on integrating hazard mitigation goals, objectives and actions into other planning initiatives. Several other operational or functional response plans are influenced by information contained in this plan. The following plans, currently integrate components of the 2018 hazard mitigation strategy:

- **General Plan – Safety Element**; the City of Solana Beach has a Safety Element in its General Plan that includes a discussion of earthquake, landslides, flooding, hazardous materials, fire, and aircraft hazards. The Hazard Mitigation Plan Annex was adopted as an implementation appendix to the Safety Element.
- **Certified Local Coastal Program 2019**; the Certified Local Coastal Program incorporated updated information on the hazards effecting the shorelines/bluff in Solana Beach, including erosion/bluff failures, 100-year flood maps, and Fire Hazard Severity Zone maps, in Chapter 4 – Hazards & Shorelines/Bluff Development.
- **Emergency Operation Plan**, including a review of the vulnerabilities and estimated losses detailed in the hazard profiles helped identify safety viability in different emergency scenarios.

These plans in turn informed this plan by helping the Planning Group evaluate the impacts of multiple or cascading hazards, so that evacuees are not relocated into an area that puts them at risk from other hazards.

7.3.6 Continued Public Involvement

The 2018 plan was posted on the hazard Mitigation page of the San Diego County Office of Emergency Services (County OES). The other various plans that integrate the HMP are posted on the City of Solana Beach's website and the public has always been encouraged to comment on the various plan updates mentioned in the above sections. Once approved, this revised plan will be posted on the Hazard Mitigation webpage of the County OES and City of Solana Beach website.

The participating jurisdictions and special districts continue to be dedicated to involving the public directly in the review process and updates of the plan. A maintenance committee made up of a representative from County OES and a representative from each participating jurisdiction is responsible for monitoring, evaluating, and updating the plan described above.

County OES will continue to be responsible for publicizing any changes to the plan and maintaining public involvement.



FEMA

May 9, 2023

Nicholas Zubel
Senior Emergency Services Coordinator
County of San Diego Office of Emergency Services
5580 Overland Ave, Ste. 100
San Diego, CA 92123

Dear Nicholas Zubel:

The *San Diego County Multi-Jurisdictional Hazard Mitigation Plan 2023* has been amended to include the following jurisdictions as official planning participants:

- City of Carlsbad
- City of Chula Vista
- City of Oceanside
- City of San Marcos
- City of Solana Beach
- City of Vista
- Alpine Fire Protection District
- Rainbow Municipal Water District

These new jurisdictions must submit an adoption resolution to FEMA in order to be considered fully approved.

FEMA's approval of the *San Diego County Multi-Jurisdictional Hazard Mitigation Plan* remains for a period of five years from the original approval date of **March 31, 2023** for all approved participants. An updated list of the status of current participating jurisdictions is enclosed with this letter.

If you have any questions regarding the planning or review processes, please contact the FEMA Region 9 Hazard Mitigation Planning Team at fema-r9-mitigation-planning@fema.dhs.gov.

Sincerely,

for **PHILLIP A
WANG**

Alison Kearns
Planning and Implementation Branch Chief
Mitigation Division
FEMA Region 9

 Digitally signed by PHILLIP A
WANG
Date: 2023.05.09 09:59:46
-07'00'

Enclosures (2)

San Diego County Amended Plan Review Tool, dated May 9, 2023
Status of Participating Jurisdictions, dated May 9, 2023

cc: Ron Miller, Mitigation Quality Assurance Division Chief, California Governor's Office of Emergency Services
Robyn Fennig, Planning Division Chief, California Governor's Office of Emergency Services
Victoria LaMar-Haas, Hazard Mitigation Planning Chief, California Governor's Office of Emergency Services

Status of Participating Jurisdictions as of May 9, 2023

Jurisdictions – Adopted and Approved

#	Jurisdiction	Date of Adoption
1	San Diego County	February 7, 2023
2	City of National City	March 21, 2023
3	San Diego County Water Authority (SDCWA)	March 23, 2023
4	San Diego Unified Port District	April 11, 2023

Jurisdictions – Approvable Pending Adoption

#	Jurisdiction
1	City of Carlsbad
2	City of Chula Vista
3	City of Coronado
4	City of Del Mar
5	City of El Cajon
6	City of Encinitas
7	City of Escondido
8	City of Imperial Beach
9	City of La Mesa
10	City of Lemon Grove
11	City of Oceanside
12	City of Poway
13	City of San Diego
14	City of San Marcos
15	City of Santee
16	City of Solana Beach
17	City of Vista
18	Alpine Fire Protection District
19	Otay Water District
20	Padre Dam Municipal Water District
21	Rainbow Municipal Water District
22	Sweetwater Authority
23	Vista Irrigation District



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for Development Review Permit and Structure Development Permit for a Replacement Two-Story Single-Family Residence with a Basement and Attached Two-Car Garage and Associated Site Improvements at 228 North Helix Avenue (Case #: DRP22-013, SDP22-011; Applicant: Ryan Bowers; APN: 263-321-21-00; Resolution No. 2023-064)**

BACKGROUND:

The Applicant, Ryan Bowers, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish a single-story, single-family residence and construct a replacement two-story, single-family residence with a basement and an attached garage and perform associated site improvements. The 4,491 square-foot lot is located at 228 North Helix Avenue and is within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The Applicant proposes to construct a 2,136 square-foot residence with a 1,593 square-foot fully subterranean basement and an attached 454 square-foot garage. The proposed development includes grading in the amount of 1,060 cubic yards (CY) aggregate. The tallest point of the proposed residence would be 25 feet above the proposed grade and the highest point of the structure would not exceed 86.11 feet above Mean Sea Level (MSL). The project requires a DRP for three reasons: 1) a structure that exceeds 60 percent of the maximum allowable floor area; 2) a second floor that exceeds 35 percent of the first-floor area; and 3) aggregate grading in excess of 100 CY. The project requires an SDP because the proposed development exceeds 16 feet in height above existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2023-064 (Attachment 1).

CITY COUNCIL ACTION:

DISCUSSION:

The subject property is located on the east side of North Helix Avenue, adjacent to the intersection of Hill Street and North Helix Avenue. The lot is irregularly shaped with 64 feet of frontage along North Helix Avenue, a southern property line of approximately 79 feet, a northern property line of approximately 80 feet and an eastern property line of 50 feet. The existing topography slopes downward from the street to the east. The elevation at the front property line is at approximately 65 feet above Mean Seal Level (MSL) and the rear property line is approximately 60 MSL, resulting in a change in elevation of approximately 5 feet. With the proposed project, the driveway location would be located at the northwestern portion of the lot. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicants proposed design.

Table 1																	
LOT INFORMATION																	
Property Address: Lot Size (Net): Max. Allowable Floor area: Proposed Floor area: Below Max. Floor area by: Max. Allowable Height: Max. Proposed Height: Highest Point/Ridge:	228 N Helix Ave 4,491 ft ² 2,246 ft ² 2,230 ft ² 16 ft ² 25 ft. 25.00 ft. 86.11 MSL	Zoning Designation: MR (5-7 du/ac) # of Units Allowed: 1 Dwelling Unit, 1 ADU, 1 JADU # of Units Requested: 1 Dwelling Unit Setbacks: <table style="margin-left: 20px;"> <thead> <tr> <th></th> <th>Required</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Front (W)</td> <td>20 ft.*</td> <td>20.00 ft.</td> </tr> <tr> <td>Interior Side (N)</td> <td>5 ft.</td> <td>5.00 ft.</td> </tr> <tr> <td>Interior Side (S)</td> <td>5 ft.</td> <td>5.00 ft.</td> </tr> <tr> <td>Rear (E)</td> <td>15 ft.**</td> <td>22.18 ft.</td> </tr> </tbody> </table> <p>*Per SBMC 17.20.030D where any lot has a depth of less than 100 feet or fronts on a public right-of-way 55 feet or greater in width, the minimum required front yard shall be reduced to 20 feet. **Per SBMC 17.20.030D where any lot has a depth of less than 90 feet the minimum required rear yard shall be 15 feet.</p>		Required	Proposed	Front (W)	20 ft.*	20.00 ft.	Interior Side (N)	5 ft.	5.00 ft.	Interior Side (S)	5 ft.	5.00 ft.	Rear (E)	15 ft.**	22.18 ft.
	Required	Proposed															
Front (W)	20 ft.*	20.00 ft.															
Interior Side (N)	5 ft.	5.00 ft.															
Interior Side (S)	5 ft.	5.00 ft.															
Rear (E)	15 ft.**	22.18 ft.															
PROPOSED PROJECT INFORMATION																	
Floor area Breakdown: First Floor Second Floor Fully Subterranean Basement Covered and Enclosed Exterior Area Garage Subtotal Basement Exemption Off-Street Parking Exemption Total Floor area	1,111 ft ² 1,025 ft ² 1,593 ft ² 40 ft ² 454 ft ² 4,223 ft ² - 1,593 ft ² - 400 ft ² 2,230 ft²	Requested Permits: DRP: A DRP is required for a structure that exceeds 60% of the maximum allowable floor area, for a second story that exceeds 35% of the first-floor area, and aggregate for grading in excess of 100 CY SDP: A SDP is required for a new structure that exceeds 16 feet in height from the existing grade.															

Proposed Grading: 1,060 CY of Aggregate Grading (667 CY Cut; 245 CY of Fill; 8 CY Excavation for Footings; 140 CY Removal & Recompaction)	
Proposed Parking: 2-Car Garage Proposed Fences and Walls: Yes Proposed Accessory Dwelling Unit: No Proposed Accessory Structure: No	Existing Development: Single-Family Residence and shed

The following is a discussion of the findings for a DRP and SDP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2023-064.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for a structure that exceeds 60% of the maximum allowable floor area. The total floor area proposed is 2,230 square feet and 2,246 is the maximum. Therefore, the proposal is 99% of the allowable floor area.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2023-064 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP.

In addition to meeting zoning requirements, the project must also be found in compliance with the development review criteria. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the MR Zone. Properties to the north, south, east and west are also located within the MR Zone. The surrounding properties are developed with one and two-story, single-family residences, and multi-family buildings.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven (5-7) dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this report. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

Building and Structure Placement:

The site is currently developed with a one-story, single-family residence and a detached shed. The Applicant proposes to demolish the existing structures and build a new two-story residence with a basement and attached garage. The proposed residence, as designed, would be located within the buildable area.

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. Per SBMC 17.20.030D a lot less than 100 feet in depth has a reduced front yard setback of 20 feet, and when the lot depth is less than 90 feet, the rear yard setback is reduced to 15 feet. Therefore, the required setbacks for the subject property are a 20-foot front yard setback, 15-foot rear yard setback and 5-foot side yard setbacks. The additions are proposed to be located within the buildable area. The proposed residence is set back 20 feet from the front property line, 22.17 feet from the rear property line, and 5 feet from both side property lines.

The 1,593 square-foot basement level will consist of a family room, two bedrooms, two bathrooms, powder room, laundry/craft room, and storage/mechanical room. The 1,111 square-foot first floor consists of a kitchen, pantry, dining room, living room, and the 1,025 square-foot second floor includes a primary suite, office/nursery and deck. The proposed garage is located towards the northwest side of the property and would establish vehicular and pedestrian access from North Helix Avenue.

According to the SROZ, the proposed subterranean basement is considered “Basement-No Exposed Sides” in which the basement living area can be exempt from the calculation of floor area if there are no exposed sides. A building side is considered exposed when the finished floor of the living area directly above the basement (at any point) is more than three feet above the adjacent natural or finished grade, whichever is lower. Currently, the plans show a basement with no exposure; therefore, the proposed basement living area of 1,593 square feet would be exempt from the calculation of floor area.

The SBMC parking regulations require two (2) off-street parking spaces, 9’ x 19’ clear, per single-family residence. The SBMC sections 17.48.040 and 17.20.030 indicate that when required parking spaces are provided within a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide two (2) parking spaces in the proposed 454 square-foot garage; therefore, the project is afforded a 400 square-foot exemption.

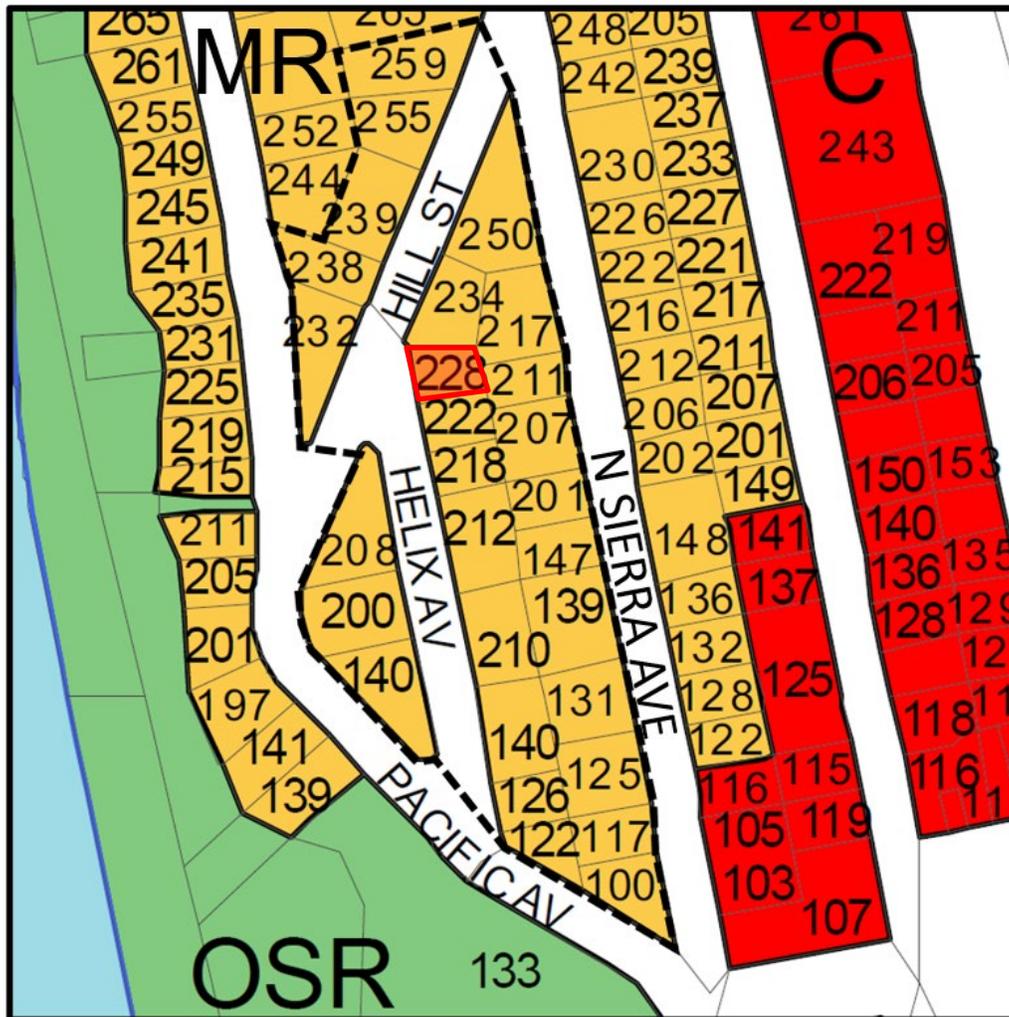
With the basement exemption (1,593 square feet) and the garage exemption (400 square feet), the total proposed floor area would be 2,230 square feet, which is 16 square feet below the maximum allowable floor area for the 4,491 square-foot lot located in the SROZ. The maximum floor area calculation for this project, pursuant to the SROZ regulations, is as follows:

$$\frac{0.50 \times 4,491 \text{ ft}^2}{\text{Total Allowable Floor area:}} = \frac{2,246 \text{ ft}^2}{2,246 \text{ ft}^2}$$

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

Neighborhood Comparison:

Staff compared the proposed project to 27 other properties within the surrounding area. This area includes properties along both sides of North Helix Avenue and Hill Street, and the west side of South Sierra Avenue as shown on the following map:



The properties evaluated in this comparison are located in the MR Zone and the SROZ. The existing homes range in size from 320 square feet to 6,718 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garages, the covered porch, and ceiling height over 15 feet as follows:

Project Gross Building Area:	4,223 ft ²
Delete Basement:	- 1,593 ft ²
Delete Garage:	- 454 ft ²
<hr/> Project Area for Comparison to Assessor's Data:	<hr/> 2,230 ft ²

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (SanGis)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	120 N HELIX AVE	3,322	2,355		1661	MR
2	122 N HELIX AVE	3,444	1,610		1722	MR
3	128-132 N HELIX AVE	6,933	4,665		3163	MR
4	140 N HELIX AVE	3,485	2,349		1743	MR
5	142 N HELIX AVE	3,501	2,306		1751	MR
6	210 N HELIX AVE	3,548	2,306		1774	MR
7	212 N HELIX AVE	3,568	2,349		1784	MR
8	218 N HELIX AVE	3,275	2,352		1638	MR
9	222 N HELIX AVE	3,526	1,342		1763	MR
10	228 N HELIX AVE	4,491	320	2,230	2246	MR
11	234-238 HILL ST	5,331	2,168		2666	MR
12	250 HILL ST	10,213	6,718		3737	MR
13	239 HILL ST	6,972	3,086		3170	MR
14	255 HILL ST	5,956	1,670		2978	MR
15	259 HILL ST	7,412	4,431		3247	MR
16	140 PACIFIC AVE	7,379	2,570		3241	MR
17	200 PACIFIC AVE	7,446	4,646		3253	MR
18	208 PACIFIC AVE	8,009	4,353		3352	MR
19	232 PACIFIC AVE	7,227	2,664		3215	MR
20	238 PACIFIC AVE	5,059	3,046		2530	MR
21	100 S SIERRA AVE	7,441	4,192		3252	MR
22	117 S SIERRA AVE	4,182	2,319		2091	MR
23	121 S SIERRA AVE	6,319	2,146		3056	MR
24	131 S SIERRA AVE	6,328	1,575		3057	MR
25	137-139 S SIERRA AVE	8,450	3,301		3429	MR
26	147 S SIERRA AVE	4,258	3,385		2129	MR
27	201 S SIERRA AVE	4,403	1,288		2202	MR
28	207 S SIERRA AVE	6,347	4,140		3061	MR
29	211 S SIERRA AVE	4,012	832		2006	MR
30	217-221 S SIERRA AVE	6,946	2,231		3166	MR

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light

and air. The proposed project includes a new six-foot tall retaining wall on the north side of the property adjacent to the north property line.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant proposes to establish driveway access to the property from North Helix Avenue on the northwest portion of the lot. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed 454 square-foot garage would provide two parking spaces. Two spaces are required; therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

Grading:

The project includes 667 cubic yards of cut, 245 cubic yards of fill, 8 cubic yards of excavation for footings, and 140 cubic yards of removal and recompaction. The project includes grading in the amount 1,060 cubic yards aggregate.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of a new two-story single-family residence with a fully subterranean basement and an attached two-car garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite and the Story Pole Height Certification was issued by a licensed land surveyor on September 1, 2022, which showed the highest story pole certified at 87.33 MSL and 25 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on December 12, 2022. The City received three (3) applications for View Assessment (Attachments 4-6) from the following property owners: Jill Martin, "Claimant 1" of 222 N. Helix Ave., located immediately south of the subject property; Naomi Clum, "Claimant 2" of 219 N. Sierra Ave., located northeast of the subject property; and Anthony Gatti "Claimant 3" of 218 N. Helix Ave., located south of the subject property.

The project was revised, and additional story poles were erected onsite, to illustrate the changes made to address the view claims. The Story Pole Height Certification was issued by a licensed land surveyor on January 20, 2023, which showed the highest story pole certified at 87.33 MSL and 25 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on March 16, 2023. The City received updated view claims from the three (3) original Claimants (Martin, Clum and Gatti) (Attachments 4-6).

The project was presented to the View Assessment Commission (VAC) on April 18, 2023. Draft minutes from the April 18, 2023, meeting are included in Attachment 7. Tables 3 through 5 below include the disclosures and findings from the April 18, 2023, meeting.

Claimant 1: Jill Martin, 222 N. Helix Ave. (Table 3)

Five out of the six participating VAC members found the primary viewing area to be in the living room and/or kitchen areas, one VAC member found the primary viewing area to be from the primary bedroom, and one VAC member was absent. One out of the six participating VAC members was able to make finding 3.

Table 3								
Jill Martin 222 N Helix Ave		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/14	4/15	4/15	4/15	4/14
	Applicant		4/14	4/14	4/15	4/15	4/15	4/14
Primary Viewing Area			Living Room / Kitchen	Living Room / Kitchen	Living Room / Kitchen	Primary Bedroom	Living Room / Kitchen	Kitchen
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			N	N	N	Y	N	N
#4. No Cumulative View Impairment			N	N	N	Y	N	N
#5. Neighborhood Compatibility			Y	N	N	N	Y	Y

Claimant 2: Naomi Clum, 219 N. Sierra Ave. (Table 4)

Five out of the six participating VAC members found the primary viewing area to be in the living room and/or kitchen areas, one VAC member found the primary viewing area to be from the primary bedroom, and one VAC member was absent. All six of the participating VAC members were able to make finding 3.

Table 4								
Naomi Clum 219 N Sierra		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/17	4/15	4/15	4/15	4/14
	Applicant		4/14	4/17	4/15	4/15	4/15	4/14
Primary Viewing Area			Living Room / Dining Room	Kitchen / Sitting Area	Living Room / Dining Room	Primary Bedroom	Living Room / Dining Room	Kitchen
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			Y	Y	Y	Y	Y	Y

#4. No Cumulative View Impairment		Y	N	Y	Y	N	Y
#5. Neighborhood Compatibility		Y	N	Y	N	Y	Y

Claimant 3: Anthony Gatti, 218 N. Helix Ave. (Table 5)

Five out of the six participating VAC members found the primary viewing area to be in the primary bedroom, one VAC member found the primary viewing area to be from the second-floor deck, and one VAC member was absent. One out of the six participating VAC members was able to make finding 3.

Table 5								
Anthony Gatti 218 N Helix Ave		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/18	4/15	4/15	4/15	4/14
	Applicant		4/14	4/18	4/15	4/15	4/15	4/14
Primary Viewing Area			Primary Bedroom	Primary Bedroom	Primary Bedroom	Primary Bedroom	2 nd Level Deck	Primary Bedroom
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			N	N	N	N	Y	N
#4. No Cumulative View Impairment			N	N	N	Y	N	N
#5. Neighborhood Compatibility			Y	N	N	N	Y	Y

Chairperson Cohen made a motion to recommend denial of the project to City Council, which was seconded by Commissioner Zajac. The motion passed 6/0/1 Ayes: Bishop, Cohen, Moldenhauer, Stribling, Zajac, Najjar. Noes: none. Absent: Coad. The Notice of Recommendation is included in Attachment 8.

After the April 18, 2023, VAC Hearing, the Applicant removed the story poles that represented the original design. The remaining story poles currently on site represent the design that was presented to the VAC on April 18, 2023. This is the design currently presented to Council and is reflected in the project plans (Attachment 2). A Story Pole Height Certification was issued by a licensed land surveyor on May 8, 2023, which

showed the highest story pole certified at 86.11 MSL and 25 feet above the proposed grade.

The City Council should consider the recommendation from VAC, the information provided by the Applicant and Claimants, and the View Assessment Ordinance (SBMC 17.63) including the definition of a “Viewing Area” and the five required findings, which are provided below:

SBMC Section 17.63.020(I): “Viewing area” shall be that area of the structure (excluding bathrooms, hallways, garages or closets) or lot (excluding the building setback areas) where the view assessment committee, or the city council on appeal, determines the best and most important view exists. The finished floor elevation of any viewing area must be at or above existing grade adjacent to the exterior wall of the part of the building nearest to that viewing area. The determination shall be made by balancing the nature of the view to be protected and the importance of the area of the structure or lot from where the view is taken.

SBMC Section 17.63.040(F): Findings. In making a decision on a matter for which view assessment has been requested, the view assessment committee shall be required to make the following findings:

- 1. The applicant for the structure development permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.*
- 2. The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city’s general plan, local coastal program, or city designated viewing areas.*
- 3. The structure is designed and situated in such a manner as to minimize impairment of views.*
- 4. There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.*

5. The proposed structure is compatible with the immediate neighborhood character.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 25 feet above the proposed grade or 86.11 feet above MSL, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary finding to approve the project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations, and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2023-064 for the Council's consideration based upon the information in the report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

Property Frontage and Public Right-of-Way Improvements

The existing right-of-way adjacent to this project is improved with concrete curb, gutter, and sidewalk. A few sidewalk panels are damaged. There is no vehicular driveway to the existing site. The site drainage pattern is generally from west to east.

If approved, this project will be authorized to construct one 17-foot-wide driveway to North Helix Avenue. The Applicant will be required to remove and reconstruct several damaged sidewalk panels and to relocate an existing fire hydrant to accommodate construction of the proposed driveway. The storm water run-off generated due to development will be detained in a detention basin and will be discharged at a reduced rate equal to the pre-existing conditions. The general direction and characteristics of the discharged run-off will be consistent with the pre-existing condition.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on May 10, 2023. As of the date of preparation of this Staff Report, Staff has not received any official correspondence.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2023-064 for the Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Department are incorporated in the Resolution of Approval.

Should the Council determine that the findings can be made to approve the project; the SDP will be approved concurrently with the DRP. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2023-064.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2023-064 conditionally approving a DRP and SDP for a new two-story, single-family residence with a fully subterranean basement and an attached two-car garage and perform associated site improvements at 228 North Helix Avenue, Solana Beach.

CITY MANAGER’S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-064
2. Project Plans
3. Story Pole Height Certification
4. Martin Application for View Assessment
5. Clum Application for View Assessment
6. Gatti Application for View Assessment
7. Draft Minutes from the April 18, 2023, VAC Meeting
8. NOR from April 18, 2023, VAC Meeting
9. Letter to Council from Applicant
10. Supplemental Material from Application

RESOLUTION 2023-064

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT FOR A REPLACEMENT TWO-STORY SINGLE-FAMILY RESIDENCE WITH A BASEMENT AND ATTACHED TWO-CAR GARAGE AND ASSOCIATED SITE IMPROVEMENTS AT 228 NORTH HELIX AVENUE

APPLICANTS: Ryan Bowers
APPLICATION: DRP22-013/SDP22-011

WHEREAS, Ryan Bowers (hereinafter referred to as “Applicant”) has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the View Assessment Committee recommended denial of the project on April 18, 2023, based on applications for View Assessment from 222 North Helix Avenue, 219 North Sierra Avenue, and 218 North Helix Avenue; and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on May 24, 2023, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council determined the primary viewing area(s) to be _____; and

WHEREAS, the City Council of the City of Solana Beach found the project requested in the application exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Public Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to construct a 2,136 square-foot residence with a 1,593 square-foot fully subterranean basement and an attached 454 square-foot garage at 228 North Helix Avenue, is conditionally approved based upon the

following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for a maximum of five to seven (5-7) dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor area (FAR), maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the Medium Residential (MR) Zone. Properties to the north, south, east and west are also located within the MR Zone. The surrounding properties are developed with one and two-story, single-family residences.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven (5-7) dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this report. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The site is currently developed with a one-story, single-family residence and a detached shed. The Applicant proposes to demolish the existing structures and build a new two-story residence with a basement and attached garage. The proposed residence, as designed, would be located within the buildable area.

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. Per SBMC 17.20.030D, a lot less than 100 feet in depth has a reduced front yard setback of 20 feet, and when the lot depth is less than 90 feet, the rear yard setback is reduced to 15 feet. Therefore, the required setbacks for the subject property are a 20-foot front

yard setback, 15-foot rear yard setback and 5-foot side yard setbacks. The additions are proposed to be located within the buildable area. The proposed residence is set back 20 feet from the front property line, 22.17 feet from the rear property line, and 5 feet from both side property lines.

The 1,593 square-foot basement level will consist of a family room, two bedrooms, two bathrooms, powder room, laundry/craft room, and storage/mechanical room. The 1,111 square-foot first floor consists of a kitchen, pantry, dining room, living room, and the 1,025 square-foot second floor includes a primary suite, office/nursery and deck. The proposed garage is located towards the northwest side of the property and would establish vehicular and pedestrian access from North Helix Avenue.

According to the SROZ, the proposed subterranean basement is considered “Basement- No Exposed Sides” in which the basement living area can be exempt from the calculation of floor area if there are no exposed sides. A building side is considered exposed when the finished floor of the living area directly above the basement (at any point) is more than three feet above the adjacent natural or finished grade, whichever is lower. Currently, the plans show a basement with no exposure; therefore, the proposed basement living area of 1,593 square feet would be exempt from the calculation of floor area.

The SBMC parking regulations require two (2) off-street parking spaces, 9' x 19' clear, per single-family residence. The SBMC sections 17.48.040 and 17.20.030 indicate that when required parking spaces are provided within a garage, up to 200 square feet of floor area is exempted for each required space. As designed, the proposed residence would provide two (2) parking spaces in the proposed 454 square-foot garage; therefore, the project is afforded a 400 square-foot exemption.

With the basement exemption (1,593 square feet) and the garage exemption (400 square feet), the total proposed floor area would be 2,230 square feet, which is 16 square feet below the maximum allowable floor area for the 4,491 square-foot lot located in the SROZ. The maximum floor area calculation for this project, pursuant to the SROZ regulations, is as follows:

$0.50 \times 4,491 \text{ ft}^2$	$2,246 \text{ ft}^2$
Total Allowable Floor area:	$2,246 \text{ ft}^2$

The proposed project, as designed, meets the minimum required setbacks and is below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant proposes to establish driveway access to the property from North Helix Avenue on the northwest portion of the lot. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed 454 square-foot garage would provide two

parking spaces. Two spaces are required; therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes 667 cubic yards of cut, 245 cubic yards of fill, 8 cubic yards of excavation for footings, and 140 cubic yards of removal and recompaction. The project includes grading in the amount 1,060 cubic yards aggregate.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures will comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of additions to an existing two-story, single-family residence with a lowered garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. The Applicants are required to pay the applicable Park Development Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits*

have been obtained prior to or concurrently with the development review permit.

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

- I. *The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.*

To be completed based on Council findings.

- II. *The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.*

To be completed based on Council findings.

- III. *The structure is designed and situated in such a manner as to minimize impairment of views.*

To be completed based on Council findings.

- IV. *There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.*

To be completed based on Council findings.

- V. *The proposed structure is compatible with the immediate neighborhood character.*

To be completed based on Council findings.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on May 24, 2023 and located in the project file with a submittal date of May 8, 2023.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 25.00 feet above the proposed grade on the west elevation and the highest point of the structure will not exceed 86.11 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on May 24, 2023.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- VII. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- VIII. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.200 Section 503.6. All Knox Box products shall be purchased through Solana Beach Fire website at www.knoxbox.com/2566
- II. POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”: Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.3 and 503.4.3. Fire lane shall be maintained and extended with proposed relocation of fire hydrant.
- III. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- IV. FIRE HYDRANTS AND FIRE FLOWS: The applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available.

Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.210 Section 507 Section 507.5.1 to 507.5.1.02. Proposed fire hydrant shall be of the new residential type.

- V. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.
- VI. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.
- VII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.
- VIII. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2019 California Fire Code Chapter 12 Section 1204.
- IX. Basement:
- All basements shall be designed and equipped with emergency exit systems consisting of operable windows, window wells or exit door that's leads directly outside via staircase and exit door or exit door at grade.

- Window wells/Light wells that intrude into side yard or backyard setbacks of five feet or less, shall require a hinged grating covering the window well/lightwell opening. The grating shall be capable of supporting a weight of 250lb person; yet must be able to be opened by someone of minimal strength with no special knowledge, effort or use of key or tool. Any modification of previously approved plans related to this condition shall be subject to re-submittal and review by City staff (Fire, Building, Planning)

C. Engineering Department Conditions:

General:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the below frontage improvements being done in the public right-of-way. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - a. Construction of the SDRSD G-14D driveway.
 - b. Construction of any damaged sidewalk panels or curb & gutter as directed by the City Inspector.
 - c. Relocation of the fire hydrant.
 - d. Placement of landscaping and walkway steps.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit/Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all private improvements in the Public Right-Of-Way including but not limited to:
 - a. Walkway steps
 - b. Landscaping
- III. It is recommended that the drainage discharge be extended to the public right-of-way on N. Sierra Ave. Please work with the adjacent property owner to explore the feasibility of this recommendation.

- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

Grading:

- I. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
 - d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at

grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.

- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- i. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.

- k. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.
- n. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demo permit is required for removing existing structures before grading, the Applicant shall obtain the demo permit separately in order to certify the grading prior to issuance of the Building Permit.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents,

officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 24th day of May, 2023, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

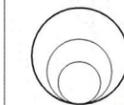
LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



eos
architecture inc.

7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

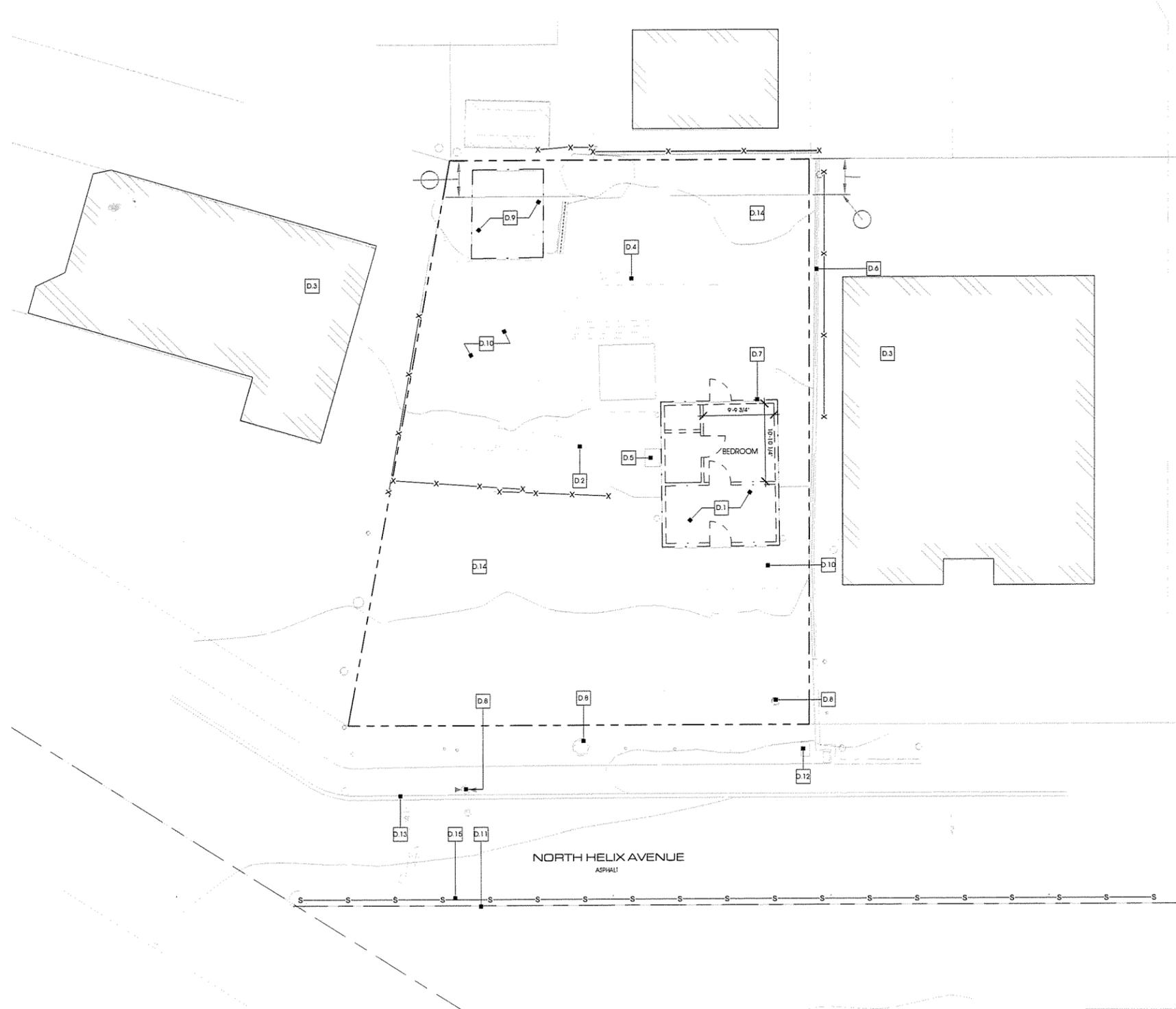
NORTH HELIX RESIDENCE

228 N HELIX AVENUE
SOLANA BEACH, CA 92075

All notes, details, and arrangements indicated on these drawings are the property of EOS Architecture, Inc. and are intended to be used in connection with the project. No part of these drawings shall be used for any purpose other than that intended without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising from their use without the written consent of the architect.

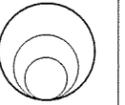
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ABBREVIATIONS:		PROJECT INDEX		PROJECT DIRECTORY		PROJECT INFORMATION																																																																														
A.B. ANCHOR BOLT A.C. AIR CONDITIONER ACST. ACOUSTIC A.D. AREA DRAIN ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM APPL. APPLICABLE APPROX. APPROXIMATE @ BOARD BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING B.P. BUILDING PAPER BTWN. BETWEEN B.U. BUILT UP CAB. CABINET CAT. CATALOG CBC. CALIFORNIA BUILDING CODE C.I. CAST IRON C.J. CONTROL JOINT C.L. CENTER LINE C.L.G. CEILING CLR. CLEAR CMU. CONCRETE MASONRY UNIT COL. COLUMN COMP. COMPACTED CONC. CONCRETE CONT. CONTINUOUS d. DENY DBL. DOUBLE D.F. DOUGLAS FIR D.H. DRINKING FOUNTAIN D.H. DOUBLE HUNG DMA. DIAMETER DN. DOWN DS. DOWNSPOUT DWG. DRAWING EA. EACH E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM E.J. EXPANSION JOINT ELEV. ELEVATION EQ. EQUAL E.W. EACH WAY EXIST (E) EXISTING EXP. EXPANSION EXT. EXTERIOR F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.G. FIBERGLASS F.H. FINISH GRADE F.H. FIRE HYDRANT FIN. FINISH FLR. FLOOR F.O.S. FACE OF STUD FT. FOOT/FEET FIG. FOOTING F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.G. FIBERGLASS F.H. FINISH GRADE F.H. FIRE HYDRANT FIN. FINISH FLR. FLOOR F.O.S. FACE OF STUD FT. FOOT/FEET FIG. FOOTING GA. GAUGE GD. GRADE G.I. GALVANIZED IRON GL. GLASS G.L.B. GLUE LAM. BEAM GYP. GYPSUM BOARD H/C. HANDICAPPED HD. HEAD HDR. HEADER HDWR. HARDWARE	HGT. HEIGHT H.M. HOLLOW METAL HOR. HORIZONTAL HR. HOUR INSUL. INSULATION INT. INTERIOR JB. JAMB JM. JOINT LAM. LAMINATE LAV. LAVATORY LT. LIGHT LWG. LIGHT WEIGHT MAX. MAXIMUM MFG. MANUFACTURER MIN. MINIMUM MINUTE. MINUTE M.L. METAL LATH MNTD. MOUNTED IN. NEW N/A. NOT APPLICABLE N.I.C. NOT IN CONTRACT NO. - #. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER O.V. OVER OZ. OUNCE PL. PLATE PROP. PROPERTY LINE PLAS. PLASTIC PLY. PLYWOOD P.O.C. POINT OF CONNECTION PR. PAIR PROP. PROPERTY PSI. POUNDS PER SQUARE INCH P.T. PRESSURE TREATED REWD. REDWOOD REINF. REINFORCED REQD. REQUIRED RM. ROOM R.W.L. RAIN WATER LEADER R.W.S. RECESSED WATER SERVICE SC. SOLID CORE SD. STORM DRAIN SECT. SECTION S.F. SQUARE FOOTAGE SHT. SHEET SIM. SIMILAR SL. SLIT S.M. SHEET METAL S.P. SINGLE PLY SPEC. SPECIFICATION SQ. SQUARE S.S. SANITARY SEWER LINE STAND. STANDING SEAM STD. STANDARD STL. STEEL SUSP. SUSPENDED SW. SWITCH T & B. TOP & BOTTOM T & G. TONGUE & GROOVE T.C. TOP OF CURB TEMP. TEMPORARY T.P. TOP OF PAVING T.S. TUBE STEEL TYP. TYPICAL U.B.C. UNIFORM BUILDING CODE U.O.N. UNLESS OTHERWISE NOTED V.B. VAPOR BARRIER VERT. VERTICAL V.I.F. VERIFY IN FIELD V.T.R. VENT THROUGH ROOF W. WITH W/O. WITHOUT W/CS. WITH CROWN SILL W. WAINSCOT WD. WOOD W.H. WATER HEATER W.I. WROUGHT IRON W.W.F. WOVEN WIRE FABRIC	ARCHITECTURAL CS1.0 COVER SHEET D1 DEMOLITION PLAN SP1 SITE PLAN A1.0 BASEMENT FLOOR PLAN A1.1 FIRST FLOOR PLAN A1.2 SECOND FLOOR PLAN A2.0 F.A.R. DIAGRAM A3.0 ROOF PLAN A4.0 BUILDING EXTERIOR ELEVATIONS A4.1 BUILDING EXTERIOR ELEVATIONS A5.0 BUILDING SECTIONS A5.1 BUILDING SECTIONS A6.0 STORY POLES PLAN A6.1 STORY POLES ELEVATIONS A6.2 STORY POLES ELEVATIONS CIVIL C0 PRELIMINARY GRADING PLAN C1 BMP SITE PLAN EXHIBIT C2 DETENTION VAULT LANDSCAPE L1 CONSTRUCTION PLAN L2 CONSTRUCTION DETAILS L3 CONSTRUCTION DETAILS L4 IRRIGATION PLAN L5 IRRIGATION PLAN L6 IRRIGATION DETAILS L7 PLANTING PLAN L8 LIGHTNING PLAN L9 LIGHTNING CUT SHEETS	OWNER RYAN BOWERS 228 HELIX AVENUE SOLANA BEACH, CA 92075 RBOWERS@REDGRASSVENTURES.COM (858) 395-7303 PHONE ARCHITECT EOS ARCHITECTURE INC. CONTACT: JENNIFER BOLYN 7542 FAY AVE. LA JOLLA, CA 92037 (858) 459-0575 PHONE SURVEY COFFEY ENGINEERING, INC. 9666 BUSINESSPARK AVE #210, SAN DIEGO, CA 92131 (858) 831-0111 PHONE LANDSCAPE ARCHITECT CARSON DOUGLAS LANDSCAPE ARCHITECTURE CONTACT: MICHAEL DOUGLAS BRENNAN 4407 ORCHARD AVENUE SAN DIEGO, CA 92107 MICHAEL@CD-LA.COM (619) 995-1306 PHONE CIVIL PASCO LARET SUITER & ASSOCIATES CONTACT: JASON SANTOS 119 ABERDEEN DRIVE, ENCINITAS, CA 92007 JSANTOS@PLSAENGINEERING.COM (858) 259-8212 PHONE	SCOPE OF WORK: NEW SINGLE FAMILY RESIDENCE, TWO STORY OVER BASEMENT, ATTACHED TWO CAR GARAGE, ASSOCIATED NEW LANDSCAPE, HARDSCAPE, AND RETAINING WALLS LEGAL: LOT 16, BLOCK 21, SOLANA BEACH, MAP 1749, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER MAYS, 1923. APN#: 263-321-21-00 EXISTING/PROPOSED USE: RESIDENTIAL ZONE: MR OVERLAY ZONE: SCALED RESIDENTIAL OVERLAY ZONE (SROZ) SPRINKLERED: YES, PER CFC SECTION 903.2.1.1 INSTALLED PER NFPA 13D. PROPOSED GRADING: PER CIVIL DRAWINGS GROSS LOT SIZE: 4,491 SF MAX FLOOR AREA RATIO: FIRST 6,000 SF - 50% 50% X 4,491 = 2,245.5 SF PROPOSED FAR: 2,230 SF HEIGHT LIMIT: 25'-0" NOTE OWNER TO INCLUDE SOLAR PANELS IN PROJECT VICINITY MAP 	BUILDING AREA PRINCIPAL RESIDENCE BASEMENT LIVABLE 1,593 SF FIRST FLOOR LIVABLE 1,111 SF SECOND FLOOR LIVABLE 1,025 SF COVERED AND ENCLOSED EXTERIOR AREA 40 SF GARAGE 4,223 SF SUBTOTAL 4,223 SF BASEMENT EXEMPTION -1,593 SF GARAGE EXEMPTION -400 SF TOTAL PROPOSED FLOOR AREA 2,230 SF TOTAL ALLOWABLE AREA 2,245.5 SF PROPOSED FAR BELOW ALLOWABLE 15.5 SF TOTAL PROPOSED DECK AREA 171 SF REVISIONS 01-26-2022 CLIENT PRESENT. 02-22-2022 CLIENT PRESENT. 03-31-2022 PLANNING SET 05-04-2022 1ST SUBMITTAL 06-30-2022 2ND SUBMITTAL 08-25-2022 3RD SUBMITTAL 10-19-2022 3RD SUBMITTAL 01-18-2023 4TH SUBMITTAL PHASE PLANNING SET DATE 18-01-2023 JOB NO. 21-19 COVER SHEET																																																																															
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KEYNOTES

- D.1 (E) RESIDENCE TO BE DEMOLISHED. REMOVE FOOTINGS ENTIRELY
- D.2 (E) PATHWAY TO BE REMOVED
- D.3 ADJACENT RESIDENCE, NWP
- D.4 (E) FIRE STAIR TO BE REMOVED
- D.5 (E) WATER HEATER TO BE REMOVED
- D.6 (E) RETAINING WALL TO REMAIN
- D.7 OUTLINE OF (E) RESIDENCE STRUCTURE TO BE REMODELED. SEE CIVIL FOR GRADING INFORMATION
- D.8 (E) FIRE HYDRANT TO BE RELOCATED
- D.9 (E) SHED TO BE REMOVED
- D.10 (E) CONCRETE PAD TO BE REMOVED
- D.11 CENTER LINE OF STREET
- D.12 (E) WATER METER
- D.13 (E) CURB TO BE REMOVED AND REPLACED
- D.14 LANDSCAPE TO BE REMOVED
- D.15 SEWER MAIN



EOS
architecture inc.

7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER BOLYN
Architect

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NORTH HELIX RESIDENCE
228 N HELIX AVENUE
SOLANA BEACH, CA 92075

REVISIONS

01-26-2022	CLIENT PRESENT.
02-22-2022	CLIENT PRESENT.
03-31-2022	PLANNING SET
05-04-2022	1ST SUBMITTAL
06-30-2022	2ND SUBMITTAL
08-25-2022	3RD SUBMITTAL
10-19-2022	3RD SUBMITTAL
01-18-2023	4TH SUBMITTAL

PHASE

PLANNING SET

DATE

18-01-2023

JOB NO.

21-19

DEMOLITION PLAN

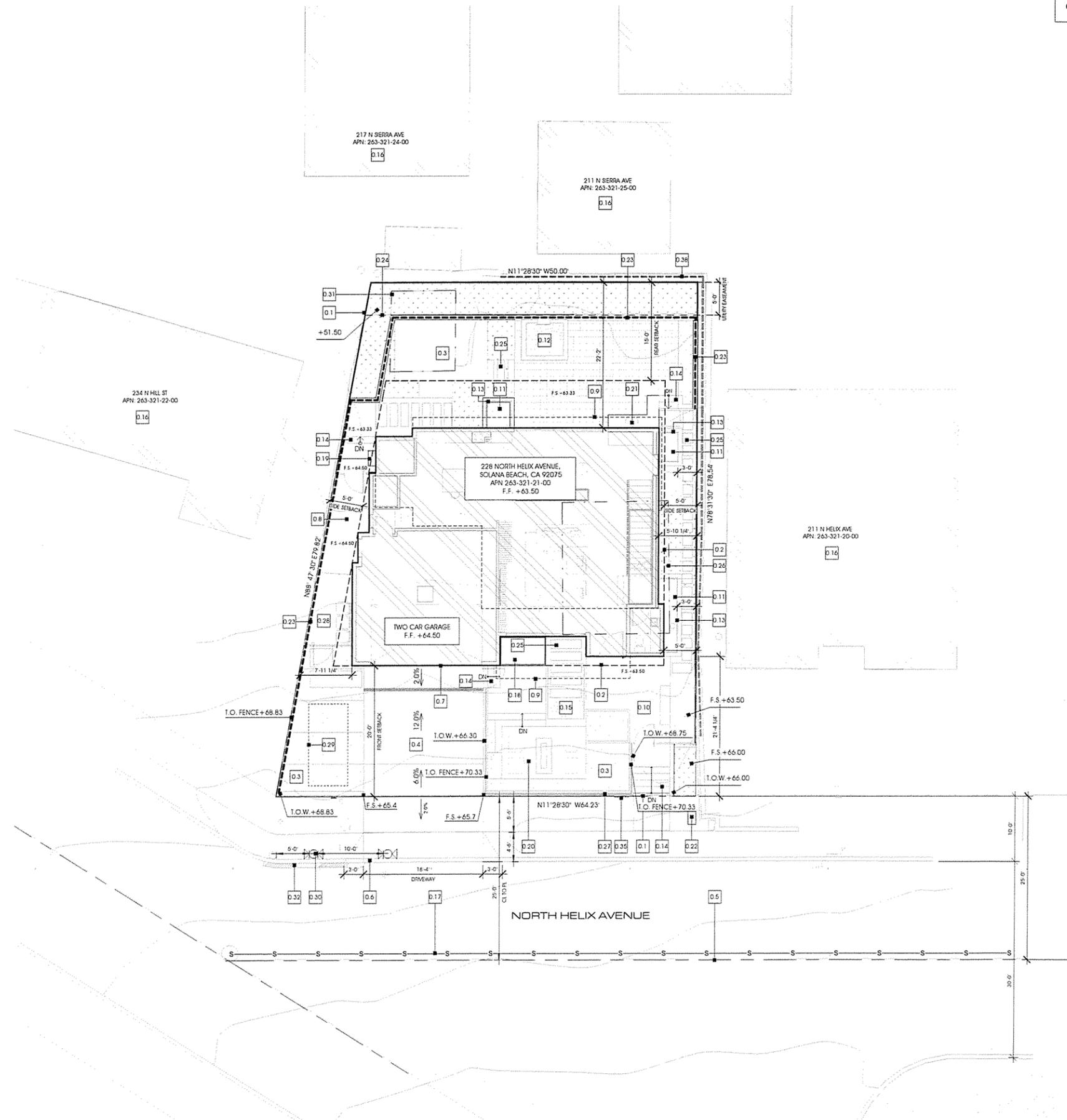
D1

DEMOLITION PLAN

1/8" = 1'-0"



NOTE: NO FENCE OR WALL SHALL BE HIGHER THAN 42" FROM EXISTING GRADE IN FRONT SETBACK



KEYNOTES

- 0.1 PROPERTY LINE, TYP.
- 0.2 SETBACK LINE, TYP.
- 0.3 LANDSCAPE PER LANDSCAPE PLANS
- 0.4 DRIVEWAY
- 0.5 CENTER LINE OF STREET
- 0.6 CITY CURB STANDARD
- 0.7 LINE OF PROPOSED FIRST FLOOR
- 0.8 GRADE PER LANDSCAPE
- 0.9 LINE OF ROOF/OVERHANG
- 0.10 HARDSCAPE PER CIVIL AND LANDSCAPE
- 0.11 LIGHTWELL WITH EMERGENCY EGRESS LIFT GATE. SEE NOTES.
- 0.12 PROPOSED SPA
- 0.13 42" WROUGHT IRON GUARDRAIL WITH EPOXY FINISH
- 0.14 SITE STAIR
- 0.15 WATER FEATURE PER LANDSCAPE
- 0.16 ADJACENT RESIDENCE, N/AP
- 0.17 EXISTING SEWER PER CITY OF SOLANA BEACH DWG NO CG-3087
- 0.18 PLANTER PER LANDSCAPE PLAN
- 0.19 PROPOSED A/C CONDENSER LOCATION
- 0.20 SEMI-PRIVATE COURTYARD PER LANDSCAPE
- 0.21 BARBEQUE AREA
- 0.22 EXISTING WATER METER, UPGRADE AS REQUIRED
- 0.23 PROPOSED NEW RETAINING WALL PER CIVIL PLANS
- 0.24 5'-0" UTILITY EASEMENT PER CIVIL
- 0.25 CONCRETE STEPPERS PER LANDSCAPE
- 0.26 LINE OF EXISTING BUILDING
- 0.27 FENCE & GATE PER LANDSCAPE PLANS NOT TO EXCEED 6'-0" HEIGHT IN SIDE SETBACKS 42" IN FRONT SETBACK, WITH AN ADDITIONAL 24" ALLOWABLE ABOVE IF AT LEAST 50% OPEN TO LIGHT & AIR
- 0.28 TRASH AND RECYCLING LOCATION
- 0.29 STORMWATER DETENTION TANK, 288 CF, PER CIVIL
- 0.30 FIRE HYDRANT, LOCATION PER CIVIL, RESIDENTIAL TYPE PER SBMC 15.32
- 0.31 LINE OF EXISTING ACCESSORY STRUCTURE TO BE REMOVED
- 0.32 FIRE LANE "NO PARKING" IN ACCORDANCE WITH SBMC 15.32.170
- 0.35 ADDRESS NUMBER SIGNAGE
- 0.38 EXISTING RETAINING WALL PER CIVIL PLANS

NOTES

1. GATES: ALL GATES OR OTHER STRUCTURES OR DEVICES, WHICH COULD OBSTRUCT FIRE ACCESS ROADWAYS OR OTHERWISE HINDER EMERGENCY OPERATIONS, ARE PROHIBITED UNLESS THEY MEET STANDARDS APPROVED BY THE FIRE DEPARTMENT. AN APPROVED EMERGENCY KEY-OPERATED SWITCH AND/OR AN APPROVED EMERGENCY TRAFFIC CONTROL ACTIVATING STROBE LIGHT SENSOR SHALL BE INSTALLED PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.200 SECTION 503.6.
2. POSTING OR STRIPING ROADWAYS "NO PARKING FIRE LANE": FIRE DEPARTMENT ACCESS ROADWAYS, WHEN REQUIRED, SHALL BE PROPERLY IDENTIFIED AS PER SOLANA BEACH FIRE DEPARTMENT STANDARDS. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY FOR THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.170 SECTION 503 SECTION 503.3 AND 503.4.3. FIRE LANE SHALL BE MAINTAINED AND EXTENDED WITH PROPOSED RELOCATION OF FIRE HYDRANT.
3. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: ALL ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES PER THE 2019 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 503.4 AND 503.2.1.
4. FIRE HYDRANTS AND FIRE FLOWS: THE APPLICANT SHALL PROVIDE FIRE HYDRANTS OF A TYPE, NUMBER, AND LOCATION SATISFACTORY TO THE SOLANA BEACH FIRE DEPARTMENT. A LETTER FROM THE WATER AGENCY SERVING THE AREA SHALL BE PROVIDED THAT STATES THE REQUIRED FIRE FLOW IS AVAILABLE. FIRE HYDRANTS SHALL BE OF A BRONZE TYPE. MULTI-FAMILY RESIDENTIAL OR INDUSTRIAL FIRE HYDRANTS SHALL HAVE TWO (2) 4" INCH AND TWO (2) 2 1/2" INCH NST OUTLETS. RESIDENTIAL FIRE HYDRANTS SHALL HAVE ONE (1) 4" INCH NST OUTLET, AND ONE (1) 2 1/2" INCH NST OUTLETS PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.210 SECTION 507 SECTION 507.5.1 TO 507.5.1.02. PROPOSED FIRE HYDRANT SHALL BE OF THE NEW RESIDENTIAL TYPE.
5. ADDRESS NUMBERS: STREET NUMBERS: APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHAL.
6. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2.
7. CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2019 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505.
8. SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS): SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2019 CALIFORNIA FIRE CODE CHAPTER 12 SECTION 1204.
9. ALL BASEMENTS SHALL BE DESIGNED AND EQUIPPED WITH EMERGENCY EXIT SYSTEMS CONSISTING OF OPERABLE WINDOWS, WINDOW WELLS OR EXIT DOOR THAT LEADS DIRECTLY OUTSIDE VIA STAIRCASE AND EXIT DOOR OR EXIT DOOR AT GRADE.
10. WINDOW WELLS/LIGHT WELLS THAT INTRUDE INTO SIDE YARD OR BACKYARD SETBACKS OF FIVE FEET OR LESS, SHALL REQUIRE A HINGED GRATING COVERING THE WINDOW WELLS/LIGHTWELL OPENING. THE GRATING SHALL BE CAPABLE OF SUPPORTING A WEIGHT OF 250LB PERSON, YET MUST BE ABLE TO BE OPENED BY SOMEONE OF MINIMAL STRENGTH WITH NO SPECIAL KNOWLEDGE, EFFORT OR USE OF KEY OR TOOL. ANY MODIFICATION OF PREVIOUSLY APPROVED PLANS RELATED TO THIS CONDITION SHALL BE SUBJECT TO RE-SUBMITTAL AND REVIEW BY CITY STAFF (FIRE, BUILDING, PLANNING)



EOS
architecture inc.

7542 FAY AVENUE
LA JOLLA CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER BOLDY
Architect

NORTH HELIX RESIDENCE
228 N HELIX AVENUE
SOLANA BEACH, CA 92075

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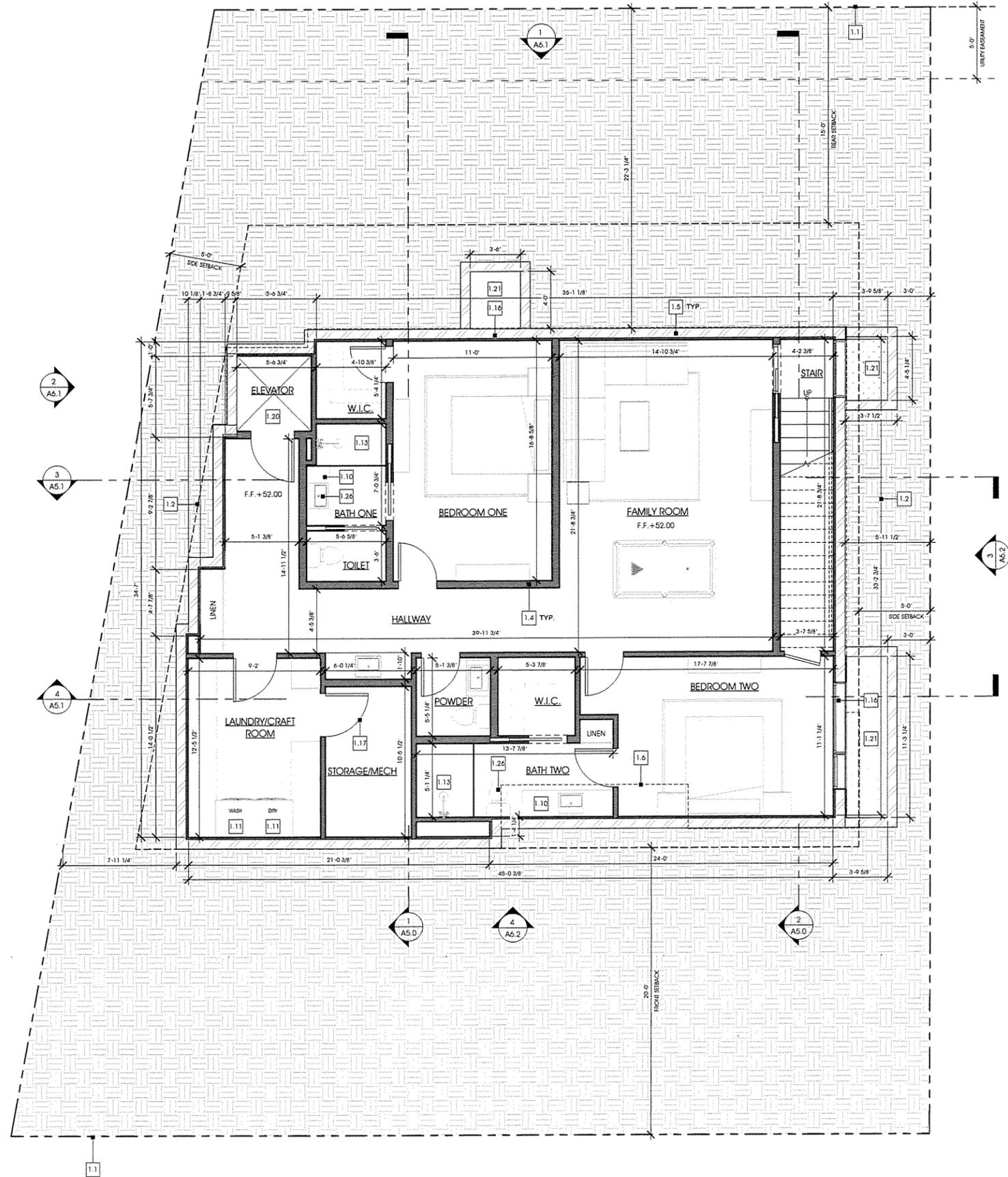
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SITE PLAN

SP1

SITE PLAN
1/8" = 1'-0"





BASEMENT FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

- 1.1 PROPERTY LINE, TYP.
- 1.2 SETBACK LINE, TYP.
- 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ 5/8" GWS THROUGHOUT
- 1.5 RETAINING WALLS PER CIVIL
- 1.6 LINE OF LEVEL ABOVE
- 1.10 BUILT-IN CABINETRY
- 1.11 APPLIANCE PER OWNER
- 1.13 WALK-IN SHOWER
- 1.16 WINDOW, TYP.
- 1.17 DOOR, TYP.
- 1.20 ELEVATOR
- 1.21 LIGHTWELL, EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER, WITH A WIDTH NOT LESS THAN 12", AND SHALL PROJECT NOT LESS THAN 3" FROM THE WALL, AND SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WALL.
- 1.26 PLUMBING FIXTURE, TYP.



7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER BOLYN
Architect

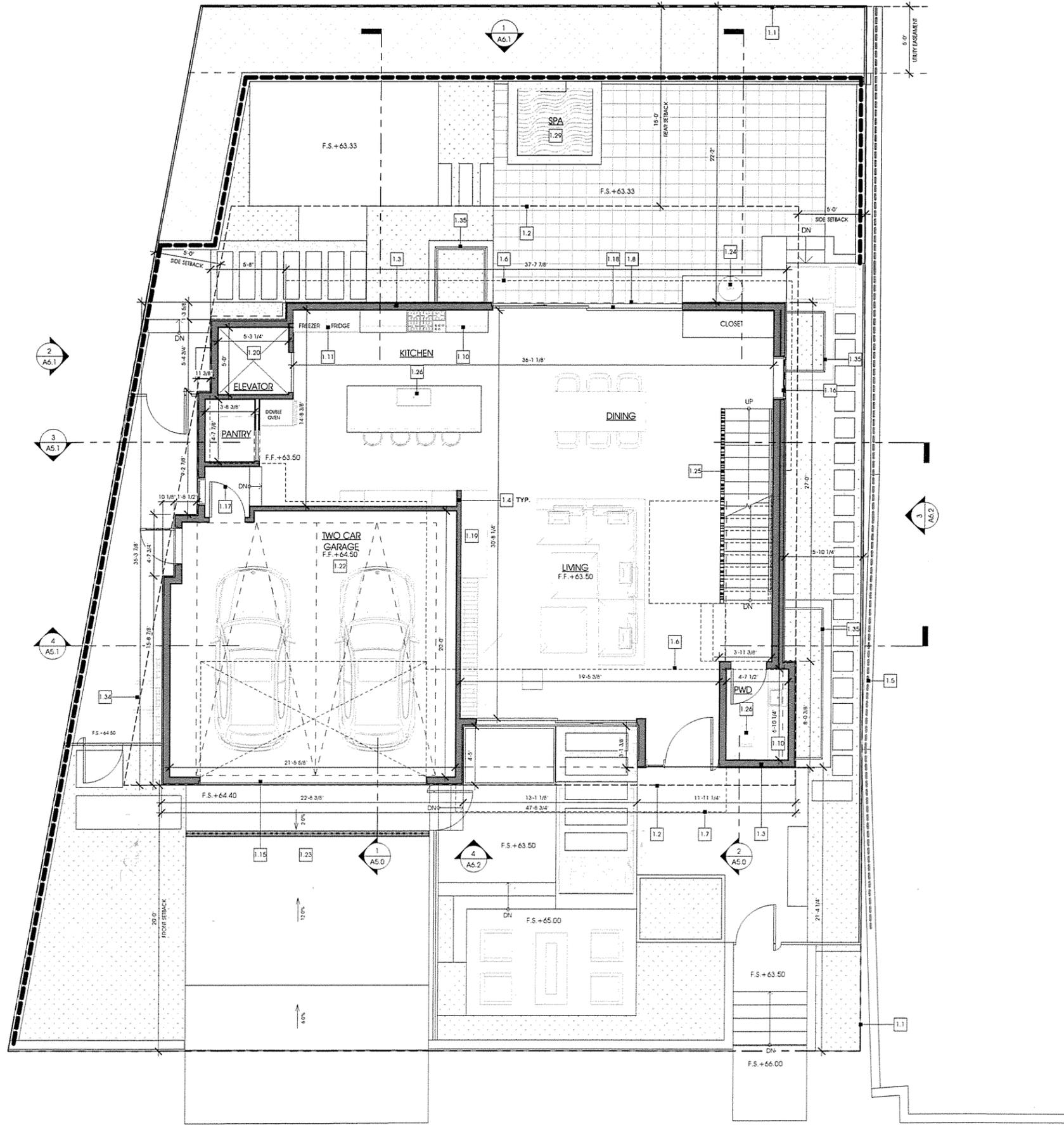
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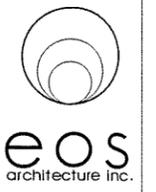
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BASEMENT FLOOR PLAN



KEYNOTES

- 1.1 PROPERTY LINE, TYP.
- 1.2 SETBACK LINE, TYP.
- 1.3 EXTERIOR WALL: EXTERIOR FINISH PER EXTERIOR ELEVATIONS INSIDE 5/8" GWS.
- 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ 5/8" GWS THROUGHOUT
- 1.5 RETAINING WALLS PER CIVIL
- 1.6 LINE OF LEVEL ABOVE
- 1.7 LINE OF ROOF/OVERHANG ABOVE
- 1.8 LINE OF LOWER LEVEL BELOW
- 1.10 BUILT-IN CABINETRY
- 1.11 APPLIANCE PER OWNER
- 1.15 GARAGE DOOR
- 1.16 WINDOW, TYP.
- 1.17 DOOR, TYP.
- 1.18 SLIDING DOOR SYSTEM
- 1.19 GAS FIREPLACE
- 1.20 ELEVATOR
- 1.22 PARKING SPACES TO BE 19' X 9' CLEAR
- 1.23 DRIVEWAY
- 1.24 BBQ
- 1.25 VERTICAL TRELLIS
- 1.26 PLUMBING FIXTURE, TYP.
- 1.29 SPA
- 1.34 TRASH AND RECYCLING LOCATION
- 1.35 42" WROUGHT IRON GUARDRAIL WITH EPOXY FINISH



7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

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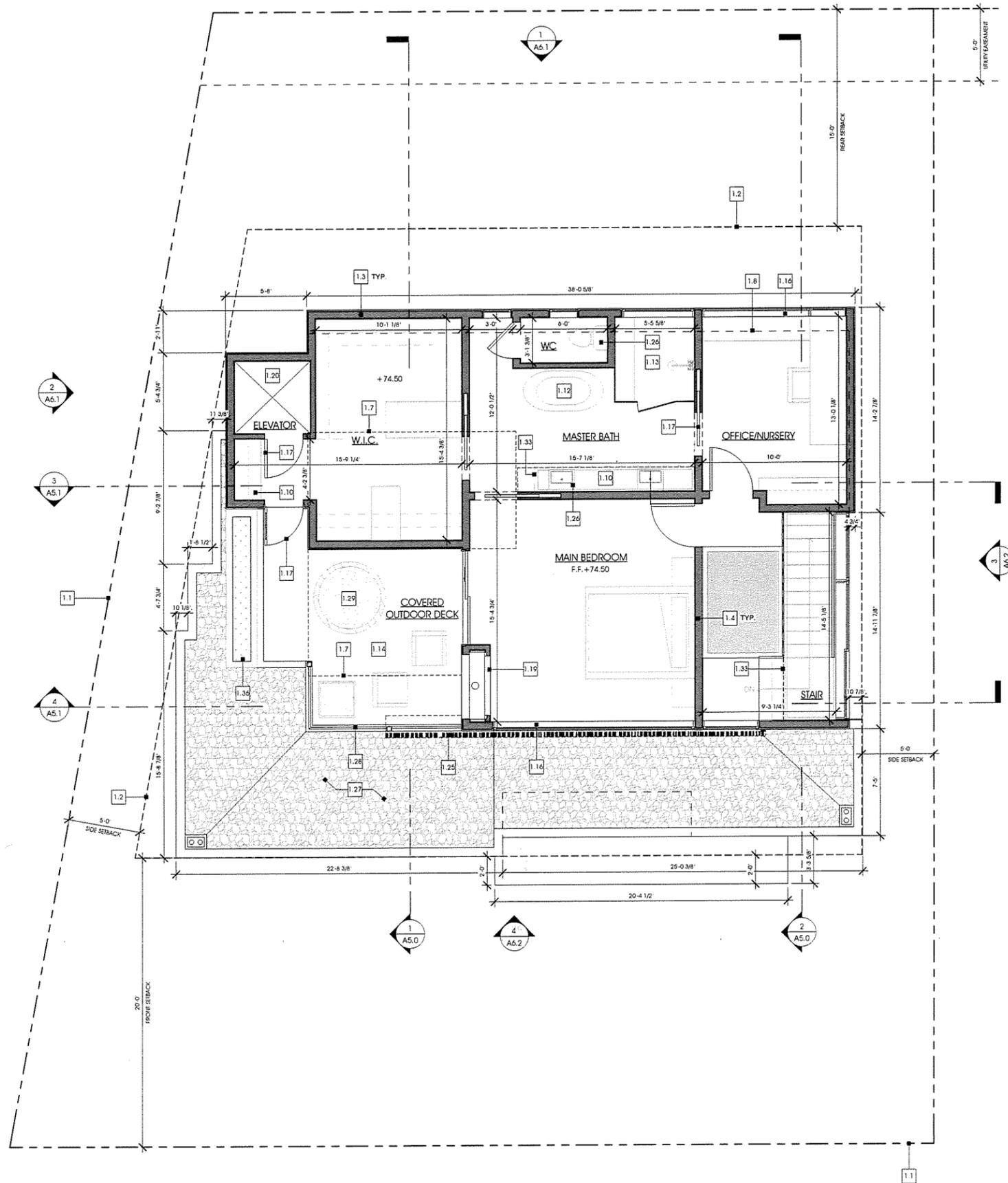
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FIRST FLOOR PLAN

A1.1

FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"

KEYNOTES

- 1.1 PROPERTY LINE, TYP.
- 1.2 SETBACK LINE, TYP.
- 1.3 EXTERIOR WALL: EXTERIOR FINISH PER EXTERIOR ELEVATIONS INSIDE 5/8" GWS.
- 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ 5/8" GWS THROUGHOUT
- 1.7 LINE OF ROOF/OVERHANG ABOVE
- 1.8 LINE OF LOWER-LEVEL BELOW
- 1.10 BUILT-IN CABINETS
- 1.12 TUB
- 1.13 WALK-IN SHOWER
- 1.14 TILE DECK
- 1.16 WINDOW, TYP.
- 1.17 DOOR, TYP.
- 1.19 GAS FIREPLACE
- 1.20 ELEVATOR
- 1.25 VERTICAL TRELLIS
- 1.26 PLUMBING FIXTURE, TYP.
- 1.27 GRAVEL ON FLAT ROOF FOR AESTHETICS
- 1.28 42" HEIGHT GUARDRAIL
- 1.29 SPA
- 1.33 LINE OF SKYLIGHT ABOVE, PER ROOF PLAN
- 1.36 PLANTER PER LANDSCAPE PLAN



7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER BOLYN
Architect

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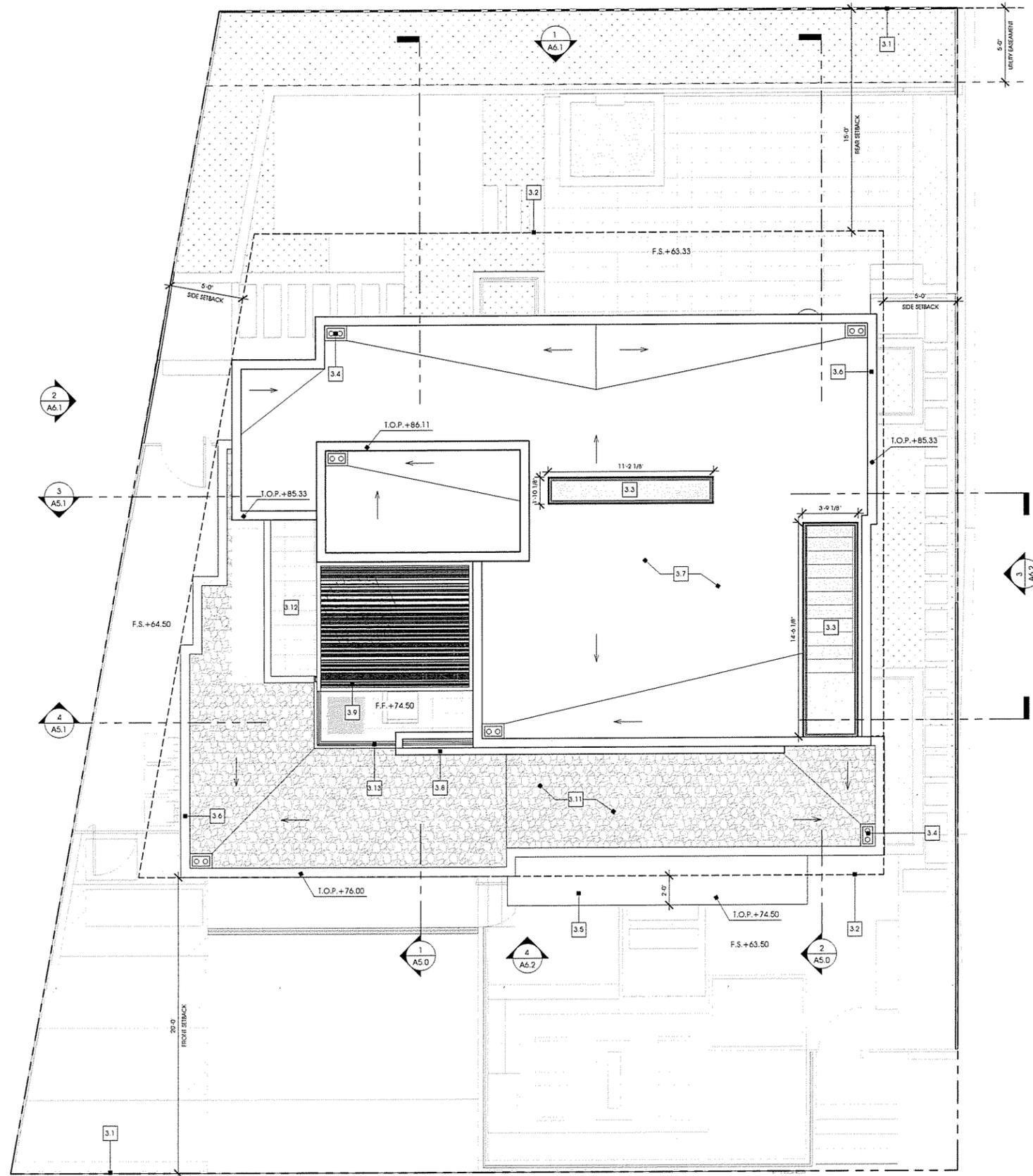
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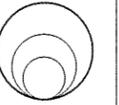
SECOND FLOOR PLAN

A1.2



KEYNOTES

- 3.1 PROPERTY LINE, TYP.
- 3.2 SETBACK LINE, TYP.
- 3.3 SKYLIGHT
- 3.4 ROOF DRAIN
- 3.5 OVERHANG
- 3.6 PARAPET, TYP.
- 3.7 B.U.R. ROOFING
- 3.8 VERTICAL TRELLIS PROJECTION
- 3.9 TRELLIS
- 3.11 B.U.R. ROOF WITH GRAVEL
- 3.12 DECK BELOW
- 3.13 GUARDRAIL BELOW



eos
architecture inc.

7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

**JENNIFER
BOLYN**
Architect

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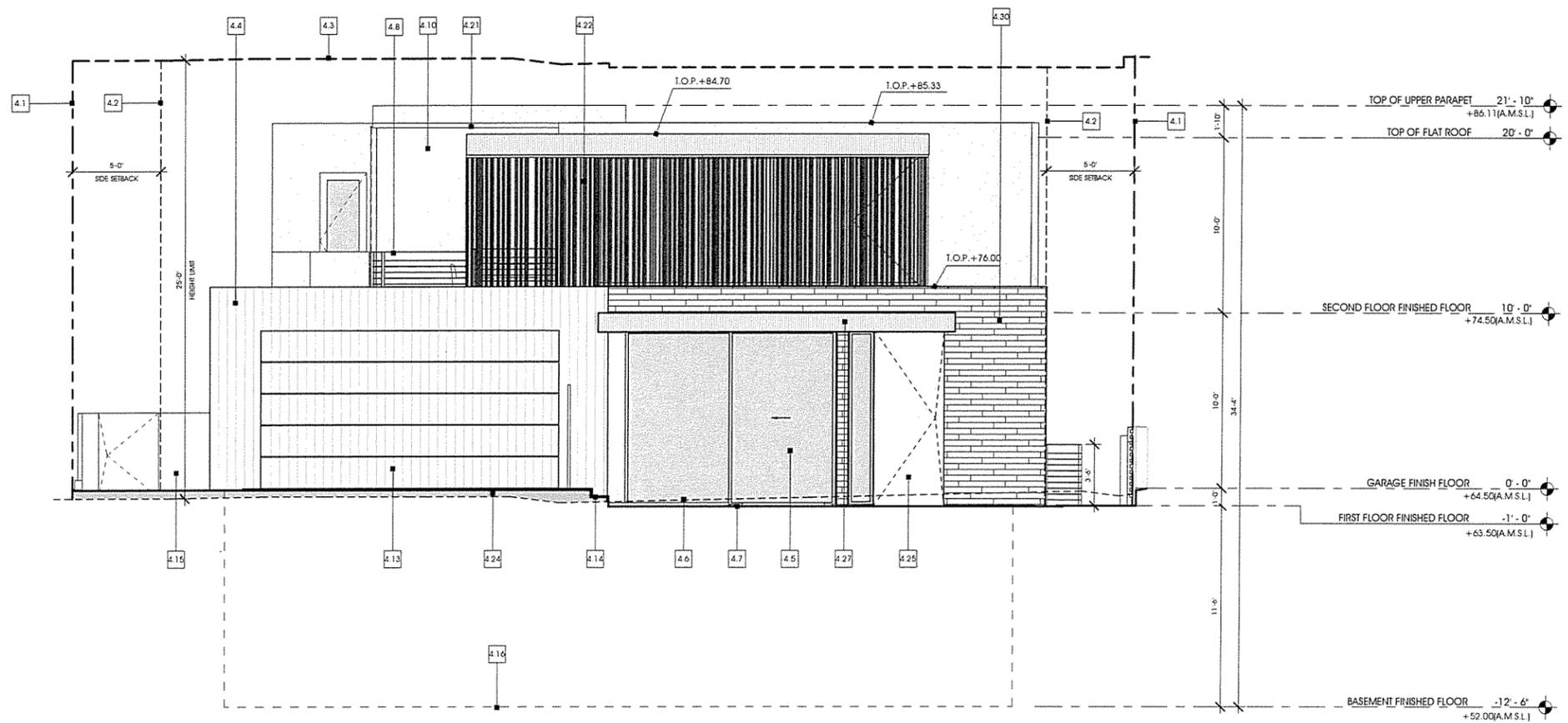
ROOF PLAN

ROOF PLAN

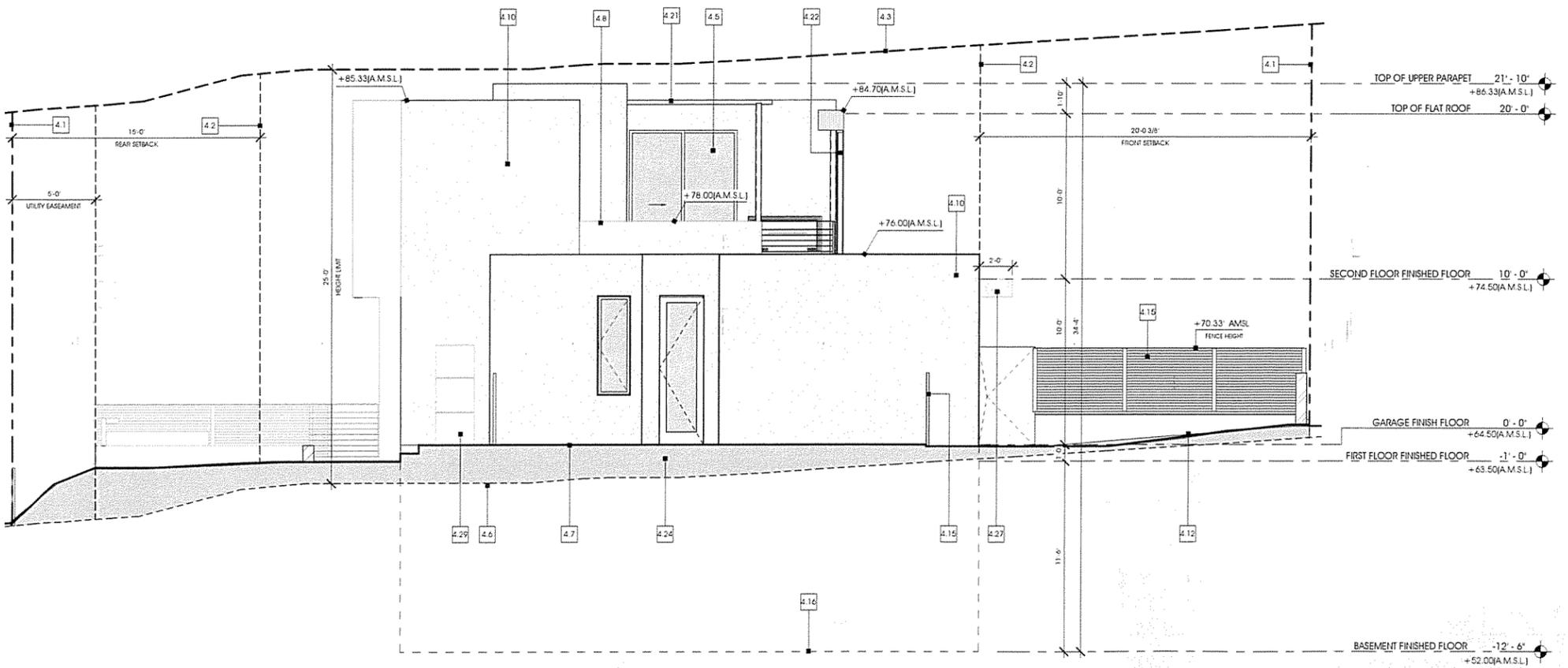
1/4" = 1'-0"



A3.0



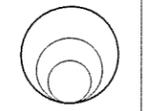
1 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

KEYNOTES

- 4.1 PROPERTY LINE, TYP.
- 4.2 SETBACK LINE, TYP.
- 4.3 25'-0" HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.4 WOOD SIDING
- 4.5 WINDOW/DOOR TYP.
- 4.6 LINE OF EXISTING GRADE AT BUILDING LINE
- 4.7 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.8 42" GUARDRAIL
- 4.10 STUCCO FINISH
- 4.12 DRIVEWAY
- 4.13 GARAGE DOOR
- 4.14 SITE STAIRS
- 4.15 FENCE
- 4.16 LINE OF BASEMENT BELOW
- 4.21 HORIZONTAL TRELLIS
- 4.22 VERTICAL TRELLIS
- 4.24 FILL TYP.
- 4.25 ENTRY DOOR
- 4.27 OVERHANG
- 4.29 PROPOSED A/C CONDENSER LOCATION
- 4.30 STONE



eos
architecture inc.

7542 FAY AVENUE
LA JOLLA CA 92037
PH: 858 459 0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

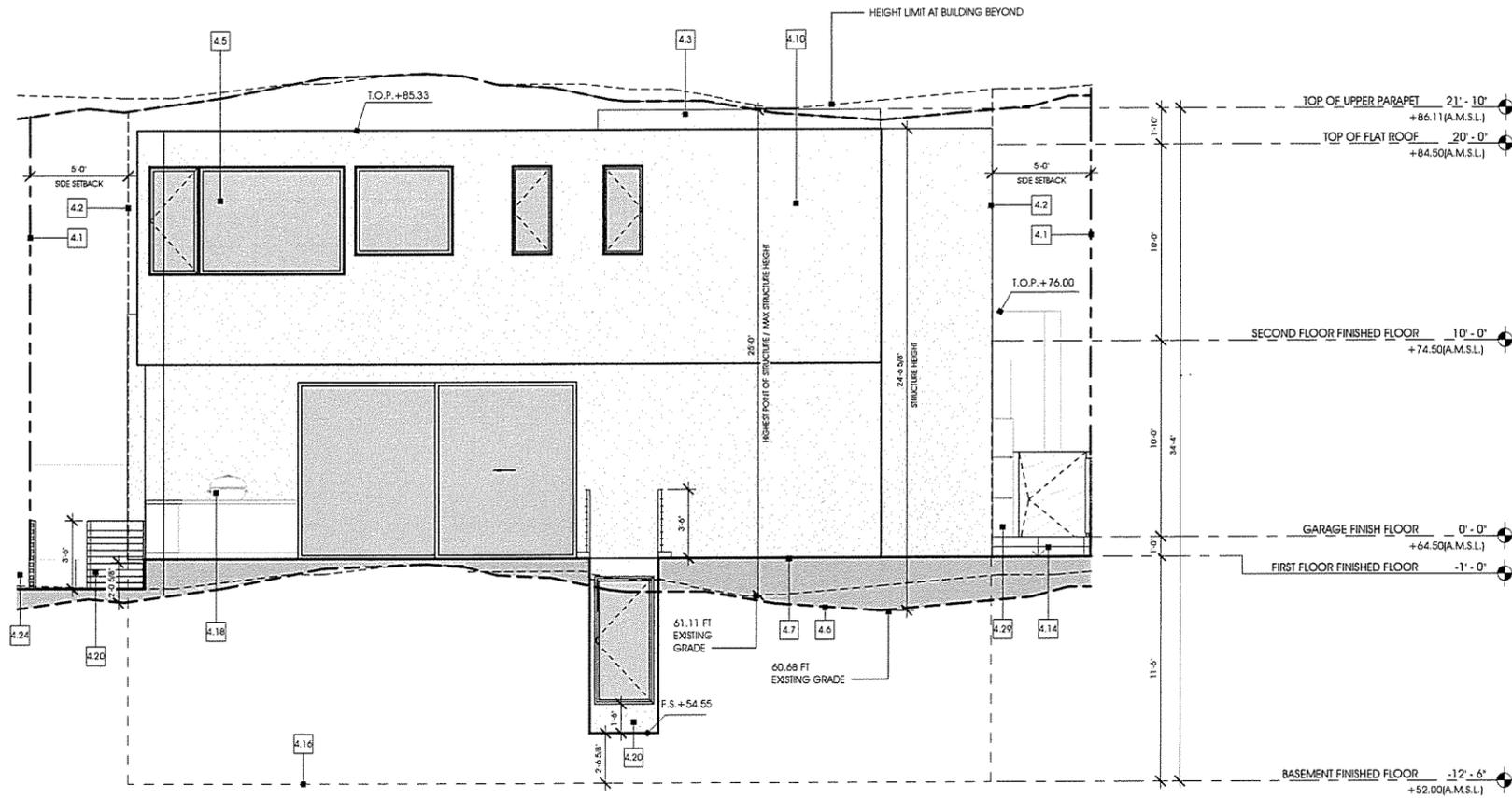
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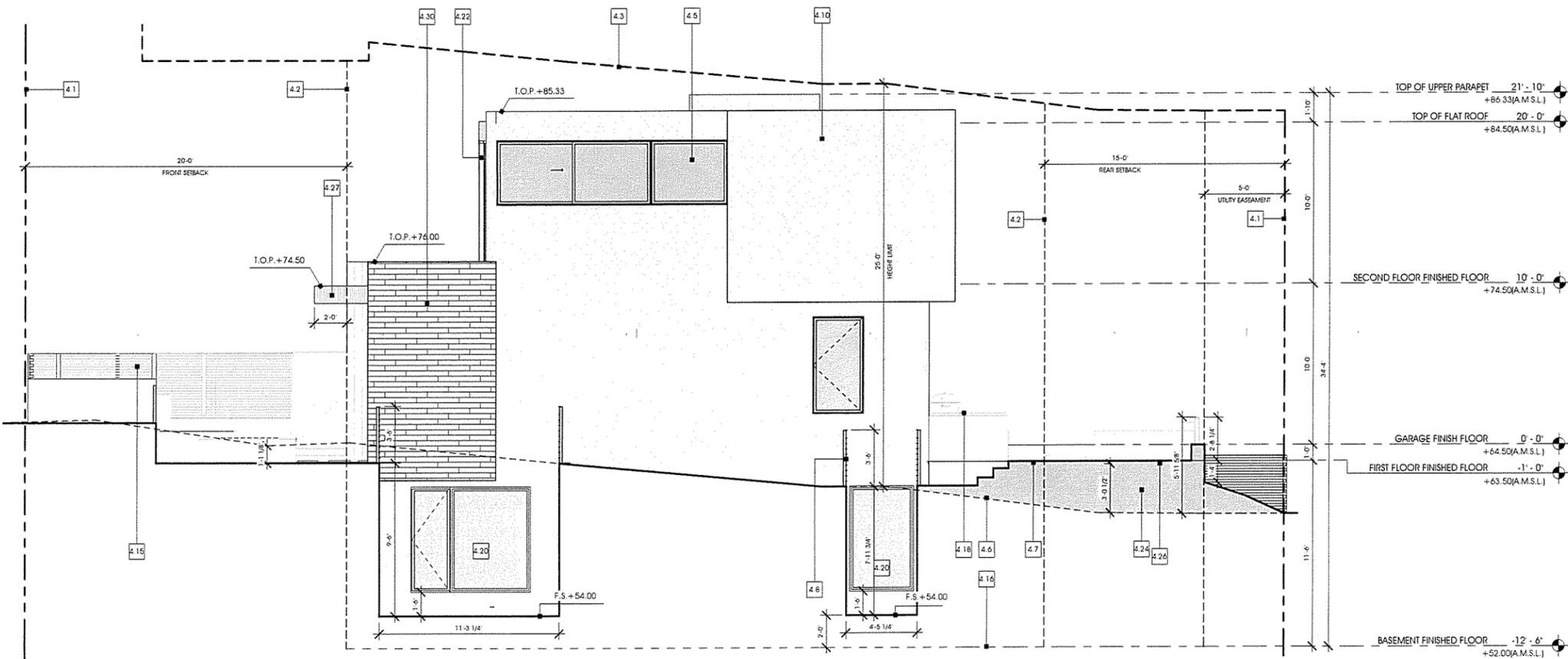
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BUILDING EXTERIOR
ELEVATIONS



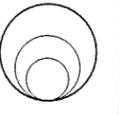
3 EAST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION

KEYNOTES

- 4.1 PROPERTY LINE, TYP.
- 4.2 SETBACK LINE, TYP.
- 4.3 25'-0" HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.5 WINDOW/DOOR, TYP.
- 4.6 LINE OF EXISTING GRADE AT BUILDING LINE
- 4.7 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.8 42" GUARDRAIL
- 4.10 STUCCO FINISH
- 4.14 SITE STAIRS
- 4.15 FENCE
- 4.16 LINE OF BASEMENT BELOW
- 4.18 BRG
- 4.20 UGHTWELL, EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER, WITH A WIDTH NOT LESS THAN 12", AND SHALL PROJECT NOT LESS THAN 3" FROM THE WALL, AND SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WALL. HINGED GRATING COVERING THE WINDOW WELL/LIGHTWELL OPENING. THE GRATING SHALL BE CAPABLE OF SUPPORTING A WEIGHT OF 250LB PERSON; YET MUST BE ABLE TO BE OPENED BY SOMEONE OF MINIMAL STRENGTH WITH NO SPECIAL KNOWLEDGE, EFFORT OR USE OF KEY OR TOOL. ANY MODIFICATION OF PREVIOUSLY APPROVED PLANS RELATED TO THIS CONDITION SHALL BE SUBJECT TO RE-SUBMITAL AND REVIEW BY CITY STAFF.
- 4.22 VERTICAL TRELLIS
- 4.24 FILL, TYP.
- 4.26 SPA
- 4.27 OVERHANG
- 4.29 PROPOSED A/C CONDENSER LOCATION
- 4.30 STONE



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7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

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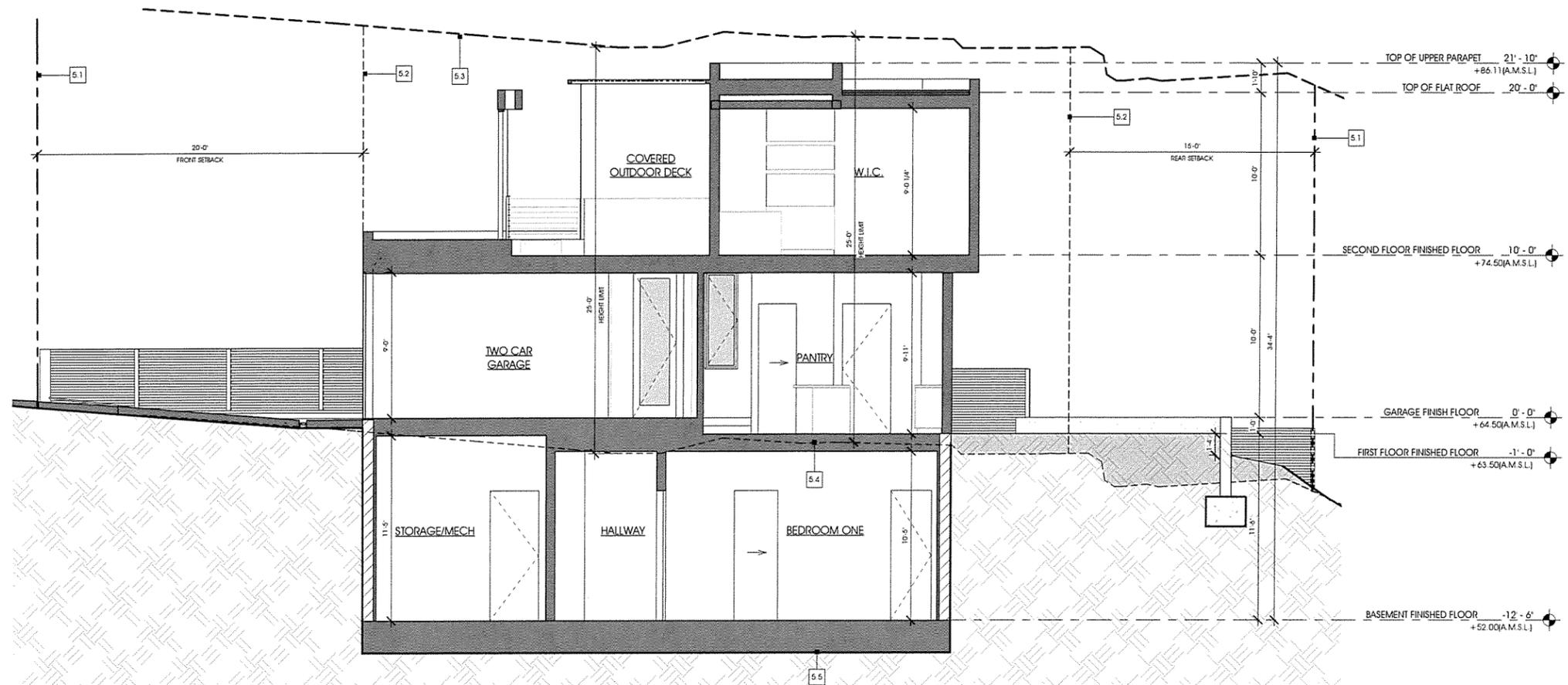
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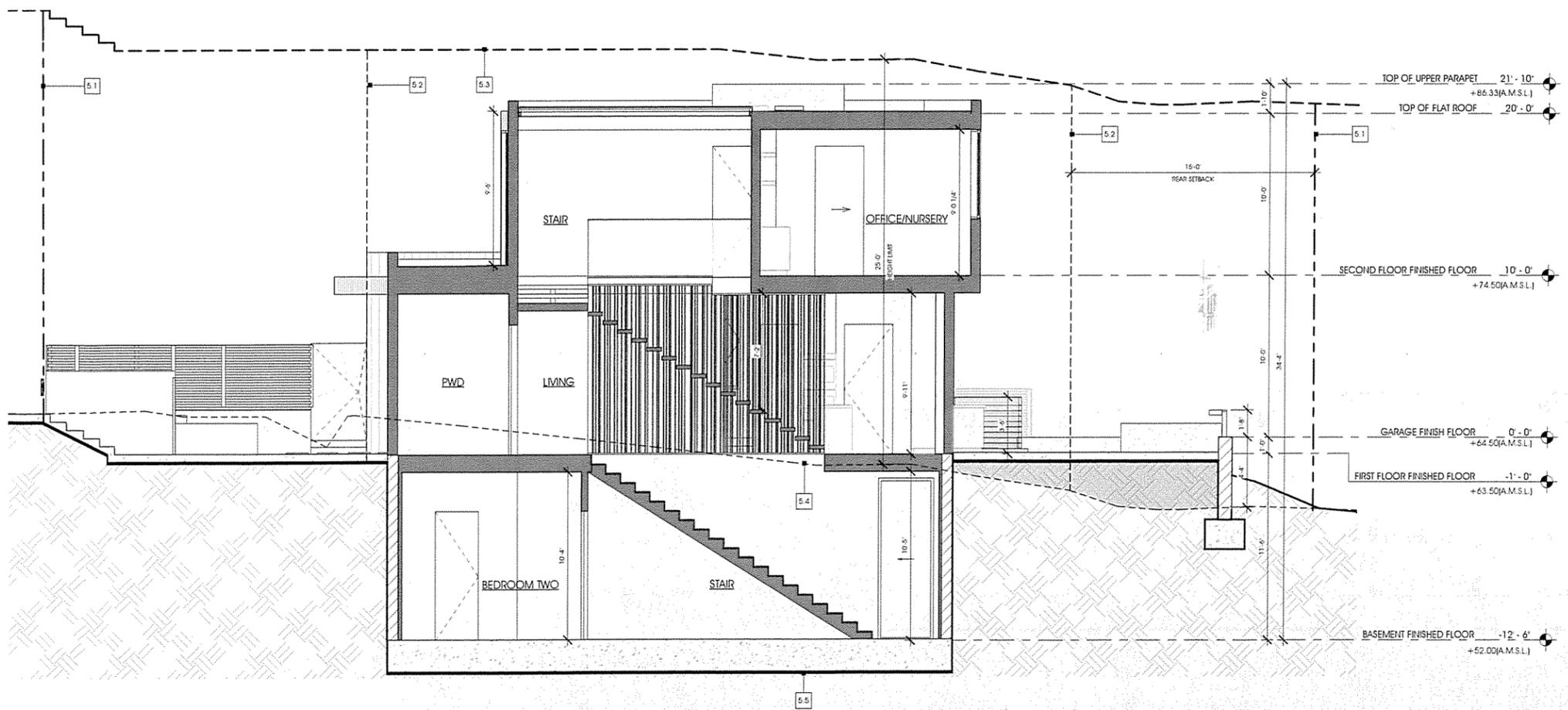
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BUILDING EXTERIOR
ELEVATIONS



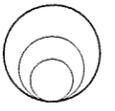
1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION

KEYNOTES

- 5.1 PROPERTY LINE, TYP.
- 5.2 SETBACK LINE, TYP.
- 5.3 25'-0" HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE
- 5.4 LINE OF EXISTING GRADE AT BUILDING LINE
- 5.5 LINE OF PROPOSED GRADE AT BUILDING LINE



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7542 FAY AVENUE
LA JOLLA CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

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DATE

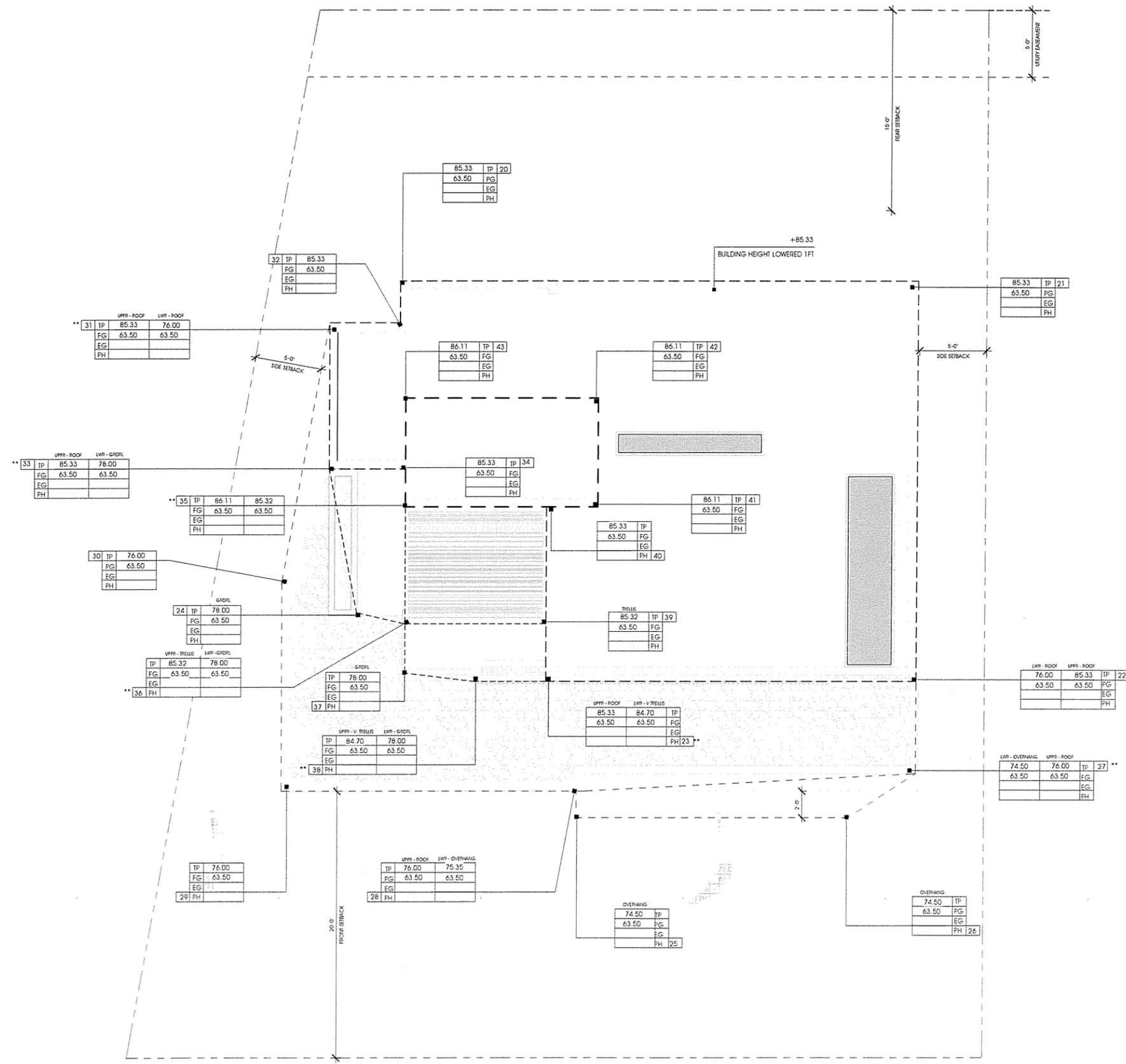
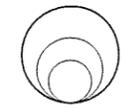
18-01-2023

JOB NO.

21-19

BUILDING SECTIONS

A5.0



STORY POLES PLAN

1/4" = 1'-0"

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NORTH HELIX RESIDENCE
228 N HELIX AVENUE
SOLANA BEACH, CA 92075

REVISIONS

01-26-2022	CLIENT PRESENT.
02-22-2022	CLIENT PRESENT.
03-31-2022	PLANNING SET
05-04-2022	1ST SUBMITTAL
06-30-2022	2ND SUBMITTAL
08-25-2022	3RD SUBMITTAL
10-19-2022	3RD SUBMITTAL
01-18-2023	4TH SUBMITTAL

PHASE

PLANNING SET

DATE

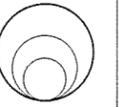
18-01-2023

JOB NO.

21-19

STORY POLES PLAN

A6.0



eos
architecture inc.

7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eoz@eosarc.com

JENNIFER BOLYN
Architect

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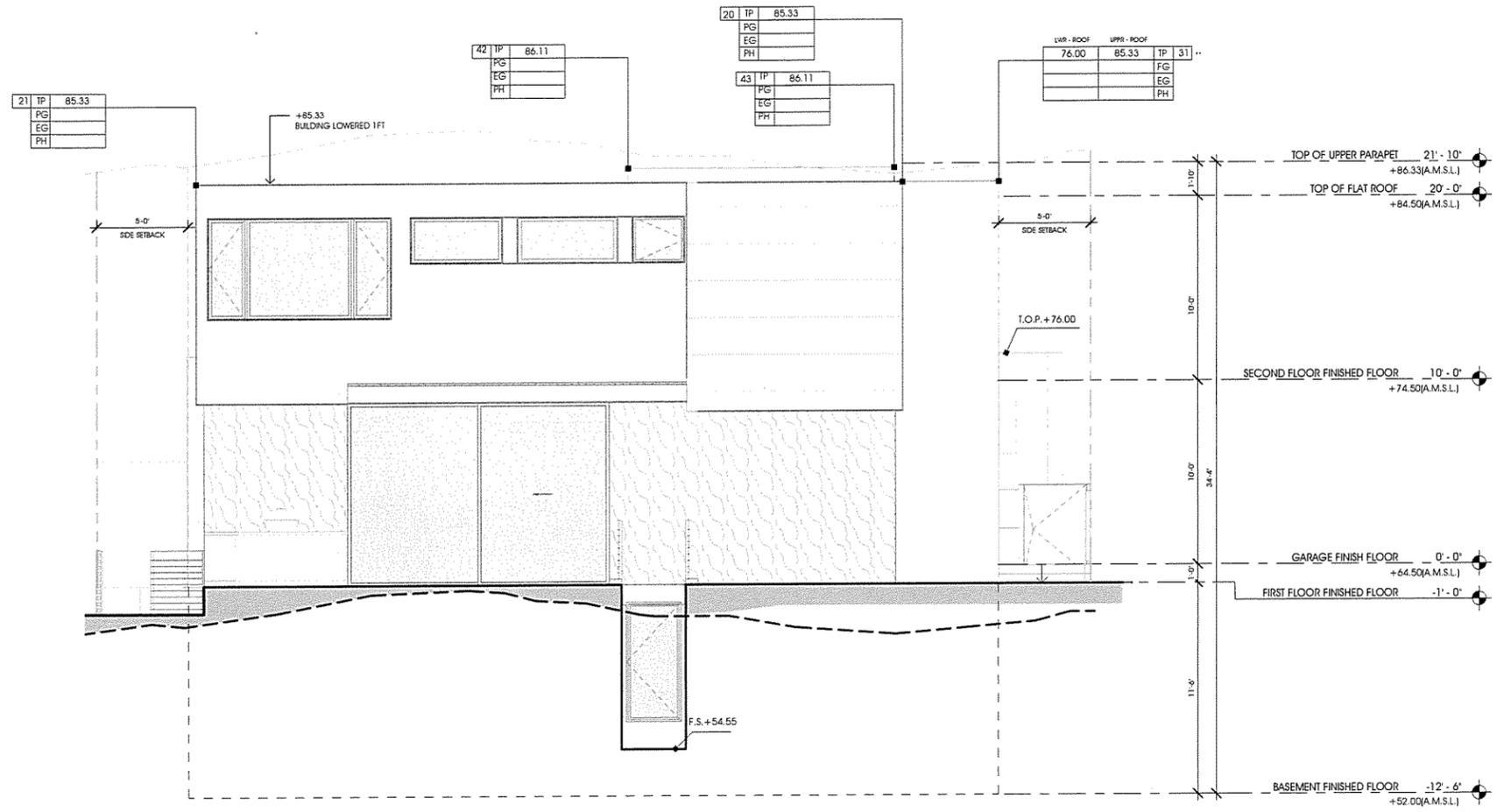
NORTH HELIX RESIDENCE
228 N HELIX AVENUE
SOLANA BEACH, CA 92075

REVISIONS	
01-26-2022	CLIENT PRESENT.
02-22-2022	CLIENT PRESENT.
03-31-2022	PLANNING SET
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08-25-2022	3RD SUBMITTAL
10-19-2022	3RD SUBMITTAL
01-18-2023	4TH SUBMITTAL

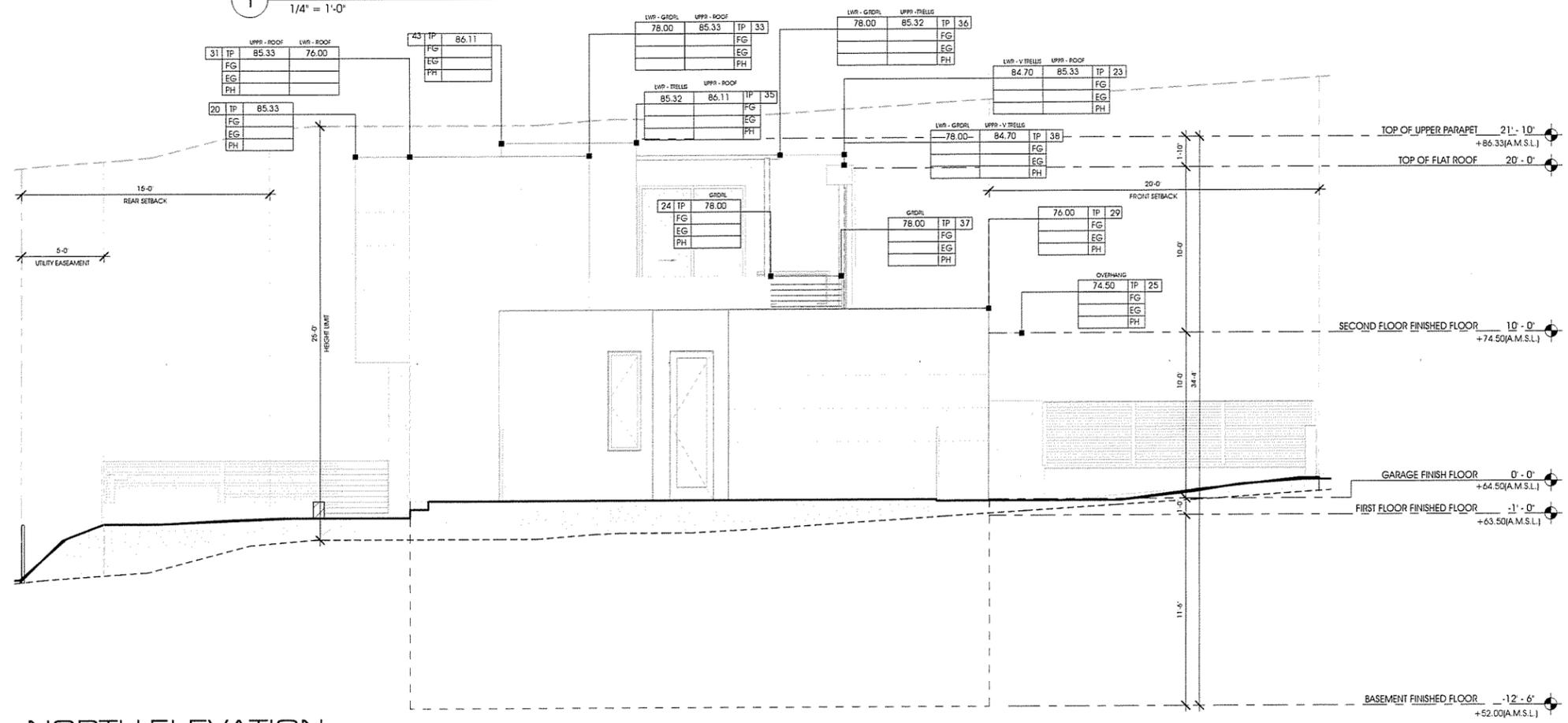
PHASE	
PLANNING SET	DATE
	18-01-2023
	JOB NO.
	21-19

STORY POLES ELEVATIONS

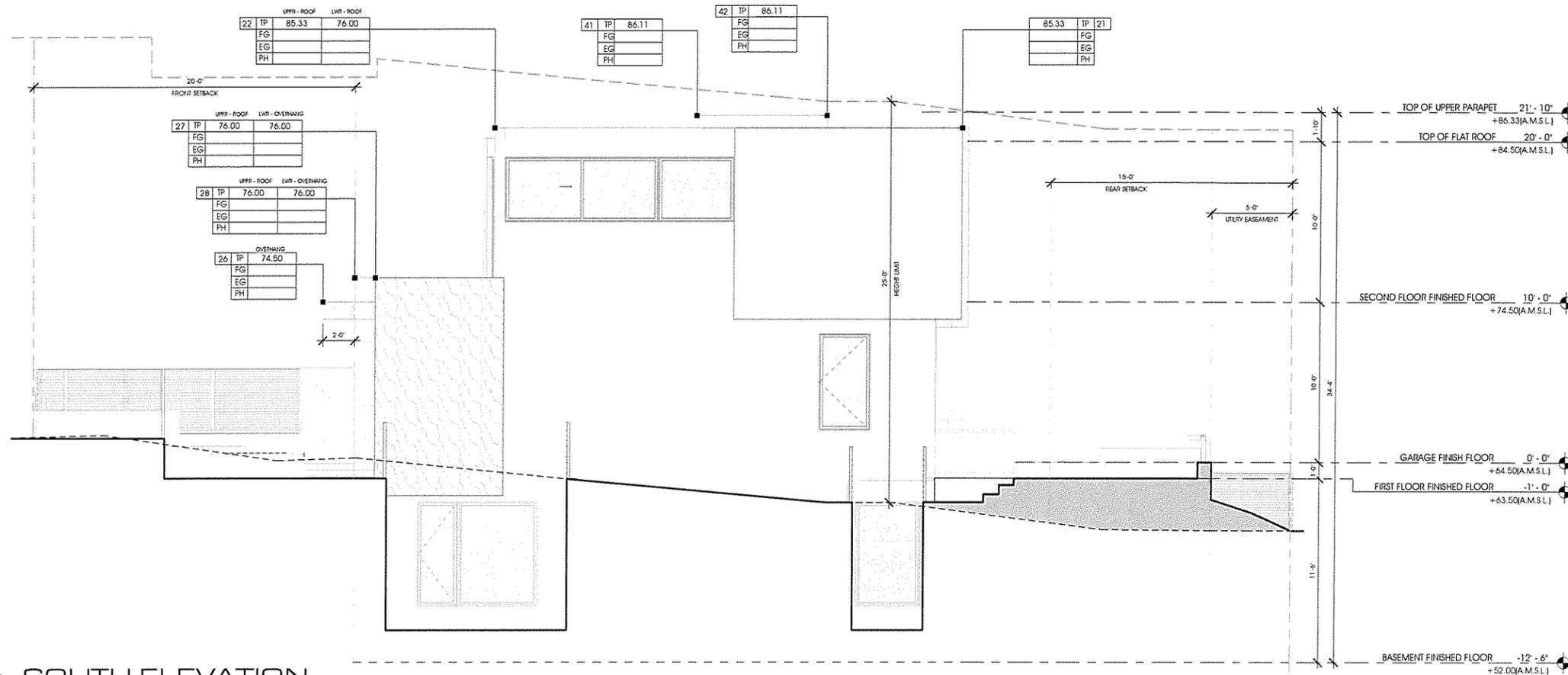
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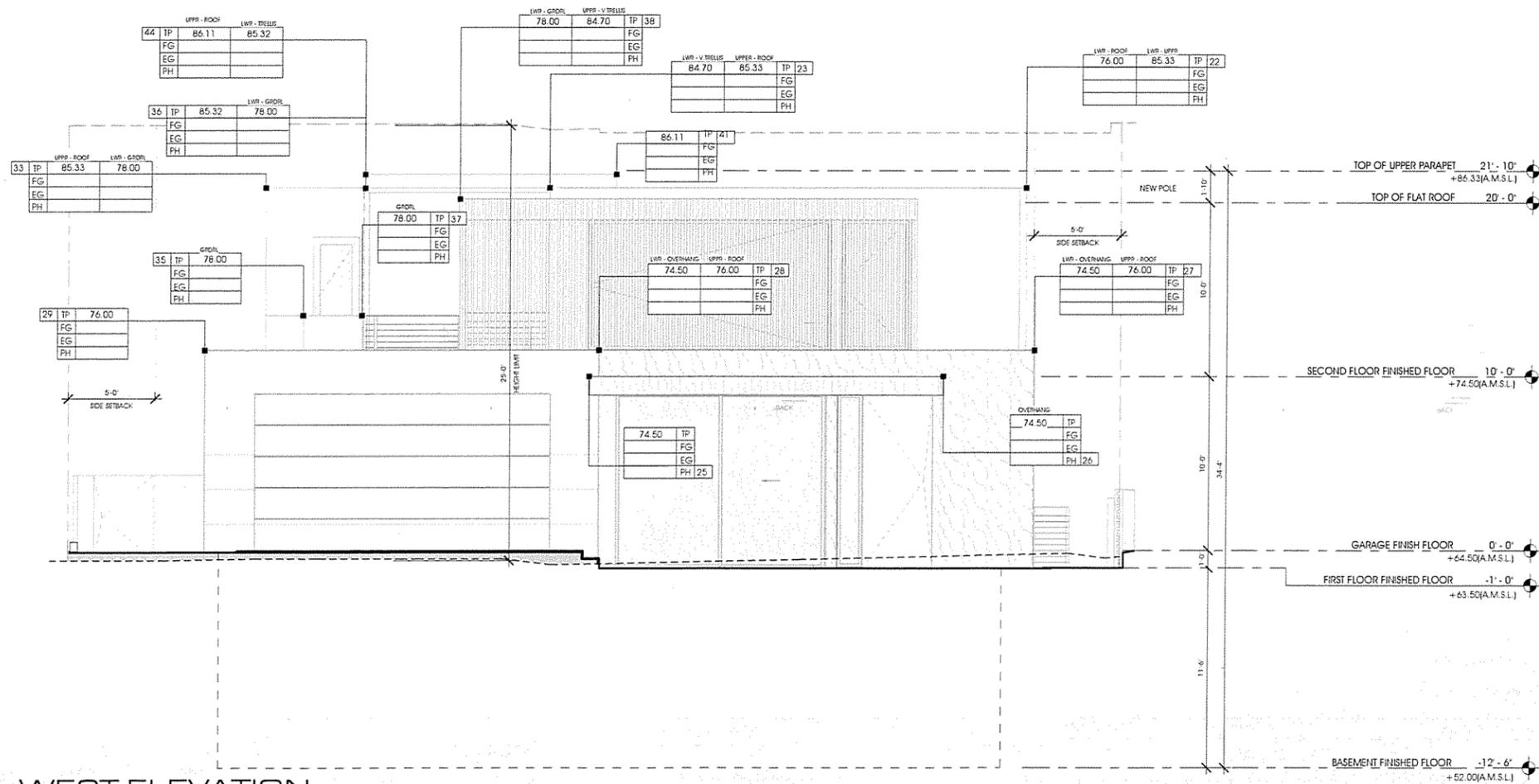
1 EAST ELEVATION
1/4" = 1'-0"



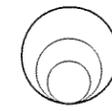
2 NORTH ELEVATION



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION



EOS
architecture inc.

7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

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NORTH HELIX RESIDENCE
228 N HELIX AVENUE
SOLANA BEACH, CA 92075

REVISIONS
01-26-2022 CLIENT PRESENT.
02-22-2022 CLIENT PRESENT.
03-31-2022 PLANNING SET
05-04-2022 1ST SUBMITTAL
06-30-2022 2ND SUBMITTAL
08-25-2022 3RD SUBMITTAL
10-19-2022 3RD SUBMITTAL
01-18-2023 4TH SUBMITTAL

PHASE
PLANNING SET

DATE
18-01-2023

JOB NO.
21-19

STORY POLES ELEVATIONS

A6.2

PRELIMINARY GRADING PLAN

228 N HELIX AVENUE

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES: UNDERGROUND S.A. - (800)-422-4133, OR CALL 811.
- THE SOILS REPORTS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL SURFACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 2:1 FILL 2:1
CUT: 0 CY FILL: 233 CY IMPORT: 233 CY

(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)
*THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBR-... HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN". THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

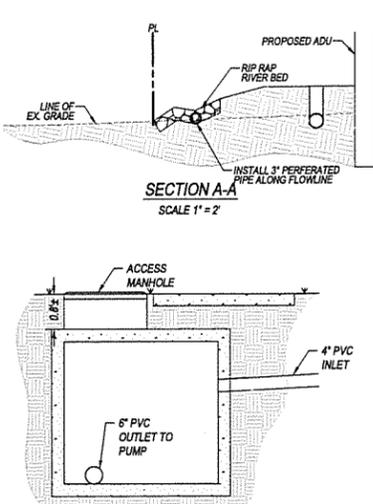
EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:

LBS/ACRE	NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LBS/ACRE	% PURITY/ACRE	SEED SPECIES
20		70% PLUS	ATRIPLEX GLAUCA PLANTAGE INSULARIS
50			ENCELIS PARINOSA LOTUS SCOPARIUS
8		50% PLUS	ETCHSCHOLTZIA CALIF.
6			
7			
91			

DETENTION VAULT DETAIL

NOT TO SCALE
NOTES: DETENTION VAULT DESIGNED TO PROVIDE 250 CF OF STORAGE. SEE PLAN FOR ELEVATIONS.



EROSION CONTROL NOTES - CONTINUED

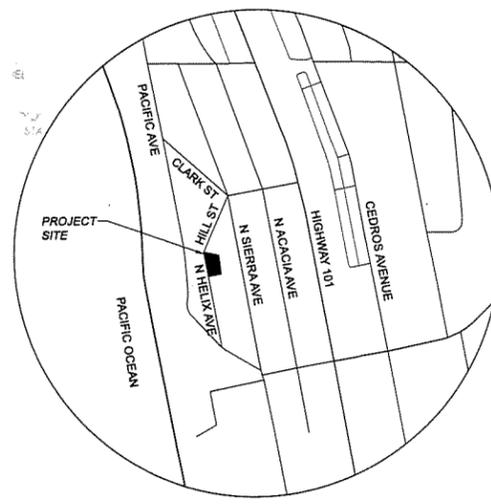
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

EARTHWORK

ITEM	QUANTITY	UNIT
SITE GRADING (OUTSIDE STRUCTURE)	CUT 0	CY
	FILL 233	CY
SITE GRADING (BELOW STRUCTURE)	CUT 667	CY
	FILL 12	CY
EXCAVATE FOR FOOTINGS	8	CY
REMOVAL + RECOMPACT	140	CY
TOTAL GRADING - CUT FILL OUTSIDE	1,060	CY
MAX CUT	1	FT
MAX FILL	4.5	FT

SITE PLAN

1" = 10'



VICINITY MAP

1" = 500'

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

STANDARD SPECIFICATIONS

- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

PROPERTY INFORMATION

SITE ADDRESS:
228 NORTH HELIX AVENUE
SOLANA BEACH, CA 92075
OWNER / PERMITTEE: RYAN BOWERS
PERMITTEE: RONALD GLATTS
OWNER: RONALD GLATTS

TOPOGRAPHIC SURVEY

COMPANY: COFFEY ENGINEERING, INC
PHONE: 858-831-0111
ADDRESS: 9666 BUSINESS PARK AVENUE, SUITE 210, SAN DIEGO, CA 92131

LEGAL DESCRIPTION

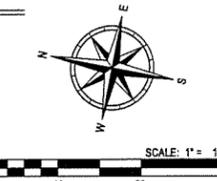
LOT 16, BLOCK 21, SOLANA BEACH, MAP 1749, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER MAY 5, 1923.

LEGEND

ITEM DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		---
CENTERLINE OF ROAD		---
SETBACKS		---
GRADING LIMITS		---
STORM DRAIN, 4" PVC @ 1.0%		---
STORM DRAIN FORCE MAIN, PER PLUMBING CONSULTANT		---
RETAINING WALL, SEE NOTE (18) SDRSD - C4		---
SEE NOTE (19) SDRSD - C9		---
STRUCTURAL WALL, SEE NOTE (15)		---
LANDSCAPE FENCE		---
HARDSCAPE		---
DECOMPOSED GRANITE		---
RIP RAP, NO. 2 BACKING	SDRSD - D40	---
BASEMENT LIMITS		---

PRELIMINARY GRADING NOTES

- EXISTING HYDRANT TO BE RELOCATED ±11
- EXISTING WATER METER TO PROTECT IN PLACE
- EXISTING RETAINING WALL TO REMAIN + NOT DISTURBED
- EXISTING FENCE TO REMAIN AND NOT DISTURBED
- EXISTING UTILITY POLE + GUY WIRE TO REMAIN AND NOT DISTURB
- SPA BY OTHERS
- LANDSCAPE WATER FEATURE. SEE LANDSCAPE ARCHITECT PLANS
- PROPOSED DRIVEWAY ENTRY, SDRSD G-14D, WIDTH 17'
- PROPOSED FENCE + GATE
- PROPOSED LIGHT WELLS
- STORM WATER SUMP PUMP BY PLUMBING CONSULTANT, PER PLAN
- 8" ACO TRENCH DRAIN, OR EQUIVALENT
- PROPOSED ARCHITECTURAL / STRUCTURAL SITE WALL
- PROPOSED ROOF LIMITS
- PROPOSED DECORATIVE RIP RAP RIVERBED, SIZING PER SDRSD D-40
- PROPOSED BBQ SPACE PER LANDSCAPE ARCHITECT PLANS
- PROPOSED BASEMENT WALL LIMITS
- PROPOSED RETAINING WALL, SDRSD C-4, H=3.5' MAX
- PROPOSED RETAINING WALL SDRSD C-9, H=2' MAX
- PROPOSED STORMWATER DETENTION TANK
L X W X H
11' x 6.5' x 3.5' (250 CF, MINIMUM)
FG 65 (APPROX. ABOVE TANK)
IE 59.5 (APPROX. INTERNAL IE OF TANK)



EASEMENTS

- AN EASEMENT FOR EITHER OR BOTH POLE LINES, UNDERGROUND CONDUITS TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED APRIL 01, 1924 IN BOOK 1006 OF DEEDS, PAGE 24.
- AN EASEMENT FOR WATER MAINS, TOGETHER WITH ALL RIGHTS OF INGRESS TO AND EGRESS FROM SAID WATER MAINS FOR PURPOSES OF INSPECTING, REPAIRING AND RELAYING SAME AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED OCTOBER 24, 1925 IN BOOK 1115 OF DEEDS, PAGE 402.

IMPERVIOUS/ PERVIOUS AREAS

EXISTING CONDITION	PROPOSED CONDITION	AREA
IMPERVIOUS:	1,139 SF	3,100 SF
PERVIOUS:	3,352 SF	0 SF
	REMOVE / REPLACE	1,391 SF

ABBREVIATIONS

INVERT ELEVATION	IE	TOP OF CURB	TC
FINISHED FLOOR	FF	TOP OF GRATE	TG
FINISHED GRADE	FG	MATCH EXISTING ELEVATION (FG)	FYSB
FINISHED SURFACE	FS	REAR YARD SETBACK	RYSB
FLOWLINE	FL	SIDE YARD SETBACK	SYSB
EDGE OF ASPHALT	EA		
EXISTING GRADE	EG		

DECLARATION OF RESPONSIBLE CHARGE

I, JASON A. SANTOS, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH DRP NO. 29-007.

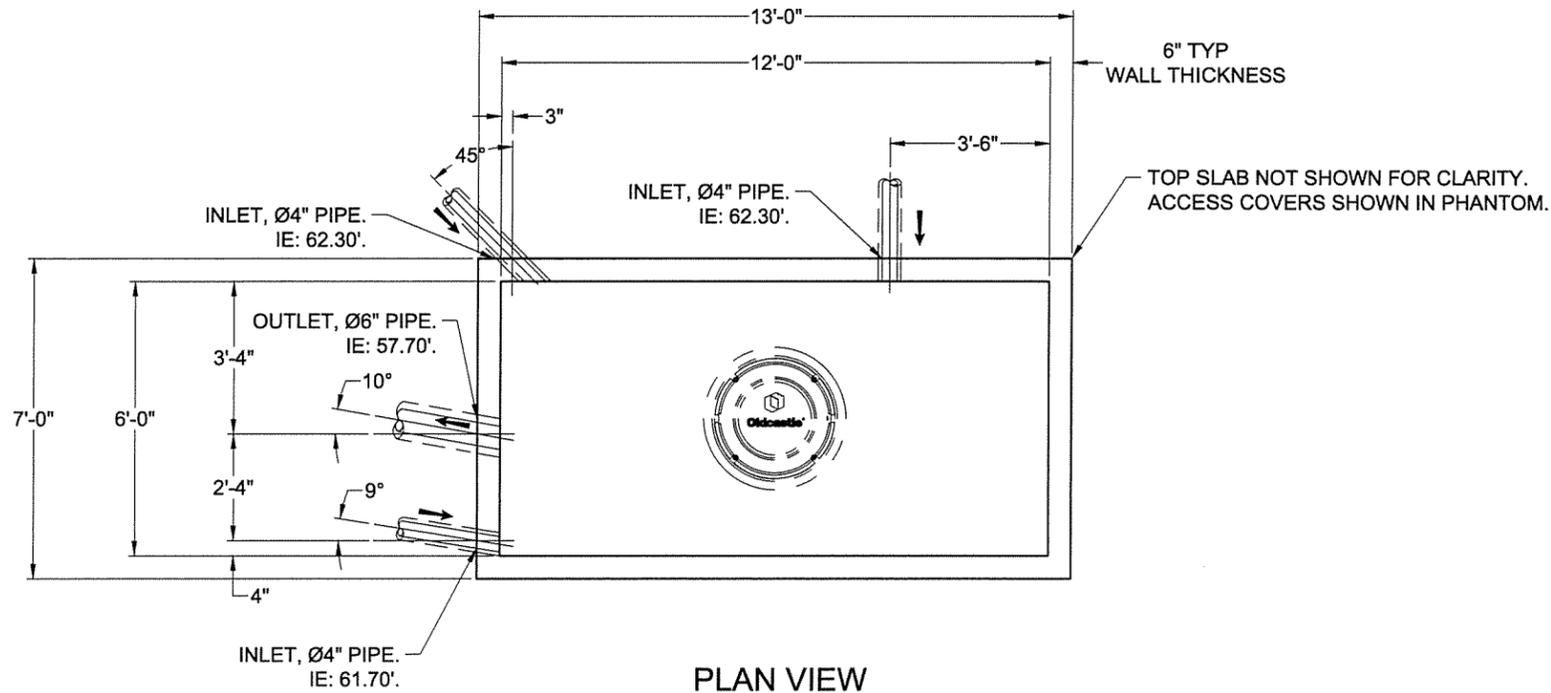
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

BY: JASON A. SANTOS
RCE NO. 86418 EXP 3/31/2023
PASCO LARET SUITER & ASSOCIATES

PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

ENGINEER OF WORK	CITY APPROVED CHANGES	APPD	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
BY: JASON A. SANTOS RCE # 86418 DATE: JAN. 2023 EXP: 12/31/23				BY: MOHAMMAD SAMIAK CITY ENGINEER R.C.E. - 37146 DATE: EXP: 9/30/22		DESCRIPTION: BASED ON 3.5" NGS DISK IN HEADWALL, EASE SIDE OF HIGHWAY 101, AS SHOWN ON ROS 18971 AS SOLB-1. ELEV.: 34.67 DATUM: NAVD88	PRELIMINARY GRADING PLAN FOR: BOWERS RESIDENCE - 228 NORTH HELIX AVENUE		DRP22-013 SDP22-011 SHEET 1 OF 1

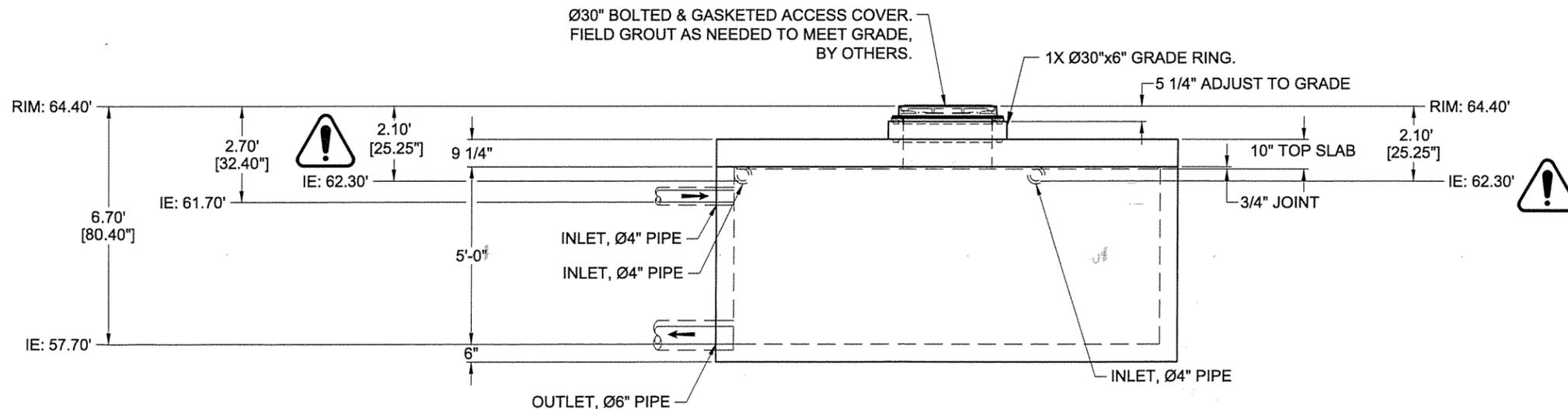
STORAGE VOLUME: 360 cf



PLAN VIEW



LOWERED INLET IE TO FIT PIPE WITHIN VAULT.



ELEVATION VIEW

NOTES:

1. DESIGN LOADINGS:
 - A. AASHTO HS-20-44 W/ IMPACT.
 - B. DESIGN FILL: 1' MAXIMUM.
 - C. ASSUMED WATER TABLE = BELOW INVERT.
 - D. DRY LATERAL EARTH PRESSURE (EFP) = 45 PCF.
 - E. LATERAL LIVE LOAD SURCHARGE = 80 PSF (APPLIED TO 8' BELOW GRADE).
 - F. NO LATERAL SURCHARGE FROM ADJACENT BUILDINGS, WALLS, PIERS, OR FOUNDATIONS.
2. CONCRETE 28 DAY COMPRESSIVE STRENGTH SHALL BE 5,000 PSI MINIMUM.
3. STEEL REINFORCEMENT: REBAR, ASTM A-615 OR A-706, GRADE 60.
4. CEMENT: ASTM C-150 SPECIFICATION.
5. REQUIRED NATIVE ALLOWABLE SOIL BEARING PRESSURE = 2,500 PSF.
6. REFERENCE STANDARD:
 - A. ASTM C 890
 - B. ASTM C 913
7. THIS STRUCTURE IS DESIGNED TO THE PARAMETERS NOTED HEREIN. PLEASE VERIFY THAT THESE PARAMETERS MEET PROJECT REQUIREMENTS (I.E. LIVE LOAD, FILL RANGE, WATER TABLE). IF DESIGN PARAMETERS ARE INCORRECT, REVIEWING ENGINEER/AUTHORITY SHALL NOTIFY OLDCASTLE INFRASTRUCTURE UPON REVIEW OF THIS SUBMITTAL.
8. OVERSIZED HOLES TO ACCOMMODATE SPECIFIC PIPE TYPE MUST BE CONCENTRIC TO PIPE ID. AFTER PIPES ARE INSTALLED, ALL ANNULAR SPACES SHALL BE FILLED WITH A MINIMUM OF 3000 PSI CONCRETE FOR FULL THICKNESS OF PRECAST WALLS. PIPES ARE TO BE FLUSH WITH THE INSIDE SURFACE OF THE CONCRETE STRUCTURE.
9. CONTRACTOR RESPONSIBLE TO VERIFY ALL SIZES, LOCATIONS AND ELEVATIONS OF OPENINGS.
10. CONTRACTOR RESPONSIBLE TO ENSURE ADEQUATE BEARING SURFACE IS PROVIDED (I.E. COMPACTED AND LEVEL PER PROJECT SPECIFICATIONS).
11. SECTION HEIGHTS, SLAB/WALL THICKNESSES AND KEYWAYS ARE SUBJECT TO CHANGE DUE TO AVAILABILITY AND PRODUCTION PLANT CAPABILITY.
12. MAXIMUM PICK WEIGHT: TBD.

- PRELIMINARY -
NOT FOR CONSTRUCTION



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Detention Vault 6'x12'					
CUSTOMER Pasco Laret Suiter & Associates - Encinitas					
JOB NAME Helix-Bowers Residence - Solana Beach, CA					
DATE 6/28/22	MFG 070-FO	DRAWN PPS	ENGINEER CDH	CHECKED CDH	SALES ORDER -
INTERNAL DRAWING ID 22-750988-6x12				REVISION 1	SHEET 1 OF 1
Helix-Bowers Residence				REV DATE 8/24/22	

22-750988-6x12 Helix-Bowers Residence.dwg, 2022-08-24 10:51 AM, Akshata Gavani 0.326

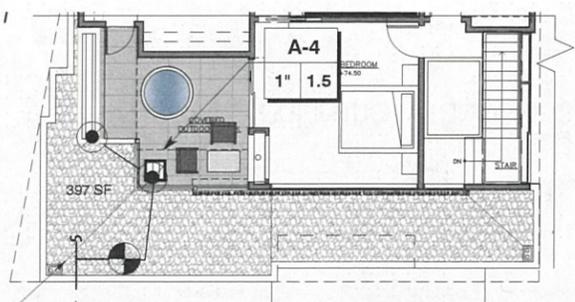
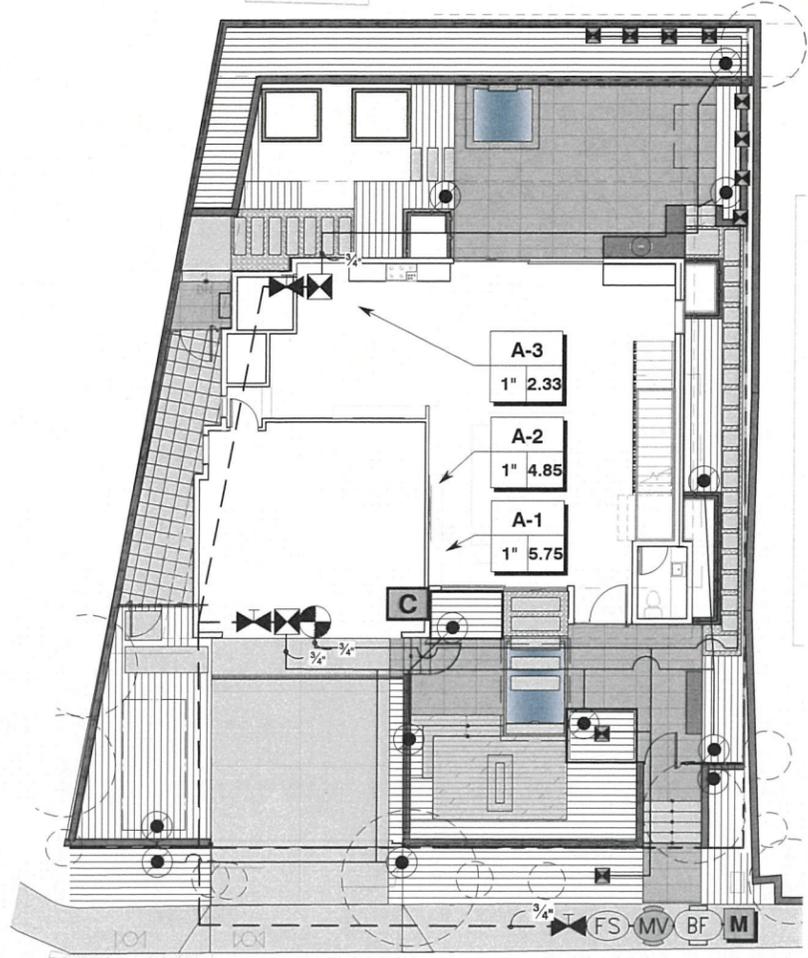
REV	DESCRIPTION	BY	DATE

APPLICANTS STATEMENT OF COMPLIANCE

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

[Signature]
APPLICANT SIGNATURE

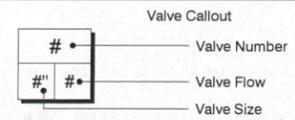
1.17.22
DATE



CONTRACTOR TO PROVIDE CONNECTION FOR OPTIONAL GREEN ROOF.

IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Hunter RZWS-SLEEVE-18-CV 18" long RZWS with Filter Fabric Sleeve, .25gpm or .50gpm bubbler options, Check Valve, 1/2" swing joint for connection to 1/2" pipe. TO BE USED FOR ESTABLISHMENT PERIOD ONLY.	30
	Hunter ICZ-101 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen. Install in Jumbo Valve Box	
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	
	Area to Receive Dripline Hunter HDL-06-12-CV HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 16" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings. For use on Slopes with Moderate/Clay Soils	
	Potential Green Roof Area - Dripline	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	Hunter PGV-101G 1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Female NPT Inlet/Outlet. Globe Configuration, With Flow Control.	
	Nibco T-113-K Class 125 bronze gate shut off valve with cross handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	
	Hunter ICV-G-FS 1" 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry. Size per Mainline	
	Zurn 975XL 3/4" Reduced Pressure Backflow device	
	Controller Hunter HC-12 12 station controller with Wi-Fi connection	
	Hunter FLOW-CLIK Flow Sensor SOV with Interface Panel, Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required. SIZE: 1" for max 2-17gpm. 1.5" for max 18-35gpm	
	Water Meter 3/4"	
	Irrigation Lateral Line: PVC Class 200 SDR 21	
	Irrigation Mainline: PVC Schedule 40	



Carson Douglas
Landscape Architecture
619.995.1306
cd-la.com

SHEET TITLE:
IRRIGATION PLAN

PROJECT | CLIENT:
HELIX RESIDENCE
LANDSCAPE CONSTRUCTION PLAN
228 N HELIX AVENUE
SOLANA BEACH CA, 92075

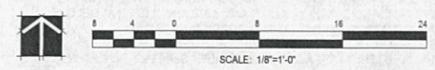


revisions

Submittal #	Date
4	1/18/23

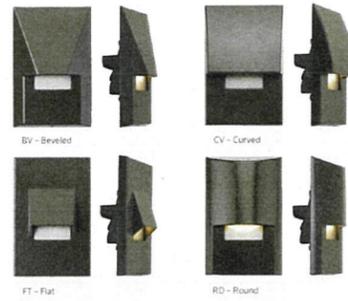
drawing prepared by - CDLA
sheet plot date - 1/18/22
carson douglas job number - 22-004
design start date - 2022

L-4

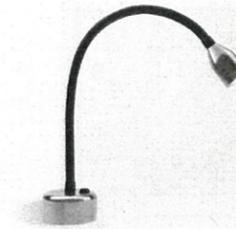




PROJECT _____
 CATALOG# _____
 TYPE _____
 NOTES _____



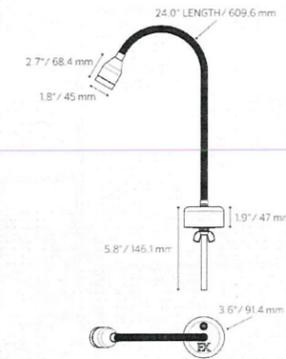
PROJECT _____
 CATALOG# _____
 TYPE _____
 NOTES _____



The BQ 1 LED stainless steel light illuminates grilling areas. It is designed to work with the Luxor® system, or it can be operated independently with an optional plug-in transformer.

BQ: Barbeque Light

NUMBER OF LEDS:	1
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt
USEFUL LED LIFE (L70):	50,000 Hrs. avg.
INPUT VOLTAGE:	10 to 15V
VA TOTAL (Use to size the lighting controller):	2.4
WATTS USED:	2.0
LUMENS PER WATT (EFFICACY):	42
MAX LUMENS:	81.5
CRI (Ra)	82



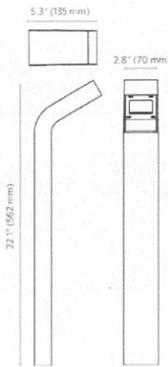
Learn more about FX Luminaire specialty lights. Visit: fxl.com/products

M-PJ Path Light DESIGNER PLUS

The M-PJ path light adds style and functionality to modern installations. Durable aluminum construction stands up to the elements.

Quick Facts

- Tamper-resistant features
- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15 V



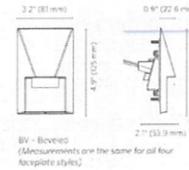
LANDSCAPE LIGHTING

SL Wall Light DESIGNER PLUS

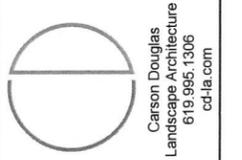
The versatile SL wall light is available with four faceplate options to maximize design flexibility in a range of applications.

Quick Facts

- Tamper-resistant features
- Glare-free shielding
- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15 V



LANDSCAPE LIGHTING



Carson Douglas
 Landscape Architecture
 619.995.1306
 cd-la.com

SHEET TITLE:
 LIGHTING CUT SHEETS

PROJECT | CLIENT:
 HELIX RESIDENCE
 LANDSCAPE CONSTRUCTION PLAN
 228 N HELIX AVENUE
 SOLANA BEACH CA, 92075



revisions

Submittal 4	1/18/23
-------------	---------

drawing prepared by - CDLA
 sheet plot date - 1/18/22
 carson douglas job number - 22-004
 design start date - 2022



CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-1782

RECEIVED
MAY 11 2023
Community Development Dept
CITY OF SOLANA BEACH

STORY POLE HEIGHT CERTIFICATION

Date: MAY 8, 2023

Assessor's Parcel No.: 263-321-21

Site Address: 228 N. HELIX AVE.

Owner's Name: BOWER

This is to certify that on MAY 8, 2023 the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

Highest point of the story poles:	<u>86.11'</u>	(M.S.L.)*
Pre-existing grade:	<u>61.11'</u>	(M.S.L.)*
Finished grade elevation:	<u>63.50'</u>	(M.S.L.)*
Finished floor elevation:	<u>—</u>	(M.S.L.)*

TOTAL MAXIMUM HEIGHT: 25.00

PLEASE NOTE: The story poles must show and include the total height must include roofing materials. At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on Story Pole Height Certification.

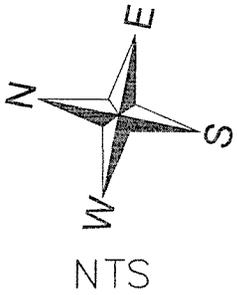
For additional information, please contact me at 760-224-7653 (phone number)

Christopher B. Collins
Licensed Land Surveyor

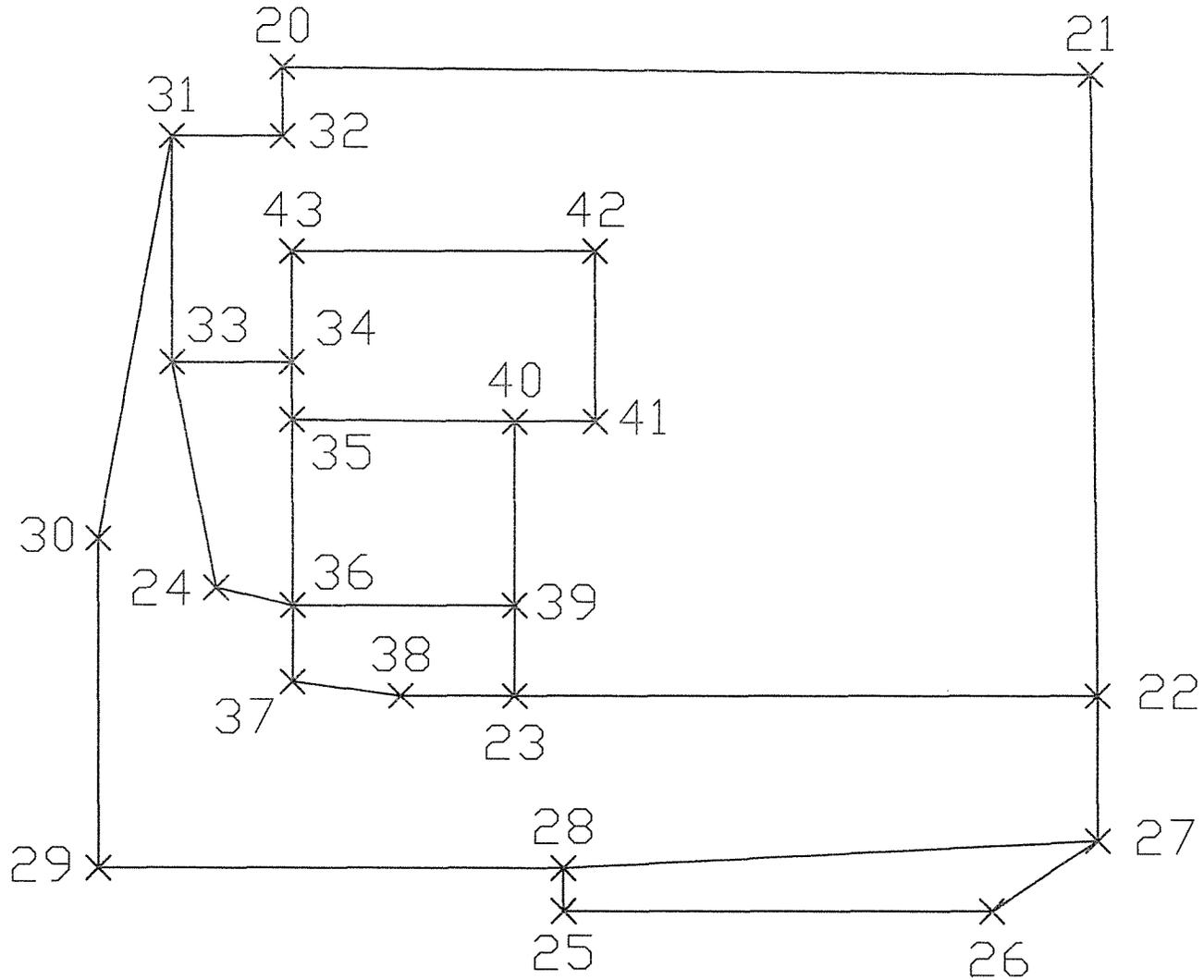


Seal of Registration:

*Mean Sea Level (MSL) — all measurements must utilize an established benchmark that will not change over the course of the project. TOP OF WALL @ COR OF WALL. BTWN SITE WTR. MTR'S "TW" (PER TOPO) ELEV. = 67.77'



BOWERS RESIDENCE
228 N. HELIX AVE
CSP 22-1661R1



C-STORY POLES, INC.

Chris Collins PLS 8591
 POB 230972 Encinitas, CA 92023
 (760) 224-7653 chris@cstorypoles.com

Bowers Residence
 228 North Helix Avenue
 W.O. CSP 22-1661R
 CC, SM, RM

5/9/2023

Page 1 of 1

* "T" T-post, "B" Bucket, "R" Roof, "FS" Finished Surface

SP#	BASE ELEV	PLAN ELEV	C/F LENGTH	DESCRIPTION *
20	60.68	85.33	F - 24.65	B
21	61.47	85.33	F - 23.86	T
22	72.80	85.33	F - 12.53	R
	72.80	76.00	F - 3.20	
23	63.10	85.33	F - 22.23	T
	63.10	84.70	F - 21.60	
24	62.86	78.00	F - 15.14	T
25	64.09	74.50	F - 10.41	T
26	71.09	74.50	F - 3.41	R
27	71.56	76.00	F - 4.44	R
	71.56	74.50	F - 2.94	
28	63.65	76.00	F - 12.35	T
	63.65	74.50	F - 10.85	
29	63.68	76.00	F - 12.32	T
30	62.57	76.00	F - 13.43	T
31	60.83	85.33	F - 24.50	B
	60.83	76.00	F - 15.17	
32	60.79	85.33	F - 24.54	B
33	61.81	85.33	F - 23.52	B
	61.81	78.00	F - 16.19	
34	61.72	85.33	F - 23.61	B
35	62.08	86.11	F - 24.03	T
	62.08	85.33	F - 23.25	
36	63.05	85.33	F - 22.28	T
	63.05	78.00	F - 14.95	
37	63.23	78.00	F - 14.77	T
38	63.49	84.70	F - 21.21	T
	63.49	78.00	F - 14.51	
39	63.01	85.33	F - 22.32	T
40	62.33	85.33	F - 23.00	T

41	62.38	86.11	F - 23.73	T
42	64.61	86.11	F - 21.50	WOOD DECK
43	61.11	86.11	F - 25.00	B

RECEIVED

DEC 12 2022

APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)

Permitting and Assessment Dept.
City of Solana Beach

Project No.: DRP22-013 / SDP22-011 ; APN 243-321-21-00

1. Address of property for which the structure development permit has been requested:

228 N. Helix Ave., SB, CA

2. Provide the following information for the individual filing this Application for Assessment:

Name: Jill Martin

Address: [REDACTED] N. Helix Ave. SB, CA

Phone Number: [REDACTED]

Email: [REDACTED]

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment:

see appended

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment:

see appended

5. Description of the Claimants attempt(s) to resolve this issue with the owner/representative of the property for which a Structure Development Permit has been requested:

see appended

[Signature]
Signature of Applicant for Assessment

12-11-2022
Date Submitted

STAFF USE ONLY:

Application for Assessment fee paid?

[Signature]

Details per VAC Application Form [Appended herewith]

Project File: DRP22-013/ SDP22-011

APN: 263-321-21-00

- 1) Project Address:
228 N Helix Ave, Solana Beach, CA 92075
- 2) VAC Applicant, Address & Contact info:
Jill (& Jeremy) Martin, [REDACTED] N Helix Ave, Solana Beach, CA 92075; [REDACTED];
[REDACTED]
- 3) Viewing Area with Obstructed View:
Our single-story house has a primary viewing area within the living room and kitchen (open concept-style) from which a panorama of blue skies and palm trees, resembling a painted mural, is viewed looking out from our north-facing clerestory windows. At multiple timepoints throughout each year, we enjoy watching the returning families of nesting snowy egrets and yellow-crowned night herons from atop the very palm trees which are captured within this panoramic view. The next-door proposed structure at 228 N Helix would fully (100%) obstruct our view and replace the aesthetically pleasing sky and palm trees with an exterior wall of the structure. The loss of this view would also negatively impact the amount of natural light we experience day-to-day. I have attached multiple photos of the obstructed view from our north-facing clerestory windows and images of our 222 N Helix architectural plan (per our single-story remodel in 2018) which shows the floor plan of the primary viewing area and a north elevation showing our clerestory windows.
- 4) Proposed Offending Structure:
The portion of the proposed structure which is particularly objectionable is the 2nd story, at least the front-most portion thereof, positioned in direct alignment with our north-facing clerestory windows. This view obstruction can possibly be remedied by eliminating, minimizing, and/or offsetting the 2nd story in a manner which shifts the alignment of the 2nd story exterior wall away from our north-facing clerestory windows.
- 5) Description of Meetings with Owner/Representative of Project:
I met with the architect representing the buyers (prospective owners) on two occasions to discuss my objections to their proposed structure in so far as it pertained to our obstructed view as described above. [Note: The buyers are not yet owners. The buyers are in a long escrow and my understanding is that they have not yet closed escrow.] Our first meeting on Oct 20th, 2022, resulted in the architect/buyers adding several story poles for our discussion purposes. At our second meeting on Dec 5th, 2022, I was able to show the architect from inside our viewing area why the added discussion poles would not provide a resolution and would still result in a nearly 100% obstruction by the exterior wall of their proposed structure. While no resolution was reached at the conclusion of our 2nd meeting, the architect mentioned she would discuss some possible 2nd story design revisions with the buyers. I have not heard from the architect since our Dec 5th meeting.



Show
in next
photo

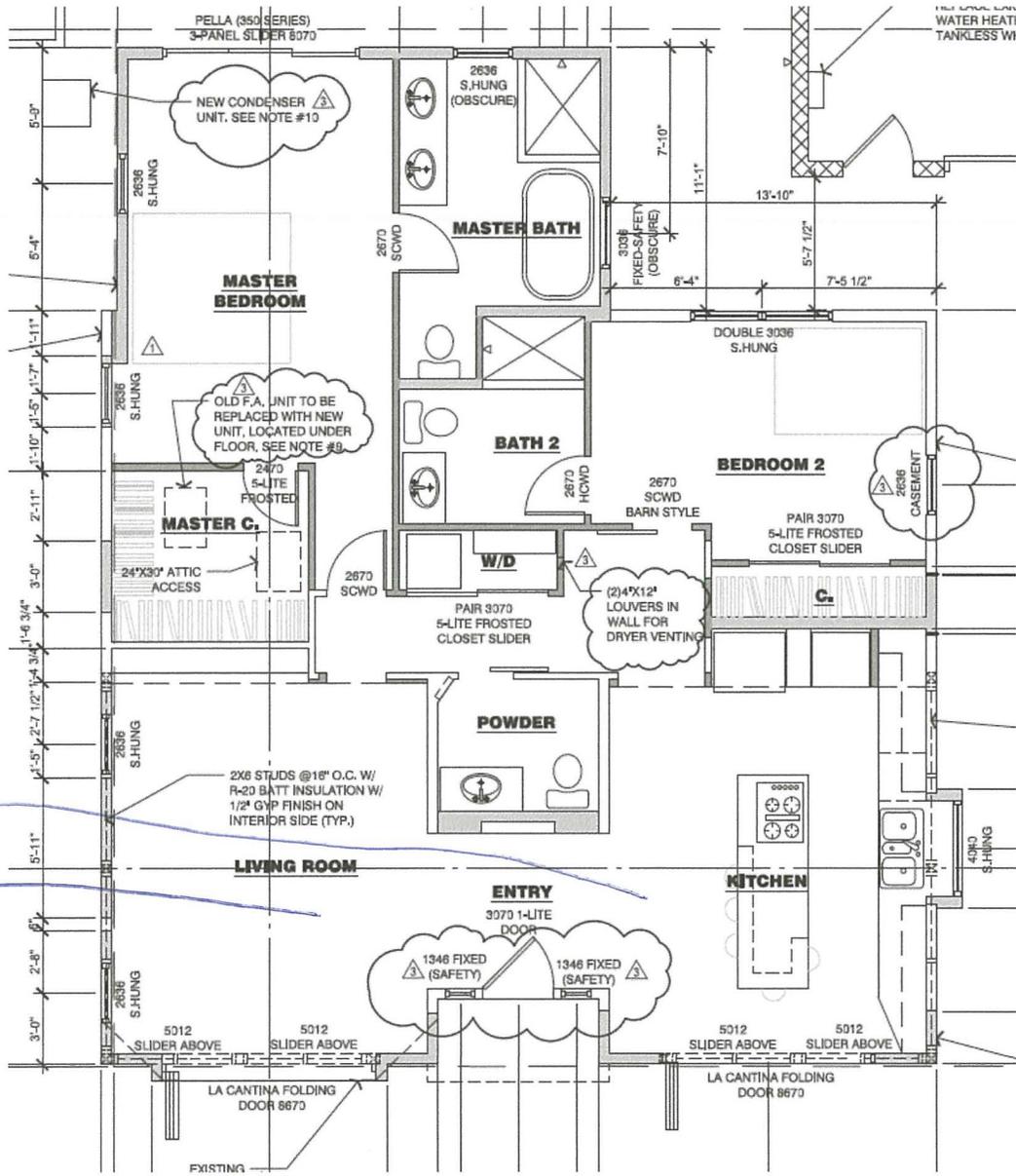
then
windows

Keep in mind there is another flag higher
out of view which will result in a view through
these windows of only an exterior wall

This view looks up the wall
through clerestory windows showing
the proposed exterior wall will fully

abstract
our
view

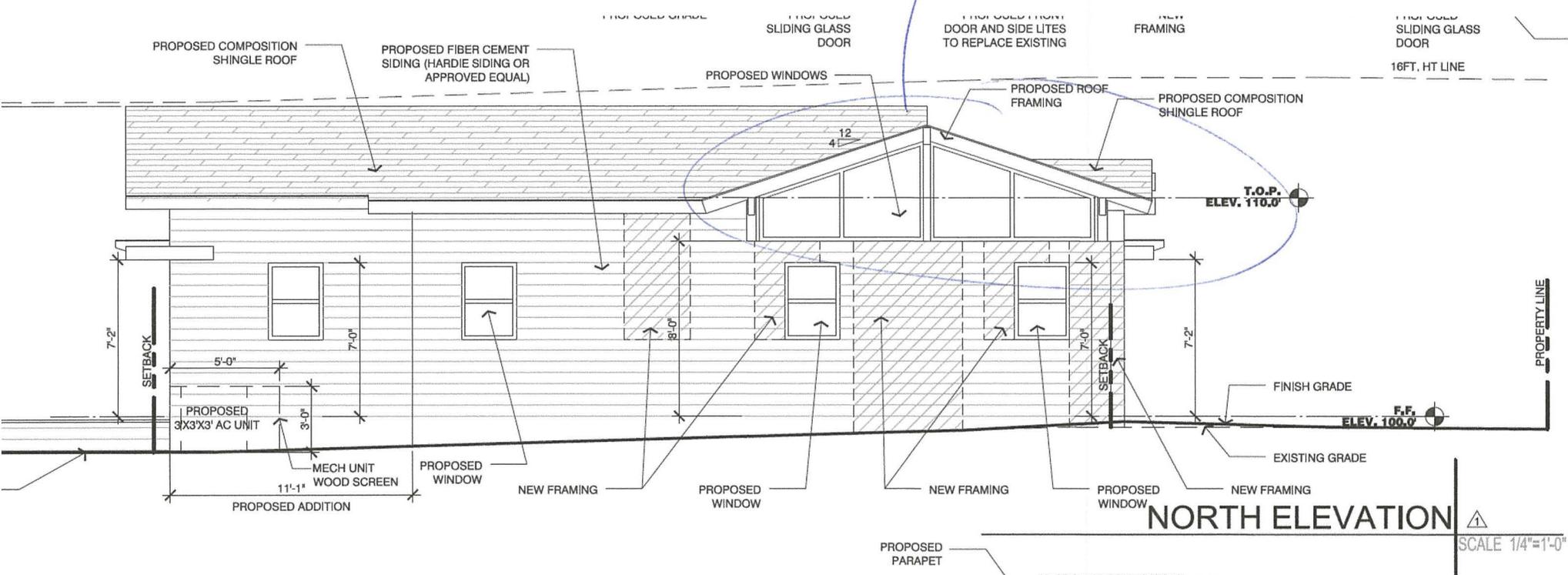




Viewing Area

due to high ceilings and open concept design, our viewing area is within living room & kitchen

these windows are fully constructed by proposed structure



NORTH ELEVATION

SCALE 1/4"=1'-0"

Tiffany Wade

From: Jill Martin [REDACTED]
Sent: Sunday, December 11, 2022 10:43 AM
To: Corey Andrews
Cc: Jill D. Martin
Subject: VAC application submission re: 228 N Helix Project (APN: 263-321-21-00)
Attachments: Jill Martin_VAC application form.pdf; Jill Martin_VAC application.pdf

Hi Corey,

Many thanks for your time on the phone last Thursday regarding the VAC application submission process... Your feedback was very helpful! I will follow up this emailed submission with an in-person submission package which will include the application fee.

Best regards,
Jill

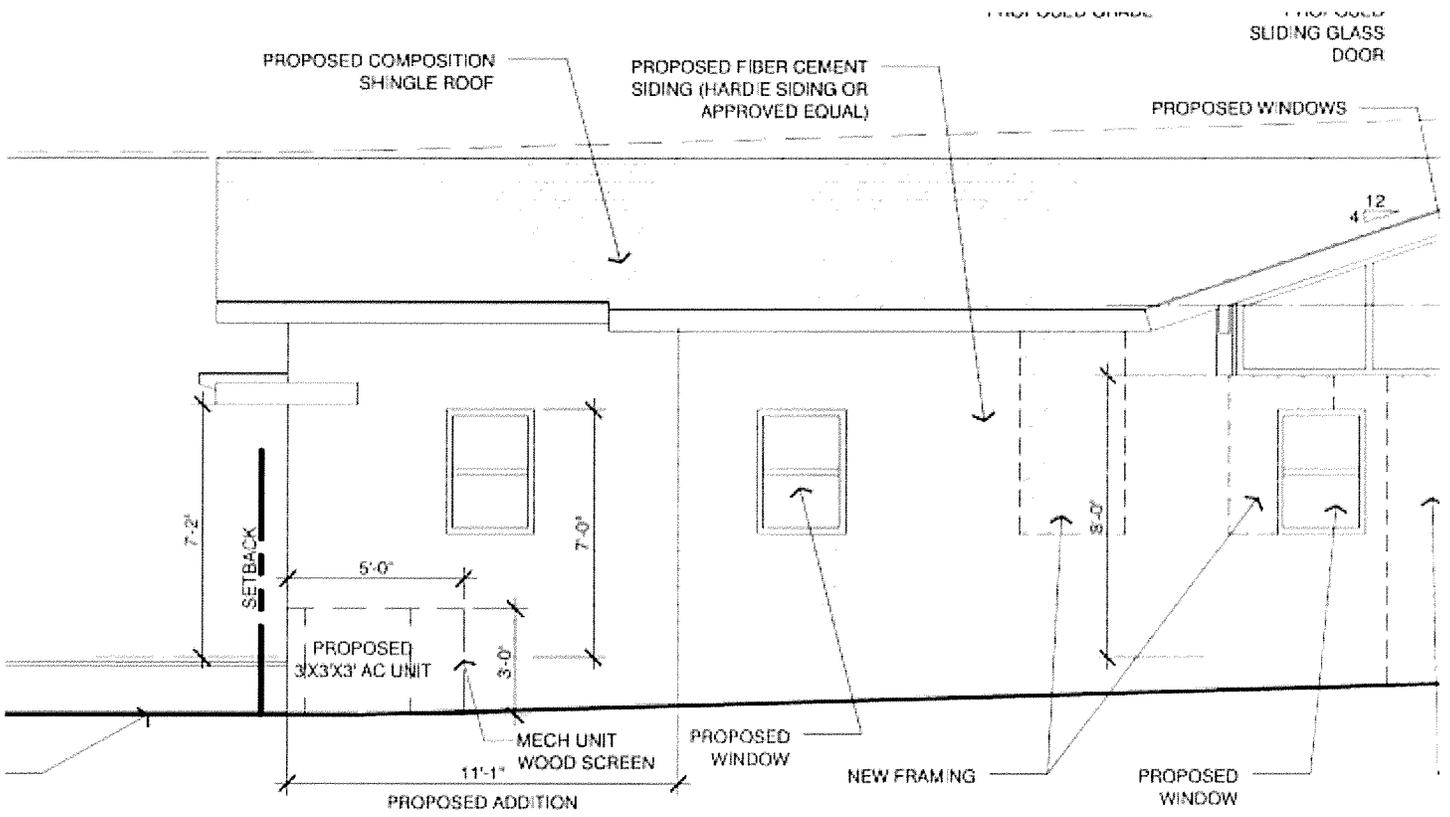
VAC Applicant: Jill Martin

[REDACTED] N Helix Ave.

Solana Beach, CA 92075

[REDACTED]

[REDACTED]



P





Tiffany Wade

From: Jill Martin [REDACTED]
Sent: Wednesday, February 1, 2023 3:31 PM
To: Corey Andrews
Subject: Re: VAC application submission re: 228 N Helix Project (APN: 263-321-21-00)

Hi Corey,

I wanted to supplement my file with the attached photos, if possible. The contractor who remodeled our house had done a photo shoot awhile ago and when I was looking through these photos the other day, I realized that their photographer captured the view through our north-facing clerestory windows in a manner consistent with my description of the view in my VAC application.

Many thanks,
Jill Martin



On Dec 11, 2022, at 10:42 AM, Jill Martin [REDACTED] wrote:

Hi Corey,

Many thanks for your time on the phone last Thursday regarding the VAC application submission process... Your feedback was very helpful! I will follow up this emailed submission with an in-person submission package which will include the application fee.

Best regards,

Jill

VAC Applicant: Jill Martin

█ N Helix Ave.

Solana Beach, CA 92075

█

█

<Jill Martin_VAC application form.pdf>

<Jill Martin_VAC application.pdf>

<Jill Martin_Primary View Area.png>

<Jill Martin_North facing clerestory windows.png>

<JillMartin_obstructed view.jpeg>

<JillMartin_obstructed view2.jpeg>

**APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)**

Project No.: APN: 263-321-21-00

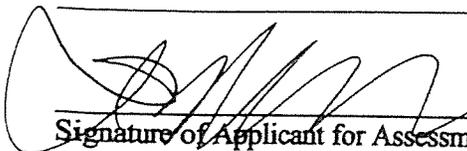
1. Address of property for which the structure development permit has been requested:
228 N. Helix Ave

2. Provide the following information for the individual filing this Application for Assessment:
Name: Jill Martin
Address: [REDACTED] N. Helix Ave.
Phone Number: [REDACTED]
Email: [REDACTED]

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment:
appended herewith

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment:
appended herewith

5. Description of the Claimants attempt(s) to resolve this issue with the owner/representative of the property for which a Structure Development Permit has been requested:
appended herewith


Signature of Applicant for Assessment

3-15-2023
Date Submitted

STAFF USE ONLY:

Application for Assessment fee paid? _____

Amended View Assessment Application & Application Form [Appended herewith]
Project File: DRP22-013/ SDP22-011; APN: 263-321-21-00

1) Project Address: 228 N Helix Ave, Solana Beach, CA 92075

2) VAC Applicant, Address & Contact info:

Jill (& Jeremy) Martin

██████ N Helix Ave, Solana Beach, CA 92075
████████████████████
████████████████████

3) Viewing Area with Obstructed View:

Our modest single-story house has a primary viewing area within the living room and kitchen (open concept-style) from which a panorama of blue skies and palm trees, resembling a painted mural, is viewed looking out from our north-facing clerestory windows. At multiple timepoints throughout each year, we enjoy watching the returning families of nesting snowy egrets and yellow-crowned night herons from atop the very palm trees captured within this panoramic view. Importantly, this view is enjoyed at varying angles depending upon where you are standing in the kitchen or in the living room and is our only aesthetically pleasing (and calming) unadulterated view of nature from inside our home. The next door proposed changes to the structure at 228 N Helix would obstruct this primary view and replace the aesthetically pleasing sky and palm trees with a sizeable portion of its exterior wall (see appended photo with shading). The loss of this view, even partially, would negatively impact the amount of natural light we experience day-to-day and ruin the aesthetic experience of viewing the sky and treetop mural. It is challenging to ascertain exactly which of the original story poles will remain as an obstruction. The shaded photo considers only new pole 23 but I believe other original or amended poles will still account for even more of an obstruction beyond that shown. Please also refer to the multiple photos provided in our original view assessment application showing the obstructed view from our north-facing clerestory windows and images of our 222 N Helix architectural plan (per our single-story remodel in 2018) which shows the floor plan of the primary viewing area and a north elevation showing our clerestory windows.



4) Proposed Offending Structure:

The portion of the proposed structure which is particularly objectionable is the overall height of the proposed structure and the front-most southwest portion of the 2nd floor, positioned in direct alignment with our north-facing clerestory windows. This view obstruction can possibly be remedied by eliminating, minimizing, and/or offsetting the 2nd story in a manner which shifts the alignment of the 2nd story exterior wall away (in a northeast direction) from our north-facing clerestory windows.

5) Description of Meetings with Owner/Representative of Project:

The architect, on behalf of the investors/ developers, has claimed in recent email correspondence with neighbors that the proposed changes, which prompted the city's second notification letter dated February 14, 2023, were in response to "ongoing coordination with neighbors." Indeed, the city's second notification letter states "[t]he Applicant has since revised the project to address neighborhood concerns." These statements are not true in our instance, nor do I know of any neighbor for whom these statements would be true. My last meeting with the architect on December 14th of 2022 ended unprofessionally on her part. I have not heard a word from her since. One of the investors/ developers* subsequently met with me on February 8th, 2023. At this meeting, the investor/ developer apologized to me for the architect's behavior, and I described to him why the proposed changes would not resolve my view issues. However, no further discussion with the investors/ developers has since transpired. So, it will be no surprise that we take issue with their characterization of the dynamic between us as "ongoing coordination" and "addressing neighborhood concerns."

*The investors /developers are not the actual owners yet. My understanding is that they are in a contractual long escrow and will not close until and if they get this SDP/DRP.

DEC 12 2022

APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)

Project No.: 20PR22-013/SDP22-011:APN:263-321-4-00

1. Address of property for which the structure development permit has been requested:

228 N. Helix Ave.
Solana Beach CA. 92075

2. Provide the following information for the individual filing this Application for Assessment:

Name: Vigmi. Cium
Address: 1 N. S.erra Ave.
Phone Number: [REDACTED]
Email: [REDACTED]

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(1) and extent of impairment:

see
appended

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment:

see
appended

5. Description of the Claimants attempt(s) to resolve this issue with the owner representative of the property for which a Structure Development Permit has been requested:

see
appended

[Handwritten Signature]

Signature of Applicant for Assessment

12.12.22

Date Submitted

STAFF USE ONLY:

Application for Assessment fee paid?

[Handwritten Initials]

Details per VAC Application Form
(Appended Herewith)

**APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)**

Project No. DPR22-013/SDP22-011:APN:263-321-21-00

1) Project Address:

228 North Helix Ave. Solana Beach, Ca 92075

2) VAC Applicant, Address & Contact Info:

Naomi Clum

█ North Sierra Ave, Solana Beach, CA 92075

█

█

3) Descriptoin of the viewing area as defined in Solana beach Zoning Ordinance,

Section 17.63.020(I) and extent of impairment: From my dining area the western view is blocked by the second story of the house. It also blocks that natural light coming in during the afternoon starting around 3 pm. The proposed second story and 12 inches above the normal building height would block the sunlight coming into my bedroom, kitchen and dining area. What is now a view of a tree line and blue skies along with the sun setting behind the bluff would be greatly impaired. I have sat and watched this over several days. Additionally it appears as if the second story would also have windows that would give the second story a direct view into all of the above stated areas.

4) Proposed Offending Structure/Suggestions for Remedy: The proposed second story at the North end of the property is the most offensive portion. It is above the normal acceptable height and is the area that blocks the view and light. This objectionable obstruction and height could be kept with the Solana Beach height limits and moved to the south eastern portion of the property, or the second story could be eliminated.

5) Description of Meetings with Owner/Representative of Project: I have been unable to personally meet due to my working hours.









Amended View Assessment Application & Application Form [Appended herewith]

**APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)**

Project No. DPR22-013/SDP22-011:APN:263-321-21-00

1) Project Address:

228 North Helix Ave. Solana Beach, Ca 92075

2) VAC Applicant, Address & Contact Info:

Naomi Clum

█ North Sierra Ave, Solana Beach, CA 92075

█

█ m

3) Description of the viewing area as defined in Solana beach Zoning Ordinance,

Section 17.63.020(I) and extent of impairment: From my dining area the western view is blocked by the second story of the house. It also blocks that natural light coming in during the afternoon starting around 3 pm. The proposed second story and height above the normal building height would block the sunlight coming into my bedroom, kitchen and dining area. What is now a view of a tree line and blue skies along with the sun setting behind the bluff would be greatly impaired. The new story poles show that they have made the house even larger which blocks even more view since the width was greatly increased. This much bigger version will block out even more light, and the shade of this hugely oversized structure would block the light from some of my plants that I have been growing for 17 years, which is how long I have resided at this location. The proposed windows will look into my backyard, dining area, kitchen, bedroom and bathroom, thus taking away almost all of the privacy. Lights on the outside of the house will also have the great potential to shine directly and indirectly into 5 of 7 windows which accounts for more than half of my living space.

4) Proposed Offending Structure/Suggestions for Remedy: This objectionable obstruction and height and size should be kept within the Solana Beach building limits and not block views according to the guidelines. Lights should not be shining directly into my windows or placed for merinal light pollution. This plan is for investors to make a huge profit at the expense of the residents that have lived here for so long. They have no concern about how it affects the neighbors around the proposed structure.

5) Description of Meetings with Owner/Representative of Project: I have been unable to personally meet due to my working hours. The communication has been severely lacking and has not addressed my concerns. In fact I have not been contacted at all about the story poles. I They have done the complete opposite of addressing concerns. Old poles have been left making it difficult to tell what the footprint really is. It's almost antagonistic in nature how the investors have falsely claimed that they have addressed our concerns. Why would Solana

beach let this be approved? Regulations and ordinances are put in place because that fits the community best. The house is not wanted due to the negative effects described above. It is outrageously over the building height and size! This should not be allowed at this location!

Naomi Camelia Clum











DEC 12 2022

Community Development Dept.
City of Solana Beach

APPLICATION FOR VIEW ASSESSMENT
(Structure Development Permit)

DRP 22-013

See Attachment

Project No.: _____

1. Address of property for which the structure development permit has been requested:

2. Provide the following information for the individual filing this Application for Assessment:
Name: _____
Address: _____
Phone Number: _____
Email: _____

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment: _____

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment: _____

5. Description of the Claimants attempt(s) to resolve this issue with the owner/representative of the property for which a Structure Development Permit has been requested: _____

Anthony C. Adams
Signature of Applicant for Assessment

12-12-22
Date Submitted

STAFF USE ONLY:

Application for Assessment fee paid?

JR

APPLICATION FOR VIEW ASSESSMENT (Structure Development Permit)

Project No.: DRP22-013/SDP22-011

APN: 263-321-21-00

1. Address of property for which the structure development permit has been requested:

228 N Helix Ave, Solana Beach, CA 92075

2. Provide the following information for the individual filing this Application for Assessment:

Anthony Gatti

██████ N Helix Ave, Solana Beach, CA. 92075
████████████████████
██

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment:

Our two (2) story home was constructed in 2008 and purchased by our family in May 2021. Our home sits lower on the street due to the natural slope of the land and was specifically designed for the primary view to be the second floor landing at the top of the staircase connecting the first floor to the second floor, along with the master bedroom windows facing north directly in the primary view path of the proposed development.

One of the main architectural features of our home that was emphasized in the marketing of our house were the large windows and the unobstructed primary view to the north. The two (2) and only exterior walls at the top of the second floor landing are designed to include six(6) feet of windows to provide natural light to flow through the house and to capture a picturesque primary view of the existing palm trees, hills of Solana Beach and natural nesting of birds in the trees.

The proposed structure would obstruct our existing primary view.

4. Identify the portion of the proposed structure which is the most objectionable and suggestions to minimize the view impairment:

The second (2nd) story height of the proposed structure and its set-back on the south side of the structure is the most objectionable.

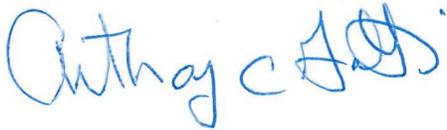
If the proposed structure eliminated or minimized its 2nd story and/or shifted the layout of the proposed 2nd floor from the south side of the property line to the north side of the property line, this would preserve some of the existing primary view corridor at our house.

5. Description of the Claimants attempt(s) to resolve this issue with the owner/ representative of the property for which a Structure Development Permit has been requested:

We have had very minimal outreach/communication from the potential owners. It is our understanding a partnership of individuals have entered into a long escrow of over 1-year with a business plan to develop a spec home to be sold as an investment.

The partnership/owners have designated their architect as the main contact for communication. The owners/architect held one neighborhood outside meeting. At this meeting, we invited the architect into our home to view, first hand, our primary view from our 2nd floor landing. We stated our position that our primary view would be significantly compromised by the proposed structure.

We have responded in a timely fashion to the architect's emails. In our opinion, there have been very minimal proposed changes from the owners/architect. Their main theme of communication has been to dismiss our concerns that our 2nd floor landing is our primary view.



Signature of Applicant for Assessment

Date Submitted 12-12-22

STAFF USE ONLY:

Application for Assessment fee paid? _____

6-2019

AMENDED (3/16/23) APPLICATION FOR VIEW ASSESSMENT (Structure Development Permit)

Project No.: DRP22-013/SDP22-011
APN: 263-321-21-00

1. Address of property for which the structure development permit has been requested:

228 N Helix Ave, Solana Beach, CA 92075

2. Provide the following information for the individual filing this Application for Assessment:

Anthony Gatti
[REDACTED] N Helix Ave, Solana Beach, CA. 92075
[REDACTED]
[REDACTED]

3. Description of the viewing area as defined in Solana Beach Zoning Ordinance, Section 17.63.020(I) and extent of impairment:

Our two (2) story home was constructed in 2008 and purchased by our family in May 2021. Our home sits lower on the street due to the natural slope of the land and was specifically designed for the primary view to be the second floor landing at the top of the staircase connecting the first floor to the second floor, along with the master bedroom windows facing north directly in the primary view path of the proposed development.

One of the main architectural features of our house that was empathized in the marketing of our house were the large windows and the unobstructed primary view to the north. The two (2) and only exterior walls at the top of the second floor landing are designed to include six(6) feet of windows to provide natural light to flow through the house and to capture a picturesque primary view of the existing palm trees, hills of Solana Beach and natural nesting of birds in the trees.

The proposed structure would obstruct our existing primary view.

Unfortunately, the amended story poles did not provide a solution for blocking our view and light into our home. I have included photos that show how the proposed structure completely blocks our view and natural light.



CITY OF SOLANA BEACH
View Assessment Commission Action Minutes
Tuesday, April 18, 2023 - 6:00 P.M. Regular Mtg.
City Hall/Council Chambers
635 South Highway 101, Solana Beach, CA 92075

Minutes contain a summary of the discussions and actions taken by the View Assessment Commission during a meeting are video recorded and archived as a permanent record. The video recording captures the complete proceedings of the meeting and is available for viewing on the City's website.

1. CALL TO ORDER and ROLL CALL

Chairperson Cohen called the View Assessment Commission Meeting to order at 6:01 PM on Tuesday, April 18, 2023, in the Council Chambers at 635 South Highway 101, Solana Beach.

Present: VAC Members: Matthew Cohen, Robert Moldenhauer, Linda Najjar, Frank Stribling, Rich Villasenor, and Robert Zajac

Staff Members: Joseph Lim, Community Development Director; Tiffany Wade, Associate Planner; John Delmer, Assistant Planner; and Tim Campen, Deputy City Attorney.

Absent: Pat Coad

2. ORAL COMMUNICATIONS (Speaker time limit: 3 minutes)

There were no speakers.

3. APPROVAL OF AGENDA

Chairperson Cohen called for a motion to approve the agenda. Motion made by Commissioner Zajac, seconded by Commissioner Moldenhauer, which passed 6/0/1 (Absent: Coad)

4. APPROVAL OF MINUTES

A. February 21, 2023

Chairperson Cohen called for a motion to approve the February 21, 2023, Minutes. Motion made by Commissioner Moldenhauer to approve the minutes, seconded by Commissioner Najjar, which passed 6/0/1 (Absent: Coad)

5. Staff Comments / Discussion (10 minutes total)

There were no Staff Comments.

Note: Speaker time limits:

- **Applicant, including representatives:** total of 15 minutes
- **Claimant, including representatives:** total of 15 minutes
- **Public speakers:** 3 minutes each
(may be reduced based on number of speakers, not to exceed 20 minutes total)
- **Applicant, response to any new info:** total of 5 minutes

Chairperson Cohen read the Chairperson preamble.

6. DRP22-013/SDP22-011 Bowers Residence – 228 N Helix Ave., Solana Beach

Applicant Information:

Name: Ryan Bowers
Phone: [REDACTED]
Email: rbowers@redgrassventures.com

Architect:

Name: Jennifer Bolyn, EOS Architecture
Phone: (858) 459-0575
Email: jen@eosarc.com

Claimant Information:

Name: Jill Martin
Address: [REDACTED] N. Helix Ave.
Phone: [REDACTED]
Email: [REDACTED]

Name: Naomi Clum
Address: [REDACTED] N. Sierra Ave.
Phone: [REDACTED]
Email: [REDACTED]

Name: Anthony Gatti
Address: [REDACTED] N. Helix Ave.
Phone: [REDACTED]
Email: [REDACTED]

Project Description:

The Applicant is requesting the approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) for a new two-story single-family residence with a basement and attached two-car garage. The 4,491 square-foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The following is a breakdown of the new proposed floor area:

Proposed Basement	1,593 SF
Proposed First Floor	1,111 SF
Proposed Second Floor	1,025 SF
Covered and Enclosed Exterior Area	40 SF
Proposed Garage	454 SF
<hr/> Subtotal	<hr/> 4,223 SF
Basement Exemption	- 1,593 SF
Required Parking Exemption	- 400 SF
Total Floor Area Proposed	2,230 SF

Maximum Allowable Floor Area (SROZ) 2,246 SF

The project would include grading in the amount of 1,060 CY aggregate. **The tallest point of new construction is proposed at 24.55 feet above the proposed grade with a pole height of 85.33 MSL, the highest point of new construction has a pole height of 86.33 MSL.** The project requires a DRP for three reasons: 1) a structure that exceeds 60% of the maximum allowable floor area; 2) a new second story that exceeds 35% of the first-floor area, and; 3) aggregate grading that exceeds 100 CY.

Chairperson Cohen opened the public hearing, and the Commissioners stated their disclosures (as shown on table below) regarding dates they visited the properties.

Chairperson Cohen asked staff for clarification on the story poles currently on site, Staff clarified that the proposal currently under review is represented by the story poles with orange and green flags. The story poles with the pink and blue flags represent a previous design.

Tiffany Wade, Associate Planner, gave a PowerPoint presentation describing the project. A copy of the PowerPoint will be included in the project file.

Ryan Bowers, Applicant, and Jennifer Bolyn, Architect, gave a PowerPoint presentation describing the intent of the proposed design. A copy of the PowerPoint presentation will be included in the project file.

Jill Martin (█ N Helix Ave.), Claimant, presented a PowerPoint presentation describing her concerns of view obstruction resulting from the proposed project. A copy of the PowerPoint presentation will be included in the file.

Naomi Clum (█ N Sierra Ave.), Claimant, presented a PowerPoint presentation describing her concerns of view obstruction resulting from the proposed project. A copy of the PowerPoint presentation will be included in the file.

Anthony Gatti (█ N Helix Ave), Claimant, presented a PowerPoint presentation describing his concerns of view obstruction resulting from the proposed project. A copy of the PowerPoint presentation will be included in the file.

Chair Cohen noted that the VAC members received a written public comment from the property owners of 211 N Sierra.

Kale Major (█ N Sierra), provided a public comment on agenda item #6 and stated that he believes the proposed project is incompatible with the surrounding neighborhood.

Ms. Bolyn responded to the items that were brought up by the Claimants and public speaker.

The Commissioners had questions for Ms. Bolyn, she addressed all questions.

VAC Meeting Minutes
Tuesday, April 18, 2023
Page 4 of 5

Chairperson Cohen closed the public hearing, and the commissioners made their findings as shown in the tables below.

Jill Martin [REDACTED] N Helix Ave		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/14	4/15	4/15	4/15	4/14
	Applicant		4/14	4/14	4/15	4/15	4/15	4/14
Primary Viewing Area			Living Room / Kitchen	Living Room / Kitchen	Living Room / Kitchen	Primary Bedroom	Living Room / Kitchen	Kitchen
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			N	N	N	Y	N	N
#4. No Cumulative View Impairment			N	N	N	Y	N	N
#5. Neighborhood Compatibility			Y	N	N	N	Y	Y

Naomi Clum [REDACTED] N Sierra		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/17	4/15	4/15	4/15	4/14
	Applicant		4/14	4/17	4/15	4/15	4/15	4/14
Primary Viewing Area			Living Room / Dining Room	Kitchen / Sitting Area	Living Room / Dining Room	Primary Bedroom	Living Room / Dining Room	Kitchen
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			Y	Y	Y	Y	Y	Y
#4. No Cumulative View Impairment			Y	N	Y	Y	N	Y
#5. Neighborhood Compatibility			Y	N	Y	N	Y	Y

Anthony Gatti N Helix Ave		Coad	Villasenor	Cohen	Moldenhauer	Stribling	Zajac	Najjar
Date Visited	Claimant		4/14	4/18	4/15	4/15	4/15	4/14
	Applicant		4/14	4/18	4/15	4/15	4/15	4/14
Primary Viewing Area			Primary Bedroom	Primary Bedroom	Primary Bedroom	Primary Bedroom	2 nd Level Deck	Primary Bedroom
#1. Communication Taken Place			Y	Y	Y	Y	Y	Y
#2. No Public View Impairment			Y	Y	Y	Y	Y	Y
#3. Designed to Minimize View Impairment			N	N	N	N	Y	N
#4. No Cumulative View Impairment			N	N	N	Y	N	N
#5. Neighborhood Compatibility			Y	N	N	N	Y	Y

Chairperson Cohen opened the public hearing and made a motion to recommend denial of the project to the City Council, seconded by Zajac, which passed 6/0/1. (Absent: Coad)

7. VAC Member Comments / Discussion (10 minutes total)

Chairperson Cohen welcomed Deputy City Attorney Tim Campen to the View Assessment Commission.

8. ADJOURNMENT

Chairperson Cohen adjourned the meeting at 8:27 PM.

Minutes as approved by V.A.C. on _____.

Respectfully submitted,

 John Delmer, Assistant Planner

 Joseph Lim, Community Development Director



CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH, CA 92075 • (858) 720-2400 • Fax (858) 720-2455

www.cityofsolanabeach.org

CITY OF SOLANA BEACH

View Assessment Commission Notice of Recommendation

Tuesday, April 18, 2023 - 6:00 P.M. Regular Mtg.

PROJECT CASE NO: DRP22-013/SDP22-011 Bowers Residence

PROJECT LOCATION: 228 N Helix Ave, Solana Beach

APPLICANT NAME: Ryan Bowers

APPLICANT CONTACT: Jennifer Bolyn, EOS Architecture

PRESENT VAC MEMBERS: Matt Cohen, Robert Moldenhauer, Frank Stribling, Linda Najjar, Rich Villasenor and Robert Zajac

STAFF MEMBERS: Joseph Lim, Community Development Director; Tim Campen, Assistant City Attorney; Tiffany Wade, Assistant Planner; John Delmer, Junior Planner

ABSENT: Pat Coad

ASSESSMENT FILED BY:

1. Name: Jill Martin
Address: [REDACTED] N. Helix Ave.
2. Name: Naomi Clum
Address: [REDACTED] N. Sierra Ave.
3. Name: Anthony Gatti
Address: [REDACTED] N. Helix Ave.

PROJECT DESCRIPTION:

The Applicant is requesting the approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) for a new two-story single-family residence with a basement and attached two-car garage. The 4,491 square-foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The following is a breakdown of the new proposed floor area:

Proposed Basement	1,593 SF
Proposed First Floor	1,111 SF
Proposed Second Floor	1,025 SF
Covered and Enclosed Exterior Area	40 SF
Proposed Garage	454 SF
<u>Subtotal</u>	<u>4,223 SF</u>
Basement Exemption	- 1,593 SF
Required Parking Exemption	- 400 SF
Total Floor Area Proposed	2,230 SF
Maximum Allowable Floor Area (SROZ)	2,246 SF

The project would include grading in the amount of 1,060 CY aggregate. **The tallest point of new construction is proposed at 24.55 feet above the proposed grade with a pole height of 85.33 MSL, the highest point of new construction has a pole height of 86.33 MSL.** The project requires a DRP for three reasons: 1) a structure that exceeds 60% of the maximum allowable floor area; 2) a new second story that exceeds 35% of the first-floor area, and; 3) aggregate grading that exceeds 100 CY.

VAC RECOMMENDATION:

The project was heard at the regularly scheduled, April 18, 2023, VAC meeting. After the Commissioners presented their findings Chair Cohen motioned to recommend denial of the project, seconded by Commissioner Zajac. Motion passed 6/0/1 (Absent: Coad)

FINDINGS:

1. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the Claimants requesting view assessment. Written evidence of a good faith voluntary effort to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve view impairment issues.

Claimant 1: Jill Martin, [REDACTED] N Helix Ave.

Yes – Written accounts and oral testimony at the public meeting showed that there had been communication between the Applicant and the Claimant.

Claimant 2: Naomi Clum, [REDACTED] N Sierra Ave.

Yes – Written accounts and oral testimony at the public meeting showed that there had been communication between the Applicant and the Claimant.

Claimant 3: Anthony Gatti, [REDACTED] N Helix Ave.

Yes – Written accounts and oral testimony at the public meeting showed that there had been communication between the Applicant and the Claimant.

2. The proposed structure does not significantly impair any view from public property (parks, major thoroughfares, bikeways, walkways, equestrian trails), which has been identified in the City's General Plan or City designated viewing areas.

Claimant 1: Jill Martin, [REDACTED] N Helix Ave.

Yes – The subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.

Claimant 2: Naomi Clum, [REDACTED] N Sierra Ave.

Yes – The subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.

Claimant 3: Anthony Gatti, [REDACTED] N Helix Ave.

Yes – The subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.

3. The proposed structure is designed and situated in such a manner as to minimize impairment of views.

Claimant 1: Jill Martin, [REDACTED] N Helix Ave.

No – The majority (5 of 6) of the present VAC members found that the proposed residence was not designed or situated to minimize impairment of views.

Claimant 2: Naomi Clum, [REDACTED] N Sierra Ave.

Yes – The present VAC members unanimously found that the proposed residence was designed or situated to minimize impairment of views.

Claimant 3: Anthony Gatti, [REDACTED] N Helix Ave.

No – The majority (5 of 6) of the present VAC members found that the proposed residence was not designed or situated to minimize impairment of views.

4. There is no significant cumulative view impairment caused by granting the application as proposed.

Claimant 1: Jill Martin, [REDACTED] N Helix Ave.

No – The majority (5 of 6) of the present VAC members found that there would be significant cumulative view impairment caused by granting the application if adjacent lots were allowed to construct a development of a similar size and height.

Claimant 2: Naomi Clum, [REDACTED] N Sierra Ave.

Yes – The majority (4 of 6) of the present VAC members found that there would not be significant cumulative view impairment caused by granting the application if adjacent lots were allowed to construct a development of a similar size and height.

Claimant 3: Anthony Gatti, [REDACTED] N Helix Ave.

No – The majority (5 of 6) of the present VAC members found that there would be significant cumulative view impairment caused by granting the application if adjacent lots were allowed to construct a development of a similar size and height.

5. The proposed structure is compatible with the immediate neighborhood character.

Claimant 1: Jill Martin, [REDACTED] N Helix Ave.

Divided – The present VAC members were split (3 to 3) when voting on the compatibility of the proposed development with the immediate neighborhood character.

Claimant 2: Naomi Clum, [REDACTED] N Sierra Ave.

Yes – The majority (4 of 6) of the present VAC members found that the proposed development is compatible with the immediate neighborhood character. The development would be compatible with the existing neighboring structures in terms of design, bulk, scale, height and size.

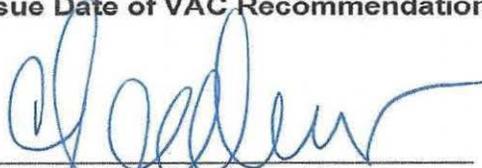
Claimant 3: Anthony Gatti, [REDACTED] N Helix Ave.

Divided – The present VAC members were split (3 to 3) when voting on the compatibility of the proposed development with the immediate neighborhood character.

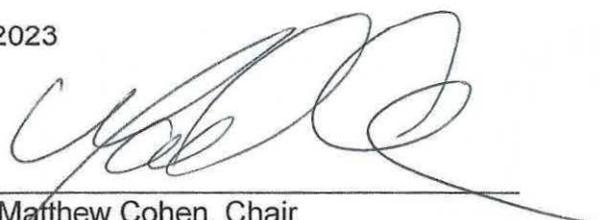
VAC Vote:

Chair Cohen motioned to recommend denial of the project, seconded by Commissioner Zajac. Motion passed 6/0/1 (Absent: Coad)

Issue Date of VAC Recommendation: April 18, 2023



Corey Andrews, Principal Planner
Staff Liaison, View Assessment Committee



Matthew Cohen, Chair
View Assessment Committee



7542 Fay Ave
La Jolla, CA 92037
(858) 459-0575 PHONE
www.eosarc.com

May 12, 2023

**Attn: City Council Members
C/O Ms. Tiffany Wade
Associate Planner, Community Development Department
City of Solana Beach, 635 South Highway 101**

**RE: North Helix Residence
228 North Helix Avenue
Solana Beach, CA
DRP22-013, SDP22-011**

Dear Members of City Council,

Thank you for the opportunity to present this project to the City Council during the May 24th meeting. I am writing to provide background and context that will help you evaluate our design and give more guidance for us to follow. Also included with this letter is a copy of the information we provided to VAC for the project's evaluation.

We presented our project to the VAC on April 18th at which time the commission members denied our project. A few unusual circumstances surrounding this project, described below, likely led to the denial. Our intention is to integrate the guidance of the City Council and to create a home design that is well received by the neighborhood.

Project history and circumstances:

1. Mr. Bowers and I presented the first version of the home design and footprint to our neighbors at a community open house. We then erected the project story poles.
2. After receiving neighbor feedback, we designed a second version of the home. The redesign reduced the overall building height by two feet and increased the setback of the second floor by eight feet to open 50% of the clerestory window view of the immediate neighbor to the south, the Martins.
3. To demonstrate the redesign modifications, we erected a second set of story poles, a good faith effort on our part to accommodate the neighbors' suggestions.
4. We left the two sets of poles in place to show a "before and after" of what design compromises were being proposed.

Unfortunately, the two sets of story poles made the project's redesign envelope challenging to see, and the Bower's residence appeared significantly larger than proposed. It was abundantly clear, from the first statement of the Chairperson, that there was a substantial amount of confusion surrounding the story poles, as submitted. The Chairperson's initial statement, prior to any presentation, was to the effect of, "Is anyone

else thoroughly confused...I have no idea what it is we are looking at?" As such, we hope to have the opportunity at the upcoming City Council meeting to clarify our project, and our intention to integrate the reasonable guidance of the City Council and neighbors and to ultimately create a home design that is well received by the neighborhood.

To remedy the confusion and in preparation for the City Council meeting, we have removed the first set of story poles. The currently erected story poles outline the version two plan before you.

Due to unusual site characteristics, it was unclear to us how to apply the view assessment toolkit, and we were looking for guidance from the VAC, as follows:

1. We were unsure if a clerestory window (Ms. Martin's view claim window) would be considered a view window since it is a clerestory window.
2. We were unsure if Mr. Gatti's primary view would be considered to the North (facing our project) since views to the hillside to the East exist and are quite pleasant and more expansive.
3. The quality of the views claimed was also not clear to us since it is a foreshortened view to a two-story apartment building, palm trees and pine trees. We were looking to VAC for guidance on this as well.

I want to reiterate that despite the difficulty in assessing the view related items above we redesigned the project to best accommodate the neighbor's concerns and remain open to further guidance.

During the City Council, we hope to achieve the following:

1. Clearly communicate the second version plan and story poles.
2. Clearly demonstrate the Bowers Residence plan elevations in relation to the neighboring elevations.
3. Obtain any direct suggestions from the City Council regarding modifications we should consider to achieve approval.

We are open and willing to hear suggestions about what we may do to achieve a successful project outcome. We do not anticipate project approval at this hearing; rather we hope to have specific feedback from the City Council regarding design modifications the City Council feels will accomplish a compromise solution amongst neighbors.

We have worked through the process to review the design in conjunction with the neighbors' concerns, evidenced in the project redesign. As we have done with all our home designs in Solana Beach, we have taken the neighbors' concerns seriously and worked to design a home that is both welcomed by the neighborhood and reflects the needs of my clients. My client is invested in building a beautiful home for this site.

Thank you for your consideration and warmest regards.

Jennifer Bolyn

Principal Architect



Attn: View Assessment Council Members
c/o Ms. Tiffany Wade
Associate Planner, Community Development Department
City of Solana Beach
635 South Highway 101

RE: DRP22-013/ SDP22-011
North Helix Residence
228 North Helix Avenue
Solana Beach, CA

April 10, 2023

Dear Members of the View Assessment Committee,

The following letter describes the proposed design for the North Helix Residence located at 228 North Helix Avenue and documents the neighborhood outreach and coordination process. The overall intent for this project is to create an aesthetically beautiful home for the Bowers, including landscaping, which is not only in keeping with but is a sensitive enhancement to the neighborhood. The design process has painstakingly engaged neighborhood feedback to ensure compliance with the criteria for a design review and site development permit.

NEIGHBOR OUTREACH

This application has involved extensive coordination with the adjacent neighbors, as follows:

1) At the beginning of the project, in April of 2022, we met on site with the neighbors to discuss design concepts and listen to any concerns regarding the project development. We sent invitations to all neighbors (owners and occupants) within the 300-foot mailing radius. The plans presented at this meeting were very close to the original proposed design submitted to the city.

2) At the meeting, the neighbor at [REDACTED] North Helix (immediately to the South), Jill Martin, had indicated that she anticipated a second-story home would be built and did not voice an objection. The neighbor farther South, Anthony Gatti (at [REDACTED] North Helix), allowed me into his home to show the view of the site from his stairwell. He indicated that the view of the palm trees and over the top of the two-story apartment building to the North was important to him. His home is two stories and is similar in scale to our proposed project. **(See Exhibit A)**

3) Once we set the final story poles per city standards, the neighbor directly to the South (Jill Martin) indicated that she did have an issue with the proposed two-story project as she now understood it would block the view to the sky and palm trees from her clerestory windows in her living room. She specifically mentioned the nesting egrets in the palm trees to be an essential characteristic of her view. We want to note that a clerestory window is not a typical view claim window, and it lacks several characteristics to claim as a primary view (according to the View Assessment Toolkit), as follows:

- a) No view to a horizon line, which according to the VAC toolkit is the most sensitive part of the view.
- b) The proposed view claim window does not possess a foreground, middle, or background. It is a slot view to the sky and treetops in windows that would be blocked by any proposed development of the adjacent home (single or two stories).

4) Although the design concerns that Jill Martin voiced may differ from what a common understanding of what a view window is, attempts were made to address them. We met with her on three separate occasions, and provided

several additional rounds of story poles to establish a building envelope that would provide a clear view from the western half of the clerestory windows. We reduced the depth of the second floor building envelope, moving it eight feet to the East so the first half of her clerestory windows would maintain a clear view of the palm trees (and nesting egrets). The new story pole plan reflects this. **(See Exhibit B)**

5) We have also included a photo from Mrs. Martin's clerestory windows indicating where the building envelope was removed since the story poles are confusing. **(See Exhibit C)**

6) Once the story poles from the initial design were set, we realized that the home design would integrate better with the neighborhood if the building height was lowered. We have reduced the height of the proposed front façade by two feet and the rear by one foot. The height is the same scale, relative to the street, as Mr. Gatti's two-story home and other two-story homes on the block. **(See Exhibit A)** This height reduction will also improve the light and sky view angles from the surrounding neighbors.

7) The view picture provided by Mr. Gatti shows the old poles and we have provided a photo outlining the new envelope for clarity. Per the VAC toolkit, a stairwell is not a primary viewing area. However, our redesign shows a significant reduction in view impact from Mr. Gatti's stairwell. **(See Exhibit D)**

8) The view claim from the neighbor to the East – Ms. Clum at ■■■ Sierra Avenue is a side-angle view out of the dining room window and is partially blocked by power poles. She is a long-term renter, and we did not have the opportunity to speak, however I did speak several times with the owner of the property, Connie Major. I clarified that the proposed home does not extend to the rear setback, which is less imposing than the allowable building envelope. The required rear setback is fifteen feet, where the proposed setback is enhanced to 22'-2" on the first floor and 20'-3" on the second floor. The rear setback is also enhanced compared to the adjacent properties along the street. **(See Exhibit E)**

9) Ms. Major also voiced concern about what the architecture would look like, we have provided renderings to show that care has been taken in the Eastern façade design, while maintaining the building as far West as possible. (See Exhibits F, G and H)

10) Regarding neighborhood character, there are many two-story buildings in the area, please **(See Exhibit A)** of similar height relative to the street.

Other design considerations:

1) Windows have been sensitively placed for privacy concerns.

2) The home's finished floor is located two and a half feet below the street, very close to the existing grade, and the proposed ceiling heights are a reasonable ten feet for the first floor and nine feet for the second floor. The home is nineteen feet from the street which is similar to or below that of the neighbors.

3) In response to concerns about neighborhood character and the impact the home would have on the neighborhood we have carefully analyzed the architectural detailing and materials selection. We have provided and updated front rendering to show that the home has been carefully detailed, uses soft high-quality materials that will enhance the community character. **(See Exhibit I)**

In consideration of these modifications and additional project information provided, we ask that you approve the project as redesigned, reflected on the plans dated January 18, 2023 and the new materials shown in Renderings H and I. Mr. Bowers cares greatly for architectural quality and seeks to build a home that will have lasting character for the neighborhood.

Warmest regards,

Jennifer Bolyn
Principal Architect

EXHIBITS

234 N HILL ST
APN: 263-321-22-00



SUBJECT PROPERTY
228 N HELIX AVE
APN: 263-321-21-00



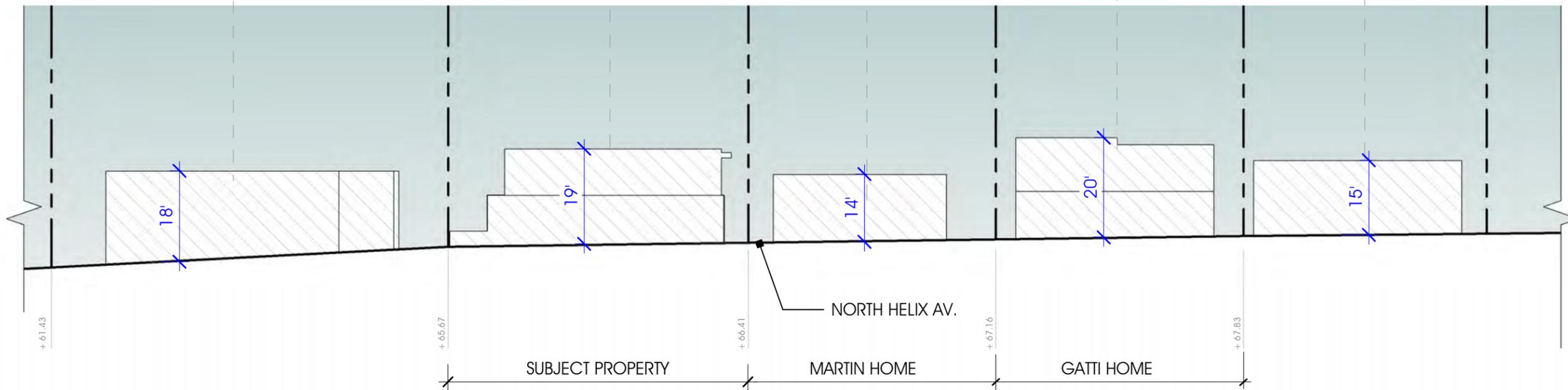
222 N HELIX AVE
APN: 263-321-20-00



218 N HELIX AVE
APN: 263-321-19-00



212 N HELIX AVE
APN: 263-321-29-00



NORTH HELIX AVE - ELEVATION

210 N HILL ST
APN: 263-321-30-00



142 N HELIX AVE
APN: 263-321-31-00



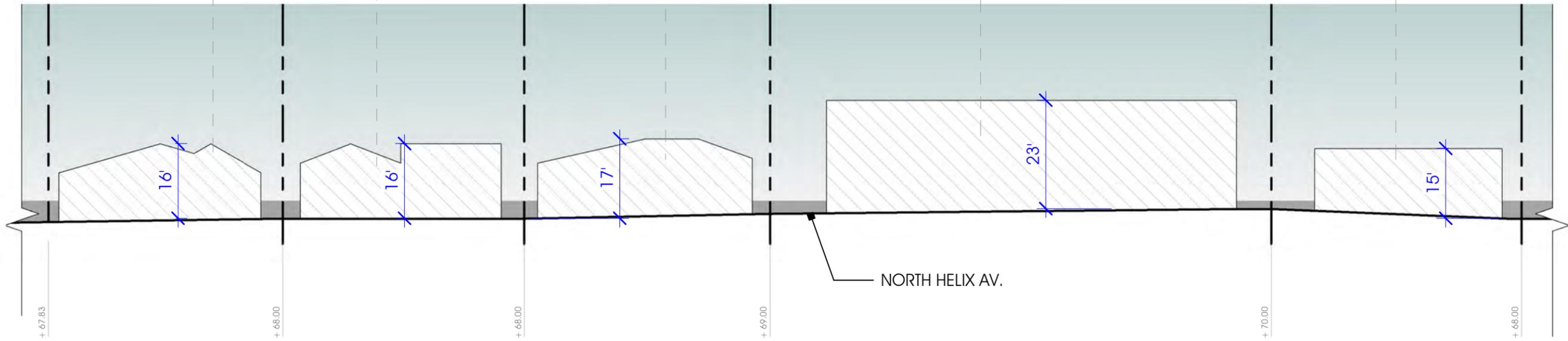
140 N HELIX AVE
APN: 263-321-32-00



128 N HELIX AVE
APN: 263-321-27-00



122 N HELIX AVE
APN: 263-321-14-00



NORTH HELIX AVE - ELEVATION

238 HILL ST
APN: 263-311-09-00



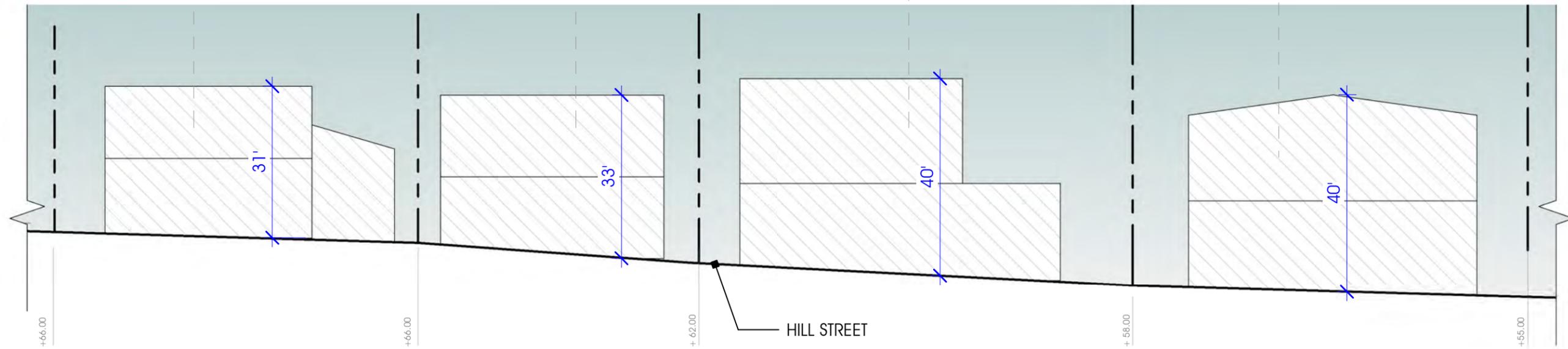
239 HILL ST
APN: 263-311-08-00



255 HILL ST
APN: 263-311-07-00

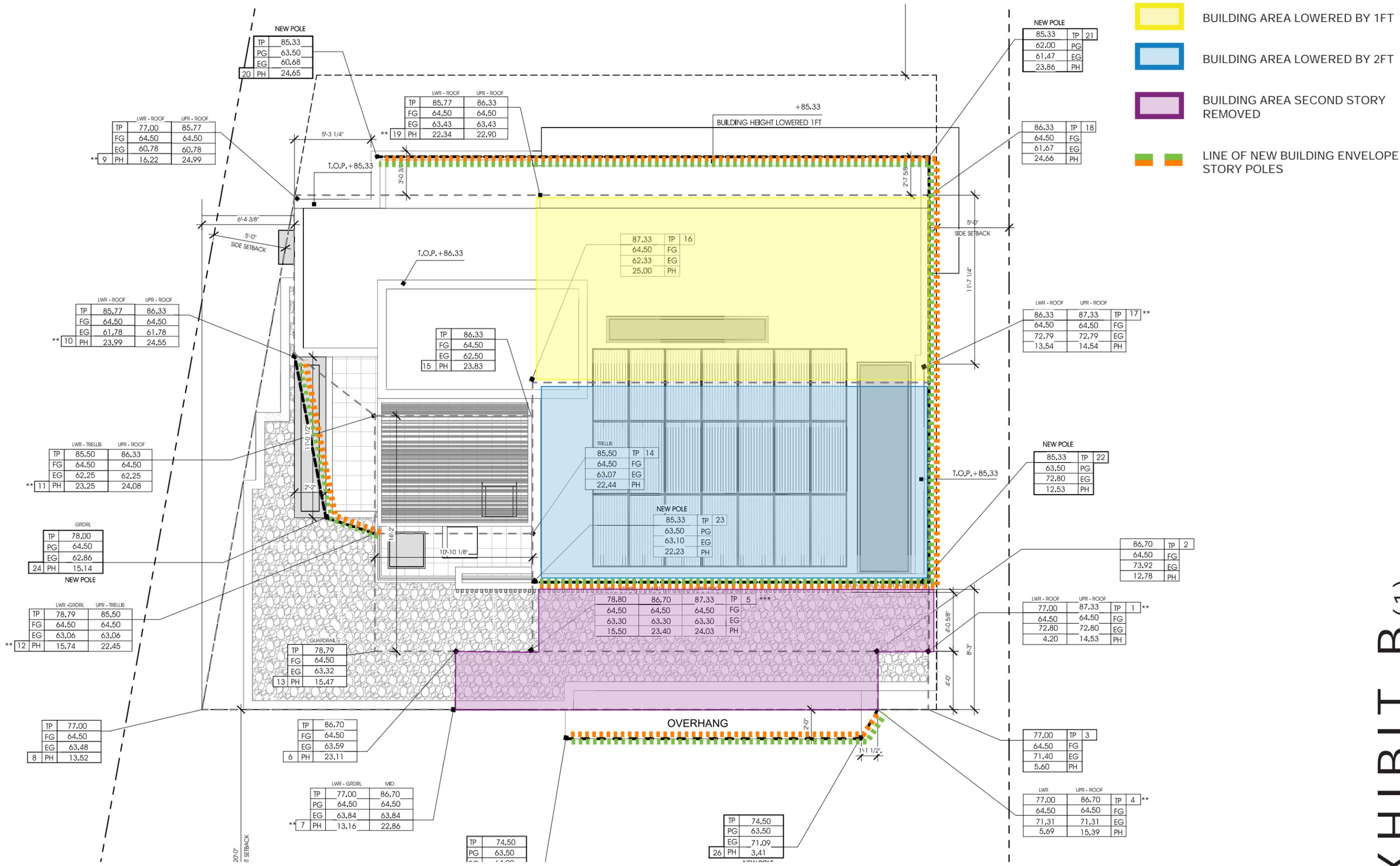


259 HILL ST
APN: 263-311-06-00

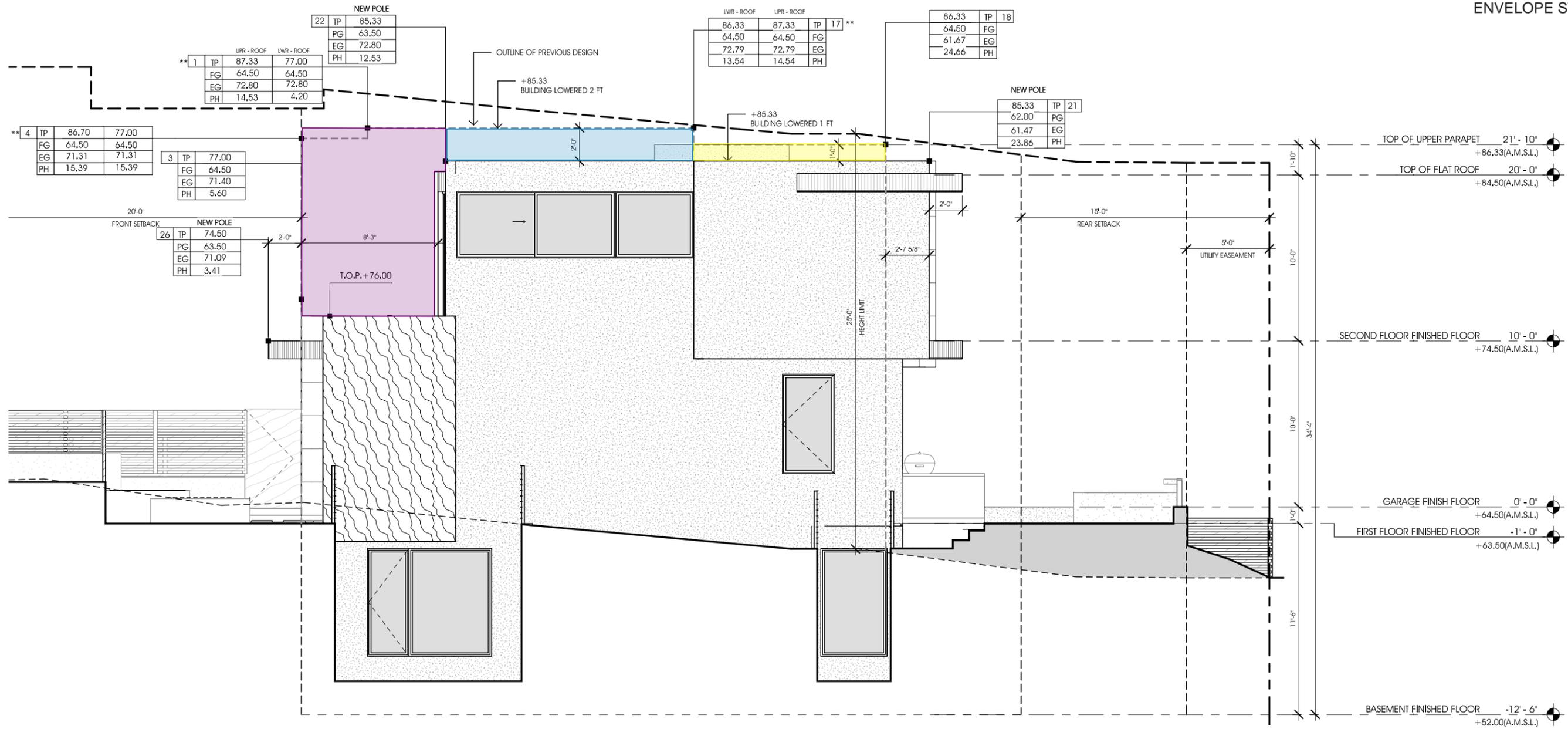


HILL STREET - ELEVATION

STORY POLE PLAN



- BUILDING AREA LOWERED BY 1FT
- BUILDING AREA LOWERED BY 2FT
- BUILDING AREA SECOND STORY REMOVED
- LINE OF NEW BUILDING ENVELOPE STORY POLES



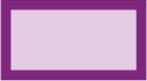
STORY POLE ELEVATION



LINE OF NEW BUILDING
ENVELOPE STORY POLES

MARTIN VIEW CLAIM
WINDOW

STORY POLE PHOTO VIEW
TAKEN FROM NORTH SIDE OF PROJECT LOOKING SOUTH

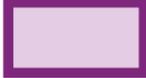
-  BUILDING AREA REMOVED
-  LINE OF NEW BUILDING ENVELOPE STORY POLES



MARTIN VIEW CLAIM WINDOW

NEIGHBOR CLAIMS - 222 N HELIX AVE

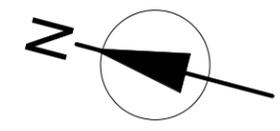
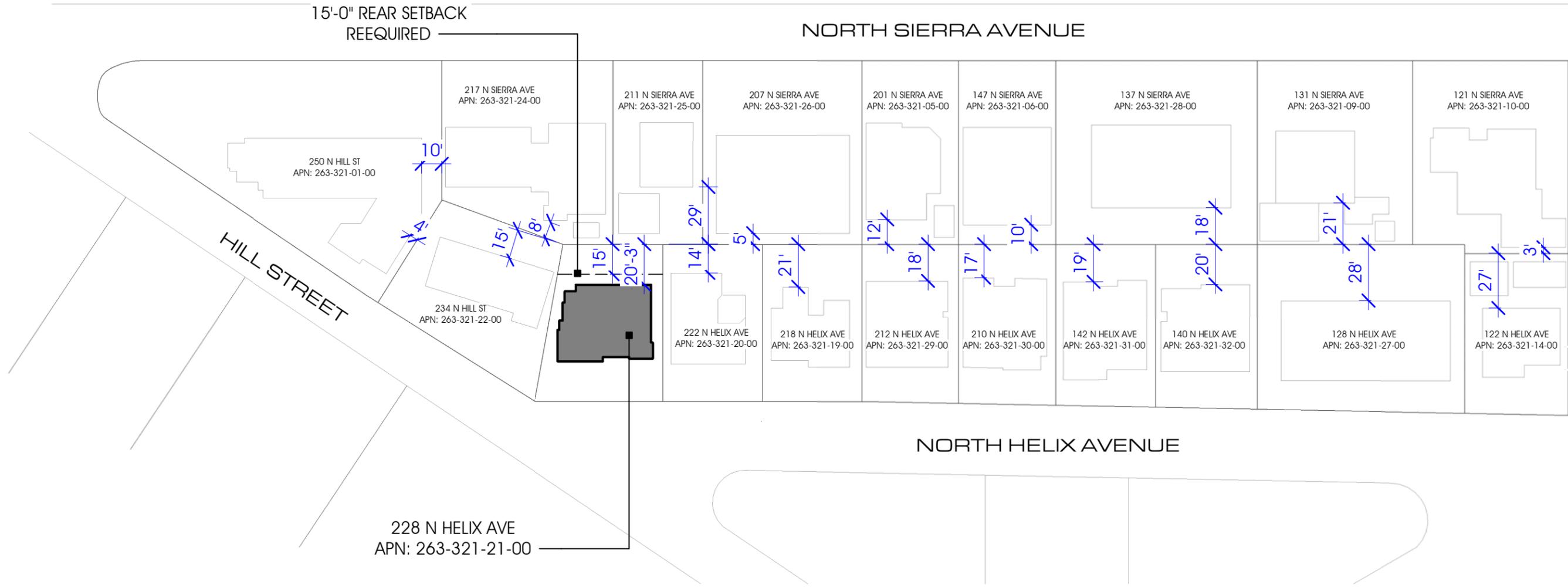


-  BUILDING AREA REMOVED
-  LINE OF NEW BUILDING ENVELOPE STORY POLES

GATTI VIEW CLAIM WINDOW

NEIGHBOR CLAIMS - 218 N HELIX AVE

EXHIBIT D



REAR SETBACK DIAGRAM



VIEW FROM 219 SIERRA AVE



VIEW FROM 219 SIERRA AVE WITH PROJECT OVERLAY



REAR RENDERING



FRONT RENDERING



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: May 24, 2023
ORIGINATING DEPT: Community Development
SUBJECT: **Short Term Vacation Rental Ordinance - Discussion**

BACKGROUND:

The City's Short-Term Vacation Rental (STVR) Permit regulations implement Ordinance 322 originally adopted in February 2004. The STVR Permit regulations allow for the rental of any residentially zoned dwelling unit, other than Accessory Dwelling Units (ADUs), including detached single-family residences, condominiums, duplexes, triplexes, townhomes and multiple-family dwellings for periods of 7-30 consecutive days. The STVR policy is also included as Policy 5.31 in the City's certified Land Use Plan (LUP).

The purpose of this item is for the City Council to review, discuss and provide direction to City Staff regarding possible modifications to the City's existing STVR Permit regulations to reflect and advance current policy needs.

DISCUSSION:

The popularity of vacation rentals and their hosting websites has resulted in a proliferation of STVRs throughout San Diego County. Since the City's adoption of the STVR Ordinance, the City has issued between 250 to 350 STVR permits annually. There were 349 STVR permits issued in 2021 and 267 STVR permits issued in 2022. Up until 2021, the City had seen an increase in STVR permits each year. The calendar year of 2022 was the first year since the City adopted the STVR ordinance that there was a decrease in STVR permits issued as shown in the table on the following page.

CITY COUNCIL ACTION:

Year	STVR Permits				
	Single-Family	Multi-Family	Total	% Single-Family	% Multi-Family
2019	62	225	287	22%	78%
2020*	n/a	n/a	n/a	n/a	n/a
2021	78	271	349	22%	78%
2022	56	211	267	21%	79%

*Due to COVID restrictions STVR permits were not expired in 2020.

To provide context in terms of the number of STVRs in relation to the City's housing stock, data from the 2017 American Community Survey (Census) indicates that the City currently has 6,665 residential dwelling units. Of this total, 4,069 (60.7%) are single-family units while 2,596 units (38.9%) are multi-family. In 2021, approximately 5% of the City's residential units (349) received a STVR permit.

Jurisdiction	Total Housing Units by Type				
	Single-Family Detached	Single-Family Attached	Multi-Family	Mobile Homes	Total Units
Solana Beach	3,051	992	2,596	26	6,665
San Diego County	613,113	112,939	426,053	42,614	1,195,868

In 2022, 211 of the 2,596 of multi-family units in Solana Beach, or 8.1%, were issued STVR permits while 56 of the City's 4,043 single-family units, or 1.4%, were issued STVR permits. The majority of the STVR permits issued by the City are for properties located in the southwest quadrant of the City, west of Highway 101 and south of Plaza. It should also be noted that there may be an additional 100-150 units within the City that are operating as an STVR without having been issued a STVR permit by the City.

STVR Enforcement

Staff handles a variety of complaints regarding STVRs and their impacts on local neighborhoods including operating a STVR without a permit, lack of required placards, noise, parking and unruly guests. In addition to concerns regarding neighborhood impacts, the City also seeks to ensure that there is a reasonable balance of available housing for long term rentals between those units offered for STVR purposes. As such, Staff conducts routine online searches for STVRs to determine compliance with the City's STVR regulations. The following table summarizes the code complaints received regarding STVRs since 2019.

STVR Code Compliance Cases by Issue				
	Noise/Nuisance Complaint	Operating Without Permit	Other (Building/Zoning Code)	Total
2019	0	0	1	1
2020	2	5	0	7
2021	1	8	2	11
2022	1	2	7	10
2023	0	0	2	2

City of San Diego Regulations

The City of San Diego recently adopted a short-term rental ordinance (STRO). The STRO enacted four Tiers permitting as follows:

Tier 1 Part-Time	Tier 2 Home Sharing	Tier 3 Whole Home (excluding Mission Beach)	Tier 4 Mission Beach Whole Home
<p>Rented for an aggregate of 20 days or less per year</p> <p>The owner or permanent resident does not need to reside onsite during the STRO</p>	<p>Renting a room or rooms in the home for more than 20 days per year so long as the owner or permanent resident resides onsite</p> <p>The owner or permanent resident may be absent from the permanent residence during the STRO for up to 90 days per calendar year</p> <p>Home sharing includes duplex properties and eligible accessory dwelling units when the host resides onsite</p>	<p>Rentals for more than 20 days per year where the owner or permanent resident does not reside onsite. To determine your dwelling unit's Community Planning Area (CPA), reference the City of San Diego Community Plans Map.</p> <p>If your dwelling unit is within the Mission Beach CPA, you would fall into Tier 4 Mission Beach Whole Home. Any other CPA would fall into Tier 3 Whole Home (excluding Mission Beach).</p> <p>Note that the ordinance requires utilization for a minimum of 90 days each year in order to maintain a Tier 3 or Tier 4 license.</p>	
		<p>The number of licenses issued will not exceed 1% of San Diego's total housing units outside the Mission Beach Community Planning Area*</p> <p>Guest two-night minimum stay required</p>	<p>The number of licenses issued will not exceed 30% of the Mission Beach Community Planning Area*</p> <p>Guest two-night minimum stay required</p>

The following are the current statistics for STRO applications for each Tier as of March 10, 2023 in the City of San Diego:

STRO License Tier	Number of Applications Received	Number of Licenses Issued	Number of Applicants on Waitlist	Remaining Licenses Available
Tier 1	68	58	N/A	Unlimited
Tier 2	1,368	1,322	N/A	Unlimited
Tier 3	3,590	3,315	0	2,104
Tier 4	1,290	1,082	186	0

Based on the aforementioned information, the City Council may wish to consider changes to the current STVR Ordinance to advance current policy needs like ensuring availability of long-term housing units and/or addressing or mitigating neighbor complaints that have been received over the years.

CEQA COMPLIANCE STATEMENT:

This is not a project pursuant to CEQA.

FISCAL IMPACT:

There is no fiscal impact for this discussion, however, depending on the City Council directing any changes to the City's STVR Ordinance, there may be some impact on future transient occupancy tax (TOT) revenue. The current revenue from STVR TOT was \$1,164,762 in Fiscal Year 2022 and was approximately \$850,000 for the first eight (8) months of Fiscal Year 2023.

WORK PLAN:

Community Character Priority Item 12 is to analyze, propose and implement modifications to the City existing STVR Permit regulations. This discussion will give guidance to Staff to prepare an updated Ordinance, if necessary.

DEPARTMENT RECOMMENDATION:

Staff is seeking Council input and direction regarding the City's STVR regulations.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. STVR Ordinance 322
2. STVR Location Map

ORDINANCE NO. 322

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CLARIFYING REQUIREMENTS FOR A SHORT-TERM VACATION RENTAL PERMIT AND CLARIFYING ACTIONS CONSTITUTING VIOLATIONS OF THE ORDINANCE

THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1: Chapter 4.47 of the Solana Beach Municipal Code is hereby amended in its entirety to read as follows:

Chapter 4.47

SHORT-TERM VACATION RENTAL PERMIT

Sections:

- 4.47.010 Purpose.
- 4.47.020 Operative Date
- 4.47.030 Definitions
- 4.47.040 Prohibited Rental Duration
- 4.47.050 Exceptions
- 4.47.055 Rental Permit as Business Certificate
- 4.47.060 Obtaining and retaining Short-Term Vacation Rental Permit
- 4.47.070 Violations and Penalties
- 4.47.080 Display of Short-Term Vacation Rental Permit
- 4.47.090 Exterior Complaint Phone Number Display

4.47.010 Purpose.

The purpose of the Short-Term Vacation Rental Permit is to regulate the activity of renting a dwelling unit in a residential zoning district for a period of 7 to 30 consecutive days in order to safeguard the peace, safety and general welfare of the residents of Solana Beach and their visitors and guests by eliminating noise, vandalism and overcrowding.

4.47.020 Operative Date.

All short-term vacation rentals that exist at the time of the effective date of this Chapter shall apply for a Short-Term Vacation Rental Permit. All short-term vacation rentals proposed after the effective date of this Chapter must acquire a Short-Term Vacation Rental Permit.

4.47.030 Definitions.

"Short-Term Vacation" is defined as the rental of any structure or any portion of any structure for occupancy for dwelling, lodging or sleeping purposes for more than seven

(7), but no more than thirty (30), consecutive calendar days in duration in a residential zoning district, including detached single-family residences, condominiums, duplexes, twinplexes, townhomes and multiple-family dwellings.

4.47.040 Prohibited Rental Duration.

Rental for less than 7 consecutive calendar days in duration within all residential zoning districts is prohibited.

4.47.050 Exceptions.

Rentals of more than 30 consecutive days in duration in residential zoning districts are not required to obtain a Short-Term Vacation Rental Permit.

4.47.055 Rental Permit as Business Certificate

A short-term vacation rental permit issued pursuant to this Chapter shall also serve as a Business Certificate for rental activity pursuant to Solana Beach Municipal Code Chapter 4.02.

4.47.060 Obtaining and retaining a Short-Term Vacation Rental Permit.

The applicant shall obtain an annual Short-Term Vacation Rental Permit from the City of Solana Beach subject to all provisions of this Chapter, including the following:

1. Applicants shall submit an application for a Short-Term Vacation Rental Permit to the City of Solana Beach each year. The fee associated with the permit application shall be identical to the amount required for a Business Certificate. The Applicant may be the owner or the owner's agent, and shall be the party responsible for compliance with all provisions of this chapter and all of the laws regulating short-term vacation rentals.
2. Granting or Denial of Application: The application shall be granted unless the issuing officer makes one or more of the findings contained in SBMC Section 4.04.090
3. The Short-Term Vacation Rental Permit holder will be subject to penalties as set forth in Section 4.47.070 in the following instances:
 - a. In the event the Short-Term Vacation Rental unit is located in a residential zoning district and is rented for stays of less than 7 consecutive calendar days in duration, or
 - b. In the event that any person holding a permit issued pursuant to this chapter violates or causes or permits to be violated any of the provisions of this chapter or any provisions of any other ordinance or law relating to or regulating such business, or conducts or carries on

such business in an unlawful manner, or for any reason for which the permit application could have been denied in accordance with SBMC Section 4.04.090.

- c. Failure of the owners/owner's agent to respond to two (2) or more complaints as required by this section.
4. Applicants shall insure that the occupants and/or guests of the Short-Term Vacation Rental unit do not create unreasonable noise or disturbances, engage in disorderly conduct, or violate provisions of this Code or any State Law pertaining to noise, disorderly conduct, overcrowding, the consumption of alcohol, or the use of illegal drugs. Applicants are expected to take any measures necessary to abate disturbance described herein, including but not limited to, directing the tenant, calling for law enforcement services, City Code Enforcement Officers, removing the tenant or any other action necessary to immediately abate the service. If an Applicant is not able to stop documented behavior that has been brought to Applicant's attention, then such failure shall constitute a failure to respond as defined by 4.47.060(3)(c).
5. Applicants shall, upon notification that occupants or tenants of his or her Short-Term Vacation Rental unit have created unreasonable noise or disturbances, engaged in disorderly conduct or committed violations of this Code or State Law pertaining to noise, disorderly conduct, overcrowding, the consumption of alcohol or the use of illegal drugs, prevent a recurrence of such conduct by those occupants or guests and shall respond to the notification of violations within 24 hours. Failure to respond to two (2) or more complaints regarding tenant violations is grounds for penalties as set forth in Section 4.47.070.
6. Applicants of the Short-Term Vacation Rental shall comply with all the provisions of the Solana Beach Municipal Code.
7. The City Council shall have the authority to impose additional standard conditions, applicable to all Short-Term Vacation Rental units, as necessary to achieve the objectives of this chapter and shall notify all Short-Term Vacation Rental permit holders of any change in standards applicable to the permits.
8. A fee in the amount of the Business Certificate fee shall be paid in conjunction with the permit application. The fee is non-refundable.

4.47.070 Violations and Penalties

Violations. Failure to comply with the conditions specified in this chapter shall constitute a violation for which penalties may be imposed. City penalties for violations shall be issued in writing by the issuing officer upon documented verification of a violation. Documentation shall include, but not be limited to, copies of Homeowner Association warnings, reprimands, fines or other Association actions; copies of citations written warnings, reports or other filed documentation by law enforcement. The issuing officer shall notify the applicant in writing of the penalty to be imposed for violations specified as follows:

1. For the first violation within any twelve (12) month period, the penalty shall be five hundred dollars (\$500.00);
2. For a second violation within any twelve (12) month period, the penalty shall be one thousand dollars (\$1,000.00);
3. For a third violation within any twelve (12) month period, the issuing officer shall hold a hearing pursuant to SBMC Section 4.04.110 and the permit shall be revoked for a period of one year.

Appeal Process: Hearings and appeals shall be made in accordance with SBMC Chapter 4.04.

4.47.080 Display of Short-Term Vacation Rental Permit.

Applicants shall affix the Short-Term Vacation Rental Permit on the inside of the main entry door of each Short-Term Vacation Rental unit to which it applies.

4.47.090 Exterior Complaint Phone Number Display.

Applicants shall display notice on the exterior, within plain view of the general public and/or common areas, a 24-hour 7-day phone number for a private party responsible for the facility to take complaints regarding its operation. Applicants are also required to provide adjacent property owners with the 24-hour 7-day phone number for a private party responsible for the facility. Applicants are required to provide a response within 24 hours as outlined in section 4.47.060. Ineffective or non-response shall be grounds for a violation and/or penalty pursuant to 4.47.060.

EFFECTIVE DATE: This ordinance shall be effective thirty (30) days after the date of its adoption. Within fifteen (15) days after its adoption, the City Clerk shall cause this ordinance, or the title hereof as a summary, to be published in a newspaper of general circulation within the City of Solana Beach as required by law.

ORDINANCE NO. 322
Short-Term Vacation Changes
Page No. 5

INTRODUCED at a regular meeting of the City Council of the City of Solana Beach held on the 20th day of January, 2004, and thereafter,

PASSED, APPROVED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, on the 3rd day of February 2004, by the following vote:

AYES: COUNCILMEMBERS - Kellejian, Campbell, Golich, Powell, Sheres

NOES: COUNCILMEMBERS - None

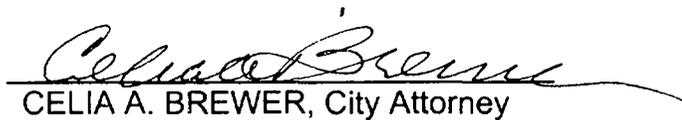
ABSENT: COUNCILMEMBERS - None

ABSTAIN: COUNCILMEMBERS - None



JOE G. KELLEJIAN, Mayor

APPROVED AS TO FORM:



CELIA A. BREWER, City Attorney

ATTEST:



JANICE BREITENFELD, City Clerk

