



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

## AGENDA

### Joint REGULAR Meeting

Wednesday, February 09, 2022 \* 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

This meeting will be conducted in accordance with California Government Code sections 54953(e) and 54954.3 and other applicable law.

#### MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC

Be advised that due to the COVID-19 pandemic in-person participation will not be allowed, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under provided below.

#### AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

#### WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

#### PUBLIC COMMENTS

- Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.
- Correspondence received after the official posting of the agenda, but before 3:00 p.m. (or 3 hrs. prior to the meeting start time) on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.
- The designated location for viewing supplemental documents is on the City's website [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) on the posted Agenda under the relative Agenda Item.

OR

Verbal Comment Participation: If you wish to provide a live verbal comment during the meeting, attend the virtual meeting via your computer or call in.

#### Before Meeting

- Alert Clerk's Office. We ask that you alert us that you will joining the meeting to speak. Please email us at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) to let us know which item you will speak on. This allows our Staff to manage speakers more efficiently.
- Watch the Meeting and Make a Public Comment  
You can watch the meeting on the Live Meeting button on the Public Meetings page OR on TV at the stations provided above OR on the zoom event:  
**Link:** <https://cosb-org.zoom.us/j/82272925698>  
**Webinar ID: 822 7292 5698**  
If you cannot log on or need to use a phone for audio quality, use one of these call-in numbers (toll free):  
**888 475 4499 (Toll Free) or 833 548 0276 (Toll Free)**
- Join/Log-In to the meeting at least 15 minutes prior to the start time so that the City Clerk can verify that you are ready to speak before the meeting begins.
- Audio Accessibility: If your computer does not have a microphone or you have sound issues, you can call-in from a landline or cell phone and use it as your audio (phone # is provided once you log-in to Zoom, see above). If you call in for better audio, mute your computer's speakers to eliminate feedback so that you do not have two audios when you are speaking.

During Meeting:

- During each Agenda Item and Oral Communications, attendees will be asked if they would like to speak. Speakers are taken during each agenda item.
- Speakers will be asked to raise their hand (zoom icon under participants can be clicked or on the phone you can dial \*9) if they would like to be called on to speak during each item. We will call on you by your log in name or the last 4 digits of your phone #. When called on by the meeting organizer, we will unmute so you may provide comments for the allotted time. Allotted speaker times are listed under each [Agenda](#) section.
- Choose Gallery View to see the presentations, when applicable.

**SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) at least 72 hours prior to the meeting.

<b>CITY COUNCILMEMBERS</b>			
<b>Lesa Heebner, Mayor</b>			
<b>Kelly Harless</b> Deputy Mayor	<b>David A. Zito</b> Councilmember District 1	<b>Jewel Edson</b> Councilmember District 3	<b>Kristi Becker</b> Councilmember
Gregory Wade <b>City Manager</b>	Johanna Canlas <b>City Attorney</b>	Angela Ivey <b>City Clerk</b>	

**SPEAKERS:**

See Public Participation on the first page of the Agenda for publication participation options.

**READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

**CALL TO ORDER AND ROLL CALL:**

**CLOSED SESSION REPORT:**

**FLAG SALUTE:**

**PROCLAMATIONS/CERTIFICATES:** *Ceremonial*  
*None at the posting of this agenda*

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

- Black History Month

**APPROVAL OF AGENDA:**

**ORAL COMMUNICATIONS:**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by joining the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. No written correspondence may be submitted in lieu of public speaking. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

### **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

#### **A. CONSENT CALENDAR: (Action Items) (A.1. - A.5.)**

**Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.**

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by joining the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

#### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the December 8, 2021 City Council Meetings.

#### **[Item A.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.2. Register Of Demands. (File 0300-30)**

Recommendation: That the City Council

1. Ratify the list of demands for January 08, 2022 – January 21, 2022.

#### **[Item A.2. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.3. General Fund Budget Adjustments for Fiscal Year 2021/2022. (File 0330-30)**

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2021/2022 General Fund Adopted Budget.

#### **[Item A.3. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. Local Emergency Teleconferencing.** (File 0240-25)

Recommendation: That the City Council

1. Adopt **Resolution 2022-015** authorizing remote teleconference meetings of the legislative bodies of the City for the period of February 10, 2022 through March 12, 2022 pursuant to the new provisions of the Brown Act.

[Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.5. Conflict of Interest Code Update.** (File 0440-00)

Recommendation: That the City Council

1. Adopt **Resolution 2022-010** adopting an amended Solana Beach Conflict of Interest Code.

[Item A.5. Report \(click here\)](#)

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**B. PUBLIC HEARINGS:** (B.1. – B.3.)

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

**B.1. Public Hearing: 135 South Sierra Ave., Applicant: Las Brisas Homeowners Association, Case: CUP20-004.** (File 0600-40)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find this the Proposed Project exempt from the requirements of CEQA pursuant to 2022 State California CEQA Guidelines §15269 as emergency conditions exist onsite.
3. Adopt **Resolution 2022-013** conditionally approving a Conditional Use Permit Modification to construct a return wall that would consist of a drilled pier/caisson design with structural concrete between piers, extend from the top of the southern terminus of the existing seawall to the top of the bluff, and would be covered with hand sculpted, colored shotcrete to match the adjacent natural bluff at 135 S. Sierra Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

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**B.2. Public Hearing Continued: 211 Ocean St., Applicant: Blakely, Case: DRP21-004/ SDP21-004.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2021-128** conditionally approving a DRP, SDP, and SDP Waiver to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated site improvements at 211 Ocean Street, Solana Beach.

[Item B.2. Report \(click here\)](#)

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**B.3. Public Hearing: 661-781 South Nardo Ave. and 821 Stevens Ave., Applicant: H.G. Fenton, Case: DRP MOD 20-002.** (File 0600-40)

The proposed Project meets the minimum objective requirements under the SBMC, can be found to be consistent with the General Plan and the LCP LUP, and may be found, as conditioned, to meet the discretionary findings required to approve a DRP Modification and SDP waiver. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, Close the Public Hearing.
2. Adopt **Resolution 2022-006** conditionally approving a DRP Modification and SDP waiver for the Solana Highlands project modifications described herein, a residential community and affordable senior housing project previously approved on December 17, 2018, at 661-781 South Nardo Avenue and 821 Stevens Avenue, Solana Beach.

[Item B.3. Report \(click here\)](#)

**THIS ITEM HAS BEEN REMOVED FROM THIS AGENDA**

**C. STAFF REPORTS: (C.1. – C.3.)**

*Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.*

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

**C.1. Fiscal Year 2020-21 Annual Comprehensive Financial Report (ACFR).**  
(File 0310-11)

Recommendation: That the City Council

1. Accept and file the City of Solana Beach Annual Comprehensive Financial Report (ACFR) for the Fiscal Year July 1, 2020 – June 30, 2021.
2. Accept and file the Communication of Internal Control Related Matters identified in an Audit letter.
3. Accept and file the Auditor's Communication with Those Charged with Governance letter.

[Item C.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **C.2. Citywide Traffic Calming Measures.** (File 0860-45)

Recommendation: That the City Council

1. Validate the North Highway 101 Engineering and Traffic Speed Survey performed by STC Traffic.
2. Adopt **Resolution 2022-012** determining that upon the basis of the Engineering and Traffic Speed Survey, that North Highway 101, between Cliff Street and the northern city limit, the speed limit shall be 35 miles per hour, which is the most appropriate speed to facilitate the orderly movement of traffic and is reasonable and safe.
3. Consider and provide direction to Staff on implementing the three proposed traffic calming measures at San Mario, South Sierra, and Santa Helena.

### [Item C.2. Report \(click here\)](#)

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## **C.3. SANDAG 2021 Annual Report.** (File 0150-55)

Recommendation: That the City Council

1. Receive the report of SANDAG's 2021 Annual Report.

### [Item C.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **WORK PLAN COMMENTS:**

*Adopted June 23, 2021*

## **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

## **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary- Harless, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate-Harless. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- h. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-Harless
- j. Regional Solid Waste Association (RSWA): Primary-Harless, Alternate-Zito

- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-Harless, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

**STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Edson
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Heebner
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, Harless
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

**CITIZEN COMMISSION(S)**

- a. Climate Action Commission: Primary-Zito, Alternate-Becker

**ADJOURN:**

**Next Regularly Scheduled Meeting is February 23, 2022**

*Always refer the City's website Event Calendar for Special Meetings or an updated schedule.*

*Or Contact City Hall 858-720-2400*

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

**AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA }  
 COUNTY OF SAN DIEGO } §  
 CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the February 09, 2022 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on February 03, 2022 at 4:00 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., February 09, 2022, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk \* City of Solana Beach, CA

**CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**





# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,  
PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

## MINUTES

Joint – Closed Session

Wednesday, December 8, 2021 ♦ 5:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California  
This meeting will be conducted in accordance with Government Code sections 54953(e) and 54954.3 and other applicable law.

### CITY COUNCILMEMBERS

**Lesa Heebner, Mayor**

**Kristi Becker**  
Deputy Mayor

**Kelly Harless**  
Councilmember

**David A. Zito**  
Councilmember  
District 1

**Jewel Edson**  
Councilmember  
District 3

Gregory Wade  
**City Manager**

Johanna Canlas  
**City Attorney**

Angela Ivey  
**City Clerk**

### CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:02 p.m.

Present: Lesa Heebner, Kristi Becker, Kelly Harless, David A. Zito, Jewel Edson  
Absent: None  
Also: Gregory Wade, City Manager  
Present: Johanna Canlas, City Attorney

### PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

### CLOSED SESSION:

#### 1. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

Pursuant to Government Code Section 54956.9(a),(d)(1)  
National Prescription Opiate Litigation  
United States District Court for the Northern District of Ohio Case No. 1-17-md-02804

#### 2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)  
Two (2) Potential case(s).

#### 3. CONFERENCE WITH REAL PROPERTY NEGOTIATOR

Pursuant to Government Code section 54956.8  
Property: APN: 263-352-03,04,05,06 and 07 and 263-342-02  
City Negotiator: City Manager Gregory Wade and City Attorney Johanna Canlas  
Negotiating Parties: Matt Tucker, North County Transit District  
Under negotiation: Lease Price and Terms

**ACTION:** For Item 1., by a vote of 5-0, Council directed the City Manager to execute any and all forms and/or agreements to effectuate the City's participation in the settlement.

### ADJOURN:

Mayor Heebner adjourned the meeting at 5:58 p.m.

Megan Bavin, Deputy City Clerk

Council Approved:

Agenda Item # A.1.



# CITY OF SOLANA BEACH

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AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

## MINUTES

Joint REGULAR Meeting

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**Kristi Becker**  
Deputy Mayor

**Kelly Harless**  
Councilmember

**David A. Zito**  
Councilmember  
District 1

**Jewel Edson**  
Councilmember  
District 3

Gregory Wade  
**City Manager**

Johanna Canlas  
**City Attorney**

Angela Ivey  
**City Clerk**

#### **SPEAKERS:**

See Public Participation on the first page of the Agenda for publication participation options.

#### **READING OF ORDINANCES AND RESOLUTIONS:**

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#### **CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 6:17pm

Present: Lesa Heebner, Kristi Becker, Kelly Harless, David A. Zito, Jewel Edson

Absent: None

Also Greg Wade, City Manager

Present: Johanna Canlas, City Attorney

Angela Ivey, City Clerk

Dan King, Assistant City Manager

Mo Sammak, City Engineer/Public Works Dir.

Ryan Smith, Finance Dir.

Joseph Lim, Community Development Dir.

#### **CLOSED SESSION REPORT:**

Johanna Canlas, City Attorney, reported that Council voted 5/0 to direct the City Manager to take part in the National Prescription Opiate litigation and execute any and all forms and/or agreement to participate in the national settlement.

#### **FLAG SALUTE:**

## **APPROVAL OF AGENDA:**

**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

## **ORAL COMMUNICATIONS: No Speakers**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

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Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

## **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendaized for official City business with no action or substantive discussion.*

## **A. CONSENT CALENDAR: (Action Items) (A.1. - A.7.)**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

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Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the October 13, 2021 City Council Meeting.

**Approved Minutes:** [https://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B\\_BASIC](https://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B_BASIC)

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **A.2. Register Of Demands. (File 0300-30)**

Recommendation: That the City Council

1. Ratify the list of demands for October 23, 2021– November 5, 2021.

#### **Item A.2. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **A.3. General Fund Budget Adjustments for Fiscal Year 2021/2022.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2021/2022 General Fund Adopted Budget.

#### [Item A.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve.  
**Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **A.4. Local Emergency Teleconferencing.** (File 0240-25)

Recommendation: That the City Council

1. Adopt **Resolution 2021-137** authorizing remote teleconference meetings of the legislative bodies of the City for the period of December 10, 2021 through January 7, 2022 pursuant to the new provisions of the Brown Act.

#### [Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve.  
**Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **A.5. This item was left blank.**

### **A.6. State Homeland Security Program Grant 2020.** (File 0240-60)

Recommendation: That the City Council

1. Adopt **Resolution 2021-132:**
  - a. Accepting \$12,679 in federal funds from a 2020 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of a vortex rescue system kit and structural firefighting turnouts.
  - b. Authorizing the City Manager, or his designee, to sign and submit the required California Governor's Office of Emergency Services FY 2020 Standard Assurances for Cal OES Federal Non-Disaster Grant Programs.
  - c. Approving an appropriation of \$12,679 to the Federal Grant revenue account and the Minor Equipment expenditure account for the Fire Department both in the Public Safety Special Revenue fund.
  - d. Authorizing the City Treasurer to amend the FY 2021/22 Adopted Budget accordingly.

#### [Item A.6. Report \(click here\)](#)

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**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

## **A.7. Assistance for Firefighters Grant (AFG) Application Approval.** (File 0390-32)

Recommendation: That the City Council

### 1. Adopt **Resolution 2021-133**:

- a. Authorizing the City of Solana Beach Fire Department to be included in the FY 2021 Assistance to Firefighters Grant regional application for SCBAs (Self-Contained Breathing Apparatus) submitted by the City of Vista.
- b. Authorizing the Fire Chief, or his designee, to sign a Memorandum of Understanding, in a form acceptable to the City Attorney, between the six agencies (City of Vista, City of Encinitas, City of Del Mar, City of Solana Beach, North County Fire Protection District, and Rancho Santa Fe Protection District) with respect to the regional application for SCBAs once all participating organizations are authorized to apply.

### [Item A.7. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

## **B. PUBLIC HEARINGS:** (B.1.)

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

## **B.1. Schedule of User Fees and Charges Update.** (File 0390-23)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, Close the Public Hearing.
2. Adopt **Resolution 2021-136** updating the Schedule of Fees and Charges effective January 1, 2022.

### [Item B.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Ryan Smith, Finance Director, presented a Powerpoint (on file).  
Mayor Heebner opened the public hearing.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Becker to close the public hearing. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Harless to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **C. STAFF REPORTS: (C.1. – C.6.)**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

#### **C.1. Solana 101 Final Landscape Plan.** (File 0600-40)

Recommendation: That the City Council

1. Adopt **Resolution 2021-138** approving the final landscape plan for the Solana 101 Project.

This item was moved to the December 15, 2021 Council Meeting.

#### **C.2. Chamber of Commerce Visitor Center Agreement.** (File 0130-90)

Recommendation: That the City Council

1. Adopt **Resolution 2021-139**, authorizing the City Manager to execute an Agreement between the City and the Solana Beach Chamber of Commerce in an amount up to \$30,000 for operation of the Visitor Center and the development of visitor serving advertising/outreach.
2. If approved by Council, appropriate up to an additional \$15,000 in the Coastal Area Business & Visitor Assistance Fund to the Contributions to Agencies account.
3. Authorize the City Treasurer to amend the FY 2021/22 Adopted Budget accordingly.

#### [Item C.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Dan King, Assistant City Manager, presented a Powerpoint (on file).

Jamie Johnson, Chamber of Commerce CEO, spoke about the role of the visitor's center, expanding and updating their website, making the website a one stop shop for both the local community and non-locals, and providing metrics regarding website hits, walk-ins, QR Code tracking, and social media outreach.

**Motion:** Moved by Councilmember Zito and second by Councilmember to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

### **C.3. COVID Temporary Use Permit Policy for Outdoor Dining.** (File 0230-20)

Recommendation: That the City Council

1. Adopt **Resolution 2021-135** extending the COVID-19 Temporary Use Permit (TUP) Policy for Outdoor Dining through March 30, 2022.

#### [Item C.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Joseph Lim, Director of Community Development, presented a Powerpoint (on file).

Council and Staff discussed the timeline of the extension and that it was specifically for dining.

Council discussed allowing dining in public parking places, outdoor dining in private parking spaces, specified conditions related to outdoor dining, sidewalk dining, applying existing parking standards, size limits of outdoor dining areas, limitations when adjacent to residential areas, parking issues, complaints from citizens related to lack of parking, and a timeline of a proposed ending date of the extension.

Councilmember Harless stated that she did not oppose an extension of the Temporary Use Permit, that it would allow businesses to recoup their investment in outdoor dining spaces, but that she wasn't in favor of it as a permanent policy, that there should be a point where the existing parking standards should apply, and that it affected residential parking and was an imposition on residential areas that are near restaurants.

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to limit to dining uses only and direct staff to extend the Covid-19 Temporary Use Permit for Outdoor Dining through Monday, September 5, 2022. **Approved 4/1.** Ayes: Heebner, Becker, Zito, Edson. Noes: Harless. Motion carried.

### **C.4. Adopt (2<sup>nd</sup> Reading) Ordinance 518 regarding Implementation of Solar Energy, Building Decarbonization and Electric Vehicle Infrastructure Requirements.** (File 0600-05)

Recommendation: That the City Council

1. Adopt **Ordinance 518** (2<sup>nd</sup> Reading) amending Title 15 of the Solana Beach Municipal Code to adopt amendments to the 2019 California Building Code and California Green Building Code to implement Solar Energy, Building Decarbonization and Electric Vehicle Infrastructure requirements for new construction.

[Item C.4. Report \(click here\)](#)

[Item C.4. Supplemental Docs \(updated 12-8-21 at 3pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Johanna Canlas, City Attorney, introduced the item.

Shelah Ott stated that she was with the San Diego Green New Deal Alliance and that she supported the Ordinance.

Karina Gonzales stated that she was with Integrated Building Solutions, that she urged the Council to follow Encinitas and adopt an all-electric building ordinance with minimal exceptions, that cities need to lead and pursue solutions that decrease dependency on fracked methane gas, that she appreciated the amendments made at the last meeting to lower thresholds and removal of exemptions, and that she supported the adoption of the Ordinance.

Staff and Council said that this topic had been discussed for some time and they had received a lot of public input from residents and experts in the field.

Councilmember Edson stated that there was not enough consideration for building electrification on remodels, that someone who had been saving to remodel their home might not be able to afford to add solar, and that she did not support the inclusion of remodels in the Ordinance.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Becker to approve. **Approved 4/1.** Ayes: Heebner, Becker, Harless, Zito. Noes: Edson. Motion carried.

**C.5. Adopt (2<sup>nd</sup> Reading) Ordinance 521 Providing Regulations Concerning Two-Unit Residential Development in Single-Family Residential Zones and Providing Regulations Concerning Urban Lot Split Subdivisions in Single-Family Residential Zones.** (File 0600-95)

Recommendation: That the City Council

1. Adopt **Ordinance 521** (2<sup>nd</sup> Reading) adding Section 17.20.040(R) and Section 16.48 to the Solana Beach Municipal Code and amending Chapter 17.12 and Section 17.20.020 of the Solana Beach Municipal Code to allow two-unit residential developments and urban lot split subdivisions in single-family residential zones.

[Item C.5. Report \(click here\)](#)

[Item C.5. Supplemental Docs \(updated 12-8-21 at 3pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Johanna Canlas, City Attorney, introduced the item.

Shawna McGarry (time donated by Brian Lannutii), presented a powerpoint (on file), and stated that she is part of Progress Solana, that they want to promote a City that has a wide range of housing options and sizes, that she would like to see middle sized housing through SB 9 compliance with state law, that if the Ordinance passes to revisit it in the



new year, that people can't afford to live in the City with the rising rent and housing prices, that now rentals sit empty or have become vacation rentals, that a solution could be to build contemporary duplexes, that the issues with the Ordinance are size limits and grading limits, that SB 9 doesn't override CC&RS, and that she welcomed an opportunity to work with the City and improve the policy.

Kristin Brinner, continued presenting the powerpoint (on file) and said that the City's proposed cap of 825 sq. ft. was too small and doesn't take any local context into account, that it doesn't seem logical to limit someone to less than 50% of the square footage of housing area, that more flexibility is needed so people can build homes for families, that to address neighbor's privacy concerns there could be objective guidelines that allow increased square footage by taking into account the number of units, the lot size and setbacks to look at adding active guidelines to make it more feasible for homeowners rather than developers to take advantage of this opportunity, and requested that if the Ordinance is implemented that Council revisit it in the new year.

Jonathon Goodmacher continued presenting the powerpoint (on file) and said that it seemed like it was a rushed process and not much notice was given to residents, that there needed to be more public input, that the Ordinance contradicts the General Plan, that on a slightly sloped lot, one hundred cubic yard grading limit would be very difficult to stay within, that limiting this to certain areas or zones of the City would prohibit someone like him from being able to split their lot.

Heidi Dewar stated that she knows a number of families that have had to move because they couldn't afford to buy in the City, that SB 9 may not be the perfect solution but the City has made it overly restrictive with regards to height, grading, and size, and that it will likely result in fewer additional family sized homes, that she urged the City to revisit this issue and to find creative solutions that would increase housing opportunities.

Cindi Clemons said that she supported the Ordinance, that it is within the law, that it will protect the city while giving homeowners an opportunity to expand housing on their single-family lots and provide for more reasonably priced housing options.

Jill MacDonald stated that the Ordinance was the best alternative at the moment to the bill, that the bill limits local control of zoning and development with a one size fits all decree, that it makes no mention of either affordable or moderate or low income housing, that regulation of the process to implement SB 9 is the best opportunity for the City to remain the place that she loves to live in.

Tracy Richmond said that he supported the Ordinance as presented, that he supported providing more affordable housing but SB 9 doesn't address affordability, that it's a mirage that's being used to basically destroy local control of all zoning and housing, that it's a challenge for the City to maintain the essence of the community but still comply with the SB 9 mandates, that density gives value to development, that the Ordinance was attempting to maintain a small beach town character without crowding the neighborhoods, that it's a goal to make housing more affordable, that size limitations like the ones in Ordinance 521 were essential because otherwise developers would simply buy up the real estate lots and then maximize the size of the units and the ultimate result would be less affordable housing.

Gary Martin stated that he supported the ordinance as prepared, that it's important that the City has affordable moderate size and moderate income housing, and that eliminating parking would be a tremendous mistake.

Johanna Canlas, City Attorney, stated that SB 9 affords any local government to adopt a local ordinance within the confines of the bill, that objective standards were being presented that include height and size and that are all within the purview of what SB 9 said the City could do, that SB 9 applies to single-family zones, that MR Zones aren't a single family zone, that it has some allowances for reduced parking, that the City is entirely within the coastal zone and the city has an obligation to provide for those who don't live by the beach to come to the beach so parking is required to ensure that parking under the Coastal Act is recognized, that it's not reducing anything but allowing for additional development that wouldn't have been allowed under SB 330 in 2018, that there is no downsizing as you can now have more units, if you choose to, or continue to go through the discretionary process that is in place, that the standards are necessary and appropriate, that the setbacks are consistent with what is in SB9, and the City allows for attached units as required by SB 9.

Mayor Heebner stated that the City was a high land value city and is entirely in the coastal zone, that Ordinance 521 complies with and implements the law as stated in SB 9, that it allows for two 825 sq. ft. units up to 16 ft. in height on each lot, that it allows for up to one hundred cubic yards of grading and a 10 ft. separation between units for fire safety reasons, that Ordinance 521 applies to single family residential zones, that these zones do not allow multifamily units and are subject to SB 9 with its focus being on single- family zones, that Ordinance 521 requires at least one parking space per unit and coastal zone visitors' access to the beach is legally required, that SB 9 states that nothing in this section shall be construed to supersede or in any way alter or lessen the effect or application of the California Coastal Act, that offering one parking space per unit seems entirely reasonable, that the best hope for housing for moderate income households as a result of SB 9 is adopting the 825 sq. ft. in hopes that the smaller size might result in a moderate price tag, that the assumption that the requested modifications to the Ordinance would facilitate the building of moderately priced homes is a false argument, that dense housing lowers prices is unsupportable, that the City has made efforts to encourage developers to build affordable units, that the City enacted an inclusionary policy that requires developers to set aside 15% of all units to be affordable, that the policies of SB 9 will spur gentrification by speculative buyers, that lot size does not ensure a low house price, that it creates the best opportunity to provide some moderately priced homes at 825 sq. ft., that currently properties in most zones can add an accessory dwelling unit.

She said that she did not agree with those who are advocating for changing the Ordinance to allow for larger homes which would have no reasonable expectation to produce affordable units, and that she supports Ordinance 521 as written.

Councilmember Zito said that there was a significant RHNA objective to be met, that Ordinance 521 will help the City meet RHNA within the context of the uniqueness of our town, and that SB 9 wasn't well written for Solana Beach, and that this was the best effort to meet state mandates and the City's Housing Element.

Deputy Mayor Becker stated that she supported the objectives of Ordinance 521, that

addressing and creating affordable housing was a priority, that she supported keeping the square footage to 825 sq. ft., that more affordable housing is needed rather than more expensive housing, and that a one size fits all zoning regulation was not ideal.

Councilmember Harless stated that she believes the City has found the best balance with Ordinance 521 and that building more and bigger is not going to make it more affordable.

Councilmember Edson stated that she supports the Ordinance, that she feels it speaks to the intent of SB 9 and the intent of the City to create more affordable housing.

**Motion:** Moved by Mayor Heebner and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

**C.6. Annual Deputy Mayor Appointment.** (File 0410-85)

Recommendation: That the City Council

1. Review and consider designation of the 2022 Deputy Mayor for a term of December 8, 2021 to December 14, 2022.

[Item C.6. Report \(click here\)](#)

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**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Edson to appoint Kelly Harless. **Approved 5/0.** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

**COMPENSATION & REIMBURSEMENT DISCLOSURE:** Councilmember Edson attended the American Public Transportation Conference in Orlando on behalf of the North County Transportation District and that City paid for her lodging.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

**STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

**CITIZEN COMMISSION(S)**

**ADJOURN:**

Mayor Heebner adjourned the meeting at 9:06 p.m.

Megan Bavin, Deputy City Clerk

Approved: \_\_\_\_\_



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Register of Demands

## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 01/08/21 through 01/21/22

Check Register-Disbursement Fund (Attachment 1)		\$	743,506.63
Retirement Payroll	January 12, 2022		4,192.00
Council Payroll	January 13, 2022		5,686.34
Federal & State Taxes	January 13, 2022		385.43
Net Payroll	January 7, 2022		173,451.89
Federal & State Taxes	January 7, 2022		43,647.85

TOTAL		\$	<u>970,870.14</u>
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## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for January 8, 2022 through January 21, 2022 reflects total expenditures of \$970,870.14 from various City sources.

CITY COUNCIL ACTION: \_\_\_\_\_  
 \_\_\_\_\_

**WORK PLAN:**

N/A

**OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



# City of Solana Beach

## Register of Demands

1/8/2022 - 1/21/2022

Department Vendor	Description	Check/EFT Number	Amount
<b>100 - GENERAL FUND</b>			
ICMA PLAN 302817	ICMA PD 01/13/21	9000404	\$5,344.82
ICMA PLAN 302817	Payroll Run 1 - Warrant M15	9000409	\$28,688.09
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant M15	9000411	\$813.50
SAN DIEGO COUNTY SHERIFF'S DEPT.	CR TOW FEE/STAFF/OVERTIME-OCT	101168	(\$174.71)
ICMA RHS 801939	Payroll Run 1 - Warrant M15	9000410	\$2,137.48
SUN LIFE FINANCIAL	DEC 21 LIFE&ADD/SUPP LIFE/LTD	9000412	\$1,297.43
SUN LIFE FINANCIAL	DEC 21 LIFE&ADD/SUPP LIFE/LTD	9000412	\$301.65
SUN LIFE FINANCIAL	DEC 21 LIFE&ADD/SUPP LIFE/LTD	9000412	\$1,564.75
ROB MCPHEE			
STERLING HEALTH SERVICES, INC.	STERLING FSA INITIAL FUNDING DEPOSIT	101174	\$3,350.00
WILLIAM FARLOW	RFND-OVERPAYMENT DENTAL BENIFITS-NOV/DEC 21	101192	\$68.20
<b>TOTAL GENERAL FUND</b>			<b>\$44,906.44</b>
<b>1005250 - LEGAL SERVICES</b>			
NIELSEN MERKSAMER	REDSTRCT PROF SVC-NOV	101164	\$2,192.00
BURKE WILLIAMS & SORENSEN	96-0033/PROF SRVC	101147	\$1,140.00
BURKE WILLIAMS & SORENSEN	96-0038/PROF SRVC	101147	\$529.00
BURKE WILLIAMS & SORENSEN	RETAIN-OCT 21	101147	\$11,250.00
BURKE WILLIAMS & SORENSEN	96-0001/PROF SRVC	101147	\$4,760.00
BURKE WILLIAMS & SORENSEN	96-0001.03/PROF SRVC	101147	\$2,740.00
BURKE WILLIAMS & SORENSEN	96-0006/PROF SRVC	101147	\$736.00
BURKE WILLIAMS & SORENSEN	96-0014/PROF SRVC	101147	\$1,201.00
BURKE WILLIAMS & SORENSEN	96-0019/PROF SRVC	101147	\$1,960.00
BURKE WILLIAMS & SORENSEN	96-0021/PROF SRVC	101147	\$360.00
BURKE WILLIAMS & SORENSEN	96-0019/PROF SVC NOV 21	101194	\$900.00
BURKE WILLIAMS & SORENSEN	96-0033/PROF SVC NOV 21	101194	\$1,020.00
BURKE WILLIAMS & SORENSEN	96-0037.001/PROF SVC NOV 21	101194	\$160.00
BURKE WILLIAMS & SORENSEN	96-0038/PROF SVC NOV 21	101194	\$3,585.00
BURKE WILLIAMS & SORENSEN	RETAIN-NOV 21	101194	\$11,250.00
BURKE WILLIAMS & SORENSEN	96-0001/PROF SVC NOV 21	101194	\$3,140.00
BURKE WILLIAMS & SORENSEN	96-0001.003/PROF SVC NOV 21	101194	\$800.00
BURKE WILLIAMS & SORENSEN	96-0002/PROF SVC NOV 21	101194	\$161.00
BURKE WILLIAMS & SORENSEN	96-0006/PROF SVC NOV 21	101194	\$1,380.00
BURKE WILLIAMS & SORENSEN	96-0014/PROF SVC NOV 21	101194	\$748.50
<b>TOTAL LEGAL SERVICES</b>			<b>\$50,012.50</b>
<b>1005300 - FINANCE</b>			
THE ARTINA GROUP	CHECKS-500	101200	\$227.54
<b>TOTAL FINANCE</b>			<b>\$227.54</b>
<b>1005350 - SUPPORT SERVICES</b>			
STAPLES CONTRACT & COMMERCIAL	2972102821/2976020391-TISSUE/KCUP CLNR	101199	\$42.01

STAPLES CONTRACT & COMMERCIAL	2972102821/2976020391-TISSUE/KCUP CLNR	101199	\$8.61
ROB MCPHEE	REIMB-BANKING FEE-NEW SYSTEM ERROR	9000407	\$12.00
	<b>TOTAL SUPPORT SERVICES</b>		<b>\$62.62</b>
<b>1005400 - HUMAN RESOURCES</b>			
KIMBERLY POWERS	2021 EE APPRECIATION LUNCHEON PHOTO BOOTH	101166	\$500.00
	<b>TOTAL HUMAN RESOURCES</b>		<b>\$500.00</b>
<b>1005450 - INFORMATION SERVICES</b>			
COX COMMUNICATIONS INC	0013410039730701-12/19/21-01/18/21	101195	\$310.66
AT&T CALNET 3	9391012278-09/24/21-10/23/21	101193	\$3,013.64
AT&T CALNET 3	9391012278-11/24/21-12/23/21	101193	\$3,024.20
AT&T CALNET 3	9391012282-11/24/21-12/23/21	101193	\$21.67
	<b>TOTAL INFORMATION SERVICES</b>		<b>\$6,370.17</b>
<b>1005590 - PARKING ENFORCEMENT</b>			
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$151.34
	<b>TOTAL PARKING ENFORCEMENT</b>		<b>\$151.34</b>
<b>1006110 - LAW ENFORCEMENT</b>			
SAN DIEGO COUNTY SHERIFF'S DEPT.	LAW ENFORCEMENT-OCT	101168	\$390,625.33
SAN DIEGO COUNTY SHERIFF'S DEPT.	CR TOW FEE/STAFF/OVERTIME-OCT	101168	(\$4,025.58)
SAN DIEGO COUNTY SHERIFF'S DEPT.	CR TOW FEE/STAFF/OVERTIME-OCT	101168	\$2,080.79
	<b>TOTAL LAW ENFORCEMENT</b>		<b>\$388,680.54</b>
<b>1006120 - FIRE DEPARTMENT</b>			
SIGTRONICS CORPORATION	HEADSET REPAIR	101171	\$410.65
SANTA FE IRRIGATION DISTRICT	005512-000-11/02-12/31	101198	\$621.07
NAPA AUTO PARTS INC	BATTERY/ANIT FREEZE	101163	\$272.45
ACE UNIFORMS & ACCESSORIES	PANTS/SHIRT/EMB/BELT-MITCHELL	101141	\$889.58
VERIZON WIRELESS-SD	962428212-1-11/29/21-12/28/21	101201	\$617.75
SOUTH COAST EMERGENCY VEHICLE SVC	ICP BAR/PSV/HOB	101173	\$388.62
SOUTH COAST EMERGENCY VEHICLE SVC	SEAT CUSHION	101173	\$541.32
FIRE ETC.	TURNOUT CLEANER	101157	\$396.52
REGIONAL COMMS SYS, MS 056 - RCS	CAP CODE-NOV	101167	\$32.50
WEX BANK	AUTO FUEL/CR EXEMPT TAX-NOV	101190	\$1,993.16
WEX BANK	AUTO FUEL/CR EXEMPT TAX-NOV	101190	(\$99.57)
WESTERN EXTRICATION SPECIALISTS INC	EXTRCTN EQUIPMENT	101189	\$2,091.78
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$438.50
AFECO INC	TURNOUT CLEAN/REPAIR-BARRON	101172	\$472.70
AFECO INC	TURNOUT CLEANING-SIBERELL	101172	\$26.50
	<b>TOTAL FIRE DEPARTMENT</b>		<b>\$9,093.53</b>
<b>1006130 - ANIMAL CONTROL</b>			
HABITAT PROTECTION, INC	DEAD ANIMAL REMOVAL-NOV	101165	\$145.00
	<b>TOTAL ANIMAL CONTROL</b>		<b>\$145.00</b>
<b>1006150 - CIVIL DEFENSE</b>			
AT&T CALNET 3	9391012275-11/24-12/23	101145	\$166.16
	<b>TOTAL CIVIL DEFENSE</b>		<b>\$166.16</b>
<b>1006170 - MARINE SAFETY</b>			
VERIZON WIRELESS-SD	962428212-1-11/29/21-12/28/21	101201	\$152.04

WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$560.30
			<b>TOTAL MARINE SAFETY</b>
			<b>\$712.34</b>
<b>1006510 - ENGINEERING</b>			
UNDERGROUND SVC ALERT OF SOCAL INC	CA ST REGLRTY-DEC	101186	\$54.29
UNDERGROUND SVC ALERT OF SOCAL INC	DIG ALERT-DEC	101186	\$52.90
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$135.39
			<b>TOTAL ENGINEERING</b>
			<b>\$242.58</b>
<b>1006520 - ENVIRONMENTAL SERVICES</b>			
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$13.62
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$12.59
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$12.58
AFFORDABLE PIPELINE SERVICES INC	H-STORM DRAIN MAINT	101142	\$1,140.00
SANTA FE IRRIGATION DISTRICT	011695-000/005506-014	101198	\$239.08
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$393.85
			<b>TOTAL ENVIRONMENTAL SERVICES</b>
			<b>\$1,811.72</b>
<b>1006530 - STREET MAINTENANCE</b>			
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$23.35
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$21.56
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$21.56
DIXIELINE LUMBER CO INC	PAINT REMOVAL/GLOVES	101154	\$79.92
SANTA FE IRRIGATION DISTRICT	011695-000/005506-014	101198	\$124.27
SDG&E CO INC	UTILITIES-11/01-12/08	101169	\$549.59
SDG&E CO INC	UTILITIES-11/06-12/08	101169	\$862.57
JOSHUA BLEA	MILEAGE-12/29 & 12/31	101146	\$28.00
TRAFFIC SUPPLY, INC	SINAGE	101176	\$369.07
TRAFFIC SUPPLY, INC	SINAGE/BOLTS	101176	\$483.67
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$356.93
			<b>TOTAL STREET MAINTENANCE</b>
			<b>\$2,920.49</b>
<b>1006540 - TRAFFIC SAFETY</b>			
SDG&E CO INC	UTILITIES-11/01-12/08	101169	\$523.13
SDG&E CO INC	UTILITIES-11/06-12/08	101169	\$1,136.65
DEPARTMENT OF TRANSPORTATION	COST SHARE AGMT - I-5 TRAFFIC SIGNALS-07/21-09/21	101153	\$86.38
DEPARTMENT OF TRANSPORTATION	COST SHARE AGMT - I-5 TRAFFIC SIGNALS-07/21-09/21	101153	\$134.30
REFLEX TRAFFIC SYSTEMS, INC	RED LIGHT CAMERA-DEC	9000406	\$7,158.00
AT&T CALNET 3	9391012279-11/24-12/23	101145	\$47.95
			<b>TOTAL TRAFFIC SAFETY</b>
			<b>\$9,086.41</b>
<b>1006550 - STREET CLEANING</b>			
SANTA FE IRRIGATION DISTRICT	011695-000/005506-014	101198	\$72.99
CLEAN STREET	STREET SWEEPING-DEC	101151	\$3,871.45
			<b>TOTAL STREET CLEANING</b>
			<b>\$3,944.44</b>
<b>1006560 - PARK MAINTENANCE</b>			
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$16.54
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$15.27
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$15.28
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$287.19



SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$713.38
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$98.86
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$74.42
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$393.12
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$103.54
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$130.83
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$85.33
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$74.42
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$136.20
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$276.72
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$1,096.37
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$126.50
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$74.42
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$196.77
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$135.67
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$92.55
NAPA AUTO PARTS INC	CLEANER WAX	101163	\$32.85
AA FARNSWORTH'S BACKFLOW SERVICES	BACKFLOW ANNUAL TEST	101139	\$458.55
AA FARNSWORTH'S BACKFLOW SERVICES	BACKFLOW REPAIR KIT/LABOR	101139	\$128.00
JOSHUA BLEA	MILEAGE-12/29 & 12/31	101146	\$56.00
ABEL PEREZ	MILEAGE-12/22 & 12/27	101140	\$7.84
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$73.85
<b>TOTAL PARK MAINTENANCE</b>			<b>\$4,900.47</b>

**1006570 - PUBLIC FACILITIES**

SEASIDE HEATING & AIR CONDITIONING	HVAC MAINT-OCT-CH	101170	\$245.00
DIXIELINE LUMBER CO INC	DRILL BIT/BOLTS/ANCHORS	101154	\$16.44
DIXIELINE LUMBER CO INC	DRILL BIT/BOLTS/WASHERS/ANCHOR	101154	\$12.96
DIXIELINE LUMBER CO INC	SOCKET EXTENSION/MULTI PRPS RESPIRATOR	101154	\$57.94
DIXIELINE LUMBER CO INC	DRAIN CLEANER	101154	\$9.01
DIXIELINE LUMBER CO INC	SCRAPER/PUTTY KNIFE/FIBERGLASS FILLER	101154	\$27.41
DIXIELINE LUMBER CO INC	KEY RING/BLANK KEY/QUICK SNAP	101154	\$11.98
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$422.22
SDG&E CO INC	UTILITIES-11/01-12/08	101169	\$1,690.85
SDG&E CO INC	UTILITIES-11/06-12/08	101169	\$5,412.07
ABEL PEREZ	MILEAGE-12/22 & 12/27	101140	\$7.84
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-CH	101150	\$60.91
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-PW	101150	\$54.41
CALIFORNIA OFFICE CLEANING, INC	JANITORIAL/CUSTODIAL SVC AT CITY FACILITIES-DEC	101148	\$7,850.00
CALIFORNIA OFFICE CLEANING, INC	JANITORIAL/CUSTODIAL SVC AT CITY FACILITIES-DEC	101148	\$150.00
CALIFORNIA OFFICE CLEANING, INC	JANITORIAL/CUSTODIAL SVC AT CITY FACILITIES-NOV	101148	\$7,850.00
CALIFORNIA OFFICE CLEANING, INC	JANITORIAL/CUSTODIAL SVC AT CITY FACILITIES-NOV	101148	\$150.00
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$123.08
WEST COAST ARBORISTS, INC.	REE MAINTENANCE 11/16-11/30	101188	\$420.00
SYMONS FIRE PROTECTION	QTR 4 INSPECTION	101175	\$690.00

**TOTAL PUBLIC FACILITIES****\$25,262.12****1007110 - GF-RECREATION**

AMERICAN BUSINESS FORMS	VETERANS DAY CEREMONY PROGRAMS	101143	\$48.48
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$76.07
JOHN BLACK	REIMB-TREE LIGHTING	101159	\$71.10
JAMIE LALLY	REIMB-TREE LIGHTING	101158	\$28.45

**TOTAL GF-RECREATION****\$224.10****1205460 - SELF INSURANCE RETENTION**

EVAN MASON	FY21 GYM REIMB	101160	\$399.61
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**TOTAL SELF INSURANCE RETENTION****\$399.61****1355200 - ASSET REPLACEMENT-CTY MNGR**

TYLER TECHNOLOGIES, INC.	20-216-02 IMPLMNTN HR	101185	\$6,400.00
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**TOTAL ASSET REPLACEMENT-CTY MNGR****\$6,400.00****1356170 - ASSET REPLACEMENT-MARN SFTY**

SAN DIEGO OCEAN ENTERPRISES, INC.	OE Dive Gear	101196	\$660.46
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**TOTAL ASSET REPLACEMENT-MARN SFTY****\$660.46****1605360 - OPEB OBLIGATION**

MIDAMERICA	CITYSOLANAG5-JAN 22	9000405	\$6,450.00
MIDAMERICA	CTYSOLANAG5-DEC 21	9000405	\$6,593.00

**TOTAL OPEB OBLIGATION****\$13,043.00****2026510 - GAS TAX-ENGINEERING**

UT SAN DIEGO - NRTH COUNTY	NOTICE-BID 2022-01	101187	\$310.33
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**TOTAL GAS TAX-ENGINEERING****\$310.33****2037510 - HIGHWAY 101 LANDSC #33**

SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$826.10
SDG&E CO INC	UTILITIES-11/06-12/08	101169	\$2,846.47

**TOTAL HIGHWAY 101 LANDSC #33****\$3,672.57****2047520 - MID 9C SANTA FE HILLS**

SANTA FE IRRIGATION DISTRICT	005979-029-10/16/21-12/15/21	101198	\$681.84
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$529.61
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$349.75
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$513.97
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$61.56
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$338.02
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$408.40
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$510.06
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$85.02
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$147.58
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$529.61
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$701.65
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$443.59
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$451.41

**TOTAL MID 9C SANTA FE HILLS****\$5,752.07****2077550 - MID 9H SAN ELIJO #2**

SAN ELIJO HILLS II HOA	FY22 MID PAYMENT JULY	101197	\$6,550.00
SAN ELIJO HILLS II HOA	FY22 MID PAYMENT - AUGUST	101197	\$6,550.00

SAN ELIJO HILLS II HOA	FY22 MID PAYMENT SEPT	101197	\$6,550.00
SAN ELIJO HILLS II HOA	FY22 MID PAYMENT - OCT	101197	\$6,550.00
SAN ELIJO HILLS II HOA	FY22 MID PAYMENT - NOV	101197	\$6,550.00
SAN ELIJO HILLS II HOA	FY22 MID PAYMENT DEC	101197	\$6,550.00
	<b>TOTAL MID 9H SAN ELIJO #2</b>		<b>\$39,300.00</b>
<b>2087580 - COASTAL RAIL TRAIL MAINT</b>			
SANTA FE IRRIGATION DISTRICT	12/02/21-12/31/21	101198	\$2,774.71
SANTA FE IRRIGATION DISTRICT	11/02/21-12/31/21	101198	\$117.34
	<b>TOTAL COASTAL RAIL TRAIL MAINT</b>		<b>\$2,892.05</b>
<b>2117600 - STREET LIGHTING DISTRICT</b>			
SDG&E CO INC	UTILITIES-11/01-12/08	101169	\$8,450.75
	<b>TOTAL STREET LIGHTING DISTRICT</b>		<b>\$8,450.75</b>
<b>2196110 - COPS PROGRAM</b>			
SAN DIEGO COUNTY SHERIFF'S DEPT.	LAW ENFORCEMENT-OCT	101168	\$12,500.00
	<b>TOTAL COPS PROGRAM</b>		<b>\$12,500.00</b>
<b>2206510 - TRANS DEVELOP ACT (TDA)</b>			
MICHAEL BAKER INTERNATIONAL, INC	19-193-03 9382 LSF CORR-NOV	101161	\$6,750.00
	<b>TOTAL TRANS DEVELOP ACT (TDA)</b>		<b>\$6,750.00</b>
<b>2286510 - TRANSNET EXTENSION-CIP</b>			
CHEN RYAN ASSOCIATES	21-202-01 9538 SAFE RT SCH-NOV	101149	\$4,585.69
MICHAEL BAKER INTERNATIONAL, INC	19-193-03 9382 LSF CORR-NOV	101161	\$750.00
	<b>TOTAL TRANSNET EXTENSION-CIP</b>		<b>\$5,335.69</b>
<b>2466510 - PER CAPITA GRANT FUND-CIP</b>			
CHEN RYAN ASSOCIATES	21-202-01 9538 SAFE RT SCH-NOV	101149	\$13,757.07
	<b>TOTAL PER CAPITA GRANT FUND-CIP</b>		<b>\$13,757.07</b>
<b>2706120 - PUBLIC SAFETY- LAW ENFORCEMENT</b>			
ENTERPRISE RENT A CAR	STRKTM-10/30-11/23-PESTER	101155	\$1,108.97
VERIZON WIRELESS-SD	962428212-1-11/29/21-12/28/21	101201	\$114.03
ERIC PHILLIPS	REIMB-CFAA-DIXIE FIRE-PHILLIPS	101156	\$1,621.55
AMR	CSA17.22 FLUCELVAX	101144	\$413.95
AMR	CSA17.22-LIFEBAND/PED SENSORS	101144	\$1,746.36
	<b>TOTAL PUBLIC SAFETY- LAW ENFORCEMENT</b>		<b>\$5,004.86</b>
<b>5097700 - SANITATION</b>			
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$9.73
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$8.99
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101162	\$8.99
AFFORDABLE PIPELINE SERVICES INC	I-SEWER CLEANING	101142	\$425.00
AFFORDABLE PIPELINE SERVICES INC	C-SEWER CLEANING-8,334	101142	\$4,167.00
AFFORDABLE PIPELINE SERVICES INC	C-SEWER CLEANING-44,797	101142	\$22,398.50
AFFORDABLE PIPELINE SERVICES INC	J SEWER CLEANING	101142	\$575.00
AFFORDABLE PIPELINE SERVICES INC	0-STORM DRAIN MAINT	101142	\$1,140.00
SANTA FE IRRIGATION DISTRICT	011695-000/005506-014	101198	\$717.24
AT&T CALNET 3	9391012277-11/24-12/23	101145	\$15.63
WEX FLEET UNIVERSAL	AUTO FUEL-12/08/21-01/07/22	101191	\$147.70

**TOTAL SANITATION****\$29,613.78****6527820 - SUCCESSOR AGENCY**

COLANTUONO, HIGHSMITH, & WHATLEY PC	SDCOE CONSORTIUM-NOV	101152	\$293.88
BURKE WILLIAMS & SORENSEN	97-0003/PROF SRVC	101147	\$180.00
BURKE WILLIAMS & SORENSEN	97-0003/PROF SVC NOV 21	101194	\$20.00
COMPUTERSHARE CORPORATE TRUST	FY22 TAR BOND 2017 ADMIN FEE	9000403	\$4,000.00
	<b>TOTAL SUCCESSOR AGENCY</b>		<b>\$4,493.88</b>

**6718510 - BARBARA UNDERGROUNDING-DS**

COMPUTERSHARE CORPORATE TRUST	BARB BOND INT 03/02/22	9000408	\$26,750.00
	<b>TOTAL BARBARA UNDERGROUNDING-DS</b>		<b>\$26,750.00</b>

**6728520 - PACIFIC UNDERGROUNDING-DS**

COMPUTERSHARE CORPORATE TRUST	PACIFIC BOND INT 03/02/22	9000408	\$9,000.00
	<b>TOTAL PACIFIC UNDERGROUNDING-DS</b>		<b>\$9,000.00</b>

**REPORT TOTAL:****\$743,506.63**



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2021/22**

**BACKGROUND:**

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through January 26, 2022.

**DISCUSSION:**

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 23, 2021 (Resolution 2021-092) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of January 26, 2022
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General Fund Operations
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Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
Reso 2021-092	Adopted Budget	22,694,100	(20,222,560)	(916,100) (1)	\$ 1,555,440
Reso 2021-086	Crossing Guards	121,540	(48,984)	-	1,627,996
Reso 2021-096	FY22 MOU	-	(950)	-	1,627,046
Reso 2021-103	Landscaping Maintenance Services	-	(40,000)	-	1,587,046
Reso 2021-125	Street Maintenance and Repairs Project	-	-	(200,000) (2)	1,387,046
(1)	Transfers to:		150,100		
	Debt Service for Public Facilities		150,100	150,100	
	Transfer to:		766,000		
	City CIP Fund		766,000	766,000	
(2)	Transfer to:		200,000		
	City CIP Fund		200,000	200,000	

General Fund Unreserved Balance
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Action	Description	Revenues	Expenditures	Transfers from GF	Net
Reso 2021-124	FY21 Surplus- PARS Contribution	-	(455,000)		(455,000)

**COUNCIL ACTION:**

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**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA

**FISCAL IMPACT:**

N/A

**WORK PLAN:**

N/A

**OPTIONS:**

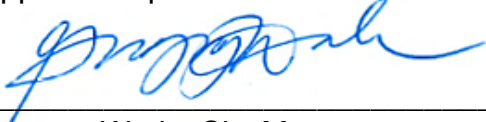
- Receive the report.
- Do not accept the report

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report listing changes made to the FY 2021-2022 General Fund Adopted Budget.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** City Manager's Department/City Attorney's Office  
**SUBJECT:** **City Council Consideration and Potential Adoption of Resolution 2022-015 Authorizing Continued Remote Teleconference Meetings of the Legislative Bodies of the City for the Period of February 10, 2022 through March 12, 2022 Pursuant to the Brown Act and Continuing Emergency**

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### **BACKGROUND:**

On March 11, 2020, the World Health Organization (WHO) declared COVID-19, the illness caused by the novel coronavirus, a pandemic, pointing at that time to over 118,000 cases of COVID-19 in over 110 countries and territories around the world and the sustained risk of further global spread. This was preceded by declarations of emergency by both the County of San Diego and State of California on February 14, 2020, and March 4, 2020, respectively, followed by a federal emergency declaration on March 13, 2020, as a result of the threat posed by COVID-19. On March 16, 2020, pursuant to Section 2.28.060(A)(1) of the Solana Beach Municipal Code (SBMC), the Director of Emergency Services/City Manager proclaimed a state of local emergency in the City of Solana Beach due to COVID-19, which was ratified by the City Council through adoption of Resolution 2020-036.

Since that time, there have been numerous Orders and Guidance by the California Department of Public Health (CDPH) and the Health Officer of the County of San Diego to curtail the spread of COVID-19. On March 17, 2020, Governor Newsom issued Executive Order No. N-29-20, suspending the Ralph M. Brown Act's requirements for teleconferencing during the COVID-19 pandemic provided that notice and accessibility requirements are met, the public members are allowed to observe and address the legislative body at the meeting, and that a legislative body of a local agency has a procedure for receiving and swiftly resolving requests for reasonable accommodation

COUNCIL ACTION:

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for individuals with disabilities, as specified. Pursuant to Executive Order No. N-29-20, the City Council and City Commissions have met by remote teleconferencing following applicable requirements, preserving and nurturing public access and participation in meetings while preserving public health and safety.

On June 11, 2021, Governor Newsom issued Executive Order N-08-21 to roll back certain provisions of his COVID-19-related Executive Orders and to clarify that other provisions remained necessary to help California respond to, recover from and mitigate the impacts of the COVID-19 pandemic. Paragraph 42 of Executive Order N-08-21 waived and set forth certain requirements related to public meetings of local legislative bodies and specified that it would be valid through September 30, 2021.

On September 16, 2021, Governor Newsom signed into law Assembly Bill 361 (AB 361), which pertains to the same subject matter as Paragraph 42 of Executive Order N-08-21, which took effect immediately pursuant to an urgency clause, and which amended the Brown Act, in Government Code section 54953(e)(1)(B), to allow local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees.

On October 13, 2021, the City Council adopted Resolution 2021-120 authorizing remote teleconference meetings of the legislative bodies of the City for the period of October 13, 2021 through November 12, 2021 pursuant to the new provisions of the Brown Act. If the state of emergency remains active, or state or local officials have imposed or recommended measures to promote social distancing, in order to continue to remote teleconference, Government Code section 54953(e)(3) requires that every thirty (30) days, the City Council make the following findings by majority vote:

(A) The legislative body has reconsidered the circumstances of the state of emergency.

(B) Any of the following circumstances exist:

(i) The state of emergency continues to directly impact the ability of the members to meet safely in person.

(ii) State or local officials continue to impose or recommend measures to promote social distancing.

On November 10, 2021, the City Council adopted Resolution 2021-127 authorizing continued teleconference meetings of the legislative bodies of the City for the period of November 10, 2021 through December 10, 2021 pursuant to the new provisions of the Brown Act. On December 8, 2021, the City Council adopted Resolution 2021-137 authorizing continued teleconference meetings through January 7, 2022. On December 15, 2021, the City Council adopted Resolution 2021-141 authorizing continued



teleconference meetings through January 14, 2022. On January 12, 2022, the City Council adopted Resolution 2022-008 authorizing continued teleconference meetings through February 11, 2022.

The item before the City Council is to consider and adopt Resolution 2022-015 (Attachment 1) reconsidering the circumstances of the state of local emergency and authorizing remote teleconference meetings of the legislative bodies of the City for the period of February 10, 2022 through March 12, 2022 pursuant to the new provisions of the Brown Act and in light of the continuing direct impact on the ability of the members to meet safely in person.

### **DISCUSSION:**

The COVID-19 pandemic continues to spread rapidly throughout the State and County and is impacting the health and welfare of the City of Solana Beach. Updated as of August 13, 2021, the Center for Disease Control and Prevention still recommends staying at least six (6) feet from other people. The California Department of Industrial Relations, Division of Occupational Safety and Health's COVID-19 Prevention Emergency Temporary Standards were updated on June 17, 2021 and are still in effect. Those workplace standards place an ongoing requirement on employers to assess workplace hazards and implement controls to prevent transmission of disease, noting that there may be circumstances in which employers determine that physical distancing is necessary in their workplace.

A strain of COVID-19, known as SARS-CoV-2 Delta Variant (Delta Variant), which is 70% more likely to be spread, has also been identified in the County of San Diego. This strain was originally identified in the United Kingdom. Since persons contracting this strain in the County have had no history of travel, this highly contagious strain is community based. The Delta Variant is highly transmissible in indoor settings, breakthrough cases are becoming more common and hospitalizations have increased throughout San Diego County. On July 28, 2021, the California Department of Public Health issued guidance for the use of face coverings stating that the Delta Variant is two times as contagious as early COVID-19 variants, leading to increasing infections, the Delta Variant accounts for over 80% of cases sequenced, and cases and hospitalizations of COVID-19 are rising throughout the state. In short, COVID-19 continues to threaten the health and lives of City residents.

According to the Center for Disease Control and Prevention (CDC), an even newer strain of COVID-19, known as Omicron, has emerged. On November 24, 2021, this new variant B.1.1.529, was reported to the World Health Organization (WHO). On November 26, 2021, WHO named B.1.1.529 Omicron and classified it as a Variant of Concern (VOC). On November 30, 2021, the United States designated Omicron as a Variant of Concern. On December 1, 2021, the first confirmed U.S. case of Omicron was identified.<sup>1</sup>

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<sup>1</sup> <https://www.cdc.gov/coronavirus/2019-ncov/variants/omicron-variant.html>

On December 13, 2021, the CDPH issued updated Guidance for the Use of Face Coverings requiring masks to be worn by all individuals in all indoor public settings, irrespective of vaccine status, for the period of December 15, 2021 through January 15, 2022, and recommending surgical masks or higher-level respirators. CDPH issued this new measure to bring an added layer of mitigation as the Omicron variant, is detected across California, the United States, and the world and is likely to spread more easily than the original SARS-CoV-2 virus and the Delta variant. CDPH additionally found this new measure would bring additional protection to individuals, families and communities during the holidays when more travel occurs, and time is spent indoors.

CDPH reported that since Thanksgiving, the statewide seven-day average case rate has increased by 47% and hospitalizations have increased by 14%. While the percentage of Californians fully vaccinated and boosted continues to increase, we continue to have areas of the state where vaccine coverage is low, putting individuals and communities at greater risk for COVID-19. Given the current hospital census, which is at or over capacity, even a moderate surge in cases and hospitalizations could materially impact California's health care delivery system within certain regions of the state. Other states and countries with similar vaccination rates that have relaxed masking requirements are seeing surges in COVID-19 cases and increasing stress in their healthcare systems.

On December 9, 2021, the CDC reported that we do not yet know how easily Omicron spreads, the severity of illness it causes, or how well available vaccines and medications work against it. The holiday season, with attendant increases in indoor gatherings, travel and exposure to COVID-19, has only recently come to an end and increased cases as a result of the holiday season are likely be time delayed. On January 3, 2022, the County of San Diego Health and Human Services Agency issued an Order of the Health Officer requiring isolation of persons diagnosed with, or likely to have COVID-19 to slow the spread of COVID-19 and prevent the healthcare system in San Diego County from being overwhelmed. On January 6, 2022, the WHO said a record 9.5 million cases of COVID-19 were tallied the week before, marking a 71 percent weekly surge that amounted to a “tsunami” as the Omicron variant sweeps worldwide.<sup>2</sup>

On January 17, 2022, the WHO emphasized the risk posed by possible new variants stating: “It’s dangerous to assume that Omicron will be the last variant.... On the contrary, globally, the conditions are ideal for more variants to emerge.” The WHO also warned that it is too early for governments to drop their guard with so many people unvaccinated.<sup>3</sup>

Hospitalization rates continue to be concerning amid record-breaking spikes both globally and locally. On January 19, 2022, the County of San Diego reported that hospitalizations went up from 1,103 to 1,328, representing a 276% increase in confirmed hospitalizations over the past 30 days (up from a 201% increase the previous

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<sup>2</sup> <https://www.aljazeera.com/news/2022/1/6/who-record-weekly-jump-in-covid-19-cases-but-fewer-deaths>

<sup>3</sup> <https://www.nytimes.com/live/2022/01/24/world/omicron-covid-vaccine-tests>

week). During the same time, intensive care unit (ICU) patients in the County went up from 171 to 199, representing a 109% increase in confirmed ICU patients over the past 30 days (up from a 76% increase the previous week). There were 32 Community Outbreaks in the County reported over the previous 7 days. The COVID-19 Case Rate (with a 7-day lag) increased again 196.4 to 346.0. 81,791 COVID-19 cases were reported in the County between January 9 and January 15, 2022, a 12.9% increase from the prior week's 72,467 reported cases. Since January 4, 2022, daily COVID-19 cases in the County exceeded 9,000 cases on four days with a high of 14,437 cases on January 9, 2022 and the lowest number of cases in a day last week was 7,460 cases on January 16, 2022. The County is continuing to expand regional COVID-19 testing to meet the increased demand brought on by the rapid spread of the Omicron variant.

There has also been a recent surge of COVID-19 cases in the City of Solana Beach. Since December 22, 2022, there have been 590 cases reported in the City making up 42.3% of all cases reported in the City throughout the pandemic. In the week before January 19, 2022, 124 new cases were reported in the City, while 38.7% more new cases (172) were reported in the City the previous week. Last week, another 85 cases were reported in Solana Beach bringing the total COVID-19 cases in the City to 1,395 cases (up from 1,310 the week before).

The Omicron and Delta variants have caused, and will continue to cause, conditions of imminent peril to the health safety of persons within the City that are likely beyond the control of services, personnel, equipment and facilities of the City and there is a risk of new variants emerging. In other words, the local emergency continues and as a result, meeting in person would present imminent risks to the health or safety of attendees.

All meetings of the City's legislative bodies are open and public, as required by the Brown Act (California Government Code §§54950 – 54963), so that any member of the public may attend, participate and watch the City's legislative bodies conduct their business. The recently amended Brown Act, Government Code section 54953(e)(1)(B), allows local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees and every thirty (30) days thereafter finds by a majority vote under Government Code section 54953(e)(3) that after reconsidering the circumstances of the state of emergency, it continues to directly impact the ability of the members to meet safely in person.

Resolution 2022-015 (Attachment 1) would make the necessary findings under Government Code section 54953(e)(3) and authorize the City's legislative bodies to meet by remote teleconferencing within the requirements of applicable law. To continue to meet by remote teleconference, Council will be required to revisit the Resolution within thirty (30) days and find that the state of emergency continues to directly impact the ability of the members to meet safely in person pursuant to Government Code section 54953(e)(3).

**CEQA COMPLIANCE STATEMENT:**

The proposed City Council action is not subject to the California Environmental Quality Act (CEQA) pursuant to the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, Sections: 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment); 15060(c)(3) (the activity is not a project as defined in Section 15378); and 15061(b)(3), because the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Because there is no possibility that the Resolution may have a significant adverse effect on the environment, the action is exempt from CEQA.

**FISCAL IMPACT:**

There are no direct fiscal impacts related to the adoption of the Resolution.

**WORKPLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation.
- Approve Staff recommendation with modifications consistent with the Brown Act.
- Do not approve Staff recommendations and resume in person meetings.
- Provide direction / feedback.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2022-015 authorizing remote teleconference meetings of the legislative bodies of the City for the period of February 10, 2022 through March 12, 2022 pursuant to the new provisions of the Brown Act.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



Gregory Wade, City Manager/Director of Emergency Services

1. Resolution. 2022-015

## RESOLUTION 2022-015

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CONTINUED REMOTE TELECONFERENCE MEETINGS OF THE LEGISLATIVE BODIES OF THE CITY OF SOLANA BEACH FOR THE PERIOD OF FEBRUARY 10, 2022 THROUGH MARCH 12, 2022 PURSUANT TO THE BROWN ACT AND CONTINUING EMERGENCY

**WHEREAS**, the City of Solana Beach (“City”) is committed to preserving and nurturing public access and participation in meetings of the City Council and the City’s commissions; and

**WHEREAS**, all meetings of the City’s legislative bodies are open and public, as required by the Ralph M. Brown Act (California Government Code §§54950 – 54963), so that any member of the public may attend, participate and watch the City’s legislative bodies conduct their business; and

**WHEREAS**, the Brown Act, Government Code section 54953(e), makes provisions for remote teleconferencing participation in meetings by members of a legislative body, without compliance with the requirements of Government Code section 54953(b)(3), subject to the existence of certain conditions; and

**WHEREAS**, the recently amended Brown Act, Government Code section 54953(e)(1)(B), allows local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees; if the state of emergency remains active; and if every thirty (30) days, the local legislative body finds by a majority vote under Government Code section 54953(e)(3) that after reconsidering the circumstances of the state of emergency, it continues to directly impact the ability of the members to meet safely in person; and

**WHEREAS**, on March 4, 2020, Governor Newsom declared a state of emergency due to the Coronavirus (“COVID-19”) pandemic, which remains in effect; and

**WHEREAS**, on March 16, 2020, the City Manager, acting as the Director of Emergency Services, did proclaim the existence of a local state of emergency within the City, pursuant to Section 2.28.060(A)(1) of the Solana Beach Municipal Code and Section 8625 of the California Emergency Services Act (California Government Code §§8550 *et. seq.*), as a result of the Coronavirus (COVID-19) pandemic, which was ratified by the City Council on March 19, 2020 through the adoption of Resolution 2020-036; and

**WHEREAS**, pursuant to Resolution 2020-036, the local emergency was deemed to continue to exist until its termination is proclaimed by the City Council of the City of

**ATTACHMENT 1**

Solana Beach and the local emergency does continue to exist; and

**WHEREAS**, COVID-19 continues to threaten the health and lives of City residents;  
and

**WHEREAS**, the SARS-CoV-2 Delta Variant (Delta Variant) is highly transmissible in indoor settings, breakthrough cases are becoming more common and hospitalizations have increased throughout San Diego County; and

**WHEREAS**, on July 28, 2021, the California Department of Public Health issued guidance for the use of face coverings stating that the Delta Variant is two times as contagious as early COVID-19 variants, leading to increasing infections, the Delta Variant accounts for over 80% of cases sequenced, and cases and hospitalizations of COVID-19 are rising throughout the state; and

**WHEREAS**, updated as of August 13, 2021, the Center for Disease Control and Prevention recommends staying at least six (6) feet from other people; and

**WHEREAS**, the California Department of Industrial Relations, Division of Occupational Safety and Health's COVID-19 Prevention Emergency Temporary Standards were updated on June 17, 2021, are still in effect and place an ongoing requirement on employers to assess workplace hazards and implement controls to prevent transmission of disease, which may include circumstances in which employers determine that physical distancing is necessary in their workplace; and

**WHEREAS**, on October 13, 2021, the City Council held a regular meeting for the purpose of determining, by majority vote, whether as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees, made such a determination and adopted Resolution 2021-120 authorizing remote teleconference meetings of the legislative bodies of the City for the period of October 13, 2021 through November 12, 2021 pursuant to the new provisions of the Brown Act; and

**WHEREAS**, on November 10, 2021, the City Council reconsidered the circumstances of the state of emergency and adopted Resolution 2021-127 authorizing continued teleconference meetings of the legislative bodies of the City for the period of November 10, 2021 through December 10, 2021 pursuant to the new provisions of the Brown Act; and

**WHEREAS**, according to the Center for Disease Control and Prevention (CDC), a new strain of COVID-19, known as Omicron, has emerged; and

**WHEREAS**, on November 24, 2021, this new variant B.1.1.529, was reported to the World Health Organization (WHO); and

**WHEREAS**, on November 26, 2021, WHO named B.1.1.529 Omicron and classified it as a Variant of Concern (VOC); and

**WHEREAS**, on November 30, 2021, the United States designated Omicron as a Variant of Concern; and

**WHEREAS**, on December 1, 2021, the first confirmed U.S. case of Omicron was identified; and

**WHEREAS**, on December 8, 2021, the City Council adopted Resolution 2021-137 authorizing continued teleconference meetings through January 7, 2022; and

**WHEREAS**, on December 9, 2021, the CDC reported that we do not yet know how easily Omicron spreads, the severity of illness it causes, or how well available vaccines and medications work against it; and

**WHEREAS**, on December 13, 2021, the California Department of Public Health (CDPH) issued updated Guidance for the Use of Face Coverings requiring masks to be worn by all individuals in all indoor public settings, irrespective of vaccine status, for the period of December 15, 2021 through January 15, 2022, and recommending surgical masks or higher-level respirators. CDPH issued this new measure to bring an added layer of mitigation as the Omicron variant, is detected across California, the United States, and the world and is likely to spread more easily than the original SARS-CoV-2 virus and the Delta variant. CDPH additionally found this new measure would bring additional protection to individuals, families and communities during the holidays when more travel occurs, and time is spent indoors; and

**WHEREAS**, CDPH reported that since Thanksgiving, the statewide seven-day average case rate has increased by 47% and hospitalizations have increased by 14%. While the percentage of Californians fully vaccinated and boosted continues to increase, we continue to have areas of the state where vaccine coverage is low, putting individuals and communities at greater risk for COVID-19. Given the current hospital census, which is at or over capacity, even a moderate surge in cases and hospitalizations could materially impact California's health care delivery system within certain regions of the state. Other states and countries with similar vaccination rates that have relaxed masking requirements are seeing surges in COVID-19 cases and increasing stress in their healthcare systems; and

**WHEREAS**, on December 15, 2021, the City Council adopted Resolution 2021-141 authorizing continued teleconference meetings through January 14, 2022; and

**WHEREAS**, on January 3, 2022, the County of San Diego Health and Human

Services Agency issued an Order of the Health Officer requiring isolation of persons diagnosed with, or likely to have COVID-19 to slow the spread of COVID-19 and prevent the healthcare system in San Diego County from being overwhelmed; and

**WHEREAS**, the holiday season, with attendant increases in indoor gatherings, travel and exposure to COVID-19, has only recently come to an end and increased cases as a result of the holiday season are likely to be time delayed; and

**WHEREAS**, on January 6, 2022, the WHO said a record 9.5 million cases of COVID-19 were tallied the week before, marking a 71 percent weekly surge that amounted to a “tsunami” as the Omicron variant sweeps worldwide; and

**WHEREAS**, on January 17, 2022, the WHO emphasized the risk posed by possible new variants stating: “It’s dangerous to assume that Omicron will be the last variant.... On the contrary, globally, the conditions are ideal for more variants to emerge.” The WHO also warned that it is too early for governments to drop their guard with so many people unvaccinated; and

**WHEREAS**, hospitalization rates continue to be concerning amid record-breaking spikes; and

**WHEREAS**, on January 19, 2022, the County of San Diego (County) reported that hospitalizations went up from 1,103 to 1,328, representing a 276% increase in confirmed hospitalizations over the past 30 days (up from a 201% increase the previous week); and

**WHEREAS**, during the same time, intensive care unit (ICU) patients in the County went up from 171 to 199, representing a 109% increase in confirmed ICU patients over the past 30 days (up from a 76% increase the previous week); and

**WHEREAS**, on January 19, 2022, the County reported there were 32 Community Outbreaks in the County reported over the previous 7 days; and

**WHEREAS**, on January 19, 2022, the County reported that the COVID-19 Case Rate (with a 7-day lag) increased again 196.4 to 346.0; and

**WHEREAS**, 81,791 COVID-19 cases were reported in the County between January 9 and January 15, 2022, a 12.9% increase from the prior week’s 72,467 reported cases; and

**WHEREAS**, since January 4, 2022, daily COVID-19 cases in the County exceeded 9,000 cases on four days with a high of 14,437 cases on January 9, 2022 and the lowest number of cases in a day last week was 7,460 cases on January 16, 2022; and



**WHEREAS**, the County is continuing to expand regional COVID-19 testing to meet the increased demand brought on by the rapid spread of the Omicron variant; and

**WHEREAS**, there has also been a recent surge of COVID-19 cases in the City of Solana Beach. Since December 22, 2022, there have been 505 cases reported in the City making up 38.6% of all cases reported in the City throughout the pandemic; and

**WHEREAS**, in the week before January 19, 2022, 124 new cases were reported in the City, while 38.7% more new cases (172) were reported in the City the previous week. This brings the total COVID-19 cases in the City to 1,310 cases (up from 1,186 the week before); and

**WHEREAS**, the Omicron and Delta variants have caused, and will continue to cause, conditions of imminent peril to the health safety of persons within the City that are likely beyond the control of services, personnel, equipment and facilities of the City and there is a risk of new variants emerging; and

**WHEREAS**, the state of emergency remains active.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does find and resolve as follows:

1. That the above recitations are true and correct and incorporated herein as findings.
2. That the City Council has reconsidered the circumstances of the state of emergency.
3. That the state of emergency continues to directly impact the ability of the members of the City's legislative bodies and the public to meet safely in person.
4. That the meetings of the legislative bodies of the City of Solana Beach, including the City Council, standing committees and citizen commissions, shall continue to meet by remote teleconferencing in compliance with applicable law.
5. That the City Manager and Staff are hereby authorized and directed to take all actions necessary to carry out the intent and purpose of this Resolution including, conducting open and public meetings in accordance with Government Code section 54953(e) and other applicable provisions of the Brown Act.

6. That this Resolution shall take effect on February 10, 2022, and shall be effective until the earlier of (a) March 12, 2022 or (b) such time as the City Council adopts a subsequent resolution in accordance with Government Code section 54953(e)(3) to extend the time during which the legislative bodies of the City may continue to teleconference without compliance with Government Code section 54953(b)(3).

**PASSED AND ADOPTED** this 9th day of February, 2022, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers  
NOES: Councilmembers  
ABSTAIN: Councilmembers  
ABSENT: Councilmembers

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** City Clerk's Department  
**SUBJECT:** **City Council Consideration of Resolution 2022-010  
Updating the City's Conflict of Interest Code**

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### **BACKGROUND:**

The City's Conflict of Interest Code, which is the legal instrument requiring those individuals holding designated positions to disclose their financial interests, requires a new adoption when necessary updates are triggered.

Pursuant to Government Code Section 87306, state law requires every agency to amend its Conflict of Interest Code "when change is necessitated by changed circumstances, including the creation of new positions and relevant changes in the duties assigned to existing positions" and/or review annually for updates in or by October.

This item is before Council to consider adoption of Resolution 2022-010 (Attachment 1) reviewing and adopting the proposed updates to the Solana Beach Conflict of Interest Code amending certain position titles.

### **DISCUSSION:**

The past addition or modifications of job titles has triggered an update to the City's Conflict of Interest Code.

Pursuant to Government Code 87306, any amendments to the code must be submitted to the code reviewing body, the City Council, within 90 days once the need for an amendment has become apparent.

**CEQA COMPLIANCE STATEMENT:** N/A

**FISCAL IMPACT:** N/A

CITY COUNCIL ACTION:

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**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation.
- Deny Staff recommendation and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2022-010 adopting an amended Solana Beach Conflict of Interest Code.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2022-010 with Exhibit A (Conflict of Interest Code)

## RESOLUTION 2022-010

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ADOPTING AN UPDATED CONFLICT OF INTEREST CODE

**WHEREAS**, pursuant to Government Code Section 87300, the Political Reform Act (PRA) requires all local governmental agencies to adopt conflict of interest codes applicable to every officer, employee, member or consultant of the agency whose position entails the making, or participating in the making, of decisions which may foreseeably have a material financial effect on any financial interest, and the Code requires such designated employees to disclose and disqualify themselves from making, participating in, or attempting to influence such decisions; and

**WHEREAS**, the City adopted a Conflict of Interest Code that incorporated Fair Political Practices Commission Reg. 18730 by reference with Resolution 1987-11 and last updated the Code in 2018; and

**WHEREAS**, State Law requires local Conflict of Interest Codes to be amended when changed circumstances arise such as the creation of new positions or relevant changes in the duties assigned to existing positions; and

**WHEREAS**, the City occasionally modifies job titles as necessary thereby requiring amendments to the City's current Conflict of Interest Code, as noted on Exhibit A; and

**WHEREAS**, local government agencies are required by Government Code Section 87311 to amend the code according to procedures that guarantee to officers, employees, members, consultants, and residents of the jurisdiction adequate notice and a fair opportunity to present their views.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. The above recitations are true and correct.
2. That the City's Conflict of Interest Code be amended due to reclassification of designated employee positions resulting in modified titles.

3. That the Solana Beach City Council and Public Financing Authority of the City of Solana Beach do hereby adopt the attached Conflict of Interest Code, Exhibit A.

**PASSED AND ADOPTED** this 9<sup>th</sup> day of February 2022, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

**CITY OF SOLANA BEACH  
CONFLICT OF INTEREST CODE**

The Political Reform Act of 1974 (Government Code Sections 81000 et. seq.) requires local government agencies to adopt and promulgate conflict of interest codes. The Fair Political Practices Commission has adopted a regulation (2 Cal. Code of Regs. Section 18730) that contains the terms of a standard conflict of interest code and may be incorporated by reference in an agency's code. After public notice and hearing, the standard code may be amended by the Fair Political Practices Commission to conform to amendments in the Political Reform Act.

Therefore, the terms of 2 California Code of Regulations Section 18730 and any amendments to it duly adopted by the Fair Political Practices Commission are hereby incorporated by reference. This regulation and the attached Appendix designating positions and establishing disclosure requirements shall constitute the Conflict of Interest Code for the City of Solana Beach.

Individuals holding designated positions shall file their statements with the City Clerk's Office, which will retain the statements and make the statements available for public inspection and reproduction. (Gov. Code Section 81008.)

## APPENDIX

### Disclosure Categories

Individuals holding designated positions must report their interests according to the following disclosure category(ies) to which their position has been assigned.

#### Category 1: All Sources

Interests in real property (not including primary residence) located within the City or within two miles of the City; and investments and business positions in business entities, and income, including loans, gifts, and travel payments *from all sources*.

#### Category 2: Agency Specific

Interests in real property (not including primary residence) located within the City or within two miles of the City; investments and business positions in business entities doing business with the City and/or located in San Diego County; and income, including but not limited to loans, gifts, and travel payments, from sources in San Diego County, and/or from sources outside the County whose economic position may be affected by decisions or recommendations made *by the agency at all levels*.

#### Category 3: Department Specific

Interests in real property (not including primary residence) located within the City or within two miles of the City; investments and business positions in business entities located in San Diego County; and income, including loans, gifts, and travel payments from sources whose economic position may be affected by the decisions or recommendations made *by the department to which the filer is assigned duties*.

#### Category 4: Property/Facilities Entitlement

Interests in real property (not including primary residence) located within the City or within two miles of the City; investments and business positions in business entities located in San Diego County; and income, including loans, gifts, and travel payments from sources *that are of the type to request an entitlement to use agency property or facilities*, including, but not limited to: a license; a facilities use permit; or a vendor permit.

#### Category 5: Commission/Consultant Specific

Interests in real property (not including primary residence) located within the City or within two miles of the City; investments and business positions in business entities doing business with the City and/or located in San Diego County; and income, including but not limited to loans, gifts, and travel payments, from sources in San Diego County, and/or from sources outside the County, whose economic position may be affected by the decisions or recommendations *of the designated commission or consultant*.



The following designated positions, when active, file according to the assigned categories associated with their title.

**Designated Positions**

**Disclosure Categories**

Legislative Bodies other than City Council:

Public Financing Authority Officers/Members ..... 1  
 Housing Authority ..... 1  
 Successor Agency for the Redevelopment Agency ..... 1  
 Oversight Board to the Successor Agency for the  
 Redevelopment Agency ..... 1

City Staff:

Deputy City Manager/Dir. Of Admin Services ..... 2  
 Assistant City Manager ..... 2  
 Assistant to the City Manager ..... 2  
 Deputy City Attorney(s) ..... 2  
Senior Management Analyst..... 3  
 Management Analyst..... 3  
Human Resources Director..... 3  
 Human Resources Manager ..... 3  
 Senior Human Resources Analyst ..... 3  
 City Clerk ..... 1  
 Deputy City Clerk ..... 3  
 Network Systems Engineer ..... 3  
 Information Technology Manager ..... 3  
 Recreation Manager..... 3, 4  
 Community Services Coordinator ..... 3  
 Finance Director ..... 3  
 Finance Manager ..... 3  
Senior Accountant..... 3  
 Community Development Director ..... 2  
 Principal Planner ..... 3  
 Assistant Planner ..... 3  
 Associate Planner ..... 3  
 Junior Planner ..... 3  
 Senior Planner..... 3  
 City Engineer/Public Works Director ..... 2  
Senior Civil Engineer..... 3  
 Principal Civil Engineer ..... 3  
 Associate Civil Engineer..... 3  
 Assistant Civil Engineer ..... 3  
 Public Works Operations Manager ..... 3  
 Building Inspector..... 3  
 Public Works Inspector..... 3  
 Environmental Programs Manager ..... 3  
 Building Officials..... 3  
Permit Technician..... 3  
 Code Compliance Officer ..... 3, 4  
 Sr. Code Compliance Officer ..... 3, 4  
 Parking Control Officer..... 3  
 Code Enforcement Specialist..... 3  
 Code Compliance Specialist ..... 3  
 Deputy Fire Chief/Fire Marshal ..... 3, 4  
 Fire Chief/Public Safety Director ..... 2  
 Fire Battalion Chief..... 2  
Fire Prevention Specialist..... 3  
 Marine Safety Captain..... 2  
 Marine Safety Lieutenant ..... 3

Non-City Employees:

Budget and Finance Commission Members ..... 2  
 Climate Action Commission Members ..... 2

Parks and Recreation Commission Members.....	5
Public Arts Commission Members .....	5
View Assessment Commission Members.....	5
Consultants .....	5

I. Consultants shall be included in the list of designated positions and shall disclose in accordance with the disclosure requirements in this code if the consultant, pursuant to a contract either (Reg.18701(2)):

1. Makes a governmental decision whether to:
  - Approve a rate, rule or regulation;
  - Adopt or enforce a law;
  - Issue, deny, suspend, or revoke a permit, license, application, certificate, approval, order, or similar authorization or entitlement;
  - Authorize the agency to enter into, modify, or renew a contract provided it is the type of contract which requires agency approval;
  - Grant agency approval to a contract which requires agency approval and in which the agency is a party to the specifications for such a contract;
  - Grant agency approval to a plan, design, report study, or similar item;
  - Adopt, or grant agency approval of, policies, standards, or guidelines for the agency, or for any subdivision of the agency; or
2. Serves in a staff capacity and in that capacity participates in making governmental decisions as defined in Regulation 18702.2; or performs substantially the same functions as a position specified in the agency’s Conflict of Interest Code.

II. The Department Head of the department for which the consultant provides primary services, with the approval of the City Attorney, may determine in writing that a particular consultant, although a “designated position,” is hired to perform a range of duties that is limited in scope and thus is not required to fully comply with the disclosure requirements described in this paragraph. The written determination shall include a description of the consultant’s duties and, based upon that description, a statement of the extent of disclosure requirements. The written determination is a public record and shall be retained for public inspection in the office of the City Clerk.

**Non-Designated Positions**

The following positions are not covered by this conflict of interest code because those individuals holding these positions must file under Government Code Section 87200. These positions are listed for informational purposes only:

- City Councilmembers
- City Manager
- City Attorney
- City Treasurer
- Consultants involved in the investment of public funds\*

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\*Pursuant to 2 California Code of Regulations section 187014(b), “other public officials who manage public investments” means, members of boards and commissions, including pension and retirement boards or commissions, or of committees who exercise the responsibility for the management of public investments; high level officers and employees who exercise primary responsibility for the management of public investments, such as chief or principal investment officers or chief financial managers. This category shall not include officers and employees who work under the supervision of the chief or principal investment officers or the chief financial managers; and individuals who pursuant to a contract with a state or local government agency, perform the same or substantially all the same functions that would otherwise be performed by the public officials.



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** Request for a Conditional Use Permit for the Construction of a Bluff Retention Device at 135 S. Sierra Avenue, Solana Beach. Case No: CUP 17-17-27; Applicant: Las Brisas Homeowners Association Resolution 2022-013.

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## **BACKGROUND:**

The Applicant, the Las Brisas Homeowners Association, is requesting the approval of a Conditional Use Permit (CUP) to construct a Bluff Retention Device (BRD) consisting of a return wall that would extend from the top of the southern terminus of the existing seawall to the top of the bluff approximately 60 feet. The shotcrete wall would be constructed with a drilled pier/caisson design with structural concrete between piers. Exposed areas of the wall would be covered with hand sculpted, colored shotcrete to match the natural bluff surface and color. Areas of failed mid to upper bluff to the north of the wall will be reconstructed with geogrid and soil and covered with a hydroseed application that would utilize drought resistant, salt tolerant native species. The return wall would encapsulate and restore the bluff to an acceptable factor of safety for the existing residential structures onsite at 135 S. Sierra Avenue. The project would also allow public pedestrian access and public agency vehicle access near the top of the bluff that is currently closed.

This issue before the City Council is whether to approve, approve with conditions or deny the Applicant's request for a Conditional Use Permit (CUP) as contained in Resolution 2022-013 (Attachment 1).

## **DISCUSSION:**

The existing approximately 2.19-acre property is developed with two four-story and one three-story condominium buildings, a one-story clubhouse, a swimming pool, a tennis court and associated underground utilities, retaining walls and vehicular and pedestrian hardscape and landscaping. At the closest point, the separation between the foundation of the

CITY COUNCIL ACTION:

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**AGENDA ITEM # B.1.**

westernmost condominium building (building 3) and the coastal bluff edge is approximately 27 feet.

The lower coastal bluff is protected by an existing Bluff Retention Device (BRD)/seawall that is approximately 120 feet long and 35 feet high that is restrained with three rows of 75-foot-long tiebacks and covered by hand-sculpted and colored shotcrete. Above the wall, geogrid reinforced fill was placed on top of the BRD to an approximate elevation of 45 feet above Mean Sea Level (MSL) to create a transition between the top of the BRD and the upper bluff. The City Council approved a Conditional Use Permit to construct the BRD/Seawall in 2004 with the adoption of Resolution 2004-171.

In 2010, a significant failure occurred along the section of lower coastal bluff beginning at the southern terminus of the Las Brisas seawall and extending south approximately 70 feet across the unprotected bluff face along the Surfsong Condominium Association property line. Undercut depths in the failure area had reached depths of 5 to 8 feet. The failure occurred along a joint at the base of the undercut area. According to the application, this failure resulted in a loss of 5 to 8 feet in depth of the coastal bluff adjacent to the Surfsong property. The failure exposed approximately 7 to 8 feet of the southern end of the Las Brisas seawall.

In 2010, the Applicant requested and received approval of a Development Review Permit to construct a new segment of seawall that was an 8 foot long, 2.5 foot wide and 35 foot tall lateral return wall at the south end of the existing 120 foot long, 35 foot high seawall under an Emergency Permit. The Emergency Permit was issued by the California Coastal Commission as it was found to be the least amount of work necessary to restore the design parameters of the existing seawall and assure the factor of safety for the blufftop residences remains consistent with that provided by the seawall.

After the completion of the work, the Applicant was required to submit monitoring reports annually for the first three years and then every three years for the life of the BRD. In the 2012 monitoring report, it was noted that the exposure of the clean sand lens had expanded to the north and behind the seawall approximately seven feet north of the Las Brisas southern property line. The report indicated that this concern could expand further with time and on-going monitoring was advised. In the 2015 report, there was minor progression of erosion at the northern end of the seawall at the level of the exposed clean sand lens.

In 2019, there was a significant failure immediately south of the existing seawall. This failure has undergone progressive headward retreat since that time which has impacted a recorded easement for public agency vehicles, including emergency vehicles. As a result, public pedestrian access from Fletcher Cove across the Las Brisas Property into a public open space area on the adjacent Surfsong Condominium property to the south has been closed. As indicated in the geotechnical reports provided by the Applicant and reviewed by the City's third-party geotechnical engineer, the proposed project would fully encapsulate the Las Brisas Property and return the property to a level of safety that would allow the City to reopen the rear of the property to pedestrian and public agency vehicular access. Project plans have been provided in Attachment 2.

The proposed project design is consistent with portions of Figure 3 and Figure 5, Appendix B included as Attachment 3 in the City’s Certified Land Use Plan (LUP) which depicts the City’s preferred engineered solution for a coastal bluff experiencing active lower, mid and upper bluff erosion.

This CUP application is before the City Council because the bluff area located below and along the project site has been determined to meet the criteria of imminent failure. The generally accepted factor of safety calculation for purposes of determining bluff stability and the potential for imminent failure is a factor of safety of 1.2 or less. The factors of safety onsite range from 1.021 to 1.19, thus meeting the criteria for imminent failure.

The existing conditions are the result of several factors including, but not limited to, recent failures immediately adjacent to these properties and the exposure of the clean sand lens which both result in undermining of the existing seawall. Las Brisas was advised that this will be a reoccurring issue due to the continued failure of the exposed clean sand lens at the southerly terminus.

Table 1, below, demonstrates the existing factor of safety versus the factor of safety with proposed project improvements under both static and seismic conditions. A factor of safety equal to or less than 1.0 represents a slope that is structurally failing whereby the bluff top principal structures are considered in “imminent danger” from potential bluff collapse and/or failure.

<b>TABLE 1 - FACTOR OF SAFETY</b>			
<b>Structure</b>	<b>Distance to bluff edge</b>	<b>Existing: Static Factor of Safety</b>	<b>With Project: Static and Seismic Factor of Safety</b>
Public Easement/Public Agency Vehicle Access:	0-10 feet	1.021	1.5/1.1
Las Brisas Condominium Building 3:	27 feet	1.19	1.5/1.1

Solana Beach Local Coastal Program

A consistency finding with the City’s Local Coastal Program (LCP) Land Use Plan (LUP) is required for the proposed project. The City’s LUP policies were certified to be consistent with Coastal Act Section 30235 which states: *Revetments, breakwaters, groins, harbor channels, seawalls, cliff retaining walls, and other such construction that alters natural shoreline processes shall be permitted when required to serve coastal-dependent uses or to protect*

*existing structures or public beaches in danger from erosion, and when designed to eliminate or mitigate adverse impacts on local shoreline sand supply.*

Applicable City policies from the City's Certified LUP (as amended) are listed below followed by a discussion of how the project complies or has been conditioned to comply with the City's applicable and relevant LUP policies.

- Certified LUP Policy 4.26 (irrigation controls for bluff properties)
- Certified LUP Policy 4.27 (use of drought resistant landscaping)
- Certified LUP Policy 4.28 (stormwater runoff)
- Certified LUP Policy 4.32 (use of preferred engineering designs)
- Certified LUP Policy 4.38 (aesthetics)
- Certified LUP Policy 4.39 (payment of mitigation fees)
- Certified LUP Policy 4.45 (bluff retention device design)
- Certified LUP Policy 4.49 (findings)
- Certified LUP Policy 4.50 (impact mitigation fees)
- Certified LUP Policy 4.54 (shoreline protection device maintenance)
- Certified LUP Policy 4.55 (coordination among neighbors)
- Certified LUP Policy 4.58 (development on the bluff)

***Policy 4.26:*** *With respect to bluff properties only, the City will require the removal or capping of any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, or shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC if the project is appealed, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).*

- **Project Compliance with Policy 4.26:** The project has been conditioned to require the removal or capping of any permanent irrigation system within 100 feet of the bluff edge.

***Policy 4.27:*** *Require all bluff property landscaping for new development to consist of native, non-invasive, drought-tolerant, fire-resistant, and salt-tolerant species.*

- **Project Compliance with Policy 4.27:** After the return wall has been constructed, a reinforced soil slope (RSS) would be constructed to repair the mid and upper bluff. The RSS would consist of geotextile grids that would be pinned to the slope with hand driven mechanical anchors and covered with soil and a hydroseed application that would utilize drought resistant, salt tolerant native species. The proposed hydroseed mix (Attachment 4) has been reviewed by the City's third-party landscape architect and have been found to be consistent with this policy.

***Policy 4.28:*** *All storm water drain systems that currently drain or previously drained towards the west over the bluff shall be capped. These systems should be redesigned to drain directly, or through a sump system, and then pumped to the street in compliance with SWP 2007-0001 and consistent with SUSMP requirements. This policy shall be implemented as a*

*condition of approval for all discretionary permits issued for bluff properties or within 5 years of adoption of the LCP, whichever is sooner.*

- **Project Compliance with Policy 4.28:** The project has been conditioned to require that all storm water drain systems that currently drain towards the west over the bluff be capped.

***Policy 4.32:*** *When bluff retention devices are unavoidable, encourage applicants to pursue preferred bluff retention designs as depicted in Appendix B of the LUP when required to protect an existing principal structure in danger from erosion. All future bluff retention device applications should utilize these designs as the basis of site-specific engineering drawings to ensure consistency with the LUP.*

- **Project Compliance with Policy 4.32:** The project has been designed to be consistent with a mixture of the engineering requirements of Figure 3 and Figure 4 of LUP Appendix B.

***Policy 4.38:*** *Maximize the natural, aesthetic appeal and scenic beauty of the beaches and bluffs by avoiding and minimizing the size of bluff retention devices, preserving the maximum amount of unaltered or natural bluff face, and minimizing encroachment of the bluff retention device on the beach, to the extent feasible, while ensuring that any such bluff retention device accomplishes its intended purpose of protecting existing principal structures in danger from erosion.*

- **Project Compliance with Policy 4.38:** The project has been designed to be the minimum size required to stabilize the bluff and protect the existing bluff top structures (Building 3) and the City infrastructure. An alternatives analysis was prepared for the proposed project and is contained in Attachment 5.

***Policy 4.39:*** *Provide for reasonable and feasible mitigation for the impacts of all bluff retention devices which consists of the payment of Sand Mitigation Fees and Public Recreation Fees to the City or other assessing agency.*

- **Project Compliance with Policy 4.39:** The project has been conditioned to mitigate for all impacts related to sand supply and public recreation through the payment of impact mitigation fees.

***Policy 4.45:*** *The City has adopted preferred bluff retention solutions (see Appendix B) to streamline and expedite the City permit process for bluff retention devices. The preferred bluff retention solutions are designed to meet the following goals and objectives:*

- (1) *Locate bluff retention devices as far landward as feasible;*
- (2) *Minimize alteration of the bluff face;*
- (3) *Minimize visual impacts from public viewing areas; ,*
- (4) *Minimize impacts to adjacent properties including public bluffs and beach area;*  
*and,*
- (5) *Conduct annual visual inspection and maintenance as needed.*

*The bluff property owner's licensed Civil or Geotechnical Engineer must examine the device for use in the specific location and take responsibility for the design as the Engineer of Record.*

*The Bluff Property Owner shall arrange for and pay the costs of:*

- (1) The licensed Geotechnical or Civil Engineer;*
- (2) The bluff retention device;*
- (3) A bond to ensure completion of the bluff retention device;*
- (4) Appropriate mitigation; and*
- (5) All necessary repairs, maintenance, and if needed removal.*

- **Project Compliance with Policy 4.45:** The project Applicant has paid for their licensed Geotechnical Engineer and will pay the construction costs for the bluff retention device and will be conditioned to pay the City a bond to ensure completion of the bluff retention device. Sand Supply and Public Recreation Impact Mitigation fees are required to be paid by the Applicant prior to issuance of the construction permit. The Applicant will be responsible for all necessary future repairs and maintenance.

***Policy 4.49:*** *Coastal structures shall be approved by the City only if all the following applicable findings can be made and the stated criteria satisfied. The permit shall be valid until the currently existing structure requiring protection is redeveloped (per definition of Bluff Top Redevelopment in the LUP), is no longer present, or no longer requires a protective device, whichever occurs first and subject to an encroachment/removal agreement approved by the City.*

- (a) Based upon the advice and recommendation of a licensed Geotechnical or Civil Engineer, the City makes the findings set forth below.*
  - (1) A bluff failure is imminent that would threaten a bluff home, city facility, city infrastructure, and/or other principal structure.*
  - (2) The coastal structure is more likely than not to preclude the need for a larger coastal structure or upper bluff retention structure. Taking into consideration any applicable conditions of previous permit approvals for development at the subject site, a determination must be made based on a detailed alternatives analysis that none of the following alternatives to the coastal structure are currently feasible, including:*
    - *A Seacave/Notch Infill;*
    - *A smaller coastal structure; or*
    - *Other remedial measures capable of protecting the bluff home, city facility, non-city-owned utilities, and/or city infrastructure, which might include or other non-beach and bluff face stabilizing measures, taking into account impacts on the near and long term integrity and appearance of the natural bluff face, and contiguous bluff properties;*
  - (3) The bluff property owner did not create the necessity for the coastal structure by unreasonably failing to implement generally accepted erosion and drainage control measures, such as reasonable management of surface drainage, plantings and irrigation, or by otherwise unreasonably acting or failing to act with respect to the bluff property. In determining whether or not the bluff*



*property owner's actions were reasonable, the City shall take into account whether or not the bluff property owner acted intentionally, with or without knowledge, and shall consider all other relevant credible scientific evidence, as well as, relevant facts and circumstances.*

- (4) *The location, size, design and operational characteristics of the proposed coastal structure will not create a significant adverse effect on adjacent public or private property, natural resources, or public use of, or access to, the beach, beyond the environmental impact typically associated with a similar coastal structure and the coastal structure is the minimum size necessary to protect the principal structure, has been designed to minimize all environmental impacts, and provides mitigation for all coastal and environmental impacts, as provided for in this LCP.*
- (b) *The coastal structure shall meet City Design Standards, which shall include the following criteria to ensure the coastal structure will be:*
- (1) *Constructed to resemble as closely as possible the natural color, texture and form of the adjacent bluffs;*
  - (2) *Landscaped, contoured, maintained and repaired to blend in with the existing environment;*
  - (3) *Designed so that it will serve its primary purpose of protecting the bluff home or other principal structure, provided all other requirements under the implementing ordinances are satisfied, with minimal adverse impacts to the bluff face;*
  - (4) *Reduced in size and scope, to the extent feasible, without adversely impacting the applicant's bluff property and other properties; and*
  - (5) *Placed at the most feasible landward location considering the importance of preserving the maximum amount of natural bluff and ensuring adequate bluff stability to protect the bluff home, City facility, or City infrastructure.*
- (c) *Mitigation for the impacts to shoreline and sand supply, public access and recreation and any other relevant coastal resource impacted by the coastal structure is required and shall be assessed in 20-year increments, starting with the building permit completion certification date. Property owners shall apply for a CDP amendment prior to expiration of each 20-year mitigation period, proposing mitigation for coastal resource impacts associated with retention of the coastal structure beyond the preceding 20-year mitigation period and shall include consideration of alternative feasible measures in which the permittee can modify the coastal structure to lessen the coastal structure's impacts in coastal resources. Monitoring reports to the City and the Coastal Commission shall be required every five years from the date of the CDP issuance until CDP expiration, which evaluate whether or not the coastal structure is still required to protect the existing structure it was designed to protect. The permittee is required to submit a CDP application to remove the authorized coastal structure within six months of a determination that the coastal structure is no longer required to protect the existing structure it was designed to protect.*

- **Project Compliance with Policy 4.49:** An alternatives analysis is included in Attachment 5. Alternatives considered but rejected include: the proposed project, a seawall extension and no project. The City's third-party geotechnical engineer has confirmed that the project complies with, or has satisfied all of the findings required in, this policy (Attachment 6). Imminent bluff failure potential has been confirmed based on the factors of safety as shown in Table 1 shown previously in this report. The project has been designed consistent with the engineering design requirements of Figure 3 and Figure 4, Appendix B of the LUP. Mitigation has been imposed on the project as a condition of approval.

***Policy 4.50:*** *The bluff property owner shall pay for the cost of the coastal structure or Infill and pay a Sand Mitigation Fee and a Public Recreation Fee per LUP Policy 4.39. These mitigation fees are not intended to be duplicative with fees assessed by other agencies. It is anticipated the fees assessed as required by this LCP will be in conjunction with, and not duplicative of, the mitigation fees typically assessed by the CCC and the CSLC for impacts to coastal resources from shoreline protective devices.*

- **Project Compliance with Policy 4.50:** The project will be required to mitigate all sand supply and public recreation impacts through the payment of mitigation fees to the City. The Applicant will also be required to obtain all necessary permits and approvals from the CCC and the CSLC prior to the City issuance of a construction permit.

***Policy 4.54:*** *Any bluff retention device shall be reasonably maintained and repaired by the bluff property owner on an "as needed" basis, at the bluff property owner's expense, in accordance with the implementing ordinances and any permit issued by the City. Any authorized assessing entity in which the project lies shall ensure such payments are reimbursed to the City if the bluff property owner fails to perform such work and the City elects to do so, subject to mandatory reimbursement. However, in all cases, after inspection, it is apparent that repair and maintenance is necessary, including maintenance of the color of the structures to ensure a continued match with the surrounding native bluffs, the bluff property owner or assessing entity shall contact the City or CCC office to determine whether permits are necessary, and, if necessary, shall subsequently apply for a coastal development permit for the required maintenance.*

- **Project Compliance with Policy 4.54:** The project has been conditioned to include a requirement that the proposed project be repaired and maintained as needed for the life of the structure.

***Policy 4.55:*** *To achieve a well maintained, aesthetically pleasing, and safer shoreline, coordination among property owners regarding maintenance and repair of all bluff retention devices is strongly encouraged. This may also result in cost savings through the realization of economies of scale to achieve these goals by coordination through an assessing entity. All bluff retention devices existing as of the date of certification of the LCP, to the extent they do not conform to the requirements of the LCP, shall be deemed non-conforming. A bluff property owner may elect to conform his/her/its bluff property or bluff retention device to the LCP at any time if the City finds that an existing bluff retention device that is required to protect existing principal structures in danger from erosion is structurally unsound, is unsafe,*

*or is materially jeopardizing contiguous private or public principal structures for which there is no other adequate and feasible solution, then the City may require reconstruction of the bluff retention device.*

- **Project Compliance with Policy 4.55:** The subject CUP application was collectively submitted by the Las Brisas Condominium Homeowners Association.

***Policy 4.58:*** *Development on the bluffs, including the construction of a bluff retention device, shall include measures to ensure that:*

- *No stockpiling of dirt or construction materials shall occur on the beach;*
  - *All grading shall be properly covered and sandbags and/or ditches shall be used to prevent runoff and siltation;*
  - *Measures to control erosion shall be implemented at the end of each day's work;*
  - *No machinery shall be allowed in the intertidal zone at any time to the extent feasible;*
  - *All construction debris shall be properly collected and removed from the beach. Shotcrete/concrete shall be contained through the use of tarps or similar barriers that completely enclose the application area and that prevent shotcrete/concrete contact with beach sands and/or coastal waters.*
- **Project Compliance with Policy 4.58:** Compliance with the requirements of this policy have been included as engineering conditions of approval.

Resolution No. 2022-013 (Attachment 1) contains citations to relevant policies of the City's LUP as conditions of approval.

#### **Sand Mitigation Fee and Public Recreation Impact Mitigation Fee Deposit**

As a condition of their 2005 Coastal Development Permit (CDP) to construct the existing seawall below the Las Brisas Condominiums, the Applicant was required to pay a fee of \$309,000 for, *"the loss of sandy beach area and thus the loss of public recreational impacts"* as well as *"\$22,977.36 for the loss of sand."* The proposed lateral return wall would be constructed to retain the beach sands behind the existing seawall for which mitigation fees were already paid, therefore, no additional mitigation fees are required with this permit.

#### **Compliance with Solana Beach Certified LUP Policies**

Staff has evaluated the CUP application taking into account the following factors: (1) the relevant policies of the City's Certified LUP; (2) the conclusions drawn by the (a) City of Solana Beach's independent third-party geotechnical consultant CTE, INC. regarding the need for the project and the appropriateness of the proposed bluff stabilization devices and (b) the City of Solana Beach City Engineer conditions of approval; and (3) the Applicant's geotechnical reports and supplemental alternatives analysis (Attachments 7, 8, and 9).

After evaluating the Coastal Bluff Evaluation and Project Recommendations from TerraCosta Consulting Group, The Bluff Stabilization Engineering Design Report from GeoStabilization International and the Geotechnical Update and Response to comments from GeoSoils, Inc. provided by the Applicant and included in Attachments 7, 8, and 9, and the third-party review

findings provided by the City's geotechnical engineering consultant, CTE, Inc., and the City Engineer, Staff concurs that the proposed project has met the standard of imminent danger. Without the proposed project to stabilize the bluffs, the prospect of bluff failure could threaten the condominium building 3 and the pedestrian and public agency vehicular access is reasonably foreseeable within the next 12 months according to the factor of safety analysis.

Based on the foregoing information, City Staff finds that the proposed project could be found consistent with applicable LUP policies previously cited.

In addition to the required LUP findings, compliance with the Solana Beach Municipal Code is required to support issuance of a Conditional Use Permit.

**Compliance with Solana Beach Municipal Code (SBMC) Findings 17.68.010 (F)**

- a. That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located.
- b. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
- c. That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC 17.68.020.

The proposed project is consistent with required finding (a), whereby shoreline protective devices are a structure/use allowed in the City to protect bluff top principal structures in danger of erosion.

The proposed project is consistent with the required finding (b) whereby the proposed project is needed to address an emergency condition whereby bluff failure has been confirmed to be imminent by Construction Testing and Engineering, Inc. (CTE, Inc. who is one of the City's on call third-party Geotechnical Engineering Firms).

The proposed project is consistent with the required finding (c) whereby the proposed project is consistent with the zoning ordinance which allows shoreline protection.

**CEQA COMPLIANCE STATEMENT:**

The proposed project qualifies as an emergency repair pursuant to the California Environmental Quality Act (CEQA) Public Resources Code §§ 21060.3, as evidenced by a licensed geotechnical engineer. Thus, this project is exempt from CEQA per 2022 State CEQA Guidelines §15269(b)(c).

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the proposed project and adopt Resolution 2022-013.
- Deny the proposed project.
- Provide alternative direction.

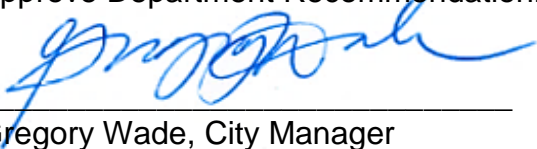
**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, receive public testimony, and close the public hearing.
2. Find the Proposed Project exempt from the requirements of CEQA pursuant to 2022 State California CEQA Guidelines §15269 as emergency conditions exist onsite.
3. Adopt Resolution 2022-013 conditionally approving a Conditional Use Permit Modification to construct a return wall that would consist of a drilled pier/caisson design with structural concrete between piers, extend from the top of the southern terminus of the existing seawall to the top of the bluff, and would be covered with hand sculpted, colored shotcrete to match the adjacent natural bluff at 135 S. Sierra Avenue, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2022-013
2. Proposed Plans
3. LUP Appendix B Figures 3 and 5
4. Proposed Hydroseed Mix
5. Alternatives Analysis
6. CTE, INC. Third-Party Review Letters 1 and 2
7. Coastal Bluff Evaluation and Project Recommendations, TerraCosta Consulting Group
8. Las Brisas Bluff Stabilization Engineering Design Manual, GeoStabilization International
9. Geotechnical Update and Response to Third-Party Geotechnical Review, GeoSoils, Inc.

## RESOLUTION 2022-013

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT MODIFICATION FOR THE CONSTRUCTION OF A MICROPILE RETURN WALL, MID-AND UPPER-BLUFF RESTORATION AND LANDSCAPING BELOW 135 S. SIERRA AVENUE IN SOLANA BEACH.**

**APPLICANTS: Las Brisas Homeowners Association  
CASE NO.: CUP20-004**

**WHEREAS**, the Applicant, the Las Brisas Homeowners Association (hereinafter referred to as “Applicant”) has submitted an application for a Conditional Use Permit (CUP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted the Amended Local Coastal Program (LCP) Land Use Plan (LUP) in June 2014 with policies allowing for the construction of shoreline protective devices in the City as allowed by California Coastal Act Section 30235; and

**WHEREAS**, a Coastal Bluff Evaluation and Basis of Design Report prepared by TerraCosta Consulting Group, Project Plans and Structural Calculations prepared by Soils Engineering Construction and supplemental technical materials prepared by GeoSoils, Inc. has been reviewed and confirmed by Geopacifica Geotechnical Consultants (Geopacifica), the City’s third party independent geotechnical consultant, in a letter dated March 14, 2018 indicating the proposed project is required and has been designed consistent with all City requirements; and

**WHEREAS**, the existing static factors of safety onsite below the pedestrian/vehicular access area and Building 3 of Las Brisas are currently 1.021 and 1.19 respectively; and

**WHEREAS**, a factor of safety equal to or less than 1.0 represents a slope that is structurally failing whereby the generally accepted factor of safety calculation for purposes of determining bluff stability and the potential for imminent failure is a factor of safety of 1.2 or less the bluff top principal structure (Building 3) and the public agency vehicular access and pedestrian access are considered in “imminent danger” from potential bluff collapse and/or failure; and

**WHEREAS**, at the duly noticed public hearing held on February 9, 2022, the City Council received and considered evidence concerning the proposed application as received; and

**WHEREAS**, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, the City Council of the City of Solana Beach found the proposed project exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines § 15269 as a documented geologic emergency exists onsite; and

**WHEREAS**, the proposed project will be designed to be located as far landward as possible, contoured, color matched and sculpted to match the surrounding bluff and will be maintained over the life of the structure consistent with the engineering design requirements depicted in Solana Beach Certified LCP LUP Appendix B, Figure 3; and

**WHEREAS**, this decision is based upon the evidence contained in the subject application, testimony of Geopacifica, evidence presented at the hearing and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the project is categorically exempt from the requirements of CEQA pursuant to 2022 State California CEQA Guidelines 15269.
3. That the request for a Conditional Use Permit Modification to construct a return wall that would consist of a drilled pier/caisson design with structural concrete between piers that would extend from the top of the southern terminus of the existing seawall to the top of the bluff, would be covered with hand sculpted, colored shotcrete to match the adjacent natural bluff, would include and mid and upper bluff reconstruction and landscaping at 135 S. Sierra Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:

4. FINDINGS

- A. Compliance with Solana Beach Certified LCP LUP Policy Requirements: A consistency finding with the City's Local Coastal Program (LCP) Land Use Plan (LUP) is required for the proposed project. The City's LUP policies were certified to be consistent with Coastal Act Section 30235 which states: Revetments, breakwaters, groins, harbor channels, seawalls, cliff retaining walls, and other such construction that alters natural shoreline processes shall be permitted when required to serve coastal-dependent uses or to protect existing structures or public beaches in danger from erosion, and when designed to eliminate or mitigate adverse impacts on local shoreline sand supply.

Applicable City policies from the City's Certified LUP (as amended) are listed below. The project complies or has been conditioned to comply with all applicable and relevant City LUP policies including:

Certified LUP Policy 4.26 (irrigation controls for bluff properties);

Certified LUP Policy 4.27 (use of drought resistant landscaping);  
Certified LUP Policy 4.28 (stormwater runoff);  
Certified LUP Policy 4.32 (use of preferred engineering designs);  
Certified LUP Policy 4.38 (aesthetics);  
Certified LUP Policy 4.39 (payment of mitigation fees);  
Certified LUP Policy 4.45 (bluff retention device design);  
Certified LUP Policy 4.49 (findings);  
Certified LUP Policy 4.50 (impact mitigation fees);  
Certified LUP Policy 4.54 (shoreline protection device maintenance);  
Certified LUP Policy 4.55 (coordination among neighbors); and  
Certified LUP Policy 4.58 (development on the bluff).

B. Compliance with Solana Beach Municipal Code (SBMC) Findings 17.68.010:

- a. *That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located.*

The proposed project is consistent with the required finding, whereby shoreline protective devices are a structure/use allowed in the City to protect bluff top principal structures in danger of erosion.

- b. *That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The proposed project is consistent with the required finding, whereby the proposed project is needed to address an emergency condition whereby bluff failure has been confirmed to be imminent by CTE Inc. (Construction Testing and Engineering, Inc. one of the City's third party geotechnical Engineering firms).

- c. *That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC 17.68.020.*

The proposed project is consistent with the required finding, whereby the proposed project is consistent with the zoning ordinance which allows shoreline protection.

5. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:



- I. Building Permit plans must be in substantial conformance with the plans presented to the City Council on February 9, 2022 and located in the project file with a submittal date of December 21, 2020.
- II. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, waiver or exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- III. The repairs will be constructed and maintained to incorporate an earth-like appearance which will resemble, as closely as possible, the color and texture of the surrounding bluffs.
- IV. The Applicant shall remove or cap any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, or shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC if the project is appealed, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).
- V. All storm water drain systems that currently drain or previously drained towards the west over the bluff shall be capped. These systems should be redesigned to drain directly, or through a sump system, and then pumped to the street in compliance with the current Regional Water Quality Control Board (RWQCB) Standard Urban Storm Water Mitigation Plan (SUSMP) requirements.
- VI. Any bluff retention device shall be reasonably maintained and repaired by the bluff property owner on an “as needed” basis, at the bluff property owner’s expense, in accordance with the implementing ordinances and any permit issued by the City. Any authorized assessing entity in which the project lies shall ensure such payments are reimbursed to the City if the bluff property owner fails to perform such work and the City elects to do so, subject to mandatory reimbursement. However, in all cases, after inspection, it is apparent that repair and maintenance is necessary, including maintenance of the color of the structures to ensure a continued match with the surrounding native bluffs, the bluff property owner or assessing entity shall contact the City or CCC office to determine whether permits are necessary and, if necessary, shall subsequently apply for a coastal development permit for the required maintenance.
- VII. No stockpiling of dirt or construction materials shall occur on the

beach.

- VIII. All grading shall be properly covered and sandbags and/or ditches shall be used to prevent runoff and siltation.
  - IX. Measures to control erosion shall be implemented at the end of each day's work.
  - X. No machinery shall be allowed in the intertidal zone at any time to the extent feasible.
  - XI. All construction debris shall be properly collected and removed from the beach. Shotcrete/concrete shall be contained through the use of tarps or similar barriers that completely enclose the application area and that prevent shotcrete/concrete contact with beach sands and/or coastal waters.
  - XII. Temporary irrigation shall be periodically inspected every six months following planting to ensure planting success and to verify that irrigation is still required. At six month intervals, a report prepared by a licensed landscape architect detailing the status of the vegetation, an assessment on the condition of the temporary irrigation system, and provides supporting information on whether the temporary irrigation is still needed shall be provided to the City. The City will issue a determination on the status of the temporary irrigation system upon reviewing the report. The City can require the removal of the temporary irrigation system at anytime. The temporary irrigation system may remain active and in place up to a maximum of 24 months at the approval of the City and must be removed once the plants have become established.
  - XIII. All required plantings will be maintained in good growing condition throughout the life of the project and, whenever necessary, shall be replaced with new plant materials to ensure continued compliance with the landscape plan.
  - XIV. The temporary irrigation system shall include redundant valve control/shut off valves to prevent any irrigation system leaks/failures.
- B. Fire Department Conditions:
- I. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.

- C. Engineering Department Conditions: Prior to obtaining any building or grading permits pursuant to this project, the Applicants shall:
- I. Prior to obtaining any building or grading permits pursuant to this colored concrete seacave infill maintenance project, the Applicant shall:
    - a. Prepare, execute and record a declaration of restrictions on real property approved by the City Attorney whereby the applicant or the applicant's successors in interest to the property will construct and maintain the shoreline defense structure in accordance with Conditions of this approval.
    - b. The declaration of restrictions shall include an agreement by the Applicant to defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to any claim for damages from any injury to person or property caused by the shoreline defense structure or by its failure.
    - c. Said declaration of restrictions shall be acknowledged and recorded in the office of the County Recorder.
    - d. Per Policy 4.49 of the certified LUP, an Encroachment Maintenance and Removal Agreement is required when the proposed Bluff Retention Device (BRD) is located in whole or in part on public land. In order to determine if an Encroachment Removal Agreement is required for this project, the applicant shall submit an engineering plan clearly showing the property lines, existing topography and the location of the proposed BRD.
    - e. Obtain required California Coastal Commission Permits prior to the issuance of any structure and grading permits or present evidence that an emergency waiver has been granted.
    - f. Obtain any other permits or emergency waivers, which may be required from State and Federal agencies including the State Lands Commission and the U.S. Army Corps of Engineers.
    - g. The project shall be designed and shall provide appropriate data to confirm the submitted design to the satisfaction of the City Engineer. This shall include, but is not limited to, a geotechnical report.

- h. The property owners shall post securities to guarantee proper care and use of the Fletcher Cove ramp. No construction materials to be off-loaded on the ramp, at the end of the ramp or any public property including streets and Fletcher Cove Park. No washing of equipment shall occur unless a containment system is properly utilized.
- i. For all projects on which equipment is driven on the Fletcher Cove Beach Access Ramp, the access ramp and adjacent parking lot must be swept daily to remove sand that has been tracked onto the ramp and parking lot. At least once a week, the access ramp and parking lot must be swept with a street sweeper that is capable of cleaning the streets and parking lots of paper, glass, dirt, silt, sand, rocks, litter and miscellaneous debris. The street sweeper shall be equipped with dual gutter brooms, and vacuum equipment may be used. If any sand is tracked outside the parking lot, these areas (including city streets) must also be cleaned weekly with a street sweeper.
- j. The property owners shall pay all inspection and plan check fees as required by the City.
- k. Plans and specifications for the project shall be approved by the City Engineer in addition to approvals from the Director of Planning as may be required, and shall substantially conform to the plans submitted by the Applicant. All bluff stabilization devices shall produce a natural appearing bluff to the satisfaction of the City Engineer and the Community development director. Project implementation shall provide a final product mimicking a naturally appearing bluff in terms of colors, textures, forms and angles.
- l. A grading/drainage plan shall be prepared by a registered civil engineer in accordance with the current Grading Ordinance and be submitted to the City Engineer for approval and permit issuance.
- m. Plans and specifications for the project shall be approved by the Planning Department prior to submittal to the Engineering Department.
- n. The Applicant shall post with the City a Performance Bond equal to the full amount of the work to be completed to guarantee that once started, construction will be completed per approved plans.
- o. The Applicant shall submit a Certificate of Insurance naming the City of Solana Beach as an additional insured in the amount of

\$2,000,000 on a policy of general liability insurance issued by an insurance company licensed to do business in California, and meeting the requirements established by City Council resolution for insurance companies doing business with the City, covering injuries to persons and property during the construction period.

- p. The Applicant shall obtain a Special Use (Marine Safety) Permit specifying the conditions governing use of vehicles, use of the boat ramp, and entry upon and use of areas of the public beach for construction equipment and vehicles. Evidence of permit issuance shall be submitted to the City Engineer before issuance of the permit for the project.
- q. The Applicant shall have on file evidence from the Captain of Marine Safety and City Engineer, City of Solana Beach, that arrangements have been made to satisfy the following criteria:
- i. Prior to usage of the Solana Beach Fletcher Cove ramp or parking lot, a cash deposit, bond or other secured agreement to cover the following impact charges shall be deposited:
    - A six dollars (\$6.00) per round trip vehicle charge for all construction related vehicles using the ramp.
    - A three dollars (\$3.00) per ton fee, or less if approved by the City Council, based on the estimated weight of the vehicle and load for all vehicles in excess of  $\frac{3}{4}$  ton capacity, excluding any vehicles solely transporting beach grade replenishment sand.
    - A twenty-nine dollars (\$29) per day charge for the first 30 days escalating to fifty-five dollars (\$55) per day for the 31<sup>st</sup> and subsequent days charge shall be collected to encourage a timely completion of all projects, unless otherwise modified for good cause by the City Council or City Manager.
    - Any damage caused to the Solana Beach Fletcher Cove ramp and parking lot.
  - ii. At least one City of Solana Beach Lifeguard shall be contracted, at the Applicant's expense, through the Captain of Marine Safety, to monitor all activities in order to insure full compliance with the conditions of this permit. The lifeguard(s) shall be on duty at all times when any construction activity takes place. Additional lifeguards may

be required at the discretion of the Captain of Marine Safety. In addition to the lifeguard staffing cost, the Applicant shall also pay a Marine Safety equipment use fee of four-dollar and sixty-four cents (\$4.64) per hour, based on the number of the number of hours the lifeguards are contracted for the project.

- iii. If construction access is from Fletcher Cove Park, precautions shall be taken to avoid damage to the beach access ramp during construction and repairs. If damage to the ramp occurs, it shall be repaired to a condition equivalent to the condition at the start of construction activity to the satisfaction of the City of Solana Beach City Engineer. All City owned work areas including Fletcher Cove Park and access ramp shall be videotaped prior to the commencement of the project. The videotape shall establish the "as-is" condition. In any areas missed by the videotape, the City Engineer will determine "as-is" condition.

**If access is from the State Park at the north end of Solana Beach, precautions shall be taken to avoid damage to the hard layer of fossiliferous sandstone that forms the beach surface at the north end of the coastal bluffs. Such access may necessitate State approval. Proof of such access shall be provided to the City Engineer before construction begins.**

- r. Beach quality sand from the excavation for the proposed project shall be deposited and spread on the beach in front of this site unless unique and/or inappropriate conditions are encountered. The Applicant should reference this condition to other permitting agencies.
- s. An encroachment permit from the Engineering Department is required if a crane, construction materials, etc. are envisioned to be stationed in the public right of way. The City does not guarantee that an encroachment permit will be approved.
- t. Any grout mixture used on the project that may be visible from the beach or surrounding areas shall be of similar color as the surrounding natural bluffs. Color samples shall be submitted and approved by the City prior to placing the grout.
- u. The structure and any exposed construction shall mimic the natural contours, color and texture to the maximum extent practicable, as determined by the City Engineer and Community Development Director.

- v. A carved, colored and textured facade on the face of the structure matching the adjacent bluff areas shall be constructed. The façade shall match the contours, both vertically and horizontally, and the texture of the adjacent natural bluffs to the maximum extent feasible. Coastal bluff colored grouting shall be used and shall be submitted to the City Engineer before approval of the plans. A test prism shall be cast and delivered to a testing lab during construction.
  - w. A qualified, licensed and insured contractor shall perform all required work as outlined by certified/registered engineering geologist or Registered Civil Engineer on the construction plans. Special and general notes on said plans shall be followed to the satisfaction of the City Engineer or his designee.
  - x. Lateral pedestrian and Marine Safety vehicular access through the construction area, shall be provided past the site at all times, subject to high tides and safety issues. A 30-foot-wide safety/construction work zone shall be provided during work hours to separate the work zone from the open public beach.
  - y. No construction activities may occur on the beach during the busier recreational season, which is defined as the period between Memorial Day and Labor Day of any year. The contractor shall obtain approval from the City of Solana Beach Engineering and Marine Safety Departments regarding the use and timing of the Fletcher Cove parking lot and beach access ramp for all construction related access, staging and parking issues if such use becomes required.
- II. Prior to Final Inspection of the project, the Applicant shall:
- a. Submit certification to the City Engineer from the Geotechnical Engineer and the Civil Engineer of Record for the project that they have inspected the project and certify that it was constructed per the approved plan, specifying the date of the plan.
  - b. The applicant and/or contractor shall repair any damage caused to the Solana Beach property and facilities, including but not limited to, Fletcher Cove ramp and parking lot to the satisfaction of the City Engineer.
- III. The Applicant shall provide for and adhere to the following Conditions:

- a. All development on the site shall substantially conform to the final Conditional Use Permit Plan approved by the City Council.
  - b. The property owner shall be responsible to immediately remove, in perpetuity, any graffiti or other markings should they appear on the project exterior face. If erosion exposes the steel rebar, the Applicant or their successor in interest shall arrange to apply a sculptor-coat of concrete over the exposed steel to match the natural bluff. The property owner shall be responsible for the removal of the structure or any portion thereof.
  - c. If requested by the City Manager or his designee, the property owner or their successor in interest shall install and maintain signage about unstable bluffs fronting their property.
  - d. The applicant shall provide "As-Built" plans and all certifications required to the City, before the City will release the performance bond as indicated in condition 1.XII.
  - e. Pursuant to SBMC Section 7.34.100, Construction hours are limited to 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturday. No work is allowed on Sunday or holidays unless specifically approved pursuant to SBMC Section 7.34.100.B. Engines shall not be started, no construction-related materials shall be moved, or any other construction-related activities occur outside these hours. Work is not permitted on the beach on Saturdays without the written approval of the City Manager.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.
7. EXPIRATION: The Conditional Use Permit for the project will expire 24 months from the date of project approval unless the Applicant has obtained building/grading permits and commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council.
8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Applicant of



any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.

9. NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 9<sup>th</sup> day of February 2022, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
Lesa Heebner, Mayor

APPROVED AS TO FORM:

ATTEST:

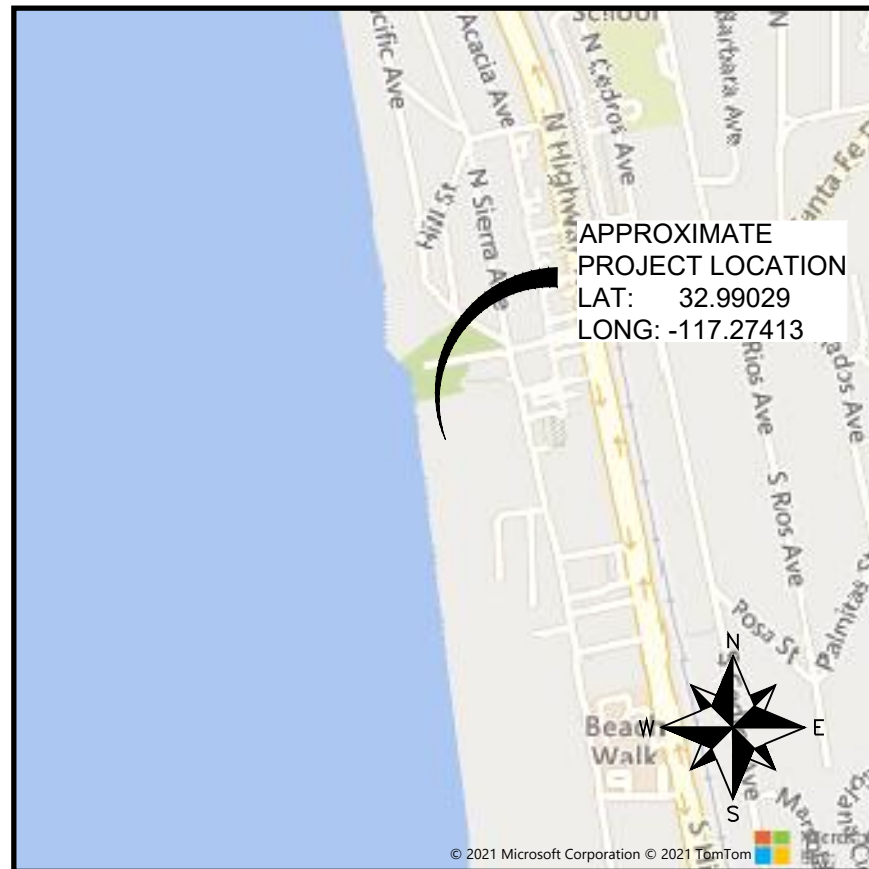
\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

# BLUFF STABILIZATION PLANS

## LAS BRISAS CONDOMINIUMS

CITY OF SOLANA BEACH, CA  
LAS BRISAS HOA



*VICINITY MAP*

(NOT TO SCALE)

### SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	GENERAL NOTES (CONT.)
C-04	EXISTING SITE & ACCESS PLAN
C-05	PROJECT SITE PLAN
C-06	SECTION VIEW - CUTOFF WALL
C-07	CUTOFF WALL DETAILS
C-08	MICROPILE ANCHOR DETAILS
C-09	MICROPILE CAP DETAILS
C-10	SECTION VIEW - RSS SYSTEM
C-11	PHASE II MITIGATION SECTION
C-12	MICROPILE TESTING DETAILS
C-13	DRILL LOGS

#### SHEET REVISIONS

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**COVER SHEET**

DRAWN BY: MAC	CHECKED BY: JDR	DATE: 10/20/21	PROJECT NUMBER: 210487CA01	SHEET C-01
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Phone: 855.579.0536 | Fax: 970.245.7737  
www.geostabilization.com



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**ATTACHMENT 2**

**GENERAL NOTES:**

- GSI WILL BE THE LEAD FOR JOB SITE CONDITIONS AND SAFETY DURING CONSTRUCTION HOURS. THE JOB SITE WILL BE KEPT REASONABLY SECURE TO DETER UNAUTHORIZED ENTRY OR TAMPERING. HOWEVER, THOSE WHO ENTER THE CONSTRUCTION ZONE WITHOUT ENTRY WILL BE CONSIDERED TO BE TRESPASSING.
- GSI WILL USE UTILITY ONE CALL SERVICES, REQUEST UTILITY MAPS, AND REQUEST POTHOLING AS NEEDED TO LOCATE AND MARK KNOWN UTILITIES.
  - DIG ALERT: DIAL 811, OR DIGALERT.ORG
  - CITY OF SOLANA BEACH PUBLIC WORKS: 858-720-2470
- AT THE END OF EACH WORK DAY GSI WILL LEAVE THE WORK AREA FREE OF HAZARDS, AND PROVIDE TEMPORARY SIGNS, WARNING DEVICES, AND/OR BARRICADES, AS NEEDED.
- GSI WILL KEEP RECORDS OF THE DRILLING CONDITIONS, GROUT MIX SPECIFIC GRAVITY AND OTHER NOTES ON THESE PLANS AS NEEDED TO PROVIDE AS-BUILT INFORMATION TO THE OWNER AFTER PROJECT COMPLETION.
- GSI UNDERSTANDS THE WORKING HOURS FOR THIS SITE TO BE 7:00 A.M. AND 7 P.M. EACH DAY, MONDAY THROUGH FRIDAY.
- GSI WILL NOTIFY THE CITY OF SOLANA BEACH AT (858) 720-2470, AT LEAST 24 HOURS BEFORE THE FIRST DAY OR THE PROJECT.

**STANDARD REQUIREMENTS:**

GSI WILL PERFORM THE WORK IN GENERAL ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," SAN DIEGO REGIONAL STANDARD DRAWINGS AND CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS.

ASSESSOR PARCEL NUMBERS	ADDRESSES
298-010-54-0001 THROUGH -36	135 S SIERRA AVE

**EROSION CONTROL NOTES:**

- GSI WILL PLACE SILT FENCE AT THE TOE OF THE SLOPE (TOP OF THE SEA WALL) TO LIMIT ERODED SOILS FROM REACHING THE PUBLIC BEACH.
- GSI WILL USE DIKES, BERMS OR TRENCHES TO LIMIT STORMWATER WATER FLOWING OVER CRESTS OF THE SLOPE.
- GSI WILL USE WATER AS NEEDED TO MINIMIZE AIR BORNE DUST ON THE SITE.

**HOUSE KEEPING:**

- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND REMOVED AT THE END OF EACH WORK DAY.

**SAFETY:**

- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. WILL BE IN PLACE AND FOLLOWED ACCORDINGLY. PPE INCLUDES SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, RESPIRATOR DURING DUST PRODUCING ACTIVITIES, AND GLOVES.
- GSI WILL GENERATE A SITE SPECIFIC HEALTH AND SAFETY PLAN THAT MUST BE REVIEWED AND SIGNED BY ALL GSI EMPLOYEES, SUBCONTRACTORS, AND VISITORS TO THE SITE.
- GSI WILL LEAD A DAILY TAILGATE MEETING TO REVIEW JOB HAZARD ANALYSIS "JHA" FOR EACH OF THE DAYS ANTICIPATED TASKS.

**EMPLOYEE CERTIFICATIONS:**

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING

**ANTICIPATED CONSTRUCTION SEQUENCE/WORK SCHEDULE:**

1. DELINEATE LIMITS OF STABILIZATION. NOTIFY LOCAL UTILITIES PROVIDERS TO LOCATE AND MARK POTENTIAL UNDERGROUND FACILITIES. DAYLIGHTING OF UTILITIES IN POTENTIAL CONFLICT, AS NECESSARY (BY OTHERS).
2. PREPARE THE WORK AREA FOR MICROPILE INSTALLATION AND CUTOFF WALL CONSTRUCTION:
  - 2.1. INSTALL EROSION CONTROL FENCE AT THE TOP OF THE EXISTING SEAWALL TO LIMIT SOIL EROSION DURING CONSTRUCTION.
  - 2.2. MINOR RE-SHAPING OF EXISTING SCARP AND SURROUNDING GRADES MAY BE NEEDED TO FACILITATE CONSTRUCTION OF THE MICROPILE CUTOFF WALL.
  - 2.3. MARK THE LOCATIONS OF THE PROPOSED STABILIZATION ELEMENTS WITH SURVEY MARKING PAINT.
3. INSTALLATION OF MICROPILE ELEMENTS. EACH ELEMENT WILL BE GROUTED DURING DRILLING UNLESS DIRECTED OTHERWISE BY GSI ENGINEER.
4. CONSTRUCT THE CUTOFF WALL:
  - 4.1. PLACE REINFORCING STEEL AND DRAIN STRIPS PER THESE DRAWINGS.
  - 4.2. USE WOOD OR SIMILAR FORMWORK ON THE NORTH SIDE OF THE CUTOFF WALL TO FACILITATE SHOTCRETE PLACEMENT.
  - 4.3. PLACE SHOTCRETE FROM THE BOTTOM UP TO THE REQUIRED THICKNESS DETAILED IN THESE PLANS.
5. PREPARE AREA NORTH OF THE CUTOFF WALL FOR REINFORCED SOIL SLOPE SYSTEM INSTALLATION. MINOR GRUBBING AND GRADING MAY BE NECESSARY.
6. INSTALL REINFORCED SOIL SLOPE SYSTEM IN LIFTS AS DETAILED IN THESE DRAWINGS AND PER THE MANUFACTURER INSTALLATION PROCEDURES.
7. SITE CLEANUP AND DEMOBILIZATION FROM SITE.
  - 7.1. CONCRETE, GROUT, AND OTHER CONSTRUCTION DEBRIS WILL BE REMOVED PERIODICALLY THROUGHOUT THE WORK.
  - 7.2. FINAL CLEANUP OF THE SITE TO INCLUDE REASONABLE HAND CLEANING METHODS LIKE SWEEPING, SPRAYING WITH WATER AND REMOVAL OF TRASH AND DEBRIS. MAJOR LANDSCAPING SHOULD NOT BE NEEDED IF PROPER ACCESS IS GRANTED TO GSI THROUGHOUT THE PROJECT.

**SIZE AND TYPE OF STABILIZATION ELEMENTS:**

- THE MICROPILE ELEMENTS SHALL CONSIST OF 51mm NOMINAL DIAMETER, SELF-DRILLING HOLLOW BAR. SACRIFICIAL DRILL BITS WILL BE ATTACHED TO THE STABILIZATION ELEMENT PRIOR TO INSTALLATION.
- SACRIFICIAL DRILL BITS ARE NOT PERMANENTLY INCORPORATED INTO THE PROJECT AND MAY BE REMOVED AFTER DRILLING OR LEFT AT THE PROJECT FOR THE CONTRACTOR'S CONVENIENCE. SACRIFICIAL DRILL BITS ARE NOT END PRODUCTS. SACRIFICIAL DRILL BITS ARE NOT PRODUCED IN THE UNITED STATES.
- GSI ENGINEER MAY ELECT TO MODIFY THE TYPE OF STABILIZATION ELEMENT, LENGTH OR INSTALLATION METHOD, DEPENDING ON ACTUAL DRILLING CONDITIONS.

**FACING AND DRAINAGE SYSTEM:**

- DRAIN STRIPS WILL BE PROVIDED AND INSTALLED APPROX. EVERY SIX-FEET ALONG THE NORTH SIDE OF THE CUTOFF WALL.. THE DRAIN STRIPS SHALL BE PLACED WITH THE GEOTEXTILE SIDE AGAINST THE FORMWORK.
- DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A ONE-FOOT MINIMUM OVERLAP SUCH THAT THE FLOW OF WATER IS NOT IMPEDED.
- DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AT THE DOWNHILL FACE.
- DRAIN STRIPS SHALL BE MINIMUM 12" WIDE.

**REINFORCING STEEL PLACEMENT:**

- REINFORCING STEEL FOR THIS PROJECT SHALL BE EPOXY COATED OR GALVANIZED.
- WELDED WIRE MESH WILL BE PLACED ON BOTH SIDES OF THE EXTENDED 51mm MICROPILES AS SHOWN IN THESE DRAWINGS.
- NO. 5 REBAR WILL BE TIED TO THE SOUTH WIRE MESH. FOLLOW SPACING AND SPLICE LENGTHS AS SHOWN IN THESE DRAWINGS.
- NO. 5 REBAR WILL ALSO BE USED FOR THE MICROPILE CAP. FOLLOW SPACING AND SPLICE LENGTHS AS SHOWN IN THESE DRAWINGS.

**MICROPILE CAP PLATES:**

- 6" X 6" X 1/2" STEEL BEARING PLATES WILL BE PLACED OVER THE MICROPILES IN THE MICROPILE CAP AND ATTACHED WITH A HEX NUT TOP AND BOTTOM. IF THE MICROPILES EXTEND BEYOND THE TOP HEX NUTS, THEY WILL BE TRIMMED.

**REINFORCED SOIL SLOPE (RSS) SYSTEM:**

HIGH PERFORMANCE TURF REINFORCEMENT MAT (HPTRM)

- MATERIAL IS THREE-DIMENSIONAL, LOFTY WOVEN POLYPROPYLENE HPTRM
- MATRIX COMPOSED OF TRILOBAL MONOFILAMENT YARNS WOVEN INTO UNIFORM CONFIGURATION OF RESILIENT PYRAMID-LIKE PROJECTIONS THAT MINIMIZE WATERING REQUIREMENTS WHILE ENHANCING VEGETATION ESTABLISHMENT.
- MUST BE A HOMOGENEOUS MATRIX, AND NOT COMPRISED OF LAYERS, COMPOSITES, OR DISCONTINUOUS MATERIALS, OR OTHERWISE LOOSELY HELD TOGETHER BY STITCHED OR GLUED NETTING.
- THE HPTRM SHOULD MEET THE FOLLOWING VALUES:

PROPERTY	TEST METHOD	UNITS	MINIMUM REQUIREMENT
THICKNESS	ASTM D6525	IN	0.4
LIGHT PENETRATION	ASTM D6567	%	10
TENSILE STRENGTH	ASTM D6818	LB/FT	4000 X 3000
TENSILE ELONGATION	ASTM D6818	%	40 X 35
RESILIENCY	ASTM D6524	%	80
FLEXIBILITY	ASTM D6575	IN-LB	0.534
UV RESISTANCE	ASTM 4355	%	90 AT 6000 hrs

- WOOD OR PLASTIC STAKES, OR STEEL PINS ARE USED TO PIN-DOWN THE GEOTEXTILE NEAR THE BACK OF THE REINFORCEMENT ZONE TO HOLD THE GEOTEXTILE TAUT WHILE ALIGNING THE WALL FACE AND PLACING SOIL BACKFILL. THESE ARE INSTALLED AS NEEDED ALONG THE HPTRM, BUT AT A FREQUENCY NO LESS THAN 1 PER 6 LINEAL FEET. THE STAKES OR PINS SHALL BE 9 TO 12 IN LONG.
- BACKFILL WILL COMPRISE GENERAL FILL WITH A UNIFIED SOIL CLASSIFICATION SYSTEM DESIGNATION OF SILTY SAND (SM).
  - THE SM MATERIAL WILL CONSIST OF INERT EARTH MATERIALS WITH LESS THAN 3% ORGANICS OR OTHER DELETERIOUS SUBSTANCES.
  - FILL WILL BE PLACED IN UNIFORM, MAXIMUM 12-INCH LIFTS.
  - FILL IN THE UPPER 12 INCHES OF THE GRADED SLOPE FACE WILL NOT BE COMPACTED DUE TO LACK OF CONFINEMENT.
  - FILL BEHIND THE UPPER 12 INCHES OF THE GRADED SLOPE FACE WILL BE COMPACTED TO AT LEAST 90% OF THE MATERIALS MAXIMUM DRY DENSITY AND BE UNIFORMLY MOISTURE CONDITIONED TO AT LEAST THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.

*SHEET REVISIONS*

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:

*LAS BRISAS CONDOMINIUMS*

SHEET TITLE:

*GENERAL NOTES*

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MAC

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JDR

DATE:

10/20/21

PROJECT NUMBER:

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C-02



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**RSS ANCHOR DETAILS**

**TYPE B3 ANCHOR PROPERTIES**

Component	Materials	Material Composition	Physical Properties
Anchor Head		Hot Dip Galvanized Ductile Iron	6.43 in x 1.84 in x 2.36 in (163.3 mm x 46.7 mm x 59.9 mm) Bearing Area: 10.3 in <sup>2</sup> (66.5 cm <sup>2</sup> )
Cable Tendon		Galvanized Steel	Diameter: 0.1875 in (4.8 mm)
Lower Termination		Aluminum	Length: 0.65 in (16.5 mm), Wall Thickness: 0.11 in (2.8 mm)
Load Bearing Plate		Zinc-Aluminum	5.98 in x 6.6 in x 0.75 in (151.9 mm x 167.6 mm x 19.1 mm) Bearing Area: 17.43 in <sup>2</sup> (112.5 cm <sup>2</sup> )
Top Termination		Zinc-Aluminum	Circumferential Tripple Wedge Grip Assembly to Eliminate Cable Pinch Points Grip to Cable Contact Surface Area: 0.505 in <sup>2</sup> (3.3 cm <sup>2</sup> ) Grip to Cable Contact Ratio: 97% of Cable Diameter
<b>Performance Properties</b>			
Ultimate Assembly Strength	2800 lb (12.46 kN)	Typical Working Load	2000 lb (8.9 kN)
Ultimate Cable Strength	3700 lb (16.46 kN)	Embedment Depth	6-12 ft (1.83-3.66 m)

**SHOTCRETE MIX DESIGN:**

- SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.
- THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.
- GSI STANDARD SHOTCRETE MIX DESIGN SHALL BE USED UNLESS SHOTCRETE TEMPERATURES ARE ANTICIPATED TO REACH AND/OR EXCEED 85°F. IN THIS EVENT, GSI HOT WEATHER MIX MAY BE USED. SET TIME CONTROLLING ADDITIVES (I.E. HYDRATION STABILIZERS, RETARDERS) MAY BE USED PER THE MANUFACTURER SPECIFICATIONS AND UNDER THE DIRECTION OF A GSI ENGINEER.

**GSI STANDARD SHOTCRETE MIX DESIGN (PER YD<sup>3</sup>)**

MATERIAL	DESCRIPTION	WEIGHT (LBS)
AGGREGATE NO. 1	3/4" ROCK, AASHTO M80, CLASS B	650
AGGREGATE NO. 2	CONCRETE SAND, CLEAN, NATURAL	1800
AIR	6% TOTAL	--
WATER	CLEAN AND POTABLE	300
FLY ASH	TYPE F OR C	150
CEMENT	TYPE V	750
TOTAL	--	3710

**GSI HOT WEATHER SHOTCRETE MIX DESIGN (PER YD<sup>3</sup>)**

MATERIAL	DESCRIPTION	WEIGHT (LBS.)
AGGREGATE NO. 1	3/4" ROCK, AASHTO M80, CLASS B	600
AGGREGATE NO. 2	CONCRETE SAND, CLEAN, NATURAL	1800
AIR	6% TOTAL	--
WATER	CLEAN AND POTABLE	315
FLY ASH	TYPE F OR C	300
CEMENT	TYPE V	700
TOTAL	--	3710

**SHOTCRETE APPLICATION:**

- SHOTCRETE APPLICATION WILL GENERALLY COMPLY WITH ACI 506.2-13 UNLESS DIRECTED BY GSI ENGINEER OR THEIR DESIGNATED REPRESENTATIVE.
- SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED.
- CARE WILL BE TAKEN WHILE ENCASING REINFORCING STEEL AND MESH TO KEEP THE FRONT FACE OF THE REINFORCEMENT CLEAN DURING PLACEMENT OPERATIONS, SO THAT SHOTCRETE BUILDS UP FROM BEHIND, TO ENCASE THE REINFORCEMENT AND PREVENT VOIDS OR POCKETS FROM FORMING.
- SHOTCRETE THICKNESS TOLERANCE SHALL BE MINUS ONE INCH - PLUS TWO INCHES.

**GROUT MIX DESIGN:**

- STANDARD GROUT MIX DESIGN TO BE USED IN SOIL DRILLING.
- IF SLOWER DRILLING IS EXPERIENCED WHILE DRILLING IN ROCK GSI ENGINEERS MAY APPROVE USE OF DRILLING GROUT MIX DESIGN. UPON COMPLETION OF DRILLING TO SPECIFIED DEPTH WITH DRILLING GROUT MIX HOLE SHOULD BE FLUSHED WITH STANDARD GROUT MIX AND NAIL HOLE SWABBED TO AID IN DRILLING GROUT MIX REPLACEMENT.
- IF VOIDS ARE ENCOUNTERED AND GROUT LOSS IS EXPERIENCED CONTACT GSI ENGINEERS AND CUT OFF GROUT PUMPING FOR THAT ELEMENT WHEN DRILLING DEPTH IS REACHED AND A TOTAL OF 3 BAGS OF GROUT SLURRY PER 10' STICK OF BAR HAS BEEN USED.
- THE GROUT WILL BE A TYPE I/II/IV PORTLAND CEMENT. THE WATER/CEMENT RATIO WILL BE 0.5 TO 0.6. NO ADDITIONAL AGGREGATE OR ADMIXTURES WILL BE ADDED TO THE GROUT.

**STANDARD GROUT MIX DESIGN**

MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28 - 34 GALLONS
CEMENT (TYPE I/II)	470	2.4	5 BAGS (94 LBS.)
TOTAL UNIT	705 - 752	6.1 - 6.9	--
W/C RATIO	--	--	0.5 - 0.6
SPECIFIC GRAVITY	--	--	1.84 - 1.75

**DRILLING GROUT MIX DESIGN**

MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28 - 34 GALLONS
CEMENT (TYPE I/II)	188	0.9	2 BAGS (94 LBS.)
TOTAL UNIT	423 - 470	4.7 - 5.5	--
W/C RATIO	--	--	1.25 - 1.5
SPECIFIC GRAVITY	--	--	1.44 - 1.38

**QUALITY CONTROL:**

- GSI WILL CONDUCT OR OBTAIN QUALIFIED PERSONNEL TO CONDUCT THE FOLLOWING QUALITY CONTROL TESTING DURING THE PROJECT.

**QUALITY CONTROL SCHEDULE**

DESCRIPTION	FREQUENCY	REFERENCE/ CRITERIA
DILL LOGS	EVERY MICROPILE	RECORD DATA PER SHEET C-14
PROOF NAIL TEST	5% OF PRODUCTION NAILS, TEST AFTER 48 HRS	FHWA 05-039, 2005
MUD BALANCE READINGS (SPECIFIC GRAVITY)	ONCE EACH DAY OF GROUTING	SEE SHEET C-03 & C-14 FOR MIX DESIGN AND DATA LOG
GROUT CUBES	1 SET OF 3 CUBES PER EVERY 10 PILES INSTALLED	ASTM C-109/AASHTO T106. 3, 7 & 28 DAY STRENGTH. 4000 PSI 28-DAY.
SHOTCRETE PANELS	2 PRODUCTION PANELS THROUGHOUT PROJECT	ASTM C1140, 1500 PSI. 3, 7 & 28 DAY STRENGTH. 5000 PSI 28-DAY.

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**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:

**GENERAL NOTES (CONT.)**

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MAC

CHECKED BY:

JDR

DATE:

10/20/21

PROJECT NUMBER:

210487CA01

SHEET

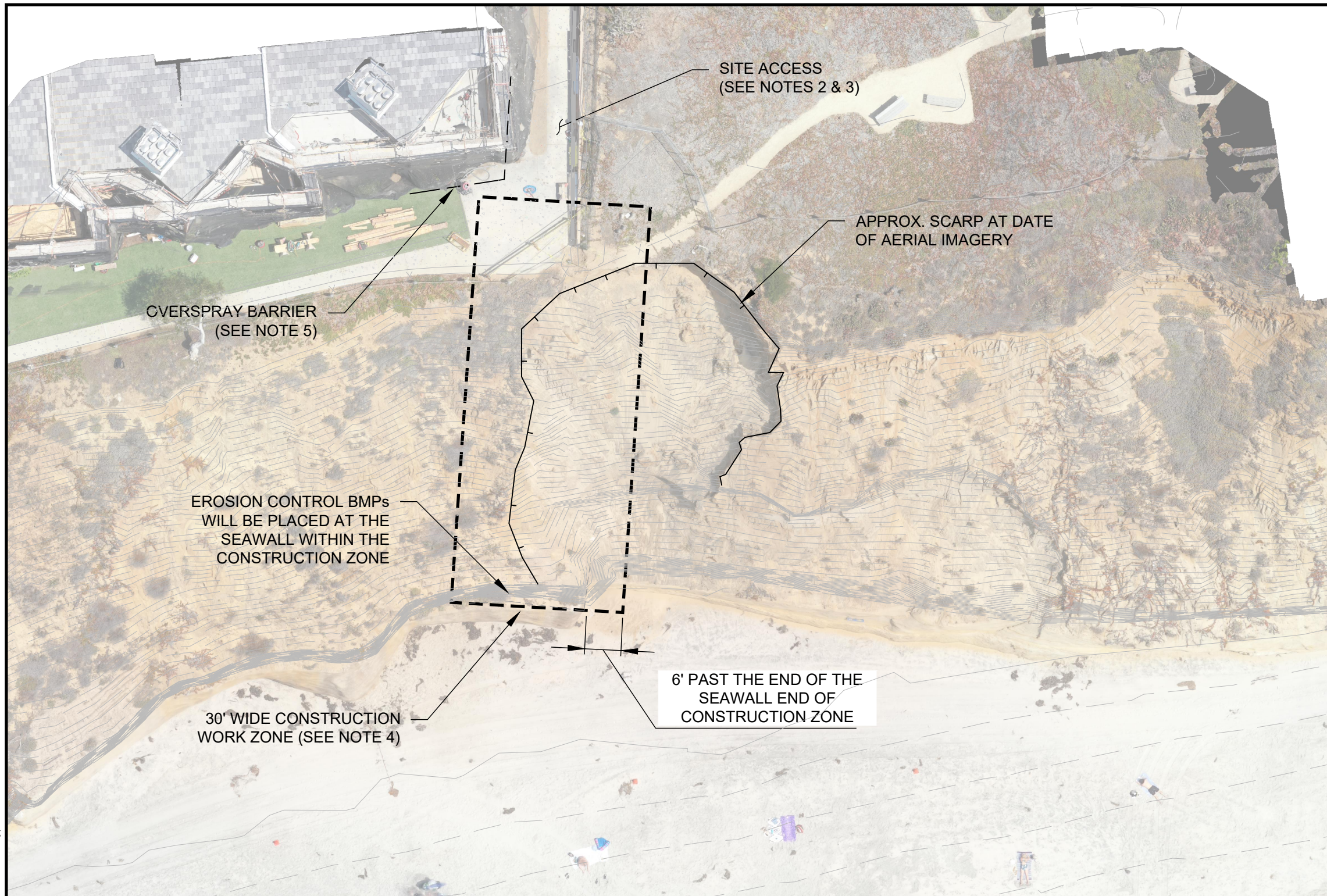
C-03



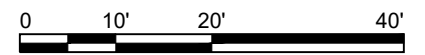
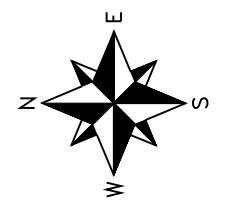
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- NOTES:
1. BACKGROUND IMAGE OBTAINED FROM GSI DRONE FLIGHT AERIAL IMAGERY, FLOWN ON 8/25/21. EXISTING TOPOGRAPHY DATA OBTAINED FROM PASCO LARET SUITER & ASSOCIATES, PLSA JOB #2710.
  2. CONSTRUCTION ACCESS CORRIDOR IS LOCATED ALONG THE SOUTH SIDE OF THE LAS BRISAS CONDOMINIUMS. CARE SHOULD BE TAKEN TO LIMIT IMPACT TO THE CONDOMINIUM AND PUBLIC ACCESS IN THE AREA.
  3. CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE MOVED FROM THE STAGING SITE AND RESTORE THE STAGING TO ITS PRIOR-TO-CONSTRUCTION CONDITION WITHIN 72 HRS FOLLOWING COMPLETION OF THE PROJECT.
  4. GSI TO PROVIDE CONSTRUCTION BARRIER DURING WORKING HOURS TO SEPARATE WORK ZONE FROM OPEN PUBLIC BEACH. LATERAL PUBLIC ACCESS SHALL BE PROVIDED PAST THE SITE AT ALL TIMES.
  5. GSI WILL USE A PLASTIC OR SIMILAR BARRIER TO PROTECT THE BUILDING FROM SHOTCRETE OVERSPRAY. ANTICIPATE DRAPING FROM THE 3RD DECK TO GROUND LEVEL.



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SHEET REVISIONS		
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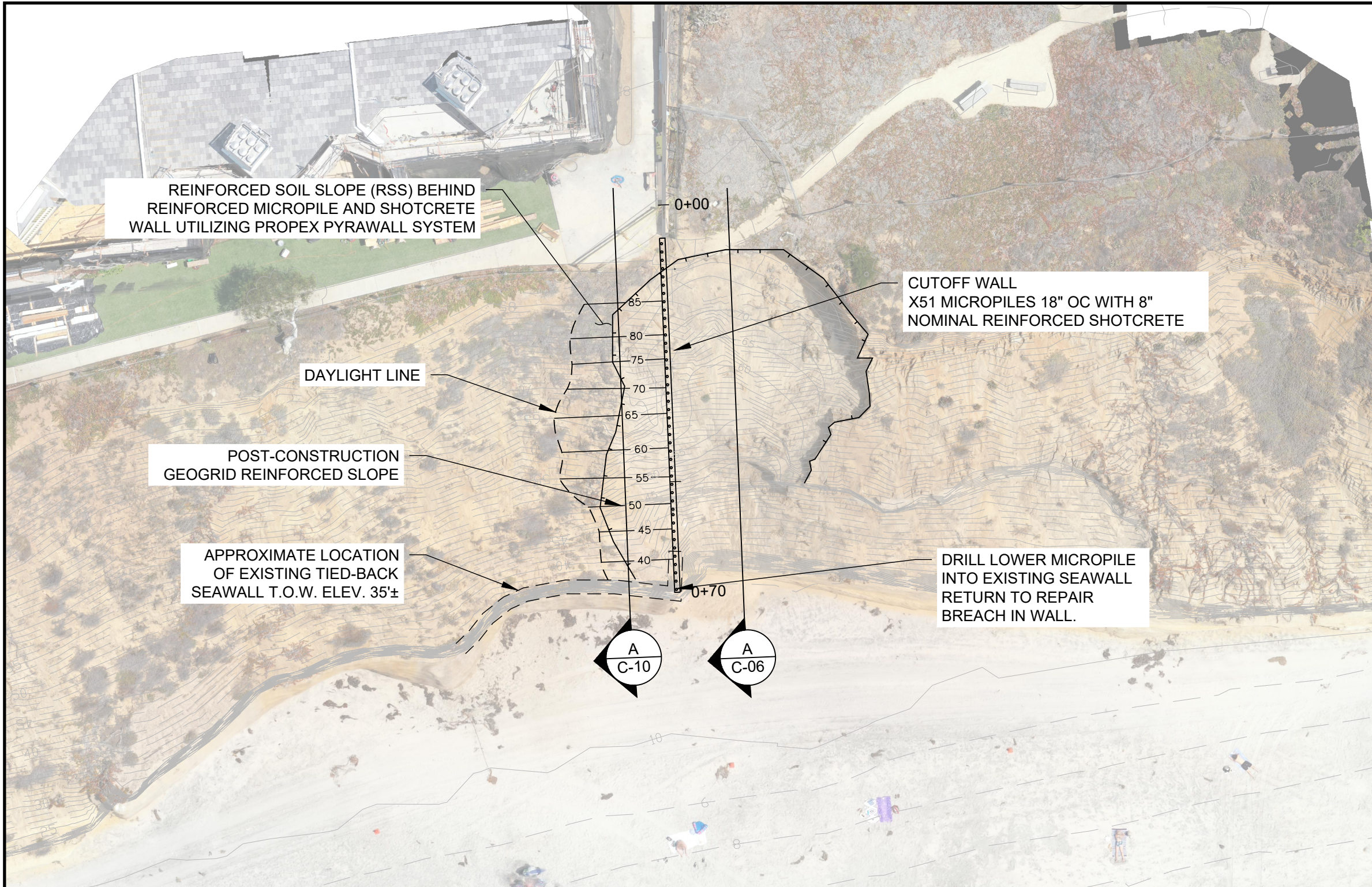
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SHEET TITLE: <b>EXISTING SITE &amp; ACCESS PLAN</b>	
DRAWN BY: MAC	CHECKED BY: JDR
DATE: 10/20/21	PROJECT NUMBER: 210487CA01
SHEET C-04	



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NOTES:  
 1. BACKGROUND IMAGE OBTAINED FROM GSI DRONE FLIGHT ON 8/25/21. EXISTING TOPOGRAPHY DATA OBTAINED FROM PASCO LARET SUITER & ASSOCIATES, PLSA JOB #2710.

REINFORCED SOIL SLOPE (RSS) BEHIND REINFORCED MICROPILE AND SHOTCRETE WALL UTILIZING PROPEX PYRAWALL SYSTEM

CUTOFF WALL  
 X51 MICROPILES 18" OC WITH 8" NOMINAL REINFORCED SHOTCRETE

DAYLIGHT LINE

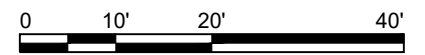
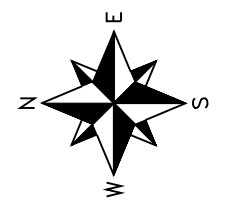
POST-CONSTRUCTION GEOGRID REINFORCED SLOPE

APPROXIMATE LOCATION OF EXISTING TIED-BACK SEAWALL T.O.W. ELEV. 35'±

DRILL LOWER MICROPILE INTO EXISTING SEAWALL RETURN TO REPAIR BREACH IN WALL.

A  
C-10

A  
C-06



**SHEET REVISIONS**

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PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**PROJECT SITE PLAN**

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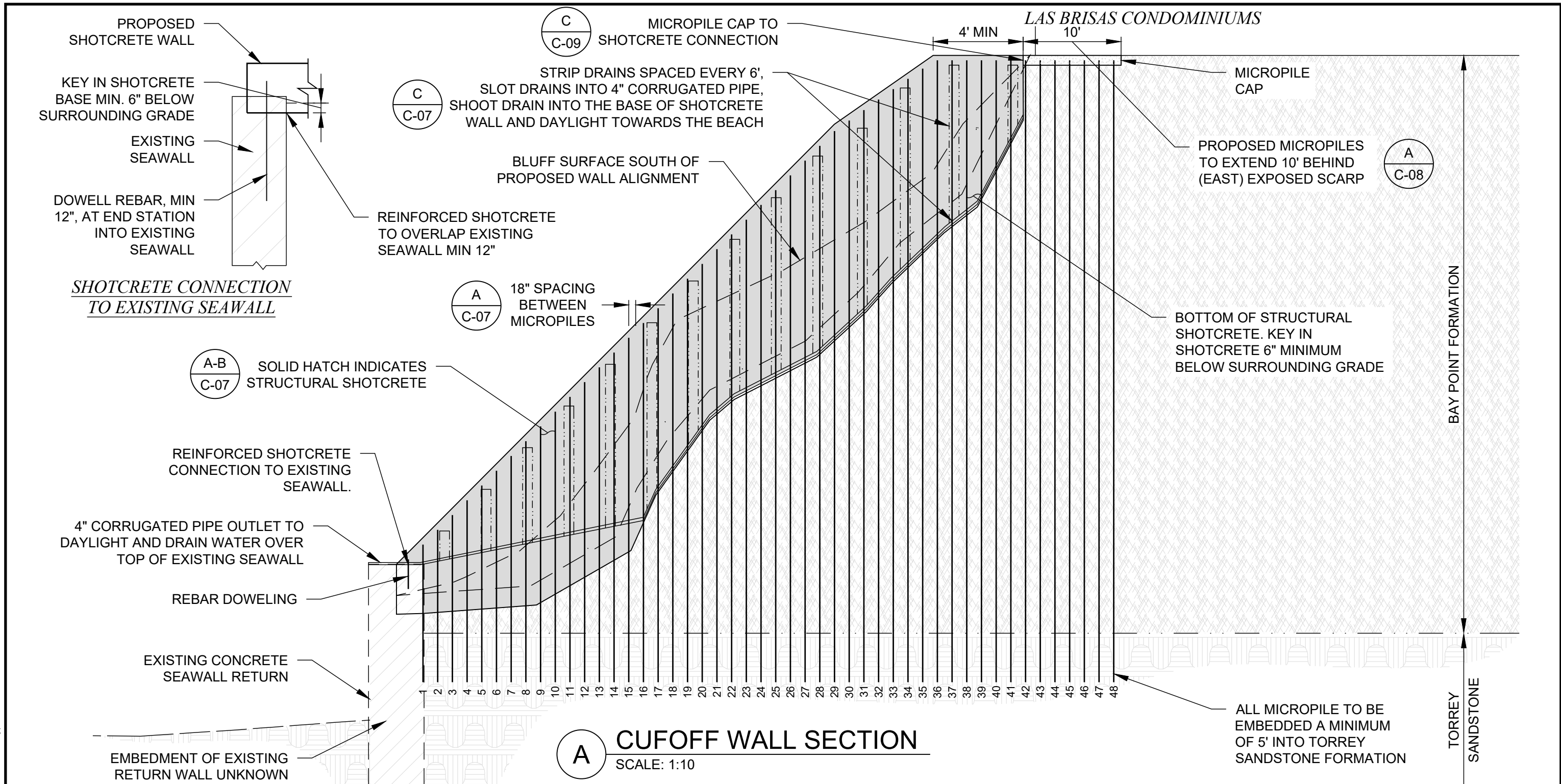
SHEET  
 C-05



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**A CUTOFF WALL SECTION**  
SCALE: 1:10

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**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**SECTION VIEW - CUTOFF WALL**

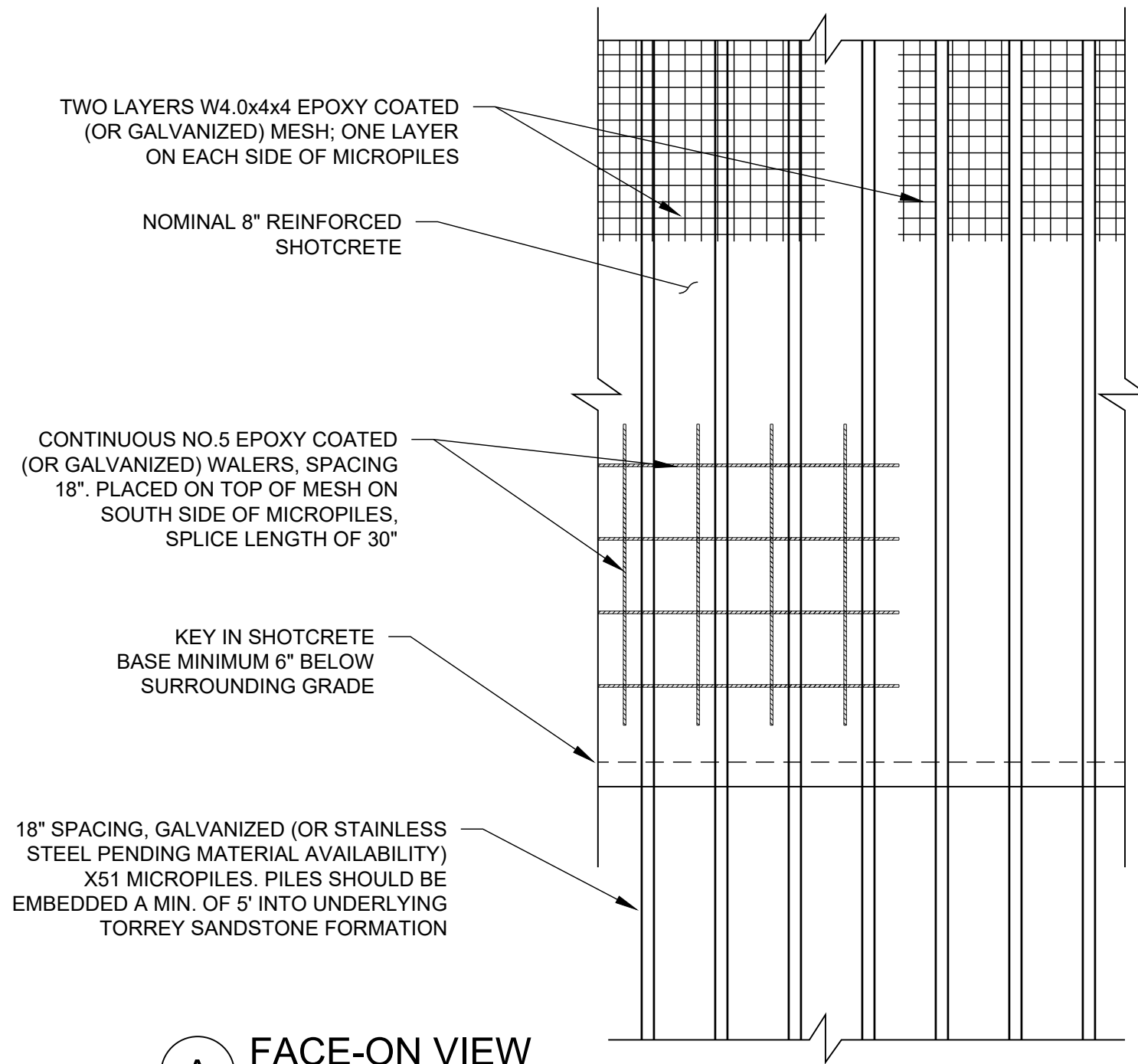
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TWO LAYERS W4.0x4x4 EPOXY COATED (OR GALVANIZED) MESH; ONE LAYER ON EACH SIDE OF MICROPILES

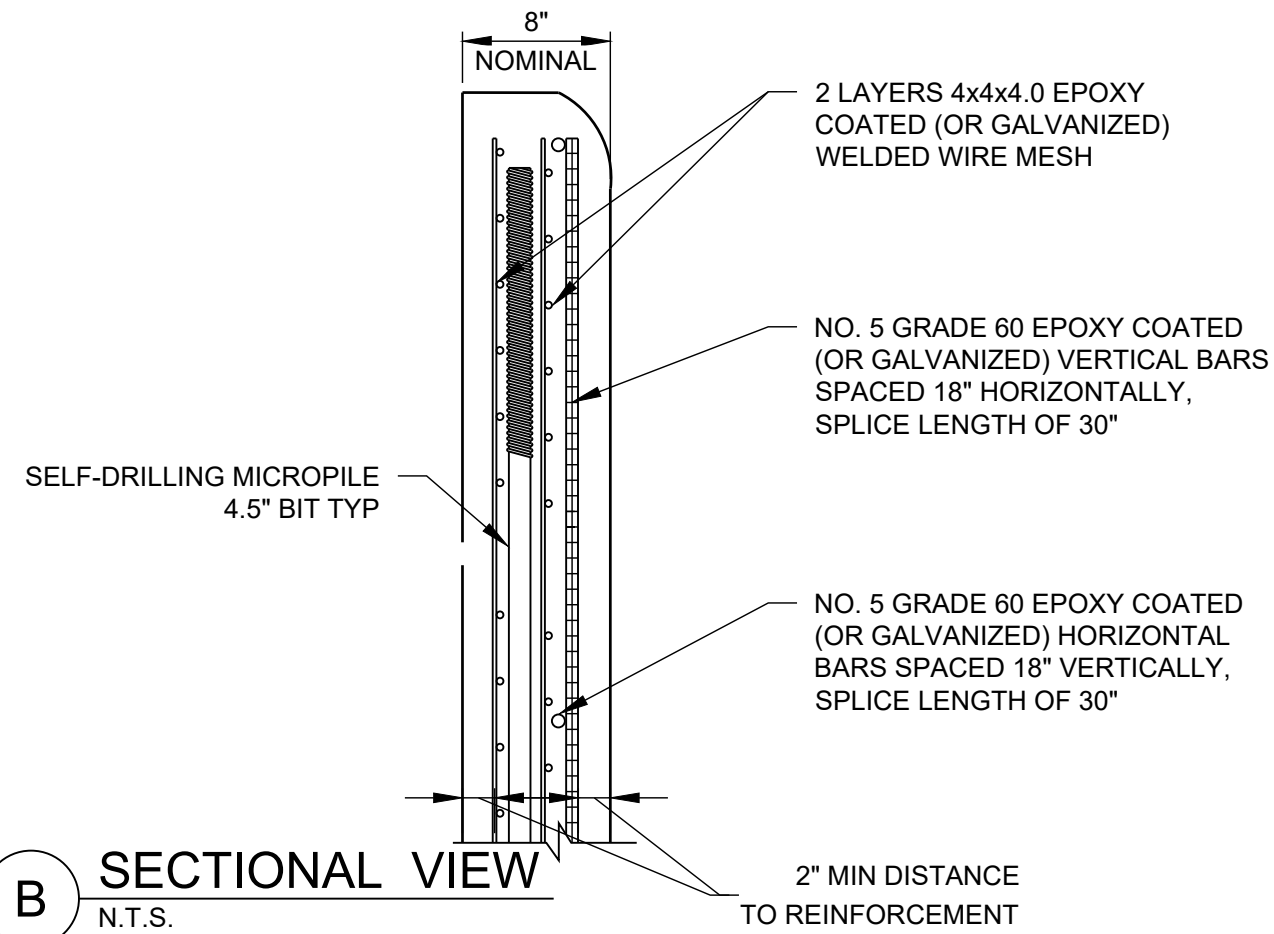
NOMINAL 8" REINFORCED SHOTCRETE

CONTINUOUS NO.5 EPOXY COATED (OR GALVANIZED) WALERS, SPACING 18". PLACED ON TOP OF MESH ON SOUTH SIDE OF MICROPILES, SPLICE LENGTH OF 30"

KEY IN SHOTCRETE BASE MINIMUM 6" BELOW SURROUNDING GRADE

18" SPACING, GALVANIZED (OR STAINLESS STEEL PENDING MATERIAL AVAILABILITY) X51 MICROPILES. PILES SHOULD BE EMBEDDED A MIN. OF 5' INTO UNDERLYING TORREY SANDSTONE FORMATION

**A** FACE-ON VIEW  
N.T.S.



SELF-DRILLING MICROPILE 4.5" BIT TYP

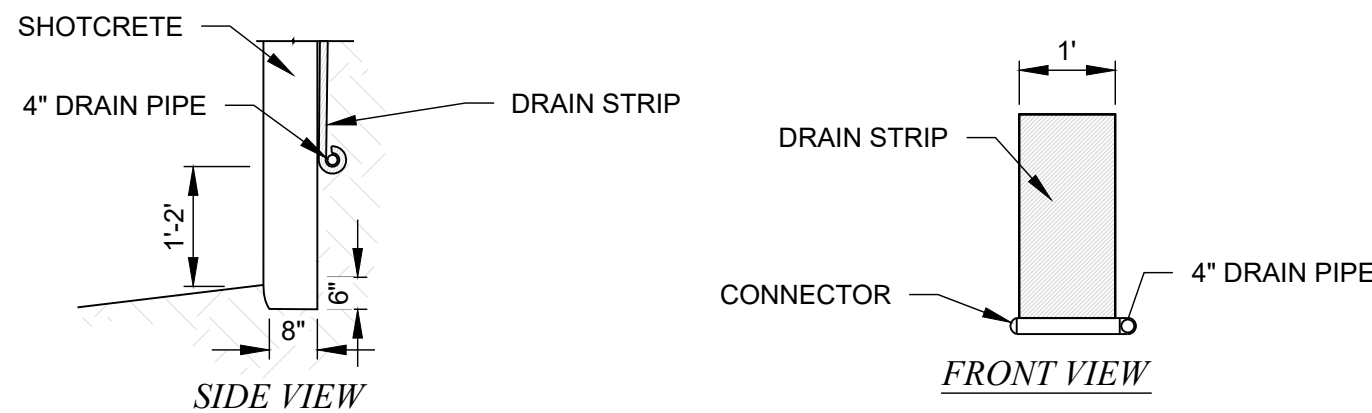
2 LAYERS 4x4x4.0 EPOXY COATED (OR GALVANIZED) WELDED WIRE MESH

NO. 5 GRADE 60 EPOXY COATED (OR GALVANIZED) VERTICAL BARS SPACED 18" HORIZONTALLY, SPLICE LENGTH OF 30"

NO. 5 GRADE 60 EPOXY COATED (OR GALVANIZED) HORIZONTAL BARS SPACED 18" VERTICALLY, SPLICE LENGTH OF 30"

2" MIN DISTANCE TO REINFORCEMENT

**B** SECTIONAL VIEW  
N.T.S.



SHOTCRETE

4" DRAIN PIPE

DRAIN STRIP

DRAIN STRIP

CONNECTOR

4" DRAIN PIPE

SIDE VIEW

FRONT VIEW

**C** DRAIN CONNECTION DETAIL  
N.T.S.

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SHEET TITLE:

**CUTOFF WALL DETAILS**

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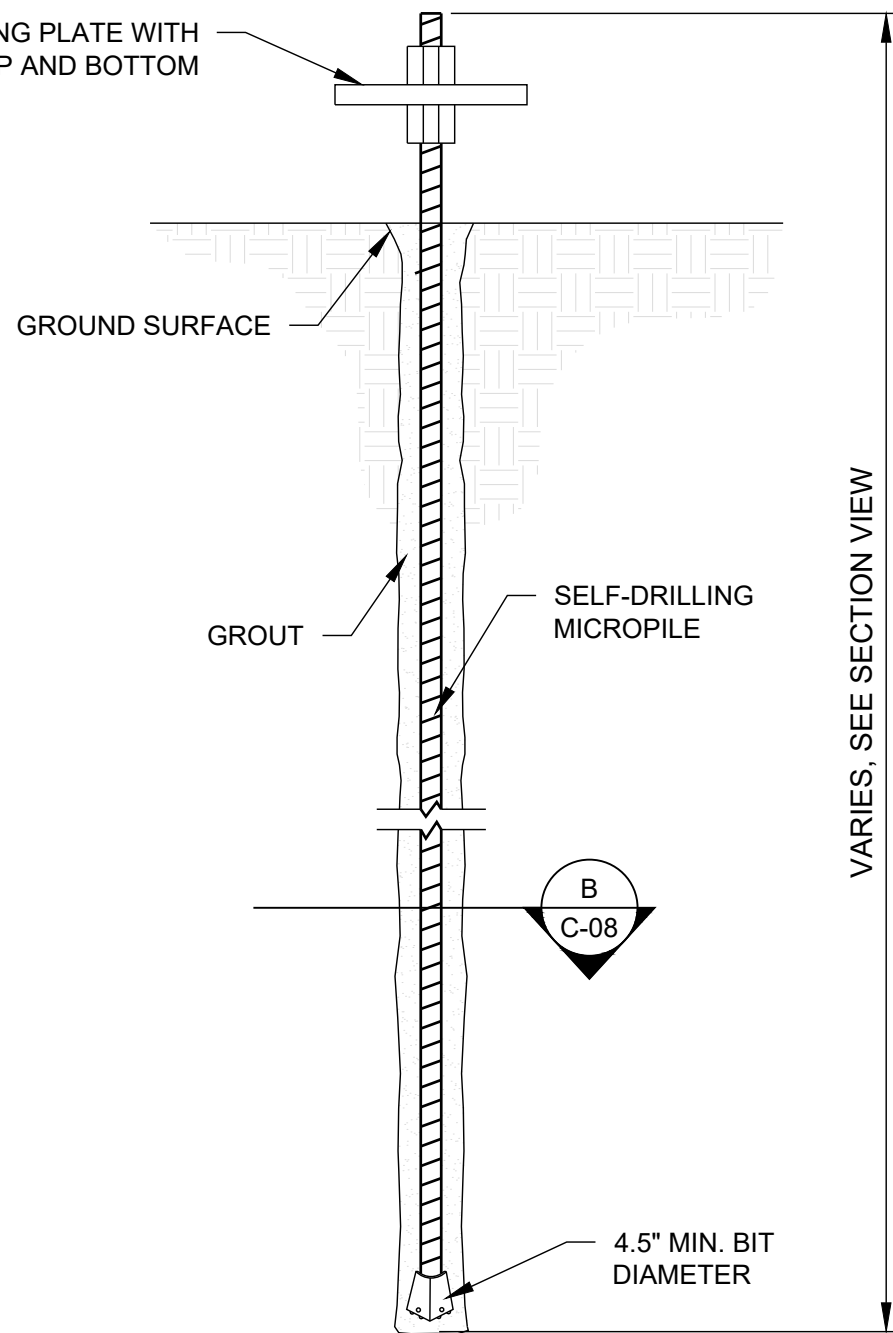


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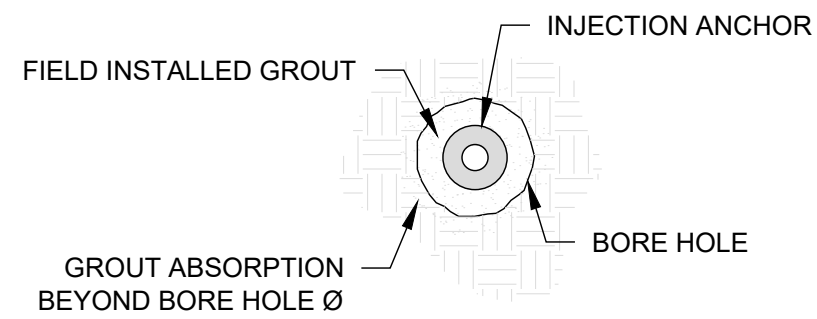
**C**  
C-08

BEARING PLATE WITH  
NUT TOP AND BOTTOM

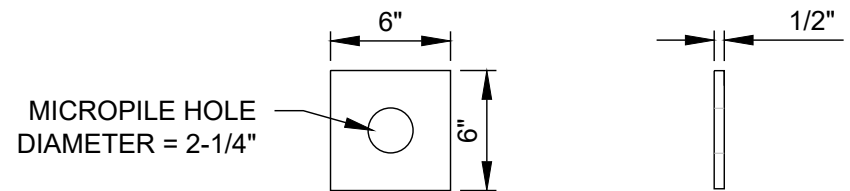


**A** ANCHOR DETAIL  
N.T.S.

VARIES, SEE SECTION VIEW



**B** MICROPILE SECTION  
N.T.S.



**C** MICROPILE BEARING PLATE  
N.T.S.

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**MICROPILE ANCHOR DETAILS**

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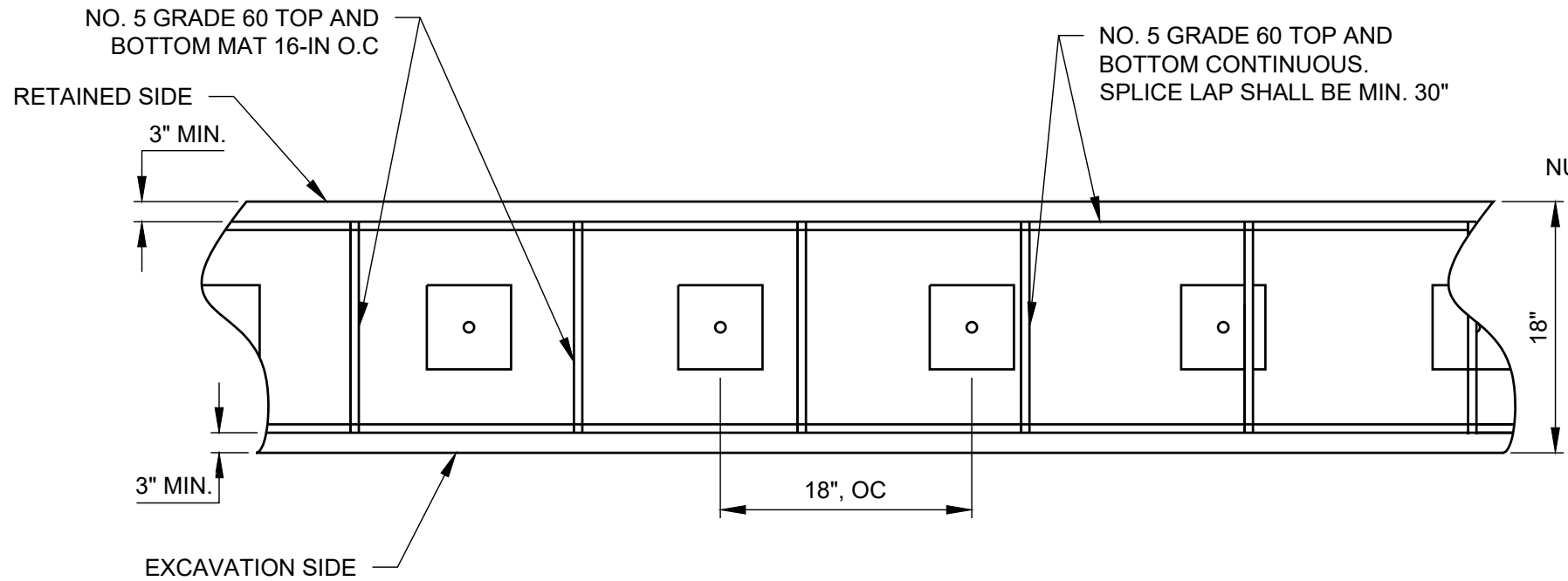
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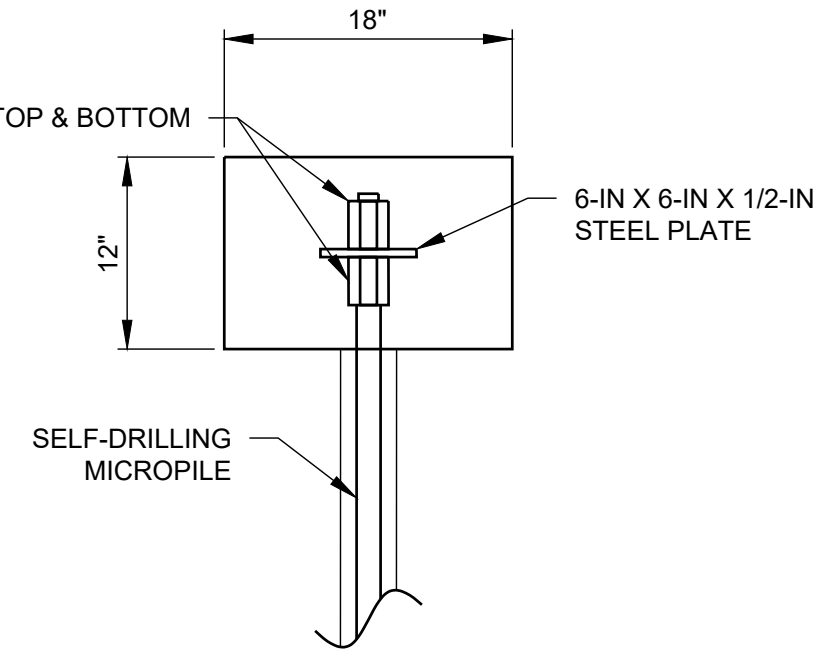
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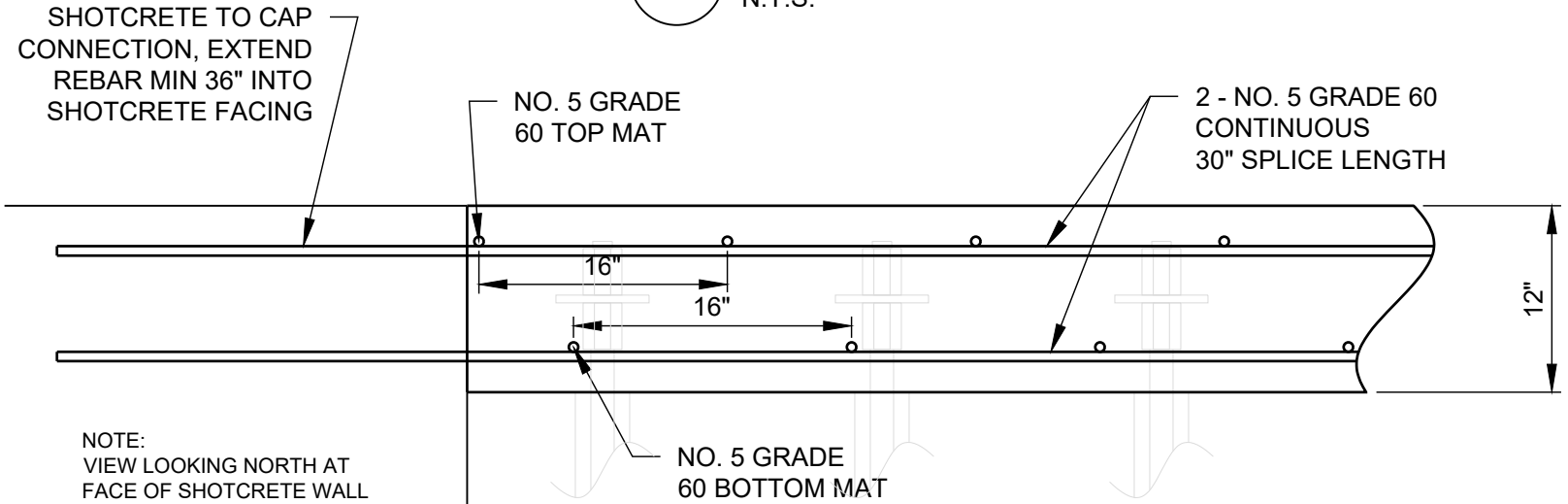
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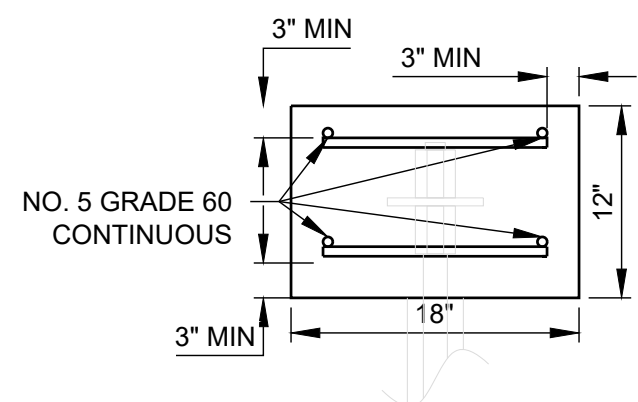
**A MICROPILES - TOP VIEW**  
N.T.S.



**B MICROPILES - END VIEW**  
N.T.S.



**C MICROPILES - SIDE VIEW**  
N.T.S.



**D REINFORCEMENT - END VIEW**  
N.T.S.

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*LAS BRISAS CONDOMINIUMS*

SHEET TITLE:  
*MICROPILE CAP DETAILS*

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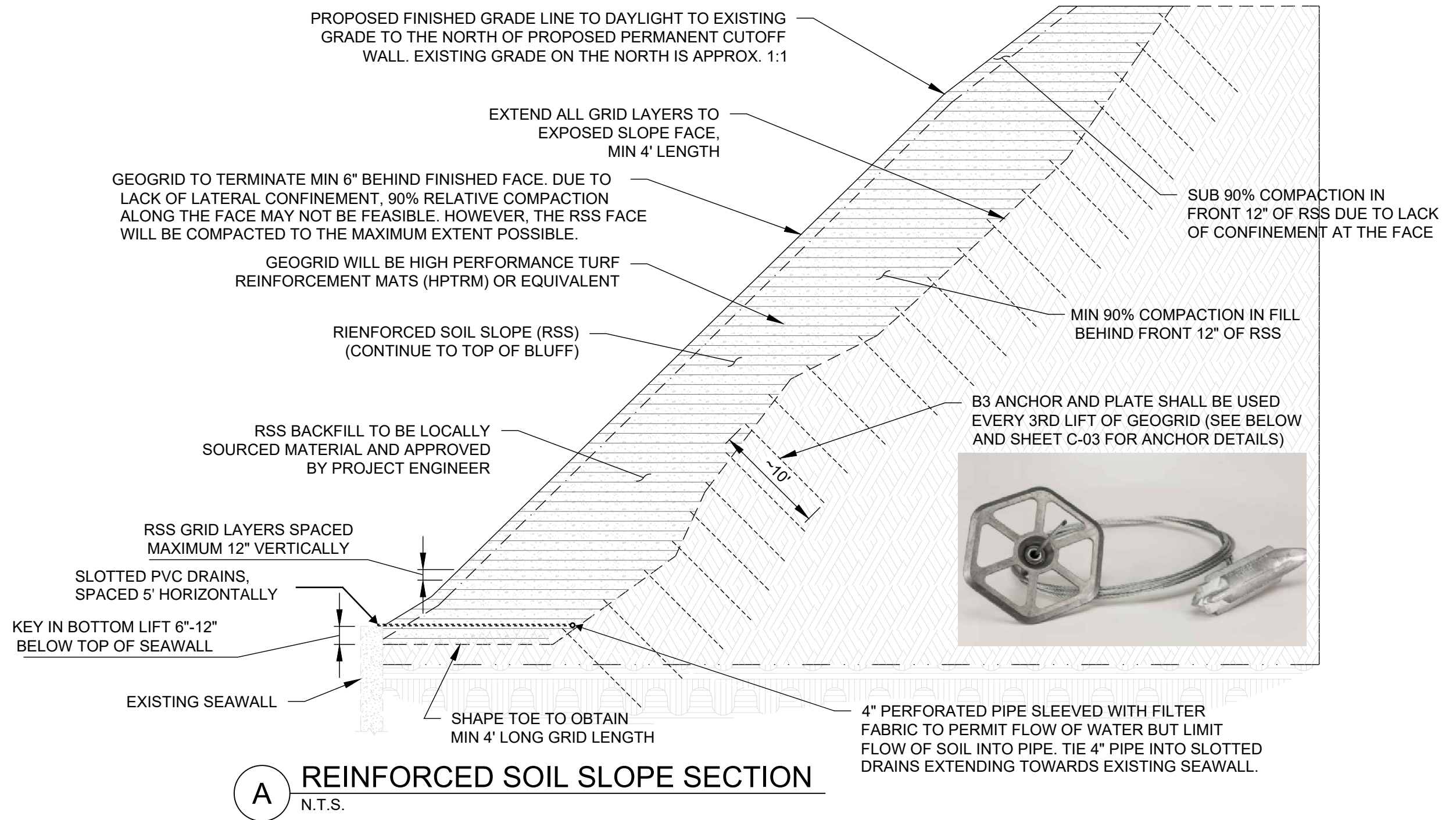
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**SHEET REVISIONS**

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**SECTION VIEW - RSS SYSTEM**

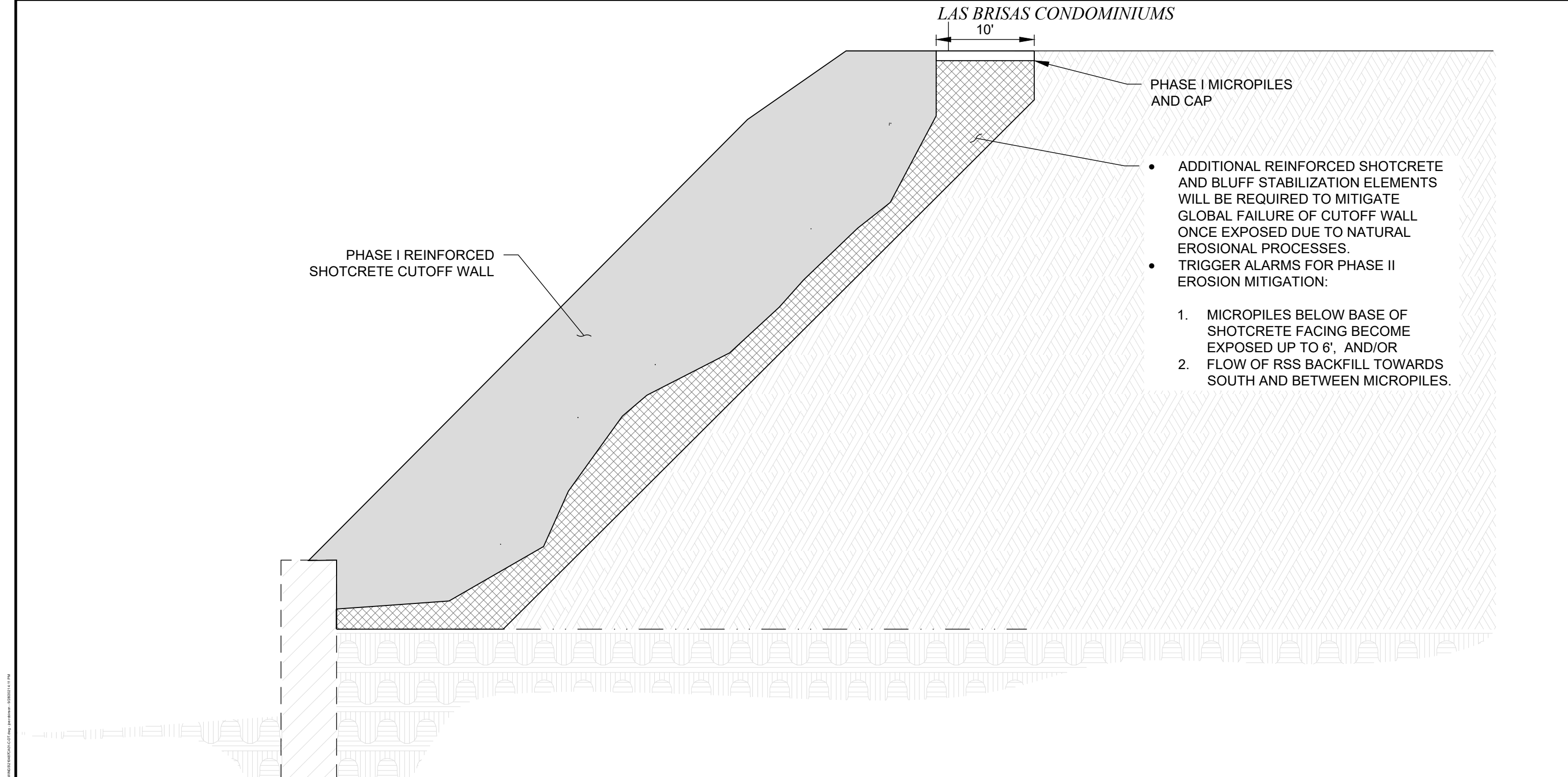
DRAWN BY: MAC	CHECKED BY: JDR	DATE: 10/20/21	PROJECT NUMBER: 210487CA01	SHEET C-10
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**SHEET REVISIONS**

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**PHASE II MITIGATION SECTION**

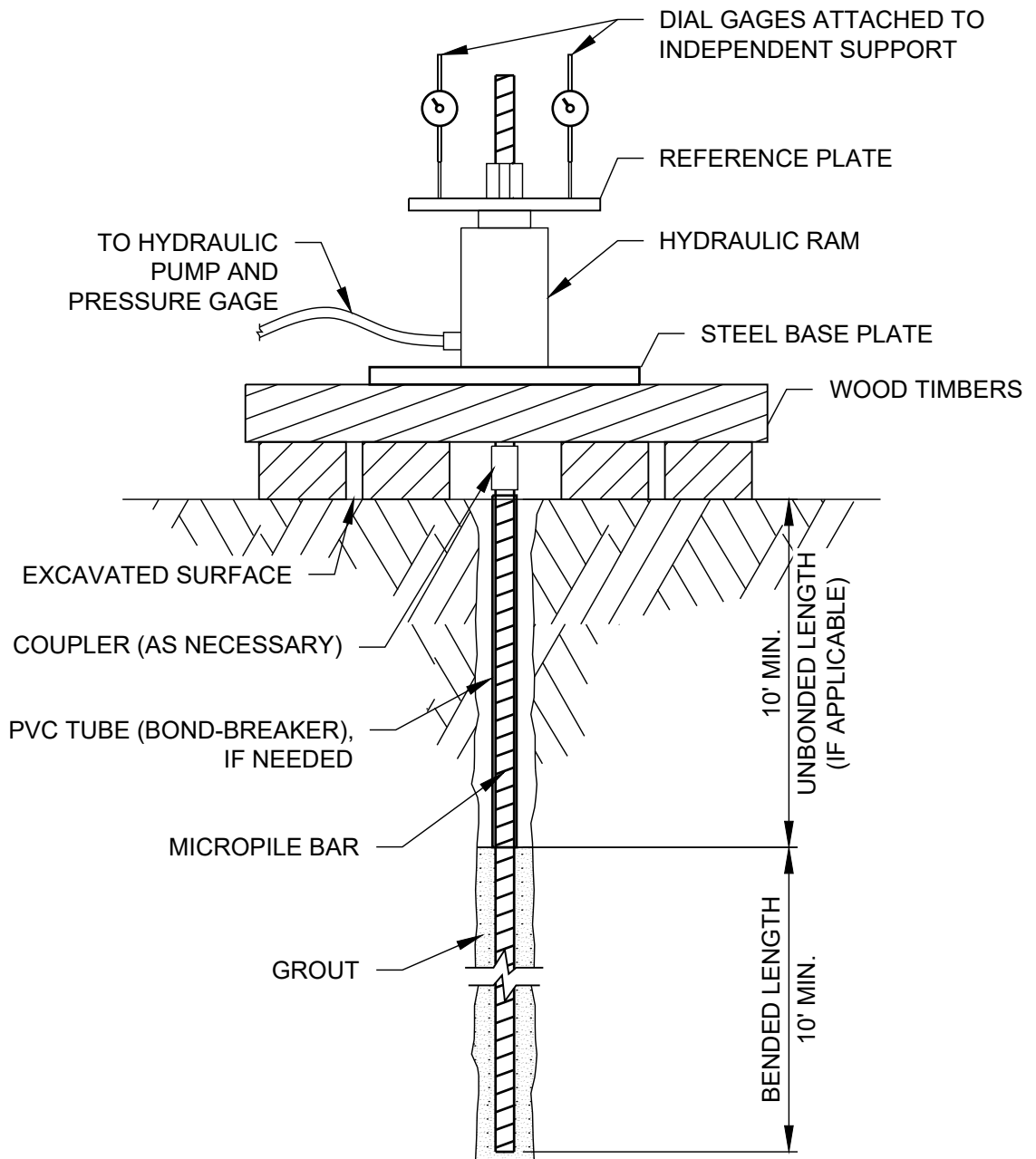
DRAWN BY: MAC	CHECKED BY: JDR	DATE: 10/20/21	PROJECT NUMBER: 210487CA01	SHEET C-11
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**PROOF MICROPILE TESTING PROCEDURE AND EQUIPMENT:**

- THE REACTION FRAME WILL BE SUFFICIENTLY RIGID AND OF ADEQUATE DIMENSIONS SO THAT EXCESSIVE DEFORMATION OF THE TESTING EQUIPMENT DOES NOT OCCUR. THE REACTION FRAME WILL BE SUPPORTED INDEPENDENTLY OF THE MICROPILE BAR. THE CONFIGURATION OF THE TESTING APPARATUS WILL BE POSITIONED TO REDUCE THE POTENTIAL OF THE NEED FOR THE RAM, BEARING PLATES, AND STRESSING ANCHORAGE TO BE REPOSITIONED DURING A TEST.
- THE LOAD WILL BE APPLIED WITH A HYDRAULIC RAM AND MEASURED WITH A PRESSURE GAUGE. THE PRESSURE GAUGE WILL BE GRADUATED IN 100 PSI INCREMENTS OR LESS. THE RAM, PRESSURE GAUGES, AND PUMPS WILL HAVE BEEN CALIBRATED WITH EACH OTHER WITHIN THE LAST YEAR BY AN INDEPENDENT AASHTO ACCREDITED LABORATORY OR BY A DEPARTMENT LABORATORY.
- MOVEMENT OF THE BAR HEAD SHALL BE MEASURED WITH AT LEAST ONE DIAL GAUGE CAPABLE OF MEASURING TO THE NEAREST 0.001 INCH. THE GAUGE WILL BE VISUALLY ALIGNED TO BE PARALLEL WITH THE AXIS OF THE BAR AND SHALL BE SUPPORTED INDEPENDENTLY OF THE RAM AND REACTION FRAME. GENERALLY TWO DIAL GAUGES ARE UTILIZED, IF POSSIBLE.
- TESTING SHALL BE PERFORMED BY INCREMENTALLY LOADING THE BAR PER TO THE LOADING SCHEDULE PROVIDED BELOW. THE BAR HEAD MOVEMENTS SHALL BE RECORDED AT EACH LOAD INCREMENT WITH THE DIAL GAUGE(S).

**DESIGN LOAD (DL):**

- LOADING ON THE BAR SHALL BE APPLIED BASED ON THE DESIGN LOAD AS DETERMINED BY FHWA PUBLICATION NHI 05-039, MICROPILE DESIGN AND CONSTRUCTION.
- DESIGN BOND STRENGTH FOR THIS PROJECT IS 615 LB/FT OF BOND.
- THE DESIGN LOAD (DL) IS DETERMINED BY MULTIPLYING THE DESIGN BOND VALUES BY THE BOND LENGTH OF MICROPILE. THE BOND LENGTH FOR TESTING SHOULD BE AT LEAST 10-FT.

**TESTING OF MICROPILES:**

- PROOF TESTING WILL BE PERFORMED ON 5% OF PRODUCTION MICROPILES. LOADING WILL BE APPLIED IN TENSION.
- A MINIMUM 48-HOUR NOTICE WILL BE PROVIDED TO THE CITY'S REPRESENTATIVES PROVIDED THEY WISH TO OBSERVE MICROPILE TESTING AT THE SITE.
- TESTS SHALL OCCUR IN LOCATIONS DETERMINED BY GSI FIELD PERSONNEL ON SITE.
- THE ALIGNMENT LOAD (AL) SHALL BE APPLIED TO ALIGN THE TESTING APPARATUS. DIAL GAUGES FOR MEASURING THE MOVEMENT OF THE TEST NAIL SHALL BE SET TO "ZERO" AFTER THE ALIGNMENT LOAD HAS BEEN APPLIED.

**LOADING SCHEDULE FOR PROOF TEST**

LOADING	LOAD	HOLD TIME
AL	0.025 DL MAX	2.5 MINUTES
LOAD CYCLE	0.30 DL	2.5 MINUTES
"	0.45 DL	2.5 MINUTES
"	0.60 DL	2.5 MINUTES
"	0.75 DL	2.5 MINUTES
"	0.90 DL	2.5 MINUTES
"	1.00 DL	2.5 MINUTES
"	1.15 DL	2.5 MINUTES
HOLD 1.30 DL ABOVE FOR 10 MINUTES WHILE RECORDING MOVEMENT AT 1, 2, 3, 4, 5, 6, AND 10 MINUTES. IF TOTAL MOVEMENT MEASURED DURING LOAD EXCEEDS 0.04 INCHES BETWEEN THE 1 AND 10 MINUTE AVERAGE READINGS THEN THE LOAD SHOULD BE HELD ON MICROPILE FOR AN ADDITIONAL 50 MINUTES, RECORDING MOVEMENT AT 20, 30, 40, 50, AND 60 MINUTES.		
LOAD CYCLE	1.45 DL	2.5 MINUTES
"	1.60 DL	2.5 MINUTE
UNLOAD CYCLE	1.30 DL	4 MINUTES
"	1.00 DL	4 MINUTES
"	0.75 DL	4 MINUTES
"	0.50 DL	4 MINUTES
"	0.25 DL	4 MINUTES
AL	0.025 DL MAX	4 MINUTES

**MICROPILE TEST ACCEPTANCE CRITERIA:**

- THE SLOPE OF THE LOAD VERSUS DISPLACEMENT CURVE IS LESS THAN OR EQUAL TO 0.025 IN/KIP AT 2.00 DL.
- THE TOTAL MOVEMENT AT 1.3 DL (CREEP) DOES NOT EXCEED 0.04 INCHES BETWEEN 1 AND 10 MINUTE READINGS, OR THE TOTAL MOVEMENT DOES NOT EXCEED 0.08 INCHES BETWEEN 6 AND 60 MINUTE READINGS.

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SHEET REVISIONS		
DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**MICROPILE TESTING DETAILS**

DRAWN BY: MAC	CHECKED BY: JDR	DATE: 10/20/21	PROJECT NUMBER: 210487CA01	SHEET C-08
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THIS DRAWING IS FURNISHED SOLELY FOR THE USE OF OR IN CONNECTION WITH THIS PROJECT AND THE PROPRIETARY INFORMATION SHOWN HEREON IS NOT TO BE TRANSMITTED TO ANY OTHER ORGANIZATION WITHOUT SPECIFIC AUTHORIZATION BY GEOSTABILIZATION INTERNATIONAL (GSI). THE DESIGN IS ONLY VALID IF CONSTRUCTED AND SUPERVISED BY GSI OR ITS AUTHORIZED SUBCONTRACTOR.

MICROPILE ID	DATE		EMBEDMENT LENGTH (ft)	
	DRILLED	GROUTED	SOIL	ROCK
1				
2				
3				
4				
5				
6				
7				
8				
9				
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11				
12				
13				
14				
15				
16				
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MICROPILE ID	DATE		EMBEDMENT LENGTH (ft)	
	DRILLED	GROUTED	SOIL	ROCK
48				

<i>MUD BALANCE READINGS</i>	
DATE	READINGS (1.75-1.84, TYP. FOR GSI'S 5-BAG MIX, SEE SHEET C-03 FOR FURTHER DETAILS))

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
10/20/21	ISSUED FOR PERMIT	IFP

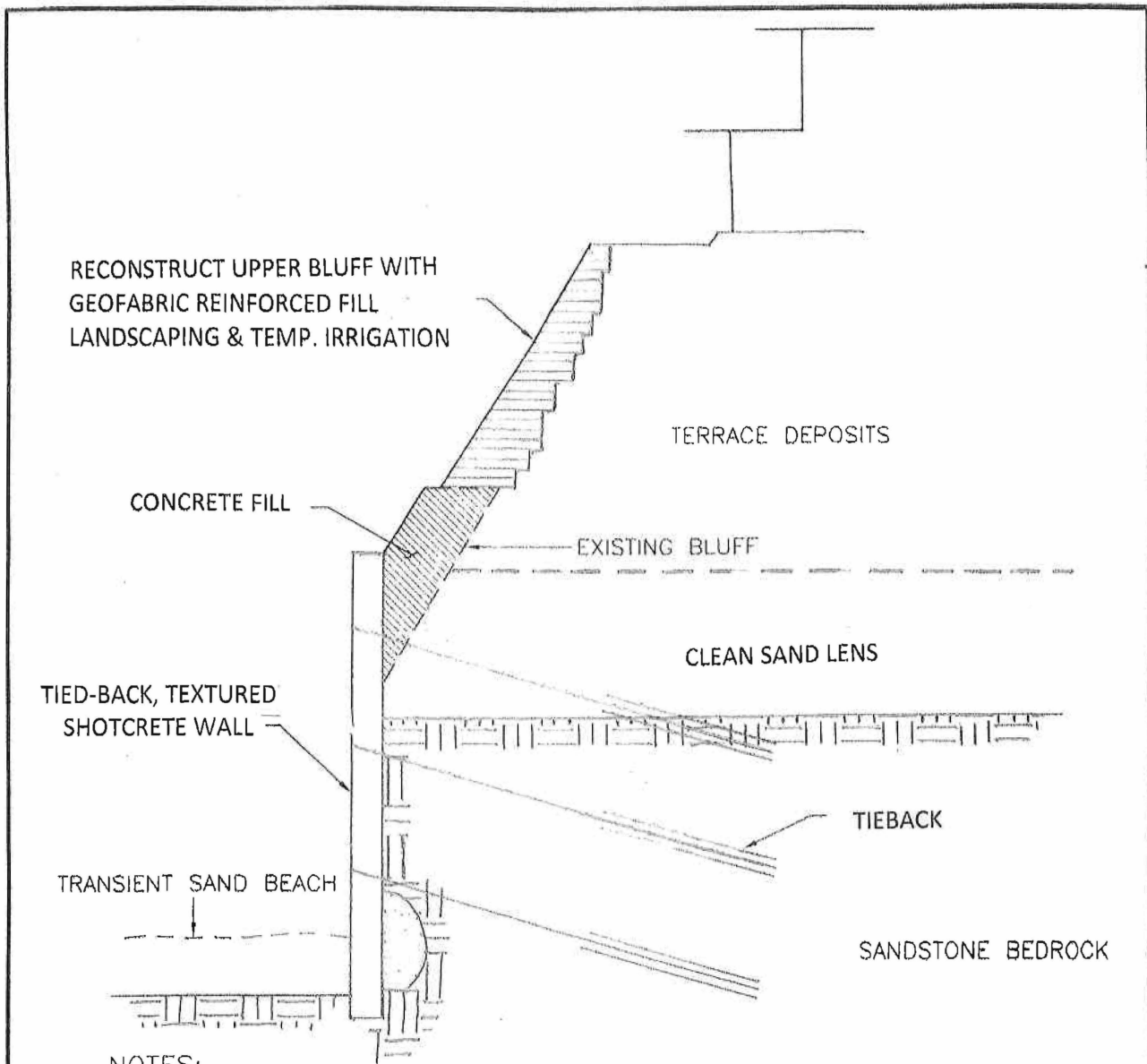
THIS DRAWING IS FURNISHED SOLELY FOR THE USE OF OR IN CONNECTION WITH THIS PROJECT AND THE PROPRIETARY INFORMATION SHOWN HEREON IS NOT TO BE TRANSMITTED TO ANY OTHER ORGANIZATION WITHOUT SPECIFIC AUTHORIZATION BY GEOSTABILIZATION INTERNATIONAL (GSI). THE DESIGN IS ONLY VALID IF CONSTRUCTED AND SUPERVISED BY GSI OR ITS AUTHORIZED SUBCONTRACTOR.

PROJECT NAME:			<b>LAS BRISAS CONDOMINIUMS</b>		
SHEET TITLE:			<b>DRILL LOGS</b>		
DRAWN BY:	CHECKED BY:	DATE:	PROJECT NUMBER:	SHEET	
MAC	JDR	10/20/21	210487CA01	C-13	


  
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NOTES:

1. FACTOR OF SAFETY NEAR 1.0
2. GEOTECHNICAL REPORT
3. STRUCTURAL CALCULATIONS
4. LOCATED AS FAR LANDWARD AS POSSIBLE
5. MINIMIZE ALTERATION OF BLUFF-FACE OR MIMIC EXISTING.
6. INCLUDE DETAILED METHODOLOGY FOR MONITORING AND MAINTENANCE OVER THE LIFE OF THE DEVICE.
7. MINIMIZE THE NEED FOR ANY MAINTENANCE THAT NECESSITATES ADDITIONAL SEAWARD ENCROACMENT OF THE DEVICE.
8. BLUFF FACE TO HAVE "NATURAL COLOR AND TEXTURE" (SBMC 17.62)

**Preferred Solution - Seawall and Upper Bluff Repair**

City of Solana Beach	CCC - Approved LUP, February 2013	FIGURE NO. <b>3</b>
----------------------	-----------------------------------	---------------------

RECONSTRUCT UPPER BLUFF WITH  
GEOFABRIC REINFORCED FILL

LANDSCAPE & TEMPORARY  
IRRIGATION

CONCRETE FILL

EXISTING BLUFF/EXISTING  
SEAWALL/INFILL

TRANSIENT SAND BEACH

TERRACE DEPOSITS

EXISTING BLUFF

CLEAN SAND LENS

SANDSTONE BEDROCK

NOTES:

1. FACTOR OF SAFETY NEAR 1.0
2. GEOTECHNICAL REPORT
3. STRUCTURAL CALCULATIONS
4. LOCATED AS FAR LANDWARD AS POSSIBLE
5. MINIMIZE ALTERATION OF BLUFF-FACE OR MIMIC EXISTING.
6. INCLUDE DETAILED METHODOLOGY FOR MONITORING AND MAINTENANCE OVER THE LIFE OF THE DEVICE.
7. MINIMIZE THE NEED FOR ANY MAINTENANCE THAT NECESSITATES ADDITIONAL SEAWARD ENCROACHMENT OF THE DEVICE.
8. BLUFF FACE TO HAVE "NATURAL COLOR AND TEXTURE" (SBMC 17.62)

## Preferred Solution - Upper Bluff Repair

City of Solana Beach

CCC - Approved LUP, February 2013

FIGURE NO.

4



RECEIVED

DEC 21 2020

Planning-Comm Dev Dept  
City of Solana Beach

# HYDROSEED MIX

SCIENTIFIC OR PRODUCT NAME	COMMON NAME	RATE/ACRE	P.L.S.	SEEDS/LB.
BINDER	AZTEC™ OR APPROVED EQUAL	250 LBS.		
FERTILIZER	18-18-18	300 LBS.		
MULCH	VIRGIN WOOD FIBER	3000 LBS.		
ABRONIA VILLOSA	SAND VERBENA	1 LBS.	24%	68,000
ARTEMISIA CALIFORNIA	COASTAL SAGEBRUSH	3 LBS.	9%	55,000,000
CAMISSONIA CHEIRANTHIFOLIA SSP. SUFFRUTICOSA	SUN CUP (BEACH EVENING PRIMOSE)	1/2 LBS	72	4,000.00
ENCELIA CALIFORNIA	CALIFORNIA ENCELIA	8 LB.	24%	175,000
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	20 LBS.	7%	450,000
LASTHENIA CALIFORNIA	DWARF GOLDFIELDS	1-1/2 LBS.	0.30%	3,250,000
LASTHENIA GLABRA	GOLDFIELDS	1-1/2 LBS.	77%	1,800,000
LUPINUS BICOLOR	PYGMY-LEAFED LUPINE	5 LBS.	78	115,000
MALOSMA LAURINA	LAUREL SUMAC	3 LBS.	57%	27,000
MIMULUS PUNICEUS	MONKEY FLOWER	1-1/2 LBS.	1%	12,000,000
YUCCA WHIPPLEI	OUR LORD'S CANDLE	3 LBS.	58%	100,000
SARYON™		6 GALS.		
SUPERTHRIVE™		20Z./100 GALS OF HYDROSEED SLURF		
MYCORRHIZAL INOCULUM, GLOMIS INTRARADICES		40 OZ.		

ATTACHMENT 4

# ATTACHMENT "D"

## ALTERNATIVES ANALYSIS

The proposed project proposed to extend a lateral retention wall from the southern terminus of the existing lower coastal bluff seawall to the top of the failed bluff. The project would also propose reconstruction of a relatively small area of failed mid-to-upper bluff below Las Brisas Condominiums utilizing geogrid / soil, and applying hydroseed consisting of drought-tolerant, salt-resistant native plant species. The alternatives to this project are limited and determined to be infeasible. They are addressed below.

### ALTERNATIVE #1: No Project

A No Project alternative would allow a significant failure that has already reached the top of the coastal bluff to continue to extend landward toward the residential structure. Based on the existing slope stability evaluation for the project site, a No Project alternative would result in the very near future loss of the public pedestrian easement that extend from Fletcher Cove south across the rear yard (adjacent to top of bluff) of Las Brisas Condominiums. Emergency public agency vehicle access also served by this easement will be lost. Due to the significant of the ongoing failure, this access has already been temporarily closed by the City of Solana Beach. Further, it the access has already been impacted by the failure at the southern property line of Las Brisas Condominiums.

A No Project Alternative that allows the failure to continue unimpeded would also result in the likely near future impact to the southwestern residential building on the Las Brisas site. The geotechnical / factor of safety evaluation for this building notes that a single additional event failure at the top of bluff could place the building under imminent threat of damage.

Base on this analysis a No Project Alternative is not a viable response to the existing, and ongoing failure conditions at this site.

### ALTERNATIVE #2: Placement of a below-grade caisson/grade beam/ tieback system set back from the top of bluff, extending north from the southerly boundary for a span of +/- 25', and extending east along the southerly boundary for a span of +/- 16'.

This alternative would acknowledge that the failure will be allowed to continue upslope until such time has it exposes the caisson system. When that event occurs, the caisson system would receive an additional row of tiebacks and a sculpted and color-treated shotcrete wall covering.

Alternative #2 would provide sufficient protection to the southwesterly residential building on the Las Brisas site, but it would result in the total loss of the existing public access easement that was required as a condition of the complex's initial approval. It would also result in the continuation of mid-to upper bluff failure below the condominium units and would therefore likely need to be extended further to the north as the mid-to-upper bluff continued to fail in that direction.

Finally, as Alternative #2 would ultimately result in an exposed upper bluff wall, it would be in conflict with the City's Preferred Bluff Retention Device Standards.

Therefore, while Alternative #2 could be found viable from an engineering perspective, it was determined to be unacceptable as a project solution.

ALTERNATIVE #3: Extension of the Existing Lower Coastal Bluff Seawall Approximately 40' to the south and reconstruction of the entire mid-to-upper bluff failure that exists at this time.

As the existing and continuing failure was initiated to the north of the Las Brisas southern property line (south of the terminus of the Las Brisas seawall), this would require the participation of a neighboring condominium association that owns the property south of Las Brisas. The residential condominium units located at the top of bluff above this 40' wall extension area are setback approximately 120' from the top of bluff. Therefore, they are not threatened by the bluff failure, and the California Coastal Commission would not be likely to approve coastal bluff protection in this area. Further, a significant sea cave is located approximately 73' north of the southern terminus of the Las Brisas seawall. When sand is not on the public beach, the exposed dimensions of the sea cave are as follows: 65' wide, 34' deep and 17' high. This sea cave will ultimately fail, and such failure will extend to the top of bluff and beyond to the east. Again, no residential units would be threatened by such failure as they are setback approximately 120' from the top of bluff. However, any seawall extending north of the existing Las Brisas seawall would be significantly threatened with flanking when such a failure occurs. South of the sea cave, there is another +/- 136 lineal feet of unprotected bluff before reaching another existing seawall.

Therefore, any extension of the existing Las Brisas seawall to the south would ultimately require additional extensions, potentially totaling over 200 feet in length. This domino-development would not be protecting existing residences. The likelihood of the property owner to the north of Las Brisas seeking permits for seawalls that are not necessary per Section 30235 of the California Coastal Act is virtually nil. The likelihood of the Coastal Commission approving such unnecessary development is equally nil.

For that reason, further extension to the south of the existing Las Brisas seawall is not a viable solution to the current failure which threatens the residential building and public access easement at that property.



March 7, 2021

CTE Job No. 10-15983G

City of Solana Beach  
Attention: Ms. Corey Andrews  
635 South Highway 101  
Solana Beach, California 92075  
Office: (858) 720-2434

Via Email: [candrews@cosb.org](mailto:candrews@cosb.org)

Subject: Application Submittal Geotechnical Review  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California 92075

References: At End of Document

Ms. Andrews:

As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the proposed project is in substantial compliance with the City of Solana Beach's (City) Local Coastal Plan (LCP) policies.

The proposed bluff retention device consists of an approximately 60-foot long shotcrete return wall supported on ten (10) 30-inch diameter caissons or drilled piers. The return wall will extend landward from an existing permitted tied-back shotcrete seawall and along the applicant's southern property line (PL). Due to the alignment of the proposed wall, from the lower seawall to the upper bluff, the wall may be considered a combined lower & upper bluff system. The applicant considers it an emergency project based on slope stability analyses provided in the referenced bluff evaluation (Terra Costa, 2020). In addition, the applicant acknowledges that the proposed wall does not comply with the City's Preferred Bluff Retention Device Standard provided in the LCP, due to the existing failure scenario not being addressed in the LCP. The applicant's proposed upper bluff stabilization measures (i.e., geogrid reinforced fill) north of the proposed return wall do appear to substantially comply with the upper bluff stabilization method depicted in LCP Preferred Solutions 3 & 4 in LCP Appendix B.

While it is noted that the submitted and reviewed report and plan appear to be very well prepared, based on CTE's review, a determination of substantial compliance with the LCP cannot be made at this time, and CTE requests the following additional information from the applicant/project consultant(s). Please also note that based on our future review of requested documents and additional information, subsequent review comments may be still be warranted.

**ATTACHMENT 6**

- 1) To the best of your ability, please provide the following documents alluded to in the application submittal:
  - a. Terra Costa Consulting Group (Terra Costa) April 23, 2020 letter regarding the coastal bluff referenced in the September 25, 2020 Terra Costa update bluff evaluation.
  - b. Geotechnical studies, referred to in Terra Costa's September 25, 2020 letter, that were relied upon for estimating soil strength parameters for the slope stability analyses presented in Terra Costa's September 25, 2020 letter.
  - c. Prior geotechnical documents associated with the existing seawall, including:
    - i. "Geotechnical Update Letter; Repairs to Coastal Bluff Seawall 135 South Sierra Avenue, Solana Beach, California" dated April 5, 2010 by Soil Engineering Construction, Inc.
    - ii. "Geotechnical/Geologic Evaluation Bluff Conditions, Las Brisas Condominiums" by Anthony-Taylor Consultants dated June 22, 2004
    - iii. The 2018 written monitoring report alluded to in the applicant's referenced cover letter, and other available monitoring reports.
- 2) Per the permit application, question 5, please provide a geotechnical report prepared to meet the requirements of the City and the California Coastal Commission (CCC) signed and stamped by both a Registered Civil Engineer (RCE) and Certified Engineering Geologist (CEG). A previously prepared geotechnical report associated with the previous wall construction, updated to current standards of practice and signed and stamped by a RCE and CEG, may be suitable.
- 3) Please provide structural calculations for the proposed shotcrete wall, including determination of caisson embedment depth and proposed embedment units, and any geotechnical documents relied on for geotechnical parameter inputs for the calculations.
- 4) Please provide additional slope stability analysis for a proposed-construction scenario demonstrating a 1.5 Factor of Safety for the completed project.
- 5) Please provide a site plan and geologic cross-section of the existing slope failure that depicts the underlying geology; the limits of the public access easement; the seaward side of the nearest principal structure foundational element; and verified top-of-bluff and corresponding minimum setbacks.
- 6) Please discuss current landscaping and irrigation practices at the project location. If a landscaping operation & maintenance plan is available, please submit.


- 7) Noting that the LCP defines City Infrastructure as “City owned roads and City owned utilities located therein and thereon”, please comment as to whether a bluff failure is imminent that would threaten city infrastructure and/or a principal structure with danger from erosion, per LCP Policy 4.52(a)(1). Additionally, please comment as to whether city infrastructure and/or a principal structure is more likely than not to be in danger within approximately one year, per LCP Policy 4.52(a)(2).
- 8) Please address the proposed project’s impact on the southerly neighbor, including but not limited to:
  - a. What impact will the proposed wall have on the future erosion of the remaining exposed scarp on the southerly neighbor’s property?
  - b. The proposed wall drains appear to be intended to drain from the face of the wall onto the southerly neighbor’s property. What impact will the proposed wall drains have on the future erosion of the remaining exposed scarp on the southerly neighbor’s property? Please show all drain outlets on plans.
- 9) Please indicate the proposed post-construction depth of embedment of the southerly face of the proposed shotcrete wall. Address whether this embedment depth is appropriate and/or adequate to accommodate potential erosion and scour at the wall base and potential undermining of the wall. Please address what long-term maintenance of the wall may be necessary to protect against or accommodate future erosion and potential undermining at the base of the wall.

As previously stated, based on our review of requested documents and information indicated above, additional review comments may be warranted.

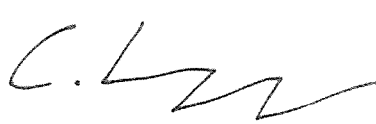
We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

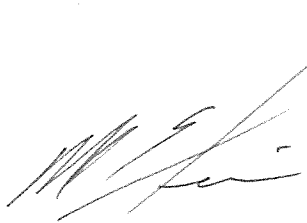
CONSTRUCTION TESTING & ENGINEERING, INC.

  
Dan T. Math, GE #2665  
Principal Engineer



  
Colm J. Kenny, RCE #84406  
Senior Engineer



  
Martin E. Siem, CEG #2311  
Senior Engineering Geologist



CJK/MES/DTM:cjk

**REVIEWED DOCUMENTS:**

City of Solana Beach Local Coastal Plan  
Adopted February 27<sup>th</sup>, 2013, As Amended November 2018

Application for Conditional Use Permit (Cover Letter)  
Coastal Bluff Failure Repair  
Las Brisas Condominiums  
Issued by The Trettin Company, dated December 16, 2020

Bluff Retention Device Conditional Use Permit Application  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California 92075  
Dated December 16, 2020

Coastal Bluff Evaluation/Project Recommendations  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California  
Terra Costa Consulting Group Project No. 1848-02, dated September 25, 2020

Plans for Las Brisas Condominiums Bluff Stabilization (5 Sheets)  
Prepared by Terra Costa Consulting Group  
Dated September 28, 2020





## Construction Testing & Engineering, Inc.

Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying

December 22, 2021

CTE Job No. 10-15983G

City of Solana Beach  
Attention: Ms. Corey Andrews  
635 South Highway 101  
Solana Beach, California 92075  
Office: (858) 720-2434

Via Email: [candrews@cosb.org](mailto:candrews@cosb.org)

Subject: Application Submittal Second Geotechnical Review  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California 92075

References: At End of Document

Ms. Andrews:

As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the proposed project is in substantial compliance with the City of Solana Beach's (City) Local Coastal Plan (LCP) policies. This is the second submittal review.

Based on CTE's review, the applicant has adequately addressed CTE's previous review comments. CTE notes that the applicant's submitted slope stability analysis indicates that "... within the last approximately 8-months... observed and continuing deterioration of the lower bluff and over-steepened conditions of the mid- and upper bluff, create a real and imminent threat to Building 3, and to the public access corridor for the designated public open space at the Surfsong project. This same access corridor also functions and [sic] the Las Brisas fire access road, providing fire truck access to both Building 3 and portions of Building 1. As such, the observed failures within the bluff along and west and below Building 3, have a real potential to threaten the health and safety of the beach going and access corridor using public, as well as threatening the stability of Building 3."

CTE believes that Building 3 would be considered a "principal structure" per the LCP.

We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

CONSTRUCTION TESTING & ENGINEERING, INC.



Dan T. Math, GE #2665  
Principal Engineer



Colm J. Kenny, RCE #84406  
Senior Engineer



CJK/DTM:cjk

**REVIEWED DOCUMENTS:**

Geotechnical Update and Response to Third-Party Geotechnical Review  
Las Brisas Condominiums Bluff Stabilization  
135 South Sierra Avenue  
Solana Beach, California 92075  
CUP 20-004  
GeoSoils, Inc. W.O. 8157-A-SC, dated October 22, 2021

Las Brisas Condominiums Bluff Stabilization Engineering Design Submittal  
Prepared by GeoStabilization International, dated 15, 2021

Response to CTE Review of CUP 20-004; Modification to a CUP for Las Brisas Condominiums  
Provided by The Trettin Company, dated November 1, 2021

Application Submittal Geotechnical Review  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California 92075  
CTE Job No. 10-15983G, dated March 7, 2021

City of Solana Beach Local Coastal Plan  
Adopted February 27<sup>th</sup>, 2013, As Amended November 2018

Geotechnical/Geologic Evaluation  
Bluff Conditions  
Las Brisas Condominiums  
135 South Sierra Avenue  
Solana Beach, California 92076  
Anthony-Taylor Consultants Project No. 03-2283, dated June 22, 2004



Geotechnical Engineering  
Coastal Engineering  
Maritime Engineering

Project No. 1848-02  
September 25, 2020

Ms. Renee Resler, Chair  
Mr. Brian Caine, Member  
**LAS BRISAS HOA**  
135 S Sierra Avenue #36  
Solana Beach, California 92075

COASTAL BLUFF EVALUATION/PROJECT RECOMMENDATIONS  
**LAS BRISAS CONDOMINIUMS**  
135 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA

Dear Ms. Resler and Mr. Caine:

TerraCosta Consulting Group, Inc. (TerraCosta) is pleased to present this letter concerning our evaluation of coastal bluff stability in response to the significant and ongoing coastal bluff failure at the southern end of the Las Brisas condominium complex located at 135 South Sierra Avenue in Solana Beach, California. This letter should be considered an update to our April 23, 2020, letter regarding the subject coastal bluff.

To date, we have performed several site inspections, the first being to map the approximate limits of the slope failure using the topographic base map for the subject property prepared by Pasco Laret Suiter on October 14, 2019. As part of our field mapping, we reconstructed the approximate contours to reflect the failure limits as they existed during our initial April 16, 2020, site inspection. The approximate geometry of the slope failure during our field mapping is presented on Figure 1.

Slope stability analyses were performed on two representative cross sections to determine stability of the coastal bluff for the existing failure conditions. The locations of the cross sections are presented on Figure 1. Analyses were performed using the slope stability computer program *GSTABL7*. *GSTABL7* is a 2D limit equilibrium slope stability program with a variety of options for external loads, along with various external restraints. Strength parameters used in our analyses were based on data in our files from

other geotechnical studies in Solana Beach. Summary outputs of the analyses are presented on Figure 2 through 5.

As indicated on the attached figures, the minimum computed static factor of safety for the existing conditions was as low as 1.021 in the area of the public easement/public agency vehicle access. This area is under a high threat of failure in the near future.

The computed static factors of safety for failure terminating at the southwest corner of the existing building were as low as 1.231. This existing factor of safety is significantly below the required California Building Code minimum of 1.5. Although the southwest corner of the existing building is not imminently threatened, it could potentially reach that threshold following a single event failure which causes the bluff, down to the area of the clean sand lens, to retreat eastward by several additional feet. Based on the existing bluff failure, which extends from the clean sand lens to the top of bluff, such a single event failure into the rear yard/public easement area could occur at any time.

Based on public agency permit requirements that Las Brisas provide and maintain a dedicated public access and public vehicle access in the area of the ongoing failure, and with consideration provided to the near-imminent threat to the residential structure, it is our recommendation that Las Brisas initiate the required permitting actions to construct a caisson/grade beam/tieback lateral wall that would extend from the southern terminus of the existing permitted seawall to the top-of-bluff. The engineering design we are submitting for your review would be sufficient to return a minimum 1.5 factor of safety to the threatened public access areas and to the existing residential structure on the Las Brisas property. Further, it will protect the existing, permitted lower coastal bluff seawall from being flanked and will prevent further loss of the mid to upper coastal bluff at Las Brisas.

We note that the time to obtain necessary discretionary permits for a project is likely in the range of 18 months. Therefore, we recommend that the site be consistently monitored during the permit process. Should further significant failure occur during that period, a reevaluation of the potential escalation of the threat to the residential structure should be performed immediately. Under such circumstances, a determination should be provided to determine if expedited or emergency permitting should be implemented.



We appreciate the opportunity to be of service and trust this material meets your current needs. We look forward to working with you and your permit agent in securing a full solution to the significant failure occurring on your coastal bluff. If you have any questions or require additional information, please give us a call.

Very truly yours,

TERRACOSTA CONSULTING GROUP, INC.



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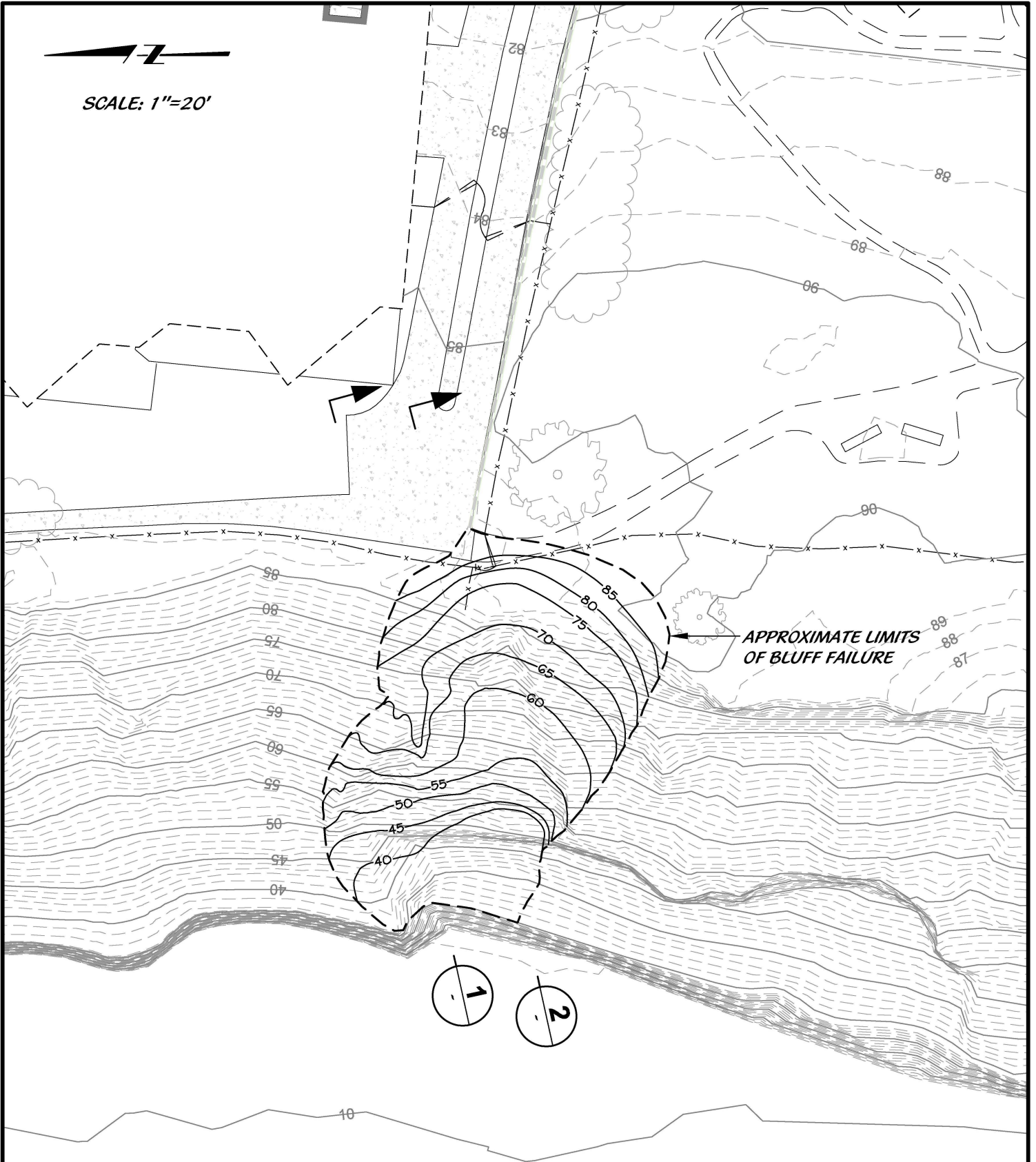
Walter F. Crampton, Principal Engineer  
R.C.E. 23792, R.G.E. 245

WFC/jg  
Attachments





SCALE: 1"=20'



**TERRACOSTA CONSULTING GROUP**  
ENGINEERS AND GEOLOGISTS  
3890 MURPHY CANYON ROAD, SUITE 200  
SAN DIEGO, CA 92123 (858) 573-6900

PROJECT NAME  
**LAS BRISAS BLUFF FAILURE**

FIGURE NUMBER

**1**

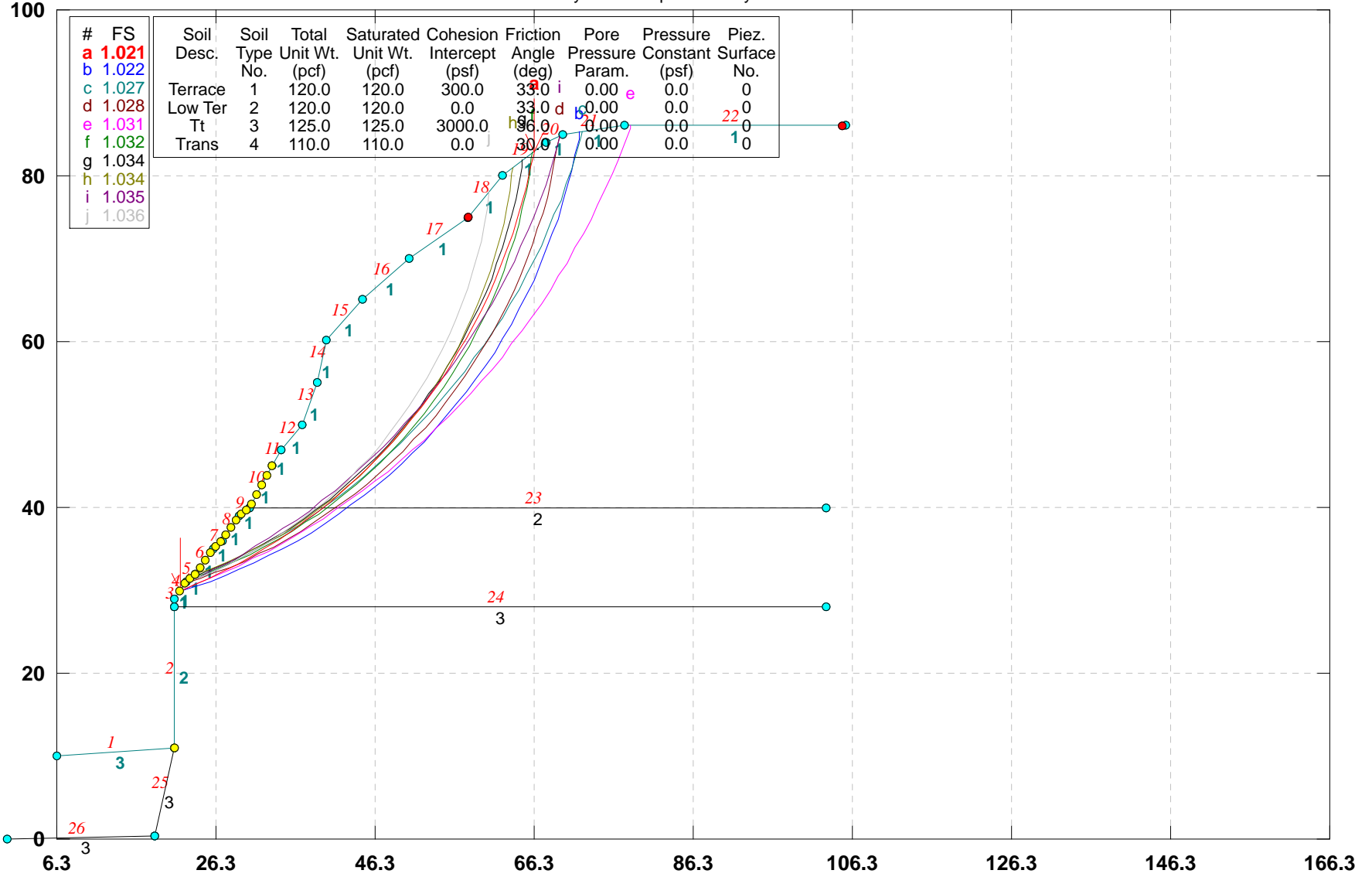
PROJECT NUMBER

**1848-01**

**STABILITY SECTION  
SITE PLAN**

# Las Brisas Condominiums Stability Section 1

s:\matt m\las Brisas\stability section 1.pl2 Run By: Username 4/21/2020 10:18AM



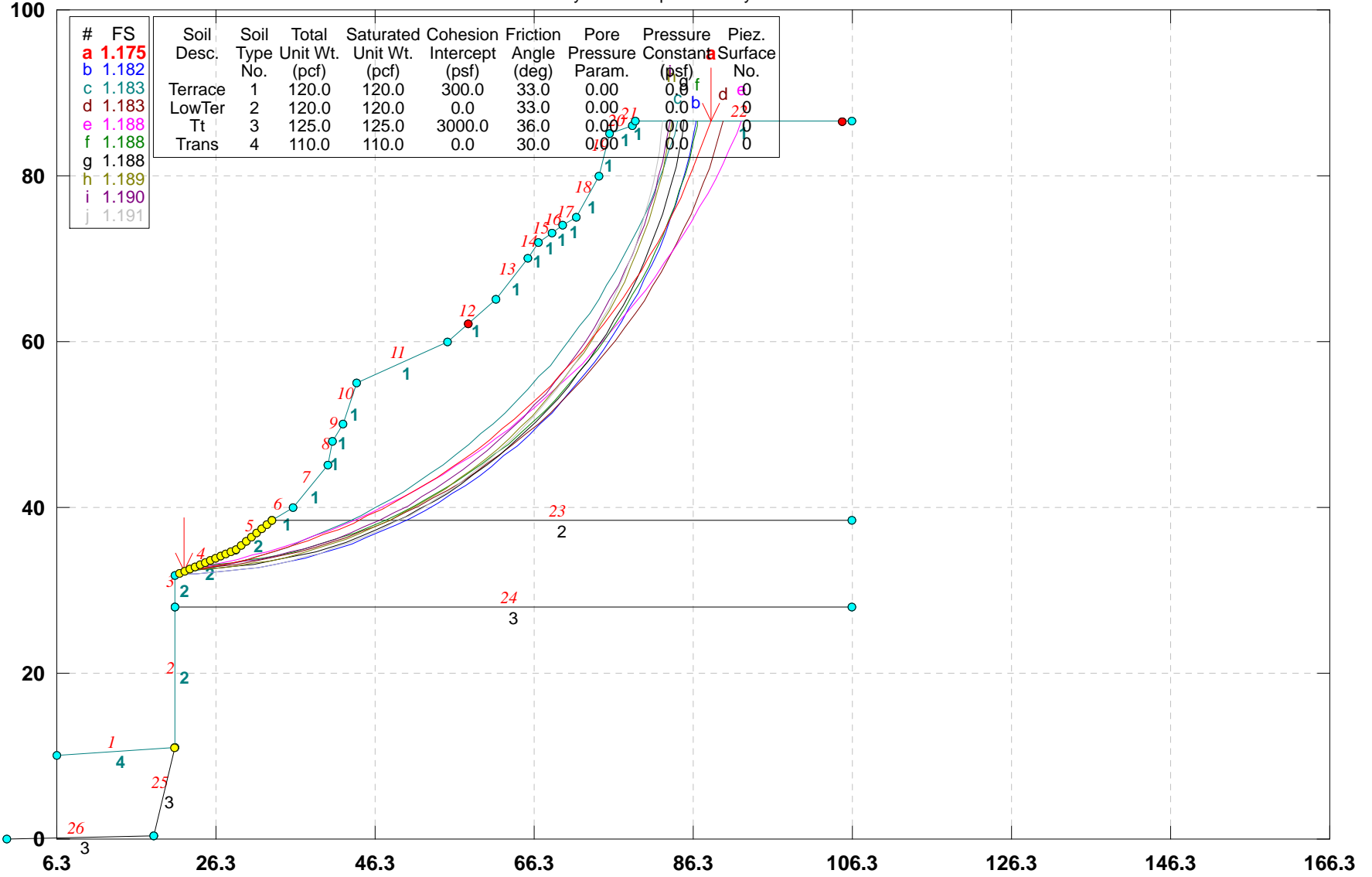
GSTABL7 v.2 FSmin=1.021  
 Safety Factors Are Calculated By The Modified Bishop Method

FIGURE 2



## Las Brisas Condominiums Stability Section 2

s:\matt m\las brisas\stability section 2.pl2 Run By: Username 4/21/2020 10:16AM

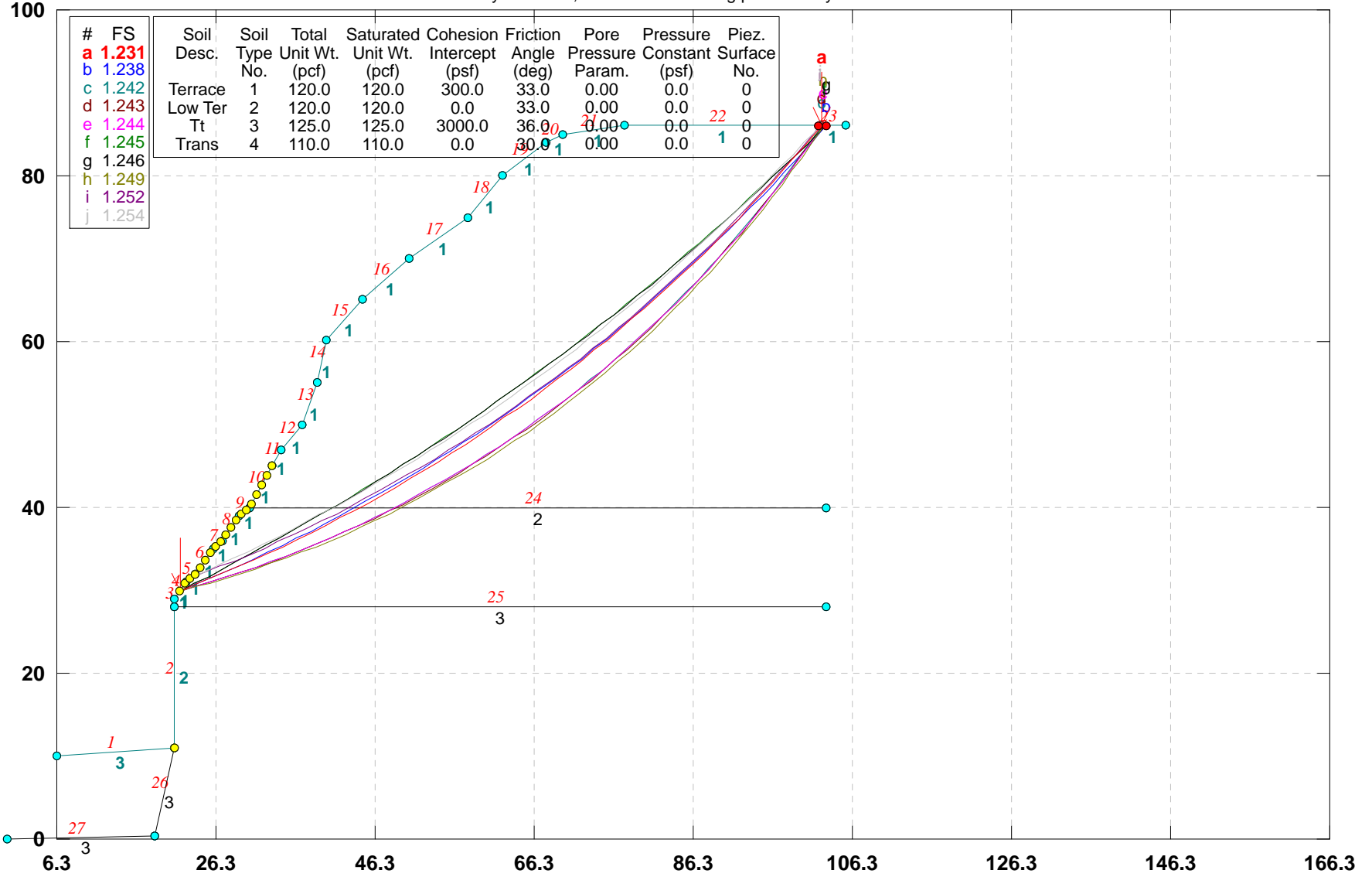


GSTABL7 v.2 FSmin=1.175  
 Safety Factors Are Calculated By The Modified Bishop Method

FIGURE 3

# Las Brisas Condominiums Stability Section 1

s:\matt m\las brisas\stability section 1, terminate at building.pl2 Run By: Username 4/22/2020 12:51PM

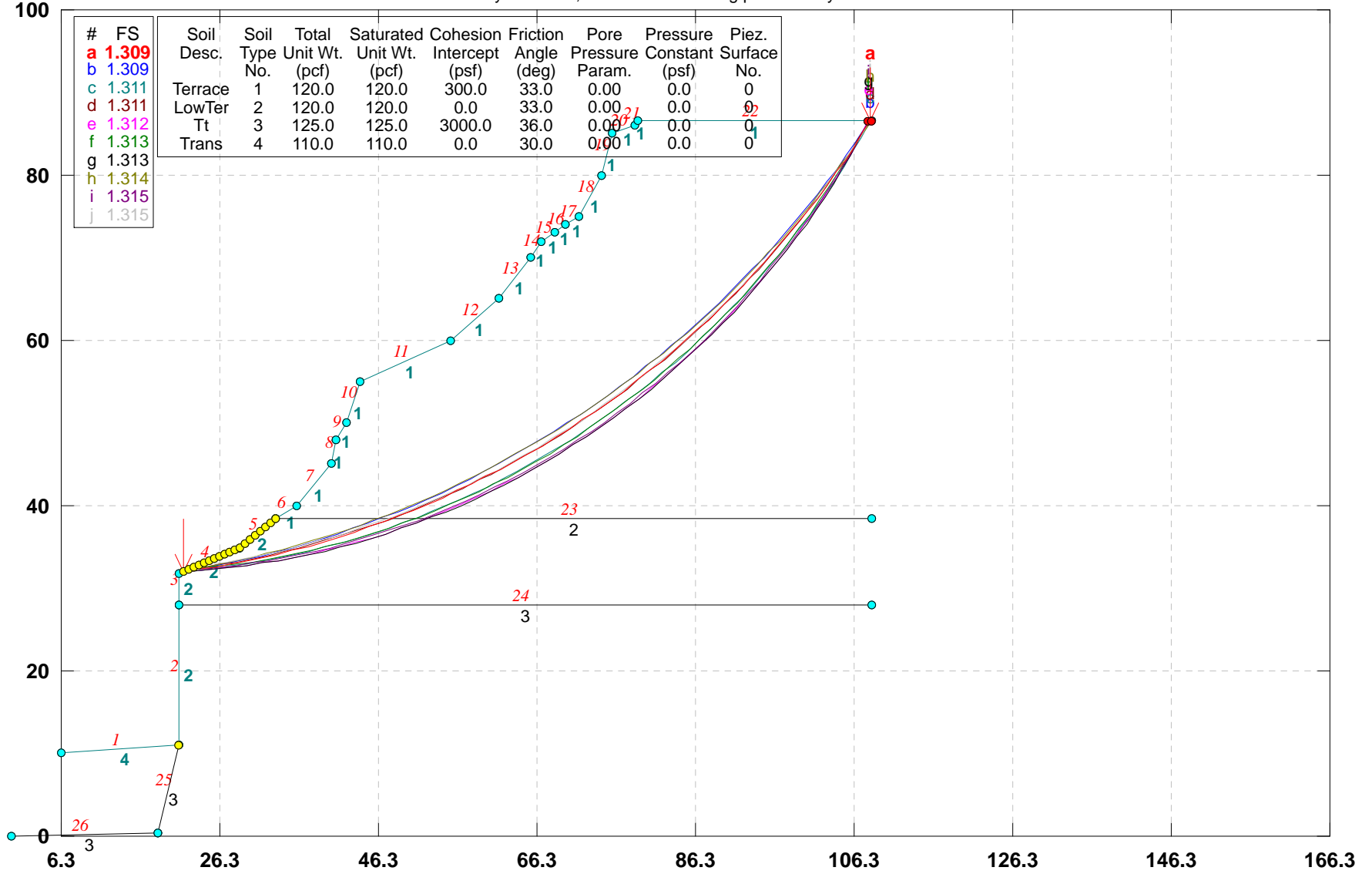


GSTABL7 v.2 FSmin=1.231  
 Safety Factors Are Calculated By The Modified Bishop Method

FIGURE 4

## Las Brisas Condominiums Stability Section 2

s:\matt m\las brisas\stability section 2, terminate at building.pl2 Run By: Username 4/22/2020 12:56PM



GSTABL7 v.2 FSmin=1.309  
 Safety Factors Are Calculated By The Modified Bishop Method

FIGURE 5

# Las Brisas Condominiums Bluff Stabilization Engineering Design Submittal

## 2021



**Regional Address:**  
4475 E. 74<sup>th</sup> Avenue  
Commerce City, CO. 80022  
Phone: 855.579.0536  
Fax: 970.245.7737  
[www.geostabilization.com](http://www.geostabilization.com)

**ATTACHMENT 8**

October 15, 2021

To: Ms. Renee Resler

**Subject: DESIGN-BUILD DOWNSLOPE MICROPILE CUTOFF WALL**

GeoStabilization International (GSI®) is pleased to present the following Engineering Design Submittal for the permanent micropile cutoff wall proposed for the Las Brisas Condominiums Site (Site) at 135 South Sierra Avenue Solana Beach, CA 92075.

This submittal consists of information pertaining to the design and construction of the proposed cutoff wall that will retain the backfill material planned on the north side of the wall. The micropiles will be embedded a minimum of five feet into the Torrey Sandstone Formation underlying the site. Micropile stickup above existing grade will be encapsulated with reinforced structural shotcrete, which will provide a system that achieves the Factor of Safety values required for the project.

Information in this submittal was developed based on, but not limited to, the following:

- *Geotechnical/Geologic Evaluation Bluff Conditions*, prepared by Anthony-Taylor Consultants, dated June 22, 2004.
- *Las Brisas Condominiums Bluff Stabilization Draft Plans*, prepared by Terracosta Consulting Group Engineers and Geologists, September 28, 2020.
- Multiple field reconnaissance completed by GSI Project Development Geologist Josh Wagner, Deputy Operations Manager, Spike Priestly, and Regional Engineer Jody Robinson.
  - Three-dimensional drone model developed from drone survey performed during site reconnaissance.

Our opinions and statements regarding this project shall remain confidential and shall not be shared with other parties without the express written consent of GSI®.

Sincerely,

GeoStabilization International®



Cameron Lobato, P.E.  
Senior Vice President

Jody Robinson, P.E.  
Regional Engineer

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## Micropile Cutoff Wall

### Project Description

The subject property is known as the Las Brisas Condominiums, located at 135 South Sierra Avenue, San Diego County, City of Solana Beach, California. The Condominiums consist of three separate residential structures, comprising multi-story, multi-unit masonry structures founded on shallow foundations.

The upper bluff face within the vicinity of the most westerly building at the site (identified as Building 3 in the project geotechnical/geological evaluation) has been susceptible to significant erosion and scouring. As such, a section of the upper bluff has failed, leading to significant risk to Building 3 and a recorded easement for public agency vehicles, including emergency vehicles.

GSI's scope of work includes construction of a micropile cutoff wall that will retain the exposed failed bluff and mitigate against damages associated with migration of the existing scarp towards the north and east of the exposed bluff. The cutoff wall will be comprised of up to 65-foot long micropiles that run downslope, approximately along the existing property line. This design is a value engineered (VE) alternative to the original drilled shaft cutoff wall concept developed by TerraCosta. Micropiles will be spaced 18 inches on center and depths will vary to ensure up to 5-foot embedment into the Torrey Sandstone Formation underlying the site; thereby, mitigating against possible undermining of the repair over time. In general, design pile embedment lengths vary between approximately 8 and 65 feet. Conceptually, the final aesthetics of the repair will remain identical to the original concept proposed by TerraCosta, with a sculpted and stained shotcrete facing.

On the north side of the shotcrete facing, a reinforced soil slope (RSS) will be constructed to occupy the existing void on the Las Brisas property. The RSS will comprise woven geotextile grids to construct the wall face in alignment with surrounding grades to the north. The end of the grids will be pinned to the slope with hand-driven mechanical anchors every third lift to accommodate sliding stability of the RSS (i.e., mitigate against the RSS sliding downslope). The remaining intermediate grid layers will be pinned to the slope using ground stakes. The geotextile will provide permanent erosion protection from initial construction.

All infrastructure will be built exclusively on Las Brisas HOA property; however, to construct the solutions presented herein, GSI crews (of up to six people) may need temporary access to the neighboring property to the south (Surfsong HOA). This access shall be for foot traffic only and will likely be required at various times during construction. It is not anticipated that GSI crews will pass further than 20 feet to the south of the Las Brisas - Surfsong property line. It is the sole responsibility of Las Brisas HOA to coordinate any necessary temporary access agreements prior to GSI arriving on site.

## Design Requirements

The permanent micropile cutoff wall will comprise the installation of an array of hollow bar micropiles faced with reinforced shotcrete to provide confinement for the RSS proposed on the north side of the shotcrete wall. The compound global stability of the system was designed to accommodate a static factor of safety (FS) of 1.5 and a seismic FS of 1.1. We note that our system does not account for wave impact due to potential Tsunami inundation following an earthquake.

Our design accounted for a construction and vehicular at the top of the bluff. We iteratively analyzed surcharges between 250 and 3,000 pounds per square foot (psf) to analyze impact of surcharging on the global stability of the slope. The stability results in Appendix B are provided for a 3,000 psf surcharge.

## Micropile Cutoff Wall Elements and Strengths

The cutoff wall consist of an array of micropiles, concrete micropile cap, reinforced shotcrete facing, and a reinforced soil slope (RSS). The micropiles will consist of 51mm domestic hollow bar steel with embedment depths up to 65 feet. We note that lengths and spacing of micropiles elements may vary depending on conditions observed at the time of construction, but the maximum spacing of micropiles will be 18 inches along the property line and each will be embedded a minimum of 5 feet into the Torrey Sandstone unit underlying the site. The micropile cap will extend 10 feet east of the bluff edge and structurally connect to the micropiles east of the bluff edge. The micropile cap will have a minimum cross-sectional width of 18 inches and depth of 12 inches. Internal steel reinforcement embedded in the micropile cap will extend west of the bluff edge to structurally tie into the proposed shotcrete wall. The nominal design thickness of the structural shotcrete facing will be 8 inches and the final lift of shotcrete applied to the wall will be sculpted and stained to match the draft design plans issued by Terracosta Consulting Group Engineers and Geologists.

The micropiles will generally be drilled vertically along the slope and installed with a nominal 4.5-inch diameter drill bit. The design tributary spacing of the micropiles will be 18 inches along the property line. The facing will consist of reinforced structural shotcrete, with two layers (one on north side of piles and one on south side of piles) of gauge 4.0 welded wire steel fabric and continuous No. 5 vertical and horizontal steel walers spaced 18 inches vertical and horizontally along the south side of the wall extents.

All steel reinforcing elements installed as part of the cutoff wall will have corrosion protection through either epoxy or galvanization, pending material availability at the start of construction. In addition, a minimum of 2 inches of cover from the atmosphere will be provided for steel elements embedded in the structural facing and micropile cap, as specified by ACI-318. Further, a minimum of 3 inches of cover from the ground will be provided for steel elements embedded in the structural facing and micropile cap, as specified by ACI-318.

The RSS will be comprised of woven geotextile reinforcement. Since the RSS fill cannot be confined at the face, the upper 12 inches of fill will be in a relatively loose condition to



construct the wall face in alignment with surrounding grades to the north. The RSS reinforcement will be PYRAMAT® 75 high performance turf reinforcement mat (HPTRM) (or equivalent, depending on material availability at the time of construction), which is a three dimensional, lofty, woven polypropylene geotextile that is specially designed for erosion control applications on steep slopes. The matrix is composed of polypropylene monofilament yarns which exhibits high interlock and reinforcement capacity with both soil and root systems. The material has a very high UV resistance making it advantageous for marine environments susceptible to high UV demands. The expected design life of the reinforcement is 75 years and is in conformance with all relevant ASTM standards as indicated on the project data sheet provided in the materials section of this submittal. Reinforcement lengths will be a minimum 4 feet and all reinforcement will extend to the exposed slope face. The grids will be pinned to the slope every third lift with hand-driven mechanical anchors. The remaining intermediate grid layers will be pinned to the slope using ground stakes. Horizontal spacing of stakes will be no less than one every six feet, or a minimum of two per lift. The target batter of the RSS will be approximately 45 degrees, which tends to line up well with the existing slope north of the proposed repair area.

The allowable tension capacity for the micropiles is approximately 33,600 pounds for static loadings conditions and 45,300 pounds for seismic loading conditions. The allowable compression capacity for the micropiles is 61,000 pounds.

## Slope Stability Analyses

### *Overview*

We completed a multiple scenario [static long-term effective stress conditions and seismic active (pseudostatic) conditions] slope stability assessment of the permanent RSS and micropile cutoff wall to analyze compound-stability of the system. The geometry of our slope stability model was developed based on the three-dimensional drone model from our site survey.

A slope stability analysis was first completed using the two-dimensional finite element analysis software PLAXIS 2D 2021. Once a baseline model was calibrated, a secondary analysis was completed using the three-dimensional finite element software PLAXIS 3D 2021. The PLAXIS program performs safety analysis to analyze slope stability and to determine a factor of safety (FS) against global failure. The FS against failure can be generalized as the ratio of forces resisting slope movement (e.g., soil strength, soil mass, etc.) and the forces driving slope movement (e.g., gravity, earth pressure, and earthquake shaking). A FS value greater than 1 and less than 1.2 indicates a condition where the slope has potential to creep over time. A FS value of 1 or less indicates a failure condition.

We analyzed stability of the proposed system, as shown in the PLAXIS output included in Appendix B. The PLAXIS model inputs are included on pages 1 through 26 in Appendix B. The PLAXIS model inputs are included on pages 27 through 33 in Appendix B. We evaluated two loading cases based on static and seismic loading conditions as follows:

- **Case 1:** Static (non-seismic) long-term (steady-state, effective stress) conditions with peak drained strength properties.
- **Case 2:** Seismic (code-based approach) conditions were analyzed with the design-level ground motion parameters indicated in the project geotechnical report issued by Terracosta. The horizontal seismic coefficient ( $k_h$ ) used in our analysis was one-half of the site peak ground acceleration (PGA) or 0.22.

#### Approach to Soil and Rock Elements

The subsurface profile used in our modeling and analysis was based on the field and laboratory data provided in the Geotechnical Report by Terracosta, and our experience in similar soil units.

The Terrace Deposits identified at the site were modeled using the Hardening Soil small (HSsmall) constitutive model. A key benefit of the HSsmall model is that it provides an adjustable shear modulus degradation curve based on the Hardin-Drnevich relationship (Plaxis 2014). The HSsmall model includes a stress-dependent stiffness formulation, as well as shear hardening and compaction (cap) hardening in primary loading. The reference stress used to initialize stress conditions was calibrated based on available field data, typical values in the literature, and our experience in similar materials.

To analyze impact of the stress state in the Terrace Deposits on performance of the proposed stabilization elements, a loose layer of sand was modeled in the bottom 8 feet of the soil profile, immediately above the rock formation.

The overall sedimentary rock formation identified at the site was modeled using the Hoek-Brown constitutive model. A benefit of the Hoek-Brown model is that it provides a better non-linear failure criterion for the strength of rocks as opposed to the linear Mohr-Coulomb failure criterion.

The table below summarizes the estimated engineering properties for each subsurface unit at the site.

#### Design Material Properties

Reference Parameter	Material			
	Terrace Deposits	Loose Sand	RSS Fill	Torrey Sandstone Formation
Unit Weight (lb/ft <sup>3</sup> )	110	105	120	120
Peak Friction Angle, $\phi'$ (degrees)	34	32	40	N/A
Effective Cohesion, C (lb/ft <sup>2</sup> )	5	5	10	N/A
Reference Elastic Modulus at 50% Strain (lb/ft <sup>2</sup> )	1.14E6	1.14E6	1.14E6	-
Reference Elastic Modulus Constrained (lb/ft <sup>2</sup> )	1.14E6	1.14E6	1.14E6	-
Reference Elastic Modulus During Unload/Reload (lb/ft <sup>2</sup> )	3.43E6	3.43E6	3.43E6	-
Reference Small Strain Shear Modulus (lb/ft <sup>2</sup> )	2.55E6	2.55E6	2.55E6	-
Unconfined Compressive Strength (lb/ft <sup>2</sup> )	-	-	-	3.65E6

Geological Strength Index (-)	-	-	-	80
Material Constant	-	-	-	17

Nominal (ultimate) bond stress values for subsurface materials were estimated based on the material types and tables in the Federal Highway Administration (FHWA) GEC Circular No.4 (1999), FHWA GEC Circular No.5 (2002), and FHWA GEC Circular No.7 (2015), as well as our experience with similar material types. In PLAXIS, a linear and material dependent bond strength was used to account for the bond reduction in the loose sand layer between the Terrace Deposits and Torrey Sandstone Formation.

- Terrace Deposits – 750 pounds per foot (lbs/ft)
- Loose Sand – 500 lbs/ft
- Torrey Sandstone Formation – 900 lbs/ft

#### *Approach to Structural Elements*

The cutoff wall consists of an array of micropiles, concrete micropile cap, reinforced shotcrete facing, and RSS.

The proposed micropiles were modelled in PLAXIS as beam elements, with axial and bending stiffness values based on the structural properties. The beam elements were modeled using our anchor pullout resistances based on the available subsurface data, and our experience in similar materials. We defined the stiffness of the embedded beams based on the elastic properties of the steel bars and ignored grout contribution by conservatively assuming a fully cracked grout condition. The reinforced shotcrete facing and micropile cap were modelled used the concrete constitutive model in PLAXIS. The model was calibrated based on a 28-day design compressive strength of 4,000 pounds per square inch (psi). The stiffness contribution from the steel reinforcing embedded in the shotcrete facing was conservatively ignored in the PLAXIS analyses. However, the reinforced shotcrete facing was designed using the ACI 318-14 code. The facing design calculations are provided in Appendix C.

The PYRAMAT® 75 woven geotextile was modelled in PLAXIS as an anisotropic elastic geogrid with in-plane ( $EA_1$ ) and out-of-plane ( $EA_2$ ) stiffness values based on the manufacturer’s specifications, which are listed below.

#### *Design Structural Properties*

<b>Structural Element</b>	<b>Area, A (ft<sup>2</sup>)</b>	<b>Moment of Inertia, I<sub>x</sub> (ft<sup>4</sup>)</b>	<b>In-Plane Axial Stiffness, EA<sub>1</sub> (lb/ft)</b>	<b>Out-of-Plane Axial Stiffness, EA<sub>2</sub> (lb/ft)</b>	<b>Nominal Moment Capacity, M<sub>p</sub> (lb-ft)</b>
X51	0.11	0.97E-3	63.1E6	63.1E6	6,304
PYRAMAT® 75	-	-	4,000	2,000	-

### *Approach to Staged Construction*

The PLAXIS model had several sequential construction stages to take into consideration the effects of duration, stress history, and construction sequence on the behavior of the proposed cutoff wall. The full model sequential construction stages in our PLAXIS model are outlined below.

- Stage 1 – Generate initial at-rest ( $k_0$ ) stress conditions.
- Stage 2 – Plastic nil phase to verify equilibrium of stresses.
- Stage 3 – Installation of micropile elements.
- Stage 4 – Construction of Reinforced Shotcrete Facing
- Stage 5 – Begin building up reinforced soil slope (RSS).
- Stage 6 through 34 – Continue with RSS construction until reaching top of bluff elevation.
- Stage 35 - A global stability FS calculation was performed in PLAXIS following installation of the final layer of reinforcement and fill.

### *PLAXIS Outputs*

Results from our stability analyses are included in Appendix B. Based on our stability analyses, the permanent stabilization system meets the global stability FS requirements identified for the project. The compound global stability of the system meets the static FS of 1.5 and seismic FS of 1.1.

### **Corrosion Potential**

The level of corrosion protection for the steel is primarily dependent on the service life of the anchor, the aggressivity of the environment, and installation methods and consequences of failure. To account for a 75-year design life, all steel that will be used for construction of the proposed stabilization system will have corrosion protection through either epoxy coating or galvanization. The corrosion protection for steel elements for the project will ultimately depend on the material availability at the time of construction.

While potential corrosion will be resolved through epoxy coating or galvanization, we conservatively evaluated the corrosion potential of micropiles assuming the bar will be plain. This approach used reduced axial (tensile and compression) structural capacities for design of the proposed stabilization system. The corrosion potential of micropiles was evaluated using the Federal Highway Administrations Publication FHWA-CFL/TD-10-002 titled Hollow Bar Soil Nails: Review of Corrosion Factors and Mitigation Practice and GEC Circular No. 7. Calculations are provided in the following pages.

### **Structural Elements – Material Properties**

All material properties used in structural elements are based on established values from the manufacturer. Structural properties are provided in Appendix C. Key structural elements included in this project are as follows:

- Grout
- Reinforced shotcrete

- 51mm hollow bars
- Steel bearing plates
- Hex nuts
- Couplers

## Appendix A - Construction Sequence

## Construction Sequence

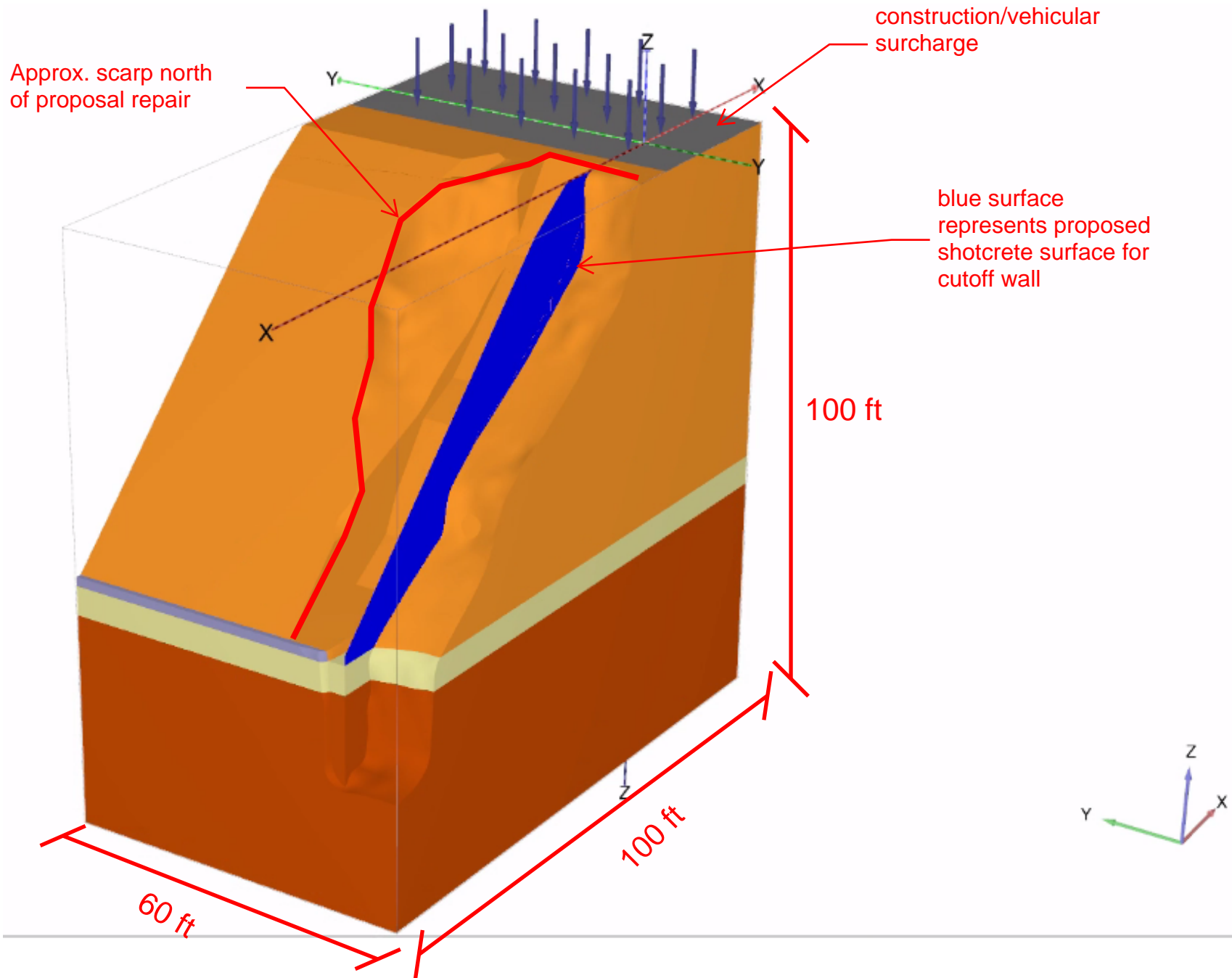
GeoStabilization International® anticipates that the work will be performed following the general construction sequence below. Work may be completed simultaneously or in varying sequence upon completion mobilization and setup up of temporary facilities and set up of erosion control measures.

1. Delineate limits of stabilization. notify local utilities providers to locate and mark potential underground facilities. daylighting of utilities in potential conflict, as necessary (by others).
2. Prepare the work area for micropile installation and cutoff wall construction:
  - a. Install erosion control fence at the top of the existing seawall to limit soil erosion during construction.
  - b. Minor re-shaping of existing scarp and surrounding grades may be needed to facilitate construction of the micropile cutoff wall.
  - c. Mark the locations of the proposed stabilization elements with survey marking paint.
3. Installation of micropile elements. each element will be grouted during drilling unless directed otherwise by GSI engineer.
4. Construct the cutoff wall:
  - a. Place reinforcing steel and drain strips per these drawings.
  - b. Use wood or similar formwork on the north side of the cutoff wall to facilitate shotcrete placement.
  - c. Place shotcrete from the bottom up to the required thickness detailed in these plans.
5. Prepare area north of the cutoff wall for reinforced soil slope system installation. minor grubbing and grading may be necessary.
6. Install reinforced soil slope system in lifts as detailed in these drawings and per the manufacturer installation procedures.
7. Site cleanup and demobilization from site.
  - a. Concrete, grout, and other construction debris will be removed periodically throughout the work.
  - b. Final cleanup of the site to include reasonable hand cleaning methods like sweeping, spraying with water and removal of trash and debris. major landscaping should not be needed if proper access is granted to gsi throughout the project.

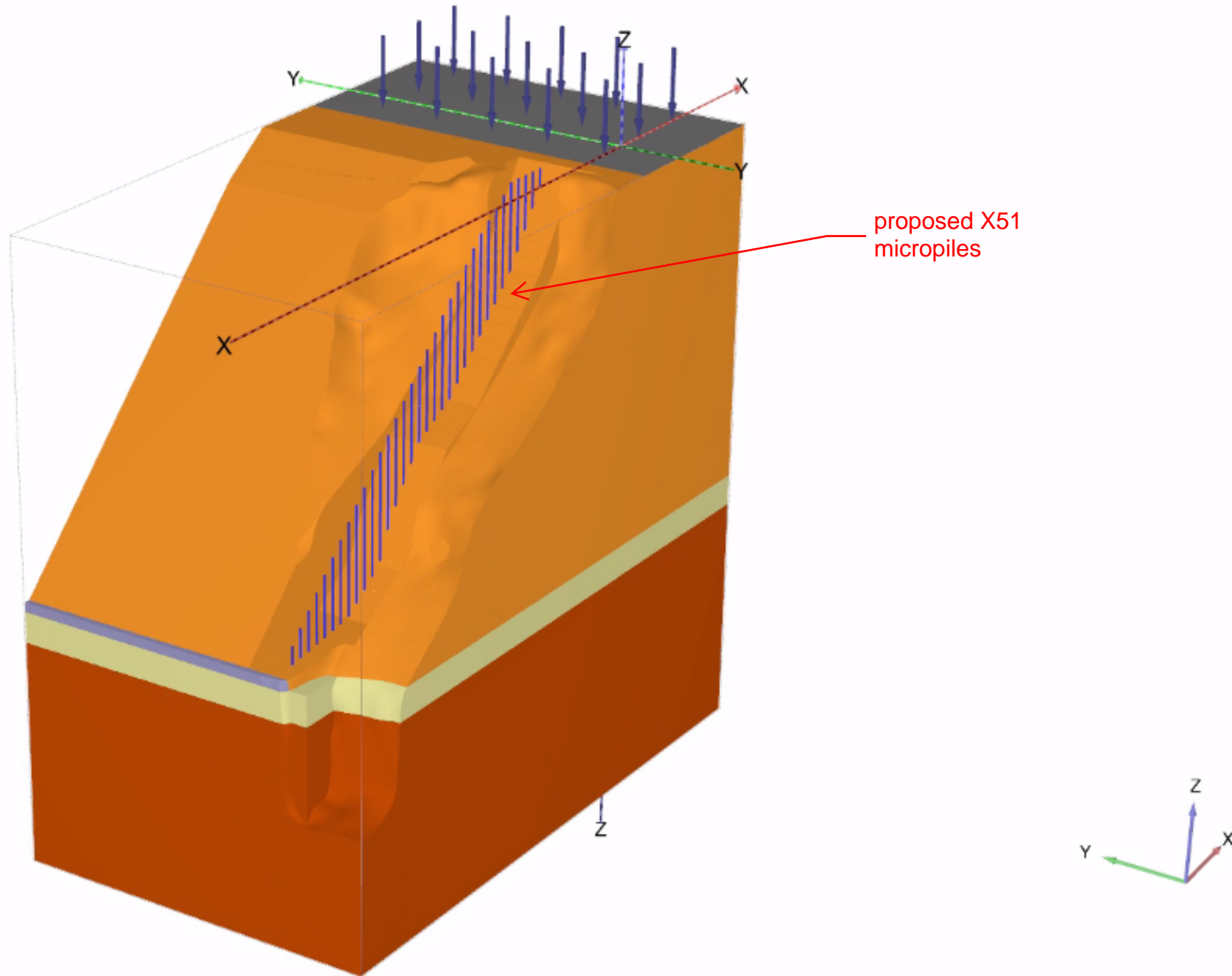
Appendix B - Design Analyses Output



# PLAXIS 3D STABILITY MODEL INPUT

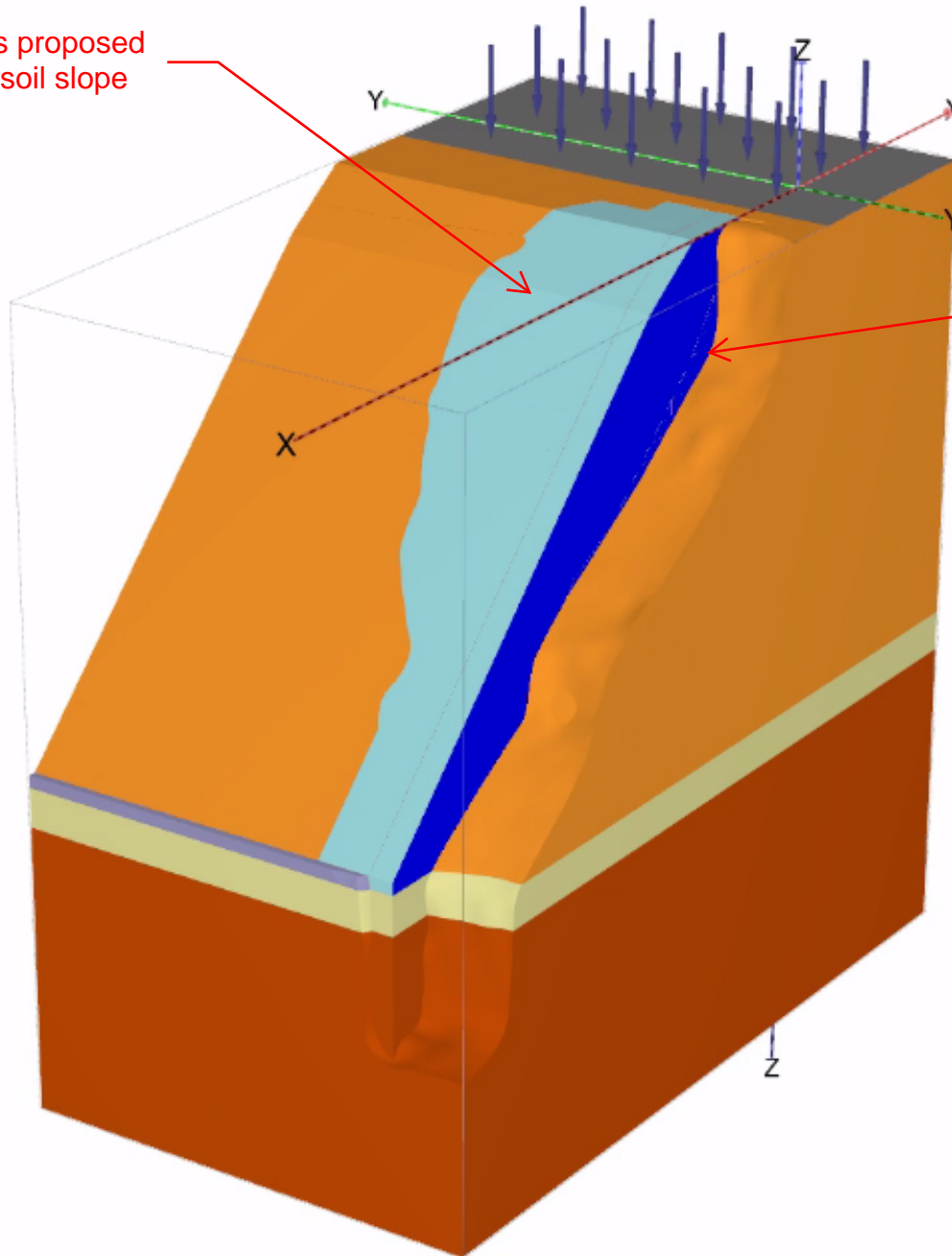


# PLAXIS 3D STABILITY MODEL INPUT

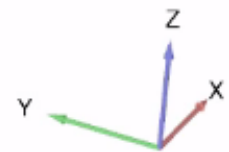


# PLAXIS 3D STABILITY MODEL INPUT

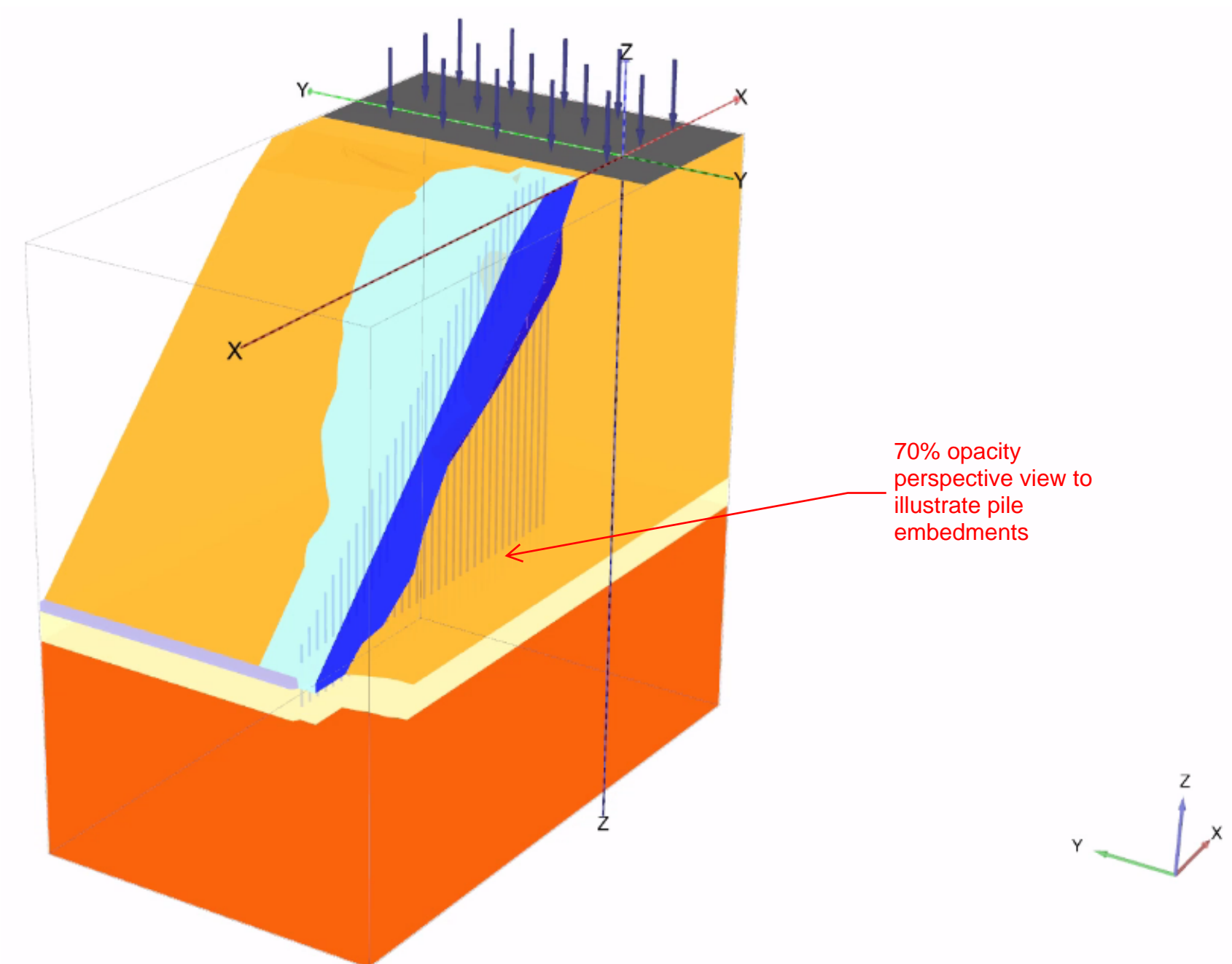
light blue is proposed reinforced soil slope



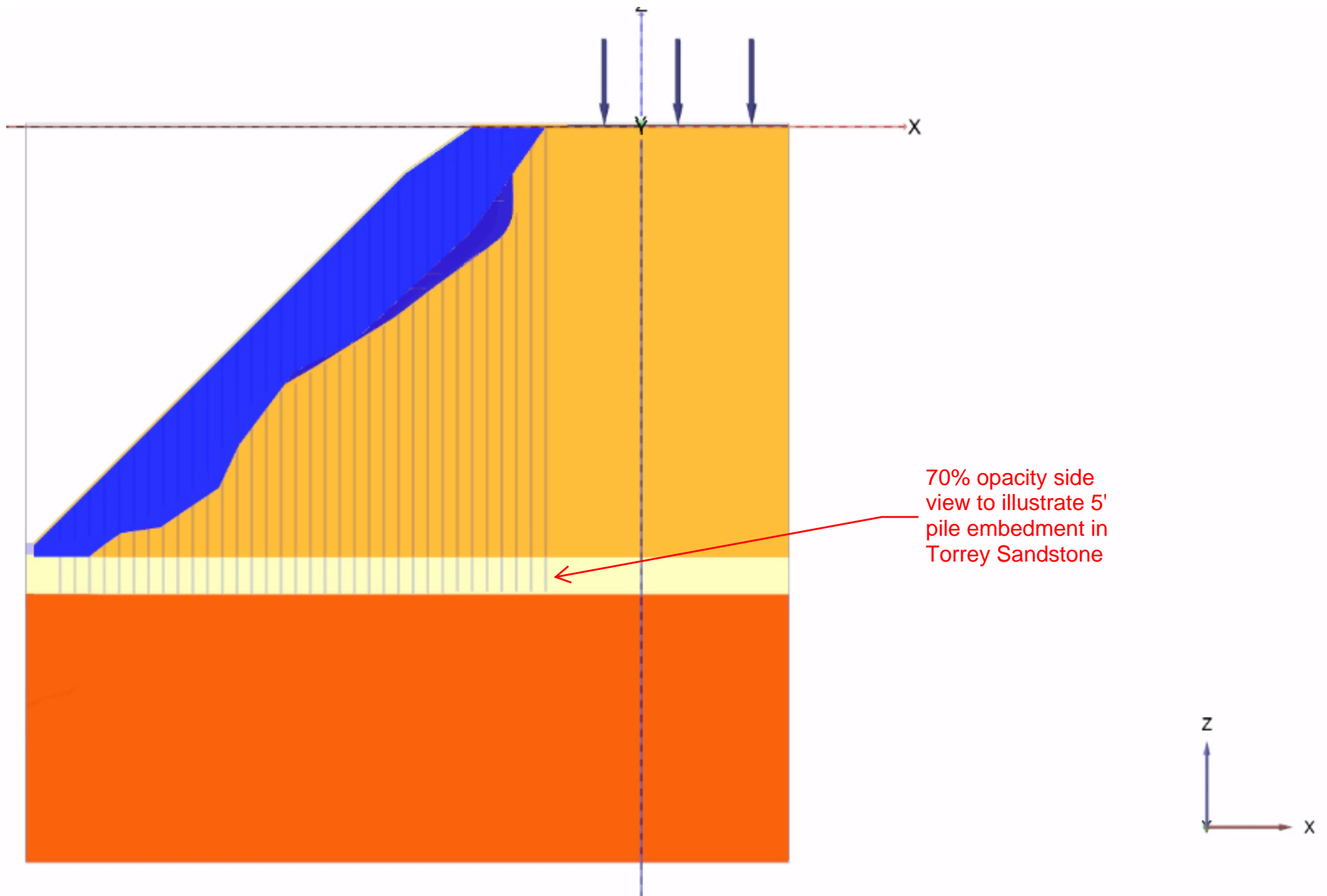
blue is 8" nominal reinforced shotcrete surface



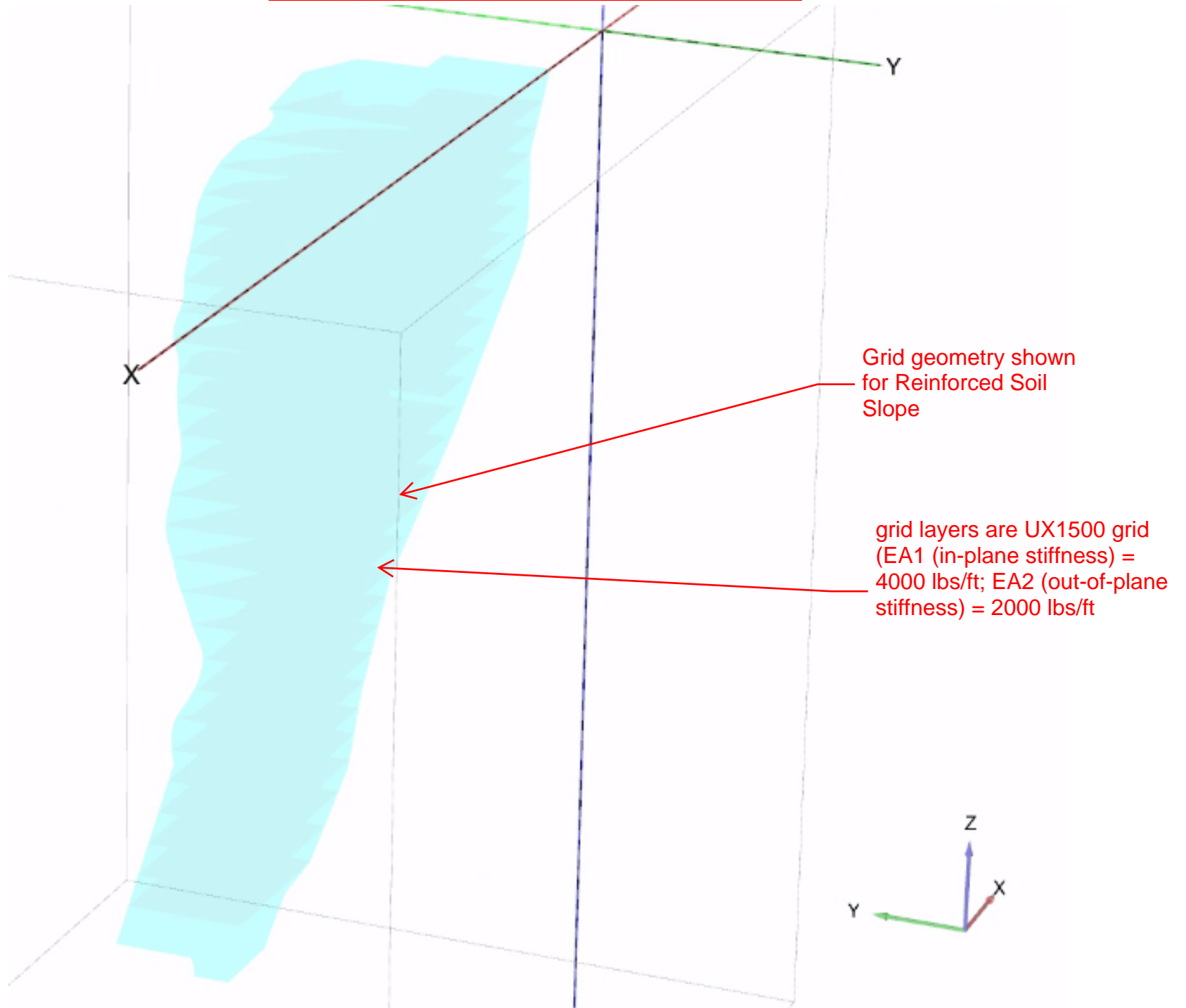
# PLAXIS 3D STABILITY MODEL INPUT



# PLAXIS 3D STABILITY MODEL INPUT

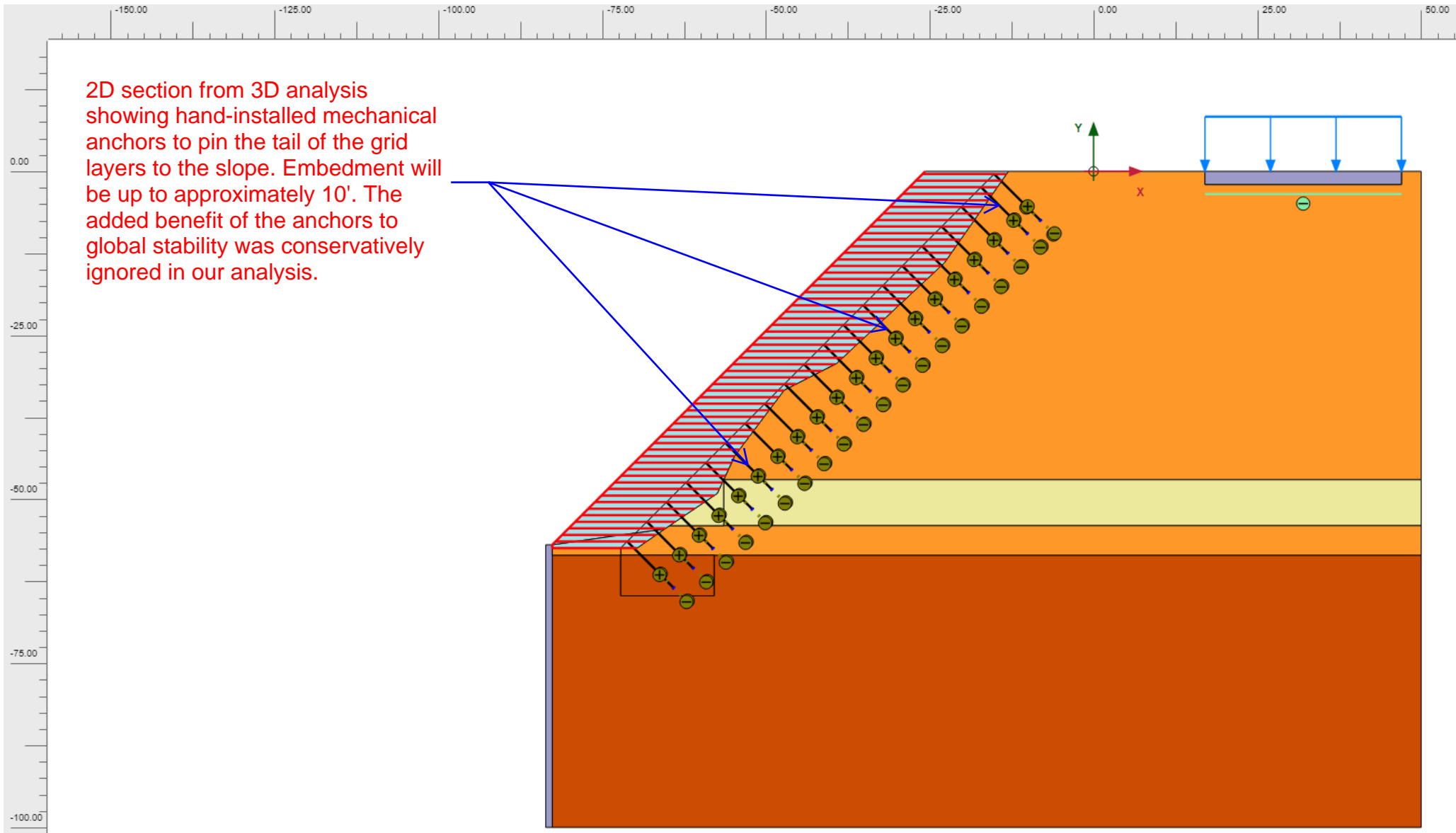


# PLAXIS 3D STABILITY MODEL INPUT



# PLAXIS 3D STABILITY MODEL INPUT




2D section from 3D analysis showing hand-installed mechanical anchors to pin the tail of the grid layers to the slope. Embedment will be up to approximately 10'. The added benefit of the anchors to global stability was conservatively ignored in our analysis.



# **PLAXIS Report**



### 1.1.2.1.1 Materials - Soil and interfaces - HS small

Identification		Terrace Deposits	Fill	Loose Sand
Identification number		1	4	5
Drainage type		Drained	Drained	Drained
Colour				
Comments		(N1)60 = 50	(N1)60 = 50	(N1)60 = 50
$e_{unsat}$	lbf/ft <sup>3</sup>	110.0	120.0	105.0
$e_{sat}$	lbf/ft <sup>3</sup>	115.0	125.0	110.0
Dilatancy cut-off		No	No	No
$e_{init}$		0.5000	0.5000	0.5000
$e_{min}$		0.000	0.000	0.000
$e_{max}$		999.0	999.0	999.0
$E_{50}^{ref}$	lbf/ft <sup>2</sup>	1.140E6	1.140E6	1.140E6
$E_{oed}^{ref}$	lbf/ft <sup>2</sup>	1.140E6	1.140E6	1.140E6
$E_{ur}^{ref}$	lbf/ft <sup>2</sup>	3.430E6	3.430E6	3.430E6

Generally some cohesion  
required in PLAXIS to  
prevent singularity in  
solver matrix


3D

Identification		Terrace Deposits	Fill	Loose Sand
power (m)		0.5000	0.5000	0.5000
Use alternatives		No	No	No
$C_c$		6.321E-3	6.321E-3	6.321E-3
$C_s$		1.891E-3	1.891E-3	1.891E-3
$e_{init}$		0.5000	0.5000	0.5000
$c_{ref}$	lbf/ft <sup>2</sup>	5.000	10.00	5.000
(phi)	°	34.00	40.00	32.00
(psi)	°	4.000	10.00	0.000
$\alpha_{0.7}$		0.1090E-3	0.1090E-3	0.1090E-3
$G_0^{ref}$	lbf/ft <sup>2</sup>	2.550E6	2.550E6	2.550E6
Set to default values		No	No	No
$\nu_{ur}$		0.2000	0.2000	0.2000
$p_{ref}$	lbf/ft <sup>2</sup>	2089	2089	2089
$K_0^{nc}$		0.4408	0.3572	0.4701
$c_{inc}$	lbf/ft <sup>2</sup> /ft	0.000	0.000	0.000
$Z_{ref}$	ft	0.000	0.000	0.000
$R_f$		0.9500	0.9500	0.9500

Identification		Terrace Deposits	Fill	Loose Sand
Tension cut-off		Yes	Yes	Yes
Tensile strength	lbf/ft <sup>2</sup>	0.000	0.000	0.000
Undrained behaviour		Standard	Standard	Standard
Skempton-B		0.9866	0.9866	0.9866
$u$		0.4950	0.4950	0.4950
$K_{w,ref} / n$	lbf/ft <sup>2</sup>	140.5E6	140.5E6	140.5E6
Failure criterion		Mohr-Coulomb	Mohr-Coulomb	Mohr-Coulomb
Stiffness		Standard	Standard	Standard
Strength		Manual	Rigid	Manual
$R_{inter}$		0.7000	1.000	0.7000
Consider gap closure		Yes	Yes	Yes
$inter$		0.000	0.000	0.000
Cross permeability		Impermeable	Impermeable	Impermeable
Drainage conductivity $_1, dk$	ft <sup>3</sup> /day/ft	0.000	0.000	0.000
Drainage conductivity $_2, dk$	ft <sup>3</sup> /day/ft	0.000	0.000	0.000
$K_0$ determination		Automatic	Automatic	Automatic
$K_{0,x} = K_{0,y}$		Yes	Yes	Yes

Identification		Terrace Deposits	Fill	Loose Sand
$K_{0,x}$		0.4408	0.3572	0.4701
$K_{0,y}$		0.4408	0.3572	0.4701
OCR		1.000	1.000	1.000
POP	lbf/ft <sup>2</sup>	0.000	0.000	0.000
$k_x$	ft/day	0.8607	0.8607	0.8607
$k_y$	ft/day	0.8607	0.8607	0.8607
$k_z$	ft/day	0.8607	0.8607	0.8607
$e_{init}$		0.5000	0.5000	0.5000
$S_s$	1/ft	0.000	0.000	0.000
$c_k$		1000E12	1000E12	1000E12


### 1.1.2.1.2 Materials - Soil and interfaces - Hoek-Brown

Identification		Terry Sandstone
Identification number		2
Drainage type		Drained
Colour		
Comments		
$e_{unsat}$	lbf/ft <sup>3</sup>	120.0
$e_{sat}$	lbf/ft <sup>3</sup>	125.0
Dilatancy cut-off		No
$e_{init}$		0.5000
$e_{min}$		0.000
$e_{max}$		999.0
$E'_{rm}$	lbf/ft <sup>2</sup>	20.89E6
(nu)		0.1500
$ c_i $	lbf/ft <sup>2</sup>	3.655E6

Identification		Terry Sandstone
$m_i$		17.00
GSI		80.00
D		0.000
$m_b$		8.322
s		0.1084
a		0.5006
$t$	lbf/ft <sup>2</sup>	47.59E3
$c$	lbf/ft <sup>2</sup>	-1.202E6
$m_{max}$	o	0.000
	lbf/ft <sup>2</sup>	0.000
Undrained behaviour		Standard
Stiffness		Standard
Strength		Manual
$R_{inter}$		0.7000
Consider gap closure		Yes
$m_{inter}$		0.000
Cross permeability		Impermeable

Identification		Terry Sandstone
Drainage conductivity $_1$ , dk	ft <sup>3</sup> /day/ft	0.000
Drainage conductivity $_2$ , dk	ft <sup>3</sup> /day/ft	0.000
$K_0$ determination		Manual
$K_{0,x} = K_{0,y}$		Yes
$K_{0,x}$		1.000
$K_{0,y}$		1.000
$k_x$	ft/day	0.000
$k_y$	ft/day	0.000
$k_z$	ft/day	0.000
$e_{init}$		0.5000
$c_k$		1000E12

### 1.1.2.1.3 Materials - Soil and interfaces - Concrete

Identification		Concrete_4ksi
Identification number		3
Drainage type		Non-porous
Colour		
Comments		
$e_{unsat}$	lbf/ft <sup>3</sup>	145.0
$e_{sat}$	lbf/ft <sup>3</sup>	145.0
Dilatancy cut-off		No
$e_{init}$		0.5000
$e_{min}$		0.000
$e_{max}$		999.0
E_28	lbf/ft <sup>2</sup>	734.0E6
(nu)		0.1000
$f_{c,28}$	lbf/ft <sup>2</sup>	1.150E6





Identification		Concrete_4ksi
$f_{c0n}$		0.1500
$f_{cfn}$		0.000
$f_{cun}$		0.000
$G_{c,28}$	lbf/ft	7341
max	°	37.00
	°	5.000
$\gamma_c$		1.000
$f_{t,28}$	lbf/ft <sup>2</sup>	80.64E3
$f_{tun}$		0.000
$G_{t,28}$	lbf/ft	734.0
ft		1.000
Time dependent behaviour		No
$E_1/E_{28}$		1.000
$f_{c,1}/f_{c,28}$		1.000
$\alpha_{cp}$		-1.400E-3
a		18.00
Shrinkage behaviour		No


Identification		Concrete_4ksi
$\epsilon^{shr}$		0.000
$t_{50,shr}^{^p}$	day	0.000
Creep behaviour		No
$\epsilon^{cr}$		0.000
$t_{50}^{^cr}$	day	0.000
Stiffness		Standard
Strength		Rigid
$R_{inter}$		1.000
Consider gap closure		Yes
$\epsilon_{inter}$		0.000
Cross permeability		Impermeable
Drainage conductivity $_1, dk$	ft <sup>3</sup> /day/ft	0.000
Drainage conductivity $_2, dk$	ft <sup>3</sup> /day/ft	0.000
$K_0$ determination		Automatic
$K_{0,x} = K_{0,y}$		Yes
$K_{0,x}$		0.3982
$K_{0,y}$		0.3982

Identification		Concrete_4ksi
$k_x$	ft/day	0.000
$k_y$	ft/day	0.000
$k_z$	ft/day	0.000
$e_{init}$		0.5000
$c_k$		1000E12

### 1.1.2.2 Materials - Geogrids -

<b>Identification</b>		<b>Pyrawall 75</b>	<b>UX1700</b>
Identification number		1	2
Comments			
Colour			
Material type		Elastic	Elastic
Isotropic		No	Yes
EA <sub>1</sub>	lbf/ft	4000	3840
EA <sub>2</sub>	lbf/ft	2000	3840
GA	lbf/ft	1000	1920
Identification number		1	2
Identification number		1	2


### 1.1.2.3 Materials - Plates -

Identification		SC_8in
Identification number		1
Comments		6ksi
Colour		
Material type		Elastic
d	ft	0.6700
	lbf/ft <sup>3</sup>	140.0
Isotropic		Yes
E <sub>1</sub>	lbf/ft <sup>2</sup>	3.000E9
E <sub>2</sub>	lbf/ft <sup>2</sup>	3.000E9
<sub>12</sub>		0.2500
G <sub>12</sub>	lbf/ft <sup>2</sup>	1.200E9
G <sub>13</sub>	lbf/ft <sup>2</sup>	1.200E9
G <sub>23</sub>	lbf/ft <sup>2</sup>	1.200E9

<b>Identification</b>		<b>SC_8in</b>
Rayleigh		0.000
Rayleigh		0.000
Prevent punching		No
Identification number		1

### 1.1.2.4 Materials - Beams -

Equivalent stiffness based on 4.5"  
drillhole with X51mm steel bar;  
contribution of grout stiffness ignored  
assuming fully cracked condition

Identification		X51
Identification number		1
Comments		
Colour		
Material type		Elastoplastic
E	lbf/ft <sup>2</sup>	572.0E6
	lbf/ft <sup>3</sup>	50.00
Beam type		Predefined
Predefined beam type		Massive circular beam
Diameter	ft	0.3750
A	ft <sup>2</sup>	0.1104
I <sub>2</sub>	ft	0.9707E-3
I <sub>3</sub>	ft	0.9707E-3
Yield stress $\sigma_y$	lbf/ft <sup>2</sup>	1.239E6

corresponding  
nominal moment of  
6.304 kip-ft per steel  
section

<b>Identification</b>		<b>X51</b>
Critical direction		Local direction 2
$W_2$	ft <sup>3</sup>	5.177E-3
Rayleigh		0.000
Rayleigh		0.000
Identification number		1



# PLAXIS 3D STABILITY MODEL INPUT

Geogrid - Pyramat 75

Mechanical Thermal

Property	Unit	Value
<b>Material set</b>		
Identification		Pyramat 75
Comments		
Colour		255, 0, 0
Material type		Elastic
<b>Properties</b>		
Isotropic		<input type="checkbox"/>
EA <sub>1</sub>	lbf/ft	4000
EA <sub>2</sub>	lbf/ft	2000

Colour

Red: 255  
Green: 0  
Blue: 0  
Hue: 0  
Saturation: 100%  
Lightness: 50%

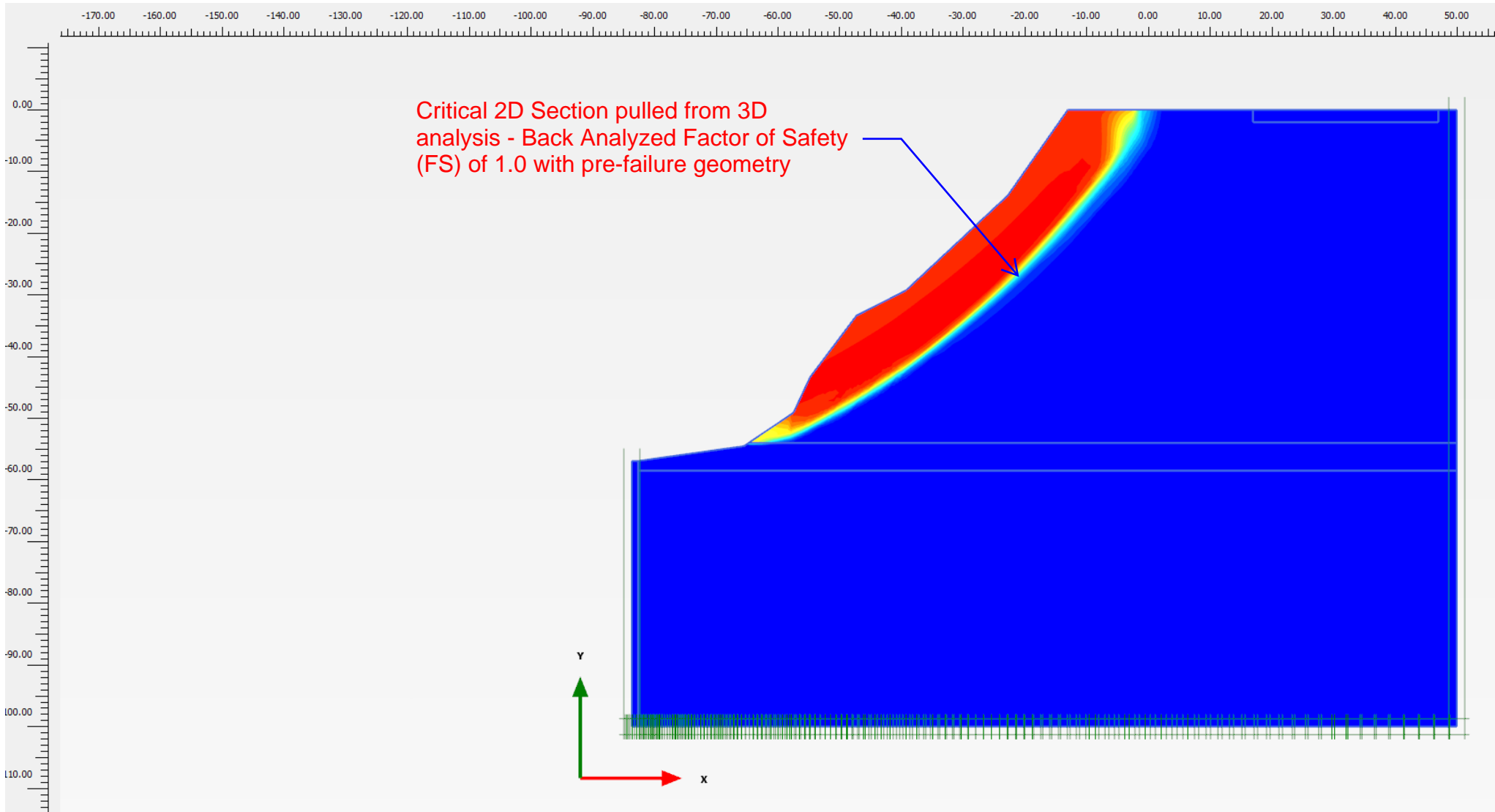
Favourites

--	--	--	--	--	--	--	--

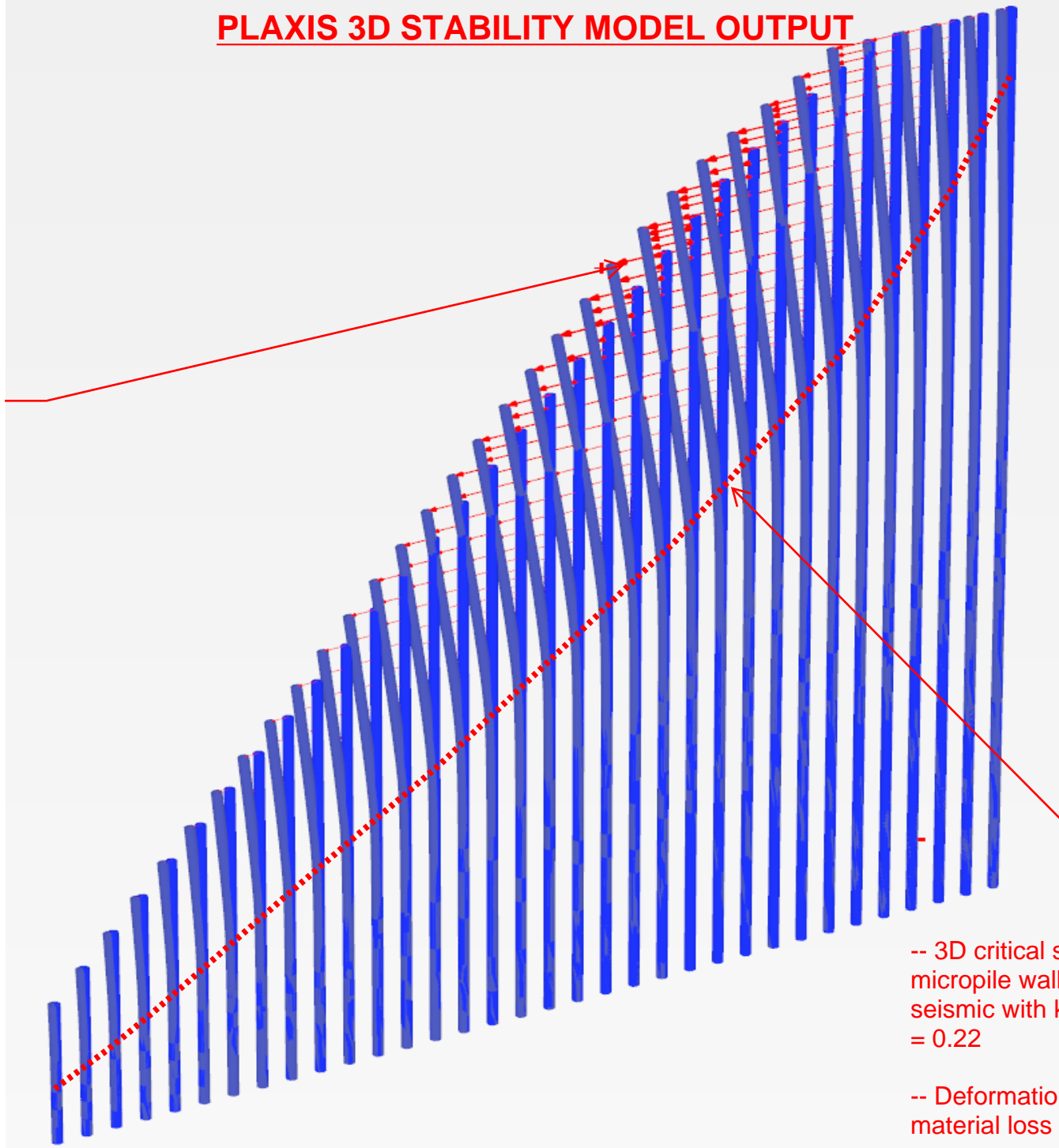
Save colour as favourite 1

OK Cancel

# PLAXIS 3D STABILITY MODEL OUTPUT



## PLAXIS 3D STABILITY MODEL OUTPUT

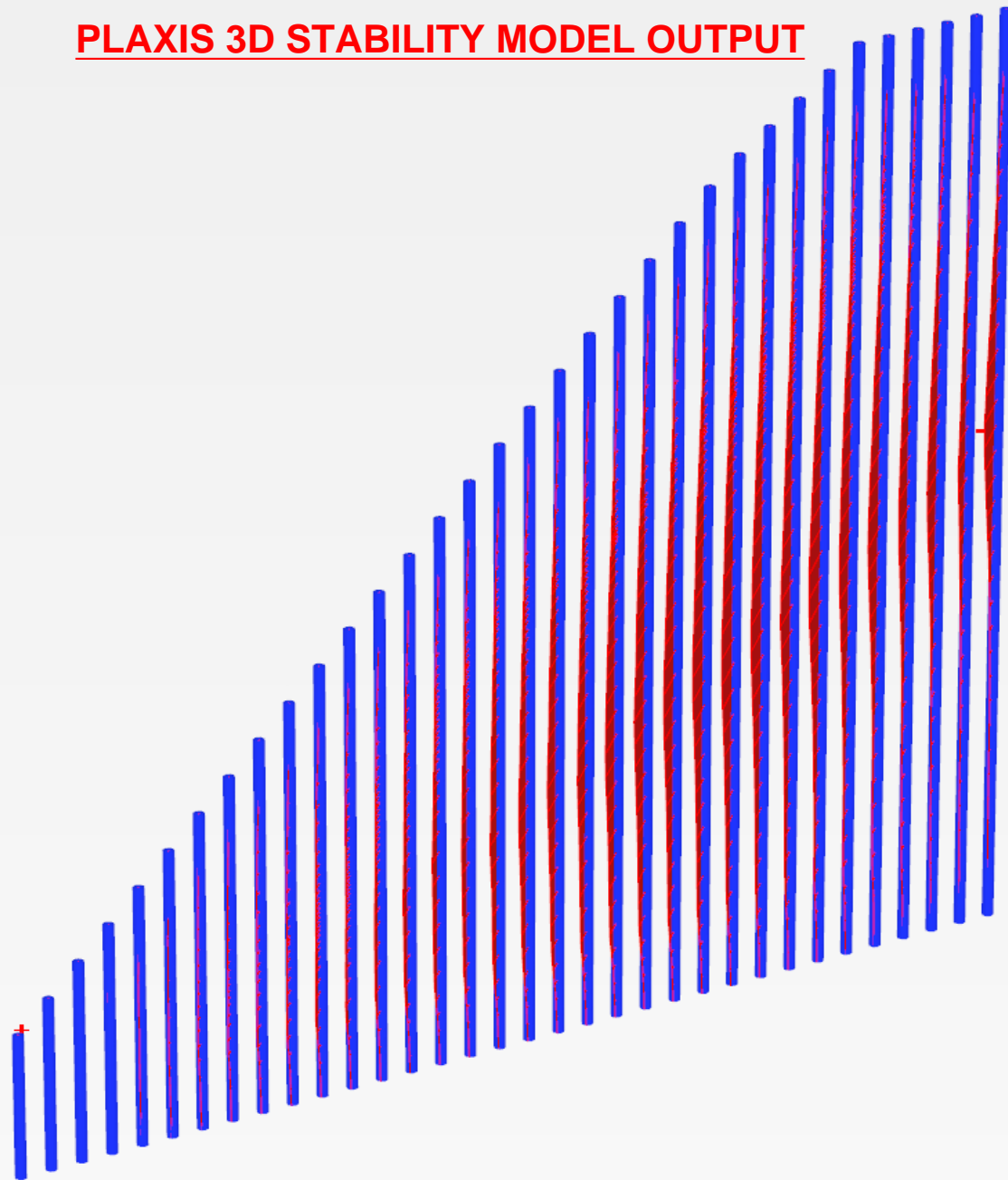


deformed piles from pushover analysis. System designed to accommodate up to 1" of total pile deformation.

-- 3D critical slip surface along micropile wall. FS = 1.5 static and 1.1 seismic with  $kh = 0.5PGA = 0.5 (0.44) = 0.22$

-- Deformation accounts for up to 6ft of material loss below shotcrete facing.

# PLAXIS 3D STABILITY MODEL OUTPUT



Axial forces N (scaled up  $0.100 \cdot 10^{-3}$  times)

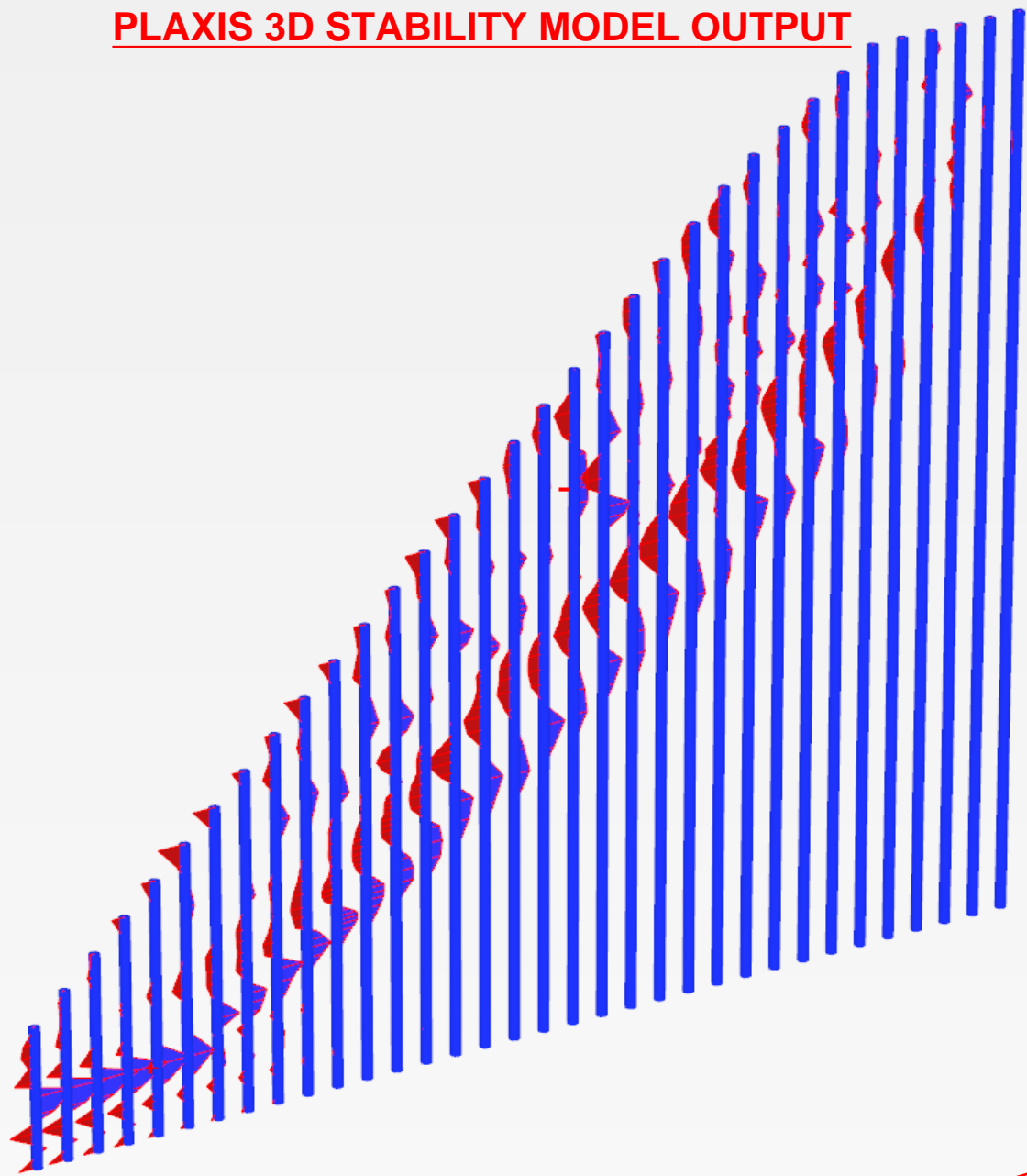
Maximum value = 679.9 lbf (Element 602 at Node 221)

Minimum value =  $-39.88 \cdot 10^3$  lbf (Element 136 at Node 2647)

-- Design Test Load =  
DTL = 40 kips / 65 ft =  
615 lbs/ft < Design Bond  
of 750 lbs/ft, OK

-- Loading accounts for  
up to 6ft of material loss  
below shotcrete facing.

# PLAXIS 3D STABILITY MODEL OUTPUT

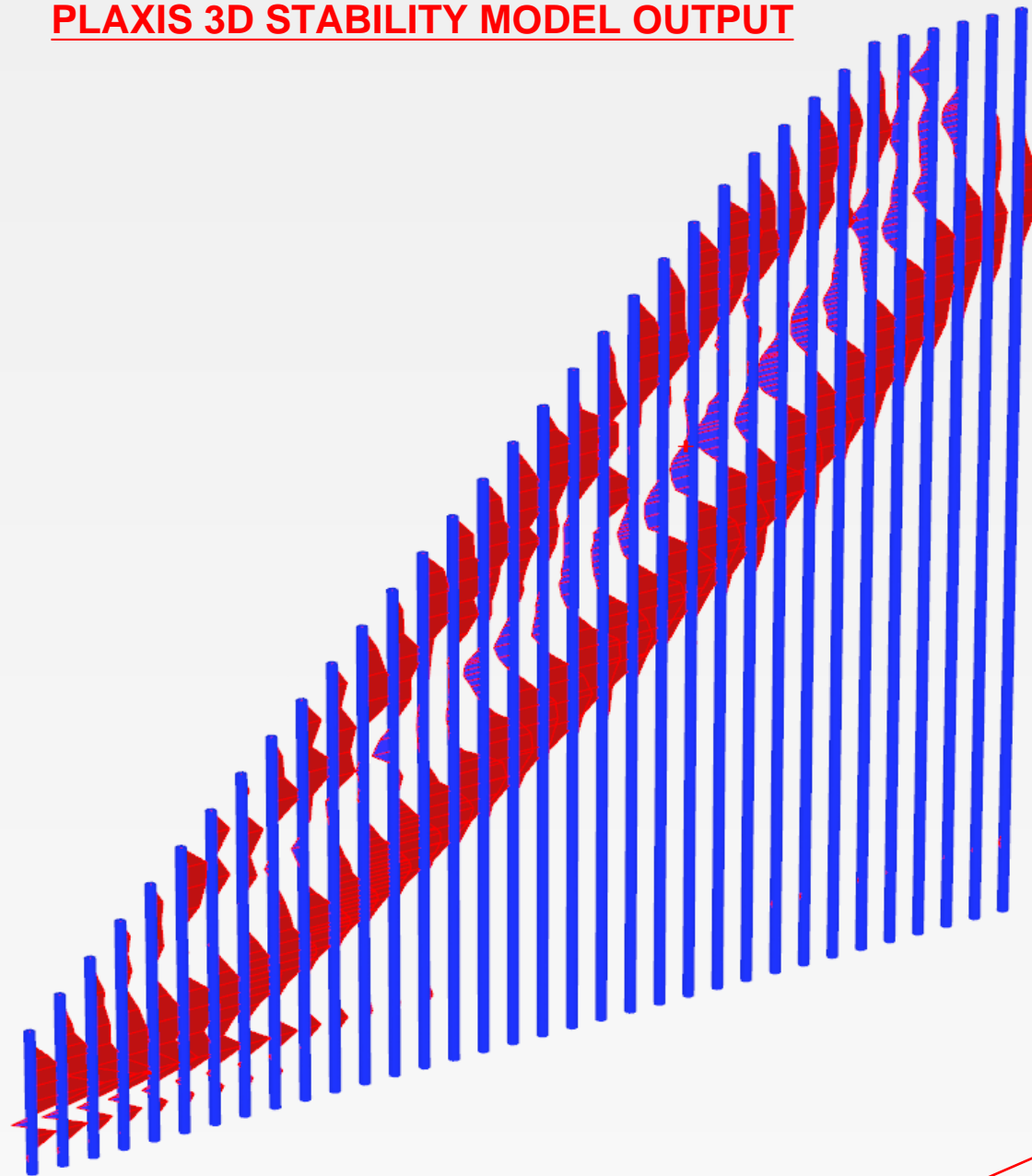


Shear forces  $Q_{12}$  (scaled up  $5.00 \cdot 10^{-3}$  times)  
Maximum value = 551.1 lbf (Element 586 at Node 279)  
Minimum value = -387.3 lbf (Element 354 at Node 2444)

-- Shear Strength Utilization = 551 lbs / 17,000 lbs = 3%

-- Accounts for up to 6ft of material loss below shotcrete facing.

# PLAXIS 3D STABILITY MODEL OUTPUT



Bending moments  $M_3$  (scaled up  $5.00 \times 10^{-3}$  times)

Maximum value = 364.3 lbf ft (Element 265 at Node 2955)

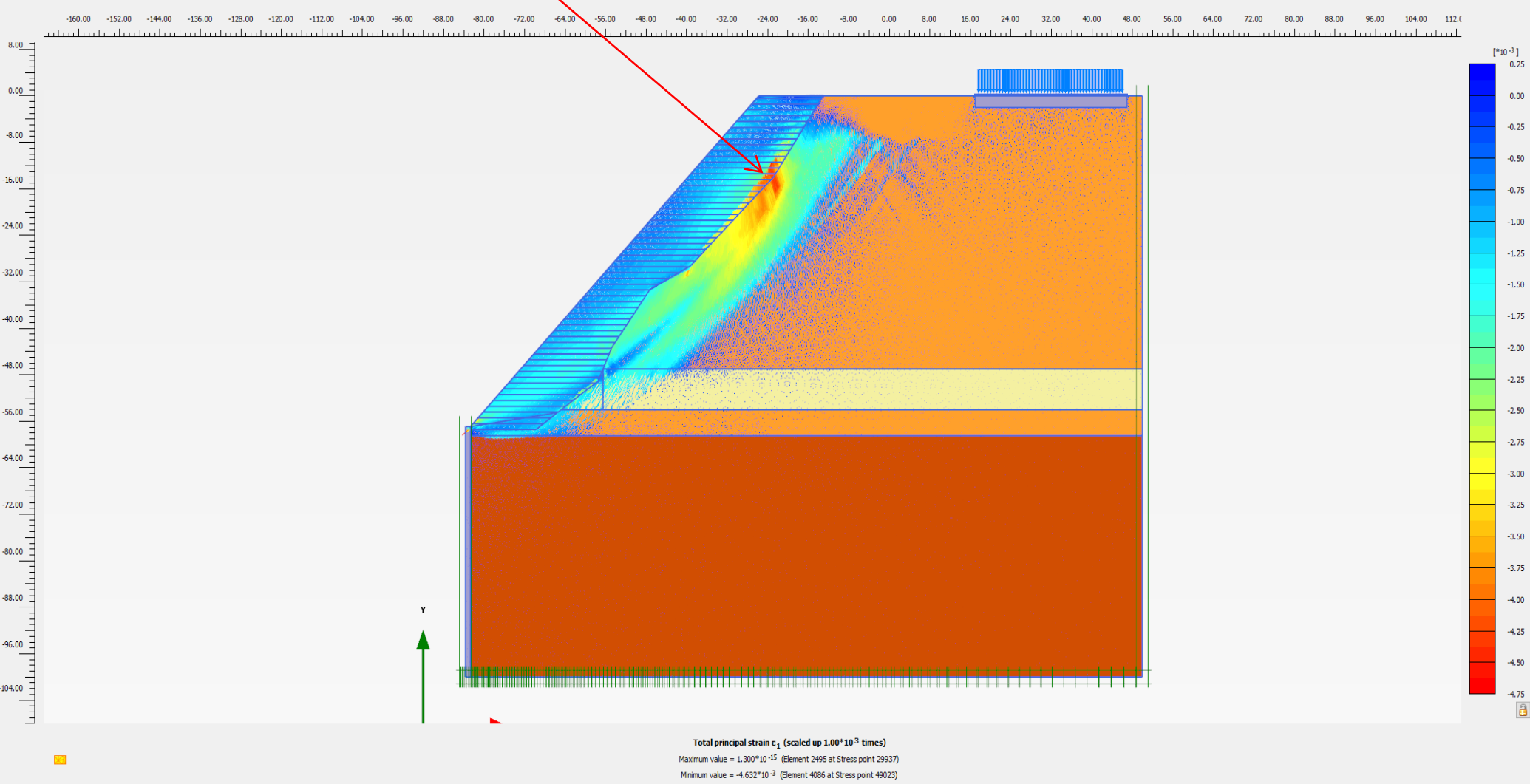
Minimum value = -985.4 lbf ft (Element 592 at Node 280)

-- Moment Utilization  
=  $986 \times 1.1 \text{ lbs-ft} / 6400 \text{ lbs-ft} = 17\%$

-- Accounts for up to 6ft of material loss below shotcrete facing.

# PLAXIS 3D STABILITY MODEL OUTPUT

Critical 2D section pulled from 3D analysis - max strain increment in the grid reinforcement is ~1% of ultimate value.

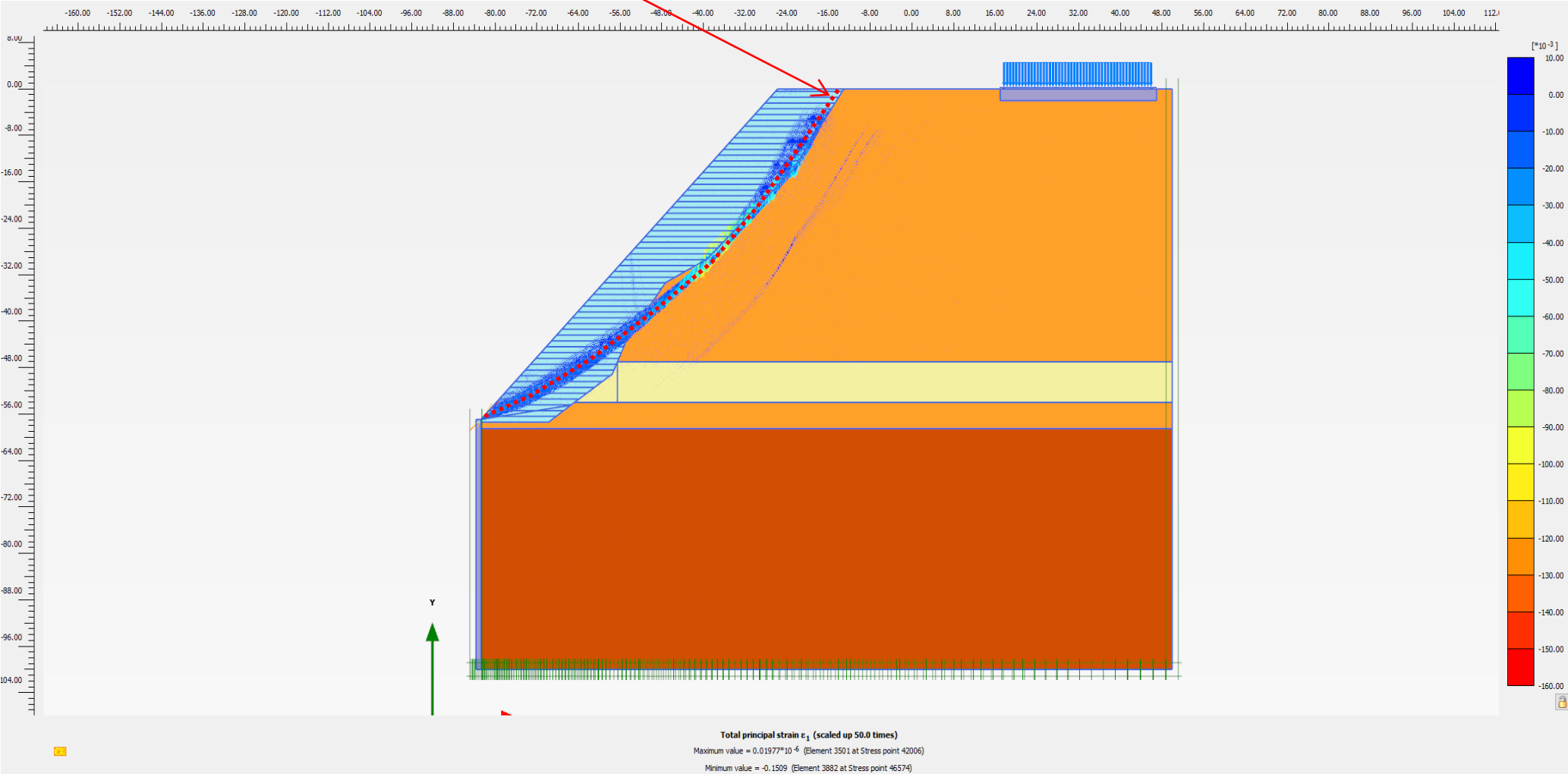


# PLAXIS 3D STABILITY MODEL OUTPUT

Critical 2D section pulled from 3D analysis.

-- static global stability FS = 1.51

-- seismic global stability FS = 1.12





## Appendix C - Calculations

## Facing Calculations

### Design Approach/Assumptions –

- ACI 318-14 Code Edition.
- Reinforced shotcrete facing treated as a cantilevered beam/one-way slab.
  - L/H ratio > 2
- Conservatively assumed full lateral earth pressure (dead load) from RSS acting on wall.
  - Actual lateral pressure is over 100 times less than that used in design of the facing (Crouse and Wu, 2003).
- Seismic load treated as live load.
  - Mononobe-Okabe Method used to calculate dynamic lateral earth pressure.
- Wall height (length of beam/slab) of 12 feet used for length of beam in moment calculation.

## Reinforced Shotcrete Design – Check For Steel Percentage

Concrete Beam/1-way Slab Calculator	
<b>Beam Geometries:</b> height of the beam h = 18 in width of the beam b <sub>w</sub> = 8 in cover cov = 2 in distance to rebar d = 16 in 0 for beam, 1 for slab var = 1 0.75 for spiral, 0.65 for other var 2 = 0.65	<p>Figure 1: Concrete Beam Diagram in a balanced condition</p>
<b>Concrete Properties:</b> Strength of the Steel f <sub>y</sub> = 60000 psi Strength of the Concrete f <sub>c</sub> = 4000 psi Stress Block Ratio β <sub>1</sub> = 0.85 Strength Reduction Factor Φ = 0.90 Steel in Member A <sub>s</sub> = 2.05 in <sup>2</sup>	<b>Equations Used:</b> $A_{s-min} (beams) = \frac{3\sqrt{f_c} b_w d}{f_y} \leq \frac{200 b_w d}{f_y}$ $A_{s-min} (slabs) = 0.002 b_w d$ $a = \frac{A_s f_y}{0.85 f_c' b}$ $c = \frac{a}{\beta_1} \quad \epsilon_s = 0.003 \left( \frac{d-c}{c} \right)$ $M_n = A_s f_y \left( d - \frac{a}{2} \right)$
<b>Check Min Steel:</b> Min amount of steel: A <sub>s-min</sub> = 0.26 in <sup>2</sup> Steel to be used: A <sub>s</sub> = 2.05 in <sup>2</sup>	<p>Figure 2: Tension/Compression/Transition zones with corresponding Strength Reduction Factors</p>
<b>Check Tension Controlled:</b> Find Compression depth: a = 4.532353 in Tension control check: c = 5.33218 ε <sub>t</sub> = 0.006002 <b>Tension Controlled</b>	
<b>Solve for Capacity:</b> M <sub>n</sub> = 1693106 lb-in <b>ΦM<sub>n</sub> = 1523795 lb-in</b> <b>127.0 k-ft</b>	
<b>Notes:</b> 1) Created using ACI 318-14 2) If ε <sub>t</sub> is greater than 0.005, the beam/slab is tension controlled. If ε <sub>t</sub> is less than 0.002, the beam/slab is compression controlled. If it is between the two, the beam/slab is in transition (See Figure 2).	

## Reinforced Shotcrete Design – Check Against Loads

f'c (psi)	4,000	psi	60	psi
L (ft)	144	in.	0.9	in.
L.R.	W4.0 mesh + #5 bar + X51 bar	Area= 1.94	T.R.	W4.0 mesh + #5 bar Area=0.13
b	8	in.		
DL	4	k	1	k
$\phi =$	0.9			
h=	18	in.		
d=	16	in.		
$W_{DL} =$	3.5	k/ft		
$W_{LL} =$	1.4	k/ft		
$W_U =$	6.5	k/ft		
$M_U =$	117.5	k-ft		
$R_n =$	0.7648	ksi		
p=	0.0127	%		
$\rho_{min} =$	0.0033	%		
$\rho_{max} =$	18.0625	%		
<b>Steel Percentage is Satisfactory</b>				
<b>Steel to be Used, <math>A_s</math></b>	2.07	in <sup>2</sup>		
<b><math>A_s</math> calc.</b>	$A_{s, mesh} * 2 \text{ layers} + (A_{s, \#5 bar} * 2 / \text{ft of wall}) + A_{s, X51} * 1 \text{ full bar between each span}$			
	0.119*2+(0.3*2/18)+1.8*2*0.5			
$\phi$ Mn	127.0000	k-ft		
$\phi$ Mn > Mu	<b>Design is Satisfactory</b>			

**Reinforced Shotcrete Design – Check Against Loads - Formulas Shown**

$\phi =$	0.9		in.
$h =$	18		in.
$d =$	=B61-2		k/ft
$W_{dl} =$	$=(0.5*0.39*125*(B55/12)^2)*0.001$		k/ft
$W_{ll} =$	$=2169.41*0.001*(B57/12)$		k/ft
$W_u =$	$=(1.2*B63)+(B64*1.6)$		k-ft
$M_u =$	$=(B65*(B55/12)^2)/8$		ksi
$R_n =$	$=B66*12/(B60*B57*B62^2)$		%
$\rho =$	$(((0.85*B54)/E54)*(1-(SQRT(1-(2*B67)/(0.85*B54))))$		%
$\rho_{min} =$	$=200/(E54*1000)$		%
$\rho_{max} =$	$=(3/8)*((0.85*B54*1000*0.85)/(60*1000))$		%
<b>=IF(AND(B68&gt;B69,B68&lt;B70), "Steel Percentage is Satisfactory", "Steel Percentage is not Satisfactory")</b>			
<b>Steel to be Used, <math>A_s</math></b>	$=0.119*2+(0.3*2/B61)+1.8*2*0.5$		in <sup>2</sup>
<b>As calc.</b>	$A_{s, mesh} * 2 \text{ layers} + (A_{s, \#5 \text{ bar}} * 2/\text{ft of wall}) + A_{s, \#1} * 1 \text{ full bar between each span}$		in <sup>2</sup>
	$0.119*2+(0.3*2/18)+1.8*2*0.5$		in <sup>2</sup>
$\phi \text{ Min}$	127		k-ft
$\phi \text{ Min} > M_u$	<b>=IF(B76&gt;B66, "Design is Satisfactory", "Design is not Satisfactory")</b>		

## Tensile and Compression Capacity

### Corrosion Calculations FHWA-CFL/TD-10-002

#### Material Properties

Bar Type	X51
Bar Area (Ac)	1.795 sq in
Outside Diameter (D)	2 in
Inside Diameter (Di)	1.187 in
Yield Strength (Fy)	152.0 kips
Grade Steel (fy)	85 ksi
Design Life	75 yr

#### FHWA Sacrificial Steel Calculations

$$D_o = \left[ \left( \frac{4 * A_c}{\pi} \right) + (d_i^2) \right]^{0.5}$$

Do	1.92 in	Calculated Outer Diameter
----	---------	---------------------------

X	4.00 mm	Thickness of Sacrificial Steel metric
---	---------	---------------------------------------

X	0.158 in	Thickness of Sacrificial Steel uscs
---	----------	-------------------------------------

$$D_{eff} = D_o - 2X$$

Deff	1.61 in	Effective Bar Diameter
------	---------	------------------------

$$A_{red} = \frac{\pi * D_{red}^2}{4} - \frac{\pi * D_{in}^2}{4}$$

Areduced	0.92 sq in	Reduced Steel Area
----------	------------	--------------------

$$R_T = A_{reduced} * f_y$$

RT	117.8 kips	Nominal Tensile Capacity
----	------------	--------------------------

ΦT	0.75	ASTM A615 Tensile Resistance
----	------	------------------------------

T Reduced	88.4 kips	Reduced Tensile Capacity
-----------	-----------	--------------------------

Load Combination Factor	1.35	Static Load Combination Factor
-------------------------	------	--------------------------------

T Design	65.5 kips	Design Tensile Capacity
----------	-----------	-------------------------

Bar tensile capacity for 75-yr design life – Static condition

**Corrosion Calculations FHWA-CFL/TD-10-002**

**Material Properties**

Bar Type	X51
Bar Area (Ac)	1.795 sq in
Outside Diameter (D)	2 in
Inside Diameter (Di)	1.187 in
Yield Strength (Fy)	152.0 kips
Grade Steel (fy)	85 ksi
Design Life	75 yr

**FHWA Sacrificial Steel Calculations**

$$D_o = \left[ \left( \frac{4 * A_c}{\pi} \right) + (d_i^2) \right]^{0.5}$$

Do	1.92 in	Calculated Outer Diameter
----	---------	---------------------------

X	4.00 mm	Thickness of Sacrificial Steel met
---	---------	------------------------------------

X	0.158 in	Thickness of Sacrificial Steel uscs
---	----------	-------------------------------------

$$D_{eff} = D_o - 2X$$

Deff	1.61 in	Effective Bar Diameter
------	---------	------------------------

$$A_{red} = \frac{\pi * D_{red}^2}{4} - \frac{\pi * D_{in}^2}{4}$$

Areduced	0.92 sq in	Reduced Steel Area
----------	------------	--------------------

$$R_T = A_{reduced} * f_y$$

RT	117.8 kips	Nominal Tensile Capacity
----	------------	--------------------------

ΦT	0.75	ASTM A615 Tensile Resistance
----	------	------------------------------

T Reduced	88.4 kips	Reduced Tensile Capacity
-----------	-----------	--------------------------

Load Combination Factor	1.00	Static Load Combination Factor
-------------------------	------	--------------------------------

T Design	<b>88.4 kips</b>	Design Tensile Capacity
----------	------------------	-------------------------

Bar tensile capacity for 75-yr design life – Seismic condition

**Allowable Compression Loads - Micropiles**

<b>Pile Dimensions / Properties</b>			
Bar Type	X51	-	
Bar Dia. (OD)	2	in	
Bar Dia. (ID)	1.187	in	
Hole Dia.	4.5	in	
Reduced Area of Steel	0.92	in <sup>2</sup>	<= Reduced for Corrosion
Area of Grout	14.98	in <sup>2</sup>	
Steel Fy	85	ksi	
Grout f'c	4	ksi	
<b>FHWA NHI 05-039: Allowable Compression Load</b>			
$P_{c-allowable} = (0.4f'_c \times A_{grout} + 0.47F_{y-bar} \times A_{bar})$		(Eq. 5-7)	
P_c-allowable	61	kips	
Max Compression Load	40	kips	
Structural Check	OK		

Bar compression capacity for 75-yr design life

## Appendix D - Material Properties



## Self-Drilling SuperNails™

- Hollow bar: X51
  - Nominal Diameter: 51 mm (or equivalent) O.D.
  - Minimum Yield Strength: 152 kips (or equivalent)
  - Embedment Length: Per Plans
  - Grouting Pressure: As required for grout return at surface
  - Drilling Fluid: Neat Cement Grout or Air if approved by GSI engineer
  - Corrosion Protection: Sacrificial Steel for a design life of 75 years
  - Centralizers: Not applicable for injection drilling systems
  - Couplers: Shall conform to ASTM A29, similar or greater strength than bar

Material certificates can be submitted upon delivery of material to the site.

## Facing Reinforcement

- 8-Inch Nominal Shotcrete
- Welded-Wire Mesh
  - Geometry
    - Size: 4 in x 4 in
    - Diameter of Wire: 4.0 gauge
  - Material
    - Tensile Strength of Wire: 60 ksi
- Bearing Plates: 6"x6"x1/2" ASTM A36
- Steel Nuts: Shall conform to ASTM A108

## Drain Strip

12" wide Geocomposite Sheet Drain: Shall be manufactured with a drainage core and a drainage geotextile encapsulating the core. The drainage shall have a minimum compressive strength of 6000 psf when tested in accordance with ASTM D6364. The geotextile shall have a minimum flow rate of 20 gallons per minute per foot of width when tested in accordance with the requirements given in ASTM D 4716.

## Shotcrete

Shotcrete shall be a pumpable mixture with a minimum 28-day compressive strength of 4,000 psi. Use type I, I/II, or V cement. Shotcrete shall comply with the requirements of ACI 506.2, "Specifications for Materials, Proportioning and Application of Shotcrete". The wet-mix process consists of thoroughly mixing all ingredients, introducing the mixture into the delivery equipment, and delivering it by positive displacement.

## Shotcrete Mix Design

- Minimum 28-day compressive strength: 4,000 psi
- Target water to cement ratio: 0.4 to 0.5
- Target slump: 3 to 4 inches
- Target gradation: ACI No. 2 or as approved by GSI Engineer

**Placement:**

Weather is a key factor in the placement of shotcrete because it affects how quickly the material matures and gains strength. Refer to the construction drawings for information regarding shotcrete placement and curing in cold and hot weather situations.

**Grout**

- Minimum 28-day compressive strength: 4,000 psi
- Target water to cement ratio: 0.5 to 0.6
- Density Range: 108.6 to 112.2 pcf
- Portland Cement: Type V



## Geo-Drill Injection Anchor System

The Williams Geo-Drill Injection Anchor System is today's solution for a fast and efficient anchoring system into virtually any type of soil. The system has historically been known as a "self-drilling anchoring" because the hollow fully-threaded bar serves as both the drill string and the grouted anchor, thus installation is performed in a single operation. The sacrificial drill bit is threaded onto the end of the Hollow Injection Bar and left in place following drilling. The drilling fluid (air, water, or grout) is introduced through the hollow bar and allows the spoils to flush from the borehole.

The Geo-Drill System is particularly suitable for soils that do not allow for open-hole drilling (i.e. granular soils that are collapsible in nature). In such cases, drilling with a grout fluid serves the purpose of flushing spoils from the borehole and prevents looser, surrounding material from collapsing due to the higher relative density of the grout. Williams Geo-Drill Injection Anchor System should be considered on any project requiring fast production that would otherwise need to involve a casing system in order to maintain borehole stability.



### Advantages of the Williams Geo-Drill Injection Anchor System

- Fully domestic system available.
- Fast, single-step anchoring system with simple equipment.
- Eliminates the need for a cased borehole in collapsing soils.
- Efficient installation since drilling and grouting can be performed in a single operation, saving both time and money.
- Continuously drilling and grouting under high pressure causes the grout to permeate into looser soils and creates a bulb-effect for increased bond capacity.
- Suitable for working in limited space and areas of difficult access.
- Multiple ranges of drill bits suitable for most soil conditions.
- Installed with standard track drill (top hammer) or hand-held drilling equipment, eliminating the need for larger casing rigs.
- Continuously threaded bar pattern can be cut and coupled anywhere along its length.
- Domestic available in 10' or 20' lengths, non-domestic available in 3 meter lengths only.
- Corrosion protection systems available upon request.
- FHWA approved for use as a micropile or soil nail (Domestic Hollow Injection Bar only)

### B7X1 Domestic Hollow Injection Bar

Bar Diameter	Average Inner Diameter	Minimum Net Area Through Threads	Minimum Ultimate Strength	Minimum Yield Strength	Nominal Weight	Part Number
32 mm (1-1/4")	0.787" (20.0 mm)	0.556 in <sup>2</sup> (359 mm <sup>2</sup> )	58.4 kips (260 kN)	47.2 kips (210 kN)	2.1 lbs/ft (3.1 kg/m)	B7X1-032N
32S mm (1-1/4")	0.626" (15.9 mm)	0.776 in <sup>2</sup> (501 mm <sup>2</sup> )	81.5 kips (363 kN)	66.0 kips (294 kN)	2.7 lbs/ft (4.0 kg/m)	B7X1-032S
38 mm (1-1/2")	0.830" (21.1 mm)	1.067 in <sup>2</sup> (688 mm <sup>2</sup> )	112 kips (498 kN)	90.7 kips (404 kN)	3.76 lbs/ft (5.6 kg/m)	B7X1-038N
51 mm (2")	1.187" (30.1 mm)	1.795 in <sup>2</sup> (1158 mm <sup>2</sup> )	188 kips (837 kN)	152 kips (677 kN)	6.26 lbs/ft (9.3 kg/m)	B7X1-051N
76 mm (3")	1.890" (48.0 mm)	3.880 in <sup>2</sup> (2503 mm <sup>2</sup> )	407 kips (1811 kN)	329 kips (1466 kN)	13.79 lbs/ft (20.5 kg/m)	B7X1-076N

### B7Y1 Non-Domestic Hollow Injection Bar

Bar Designation & Outer Diameter	Average Inner Diameter	Minimum Net Area Through Threads	Minimum Ultimate Strength	Minimum Yield Strength	Nominal Weight	Part Number
T30S - 30 mm (1.18")	11 mm (0.43")	0.662 in <sup>2</sup> (427 mm <sup>2</sup> )	71.9 kips (320 kN)	58.5 kips (260 kN)	2.42 lbs/ft (3.6 Kg/M)	B7Y1-030S
T40N - 40 mm (1.57")	20 mm (0.79")	1.046 in <sup>2</sup> (675 mm <sup>2</sup> )	121 kips (539 kN)	96.7 kips (430 kN)	4.23 lbs/ft (6.3 Kg/M)	B7Y1-040N
T40S - 40 mm (1.57")	16 mm (0.63")	1.222 in <sup>2</sup> (788 mm <sup>2</sup> )	148 kips (660 kN)	118 kips (525 kN)	4.84 lbs/ft (7.2 Kg/M)	B7Y1-040S
T52N - 52 mm (2.05")	24 mm (0.94")	1.874 in <sup>2</sup> (1209 mm <sup>2</sup> )	209 kips (929 kN)	164 kips (730 kN)	6.92 lbs/ft (10.3 Kg/M)	B7Y1-052N
* T73N - 73 mm (2.87")	53 mm (2.08")	2.5 in <sup>2</sup> (1615 mm <sup>2</sup> )	260 kips (1160 kN)	218 kips (970 kN)	8.9 lbs/ft (13.2 Kg/M)	B7Y1-073N *
T76S - 76 mm (2.99")	45 mm (1.77")	3.891 in <sup>2</sup> (2510 mm <sup>2</sup> )	427 kips (1900 kN)	337 kips (1500 kN)	13.23 lbs/ft (19.7 Kg/M)	B7Y1-076S
* T103N - 103 mm (4.06")	78 mm (3.07")	4.87 in <sup>2</sup> (3140 mm <sup>2</sup> )	510 kips (2270 kN)	405 kips (1800 kN)	17.0 lbs/ft (25.3 Kg/M)	B7Y1-103N *
* T130N - 130 mm (5.12")	60 mm (2.36")	16.2 in <sup>2</sup> (10452 mm <sup>2</sup> )	1785 kips (7940 kN)	1180 kips (5250 kN)	50.4 lbs/ft (78 Kg/M)	B7Y1-130N *

\* Diameter available on special order. Contact your Williams representative for fastener and drill bit information.



## Accessories

### Threaded Bar Profile

The Hollow Injection Bar is a high strength, impact resistant heavy wall steel tubing conforming to ASTM A519 or A513 and is continuously threaded over its entire length with a heavy duty left hand thread/deformation pattern. The steel tubing provides maximum flow with minimum resistance during high pressure flushing and grouting operations. The thread form (similar for all diameters) is a unique Williams feature that provides a lower thread pitch angle to provide easier coupling disengagement without "locking up", than conventional rope threads during drilling operations. This thread form provides more surface area and thread/deformations per unit length for superior bond capabilities over that of competitive drill steel thread forms. The bar's thread/deformation pattern has also shown to exceed the bond characteristics of ASTM A615 reinforcing steel. The lower thread angle allows the installed anchor to be torque-tensioned. The Geo-Drill Injection Anchor system is available with enhanced corrosion protection with hot-dip galvanized/epoxy coated bars and components. Installation adapters for the Geo-Drill Injection Anchors are available for all drill rigs.

### Couplings

The Hollow Injection Bar Couplings have a unique tapered center stop which seals the Injection Bar connection to minimize grout leakage during simultaneous grouting and drilling operations. The internal stop design also assures a full positive thread connection in both Injection Bar ends while providing a matching end bearing between bars that reduces percussion energy loss to the drill bit. The couplings are machined from ASTM A29 grade C1045 high strength steel to provide 100% ultimate tensile or compression strength capacity of the installed anchorage. The coupling OD is tapered on both ends to allow drill cuttings and grout displacement during drilling while the ID has internal chamfers to assist alignment and connection of the bars. The Non-Domestic Hollow Injection Bar Couplings do not contain a tapered center stop, but instead have an o-ring gasket to minimize grout leakage.



### Stop-Type Coupling

Bar	Outside Diameter	Overall Length	Part Number
32 mm	1-5/8" (41 mm)	6-1/4" (159 mm)	B7X2-032
38 mm	2" (51 mm)	7-5/8" (194 mm)	B7X2-038
51 mm	2-5/8" (67 mm)	8-1/2" (216 mm)	B7X2-051
76 mm	3-7/8" (98 mm)	9-7/8" (251 mm)	B7X2-076
T30	1-1/2" (38 mm)	4-1/8" (105 mm)	B7Y2-030
T40	2-1/8" (54 mm)	5-1/2" (140 mm)	B7Y2-040
T52	2-3/4" (70 mm)	6-1/4" (159 mm)	B7Y2-052
T76	3-3/4" (95 mm)	8-5/8" (219 mm)	B7Y2-076

### Hex Nuts

The Hex Nuts designed exclusively for the Geo-Drill Injection Anchor system are a full 100% ultimate tension or compression strength component. They are manufactured from a high strength steel complying with ASTM A108.



### Hex Nuts

Nominal Bar Diameter	Across Flats	Across Corners	Thickness	Part Number
32 mm (1-1/4")	1-3/4" (45 mm)	2.0" (51 mm)	1-3/4" (44 mm)	B7X3-032
38 mm (1-1/2")	2" (51 mm)	2.3" (59 mm)	2" (51 mm)	B7X3-038
51 mm (2")	3" (76 mm)	3.5" (88 mm)	3-1/2" (89 mm)	B7X3-051
76 mm (3")	4-1/4" (108 mm)	4.9" (125 mm)	3-3/4" (95 mm)	B7X3-076
T30	1-7/8" (46 mm)	2.2" (59 mm)	1-3/8" (35 mm)	B7Y3-030
T40	2-1/2" (65 mm)	2.9" (73 mm)	2" (51 mm)	B7Y3-040
T52	3-1/8" (80 mm)	3.6" (92 mm)	2-3/4" (70 mm)	B7Y3-052
T76	4" (102 mm)	4.6" (117 mm)	3-1/8" (80 mm)	B7Y3-076

### R8M Beveled Washers

Bar	Degree of Bevel	Outside Diameter	Inside Diameter	Maximum Thickness	Minimum Thickness	Part Number
32 mm & T30	15°	2-13/16" (71 mm)	1-5/16" (33 mm)	1" (25 mm)	5/16" (8 mm)	R8M-09S
38 mm	15°	3-3/8" (86 mm)	1-3/4" (45 mm)	1-1/4" (32 mm)	3/8" (10 mm)	R8M-12S*38
T40	15°	3-1/2" (89 mm)	2" (51 mm)	1-1/4" (32 mm)	3/8" (10 mm)	R8M-13S
51 mm & T52	15°	5-1/4" (133 mm)	2-9/32" (58 mm)	1-5/8" (41 mm)	7/16" (11 mm)	R8M-16-150
76 mm & T76	15°	6" (152 mm)	3-1/2" (89 mm)	2-7/64" (54 mm)	1/2" (13 mm)	R8M-24B7X

\*\*\*Beveled washers must be used in conjunction with hardened washer.\*\*\*

### R9F Hardened Washers

Bar	Outside Diameter	Inside Diameter	Thickness	Part Number
32 mm & T30	2-1/2" (64 mm)	1-3/8" (35 mm)	5/32" (4 mm)	R9F-10-436
38 mm & T40	3" (76 mm)	1-5/8" (41 mm)	5/32" (4 mm)	R9F-12-436
51 mm & T52	3-3/4" (95 mm)	2-1/8" (54 mm)	7/32" (6 mm)	R9F-16-436
76 mm & T76	5-1/2" (140 mm)	3-1/8" (80 mm)	9/32" (7 mm)	R9F-24-436

### B7XC Centralizers

The bar can be centralized in the drill hole on 10' centers by attaching a steel centralizer in front of the coupling during the drilling operation. Available plain or hot dip galvanized to ASTM A123. State drill hole diameter and bar size when ordering.





## Accessories

### B7XB Drill Bits



#### HC Hardened Bit

Hardened cross cut drill bit, suitable for the majority of applications including narrow bands of soft rock.

**Soil Types:** Fills and Medium Dense Gravels



#### CC Carbide Bit

Tungsten carbide cross-cut drill bit. Excellent choice for majority of granular soils with mixed hard formations.

**Soil Types:** Fills, Gravels, Shale & Seamy Rock Formations



#### SB Sand/Clay Bit

Two stage cross cut drill bit, suitable for loose to medium dense ground and fills.

**Soil Types:** Sand, Clay and Light Gravels



#### BB Button Bit

Tungsten carbide hemispherical button drill bit for moderately strong to strong rock, boulders and rubble.

**Rock Types:** Mudstone, Limestone, and Granite



#### CB Cobble Bit

Offset face cross cut drill bit suitable for drilling in cobbles with silt and gravel as well as sedimentary bedrock material.

Nominal Bar Diameter	Available Drill Bit Diameters				
	HC	CC	SB	BB	CB
32 mm (1-1/4")	2" (51 mm)	2" (51 mm)	5" (127 mm)	2-1/2" (65 mm)	4" (102 mm)
	2-1/2" (65 mm)	2-1/2" (65 mm)		3" (76 mm)	
	3" (76 mm)	3" (76 mm)		3-1/2" (89 mm)	
	3-1/2" (89 mm)	3-1/2" (89 mm)		4" (102 mm)	
	4" (102 mm)	4" (102 mm)			
38 mm (1-1/2")	2-1/2" (65 mm)	2-1/2" (65 mm)	5" (127 mm)	2-1/2" (65 mm)	4" (102 mm)
	3" (76 mm)	3" (76 mm)		3" (76 mm)	
	3-1/2" (89 mm)	3-1/2" (89 mm)		3-1/2" (89 mm)	
	T30	4" (102 mm)	6" (152 mm)	4" (102 mm)	
	T40	4-1/2" (114 mm)		5" (127 mm)	
51 mm (2")	-	3" (76 mm)	6" (152 mm)	3" (76 mm)	4-3/4" (121 mm)
	-	3-1/2" (90 mm)		3-1/2" (90 mm)	
	-	4" (102 mm)	8" (203 mm)	4" (102 mm)	6" (152 mm)
	-	4-1/2" (114 mm)		5" (127 mm)	
	-	5" (127 mm)		5" (127 mm)	
	-	6" (152 mm)			
T52	-	4" (102 mm)	7" (178 mm)	-	-
76 mm (3")	-	5" (125 mm)	7" (178 mm)	5" (125 mm)	-
	-	6" (152 mm)			
	T76	-	7" (175 mm)	10" (254 mm)	

## Applications

### Soil Nails

Soil Nails are non-tensioned, in-situ reinforcement for the stability of excavations and embankments in top-down construction. The Williams Geo-Drill Injection Anchor System is an ideal choice for soil nailing in difficult soils as it offers high installation rates. Hollow bar soil nails have been used extensively on private and select DOT permanent soil nail walls for years. With the 2015 edition of the *FHWA Geotechnical Engineering Circular #7*, hollow bar soil nails are specifically addressed and allowed for use in non-corrosive ground conditions. Consult your Williams' Technical Representative for more information.

### Prestressed Ground Anchors

Williams Geo-Drill Injection Anchors can be used as a choice for pre-tensioned anchors in loose or collapsing soils without the need for a casing. A free length must be installed onto the anchor if the project specifications call for a pre-tension load to be applied from the bond length. Please consult with a Williams specialist for suggestions to properly attach a free length sleeve. Note to Designer: Consult with Williams for an appropriate level of corrosion protection if prestressed ground anchors are intended to be used for a permanent application.

### Micropiles

Williams Hollow Injection Bar offer an excellent choice for micropiles in difficult ground conditions where open-hole drilling isn't possible. The continuously threaded bar profile lends itself perfectly for restricted headroom applications because the bar can be cut and coupled at any length. The FHWA has approved hollow bar anchors for permanent use in micropile applications.

### Tunnel Spiles and Forepoling

The Geo-Drill Injection Anchor System is often used for spiling in NATM tunneling. Spiles are continuously drilled and grouted pre-support reinforcement to enable the heading of a tunnel to advance without the risk of falling debris. The anchors can also be used as face stabilization of portals.

### Limitations of System

In general, Williams recommends using the Geo-Drill Injection Anchor System in difficult soils that do not allow for open-hole drilling. Ground conditions featuring large voids or the presence of an artesian water condition are generally not suitable for a drilled and grouted hollow bar. In hard rock, conventional DTH (Down the Hole Hammers) in open-hole drilling offer a more efficient alternative. In all such cases, Williams offers solutions in their complete line of solid bar anchor systems and multi-strand tendon systems.

**U.S. CUSTOMARY (INCH-POUND) WIRE SIZES AND AREAS**  
**TABLE 5 - SECTIONAL AREAS OF WELDED WIRE REINFORCEMENT**

Wire Size Number* (area of steel x 100)	Nominal Diameter Inches	Nominal Weight Lbs./Lin. Ft.	Area in Sq. In. Per Ft. Of Width For Various Spacing					
			Center-To-Center Spacing					
			3"	4"	6"	12"	18"	
Plain								
W45	.757	1.530	1.80	1.35	.90	.45	.30	
W34	.658	1.160	1.36	1.02	.68	.34	.23	
W31	.628	1.054	1.24	.93	.62	.31	.21	
W25	.564	.850	1.00	.75	.50	.25	.17	
W23	.541	.782	.92	.69	.46	.23	.15	
W20	.505	.680	.80	.60	.40	.20	.13	
W18	.479	.612	.72	.54	.36	.18	.12	
W16	.451	.544	.64	.48	.32	.16	.11	
W15	.437	.510	.60	.45	.30	.15	.10	
W14	.422	.476	.56	.420	.28	.14	.090	
W12	.391	.408	.48	.360	.24	.12	.080	
W11	.374	.374	.44	.330	.22	.11	.073	
W10.5	.366	.357	.42	.315	.21	.105	.070	
W10	.357	.340	.40	.300	.20	.10	.068	
W9.5	.348	.323	.38	.285	.19	.095	.063	
W9	.338	.306	.36	.270	.18	.090	.060	
W8.5	.329	.329	.34	.255	.17	.085	.057	
W8	.319	.272	.32	.240	.16	.080	.053	
W7.5	.309	.309	.30	.225	.15	.075	.050	
W7	.299	.238	.28	.210	.14	.070	.047	
W6.5	.288	.221	.26	.195	.13	.065	.043	
W6	.276	.204	.24	.180	.12	.060	.040	
W5.5	.265	.187	.22	.165	.11	.055	.037	
W5	.252	.170	.20	.150	.10	.050	.033	
W4.5	.239	.153	.18	.135	.09	.045		
W4	.226	.136	.16	.12	.08	.040		
W3.5	.211	.119	.14	.105	.07	.035		
W3	.195	.102	.12	.09	.06	.030		
W2.9	.192	.098	.116	.087	.058	.029		
W2.5	.178	.085	.100	.075	.050	.025		
W2.1	.162	.070	.084	.063	.042	.021		
W2	.160	.068	.080	.060	.040	.020		
W1.5	.138	.051	.060	.045	.030	.015		
W1.4	.134	.049	.056	.042	.028	.014		

Examples Using Various Minimum Yield Strengths for Economy - Consider:

- Grade 60 wire by style 12X12 - W31/W31 (Standard)
- Grade 75 wire by style 12X12 - W25/W25 (20% savings by weight & steel area)
- Grade 80 wire by style 12X12 - W23/W23 (25% savings by weight & steel area)

Note: The above listing of plain wire sizes represents wires normally selected to manufacture welded wire reinforcement styles to specific areas of reinforcement. Wires may be deformed using prefix D, except where only W is required on building codes (usually less than W4). Wire sizes other than those listed above may be available if the quantity required is sufficient to justify manufacture.

\*The number following the prefix W identifies the cross-sectional area of the wire in hundredths of a square inch.

The nominal diameter of a deformed wire is equivalent to the diameter of a plain wire having the same weight per foot as the deformed-wire.

Refer to ACI 318 for The ACI Building Code requirements for tension development lengths and tension lap splices of welded wire reinforcement. For additional information see Welded Wire Reinforcement Manual of Standard Practice and Structural Welded Wire Reinforcement Detailing Manual, published by the Wire Reinforcement Institute.

# Prefabricated Drainage Material

## SITEDRAIN™ STRIP 6600 PREFABRICATED STRIP DRAIN



### PRODUCT OVERVIEW

SITEDRAIN Strip 6600 geocomposite strip drain products are composed of a dimpled polymeric perforated core fully wrapped in a nonwoven geotextile. The geotextile allows water to pass through while retaining backfill materials. The perforated core allows water collection from all sides and provides a continuous flow path to designated drainage exits.

SITEDRAIN Strip 6600 products provide a value engineered alternative to perforated pipe and aggregate subsurface drainage systems requiring moderate strength, high flow capacity, and a geotextile meeting AASHTO M288 Class 2 subsurface drainage requirements.

PROPERTY <sup>1</sup>	TEST METHOD	UNIT OF MEASURE	Typical Value	MARV
<b>GEOTEXTILE</b>				
Material <sup>2</sup>			PP, NPNW	PP, NPNW
Survivability	AASHTO M288	Class	2	2
Grab Tensile Strength	ASTM D4632	lbs	195	160
		N	867	712
Grab Elongation	ASTM D4632	%	60	50
CBR Puncture	ASTM D6241	lbs	505	410
		N	2,246	1,824
Trapezoidal Tear	ASTM D4533	lbs	85	60
		N	378	267
UV Resistance	ASTM D4355	% / 500 Hrs	70	70
Apparent Opening Size (AOS) <sup>3</sup>	ASTM D4751	sieve	70	70
		mm	0.212	0.212
Permittivity	ASTM D4491	sec <sup>-1</sup>	2.1	1.5
Water Flow Rate	ASTM D4491	gpm / ft <sup>2</sup>	155	110
		Lpm / m <sup>2</sup>	6,315	4,482
<b>CORE</b>				
Compressive Strength	ASTM D6364	psf	6,000	-
	ASTM D1621	kPa	287	-
Thickness	ASTM D5199	in	1.0	-
		mm	25.4	-
In-Plane Flow Rate <sup>4</sup>	ASTM D4716	gpm/ft	21	-
		Lpm/m	261	-

MODEL	WIDTH	ROLL LENGTH	ROLL WEIGHT	ITEM CODE
6606	6"	150'	27 lbs	10450
6612	12"	150'	51 lbs	10460
6612	12"	500'	170 lbs	11190
6618	18"	150'	72 lbs	10470
6618	18"	500'	240 lbs	11200
6624	24"	150'	94 lbs	10480
6624	24"	500'	313 lbs	11210
6636	36"	100'	94 lbs	10490

<sup>1</sup> Unless otherwise noted, all physical and performance properties listed are Typical Value or Minimum Average Roll Value (MARV) as defined in ASTM D4439.

<sup>2</sup> PP = Polypropylene; NPNW = Needle-Punched Nonwoven; WM = Woven Monofilament; SBNW = Spunbonded Nonwoven

<sup>3</sup> Values for AOS represent Maximum Average Roll Value (MaxARV).

<sup>4</sup> In-plane flow rate measured at 3,600 psf (172 kPa) compressive load and a hydraulic gradient of 0.1.

All technical information contained in this document is accurate as of publication. AWD reserves the right to make changes to products and literature without notice. Please refer to our website for the most current technical information available.

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## Appendix E - Micropile Testing



## Testing Procedure and Equipment

The testing procedure for micropile elements is described as following: The reaction frame will be sufficiently rigid and of adequate dimensions so that excessive deformation of the testing equipment does not occur. The configuration of the testing apparatus will be designed so that the jack, bearing plates, and stressing anchorage will not need to be repositioned during a test.

The load will be applied with a hydraulic jack and measured with a pressure gauge. The pressure gauge will be graduated in 100 psi increments or less. Ram travel will be sufficient to allow the test to be done without resetting the equipment. All rams, pressure gauges, and pumps will have been calibrated with each other within the last 12 months by an independent accredited laboratory. Calibrated jacks, gages, and pumps will have identifiable serial numbers to insure traceability to calibration tests.

Movement of the pile head shall be measured with a dial gauge capable of measuring to the nearest 0.001 inch. The gauge will be visually aligned to be parallel with the axis of the micropile and shall be supported independently of the jack or reaction frame.

Testing shall be performed by incrementally loading the test piles per to the subsequent loading schedules. The test load shall be monitored by a jack pressure gauge with sensitivity and range meeting the requirements of pressure gauges used for pile testing. The micropile movements shall be recorded at each load increment.

### Testing on Micropiles

All micropile testing will be performed in tension and on five percent of production elements. Test locations will be selected at random, and all testing will occur on production elements installed within the repair limits. Testing will be completed based on the information provided above and in the construction drawings.

## Appendix F - Construction Details

# BLUFF STABILIZATION PLANS

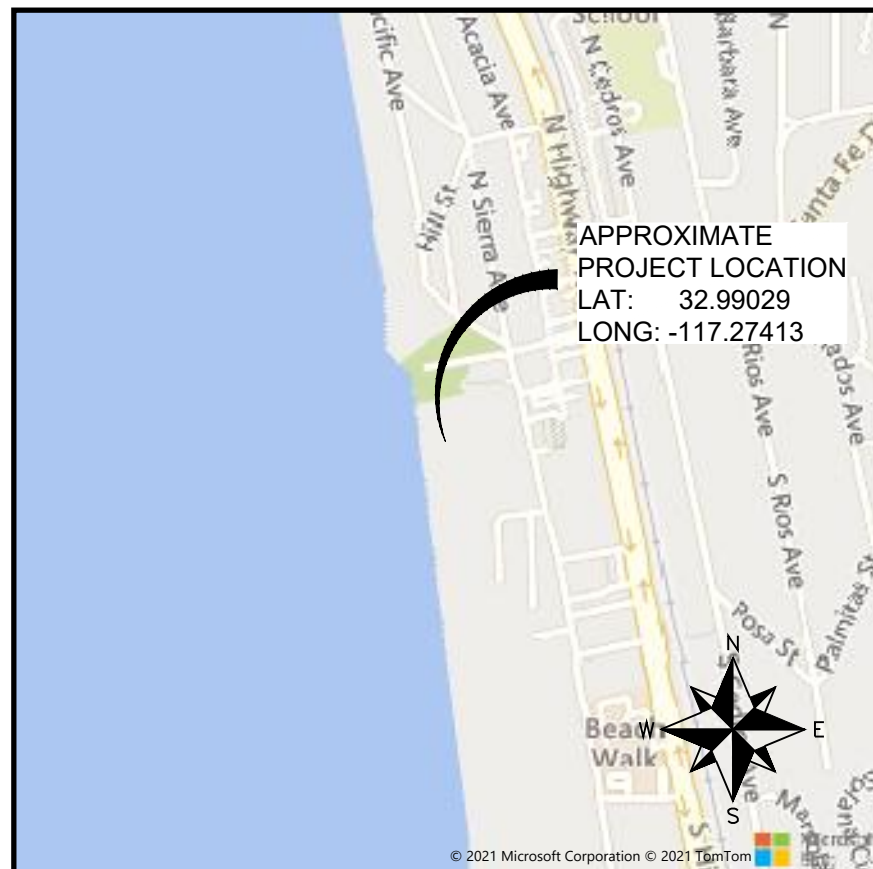
## LAS BRISAS CONDOMINIUMS

CITY OF SOLANA BEACH, CA

LAS BRISAS HOA

### SHEET INDEX

NO.	DESCRIPTION
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	GENERAL NOTES (CONT.)
C-04	EXISTING SITE & ACCESS PLAN
C-05	PROJECT SITE PLAN
C-06	SECTION VIEW - CUTOFF WALL
C-07	CUTOFF WALL DETAILS
C-08	MICROPILE ANCHOR DETAILS
C-09	MICROPILE CAP DETAILS
C-10	SECTION VIEW - RSS SYSTEM
C-11	PHASE II MITIGATION SECTION
C-12	MICROPILE TESTING DETAILS
C-13	DRILL LOGS



### VICINITY MAP

(NOT TO SCALE)

#### *SHEET REVISIONS*

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
09/27/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:

*LAS BRISAS CONDOMINIUMS*

SHEET TITLE:

*COVER SHEET*

DRAWN BY:

MAC

CHECKED BY:

JDR

DATE:

09/27/21

PROJECT NUMBER:

210487CA01

SHEET

C-01



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**GENERAL NOTES:**

- GSI WILL BE THE LEAD FOR JOB SITE CONDITIONS AND SAFETY DURING CONSTRUCTION HOURS. THE JOB SITE WILL BE KEPT REASONABLY SECURE TO DETER UNAUTHORIZED ENTRY OR TAMPERING. HOWEVER, THOSE WHO ENTER THE CONSTRUCTION ZONE WITHOUT ENTRY WILL BE CONSIDERED TO BE TRESPASSING.
- GSI WILL USE UTILITY ONE CALL SERVICES, REQUEST UTILITY MAPS, AND REQUEST POTHOLING AS NEEDED TO LOCATE AND MARK KNOWN UTILITIES.
  - DIG ALERT: DIAL 811, OR DIGALERT.ORG
  - CITY OF SOLANA BEACH PUBLIC WORKS: 858-720-2470
- AT THE END OF EACH WORK DAY GSI WILL LEAVE THE WORK AREA FREE OF HAZARDS, AND PROVIDE TEMPORARY SIGNS, WARNING DEVICES, AND/OR BARRICADES, AS NEEDED.
- GSI WILL KEEP RECORDS OF THE DRILLING CONDITIONS, GROUT MIX SPECIFIC GRAVITY AND OTHER NOTES ON THESE PLANS AS NEEDED TO PROVIDE AS-BUILT INFORMATION TO THE OWNER AFTER PROJECT COMPLETION.
- GSI UNDERSTANDS THE WORKING HOURS FOR THIS SITE TO BE 7:00 A.M. AND 7 P.M. EACH DAY, MONDAY THROUGH FRIDAY.
- GSI WILL NOTIFY THE CITY OF SOLANA BEACH AT (858) 720-2470, AT LEAST 24 HOURS BEFORE THE FIRST DAY OR THE PROJECT.

**STANDARD REQUIREMENTS:**

GSI WILL PERFORM THE WORK IN GENERAL ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," SAN DIEGO REGIONAL STANDARD DRAWINGS AND CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS.

ASSESSOR PARCEL NUMBERS	ADDRESSES
298-010-54-0001 THROUGH -36	135 S SIERRA AVE

**EROSION CONTROL NOTES:**

- GSI WILL PLACE SILT FENCE AT THE TOE OF THE SLOPE (TOP OF THE SEA WALL) TO LIMIT ERODED SOILS FROM REACHING THE PUBLIC BEACH.
- GSI WILL USE DIKES, BERMS OR TRENCHES TO LIMIT STORMWATER WATER FLOWING OVER CRESTS OF THE SLOPE.
- GSI WILL USE WATER AS NEEDED TO MINIMIZE AIR BORNE DUST ON THE SITE.

**HOUSE KEEPING:**

- THE SITE WILL BE ORGANIZED AND CLEAR OF ANY TRASH OR DEBRIS. ALL TRASH WILL BE PLACED IN A PROPER CONTAINER AND REMOVED AT THE END OF EACH WORK DAY.

**SAFETY:**

- ALL SAFETY PLANS FOR LIFTING, HEARING, DUST CONTROL, PPE ETC. WILL BE IN PLACE AND FOLLOWED ACCORDINGLY. PPE INCLUDES SAFETY VEST, STEEL TOED SHOES, HARD HAT, SAFETY GLASSES, RESPIRATOR DURING DUST PRODUCING ACTIVITIES, AND GLOVES.
- GSI WILL GENERATE A SITE SPECIFIC HEALTH AND SAFETY PLAN THAT MUST BE REVIEWED AND SIGNED BY ALL GSI EMPLOYEES, SUBCONTRACTORS, AND VISITORS TO THE SITE.
- GSI WILL LEAD A DAILY TAILGATE MEETING TO REVIEW JOB HAZARD ANALYSIS "JHA" FOR EACH OF THE DAYS ANTICIPATED TASKS.

**EMPLOYEE CERTIFICATIONS:**

- ACI SHOTCRETE NOZZLEMEN CERTIFICATION
- 10-HOUR OCCUPATIONAL SAFETY AND HEALTH TRAINING COURSE IN CONSTRUCTION SAFETY & HEALTH
- AMERICAN RED CROSS STANDARD FIRST AID TRAINING

**ANTICIPATED CONSTRUCTION SEQUENCE/WORK SCHEDULE:**

1. DELINEATE LIMITS OF STABILIZATION. NOTIFY LOCAL UTILITIES PROVIDERS TO LOCATE AND MARK POTENTIAL UNDERGROUND FACILITIES. DAYLIGHTING OF UTILITIES IN POTENTIAL CONFLICT, AS NECESSARY (BY OTHERS).
2. PREPARE THE WORK AREA FOR MICROPILE INSTALLATION AND CUTOFF WALL CONSTRUCTION:
  - 2.1. INSTALL EROSION CONTROL FENCE AT THE TOP OF THE EXISTING SEAWALL TO LIMIT SOIL EROSION DURING CONSTRUCTION.
  - 2.2. MINOR RE-SHAPING OF EXISTING SCARP AND SURROUNDING GRADES MAY BE NEEDED TO FACILITATE CONSTRUCTION OF THE MICROPILE CUTOFF WALL.
  - 2.3. MARK THE LOCATIONS OF THE PROPOSED STABILIZATION ELEMENTS WITH SURVEY MARKING PAINT.
3. INSTALLATION OF MICROPILE ELEMENTS. EACH ELEMENT WILL BE GROUTED DURING DRILLING UNLESS DIRECTED OTHERWISE BY GSI ENGINEER.
4. CONSTRUCT THE CUTOFF WALL:
  - 4.1. PLACE REINFORCING STEEL AND DRAIN STRIPS PER THESE DRAWINGS.
  - 4.2. USE WOOD OR SIMILAR FORMWORK ON THE NORTH SIDE OF THE CUTOFF WALL TO FACILITATE SHOTCRETE PLACEMENT.
  - 4.3. PLACE SHOTCRETE FROM THE BOTTOM UP TO THE REQUIRED THICKNESS DETAILED IN THESE PLANS.
5. PREPARE AREA NORTH OF THE CUTOFF WALL FOR REINFORCED SOIL SLOPE SYSTEM INSTALLATION. MINOR GRUBBING AND GRADING MAY BE NECESSARY.
6. INSTALL REINFORCED SOIL SLOPE SYSTEM IN LIFTS AS DETAILED IN THESE DRAWINGS AND PER THE MANUFACTURER INSTALLATION PROCEDURES.
7. SITE CLEANUP AND DEMOBILIZATION FROM SITE.
  - 7.1. CONCRETE, GROUT, AND OTHER CONSTRUCTION DEBRIS WILL BE REMOVED PERIODICALLY THROUGHOUT THE WORK.
  - 7.2. FINAL CLEANUP OF THE SITE TO INCLUDE REASONABLE HAND CLEANING METHODS LIKE SWEEPING, SPRAYING WITH WATER AND REMOVAL OF TRASH AND DEBRIS. MAJOR LANDSCAPING SHOULD NOT BE NEEDED IF PROPER ACCESS IS GRANTED TO GSI THROUGHOUT THE PROJECT.

**SIZE AND TYPE OF STABILIZATION ELEMENTS:**

- THE MICROPILE ELEMENTS SHALL CONSIST OF 51mm NOMINAL DIAMETER, SELF-DRILLING HOLLOW BAR. SACRIFICIAL DRILL BITS WILL BE ATTACHED TO THE STABILIZATION ELEMENT PRIOR TO INSTALLATION.
- SACRIFICIAL DRILL BITS ARE NOT PERMANENTLY INCORPORATED INTO THE PROJECT AND MAY BE REMOVED AFTER DRILLING OR LEFT AT THE PROJECT FOR THE CONTRACTOR'S CONVENIENCE. SACRIFICIAL DRILL BITS ARE NOT END PRODUCTS. SACRIFICIAL DRILL BITS ARE NOT PRODUCED IN THE UNITED STATES.
- GSI ENGINEER MAY ELECT TO MODIFY THE TYPE OF STABILIZATION ELEMENT, LENGTH OR INSTALLATION METHOD, DEPENDING ON ACTUAL DRILLING CONDITIONS.

**FACING AND DRAINAGE SYSTEM:**

- DRAIN STRIPS WILL BE PROVIDED AND INSTALLED APPROX. EVERY SIX-FEET ALONG THE NORTH SIDE OF THE CUTOFF WALL.. THE DRAIN STRIPS SHALL BE PLACED WITH THE GEOTEXTILE SIDE AGAINST THE FORMWORK.
- DRAIN STRIPS WILL BE CONTINUOUS AND ANY SPLICES SHALL BE MADE WITH A ONE-FOOT MINIMUM OVERLAP SUCH THAT THE FLOW OF WATER IS NOT IMPEDED.
- DRAIN STRIPS SHALL EXTEND BEYOND THE FACE OF THE SHOTCRETE AT THE DOWNHILL FACE.
- DRAIN STRIPS SHALL BE MINIMUM 12" WIDE.

**REINFORCING STEEL PLACEMENT:**

- RIENFORCEEING STEEL FOR THIS PROJECT SHALL BE EPOXY COATED OR GALVANZIED.
- WELDED WIRE MESH WILL BE PLACED ON BOTH SIDES OF THE EXTENDED 51mm MICROPILES AS SHOWN IN THESE DRAWINGS.
- NO. 5 REBAR WILL BE TIED TO THE SOUTH WIRE MESH. FOLLOW SPACING AND SPLICE LENGTHS AS SHOWN IN THESE DRAWINGS.
- NO. 5 REBAR WILL ALSO BE USED FOR THE MICROPILE CAP. FOLLOW SPACING AND SPLICE LENGTHS AS SHOWN IN THESE DRAWINGS.

**MICROPILE CAP PLATES:**

- 6" X 6" X 1/2" STEEL BEARING PLATES WILL BE PLACED OVER THE MICROPILES IN THE MICROPILE CAP AND ATTACHED WITH A HEX NUT TOP AND BOTTOM. IF THE MICROPILES EXTEND BEYOND THE TOP HEX NUTS, THEY WILL BE TRIMMED.

**REINFORCED SOIL SLOPE (RSS) SYSTEM:**

HIGH PERFORMANCE TURF REINFORCEMENT MAT (HPTRM)

- MATERIAL IS THREE-DIMENSIONAL, LOFTY WOVEN POLYPROPYLENE HPTRM
- MATRIX COMPOSED OF TRILOBAL MONOFILAMENT YARNS WOVEN INTO UNIFORM CONFIGURATION OF RESILIENT PYRAMID-LIKE PROJECTIONS THAT MINIMIZE WATERING REQUIREMENTS WHILE ENHANCING VEGETATION ESTABLISHMENT.
- MUST BE A HOMOGENEOUS MATRIX, AND NOT COMPRISED OF LAYERS, COMPOSITES, OR DISCONTINUOUS MATERIALS, OR OTHERWISE LOOSELY HELD TOGETHER BY STITCHED OR GLUED NETTING.
- THE HPTRM SHOULD MEET THE FOLLOWING VALUES:

PROPERTY	TEST METHOD	UNITS	MINIMUM REQUIREMENT
THICKNESS	ASTM D6525	IN	0.4
LIGHT PENETRATION	ASTM D6567	%	10
TENSILE STRENGHT	ASTM D6818	LB/FT	4000 X 3000
TENSILE ELONGATION	ASTM D6818	%	40 X 35
RESILIENCY	ASTM D6524	%	80
FLEXIBILITY	ASTM D6575	IN-LB	0.534
UV RESISTANCE	ASTM 4355	%	90 AT 6000 hrs

- WOOD OR PLASTIC STAKES, OR STEEL PINS ARE USED TO PIN-DOWN THE GEOTEXTILE NEAR THE BACK OF THE REINFORCEMENT ZONE TO HOLD THE GEOTEXTILE TAUT WHILE ALIGNING THE WALL FACE AND PLACING SOIL BACKFILL. THESE ARE INSTALLED AS NEEDED ALONG THE HPTRM, BUT AT A FREQUENCY NO LESS THAN 1 PER 6 LINEAL FEET. THE STAKES OR PINS SHALL BE 9 TO 12 IN LONG.
- BACKFILL WILL COMPRISE GENERAL FILL WITH A UNIFIED SOIL CLASSIFICATION SYSTEM DESIGNATION OF SILTY SAND (SM).
  - THE SM MATERIAL WILL CONSIST OF INERT EARTH MATERIALS WITH LESS THAN 3% ORGANICS OR OTHER DELETERIOUS SUBSTANCES.
  - FILL WILL BE PLACED IN UNIFORM, MAXIMUM 12-INCH LIFTS.
  - FILL IN THE UPPER 12 INCHES OF THE GRADED SLOPE FACE WILL NOT BE COMPACTED DUE TO LACK OF CONFINEMENT.
  - FILL BEHIND THE UPPER 12 INCHES OF THE GRADED SLOPE FACE WILL BE COMPACTED TO AT LEAST 90% OF THE MATERIALS MAXIMUM DRY DENSITY AND BE UNIFORMLY MOISTURE CONDITIONED TO AT LEAST THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.

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SHEET REVISIONS		
DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
09/27/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**GENERAL NOTES**

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DRAWN BY: <b>MAC</b>	CHECKED BY: <b>JDR</b>	DATE: <b>09/27/21</b>	PROJECT NUMBER: <b>210487CA01</b>	SHEET <b>C-02</b>
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**RSS ANCHOR DETAILS**

**TYPE B3 ANCHOR PROPERTIES**

Component	Materials	Material Composition	Physical Properties
Anchor Head	Hot Dip Galvanized Ductile Iron		6.43 in x 1.84 in x 2.36 in (163.3 mm x 46.7 mm x 59.9 mm) Bearing Area: 10.3 in <sup>2</sup> (66.5 cm <sup>2</sup> )
Cable Tendon	Galvanized Steel		Diameter: 0.1875 in (4.8 mm)
Lower Termination	Aluminum		Length: 0.65 in (16.5 mm), Wall Thickness: 0.11 in (2.8 mm)
Load Bearing Plate	Zinc-Aluminum		5.98 in x 6.6 in x 0.75 in (151.9 mm x 167.6 mm x 19.1 mm) Bearing Area: 17.43 in <sup>2</sup> (112.5 cm <sup>2</sup> )
Top Termination	Zinc-Aluminum		Circumferential Tripple Wedge Grip Assembly to Eliminate Cable Pinch Points Grip to Cable Contact Surface Area: 0.505 in <sup>2</sup> (3.3 cm <sup>2</sup> ) Grip to Cable Contact Ratio: 97% of Cable Diameter
<b>Performance Properties</b>			
Ultimate Assembly Strength	2800 lb (12.46 kN)	Typical Working Load	2000 lb (8.9 kN)
Ultimate Cable Strength	3700 lb (16.46 kN)	Embedment Depth	6-12 ft (1.83-3.66 m)

**SHOTCRETE MIX DESIGN:**

- SHOTCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 506.2, "SPECIFICATIONS FOR MATERIALS, PROPORTIONING AND APPLICATION OF SHOTCRETE", EXCEPT AS OTHERWISE SPECIFIED. SHOTCRETING CONSISTS OF APPLYING ONE OR MORE LAYERS OF CONCRETE CONVEYED THROUGH A HOSE PNEUMATICALLY PROJECTED AT A HIGH VELOCITY AGAINST A PREPARED SURFACE.
- THE WET-MIX PROCESS CONSISTS OF THOROUGHLY MIXING ALL THE INGREDIENTS, INTRODUCING THE MIXTURE INTO THE DELIVERY EQUIPMENT AND DELIVERING IT, BY POSITIVE DISPLACEMENT, TO THE NOZZLE. AIR JET THE WET-MIX SHOTCRETE FROM THE NOZZLE AT HIGH VELOCITY ONTO THE SURFACE.
- GSI STANDARD SHOTCRETE MIX DESIGN SHALL BE USED UNLESS SHOTCRETE TEMPERATURES ARE ANTICIPATED TO REACH AND/OR EXCEED 85°F. IN THIS EVENT, GSI HOT WEATHER MIX MAY BE USED. SET TIME CONTROLLING ADDITIVES (I.E. HYDRATION STABILIZERS, RETARDERS) MAY BE USED PER THE MANUFACTURER SPECIFICATIONS AND UNDER THE DIRECTION OF A GSI ENGINEER.

**SHOTCRETE APPLICATION:**

- SHOTCRETE APPLICATION WILL GENERALLY COMPLY WITH ACI 506.2-13 UNLESS DIRECTED BY GSI ENGINEER OR THEIR DESIGNATED REPRESENTATIVE.
- SHOTCRETE WILL BE PLACED FROM THE LOWER PART OF THE AREA UPWARDS TO PREVENT ACCUMULATION OF REBOUND. THE NOZZLE WILL BE ORIENTED A PROPER DISTANCE FROM AND APPROXIMATELY PERPENDICULAR TO THE WORKING FACE SO THAT REBOUND WILL BE MINIMAL AND COMPACTION WILL BE MAXIMIZED.
- CARE WILL BE TAKEN WHILE ENCASING REINFORCING STEEL AND MESH TO KEEP THE FRONT FACE OF THE REINFORCEMENT CLEAN DURING PLACEMENT OPERATIONS, SO THAT SHOTCRETE BUILDS UP FROM BEHIND, TO ENCASE THE REINFORCEMENT AND PREVENT VOIDS OR POCKETS FROM FORMING.
- SHOTCRETE THICKNESS TOLERANCE SHALL BE MINUS ONE INCH - PLUS TWO INCHES.

**GROUT MIX DESIGN:**

- STANDARD GROUT MIX DESIGN TO BE USED IN SOIL DRILLING.
- IF SLOWER DRILLING IS EXPERIENCED WHILE DRILLING IN ROCK GSI ENGINEERS MAY APPROVE USE OF DRILLING GROUT MIX DESIGN. UPON COMPLETION OF DRILLING TO SPECIFIED DEPTH WITH DRILLING GROUT MIX HOLE SHOULD BE FLUSHED WITH STANDARD GROUT MIX AND NAIL HOLE SWABBED TO AID IN DRILLING GROUT MIX REPLACEMENT.
- IF VOIDS ARE ENCOUNTERED AND GROUT LOSS IS EXPERIENCED CONTACT GSI ENGINEERS AND CUT OFF GROUT PUMPING FOR THAT ELEMENT WHEN DRILLING DEPTH IS REACHED AND A TOTAL OF 3 BAGS OF GROUT SLURRY PER 10' STICK OF BAR HAS BEEN USED.
- THE GROUT WILL BE A TYPE I/II/III PORTLAND CEMENT. THE WATER/CEMENT RATIO WILL BE 0.5 TO 0.6. NO ADDITIONAL AGGREGATE OR ADMIXTURES WILL BE ADDED TO THE GROUT.

**STANDARD GROUT MIX DESIGN**

MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28 - 34 GALLONS
CEMENT (TYPE I/II)	470	2.4	5 BAGS (94 LBS.)
TOTAL UNIT	705 - 752	6.1 - 6.9	--
W/C RATIO	--	--	0.5 - 0.6
SPECIFIC GRAVITY	--	--	1.84 - 1.75

**DRILLING GROUT MIX DESIGN**

MATERIAL	WEIGHT (LBS.)	VOLUME (FT <sup>3</sup> )	FIELD UNIT VOLUME
WATER	235-282	3.8-4.5	28 - 34 GALLONS
CEMENT (TYPE I/II)	188	0.9	2 BAGS (94 LBS.)
TOTAL UNIT	423 - 470	4.7 - 5.5	--
W/C RATIO	--	--	1.25 - 1.5
SPECIFIC GRAVITY	--	--	1.44 - 1.38

**GSI STANDARD SHOTCRETE MIX DESIGN (PER YD<sup>3</sup>)**

MATERIAL	DESCRIPTION	WEIGHT (LBS)
AGGREGATE NO. 1	3/4" ROCK, AASHTO M80, CLASS B	650
AGGREGATE NO. 2	CONCRETE SAND, CLEAN, NATURAL	1800
AIR	6% TOTAL	--
WATER	CLEAN AND POTABLE	300
FLY ASH	TYPE F OR C	150
CEMENT	TYPE V	750
TOTAL	--	3710

**GSI HOT WEATHER SHOTCRETE MIX DESIGN (PER YD<sup>3</sup>)**

MATERIAL	DESCRIPTION	WEIGHT (LBS.)
AGGREGATE NO. 1	3/4" ROCK, AASHTO M80, CLASS B	600
AGGREGATE NO. 2	CONCRETE SAND, CLEAN, NATURAL	1800
AIR	6% TOTAL	--
WATER	CLEAN AND POTABLE	315
FLY ASH	TYPE F OR C	300
CEMENT	TYPE V	700
TOTAL	--	3710

**SHEET REVISIONS**

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09/01/21	ISSUED FOR REVIEW	IFR
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PROJECT NAME:

**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:

**GENERAL NOTES (CONT.)**

DRAWN BY:

MAC

CHECKED BY:

JDR

DATE:

09/27/21

PROJECT NUMBER:

210487CA01

SHEET

C-03

**QUALITY CONTROL:**

- GSI WILL CONDUCT OR OBTAIN QUALIFIED PERSONNEL TO CONDUCT THE FOLLOWING QUALITY CONTROL TESTING DURING THE PROJECT.

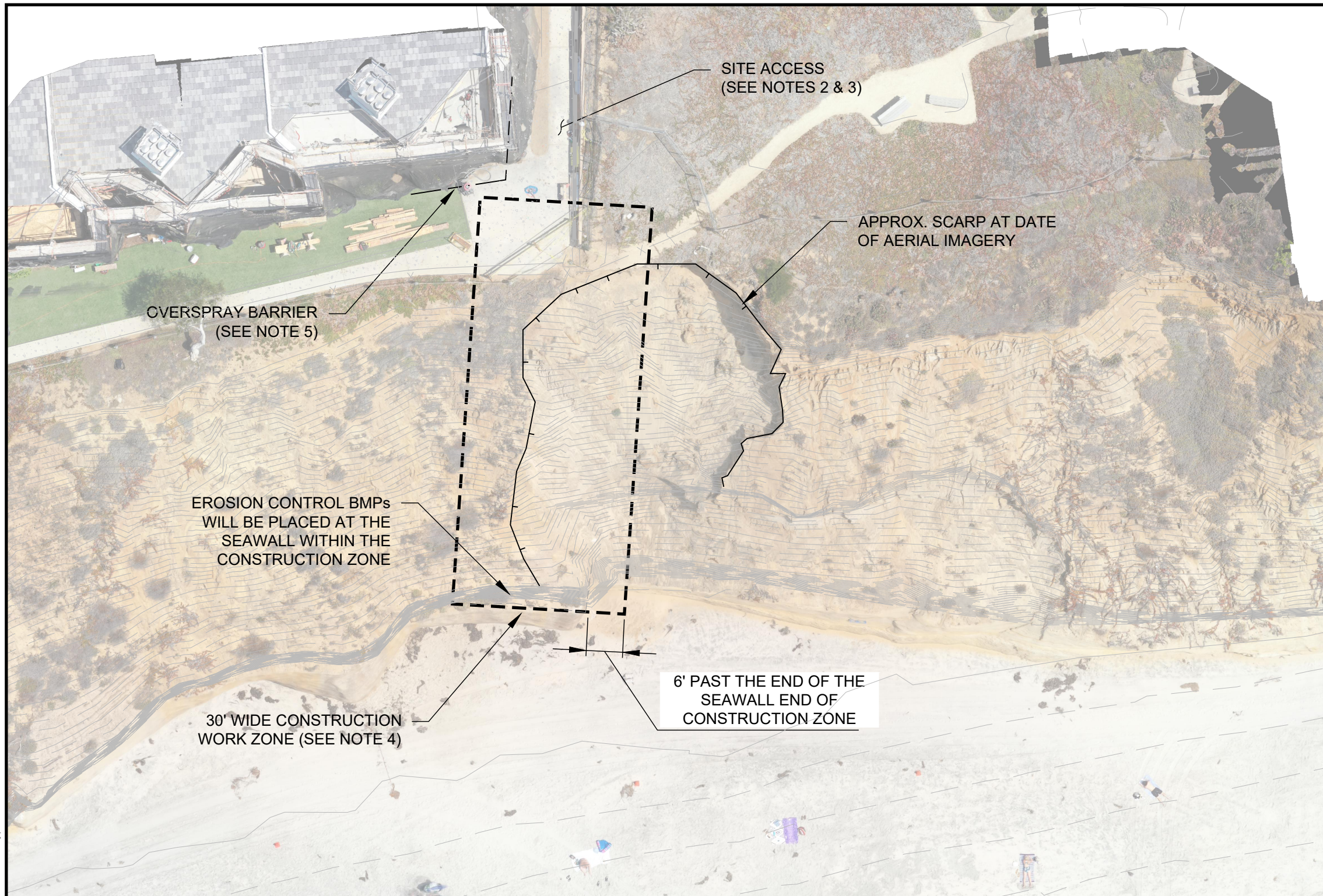
**QUALITY CONTROL SCHEDULE**

DESCRIPTION	FREQUENCY	REFERENCE/ CRITERIA
DILL LOGS	EVERY MICROPILE	RECORD DATA PER SHEET C-14
PROOF NAIL TEST	5% OF PRODUCTION NAILS, TEST AFTER 48 HRS	FHWA 05-039, 2005
MUD BALANCE READINGS (SPECIFIC GRAVITY)	ONCE EACH DAY OF GROUTING	SEE SHEET C-03 & C-14 FOR MIX DESIGN AND DATA LOG
GROUT CUBES	1 SET OF 3 CUBES PER EVERY 10 PILES INSTALLED	ASTM C-109/AASHTO T106. 3, 7 & 28 DAY STRENGTH. 4000 PSI 28-DAY.
SHOTCRETE PANELS	2 PRODUCTION PANELS THROUGHOUT PROJECT	ASTM C1140, 1500 PSI. 3, 7 & 28 DAY STRENGTH. 5000 PSI 28-DAY.

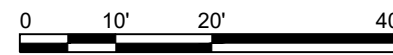
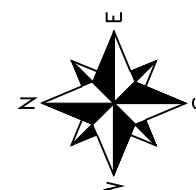


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- NOTES:
1. BACKGROUND IMAGE OBTAINED FROM GSI DRONE FLIGHT AERIAL IMAGERY, FLOWN ON 8/25/21. EXISTING TOPOGRAPHY DATA OBTAINED FROM PASCO LARET SUITER & ASSOCIATES, PLSA JOB #2710.
  2. CONSTRUCTION ACCESS CORRIDOR IS LOCATED ALONG THE SOUTH SIDE OF THE LAS BRISAS CONDOMINIUMS. CARE SHOULD BE TAKEN TO LIMIT IMPACT TO THE CONDOMINIUM AND PUBLIC ACCESS IN THE AREA.
  3. CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE MOVED FROM THE STAGING SITE AND RESTORE THE STAGING TO ITS PRIOR-TO-CONSTRUCTION CONDITION WITHIN 72 HRS FOLLOWING COMPLETION OF THE PROJECT.
  4. GSI TO PROVIDE CONSTRUCTION BARRIER DURING WORKING HOURS TO SEPARATE WORK ZONE FROM OPEN PUBLIC BEACH. LATERAL PUBLIC ACCESS SHALL BE PROVIDED PAST THE SITE AT ALL TIMES.
  5. GSI WILL USE A PLASTIC OR SIMILAR BARRIER TO PROTECT THE BUILDING FROM SHOTCRETE OVERSPRAY. ANTICIPATE DRAPING FROM THE 3RD DECK TO GROUND LEVEL.



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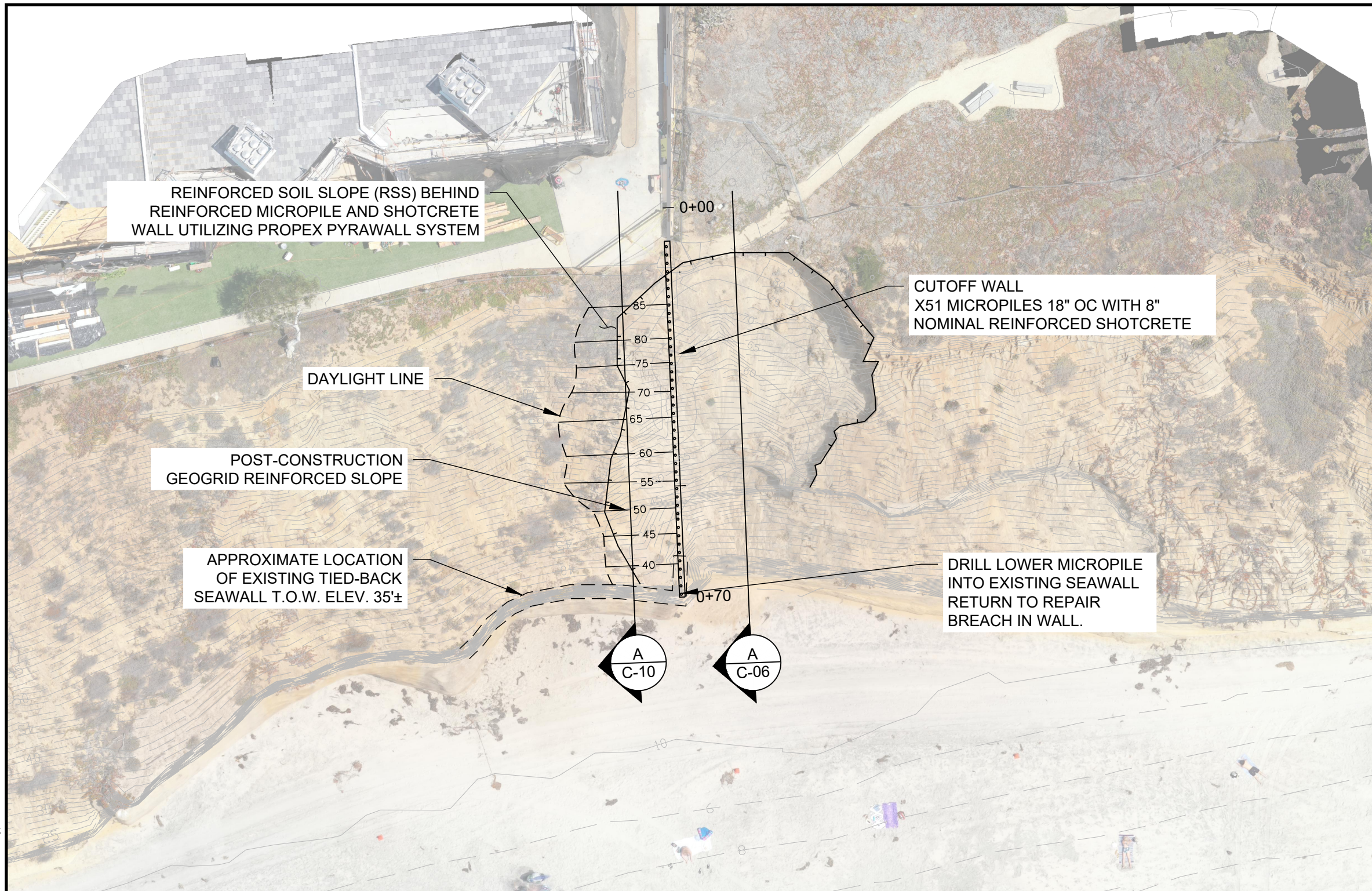
SHEET TITLE:  
**EXISTING SITE & ACCESS PLAN**

DRAWN BY: MAC	CHECKED BY: JDR	DATE: 09/27/21	PROJECT NUMBER: 210487CA01	SHEET C-04
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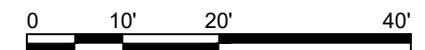
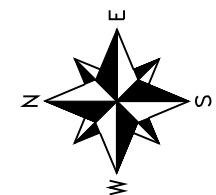
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SHEET TITLE:  
**PROJECT SITE PLAN**

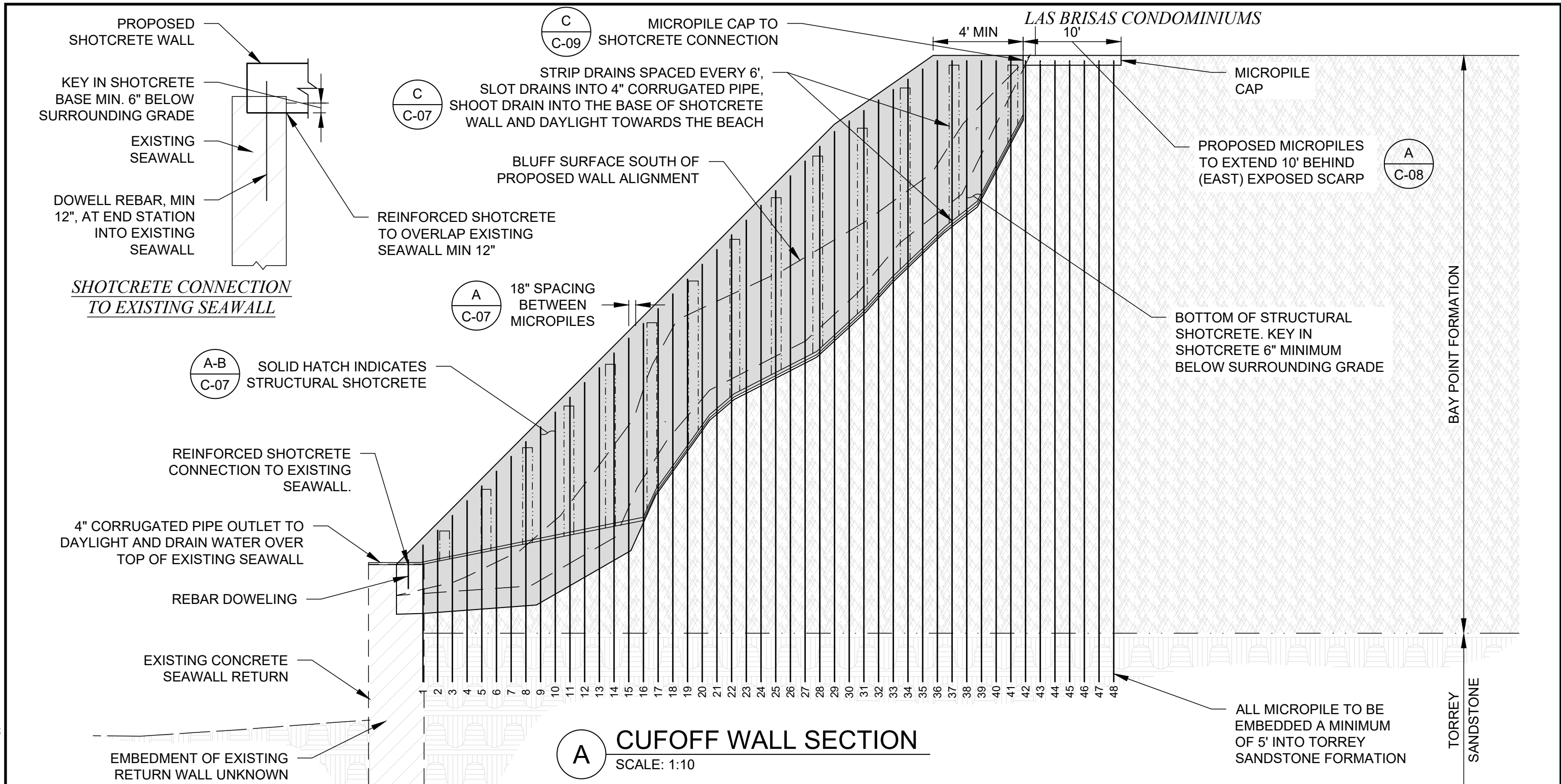
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**SHEET REVISIONS**

DATE	DESCRIPTION	NO
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09/27/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**SECTION VIEW - CUTOFF WALL**

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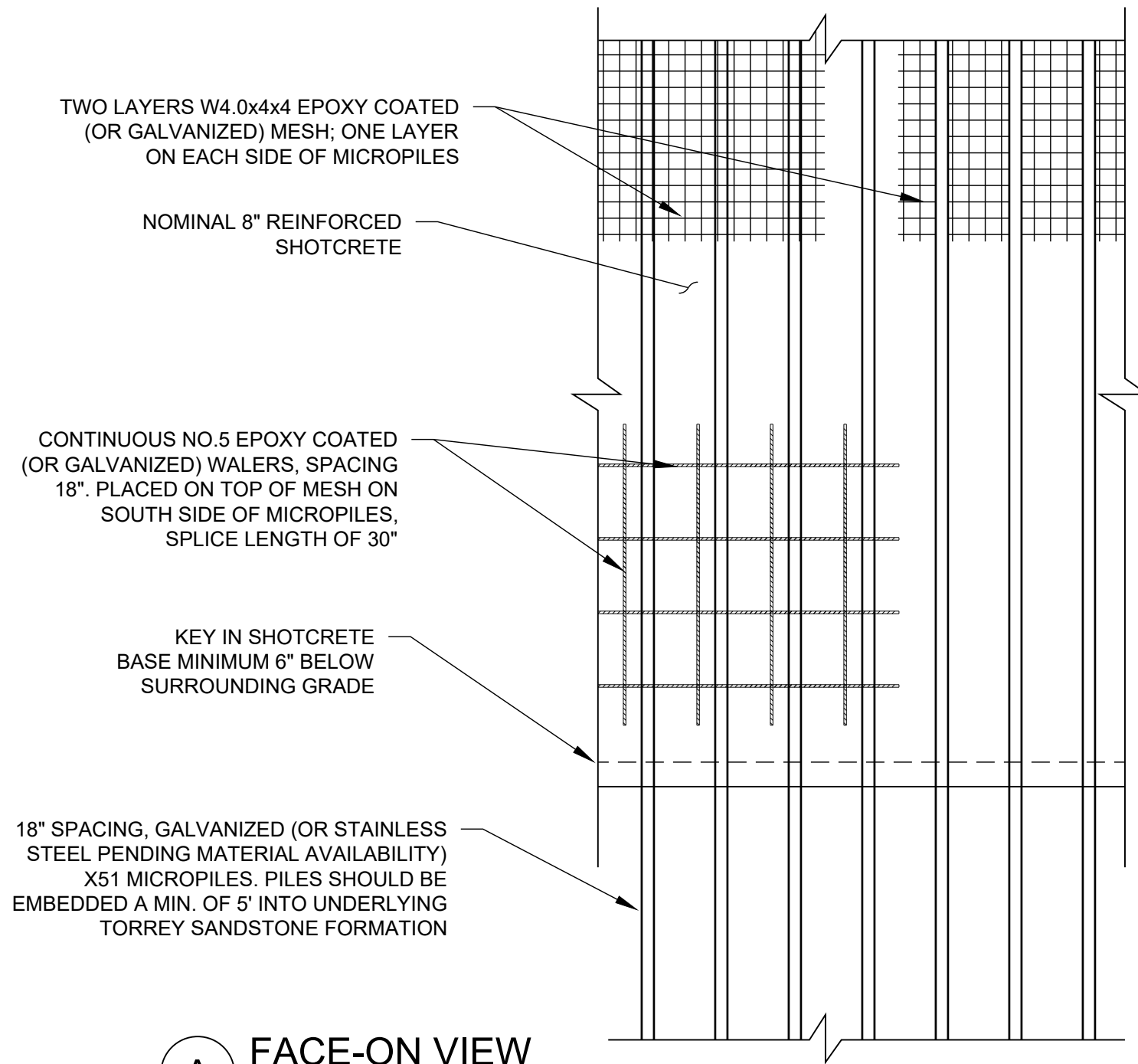
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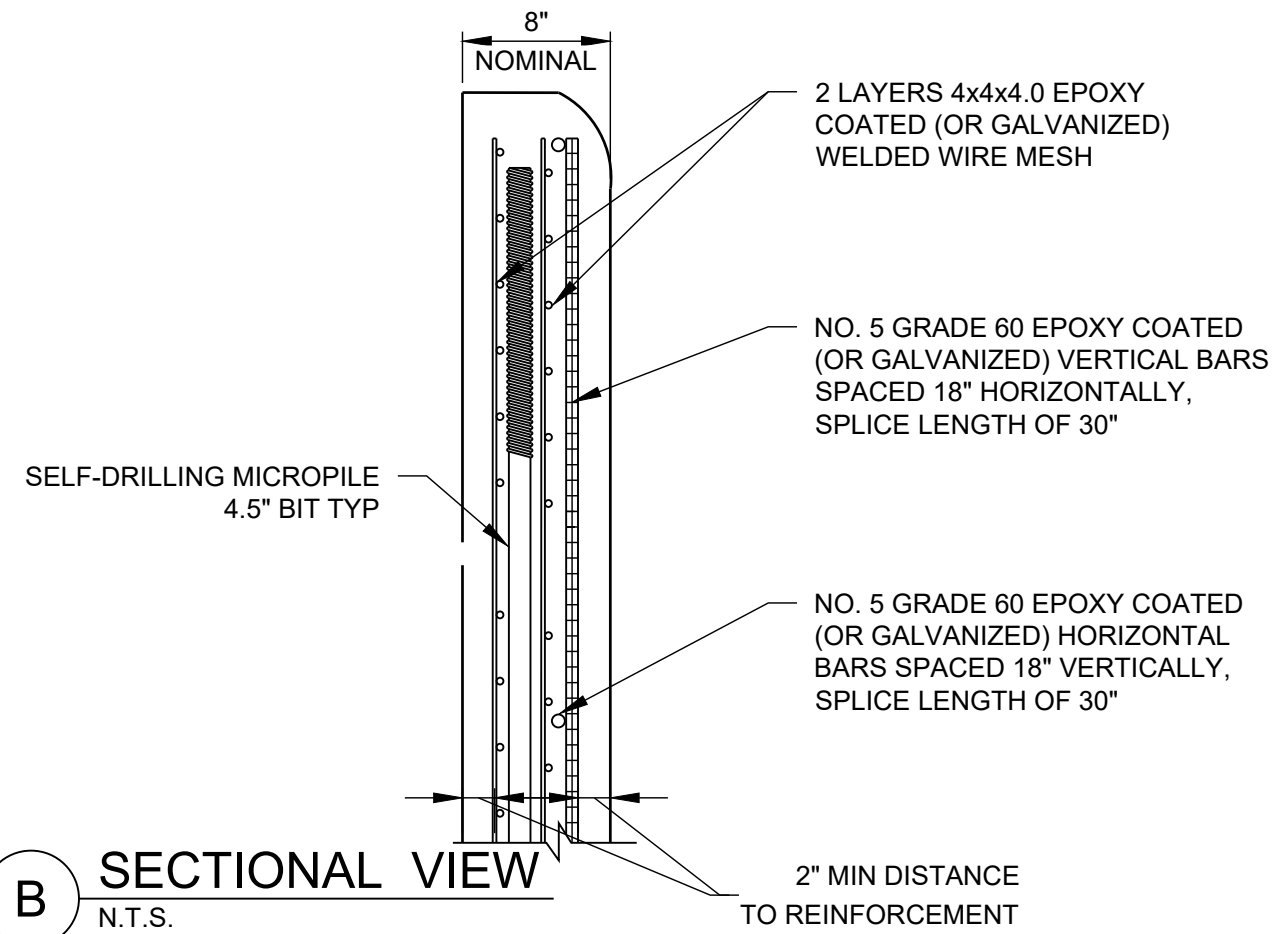
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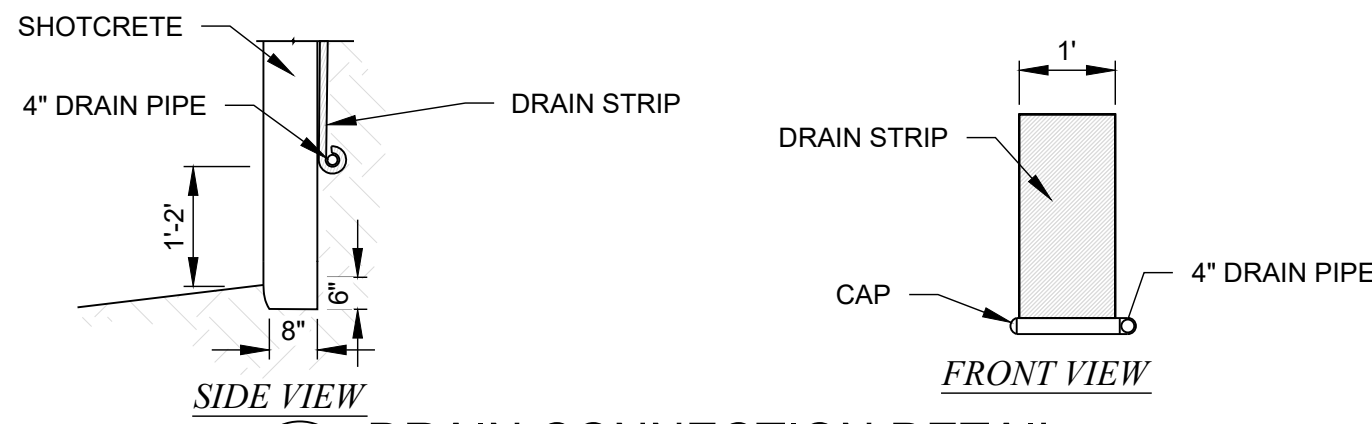




**A** FACE-ON VIEW  
N.T.S.



**B** SECTIONAL VIEW  
N.T.S.



**C** DRAIN CONNECTION DETAIL  
N.T.S.

**SHEET REVISIONS**

DATE	DESCRIPTION	NO
09/01/21	ISSUED FOR REVIEW	IFR
09/27/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**CUTOFF WALL DETAILS**

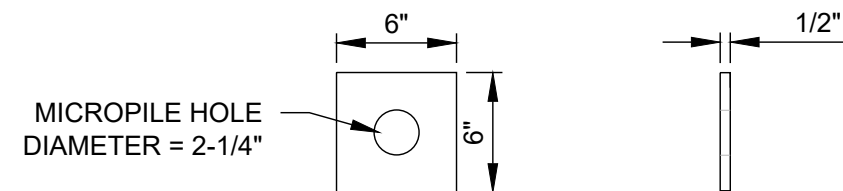
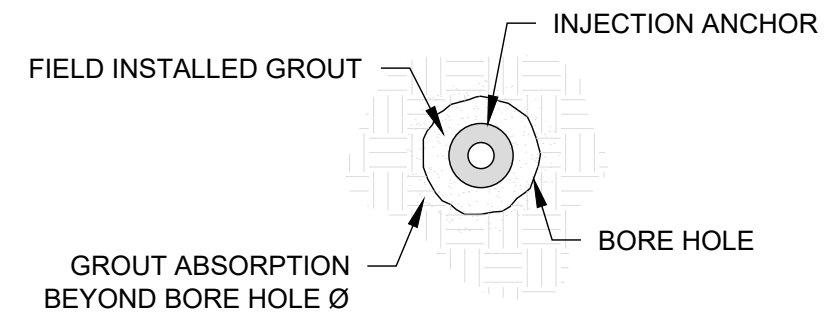
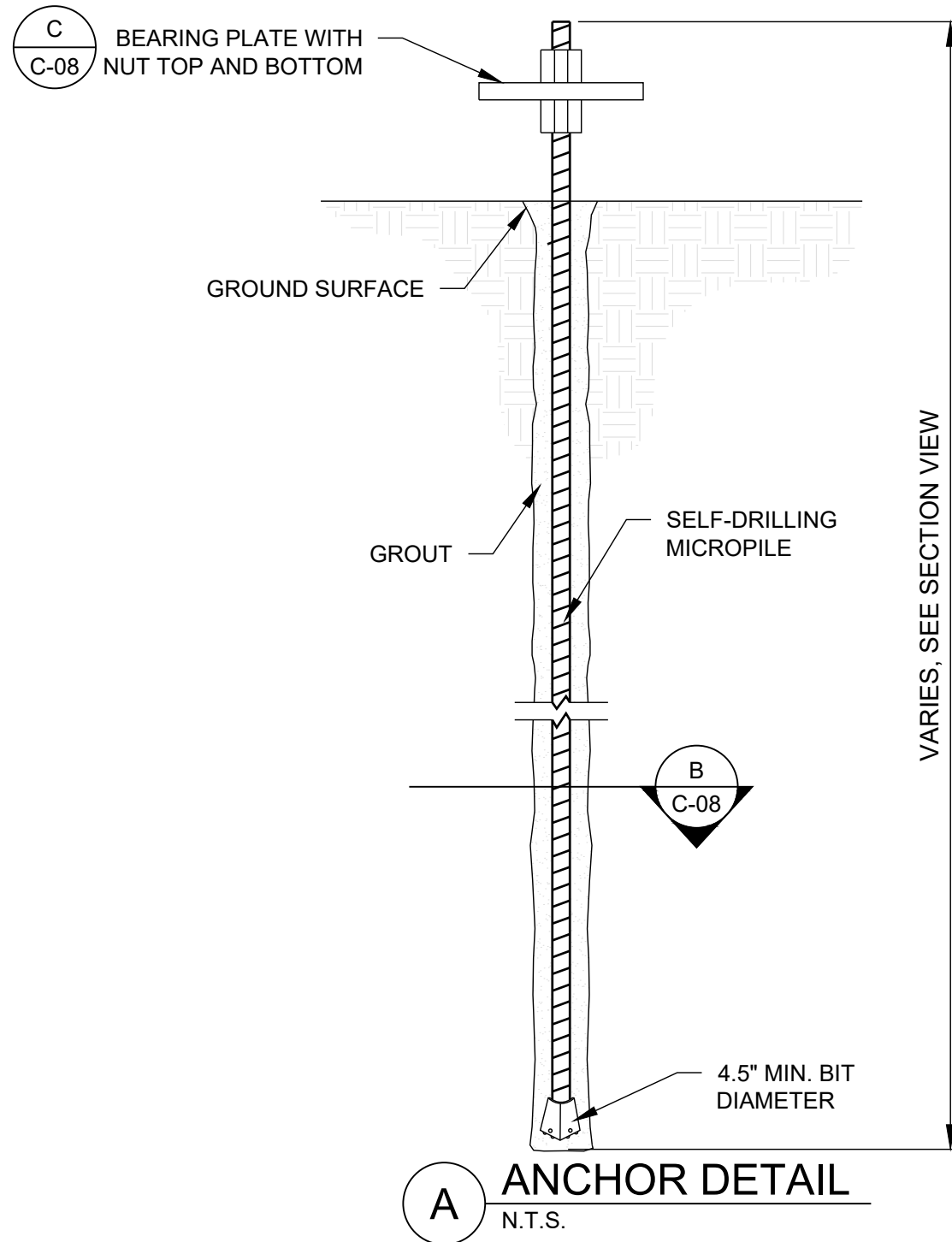
DRAWN BY: **MAC**      CHECKED BY: **JDR**      DATE: **09/27/21**      PROJECT NUMBER: **210487CA01**      SHEET: **C-07**



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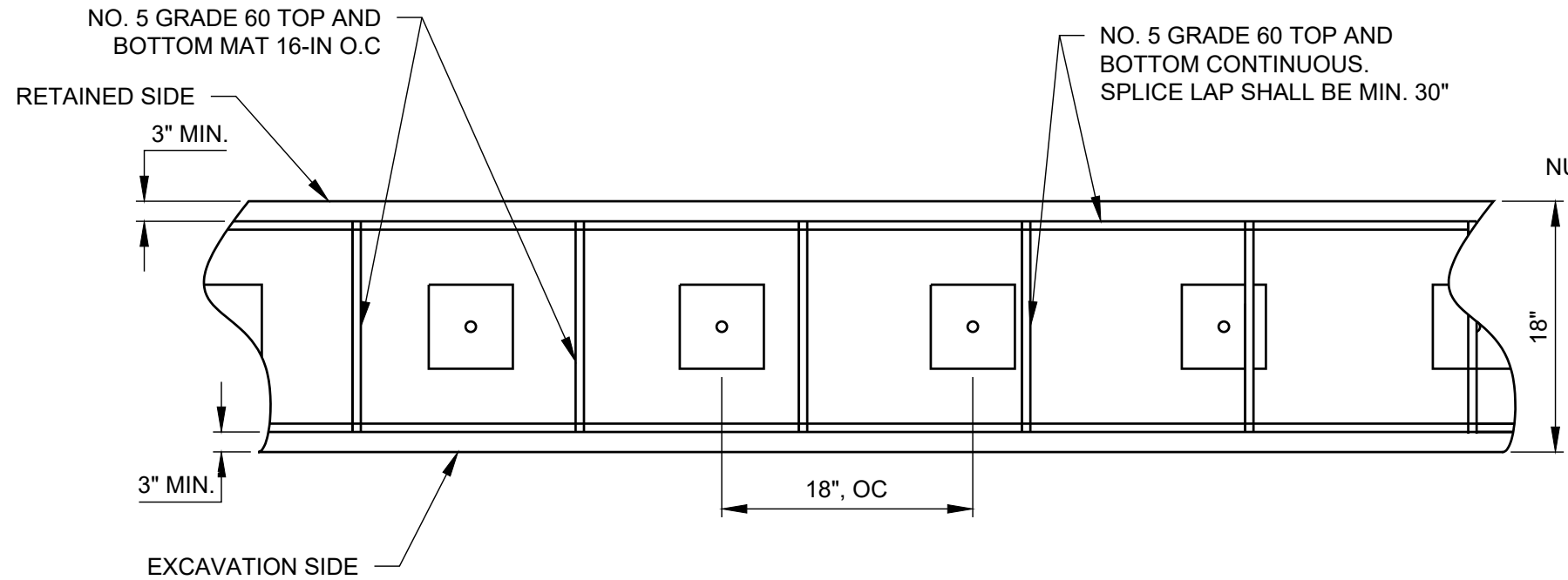
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DATE	DESCRIPTION	NO
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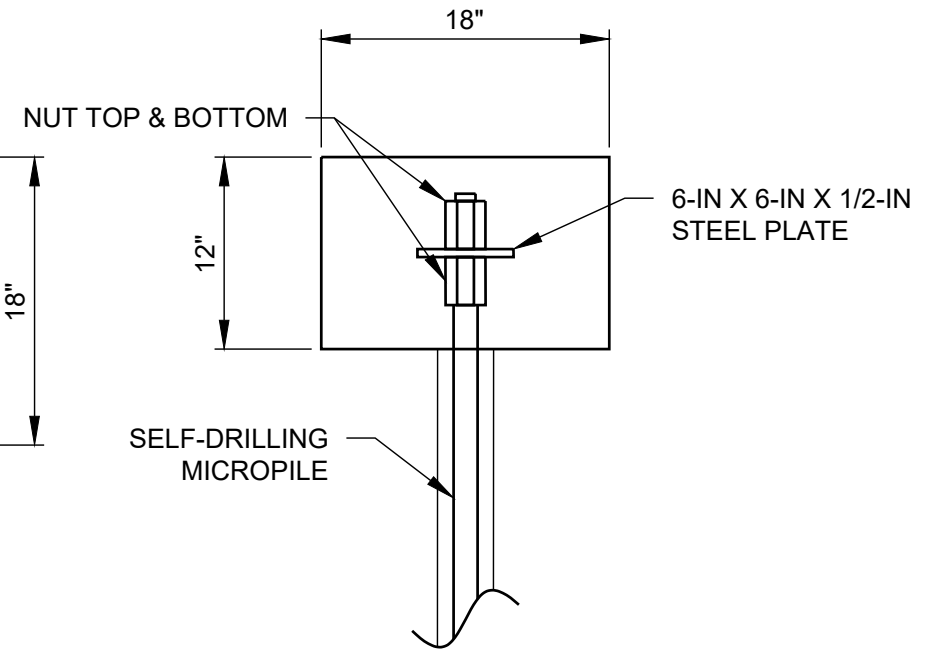
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SHEET TITLE: <b>MICROPILE ANCHOR DETAILS</b>	
DRAWN BY: MAC	CHECKED BY: JDR
DATE: 09/27/21	PROJECT NUMBER: 210487CA01
SHEET C-08	

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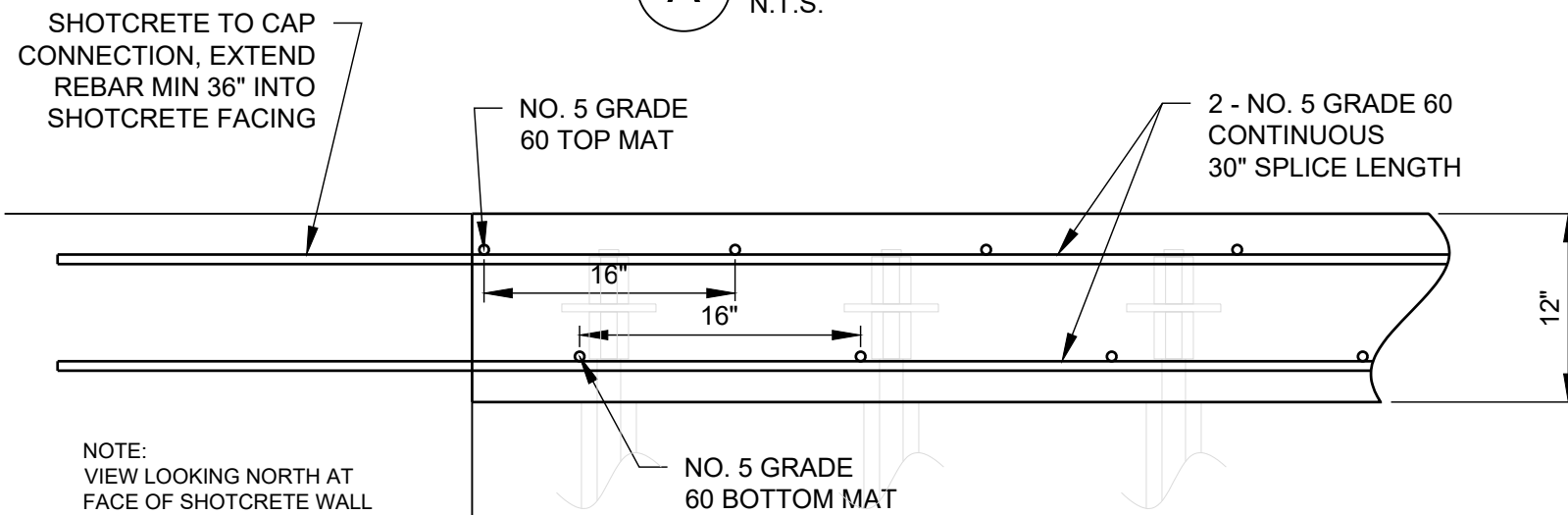
REGISTERED PROFESSIONAL ENGINEER  
CAMERON LOBATO  
C75196  
CIVIL  
STATE OF CALIFORNIA



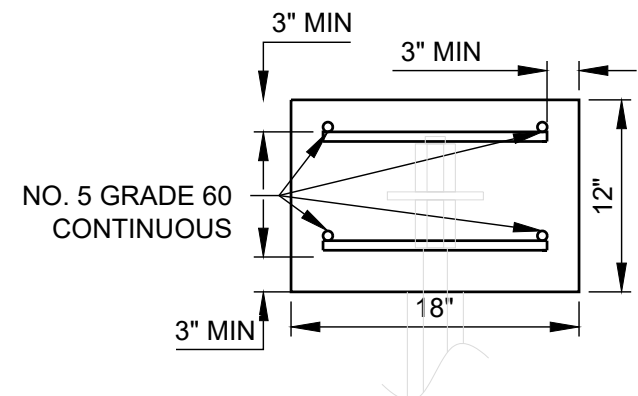
**A** MICROPILES - TOP VIEW  
N.T.S.



**B** MICROPILES - END VIEW  
N.T.S.



**C** MICROPILES - SIDE VIEW  
N.T.S.



**D** REINFORCEMENT - END VIEW  
N.T.S.

**SHEET REVISIONS**

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PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**MICROPILE CAP DETAILS**

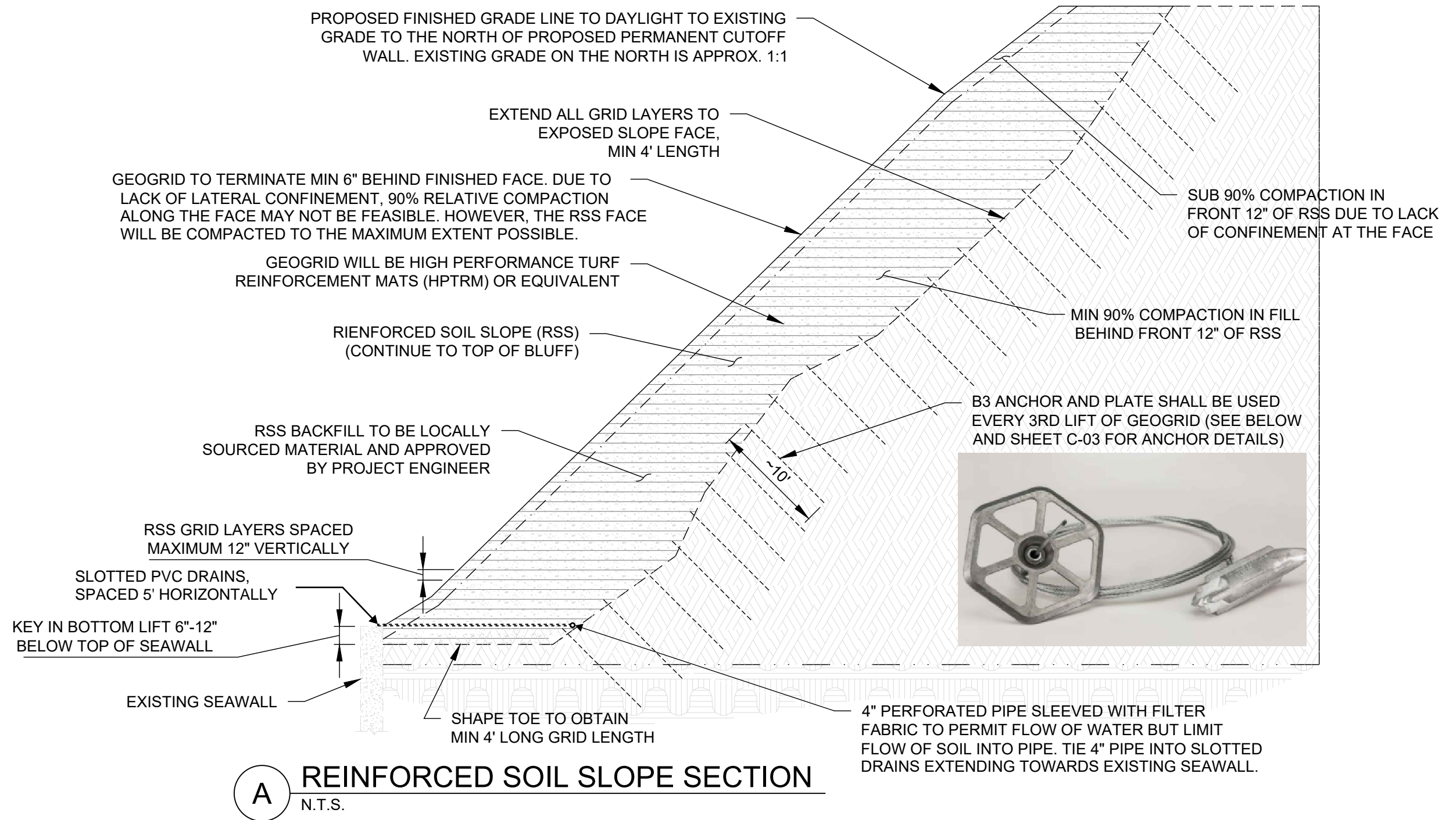
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PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**SECTION VIEW - RSS SYSTEM**

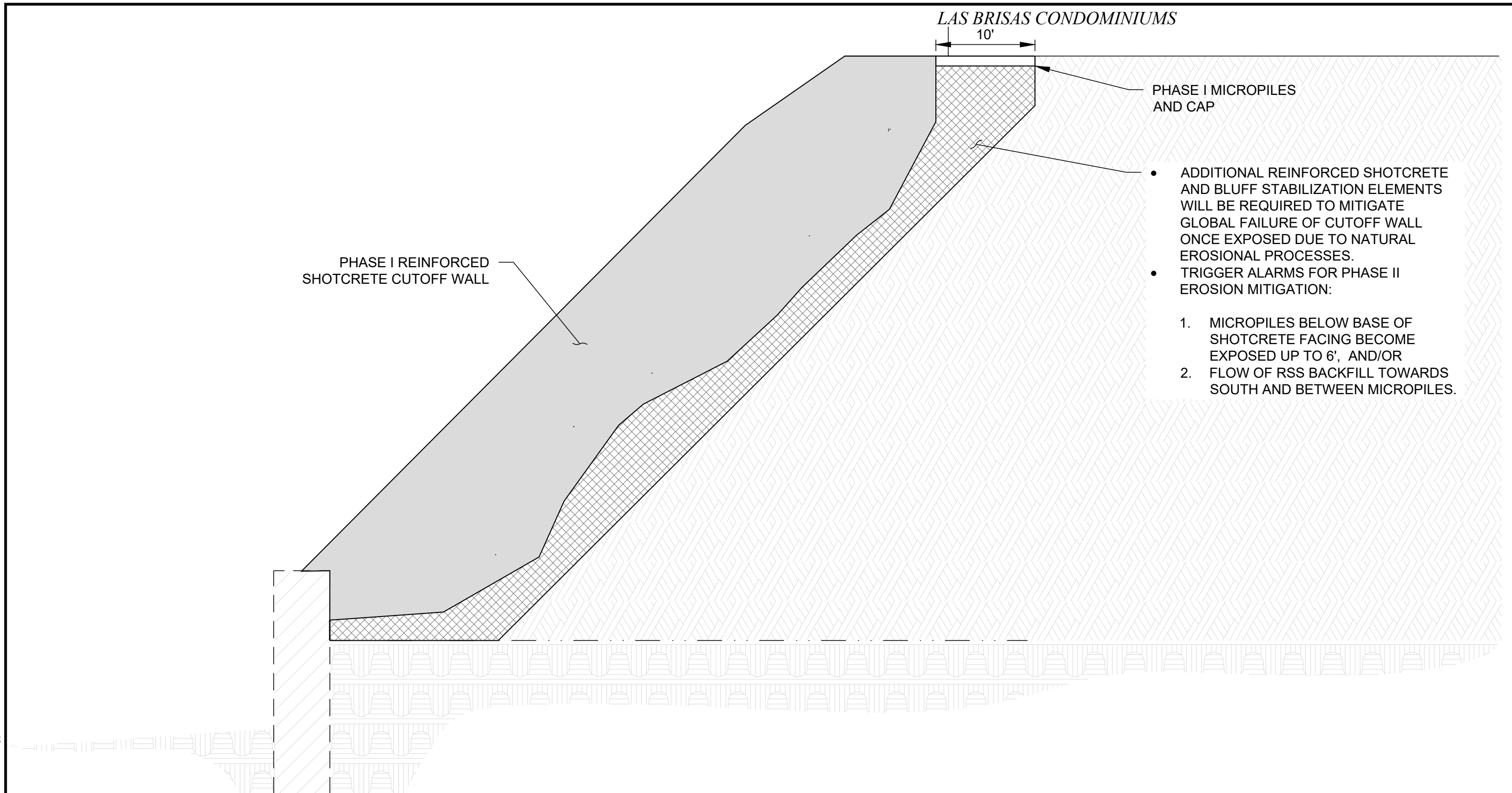
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PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**PHASE II MITIGATION SECTION**

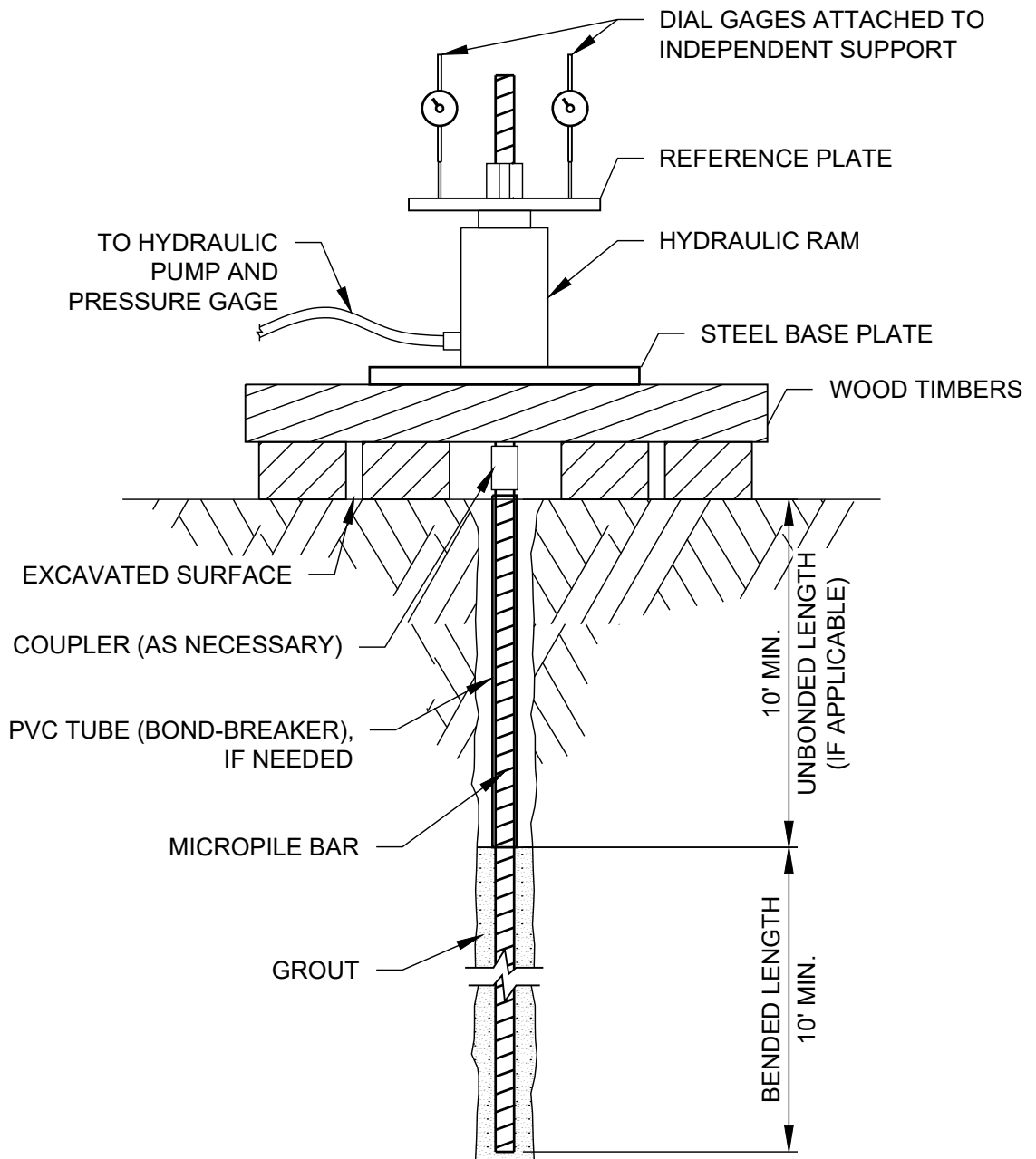
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**PROOF MICROPILE TESTING PROCEDURE AND EQUIPMENT:**

- THE REACTION FRAME WILL BE SUFFICIENTLY RIGID AND OF ADEQUATE DIMENSIONS SO THAT EXCESSIVE DEFORMATION OF THE TESTING EQUIPMENT DOES NOT OCCUR. THE REACTION FRAME WILL BE SUPPORTED INDEPENDENTLY OF THE MICROPILE BAR. THE CONFIGURATION OF THE TESTING APPARATUS WILL BE POSITIONED TO REDUCE THE POTENTIAL OF THE NEED FOR THE RAM, BEARING PLATES, AND STRESSING ANCHORAGE TO BE REPOSITIONED DURING A TEST.
- THE LOAD WILL BE APPLIED WITH A HYDRAULIC RAM AND MEASURED WITH A PRESSURE GAUGE. THE PRESSURE GAUGE WILL BE GRADUATED IN 100 PSI INCREMENTS OR LESS. THE RAM, PRESSURE GAUGES, AND PUMPS WILL HAVE BEEN CALIBRATED WITH EACH OTHER WITHIN THE LAST YEAR BY AN INDEPENDENT AASHTO ACCREDITED LABORATORY OR BY A DEPARTMENT LABORATORY.
- MOVEMENT OF THE BAR HEAD SHALL BE MEASURED WITH AT LEAST ONE DIAL GAUGE CAPABLE OF MEASURING TO THE NEAREST 0.001 INCH. THE GAUGE WILL BE VISUALLY ALIGNED TO BE PARALLEL WITH THE AXIS OF THE BAR AND SHALL BE SUPPORTED INDEPENDENTLY OF THE RAM AND REACTION FRAME. GENERALLY TWO DIAL GAUGES ARE UTILIZED, IF POSSIBLE.
- TESTING SHALL BE PERFORMED BY INCREMENTALLY LOADING THE BAR PER TO THE LOADING SCHEDULE PROVIDED BELOW. THE BAR HEAD MOVEMENTS SHALL BE RECORDED AT EACH LOAD INCREMENT WITH THE DIAL GAUGE(S).

**DESIGN LOAD (DL):**

- LOADING ON THE BAR SHALL BE APPLIED BASED ON THE DESIGN LOAD AS DETERMINED BY FHWA PUBLICATION NHI 05-039, MICROPILE DESIGN AND CONSTRUCTION.
- DESIGN BOND STRENGTH FOR THIS PROJECT IS 615 LB/FT OF BOND.
- THE DESIGN LOAD (DL) IS DETERMINED BY MULTIPLYING THE DESIGN BOND VALUES BY THE BOND LENGTH OF MICROPILE. THE BOND LENGTH FOR TESTING SHOULD BE AT LEAST 10-FT.

**TESTING OF MICROPILES:**

- PROOF TESTING WILL BE PERFORMED ON 5% OF PRODUCTION MICROPILES. LOADING WILL BE APPLIED IN TENSION.
- A MINIMUM 48-HOUR NOTICE WILL BE PROVIDED TO THE CITY'S REPRESENTATIVES PROVIDED THEY WISH TO OBSERVE MICROPILE TESTING AT THE SITE.
- TESTS SHALL OCCUR IN LOCATIONS DETERMINED BY GSI FIELD PERSONNEL ON SITE.
- THE ALIGNMENT LOAD (AL) SHALL BE APPLIED TO ALIGN THE TESTING APPARATUS. DIAL GAUGES FOR MEASURING THE MOVEMENT OF THE TEST NAIL SHALL BE SET TO "ZERO" AFTER THE ALIGNMENT LOAD HAS BEEN APPLIED.

**LOADING SCHEDULE FOR PROOF TEST**

LOADING	LOAD	HOLD TIME
AL	0.025 DL MAX	2.5 MINUTES
LOAD CYCLE	0.30 DL	2.5 MINUTES
"	0.45 DL	2.5 MINUTES
"	0.60 DL	2.5 MINUTES
"	0.75 DL	2.5 MINUTES
"	0.90 DL	2.5 MINUTES
"	1.00 DL	2.5 MINUTES
"	1.15 DL	2.5 MINUTES
HOLD 1.30 DL ABOVE FOR 10 MINUTES WHILE RECORDING MOVEMENT AT 1, 2, 3, 4, 5, 6, AND 10 MINUTES. IF TOTAL MOVEMENT MEASURED DURING LOAD EXCEEDS 0.04 INCHES BETWEEN THE 1 AND 10 MINUTE AVERAGE READINGS THEN THE LOAD SHOULD BE HELD ON MICROPILE FOR AN ADDITIONAL 50 MINUTES, RECORDING MOVEMENT AT 20, 30, 40, 50, AND 60 MINUTES.		
LOAD CYCLE	1.45 DL	2.5 MINUTES
"	1.60 DL	2.5 MINUTE
UNLOAD CYCLE	1.30 DL	4 MINUTES
"	1.00 DL	4 MINUTES
"	0.75 DL	4 MINUTES
"	0.50 DL	4 MINUTES
"	0.25 DL	4 MINUTES
AL	0.025 DL MAX	4 MINUTES

**MICROPILE TEST ACCEPTANCE CRITERIA:**

- THE SLOPE OF THE LOAD VERSUS DISPLACEMENT CURVE IS LESS THAN OR EQUAL TO 0.025 IN/KIP AT 2.00 DL.
- THE TOTAL MOVEMENT AT 1.3 DL (CREEP) DOES NOT EXCEED 0.04 INCHES BETWEEN 1 AND 10 MINUTE READINGS, OR THE TOTAL MOVEMENT DOES NOT EXCEED 0.08 INCHES BETWEEN 6 AND 60 MINUTE READINGS.

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SHEET REVISIONS		
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09/27/21	ISSUED FOR PERMIT	IFP

PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**MICROPILE TESTING DETAILS**

DRAWN BY: MAC	CHECKED BY: JDR	DATE: 09/27/21	PROJECT NUMBER: 210487CA01	SHEET C-08
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MICROPILE ID	DATE		EMBEDMENT LENGTH (ft)	
	DRILLED	GROUTED	SOIL	ROCK
1				
2				
3				
4				
5				
6				
7				
8				
9				
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11				
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45				
46				
47				

MICROPILE ID	DATE		EMBEDMENT LENGTH (ft)	
	DRILLED	GROUTED	SOIL	ROCK
48				

MUD BALANCE READINGS	
DATE	READINGS (1.75-1.84, TYP. FOR GSI'S 5-BAG MIX, SEE SHEET C-03 FOR FURTHER DETAILS)

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PROJECT NAME:  
**LAS BRISAS CONDOMINIUMS**

SHEET TITLE:  
**DRILL LOGS**

DRAWN BY: <b>MAC</b>	CHECKED BY: <b>JDR</b>	DATE: <b>09/27/21</b>	PROJECT NUMBER: <b>210487CA01</b>	SHEET <b>C-13</b>
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**GEOTECHNICAL UPDATE AND RESPONSE TO THIRD-PARTY  
GEOTECHNICAL REVIEW, LAS BRISAS CONDOMINIUMS  
BLUFF STABILIZATION, 135 SOUTH SIERRA AVENUE  
SOLANA BEACH, SAN DIEGO COUNTY, CALIFORNIA 92075  
CUP20-004**

**GeoSoils, Inc.** FOR

**MS. RENEE RESLER, PRESIDENT  
LAS BRISAS HOMEOWNER'S ASSOCIATION  
C/O THE TRETTIN COMPANY  
1195 LA MOREE ROAD, #18  
SAN MARCOS, CALIFORNIA 92078**

**W.O. 8157-A-SC      OCTOBER 22, 2021**





**Geotechnical • Geologic • Coastal • Environmental**

5741 Palmer Way • Carlsbad, California 92010 • (760) 438-3155 • FAX (760) 931-0915 • [www.geosoilsinc.com](http://www.geosoilsinc.com)

October 22, 2021

W.O. 8157-A-SC

**Ms. Renee Resler, President**  
**Las Brisas Homeowner's Association**  
c/o **The Trettin Company**  
1195 La Moree Road, #18  
San Marcos, California 92078

Attention: Mr. Bob Trettin

Subject: Geotechnical Update and Response to Third-Party Geotechnical Review, Las Brisas Condominiums Bluff Stabilization, 135 South Sierra Avenue, Solana Beach, San Diego County, California 92075, CUP20-004

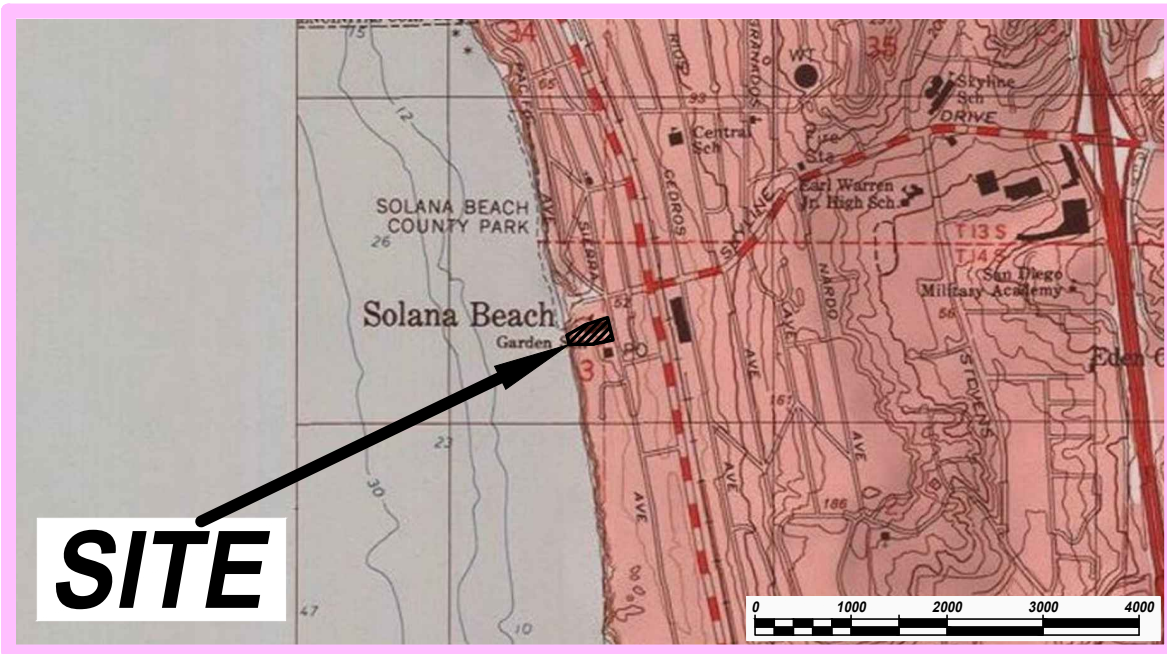
Dear Mr. Trettin:

In accordance with your request and authorization, GeoSoils, Inc. (GSI) has prepared this geotechnical update and response to the review comments provided by the City of Solana Beach's Third-Party Geotechnical Consultant, relative to the proposed stabilization of the coastal bluff at the subject site (Construction Testing & Engineering, Inc. [CTE], 2021 [see Appendix A]). This report also provides supplements to the global stability analyses previously performed by Terracosta Consulting Group (TCG) that accompanied their letter dated September 25, 2020 (TCG, 2020b). The scope of services performed for this study included reviews of previous site-specific geotechnical reports for the subject property (Anthony-Taylor Consultants [ATC], 2004b; TCG, 2021), geologic mapping, geotechnical engineering analysis, including slope stability, and the preparation of this report.

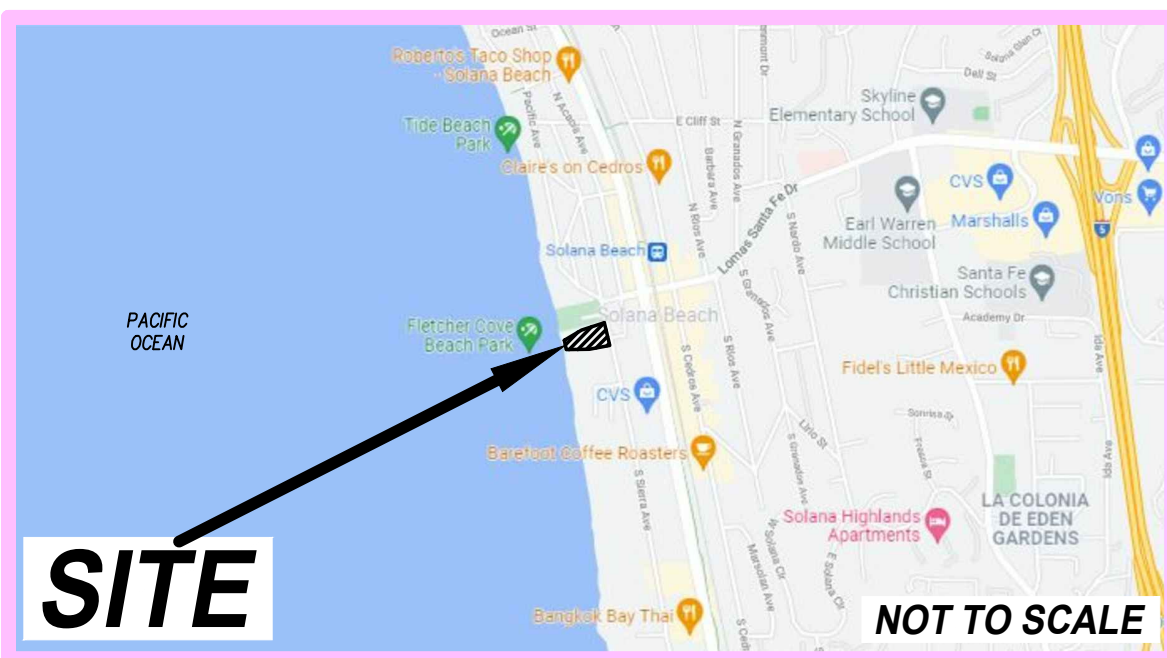
## **SITE DESCRIPTION AND PROPOSED DEVELOPMENT**

### **Site Description**

The Las Brisas Condominium property is located at 135 South Sierra Avenue in the City of Solana Beach, San Diego County, California 92075 (see Figure 1, Site Location Map). The geographic coordinates of the approximate centroid of the site are 32.9906° North, -117.2734° West. The property includes an approximately 74-foot high coastal bluff slope, ascending from the Pacific Ocean shoreline. The property is bounded by South Sierra Avenue to the east, by the Pacific Ocean shoreline to the west, by Fletcher Cove Beach Park and the City of Solana Beach Marine Safety Department to the north, and by United States Postal Service property and existing multi-family residential development (Surfsong Condominiums) to the remaining quadrant.



Base Map: TOPO!® ©2003 National Geographic, U.S.G.S. Del Mar Quadrangle, California -- San Diego Co., 7.5 Minute, dated 1994, current, 1994.



Base Map: Google Maps, Copyright 2021 Google, Map Data Copyright 2021 Google

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	<p>W.O. <b>8157-A-SC</b></p>
<p><b>SITE LOCATION MAP</b></p>	
<p>Figure 1</p>	



Topographically, the subject site occurs upon a relatively flat-lying to moderately sloping anthropogenically modified coastal terrace and a steeply sloping coastal bluff. The coastal bluff edge divides the coastal terrace from the coastal bluff.

According to the topographic survey prepared by Pasco, Laret, Suiter, and Associates ([PLS&A], 2020), the coastal terrace generally slopes to the east and north at gradients on the order of 1.6:1 (horizontal:vertical [h:v]) or flatter. However, localized anthropogenic alterations have created small slopes with gradients as steep as approximately 1/2:1 (h:v), near the eastern property margin. PLS&A (2020) indicates that slope gradients are as steep as 0.7:1 (h:v) along the upper portion of the coastal bluff and near-vertical along its exposed toe. However, the failure head scarp, created by the recent bluff failure, has resulted in localized near-vertical slope gradients in the upper bluff.

PLS&A (2020) shows that site elevations vary between approximately 11 and 90 feet (datum = North American Vertical Datum [NAVD88]). Thus, the overall relief across the Las Brisas Condominiums property is roughly 79 feet.

In general, site drainage is primarily accommodated by sheet-flow runoff that follows the site topography. However, a private storm drain system assists in the collection and conveyance of surface runoff toward South Sierra Avenue, within the developed portion of the subject property.

Onsite improvements consist of two (2), four-story and one (1) three-story condominium buildings, a one-story clubhouse, a swimming pool, a tennis court, and associated underground utilities, retaining walls, and vehicular and pedestrian pavements. Existing landscaping generally consists of sparse trees, shrubbery, flowers, and artificial turf. At their closest point, the horizontal separation between the seaward foundation of the westernmost condominium building (referred to hereinafter as Building 3) and the coastal bluff edge is approximately 27 feet.

The basal portion of the coastal bluff at the subject site is currently afforded protection from marine erosion by an existing seawall consisting of an approximately 120-foot long hand-sculpted and colored shotcrete wall restrained by three (3) rows of 75-foot long tiebacks (Soil Engineering Construction, Inc., personal communication). The top of the shotcrete wall extends to elevation 35 mean sea level (MSL) or approximately 37 feet NAVD88. Geogrid-reinforced fill was placed above the top of the seawall to approximate elevation 45 feet MSL or roughly 47 feet NAVD88 to create a relatively uninterrupted transition between the top of the seawall and the upper bluff slope.

Based on our review of an application letter for a Conditional Use Permit (CUP) amendment, prepared by The Trettin Company ([TC], 2020) it is our understanding that a significant failure of the coastal bluff occurred immediately south of the existing seawall in August 2019. According to TC (2020), the failure has undergone progressive headward retreat since that time, and has impacted a recorded easement for public

agency vehicles, including emergency vehicles. In addition, it necessitated a City of Solana Beach-mandated closure of public pedestrian access from nearby Fletcher Cove, across the Las Brisas property, into a public open space area on the adjacent Surfsong Condominium property to the south. This bluff failure is the focus of this geotechnical update evaluation.

## **GEOTECHNICAL BACKGROUND**

In 2004, ATC completed a geotechnical evaluation of the subject site to study the coastal bluff conditions present at that time and to assess the potential for bluff instability, resulting from marine and subaerial erosional processes. ATC's study included: reviews of available proprietary and nonproprietary photographs, maps, reports and other pertinent documents; a review of the subsurface findings and laboratory test data obtained from their previous, onsite study; reconnaissance observations, mapping, and photographic documentation of the site and coastal bluff; topographic surveying of the lower and middle coastal bluff areas; the preparation of representative geologic cross sections; engineering and geologic analyses of the collected data, including quantitative slope stability analyses; and the preparation of a summary report presenting their engineering geological, and geotechnical findings related to the existing bluff conditions, and providing recommendations for mitigation of progressive coastal bluff retreat occurring at the time of their evaluation (ATC, 2004b).

The earth materials encountered during ATC's previous (November 2003) field exploration and their more recent site reconnaissance, performed in preparation of ATC (2004b), included: transient, Quaternary-age beach deposits along the shoreline; a localized mantle of artificial fill with a maximum estimated thickness of approximately 12 feet within the developed portion of the subject property; Quaternary-age Bay Point Formation (now referred to as Quaternary-age old paralic deposits on recent regional geologic maps [Kennedy and Tan, 2008]) in the upper portion of the coastal bluff, and in the near-surface within the developed portion of the subject property; and Tertiary-age sedimentary bedrock, belonging to the Torrey Sandstone, exposed in the basal portion of the coastal bluff (i.e., sea cliff) and unconformably underlying the Bay Point Formation and beach deposits. ATC also encountered offsite landslide debris within the lower portion of the north-facing bluff descending toward nearby Fletcher Cove. Given their location relative to the bluff failure under the purview of this report, the landslide deposits described in ATC (2004b) are not considered relevant to this update; and therefore, not further discussed herein.

ATC (2004b) stated that the artificial fill materials they encountered were reportedly placed during original site development. Their review of the original grading plans for the Las Brisas Condominiums complex indicated that approximately 7 to 10 feet of planned fill was necessary to create the design grades near the northeastern portion of the property, and original planned fill thicknesses varying between approximately 6 and 10 feet

were required to attain the design grades in the southeastern and central portions of the subject address. ATC reported that no significant fills occurred within the vicinity of the coastal bluff, and no fill was placed beneath Building 3. ATC concluded that the overall thickness of fill materials at the subject site ranged between approximately 2 and 12 feet, with the deepest fill occurring as backfill for the retaining walls associated with the subterranean parking levels for the two (2) eastern condominium buildings.

According to ATC (2004b), the beach deposits generally consisted of loose, unconsolidated, sand with gravels and cobbles. At the time of their study, ATC estimated the thickness of the beach deposits varied between approximately 3 and 7 feet, depending on seasonal, tidal, and storm conditions.

ATC (2004b) reported that the Bay Point Formation at the subject property consisted of three (3) distinct parts or subunits. They described the upper part as dense, reddish brown, slightly clayey sand with an approximate thickness of 6 to 10 feet; the middle part as approximately 39 to 44 feet of moderately loose to dense, light tan to gray sand; and the lower part as a roughly 3- to 5-foot thick, fining-upward sequence of clean sand, underlain by coarse sand and pebbles.

According to ATC (2004b), the Torrey Sandstone in the bluff outcrop consisted of indurated yellowish brown and grayish brown silty and clayey fine-grained sandstone with occasional, local interbeds and/or lenses of siltstone and claystone. ATC indicated the Torrey Sandstone was generally massive but included distinct cross bedding.

In regards to geologic structures within the Bay Point Formation and Torrey Sandstone, ATC stated that the geologic maps and documents they reviewed described Bay Point Formation bedding as nearly horizontal. Based on their observations, ATC reported that Torrey Sandstone bedding was mostly subhorizontal with a localized siltstone/claystone bed inclined 4 degrees to the northeast. ATC also observed steeply inclined fractures and joints within the Torrey Sandstone that trend at an oblique angle relative to the orientation of the coastal bluff.

ATC did not encounter evidence of groundwater in their borings to the explored depths. They did, however, observe minor to moderate groundwater seepage emanating from siltstone/claystone bedding within the Torrey Sandstone, near the base of the north-facing bluff descending toward Fletcher Cove, and along soil contacts within the west-facing bluff outcrop, west of the Marine Safety Department headquarters. In addition, ATC observed minor groundwater seepage emanating from the westerly exposed surfaces of the existing sea cave infill and from the upper portion of a fracture coincident with the sea cave. ATC opined that groundwater seepage may be originating from tidal water entering joints and fractures, and possibly infiltrated irrigation and storm runoff from inland sites. ATC also stated that the groundwater was likely migrating along zones of contrasting permeabilities, such as geologic contacts, fractures, joints, and bedding planes.

ATC's observations along the coastal bluff at the subject site and adjacent areas indicated localized erosion and scouring from wave action, controlled in part by depleted beach sand levels and variable cementation, and discontinuities within the Torrey Sandstone, exposed in the sea cliff. ATC indicated that marine erosion created nips or sea caves within the lower approximately 10 feet of the sea cliff, reducing support of the overlying materials and increasing the risks of bluff failure/collapse.

As part of their study, ATC evaluated geologic and seismic hazards that could affect the subject property. They concluded that the subject site was susceptible to severe ground shaking resulting from the maximum credible earthquake occurring on the nearby Rose Canyon fault. In addition, ATC surmised that the risks to the coastal bluff at the subject site and the proximal existing structures from landslides was moderate to high. ATC determined that the risks from secondary seismic hazards, such as liquefaction, lateral spreading, and seismic settlement, were relatively low.

In regards to coastal bluff retreat, ATC (2004b) concluded that the "normal" bluff erosion rate at the subject site is on the order of 0.2 to 0.4 feet per year (ft/yr). However, due to the episodic nature of bluff retreat, which is often influenced by meteorological, tidal, wave, and site-specific conditions, ATC suggested that periods of accelerated bluff retreat are likely, especially when moderate to significant undercutting along the toe of the bluff coincides with depleted beach sand levels, as was the case at the time of their 2004 investigation.

Based on their observations, ATC surmised that there was significant likelihood for bluff failures to occur where undercutting and sea cave formation were present along the onsite coastal bluff. ATC admonished that if left unmitigated, the marine erosion impacting the basal portion of the onsite coastal bluff presented a real and imminent threat to Building 3, the public access corridor that services the Las Brisas Condominiums development and the adjacent Surfsong Condominiums development to the south, and the fire access road that provides ingress/egress for fire suppression equipment, along the southern side of the Las Brisas Condominiums property. Given these factors, ATC (2004b) stated that the observed conditions within the onsite coastal bluff jeopardized the health and safety of the beach-going public, pedestrians traveling along the public-access corridor, and the stability of Building 3.

To support their conclusions pertaining to the perilous conditions at the subject property, ATC performed quantitative slope stability analyses along five (5) representative geologic cross sections. Of the five sections, Geologic Cross Sections A-A', B-B', and C-C' traversed the coastal bluff and Building 3. The results of these analyses showed that the static factors-of-safety (FOS) for the most critical theorized failure surfaces ranged between 1.07 and 1.33, with the lowest FOS occurring along ATC's Geologic Cross Section A-A', which was located near the southern end of the aforementioned building.

For mitigation, ATC recommended two (2) alternative remedial measures. One alternative involved infilling the undercut portions and sea caves within the lower bluff with erodible concrete. The second alternative included similar infill of the undercut areas and sea caves, and the construction of an approximately 120-foot long seawall extending to elevation 35 feet MSL. The second alternative would also include a subdrain system to reduce the buildup of hydrostatic pressure behind the seawall. ATC considered the seawall alternative to be the more effective form of mitigation.

As requested by the City of Solana Beach, GSI performed a third-party review of ATC (2004b) and the undated seawall plans prepared by Soil Engineering Construction, Inc. (SEC), in which we provided review comments specific to ATC (2004) and SEC's plans (GSI, 2004b). Following our reviews of the responses by ATC (ATC, 2004a) and plan corrections by SEC (SEC, 2004), we concluded that ATC's geotechnical studies fulfilled the requirements of the Solana Beach Municipal Code (GSI, 2004a), and SEC's seawall plans were in conformance with ATC's recommendations (GSI, 2006).

In 2020, TCG evaluated coastal bluff stability at the subject property in response to the aforementioned progressive bluff failures occurring near the southwestern property corner (TCG, 2020b). TCG's study included several site inspections that involved mapping the approximate limits of the slope failure on PLS&A (2020) and reconstructing the approximate bluff contours to reflect the failure limits, as they existed during their initial site inspection on April 16, 2020.

TCG also performed quantitative slope stability analyses using representative geologic cross sections traversing the bluff failure. These analyses demonstrated that the coastal bluff failure reduced the static global stability factor-of-safety (FOS) of the existing public easement/public agency vehicle access and the southwest corner of Building 3 to as low as 1.021 and 1.231, respectively. Since these static global stability FOS were below the generally recognized acceptable static short-term (temporary) global stability FOS of 1.25, TCG admonished that the southwest corner of the condominium structure could be imminently threatened following a single additional failure event. Given the results of their analyses, TCG recommended that the Las Brisas Condominiums Homeowner's Association (HOA) begin the process of acquiring the necessary permits to construct a "caisson/grade beam/tieback lateral wall that would extend up the coastal bluff from the southern terminus of the existing permitted seawall to the top of the bluff. TCG's letter report dated September 25, 2020 (TCG, 2020b) provided a summary of their coastal bluff stability evaluation.

TCG also prepared conceptual plans illustrating their proposed wall design (TCG, 2020a). This wall concept included the installation of nine (9), 30-inch diameter, reinforced cast-in-drilled-hole (CIDH) concrete piles with a reinforced structural concrete wall facing between and in front of the southern sides of the piles. The wall would extend through the failure area from the southern terminus of the existing seawall to the top of the coastal bluff. One (1) additional CIDH pile would be installed east of the bluff failure for future

maintenance/repair purposes. The exposed concrete wall facing would be textured and colored to resemble the nearby coastal bluffs. The failed bluff area to the north of the piles and concrete wall facing would be regraded to an approximate 1:1 (h:v) or flatter gradient using geogrid reinforcement. The temporary working bench, immediately south of the proposed wall, would be restored via grading to roughly match the adjacent topographic conditions to the south.

## **RECENT FIELD STUDIES**

On May 26, 2021, a GSI representative visited the subject site to map the approximate location of the coastal bluff edge. GSI returned to the site on June 30, 2021 to perform geologic mapping of the coastal bluff in the vicinity of the bluff failure near the southwestern property corner. In addition, in preparation of a separate geotechnical study, GSI advanced two (2) borings near the southeastern corner of the westernmost condominium building on June 2, 2021. Our interpreted coastal bluff edge location, the geologic conditions exposed in the coastal bluff, and the approximate locations of the aforementioned borings are shown in plan view on Plate 1 (Geotechnical Map), which uses PLS&A (2020) as a base. The geologic conditions within the failed portion of the coastal bluff are also shown in profile on Plate 2 (Geologic Cross Sections A-A' and B-B'). Logs of pertinent ATC (2004b) and GSI borings are included in Appendix B.

## **GEOLOGIC CONDITIONS IN THE VICINITY OF THE SOUTHWESTERN CORNER OF THE LAS BRISAS CONDOMINIUMS PROPERTY**

Our observations along the portion of the coastal bluff in proximity to the southwestern corner of the subject site indicated that the geologic conditions therein are generally similar to those described in ATC (2004b). We observed the Torrey Sandstone (Map Symbol - Tt) below approximate elevation 30 feet NAVD88 and old paralic deposits between approximate elevations 30 feet and 87 feet NAVD88. Transient beach deposits (Map Symbol - Qb) occur along the shoreline, seaward of the coastal bluff. The existing seawall (Map Symbol - Afw) and the overlying geogrid-reinforced fill (Map Symbol - Afr) occur along the basal portion of the coastal bluff, to the north of the bluff failure. A relatively thin layer of older artificial fill (Map Symbol - Afo), possibly associated with the original grading of the Las Brisas Condominiums property, was encountered at the surface in our Boring B-1. Based on its placement atop colluvial soils (Map Symbol - Qcol) and possible asphaltic concrete pavement, the older artificial fill may have not been intended for engineering purposes.

Based on our observations of the geologic conditions exposed along the failure scarp, it is our opinion that the old paralic deposits may be subdivided into four (4) parts or subunits. From top to bottom these include an approximately 12-foot thick, near-vertical section of partially cemented, iron-oxide stained silty to clayey sand (Map Symbol - Qop<sub>4</sub>),



an approximately 25-foot thick section of friable, poorly graded sand (Map Symbol - Qop<sub>3</sub>), an approximately 12-foot thick, near-vertical section of silty sand (Map Symbol - Qop<sub>2</sub>), and an approximately 8-foot thick section of friable, poorly graded sand (Map Symbol - Qop<sub>1</sub>).

The Torrey Sandstone exposed in the sea cliff portion of the coastal bluff generally consisted of silty sandstone. The Torrey Sandstone included a localized siltstone bed roughly oriented N 60° W and dipping approximately 10 degrees to the southwest.

There were no indications of groundwater exiting the coastal bluff during our field mapping. The elevation of the regional groundwater table is inferred to be generally coincident with sea level or approximately NAVD88.

### **UPDATED SEISMIC SHAKING PARAMETERS**

The following table summarizes the updated site-specific seismic design criteria obtained from the 2019 CBC, Chapter 16 Structural Design, Section 1613, Earthquake Loads and American Society of Civil Engineers (ASCE) 7-16 (ASCE, 2017). The computer program Seismic Design Maps, provided by the California Office of Statewide Health Planning and Development (OSHPD) and the Structural Engineers Association of California (SEAOC) has been used to assist in the design (<https://seismicmaps.org>). The short spectral response utilizes a period of 0.2 seconds. Based on our understanding of the subsurface setting, it is our opinion that Site Class “D” conditions exist within the study area.

<b>2019 CBC SEISMIC DESIGN PARAMETERS</b>			
<b>PARAMETER</b>	<b>VALUE per OSHPD/SEAOC SEISMIC DESIGN MAPS</b>	<b>VALUE per ASCE 7-16</b>	<b>2019 CBC or REFERENCE</b>
Risk Category <sup>(1)</sup>	II	II	Table 1604.5
Site Class	D	D	Section 1613.2.2/Chap. 20 ASCE 7-16 (p. 203-204)
Spectral Response - (0.2 sec), S <sub>s</sub>	1.240 g	0.911 g	Section 1613.2.1 Figure 1613.2.1 <sup>(1)</sup>
Spectral Response - (1 sec), S <sub>1</sub>	0.440 g	0.751 g	Section 1613.2.1 Figure 1613.2.1 <sup>(2)</sup>
Site Coefficient, F <sub>a</sub>	1.2	1.0	Table 1613.2.3 <sup>(1)</sup>
Site Coefficient, F <sub>v</sub>	null - see Section 11.48 ASCE 7-16	2.5 <sup>(2)</sup> (Section 21.3)	Table 1613.2.3 <sup>(2)</sup>
Maximum Considered Earthquake Spectral Response Acceleration (0.2 sec), S <sub>MS</sub>	1.488 g	1.40 g <sup>(3)</sup> (Section 21.4)	Section 1613.2.3 (Eqn 16-36)

2019 CBC SEISMIC DESIGN PARAMETERS			
PARAMETER	VALUE per OSHPD/SEAOC SEISMIC DESIGN MAPS	VALUE per ASCE 7-16	2019 CBC or REFERENCE
Maximum Considered Earthquake Spectral Response Acceleration (1 sec), $S_{M1}$	null - see Section 11.48 ASCE 7-16	1.20 g <sup>(4)</sup> (Section 21.4)	Section 1613.2.3 (Eqn 16-37)
5% Damped Design Spectral Response Acceleration (0.2 sec), $S_{DS}$	0.992 g	0.933 g <sup>(5)</sup>	Section 1613.2.4 (Eqn 16-38)
5% Damped Design Spectral Response Acceleration (1 sec), $S_{D1}$	null - see Section 11.48 ASCE 7-16	0.798 g <sup>(6)</sup> (Section 21.4)	Section 1613.2.4 (Eqn 16-39)
$PGA_M$ - Probabilistic Vertical Ground Acceleration may be assumed as about 50% of these values.	0.67 g	0.608 g-	ASCE 7-16 (Eqn 11.8-1)
Seismic Design Category	null - see Section 11.48 ASCE 7-16	D <sup>(7)</sup> (Section 11.6)	Section 1613.2.5/ASCE 7-16 (p. 85: Table 11.6-1 or 11.6-2)
1. Risk Category to be confirmed by the Project Architect. 2. Per Table 11.4-1 of ASCE 7-16, since $S_1 \geq 0.2$ , $F_v$ is taken as 2.5. 3. Per Section 21.4 of ASCE 7-16, $S_{MS} = (1.5)(S_{DS}) = (1.5)(0.933 \text{ g}) = 1.40 \text{ g}$ 4. Per Section 21.4 of ASCE 7-16, $S_{M1} = (1.5)(S_{D1}) = (1.5)(0.798 \text{ g}) = 1.20 \text{ g}$ 5. Per Section 21.4 of ASCE 7-16, $S_{DS}$ shall be taken as 90 percent of the maximum spectral acceleration ( $S_a$ ) obtained from the site-specific spectrum at any period within the range from 0.2 to 5 seconds, inclusive. 6. Per Section 21.4 of ASCE 7-16, $S_{D1}$ shall be taken as the maximum value of the product $TS_a$ obtained from the site-specific spectrum from the period within the range of 1 to 5 seconds, inclusive. 7. Per Table 11.6-1 of ASCE 7-16, $0.50 \text{ g} \leq S_{D1} \leq 0.50 \text{ g} \leq 0.933 \text{ g}$ . Thus, the site is within Seismic Design Category "D."			

Conformance to the criteria above for seismic design does not constitute any kind of guarantee or assurance that significant structural damage or ground failure will not occur in the event of a large earthquake. The primary goal of seismic design is to protect life, not to eliminate all damage, since such design may be economically prohibitive. Cumulative effects of seismic events are not addressed in the 2019 CBC (CBSC, 2019) and regular maintenance and repair following locally significant seismic events (i.e.,  $M_w 5.5$ ) will likely be necessary.

## COASTAL BLUFF GEOMORPHOLOGY

The typical coastal-bluff profile may be divided into three zones: the shore platform; a lower near-vertical cliff surface termed the sea cliff; and an upper-bluff slope generally ranging in inclination between about 20 and 80 degrees (measured from the horizontal). The bluff top or bluff edge is the boundary between the upper bluff slope and the relatively flat lying to gently sloping coastal terrace.

Offshore from the sea cliff is an area of indefinite extent termed the near-shore zone. The bedrock surface in the near-shore zone, which extends out to sea from the base of the sea cliff, is the shore platform. As pointed out by Trenhaile (1987), worldwide, the shore platform may vary in inclination from near horizontal to as steep as 3:1 (h:v). In the

Encinitas and Solana Beach areas, the shore platform extends 500 to 900 feet offshore at a 1 to 2 percent slope (United States Army Corps of Engineers [USACE], 2015). The boundary between the sea cliff and the shore platform is called the cliff-platform junction, or sometimes the shoreline angle. Within the near-shore zone, is a subdivision called the inshore zone, where the waves begin to break. This boundary varies with time because the point at which waves begin to break changes dramatically with changes in wave size and tidal level. During low tides, large waves will begin to break further away from shore. During high tides, waves may not break at all, or they may break directly on the lower sea cliff. Closer to shore is the foreshore zone, or the portion of the shoreline lying between the upper limit of wave wash at high tide and the ordinary low water mark. Both of these boundaries often lie on a sand or cobble beach. In this case, a shoreline with a bluff, the foreshore zone extends from low water to the lower face of the bluff.

Emery and Kuhn (1982) developed a global system of classification of coastal bluff profiles, and applied that system to the San Diego County coastline from San Onofre State Park to the southerly tip of Point Loma. Emery and Kuhn (1982) designated the Solana Beach coastline as “active” and “Type A-c.” The letter “A” designates coastal bluffs having a homogeneous geologic formation along the base of the bluff and in the upper portions of the bluff. The relative effectiveness of marine erosion compared to subaerial erosion of the bluff produces a characteristic profile. The letter “c” indicates that the long-term rate of marine erosion is approximately equal to that of subaerial erosion.

## **SLOPE STABILITY ANALYSIS**

GSI performed quantitative slope stability analysis to evaluate the existing, global static factor-of-safety of Building 3, in light of the nearby bluff failure. The geologic conditions shown on Geologic Cross Section A-A' were used as a model in the analysis, since this traverse represents the closest distance between the bluff edge (top of the failure head scarp) and the foundation of Building 3. The two-dimensional slope stability analysis software program “GEOSTASE” version 4.30.31, developed by Gregory (2018), facilitated the quantitative slope stability analysis. For more information regarding the “GEOSTASE” slope stability analysis software program, please refer to the user manual available on the Gregory Geotechnical, Geotechnical Engineering and Consulting website (<https://www.gregeo.com/software/>).

For the analysis, we incorporated a distributed load of 250 pounds per square foot (psf) to simulate surcharge applied by heavy axle (HS20) vehicles, such as fire suppression equipment within the emergency vehicle access road (fire access road), near the southwest corner of the Las Brisas Condominiums property. We also applied a 3,000 psf distributed load to replicate surcharge from Building 3. The soil strengths modeled in our analyses were based on the results of shear testing performed by ATC (2004b) and GSI (see Appendix C), as well as our professional judgement. Isotropic soil strengths were applied to all geologic units included in the analyses.

GSI searched for theoretical failure surfaces within the Quaternary-age old paralic deposits in the upper bluff, since progressive retreat of the existing failure scarp is the most likely bluff failure mechanism in the near term. Given the modeled failure mechanics, our analysis did not consider every geologic unit and corresponding soil strength entered into “GEOSTASE”.

The following table summarizes the soil strengths assigned to the geologic units entered into the analysis:

SOIL MATERIALS	SOIL UNIT WEIGHT (pounds per cubic foot [pcf])		SHEAR STRENGTH PARAMETERS	
	Moist	Saturated	C (psf)	Φ (degrees)
Quaternary Beach Deposits (Qb)	105	110	0	33
Artificial Fill - Older (Afo)	110	N/A	50	32
Quaternary Colluvium (Qcol)	105	N/A	50	29
Weathered Quaternary Old Paralic Deposits - Subunit 4 (Qop)	108	N/A	100	30
Quaternary Old Paralic Deposits - Subunit 4 (Qop4)	114	N/A	230	32
Quaternary Old Paralic Deposits - Subunit 3 (Qop3)	107	N/A	190	34
Quaternary Old Paralic Deposits - Subunit 2 (Qop2)	105	N/A	150	40
Quaternary Old Paralic Deposits - Subunit 1 (Qop1)	107	N/A	50	33
Tertiary Torrey Sandstone (Tt)	102	N/A	290	37

Our search for theoretical failure surfaces in the upper bluff was initiated within Subunit 1 of the old paralic deposits (Map Symbol - Qop<sub>1</sub>) and terminated within the footprint of Building 3. Slope stability was analyzed using Spencer’s Method to satisfy all conditions of force and moment equilibrium. GSI allowed “GEOSTASE” to search for 4,999 potential theoretical failure planes.

The results of the analysis are shown on Plate D-1 (Appendix D), and indicate that the theoretical failure surface with a static factor-of-safety (FOS) equal to 1.19 would daylight the ground surface within the footprint of Building 3. Thus, our global stability analysis indicates that the southwestern corner of Building 3 is subject to impending catastrophic failure unless remedial measures are undertaken in the near term. An additional failure of

the head scarp that results in the loss of several feet of land between the scarp and the seaward foundation of Building 3 has high potential to trigger such an event. Similarly, portions of the existing fire access road, near the failure head scarp are also subject to imminent failure. Failure of this road could present a danger to the life and safety of the building occupants if fire suppression and rescue equipment are unable to travel along the designated pathway.

## **PRELIMINARY CONCLUSIONS AND RECOMMENDATIONS**

As previously stated, the southwestern corner of Building 3 and the existing fire access road have been imperiled by the nearby bluff failure. Thus, emergency measures should be taken to stabilize the failed portion of the coastal bluff.

The Las Brisas Condominiums HOA has retained the services of the design-build consultant Geostabilization International (GI) to develop a plan to stabilize the failed portion of the coastal bluff. This plan (GI, 2021a, 2021b) includes remedial measures similar to those proposed by TCG (2020a). However, rather than supporting the shotcrete wall by CIDH piles, GI is proposing to use an array of 51 micropiles for the wall foundation. Each micropile will extend a minimum of 5 feet into the Torrey Sandstone. The wall would retain a reinforced soil slope that restores the failed portion of the bluff to its north side.

GSI has performed a review of GI (2021b) and the supporting calculations included in GI (2021a). Based on our review, the proposed mitigation would return the static and seismic global FOS of Building 3 to at least 1.5 and 1.1, respectively. It is our opinion that GI has used reasonably conservative parameters for soil strengths and seismic loading in their slope stability and structural analyses.

## **FINAL PLAN REVIEW**

As the Geotechnical Consultant-of-Record, GSI should perform a final geotechnical review of the bluff stabilization plans and supporting structural calculations, following review by the regulatory agencies.

## **RESPONSES TO CTE (2021)**

Based on our review of CTE (2021), GSI understands that it is our responsibility to respond to comment nos. 2, 5, 7, and 8a. The CTE (2021) review comments requiring our attention are repeated below in *italics*, followed by our response.

## **CTE Comment No. 2**

*Per the permit application, question 5, please provide a geotechnical report prepared to meet the requirements of the City and the California Coastal Commission (CCC) signed and stamped by both a Registered Civil Engineer (RCE) and Certified Engineering Geologist (CEG). A previously prepared geotechnical report associated with the previous wall construction, updated to current standard of practice and signed and stamped by a RCE and CEG, may be suitable.*

## **GSI Response to CTE Comment No. 2**

GSI respectfully refers the reviewer to the geotechnical update evaluation that precedes this response.

## **CTE Comment No. 5**

*Please provide a site plan and geologic cross-section of the existing slope failure that depicts the underlying geology; the limits of the public access easement; the seaward side of the nearest principal structure foundational element; and verified top-of-bluff and corresponding minimum setbacks.*

## **GSI Response to CTE Comment No. 5**

GSI respectfully directs the reviewer to the attached Plates 1 and 2.

## **CTE Comment No. 7**

*Noting that the LCP defines City Infrastructure as “City owned roads and City owned utilities located therein and thereon,” please comment as to whether a bluff failure is imminent that would threaten city infrastructure and/or a principal structure with danger from erosion, per LCP Policy 4.52(a)(1). Additionally, please comment as to whether city infrastructure and/or a principal structure is more likely than not to be in danger within approximately one year, per LCP Policy 4.52(a)(2).*

## **GSI Response to CTE Comment No. 7**

As stated previously in this report, our global slope stability analyses indicates that the southwestern corner of Building 3 currently has a static FOS of 1.19. This is less than the static short-term FOS of 1.25 recognized by major municipalities in southern California (City of San Diego, 2018; City of Los Angeles Department of Building and Safety, 2020). Thus, it is our opinion that the southwestern corner of Building 3 is in danger of structural damage at this time. In addition, the slope stability analyses indicate that the fire access road for fire suppression and rescue equipment, adjacent to the top of the failure scarp, is also threatened at this time. A failure of this road could limit access of such emergency vehicles, which presents a life and safety issue to the occupants of Building 3.

### **CTE Comment No. 8**

*Please address the proposed project's impact on the southerly neighbor, including but not limited to:*

- a. *What impact will the proposed wall have on the future erosion of the remaining exposed scarp on the southerly neighbor's property?*

### **GSI Response to CTE Comment No. 8a**

The proposed mitigation shown on GI (2021b) will have no impact on the future erosion of the remaining exposed scarp on the southerly neighbor's property (i.e., Surfsong Condominiums). The proposed bluff restoration and protective measures do not extend to the south of the Las Brisas Condominiums' property, since the adjacent Surfsong Condominiums HOA does not want to participate in the repair at this time. Thus, the remaining exposed failure scarp, located on the adjacent Surfsong Condominiums' property, will be subject to additional headward retreat. As indicated on Sheet C-11 of GI (2021b), additional reinforced shotcrete and bluff stabilization will be required to mitigate global failure of the cutoff wall should erosion on the Surfsong Condominium's property expose 6 feet or more of the micropiles below the base of the shotcrete facing and/or if the reinforced soil slope backfill begins to run between the micropiles.

### **LIMITATIONS**

The materials encountered on the project site and utilized for our analysis are believed representative of the area; however, soil and bedrock materials vary in character between excavations and natural outcrops or conditions exposed during mass grading. Site conditions may vary due to seasonal changes or other factors.

Inasmuch as our study is based upon our review and engineering analyses and laboratory data, the conclusions and recommendations are professional opinions. These opinions have been derived in accordance with current standards of practice, and no warranty, either express or implied, is given. Standards of practice are subject to change with time. GSI assumes no responsibility or liability for work or testing performed by others, or their inaction; or work performed when GSI is not requested to be onsite, to evaluate if our recommendations have been properly implemented. Use of this report constitutes an agreement and consent by the user to all the limitations outlined above, notwithstanding any other agreements that may be in place. In addition, this report may be subject to review by the controlling authorities. Thus, this report brings to completion our scope of services for this portion of the project.

The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

**GeoSoils, Inc.**



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RBB/RGC/SJC/sh

Attachments: Appendix A - References  
Appendix B - GSI and ATC (2004b) Boring Logs  
Appendix C - GSI and ATC (2004b) Shear Strength Test Results  
Appendix D - Slope Stability Analysis  
Plate 1 - Geotechnical Map  
Plate 2 - Geologic Cross Sections A-A' and B-B'

Distribution: (1) Addressee (PDF via email)



**APPENDIX A**

**REFERENCES**

## **APPENDIX A**

### **REFERENCES**

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**APPENDIX B**

**GSI AND ATC (2004b) BORING LOGS**

UNIFIED SOIL CLASSIFICATION SYSTEM				CONSISTENCY OR RELATIVE DENSITY																					
Major Divisions			Group Symbols	Typical Names	CRITERIA																				
Coarse-Grained Soils More than 50% retained on No. 200 sieve	Gravels 50% or more of coarse fraction retained on No. 4 sieve	Clean Gravels	GW	Well-graded gravels and gravel-sand mixtures, little or no fines	<p align="center"><b>Standard Penetration Test</b></p> <table border="1"> <thead> <tr> <th>Penetration Resistance N (blows/ft)</th> <th colspan="2">Relative Density</th> </tr> </thead> <tbody> <tr> <td>0 - 4</td> <td colspan="2">Very loose</td> </tr> <tr> <td>4 - 10</td> <td colspan="2">Loose</td> </tr> <tr> <td>10 - 30</td> <td colspan="2">Medium</td> </tr> <tr> <td>30 - 50</td> <td colspan="2">Dense</td> </tr> <tr> <td>&gt; 50</td> <td colspan="2">Very dense</td> </tr> </tbody> </table>			Penetration Resistance N (blows/ft)	Relative Density		0 - 4	Very loose		4 - 10	Loose		10 - 30	Medium		30 - 50	Dense		> 50	Very dense	
			Penetration Resistance N (blows/ft)	Relative Density																					
		0 - 4	Very loose																						
		4 - 10	Loose																						
	10 - 30	Medium																							
	30 - 50	Dense																							
	> 50	Very dense																							
	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines																							
	Gravel with	GM	Silty gravels gravel-sand-silt mixtures																						
		GC	Clayey gravels, gravel-sand-clay mixtures																						
Sands more than 50% of coarse fraction passes No. 4 sieve	Clean Sands	SW	Well-graded sands and gravelly sands, little or no fines																						
		SP	Poorly graded sands and gravelly sands, little or no fines																						
	Sands with Fines	SM	Silty sands, sand-silt mixtures																						
		SC	Clayey sands, sand-clay mixtures																						

Unified Soil Classification	Cobbles	Gravel		Sand			Silt or Clay
		coarse	fine	coarse	medium	fine	
		3"	3/4"	#4	#10	#40	#200 U.S. Standard Sieve

<u>MOISTURE CONDITIONS</u>		<u>MATERIAL QUANTITY</u>		<u>OTHER SYMBOLS</u>	
Dry	Absence of moisture: dusty, dry to the touch	trace	0 - 5 %	C	Core Sample
Slightly Moist	Below optimum moisture content for compaction	few	5 - 10 %	S	SPT Sample
Moist	Near optimum moisture content	little	10 - 25 %	B	Bulk Sample
Very Moist	Above optimum moisture content	some	25 - 45 %	<u>    </u>	Groundwater
Wet	Visible free water; below water table			Qp	Pocket Penetrometer

**BASIC LOG FORMAT:**  
Group name, Group symbol, (grain size), color, moisture, consistency or relative density. Additional comments: odor, presence of roots, mica, gypsum, coarse grained particles, etc.

**EXAMPLE:**  
Sand (SP), fine to medium grained, brown, moist, loose, trace silt, little fine gravel, few cobbles up to 4" in size, some hair roots and rootlets.

PROJECT: 135 S. SIERRA AVENUE, SOLANA BEACH  
92075

W.O. 8157-A-SC BORING B-1 SHEET 1 OF 1  
DATE EXCAVATED 6-2-21 LOGGED BY: RB APPROX. ELEV.: +861NAVD88  
SAMPLE METHOD: Modified California Sampler, 140lb Hammer @30-in Drop

Depth (ft.)	Sample			USCS Symbol	Dry Unit Wt. (pcf)	Moisture (%)	Saturation (%)	Material Description
	Bulk	Undisturbed	Blows/Ft.					
0				SP- SM				<p><b>ARTIFICIAL FILL - OLDER:</b> @ 0', SILTY SAND and SAND, variegated reddish brown, brown, and dark gray, damp, loose; fine to medium grained.</p> <p>@ 4', Asphaltic concrete pavement.</p> <p><b>QUATERNARY COLLUVIUM:</b> @ 4 1/4', SAND, dark brown, damp, loose; fine to medium grained, trace SILT.</p> <p><b>WEATHERED QUATERNARY OLD PARALIC DEPOSITS:</b> @ 5', SAND, dark yellowish brown, dry, medium dense; fine to medium grained, trace SILT.</p> <p>@ 7', SAND, dark yellowish brown, dry, medium dense.</p> <p><b>QUATERNARY OLD PARALIC DEPOSITS:</b> @ 10 1/3', SILTY SAND, reddish yellow, damp, medium dense; fine grained.</p> <p>@ 12 1/2', SAND, dark yellowish brown, damp, medium dense; fine to medium grained, trace SILT.</p> <p>@ 14 1/2', SAND, dark yellowish brown and dark gray, dry, medium dense; fine to medium grained.</p> <p>@ 18 1/2', SAND, yellowish gray, dry, medium dense; fine to medium grained.</p> <p>Total Depth = Approximately 19 1/2' No Groundwater/No Caving Encountered Backfilled 6-2-21</p>
5				SP				
				SP				
			12	SP	97.5	5.1	18.7	
			16		105.7	2.7	12.8	
			27	SM	110.0	5.6	29.4	
			25	SP	108.5	5.6	28.4	
			25	SP	110.4	4.5	24.1	
			21	SP	97.1	1.5	5.7	
20								
25								
30								

▼ Standard Penetration Test  
I Undisturbed, Ring Sample

▼ Groundwater  
○ Seepage

# GeoSoils, Inc.

## BORING LOG

PROJECT: 135 S. SIERRA AVENUE, SOLANA BEACH  
92075

W.O. 8157-A-SC BORING B-2 SHEET 1 OF 1  
DATE EXCAVATED 6-2-21 LOGGED BY: RB APPROX. ELEV.: ±76NAVD88  
SAMPLE METHOD: Modified California Sampler, 140lb Hammer @30-in Drop

Depth (ft.)	Sample		Blows/Ft.	USCS Symbol	Dry Unit Wt. (pcf)	Moisture (%)	Saturation (%)	Material Description
	Bulk	Undisturbed						
0				SP- SM				<p><b>ARTIFICIAL FILL - OLDER:</b> @ 0', SILTY SAND, dark gray, dry, very loose; very fine grained; trace roots (topsoil).</p> <p><b>QUATERNARY OLD PARALIC DEPOSITS:</b> @ 1/2', SAND, dark yellowish brown and dark gray, dry. Becoming damp at approximately 1', loose. Becoming medium dense at approximately 1'; fine grained.</p> <p>@ 6', SAND, grayish brown and dark gray, dry, medium dense; fine to medium grained, friable.</p> <p>@ 10', SAND, brownish gray and dark gray, dry, medium dense; fine to medium grained, friable.</p> <p>@ 14 1/2', SAND, brownish gray and dark gray, dry, medium dense; fine to medium grained, friable.</p> <p>@ 15', SAND, yellowish gray and reddish yellow, dry, medium dense; medium to coarse grained, friable.</p> <p>Total Depth = Approximately 15 1/2'</p> <p>No Groundwater Encountered</p> <p>Caving Below Approximately 13'</p> <p>Backfilled 6-2-21</p>
5								
10								
15								
20								
25								
30								

▼ Standard Penetration Test  
I Undisturbed, Ring Sample

▼ Groundwater  
○ Seepage

GeoSoils, Inc.

PLATE B-3



## V. Subsurface Exploration

As part of the site evaluation, we performed four exploratory subsurface soil borings to evaluate the underlying soil materials. Our exploratory test borings were advanced using a combination of the track mounted limited access drill rig, with continuous flight auger with a 140-pound drive hammer (Borings 1 and 2), as well as portable, 5-inch diameter hand auger equipment (Borings 3 and 4). Our exploratory borings were performed on November 28, 2003, at the locations shown on the attached Geologic/Geotechnical Map, Plate 1. A log of the soil conditions encountered within the individual borings is presented below:

### **Boring No. 1 (B-1)**

#### **Soil Conditions Encountered:**

**Terrace Deposits (Bay Point Formation):** Brown to reddish brown, dry to slightly moist, slightly cemented, medium dense to dense, silty fine to medium sand.

@ 2.0': Becomes reddish-brown.

@ 4.5'-5.5': Drive Sample: Blow Counts 15/6" and 19/6", Moisture Content (MC) = 2.6%, Dry Density (DD) = 111.1 pcf.

@ 6.0': Becomes gray-brown to brown, less silty, micaceous.

@ 7.5': Becomes reddish-brown, slightly moist, silty, medium sand.

@ 9.5'-10.5': Drive Sample: Blow Counts 18/6" and 28/6", MC = 5.0 %, DD = 108.1 pcf.

@ 14.5'-15.5': Drive Sample: Blow Counts 19/6" and 24/6", MC = 3.7 %, DD = 112.2 pcf.

@ 17.0': Noticeably easier drilling conditions reported.

@ 19.5'-20.5': Drive Sample: Blow Counts 21/6" and 24/6", MC = 2.3 %, DD = 106.2 pcf.

@ 22.0': Brown to light brown, slightly moist, dense, slightly silty fine to medium sand, dense, friable.

@ 24.5'-25.5': Light brown to light gray, slightly moist, medium dense to dense, clean to slightly silty, fine to medium sand, friable.

Drive Sample: Blow Counts 26/6" and 34/6", MC = 1.4 %, DD = 99.7 pcf.

@ 29.5'-30.5': Light brown to light gray, slightly moist, medium dense to dense, clean, medium sand, friable.

Drive Sample: Blow Counts 34/6" and 38/6", MC = 1.4 %, DD = 104.1 pcf.

@ 34.5'-35.5': Light brown to light gray-brown, slightly moist, medium dense to dense, clean, medium sand, friable.

Drive Sample: Blow Counts 23/6" and 31/6", MC = 1.6 %, DD = 99.1 pcf.





**Boring No. 1 (B-1) Continued**  
Soil Conditions Encountered:

@ 39.5'-40.5': Light brown to light gray-brown, slightly moist, medium dense to dense, clean, medium sand, friable.  
Drive Sample: Blow Counts 26/6" and 29/6", MC = 2.0 %, DD = 102.2 pcf.

**Total Depth: 40.5 feet.**

**No Water.**

**Minor Caving between 35 and 40 feet.**

**Backfilled with Sand/Bentonite/Water.**

**No Groundwater Was Encountered.**

**Boring No. 2 (B-2)**  
Soil Conditions Encountered:

**Landscape Topsoil:** Brown to dark brown, wet, loose to medium dense, silty sand.

@ 1.0': **Terrace Deposits (Bay Point Formation):** Brown to reddish brown, moist, medium dense to dense, silty fine to medium sand.

@ 2.0': Becomes reddish-brown.

@ 8.5'-9.5': Drive Sample: Blow Counts 13/6" and 18/6", Moisture Content (MC) = 3.0 %, Dry Density (DD) = 111.5 pcf.

@ 16.5'-17.5': Brown to gray-brown slightly moist to moist, silty fine to medium sand, micaceous, friable. Drive Sample: Blow Counts 12/6" and 16/6", MC = 2.4 %, DD = 104.4 pcf.

@ 24.5'-25.5': Light brown to gray brown slightly moist, medium dense to dense, clean sand, micaceous, friable. Drive Sample: Blow Counts 20/6" and 21/6", MC = 1.4 %, DD = 99.7 pcf.

@ 32.5'-33.5': Drive Sample: Blow Counts 21/6" and 25/6", MC = 2.3 %, DD = 102.1 pcf.

@ 40.5'-41.5': Light brown to light gray, slightly moist, medium dense to dense, clean to slightly silty, fine to medium sand, friable.  
Drive Sample: Blow Counts 24/6" and 26/6", MC = 3.7 %, DD = 106.5 pcf.

@ 48.5'-49.5': Gray brown slightly silty, medium dense to dense, slightly silty, fine to medium sand, micaceous. Drive Sample: Blow Counts 24/6" and 50/6", MC = 3.5 %, DD = 103.5 pcf.

@ 56' **Torrey Sandstone Formation:** Light brown to yellowish -brown, silty medium to coarse sandstone, moderately cemented.

@ 56.5'-57.5' Drive Sample: Blow Counts 70/4" MC = 6.1 %, DD = 96.2 pcf.

@ 60.0'-60.5': Drive Sample: Blow Counts 70/3" No Sample Recovery.  
Drive Sample: Blow Counts 26/6" and 29/6".

**Total Depth: 60.5 feet**

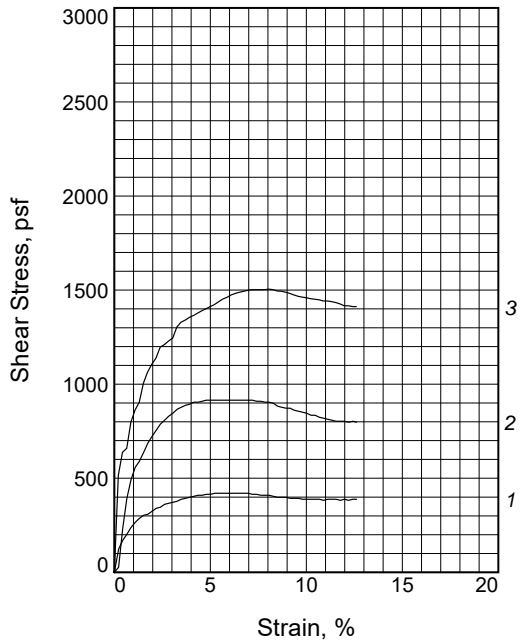
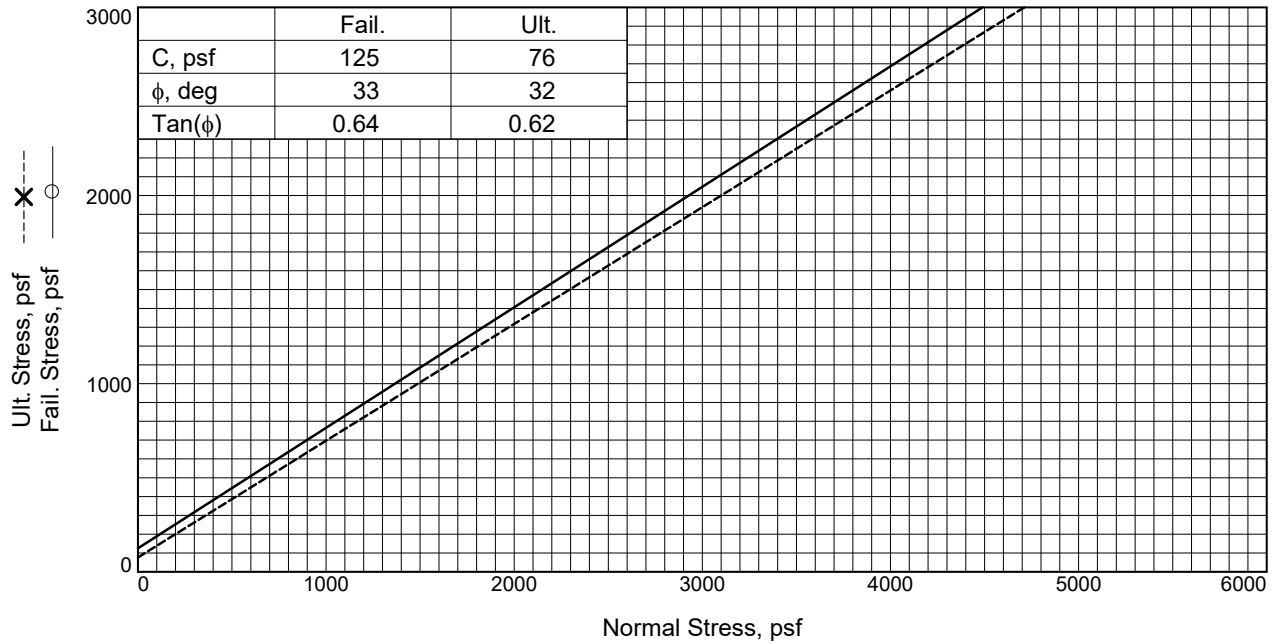
**No Groundwater Was Encountered**

**Minor Caving between 25 and 35 feet**

**Backfilled with Sand/Bentonite/Water.**

**APPENDIX C**

**GSI AND ATC (2004b) SHEAR STRENGTH TEST RESULTS**



Sample No.		1	2	3
Initial	Water Content, %	3.2	3.2	8.8
	Dry Density, pcf	98.7	100.3	93.6
	Saturation, %	12.5	13.1	30.4
	Void Ratio	0.6768	0.6490	0.7681
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	1.00	1.00
At Test	Water Content, %	19.3	21.5	21.8
	Dry Density, pcf	98.9	100.8	95.0
	Saturation, %	76.1	88.9	77.9
	Void Ratio	0.6735	0.6407	0.7415
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	1.00	0.98
Normal Stress, psf		550	1100	2200
Fail. Stress, psf		420	915	1505
Strain, %		6.1	5.9	8.1
Ult. Stress, psf		388	803	1427
Strain, %		9.8	11.5	11.8
Strain rate, in./min.		0.004	0.005	0.004

**Sample Type:** Natural  
**Description:** Reddish Brown Sand w/Silt

**Specific Gravity=** 2.65  
**Remarks:**

**Plate** \_\_\_\_\_

**Client:** Las Brisas HOA

**Project:** 135 South Sierra Ave.

**Source of Sample:** B-1      **Depth:** 5.0

**Sample Number:** B-1 Proj.

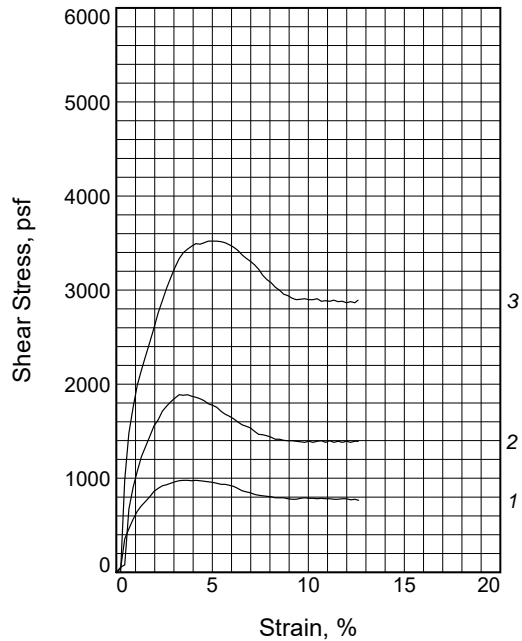
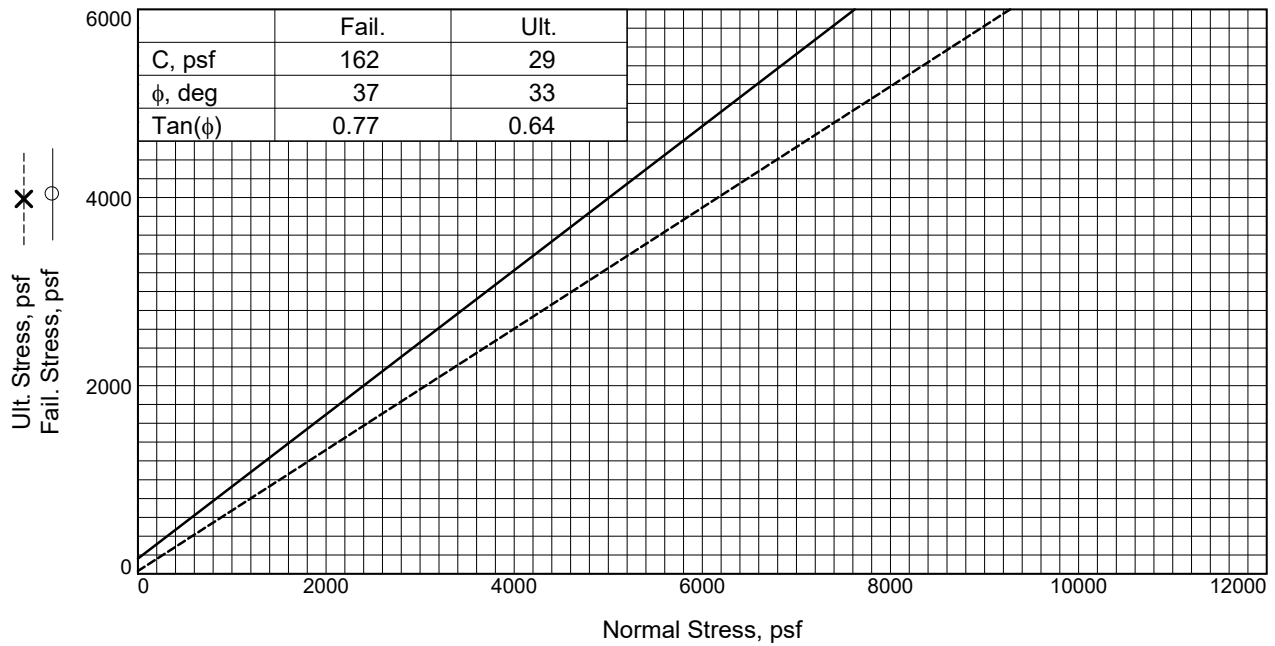
**No.:** 8157-A-SC

**Date Sampled:**



**Tested By:** TR \_\_\_\_\_ **Checked By:** TR \_\_\_\_\_

W.O. 8157-A-SC  
 PLATE C-1



Sample No.	1	2	3	
Initial	Water Content, %	1.5	1.5	1.5
	Dry Density, pcf	97.3	97.4	96.6
	Saturation, %	5.7	5.7	5.6
	Void Ratio	0.7010	0.6980	0.7129
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	1.00	1.00
At Test	Water Content, %	22.9	20.5	22.3
	Dry Density, pcf	97.6	98.0	97.6
	Saturation, %	87.3	78.9	85.0
	Void Ratio	0.6959	0.6878	0.6958
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	0.99	0.99
Normal Stress, psf	1100	2200	4400	
Fail. Stress, psf	978	1888	3520	
Strain, %	3.5	3.3	5.0	
Ult. Stress, psf	776	1388	2882	
Strain, %	9.2	9.6	10.7	
Strain rate, in./min.	0.004	0.004	0.004	

**Sample Type:** Natural  
**Description:** Pale Yellow Sand w/Silt

**Specific Gravity=** 2.65  
**Remarks:**

**Plate** \_\_\_\_\_

**Client:** Las Brisas HOA

**Project:** 135 South Sierra Ave.

**Source of Sample:** B-1      **Depth:** 18.5

**Sample Number:** B-1 Proj.

**No.:** 8157-A-SC

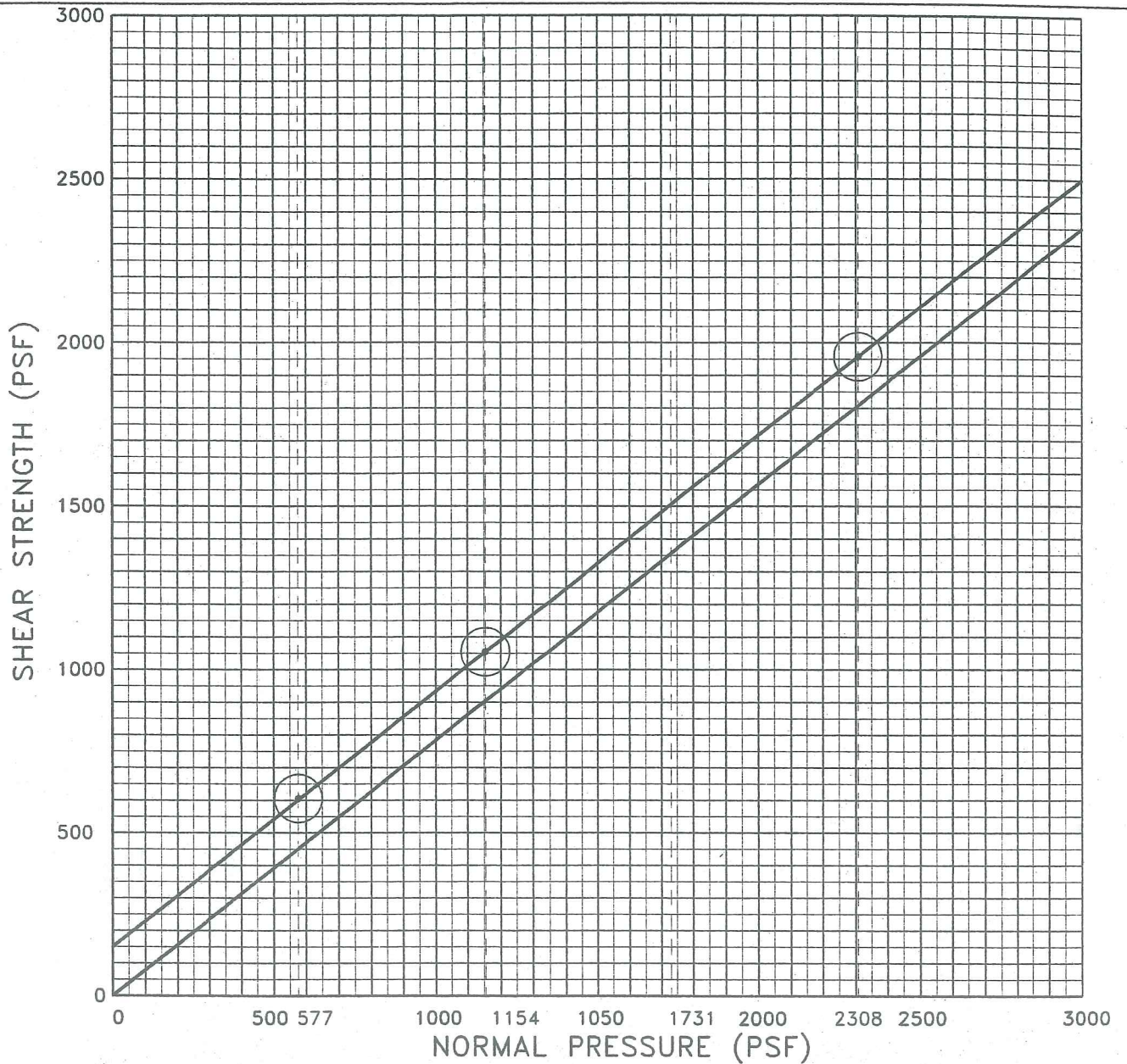
**Date Sampled:**



**Tested By:** TR \_\_\_\_\_ **Checked By:** TR \_\_\_\_\_

W.O. 8157-A-SC  
 PLATE C-2

# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B-1 @ 9.5' TO 10.01'	119	39	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	.606		
	1154	1.011		
	2308	1.986		

W.O. 8157-A-SC  
PLATE C-3



**ANTHONY-TAYLOR CONSULTANTS**

San Diego (Corporate), 304 Enterprise Street, Escondido, CA 92029 (760) 738-8800

JOB NAME: LAS BRISAS

SITE ADDRESS: 135 SOUTH SIERRA AVE.  
SOLANA BEACH, CA 92075

JOB NUMBER:  
03-2283

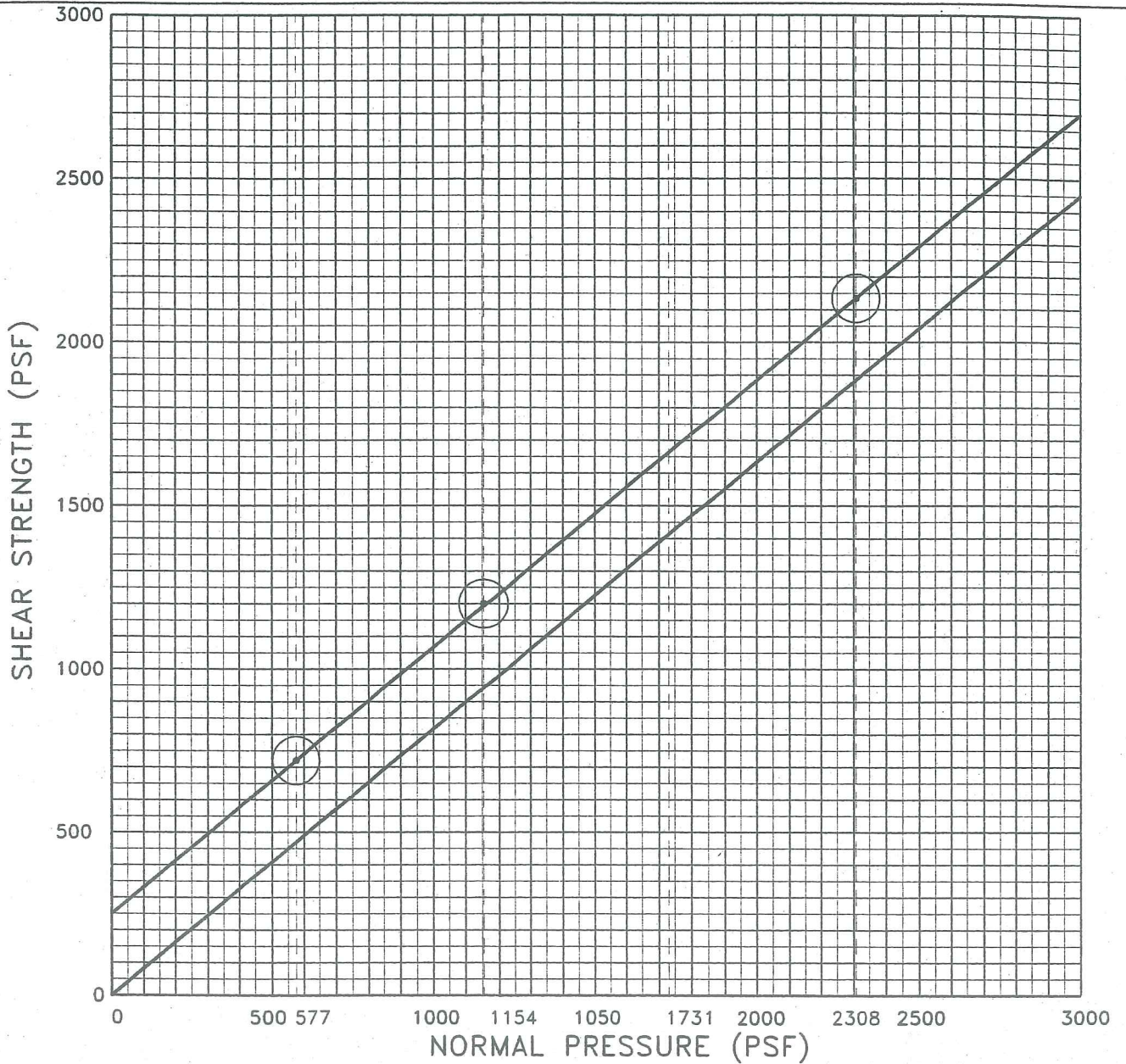
REVIEWED BY:  
DM/HE

DATE:  
2/5/04

FIG. NO.

**E1**

# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B1 @ 14.5' TO 15'	200	39	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	.668		
	1154	1.156		
	2308	2.089		



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JOB NAME: LAS BRISAS

SITE ADDRESS: 135 SOUTH SIERRA AVE.  
SOLANA BEACH, CA 92075

JOB NUMBER:  
03-2283

REVIEWED BY:  
DM/HE

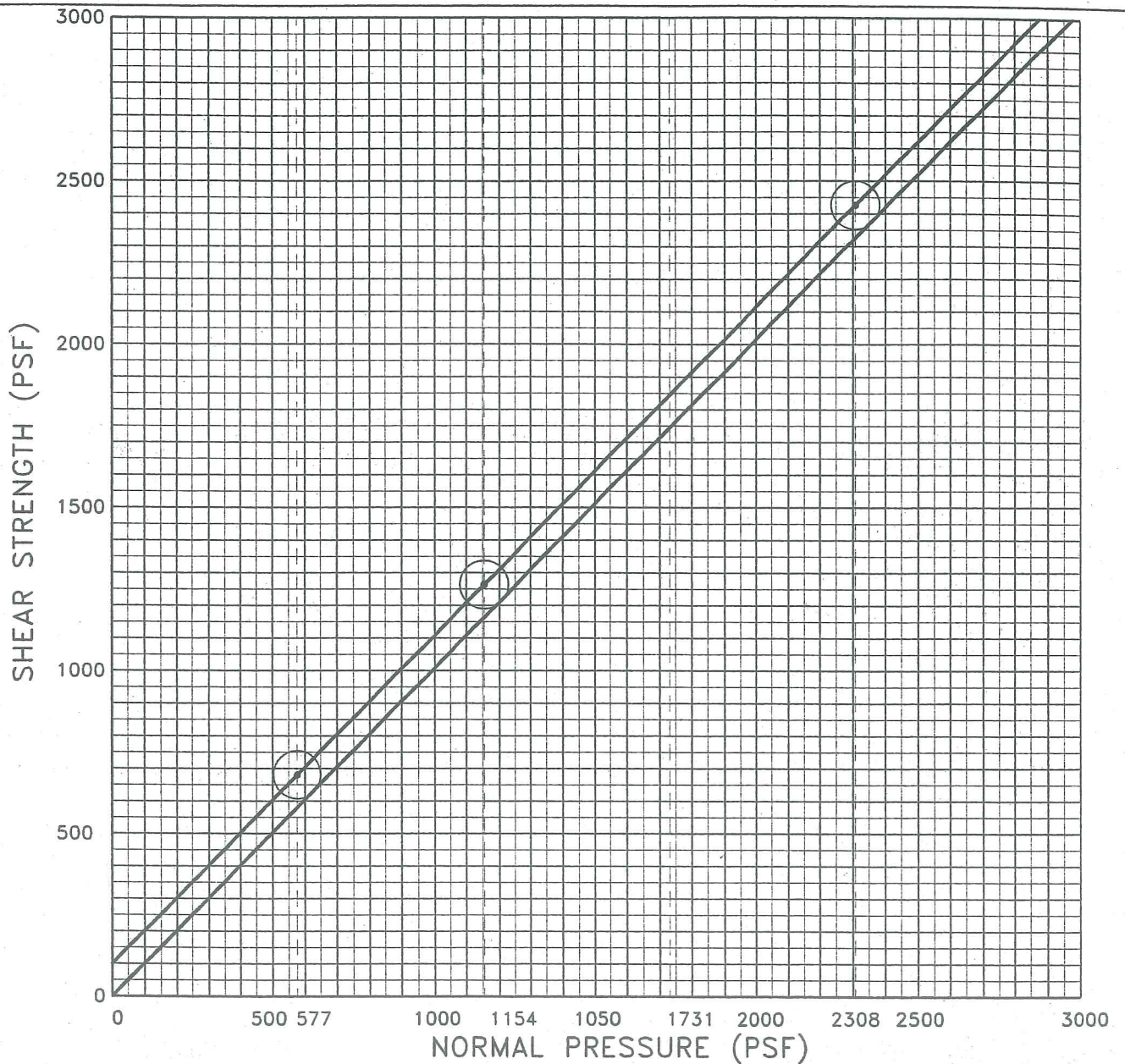
DATE:  
2/5/04

FIG. NO.

**E2**

W.O. 8157-A-SC  
PLATE C-4

# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B1 @ 30' TO 30.5'	51	46	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	668		
	1154	1.239		
	2308	2.473		

W.O. 8157-A-SC  
PLATE C-5

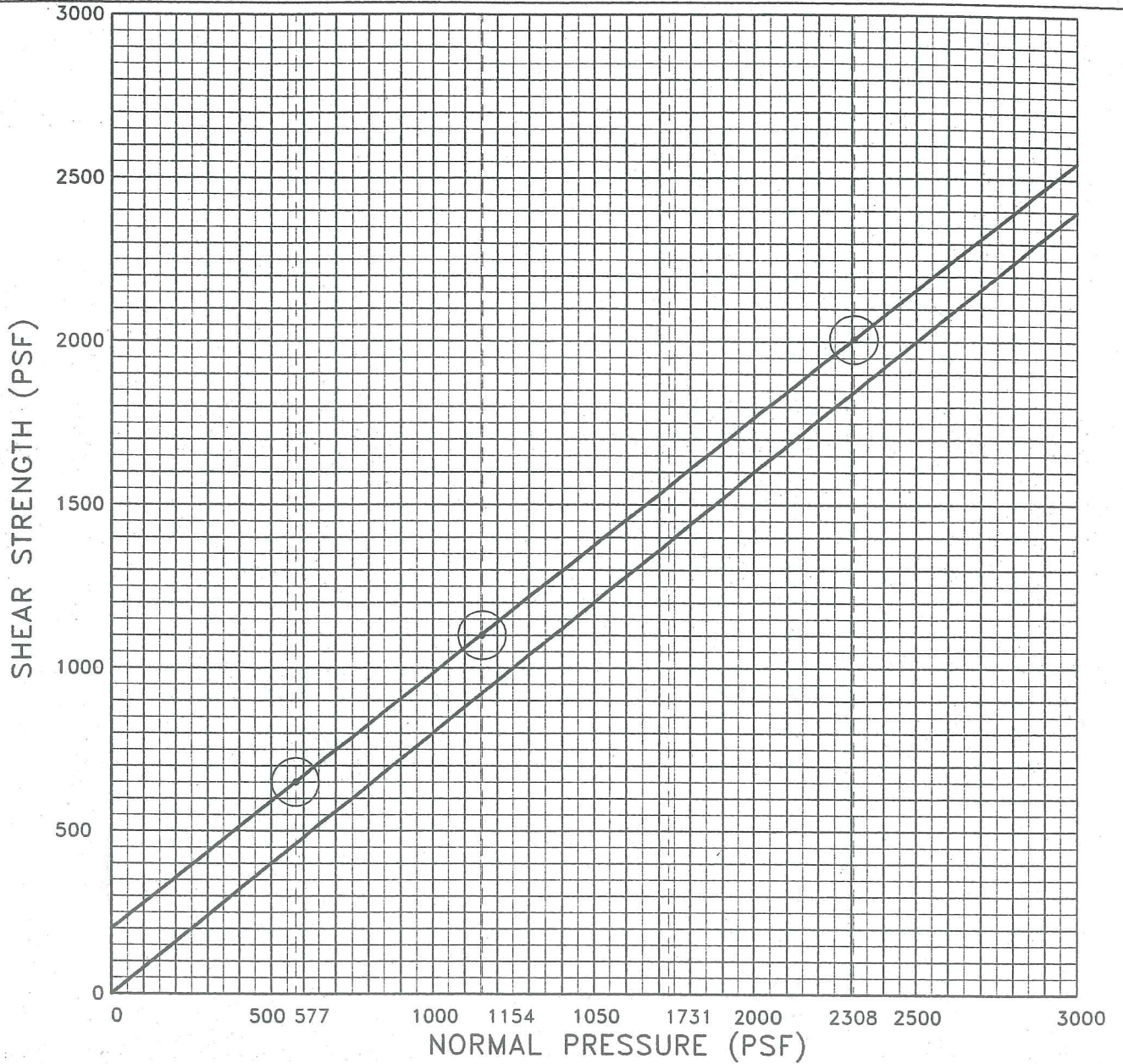


**ANTHONY-TAYLOR CONSULTANTS**

San Diego (Corporate), 304 Enterprise Street, Escondido, CA 92029 (760) 738-8800

JOB NAME: LAS BRISAS	
SITE ADDRESS: 135 SOUTH SIERRA AVE. SOLANA BEACH, CA 92075	
JOB NUMBER: 03-2283	REVIEWED BY: DM/HE
DATE: 2/5/04	FIG. NO. <b>E3</b>

# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B-2 @ 16.0' TO 16.5'	175	39	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	.616		
	1154	1.156		
	2308	2.038		



**ANTHONY-TAYLOR CONSULTANTS**

San Diego (Corporate), 304 Enterprise Street, Escondido, CA 92029 (760) 758-8800

JOB NAME: LAS BRISAS

SITE ADDRESS: 135 SOUTH SIERRA AVE.  
SOLANA BEACH, CA 92075

JOB NUMBER:  
03-2283

REVIEWED BY:  
DM/HE

DATE:  
2/5/04

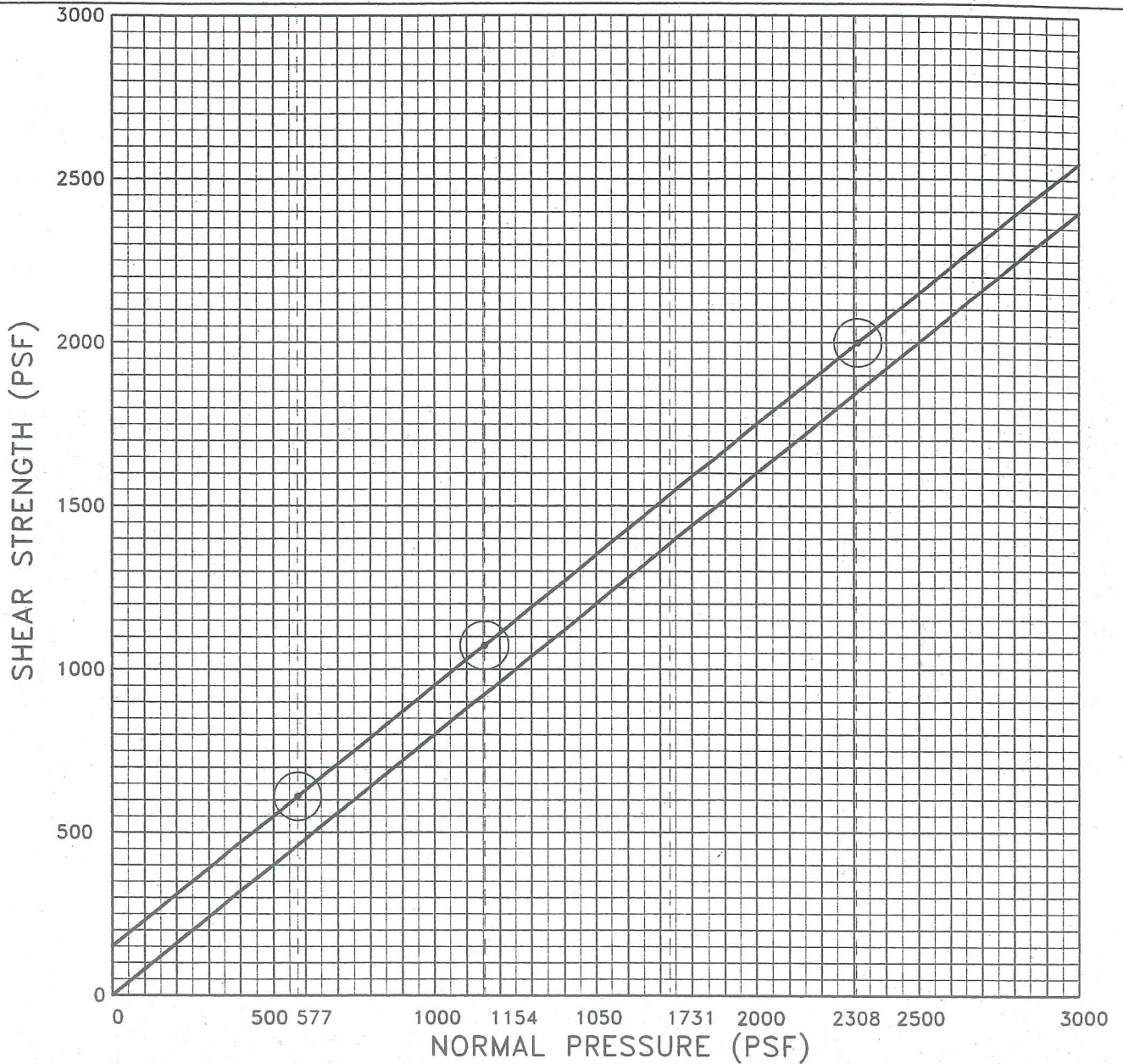
FIG. NO.

**E4**

W.O. 8157-A-SC  
PLATE C-6



# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B-2 @ 48.5' TO 49'	150	39	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	.637		
	1154	1.073		
	2308	2.048		



**ANTHONY-TAYLOR CONSULTANTS**

San Diego (Corporate), 304 Enterprise Street, Escondido, CA 92029 (760) 738-8800

JOB NAME: LAS BRISAS

SITE ADDRESS: 135 SOUTH SIERRA AVE.  
SOLANA BEACH, CA 92075

JOB NUMBER: 03-2283

REVIEWED BY: DM/HE

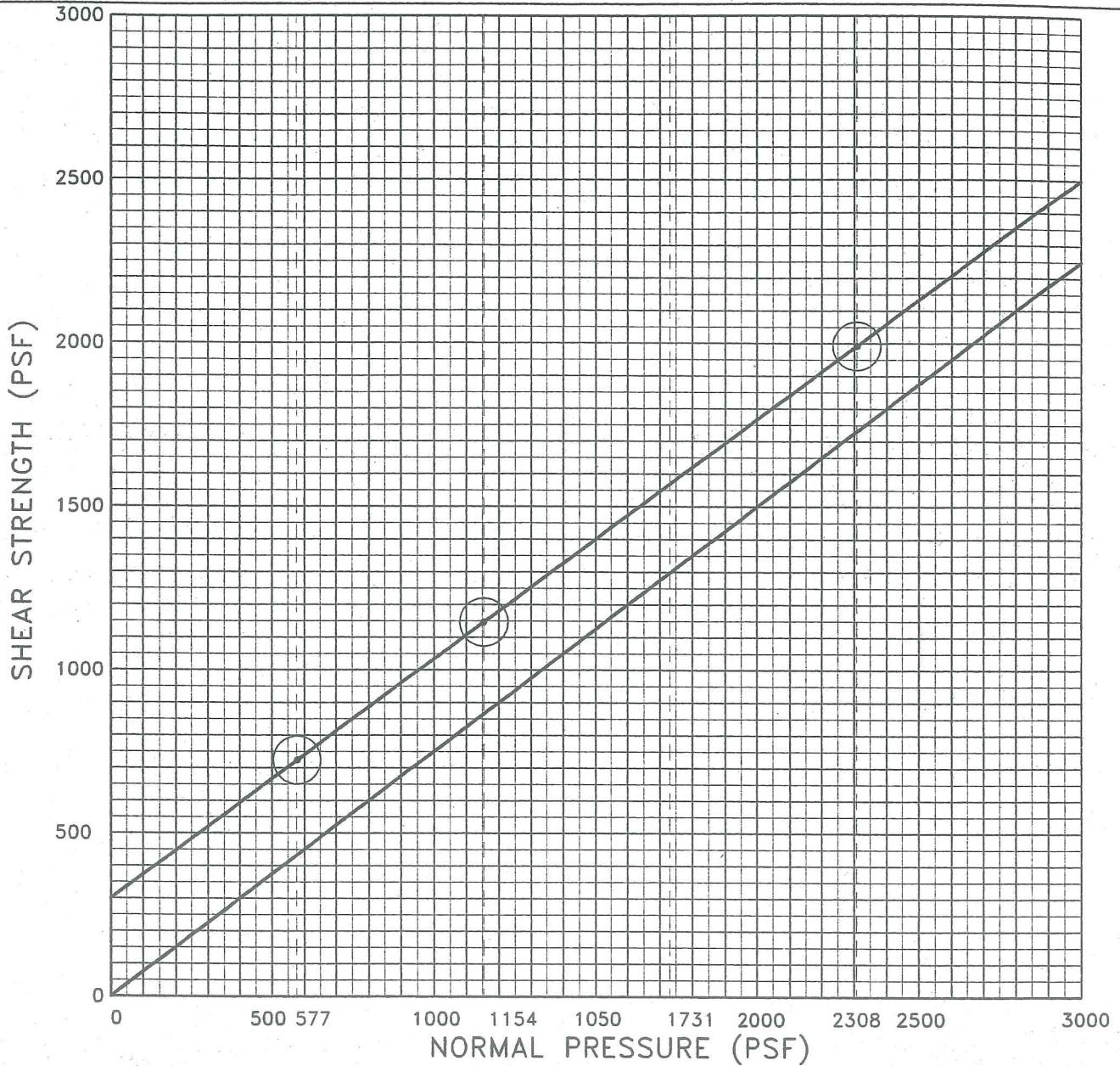
DATE: 2/5/04

FIG. NO.

**E5**

W.O. 8157-A-SC  
PLATE C-7

# DIRECT SHEAR TEST RESULTS



SYMBOL	SAMPLE LOCATION	COHESION (psf)	FRICTION ANGLE (°)	REMARKS
●	B-2 @ 56.0' TO 56.5'	290	37	TERRACE DEPOSITS NATURAL FIELD SHEARS, SATURATED.
	NORMAL PRESSURE (psf)	SHEAR STRENGTH (psf)		
	577	772		
	1154	1125		
	2308	2089		



**ANTHONY-TAYLOR CONSULTANTS**

San Diego (Corporate), 304 Enterprise Street, Escondido, CA 92029 (760) 738-8800

JOB NAME: LAS BRISAS

SITE ADDRESS: 135 SOUTH SIERRA AVE.  
SOLANA BEACH, CA 92075

JOB NUMBER: 03-2283

REVIEWED BY: DM/HE

DATE: 2/5/04

FIG. NO. **E6**

W.O. 8157-A-SC  
PLATE C-8

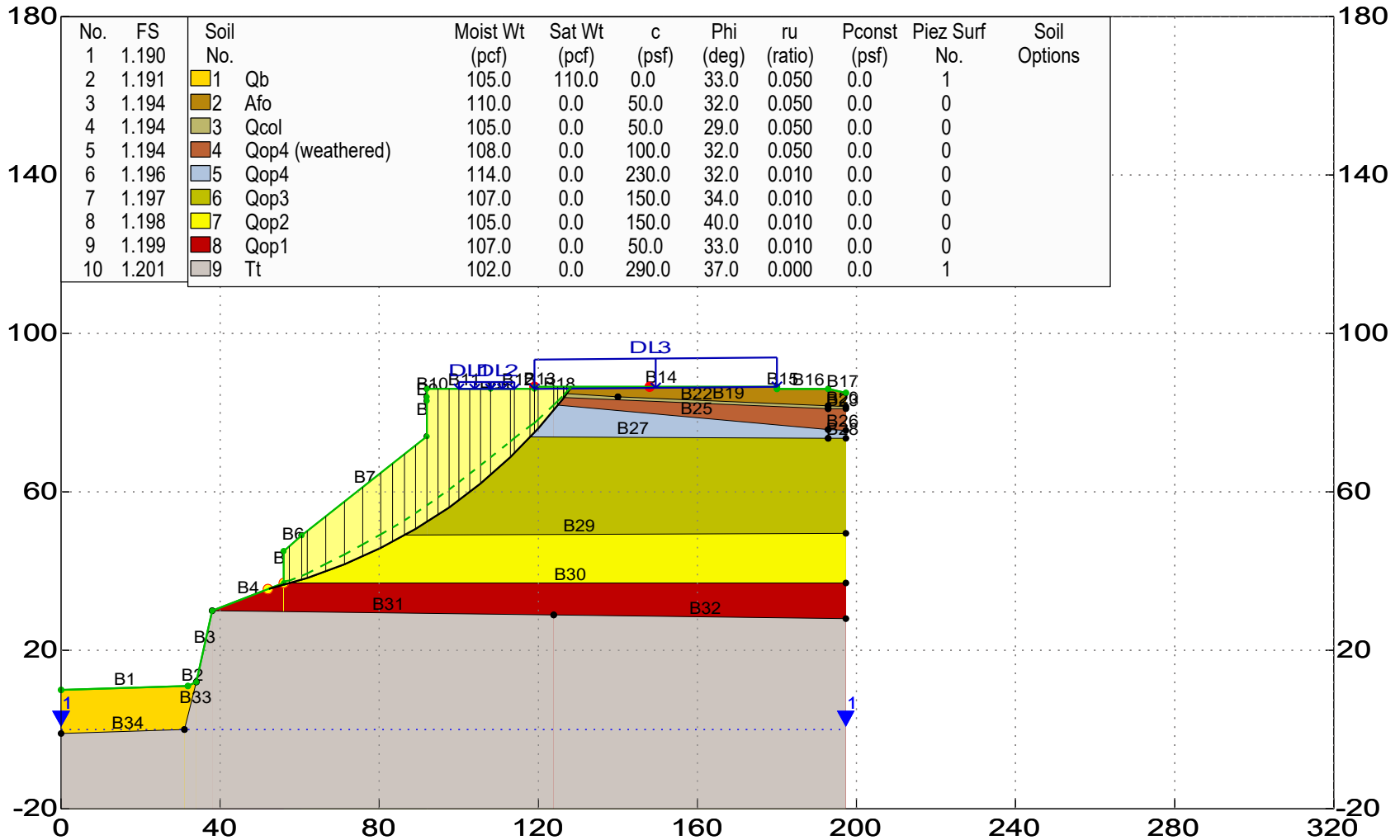
**APPENDIX D**

**SLOPE STABILITY ANALYSIS**

# LAS BRISAS HOA / 8157-A-SC A-A' EXISTING STATIC

GEOSOILS, INC. - RBB

VA-A' Existing Static.gsd

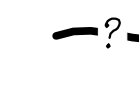


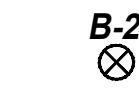
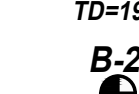

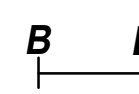



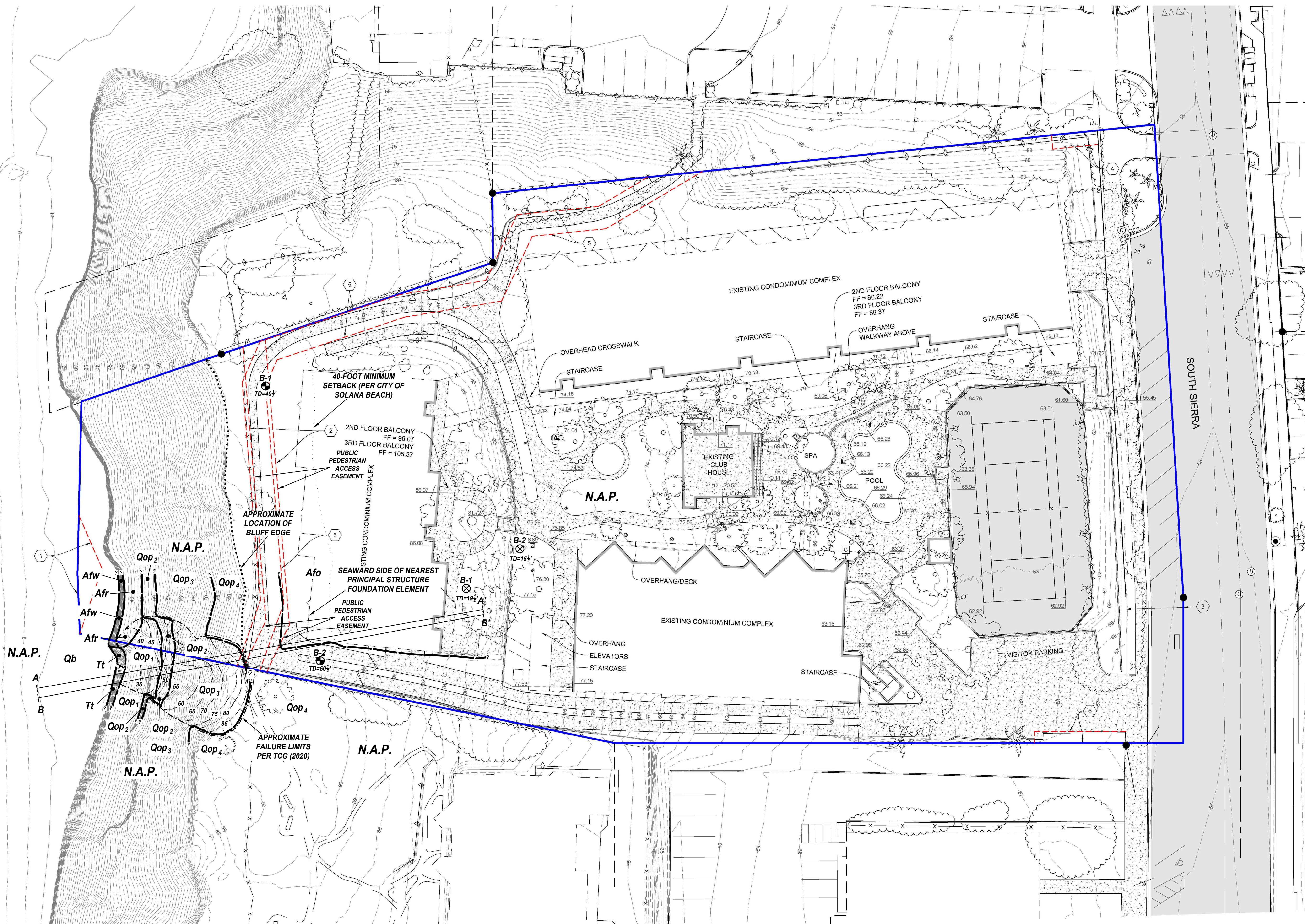
GEOSTASE FS = 1.190

Spencer Method

# TOPOGRAPHIC SURVEY MAP -- LAS BRISAS -- 135 S SIERRA AVE

## GSI LEGEND

- Qb** — QUATERNARY BEACH DEPOSITS
- Afr** — ARTIFICIAL FILL (GEOGRID REINFORCED)
- Afw** — ARTIFICIAL FILL (SEAWALL)
- Afo** — ARTIFICIAL FILL - OLDER (FILL PLACED DURING THE ORIGINAL GRADING OF THE SUBJECT PROPERTY)
- Qop<sub>4</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 4
- Qop<sub>3</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 3
- Qop<sub>2</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 2
- Qop<sub>1</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 1
- Tt** — TERTIARY TORREY SANDSTONE
-  — APPROXIMATE LOCATION OF GEOLOGIC CONTACT, QUERIED WHERE UNCERTAIN
-  — APPROXIMATE LOCATION OF FAILURE LIMITS PER TCG, 2020
-  — APPROXIMATE LOCATION OF BLUFF EDGE
-  — BEDDING ATTITUDE WITH DIP IN DEGREES
-  — APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET (GSI, THIS STUDY)
-  — APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET (ATC, 2004)
-  — ESTIMATED POST-FAILURE ELEVATION CONTOURS (TCG, 2020)
-  — LOCATION OF GEOLOGIC CROSS SECTION
- N.A.P.** — NOT A PART OF THIS STUDY



ALL LOCATIONS ARE APPROXIMATE  
This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.

**GSI, Inc.**

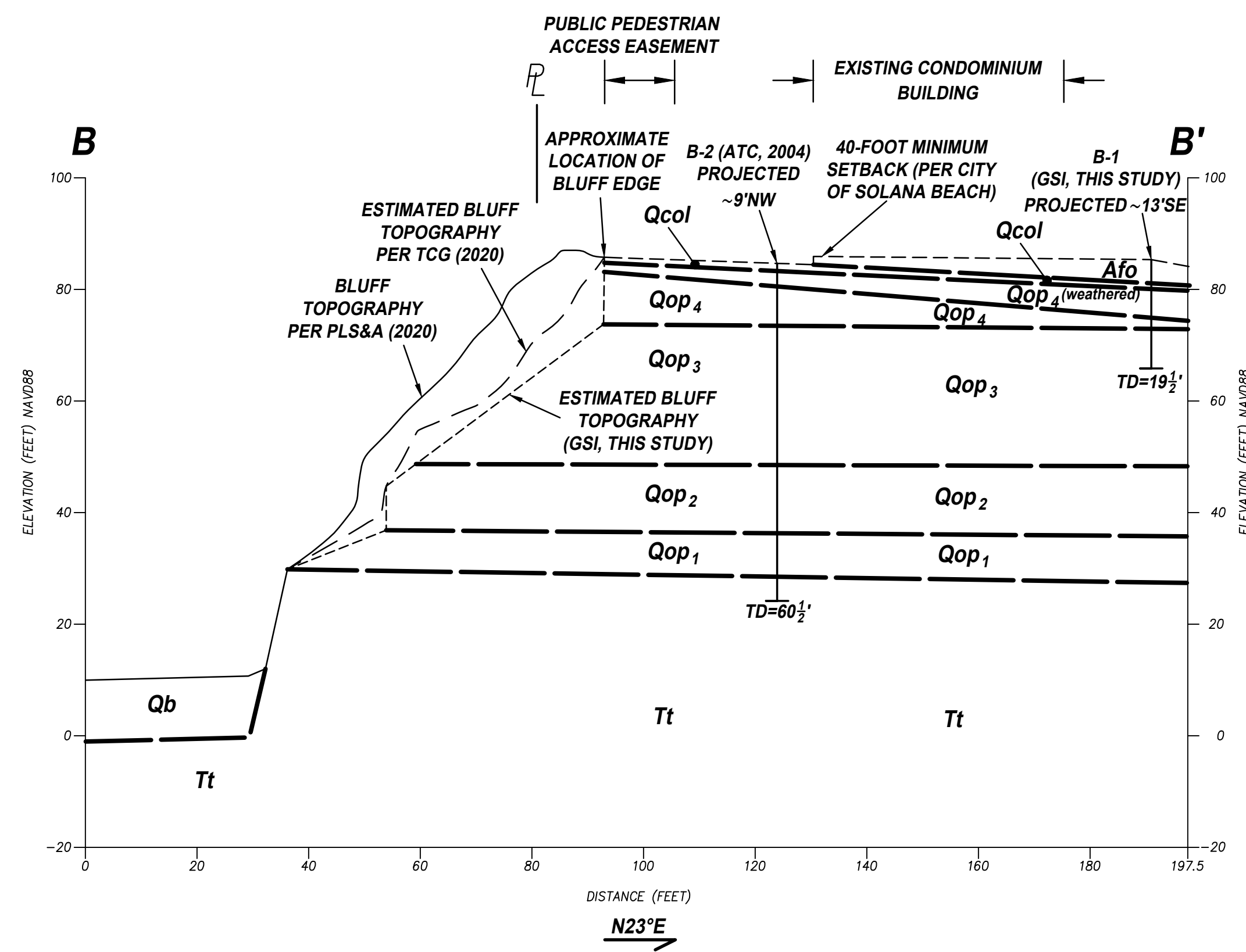
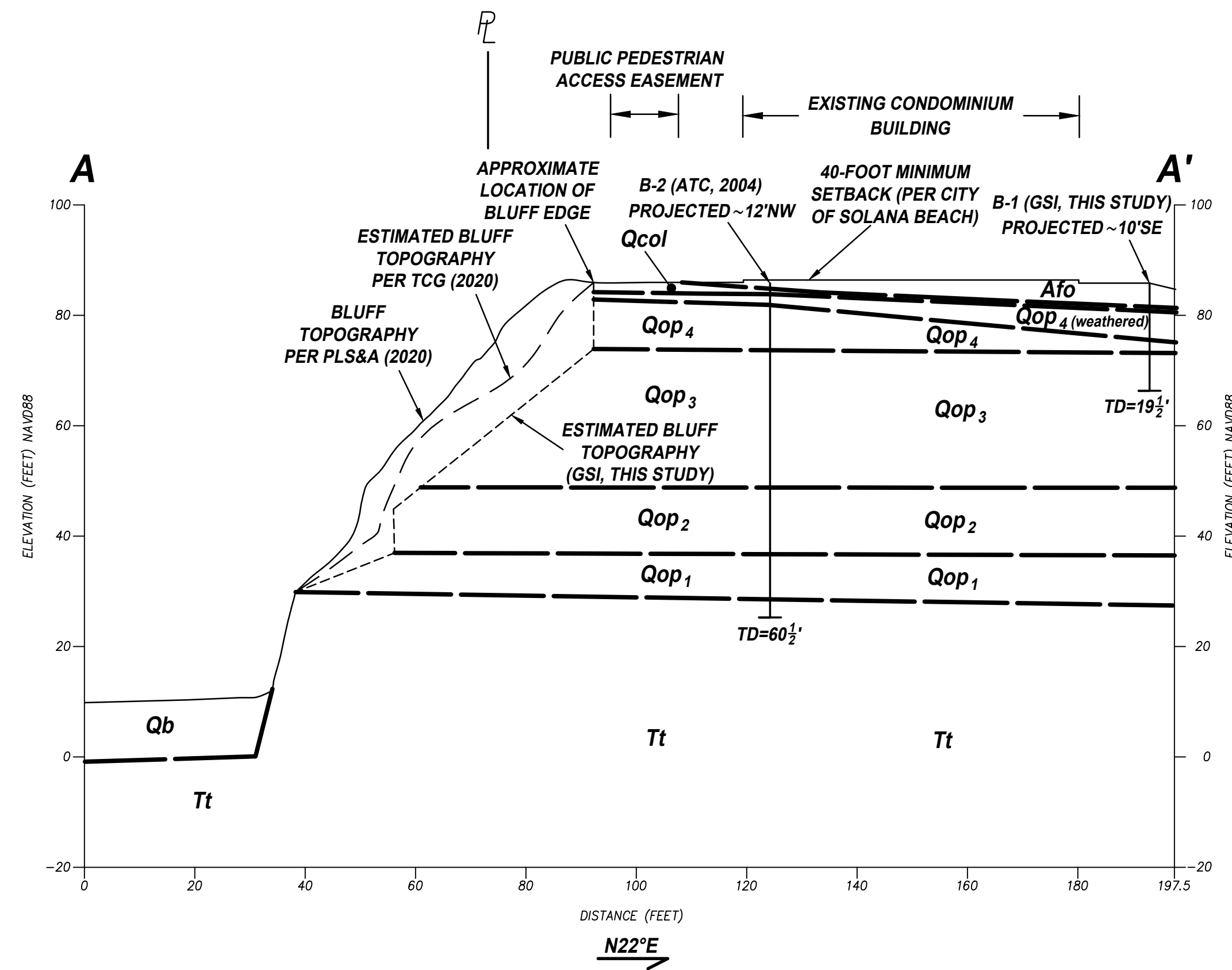
## GEOTECHNICAL MAP

Plate 1

W.O. 8157-A-SC

DATE: 10/21

SCALE: 1"=20'



**GSI LEGEND**

- Qb** — QUATERNARY BEACH DEPOSITS
- Afo** — ARTIFICIAL FILL — OLDER (FILL PLACED DURING THE ORIGINAL GRADING OF THE SUBJECT PROPERTY)
- Qcol** — QUATERNARY COLLUVIUM
- Qop<sub>4</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 4
- Qop<sub>3</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 3
- Qop<sub>2</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 2
- Qop<sub>1</sub>** — QUATERNARY OLD PARALIC DEPOSITS, SUBUNIT 1
- Tt** — TERTIARY TORREY SANDSTONE
- — APPROXIMATE LOCATION OF GEOLOGIC CONTACT

ALL LOCATIONS ARE APPROXIMATE  
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**GEOLOGIC  
 CROSS SECTIONS A-A' & B-B'**  
 Plate 2

W.O. 8157-A-SC      DATE: 10/21      SCALE: 1"=20'



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Continued Public Hearing: Request for DRP and SDP to Demolish a Single-Family Residence, Construct a Replacement Two-Story, Single-Family Residence with an Attached Two-Car Garage, and Perform Associated Site Improvements at 211 Ocean St. (DRP21-004/SDP21-004; Applicants: Ford and Cassie Blakely; APN: 263-042-05; Resolution 2021-128)**

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## **BACKGROUND:**

The Applicants, Ford and Cassie Blakely, are requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated site improvements at 211 Ocean Street. The 8,360 square-foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The project was originally heard at the November 10, 2021, City Council meeting. Concerns were raised by members of the City Council and the public regarding the project's conformance with the development review criteria set forth in Solana Beach Municipal Code (SBMC) Section 17.68.040.F, specifically with respect to potential adverse impacts to a neighboring property due to a proposed second story deck at the southeast corner of the proposed residence. After receiving public testimony and evidence concerning the project, the Council continued the public hearing to a date-certain Council meeting on January 12, 2022 to allow the Applicants the opportunity to address the noted concerns.

The Applicants presented a revised design to the City Council on January 12, 2022, which included shifting the massing of the southernmost portion of the second story to the west. City Councilmembers maintained concerns with the size and location of the modified second-floor deck located on the southeast corner of the proposed residence. At the

CITY COUNCIL ACTION:

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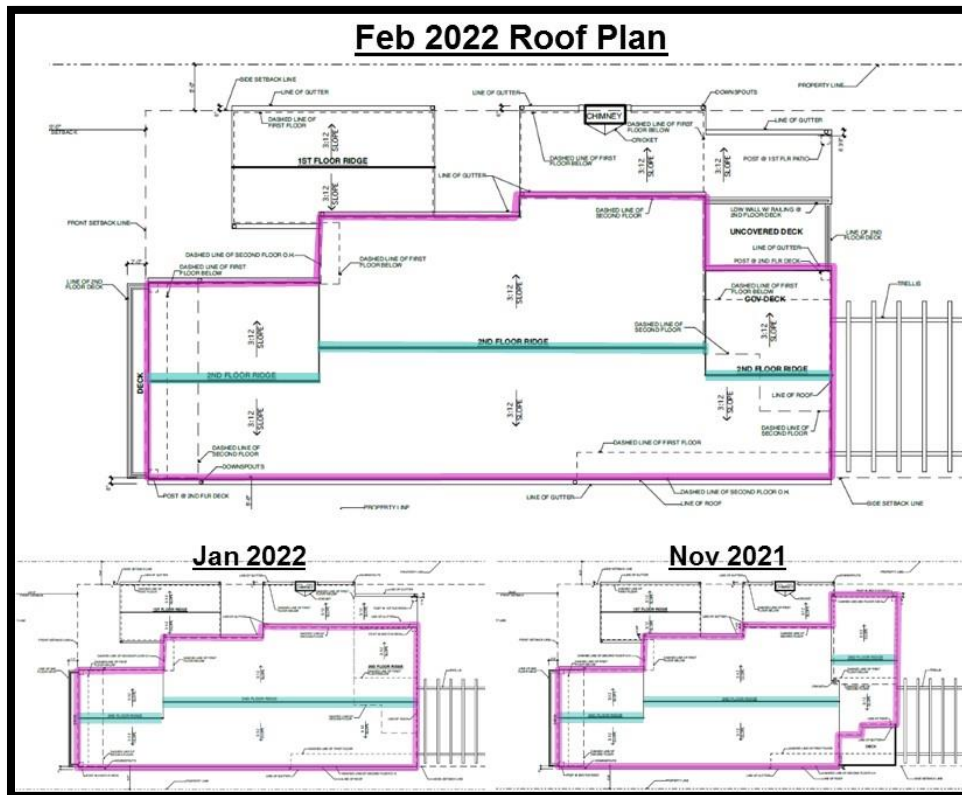
request of the Applicants, the City Council voted to continue the project a second time to the February 9, 2022 City Council meeting to allow further design refinement.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' revised request as contained in Resolution 2021-128 (Attachment 1).

**DISCUSSION:**

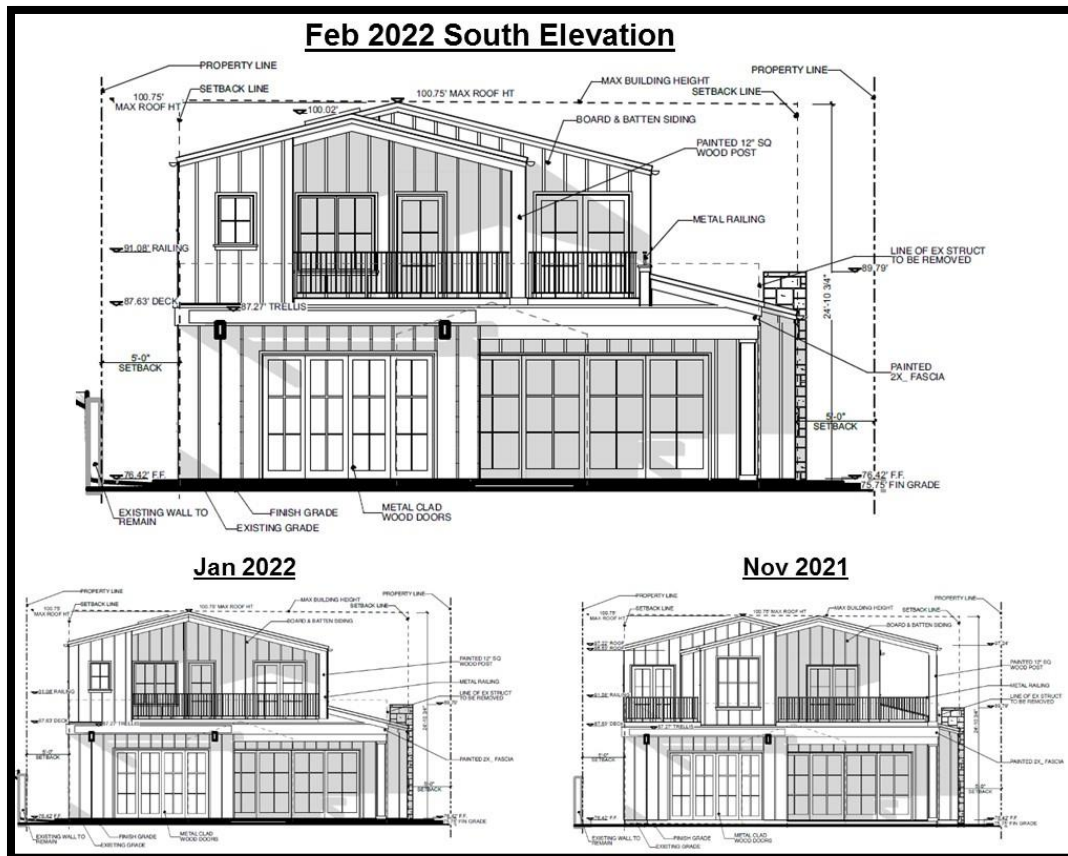
The Applicants submitted the second revised design to the Community Development Department on February 1, 2022. The revised project plans are provided in Attachment 2. The second revised design maintains the reconfigured second floor plan presented to the City Council on January 12, 2022, which resulted in massing outside of the original story poled envelope that was noticed to the neighbors and considered by the View Assessment Commission (VAC) based on a View Claim filed by the neighbor to the east of the subject property at 201 Ocean Street. Therefore, pursuant to Solana Beach Municipal Code (SBMC) Section 17.63.040(A), the Applicants continue to request that the City Council waive the requirement for that new portion of massing to go through the Structure Development Permit (SDP) process (Attachment 3).

The second revised design includes a modified Roof Plan, which would reduce the portion of the second-floor deck that would be covered. The exhibit below includes the second revised Roof Plan as well as the previously proposed designs for reference.





The Applicants propose to maintain the 3:12 slope roof design but jog the main ridge over the southernmost portion of the second story by approximately 3 feet to the west and lower the ridge from 100.75 feet above Mean Sea Level (MSL) to 100.02 feet above MSL. The change would pull back the roof over the second-story deck by approximately 8 feet from the previous design presented to the City Council on January 12, 2022. The exhibit below includes the second revised South Elevation as well as the previously proposed designs for reference.



Story poles have been revised and certified to show the proposed changes. The updated story pole certificate is included in Attachment 4. Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the updated Resolution of Approval (Attachment 1).

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Should the Council determine that the findings can be made to approve the project, the SDP will be approved concurrently with the DRP.

**PUBLIC HEARING NOTICE:**

The project was originally heard at the November 10, 2021 City Council meeting. Notice of the November 10, 2021 City Council Public Hearing published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on October 28, 2021. At the November 10, 2021 City Council Meeting, the project was continued, date-certain, to the January 12, 2022 City Council Meeting. At the January 12, 2022 City Council Meeting, the project was continued, date-certain, to the February 9, 2022 City Council Meeting. Since both continuances were date-certain, no additional public notices have been published or mailed.

As of the date of preparation of this Staff Report, Staff has not received any additional correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2021-128.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a SDP Waiver, SDP, and DRP.
- Deny the project if all required findings for the DRP cannot be made.

**DEPARTMENT RECOMMENDATION:**

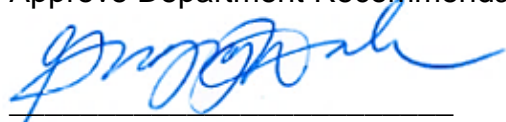
The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.

2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2021-128 conditionally approving a DRP, SDP, and SDP Waiver to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated site improvements at 211 Ocean Street, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Updated Resolution 2021-128
2. Revised Project Plans Dated February 1, 2022
3. Applicants' SDP Waiver Request
4. Updated Story Pole Certificate

## RESOLUTION 2021-128

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE, CONSTRUCT A REPLACEMENT TWO-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE, AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 211 OCEAN STREET, SOLANA BEACH**

**APPLICANTS: FORD AND CASSIE BLAKELY  
APPLICATION: DRP21-004/SDP21-004**

**WHEREAS**, Ford and Cassie Blakely (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on November 10, 2021, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach, at the request of the Applicants, continued the project to a date certain, January 12, 2022, so that the Applicants could revise the project to address comments made at the November 10, 2021 Council meeting.

**WHEREAS**, at the public hearing on January 12, 2022, the City Council received and considered evidence concerning the proposed application as revised; and

**WHEREAS**, the City Council of the City of Solana Beach continued the project to a date certain, February 9, 2022, as requested by the Applicants so they could revise the project to address comments made at the November 10, 2021 and January 12, 2022 City Council meetings; and

**WHEREAS**, at the public hearing on February 9, 2022, the City Council received and considered evidence concerning the proposed application as revised; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP, SDP, and SDP Waiver to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated site improvements at 211 Ocean Street, Solana Beach, is conditionally approved based upon the following Findings and subject to the following Conditions:

### III. FINDINGS

- A. The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor on June 18, 2021 showing a maximum building height of 25.00 feet (100.75 MSL) above the existing grade. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by August 12, 2021. The City received one application for View Assessment from the property owner (Asli Carome c/o Julie Hamilton, Law Office of Julie Hamilton; "Claimant") of 201 Ocean Street, which is located immediately east of the subject property.

The project was presented to the View Assessment Commission (VAC) on October 19, 2021, and the VAC made a unanimous recommendation of approval with conditions. The recommended conditions included reduction in height of the proposed chimney by 9 feet (14 feet above grade) and reduction of the vertical height up from the sill of the east-facing window above the main bedroom bathtub to 2 feet, 4 inches.

The Applicants reflected the recommended conditions of approval in the project plans presented to the City Council on November 10, 2021. An additional change provided by the Applicants since the VAC hearing was a 12-15 foot tall hedge (*Pittosporum* "Silver Sheen") located along the eastern side of the proposed second-floor covered deck in an effort to address privacy concerns raised by the Claimant. The story pole string lines between poles 16 and 17 were lowered after the VAC hearing to reflect the reduction in chimney height. The change was within the envelope of the originally noticed story poles, therefore, a second noticing period was not required.

Following the VAC hearing, the Claimant's representative indicated disagreement with the VAC's recommendation and requested that the City Council consider the View Claim.

The project, as modified as a recommendation of the VAC, was presented to the City Council on November 10, 2021. The City Council raised concerns

regarding the project's conformance with the development review criteria set forth in Solana Beach Municipal Code (SBMC) Section 17.68.040.F, specifically with respect to adverse impacts on the privacy of a neighboring property due to a proposed second story deck. After receiving public testimony and evidence concerning the project, the Council voted to continue the public hearing, date-certain, to the January 12, 2022 City Council Meeting, as requested by the Applicants, to allow them the opportunity to address the noted concerns.

The Applicants proposed a revised project to the City Council on January 12, 2022, which included a shift in second story massing outside of the original story pole envelope. The Applicants requested that the City Council waive the requirement to repeat the SDP and story pole process, which was supported by the adjacent property owner at 223 Ocean Street, who would be most impacted by the change. The revised design did not adequately address the concerns raised previously, and the City Council voted, at the request of the Applicants, to continue the public hearing to a date-certain February 9, 2022 City Council Meeting.

The Applicant proposed a second revised project to the City Council on February 9, 2022, which maintained the previously proposed shift in the second story massing outside of the original story pole envelope, and the Applicants continued their request to waive the requirements of the SDP process for that portion of the proposed structure.

In accordance with Chapter 17.63 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council hereby waives the requirement for story pole installation and an updated SDP notice given the unlikelihood of view impairment for the new massing located outside of the original story pole envelope.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 25.00 feet above the proposed grade or 100.75 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

In accordance with Chapter 17.63 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

- 1. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.*

Written accounts and oral testimony at the public meeting showed that there had been communication between the Applicants and the Claimant.

- II. *The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.*

The subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.

- III. *The structure is designed and situated in such a manner as to minimize impairment of views.*

The Claimant's primary view is toward the northeast. The proposed structure is designed and situated in such a manner as to minimize impairment of views.

- IV. *There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.*

The VAC members found that there would not be significant cumulative view impairment caused by granting the application if adjacent lots were allowed to construct a development of a similar size and height.

- V. *The proposed structure is compatible with the immediate neighborhood character.*

The proposed development is compatible with the immediate neighborhood character, including design, bulk, scale, height, and size.

- B. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for a maximum of five to seven dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy

residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor area (FAR), maximum building height, and parking requirements.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the MR Zone. The surrounding neighborhood is also located in the MR Zone and consists of a mix of properties that are one- and two-story, single-family residences. The project site is currently developed with a single-story, single-family residence with an attached garage.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020, which permits one single-family residence and one Accessory Dwelling Unit (ADU) per lot. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.



The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and found to be in conformance with, the regulations of the SROZ. As a condition of project approval, the Applicants shall obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicants are proposing to construct a replacement two-story, single-family residence with an attached two-car garage. The location of the existing driveway will be maintained along the western side of the property with access from Ocean Street to the proposed 485 square-foot two-car garage. A screened trash enclosure will be located on the west side of the driveway. A gated walkway will provide pedestrian access from Ocean Street through the center of the property to the main entrance. The southern portion of the front yard will include an uncovered patio and a vegetated biofiltration area to support onsite drainage. Private walkways will be provided along both the western and eastern sides of the residence to access the rear yard.

The replacement residence will be located in the western portion of the buildable area with portions of the second floor stepped back from the eastern side of the property by varying dimensions. The 1,713 square-foot first floor living area will include an open-concept kitchen, living, and dining room, an office (bedroom) with a private bathroom, a pantry, a powder room, and a utility room with access to the garage. The first floor will open to both an uncovered courtyard, a covered patio, and the rear yard. The 1,608 square-foot second floor living area will include a main bedroom suite with a partially covered deck located on the north (front) side of the residence and two bedrooms with private bathrooms and a covered deck on the south (rear) side of the residence. All designed exterior areas, including the courtyard, patio, and decks are exempt from floor area.

Exterior improvements proposed on the south (rear) side of the residence include a barbeque counter and bar seating, a pool and spa, and landscape and hardscape areas. The Applicants are also proposing a detached single-story ADU of 450 square feet located in the southwest corner of the property and partially

within the rear yard setback. It should be noted that the detached ADU is not subject to discretionary review, pursuant to SBMC Section 17.20.040(D), and has been shown voluntarily on the project plans. The surrounding yard improvements, however, will be accessible by the tenants of both the ADU and primary residence and, therefore, are subject to the discretionary review.

The total proposed floor area is 3,411 square feet, which is 2 square feet below the maximum allowable floor area for the 8,360 square-foot lot. The maximum floor area calculation for this project is as follows:

0.500 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,001 to 15,000 ft <sup>2</sup>	413 ft <sup>2</sup>
<hr/> Total Allowable Floor Area:	<hr/> 3,411 ft <sup>2</sup>

The proposed project, as designed, would meet the minimum required setbacks, provide the required off-street parking, and would be below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit a detailed construction landscape plan that will be reviewed by the City's third-party landscape architect for substantial conformance with the conceptual plan and compliance with SBMC Chapter 17.56. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall*

*provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. ADU's are not required to provide an additional parking space if the site is located within one-half mile of a transit stop. The subject site is within one-half mile of multiple bus stops on Highway 101; therefore, an additional parking space is not required. The Applicants are proposing to construct a 485 square-foot attached garage in the northwest corner of the proposed residence. The garage will be accessed by a driveway on the northwest corner of the property from Ocean Street. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide two 9-foot by 19-foot parking spaces that are clear of obstruction. Therefore, 400 square feet of garage area is exempt from the project's total floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project proposes grading in the amounts of 30 cubic yards of cut for footings, 80 cubic yards of fill, 5 cubic yards of excavation for footings, 100 cubic yards of removal and recompaction, for an aggregate of 215 cubic yards of grading, and 50 cubic yards of import in order to create an increased building pad and consistent grade throughout the yard areas and construct drainage improvements including a bio retention basin located in the northeast portion of the front yard.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of a replacement single-family residence on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees set by the 2021 adopted Fee Schedule.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on February 9, 2022, and located in the project file with a submittal date of February 1, 2022.

- III. Prior to requesting a framing inspection, the Applicants shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 25.00 feet above the proposed grade or 100.75 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on November 10, 2021.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicants shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on January 12, 2022 prior to Building Permit issuance, which will be reviewed and inspected by the City's third party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.

- XI. The east-facing windows located in the bathroom of the main bedroom shall have a minimum sill height of 4.5 feet.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- III. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- IV. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation. Sprinklers shall be installed in the new residence and ADU.
- V. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. The Applicants are required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the frontage improvements

being done in the public right-of-way. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:

- a. Construction of any damaged sidewalk panels or curb/gutter as directed by the City Inspector.
  - b. Construction of the sidewalk underdrain.
  - c. Widening of the existing four feet wide sidewalk to six feet wide sidewalk with appropriate transitional sections to match the proposed driveway to the west and the existing sidewalk to the east as well as construction of landscaping between the back of the proposed sidewalk and the new retaining wall which will be constructed on the property line.
  - d. Construction of the SDRSD driveway approach with 2:1 transitions to the existing concrete sidewalk.
  - e. Construction of the concrete walkway from the proposed sidewalk to the front pedestrian gate.
  - f. Removal of the existing retaining walls.
- II. The Applicants shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit. The EMRA shall be recorded against this property for all private improvements in the public right-of-way including, but not limited to:
- a. Walkway steps.
  - b. Sidewalk underdrain pipe.
- III. The Applicants shall pay in full the one-time Sewer Capacity Fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed residential unit would increase the property's EDU assignment by 0.8 EDU. The cost the Applicants are responsible for is \$3,600.00 prior to Building Permit Issuance (0.8 EDU multiplied by \$4,500.00).
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

Grading:

- VI. The Applicants shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
- a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
  - b. The Applicants shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
  - c. The Applicants shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to Final Inspection of the Building Permit.
  - d. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
  - e. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission



shall be submitted to the City Engineer prior to the issuance of the Grading Permit.

- f. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the Grading Permit.
- g. The Applicants shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicants shall obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- i. The Applicants shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicants. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- k. The Applicants shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increase in cross-lot drainage shall be allowed.

- n. Prior to obtaining a Building Permit, submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- o. The Applicants shall obtain the Grading Permit prior or concurrently to Building Permit issuance.

D. City Council Conditions:

VII. N/A

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are

hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 9<sup>th</sup> day of February, 2022, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

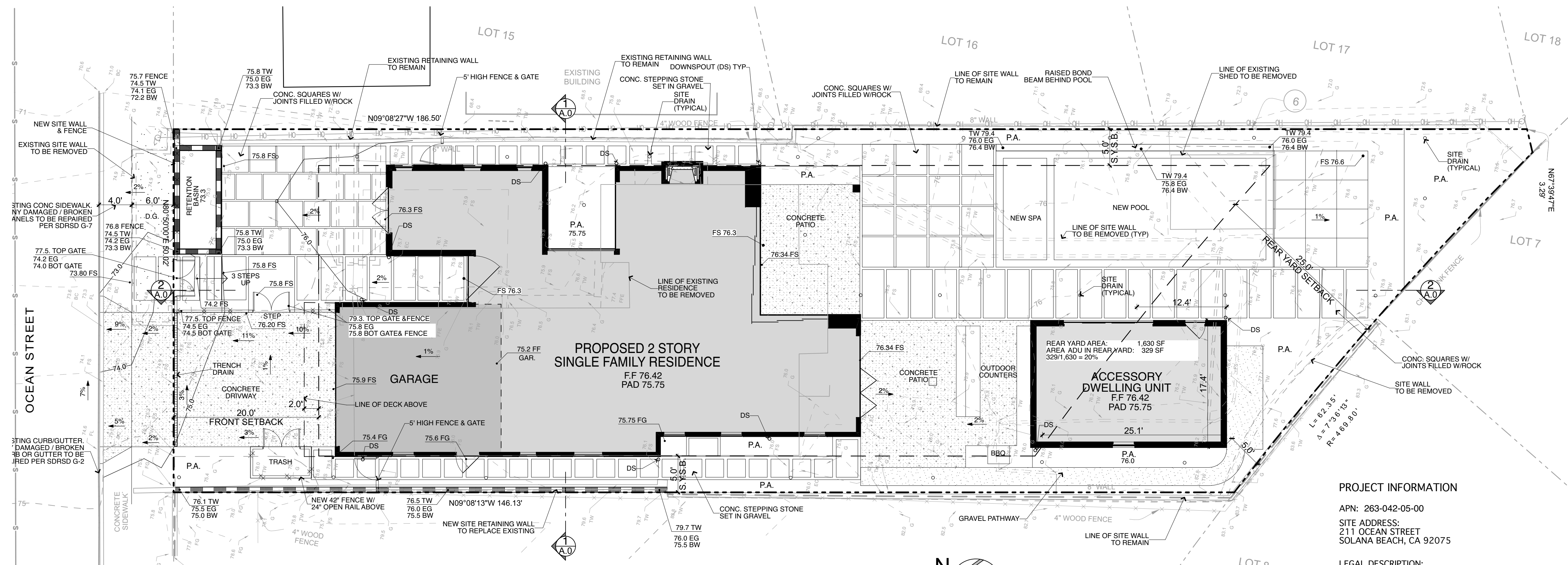
\_\_\_\_\_  
LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

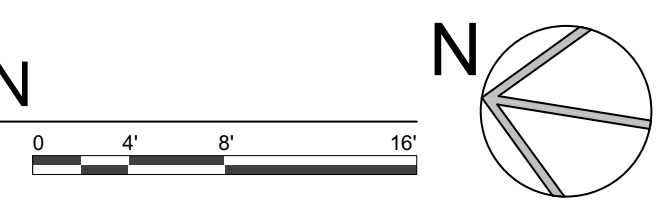
ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



**SITE PLAN**  
SCALE: 1/8" = 1'-0"



**PROJECT INFORMATION**  
APN: 263-042-05-00  
SITE ADDRESS:  
211 OCEAN STREET  
SOLANA BEACH, CA 92075

**LEGAL DESCRIPTION:**  
LOT 14, IN BLOCK 3 OF SOLANA BEACH VISTA, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CA., ACCORDING TO THE OFFICIAL MAP THEREOF NO. 2143, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON DECEMBER 17, 1928

**ZONE:** MRd  
**SPECIAL ZONE OVERLAY:** Scaled Residential Overlay  
**OCCUPANCY:** R-3/U-1  
**CONSTRUCTION TYPE:** VB  
**SPRINKLERS:** NFPA 13D SPRINKLERS REQ.  
**EXISTING LOT USE:** EXISTING SFR  
**PROPOSED USE:** SINGLE FAMILY RESIDENCE  
**LOT COVERAGE:** N/A  
**OFF STREET PARKING:** 2 SPACES REQUIRED

**FRONT SETBACK:** 20'-0" (ROW 55'-0")  
**SIDE SETBACK:** 5'-0"  
**STREET SIDE SETBACK:** 10'-0"  
**REAR SETBACK:** 25'-0"  
**MAX BLDG HEIGHT:** 25'-0"  
**PROPOSED BLDG HGT:** 24'-10"

**LOT AREA:** GROSS 8,360 SF  
**LOT AREA:** NET 8,360 SF

**FLOOR TO AREA RATIO ALLOWABLE:**  
0.50 x 6,000 = 3,000 s.f.  
0.175 x 2,360 = 413 s.f.  
Maximum Floor Area Allowed 3,413 s.f.

**PROPOSED BUILDING AREA:**  
NEW FIRST FLOOR LIVING AREA : 1,713 SF  
NEW SECOND FLOOR LIVING AREA: 1,608 SF  
NEW GARAGE: 485 SF  
SUBTOTAL OF FLOOR AREA: 3,806 SF

**OFF STREET PARKING EXEMPTION (2 SPACES)** -400.0 SF  
**TOTAL PROPOSED FLOOR AREA** 3,406 SF

**COV. DECKS:** 325 SF  
**UNCOV DECKS:** 110 SF  
**COV. PATIO:** 245 SF

**ACCESSORY DWELLING UNIT:** 451 SF

**PARKING:**  
2 PARKING SPACES IN GARAGE.

**EARTHWORK QUANTITIES:**  
SITE GRADING:  
30 CY- CUT  
80 CY- FILL  
5 CY- EXCAVATION FOOTINGS  
100 CY- REMOVAL & RECOMPACTION  
215 CY- TOTAL GRADING  
50 CY- TOTAL IMPORT

**ADU EARTHWORK QUANTITIES:**  
SITE GRADING:  
5 CY- CUT  
0 CY- FILL  
0 CY- EXCAVATION FOOTINGS  
16 CY- REMOVAL & RECOMPACTION  
21 CY- TOTAL GRADING  
5 CY- TOTAL EXPORT

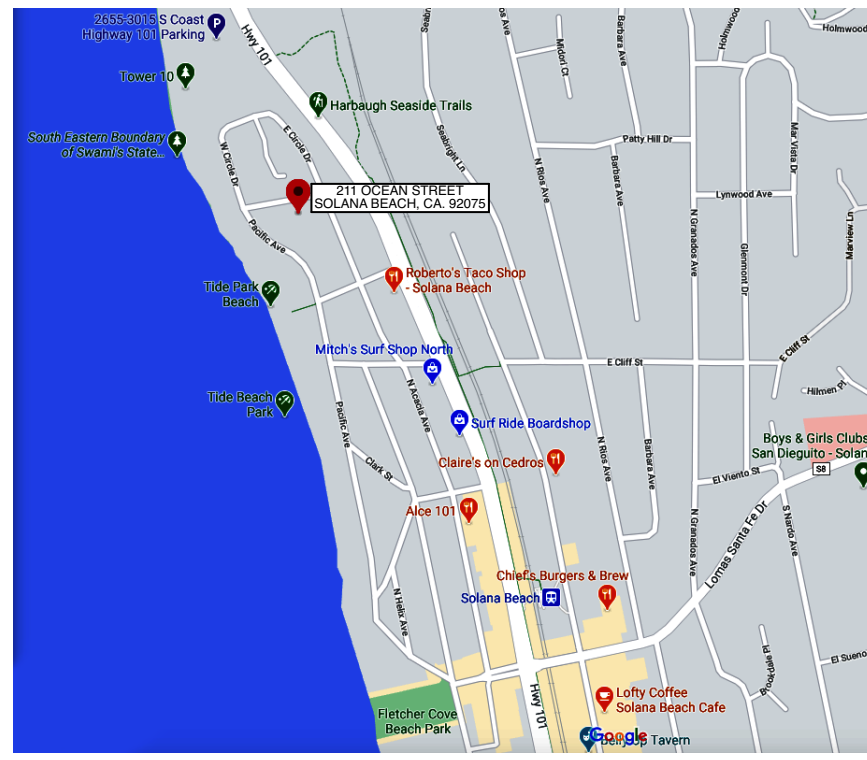
**OWNER/APPLICANT:**  
FORD AND CASSIE BLAKELY  
211 OCEAN STREET  
SOLANA BEACH, CA 92075  
858-213-6562

**OWNER'S REPRESENTATIVE:**  
CRAIG FRIEHAUF  
FRIEHAUF ARCHITECTS INC.  
858.792.6116  
frieaufnc@sbcglobal.net

**FIRE DEPARTMENT NOTES**

- OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:**  
All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- ADDRESS NUMBERS: STREET NUMBERS:**  
Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a 1/2" stroke for residential buildings, 8" high with a 1/2" stroke for commercial and multi-residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- AUTOMATIC FIRE SPRINKLER SYSTEM: ONE AND TWO FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- SMOKE DETECTORS/CARBON MONOXIDE ALARMS/FIRE SPRINKLER SYSTEM:** Smoke detectors / carbon monoxide alarms / fire sprinklers shall be inspected by the Solana Beach Fire Department.
- CLASS "A" ROOF:** All Structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

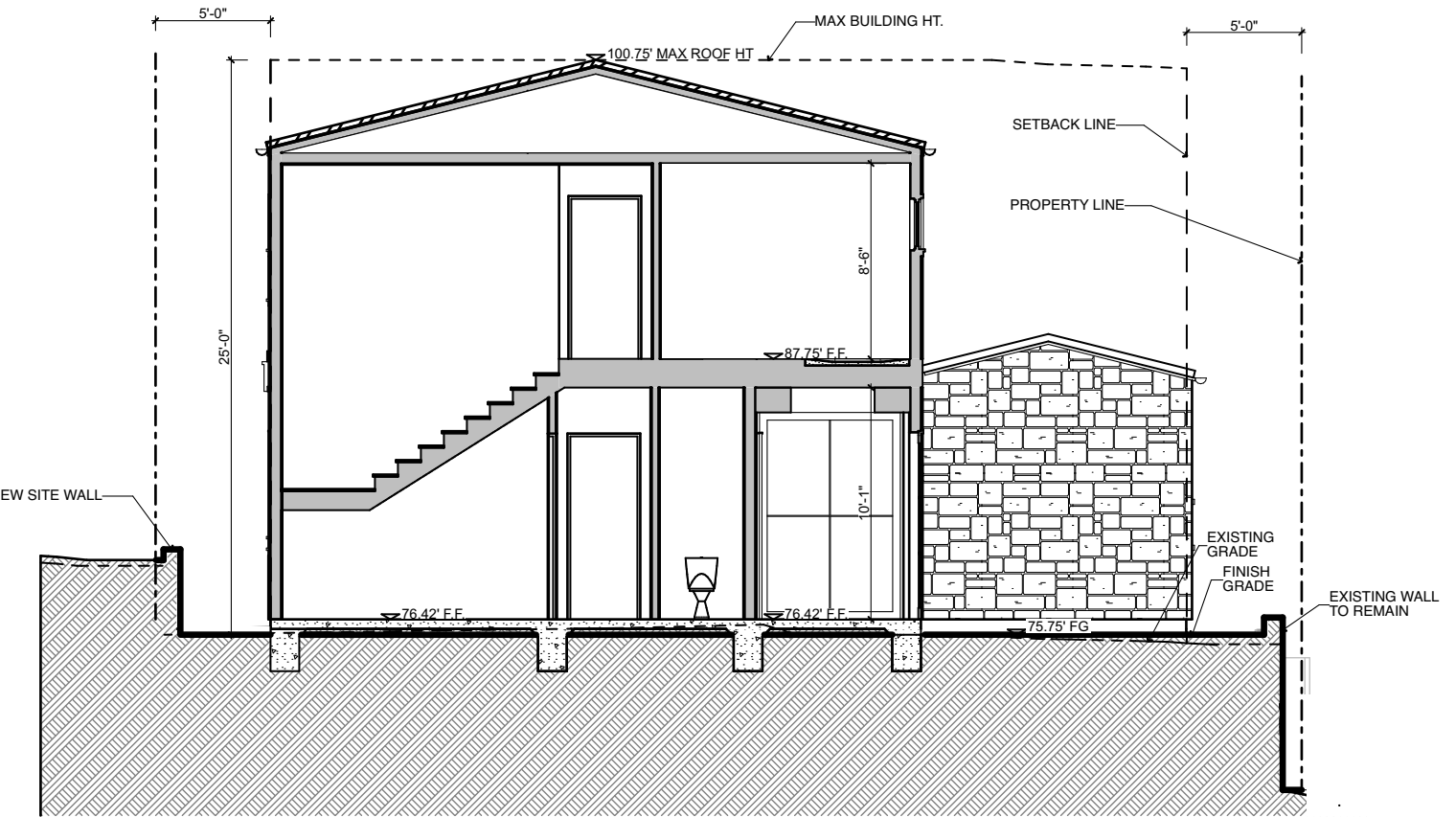
**VICINITY MAP**



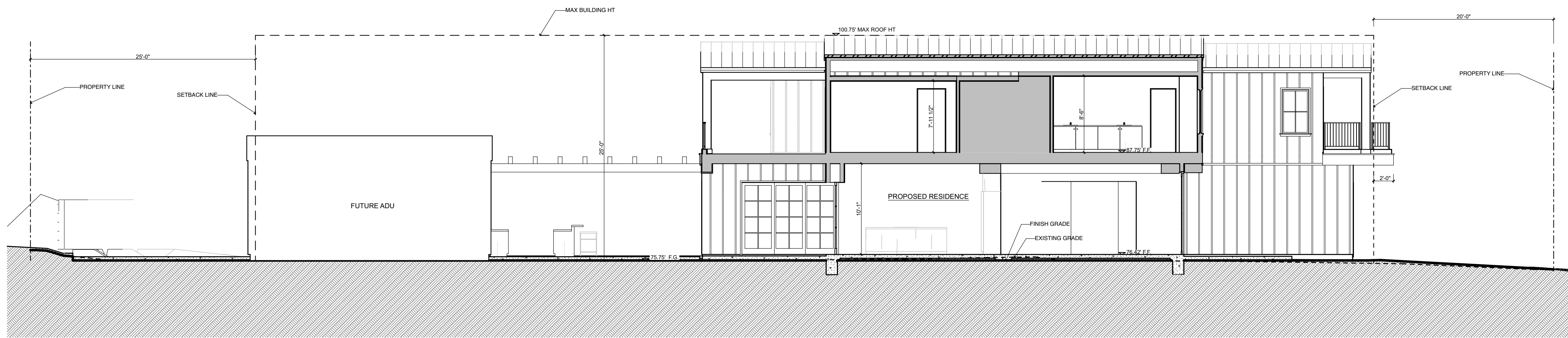
	Existing (SF)	Proposed Total (SF)
Non-landscaped Area <sup>a</sup>		5,683
Non-irrigated Landscape <sup>b</sup>		0
Irrigated Landscape	1,625	
Water Features <sup>c</sup>	492	
Decorative Hardscape <sup>d</sup>	560	
<b>Total Lot Area</b>		<b>8,360</b>

	Area of Work <sup>e</sup> (SF)
Irrigated Landscape	1,625
Water Features <sup>c</sup>	492
Decorative Hardscape <sup>d</sup>	560
<b>Aggregate Landscape Area<sup>f</sup></b>	<b>2,677</b>



**1 SITE SECTION**  
SCALE: 1/8" = 1'-0"



**2 SITE SECTION**  
SCALE: 1/8" = 1'-0"



**FRIEHAUF ARCHITECTS**  
341 South Cedros Avenue, Suite D  
Solana Beach, California, 92075  
858.792.6116 Tel  
frieaufnc@sbcglobal.net

**DATE:**

MAR 18, 2021  
MAY 6, 2021  
JUNE 18, 2021  
OCT 21, 2021  
DEC 17, 2021  
JAN 27, 2022

**SHEET NO.**

**1**

# TOPOGRAPHIC SURVEY

## ENCUMBRANCES:

EXISTING ENCUMBRANCES LISTED BELOW ARE PER A PRELIMINARY TITLE REPORT PREPARED BY TITLE 365 DATED JULY 24, 2016 AS ORDER NO 410-1402082-40.

5 COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN INSTRUMENT RECORDED APRIL 7, 1941 IN BOOK 1163 AND PAGE 209, OF OFFICIAL RECORDS, BUT OMITTING ANY COVENANT, CONDITION OR RESTRICTION, IF ANY, BASED ON RACE, COLOR RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT, CONDITION OR RESTRICTION (A) IS EXEMPT UNDER TITLE 42 OF THE UNITED STATES CODE, OR (B) RELATES TO HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS.

SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE.

6 AN EASEMENT FOR RIGHT OF WAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED IN BOOK 2367 OF DEEDS, PAGE 207.

SAID EASEMENT ROUTE ADJACENT TO EASTERLY LINE OF LOT 14. NO EASEMENT LIMITS PROVIDED.

## OWNER:

FORD AND CASSIE BLAKELY

## ADDRESS:

211 OCEAN STREET  
SOLANA BEACH, CA

## APN:

263-042-05

## BENCHMARK:

3.5" DIAMETER NATIONAL GEODESIC SURVEY DISC MARKED "J1415, 1987" LOCATED IN THE TOP OF THE HEADWALL THAT IS 0.2 MILES NORTH OF SOLANA VISTA DRIVE ON THE EAST SIDE OF NORTHBOUND HIGHWAY 101, 3 FEET OFF OF THE SHOULDER ACCORDING TO THE CITY OF SOLANA BEACH SURVEY CONTROL RECORD OF SURVEY NO. 18971.

ELEVATION = 34.670'  
DATUM = NAVD 88

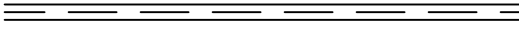
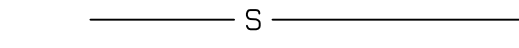
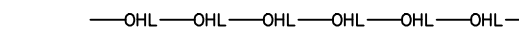
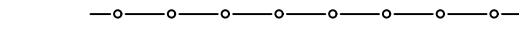
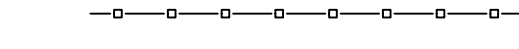



## LEGAL DESCRIPTION:

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## NOTES:

- BEARINGS AND DISTANCES SHOWN HEREON ARE DERIVED FROM AN EVIDENCE BASED BOUNDARY SURVEY PERFORMED ON JUNE 18, 2019.
- PLEASE NOTE THAT THIS SURVEY HAS NOT IDENTIFIED ANY UNDERGROUND UTILITIES THAT MAY EXIST UNLESS OTHERWISE SHOWN.
- TREES THAT ARE LESS THAN 6" IN DIAMETER HAVE NOT BEEN LOCATED, UNLESS OTHERWISE SHOWN.

## LEGEND:

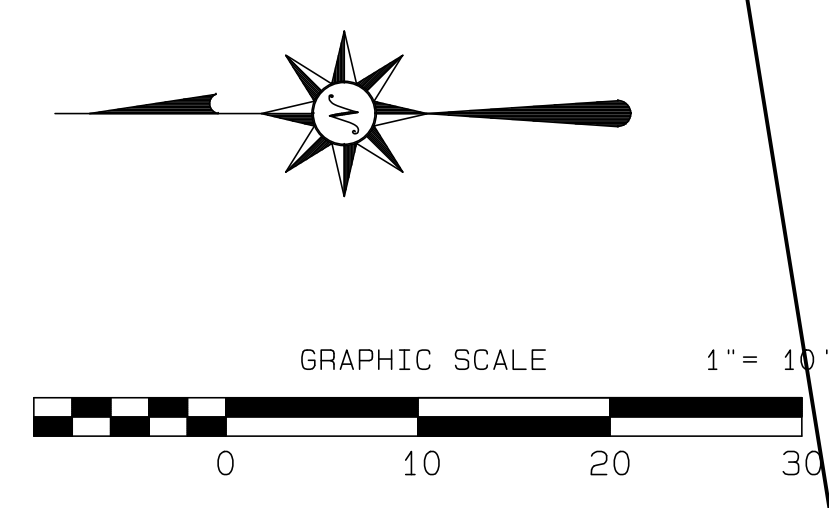
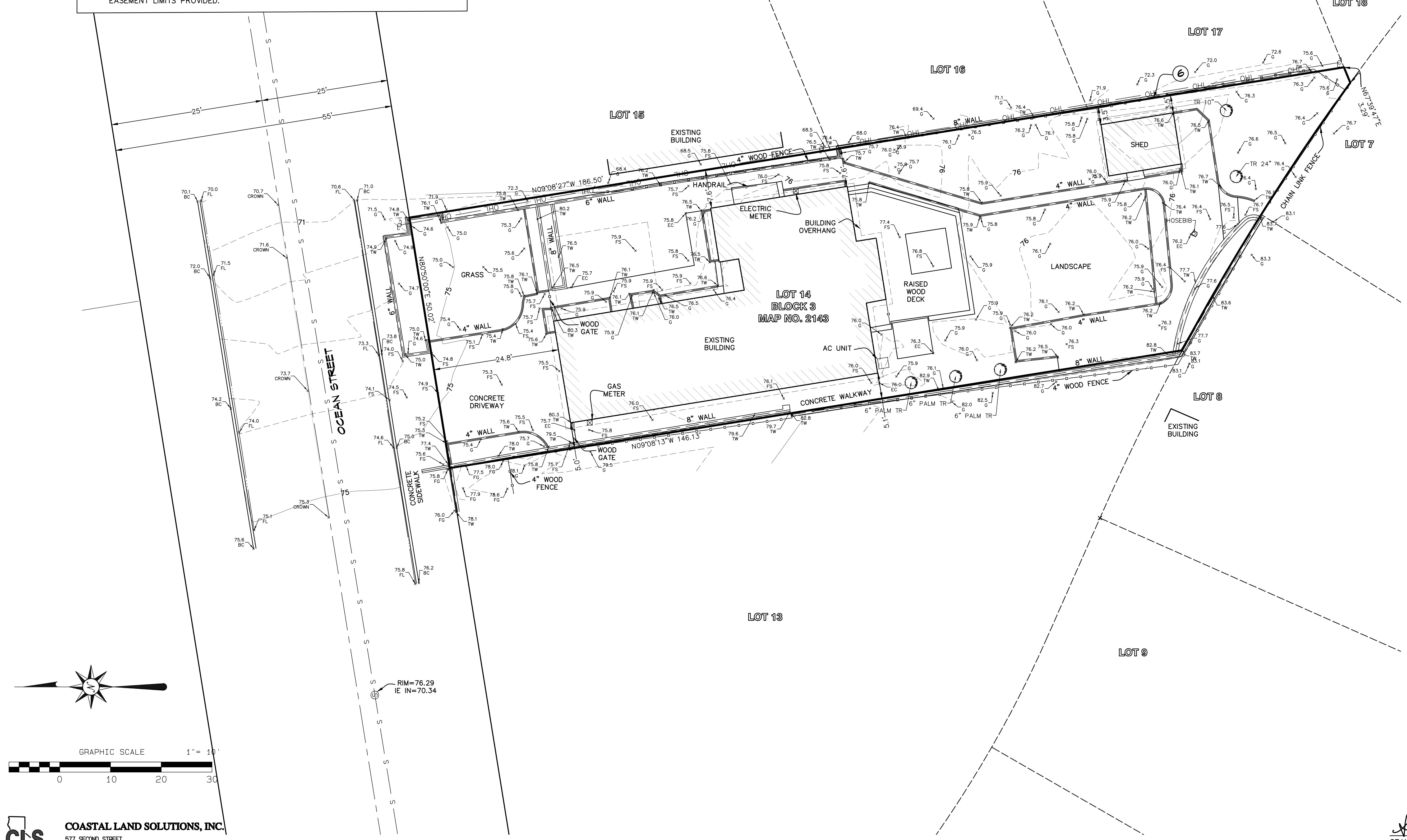
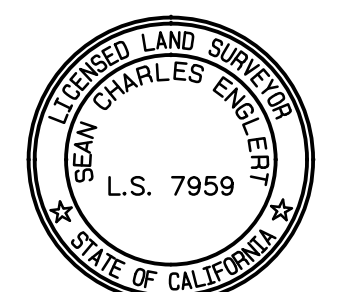
EC	INDICATES EDGE OF CONCRETE
EP	INDICATES EDGE OF PAVEMENT
FFE	INDICATES FINISHED FLOOR ELEVATION
FL	INDICATES FLOW LINE
FS	INDICATES FINISHED SURFACE
G	INDICATES GROUND
TW	INDICATES TOP OF WALL
WALL	
SEWER MAIN	
OVER HEAD LINE	
CHAIN LINK FENCE	
WOOD FENCE	
METER	
SANITARY SEWER MANHOLE	
POWER POLE	

## PREPARED BY:

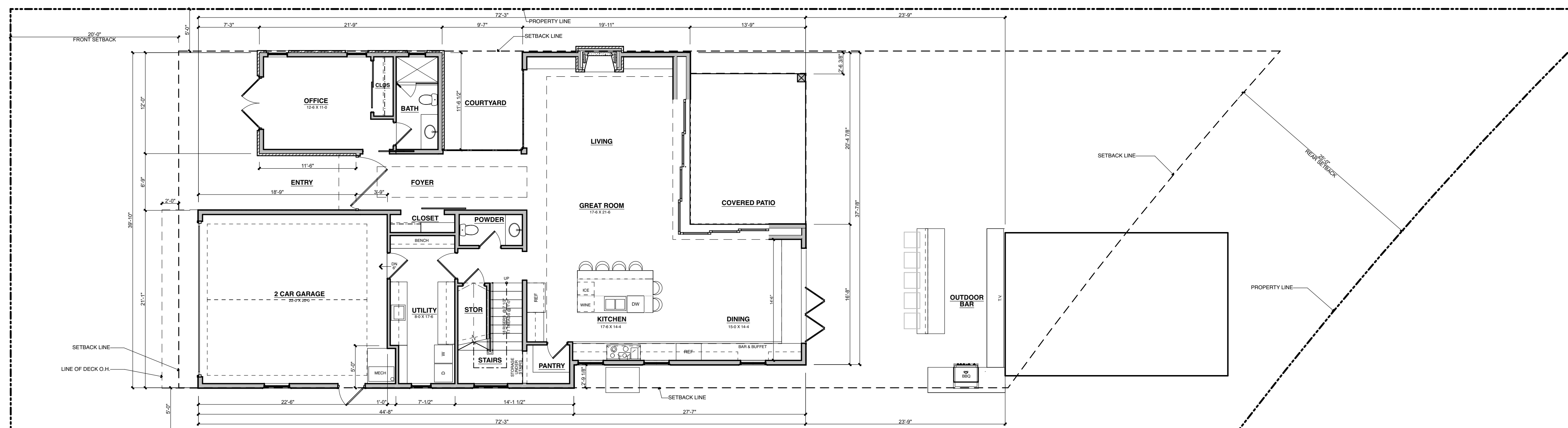
COASTAL LAND SOLUTIONS, INC.  
577 SECOND STREET  
ENCINITAS, CA 92024  
760-230-6025

DATE OF SURVEY: JUNE-JULY 2019

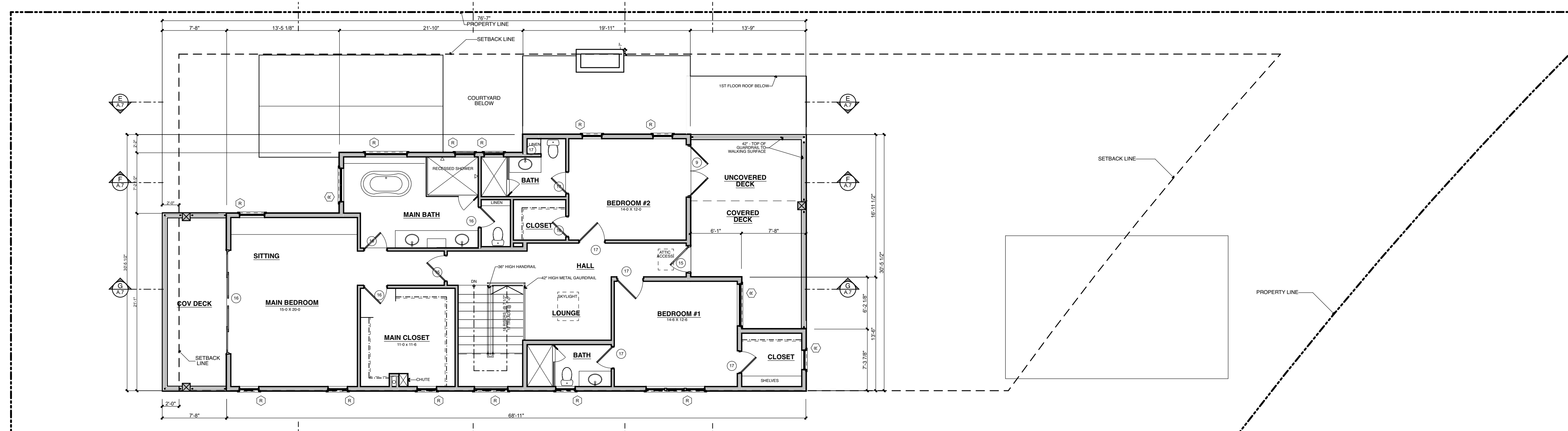
  
SEAN C. ENGLERT, LS 7959  
DATE 7-17-2019



**CLS**  
COASTAL LAND SOLUTIONS, INC.  
577 SECOND STREET  
ENCINITAS, CA 92024  
PH (760) 230-6025  
FAX (760) 230-6026  
CLS# 1625



**FIRST FLR PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLR PLAN**  
SCALE: 1/8" = 1'-0"

**BLAKELY RESIDENCE**  
211 OCEAN STREET  
SOLANA BEACH, CA. 92075

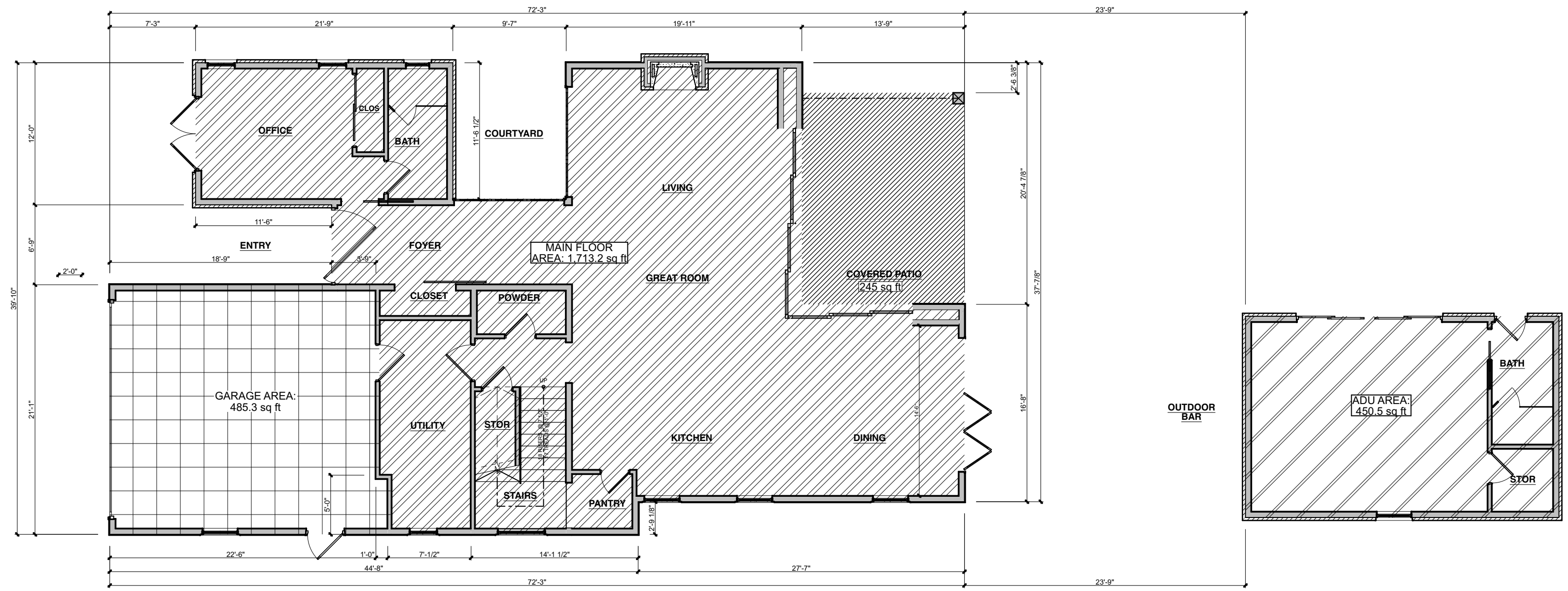


**FRIEHAUF ARCHITECTS**  
341 South Cedros Avenue, Suite D  
Solana Beach, California, 92075  
858.792.6116 Tel  
frieaufinc@sbcglobal.net

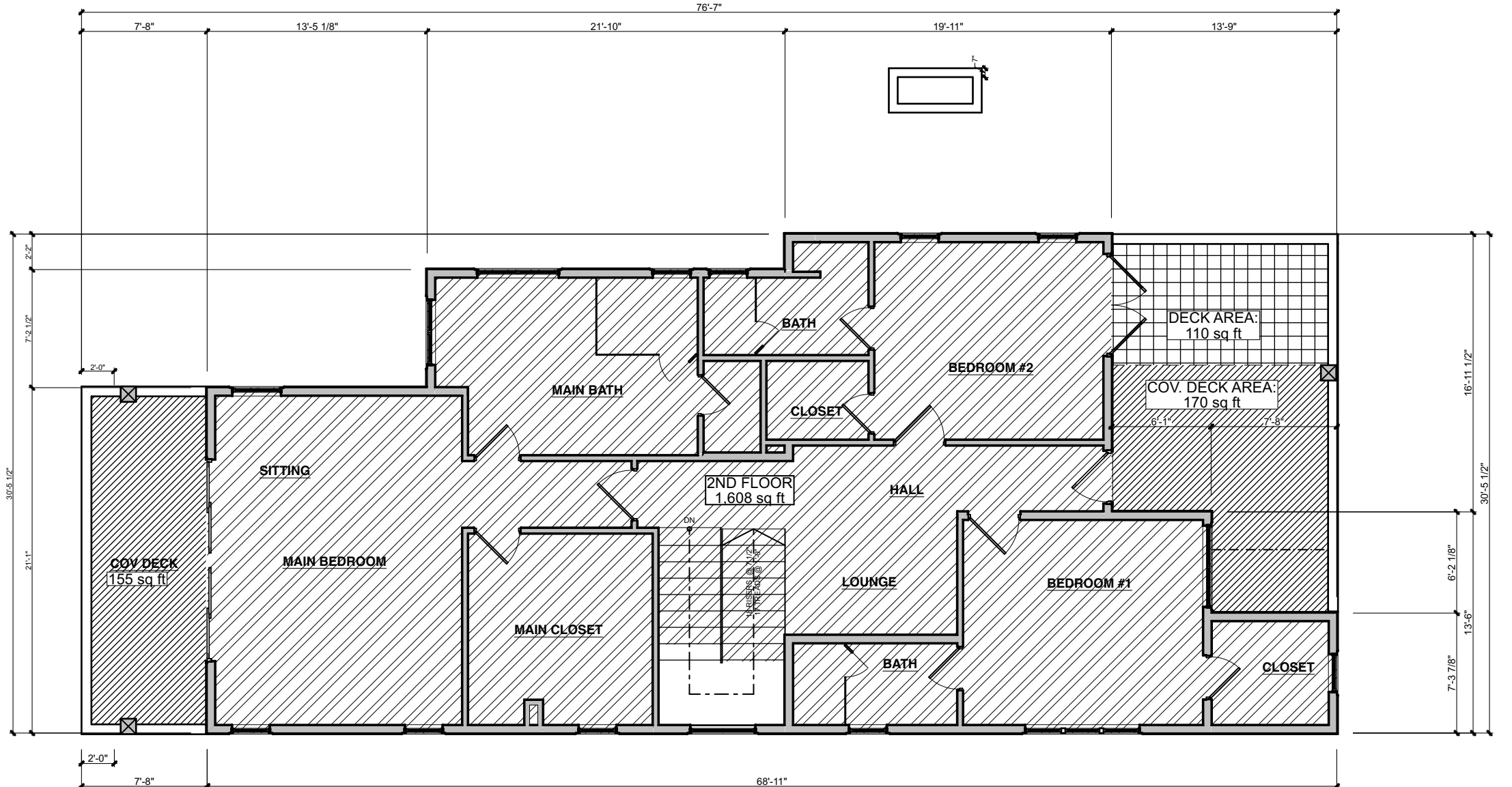
DATE:  
MAR 18, 2021  
MAY 6, 2021  
JUNE 18, 2021  
OCT 21, 2021  
DEC 17, 2021  
JAN 27, 2022

SHEET NO.

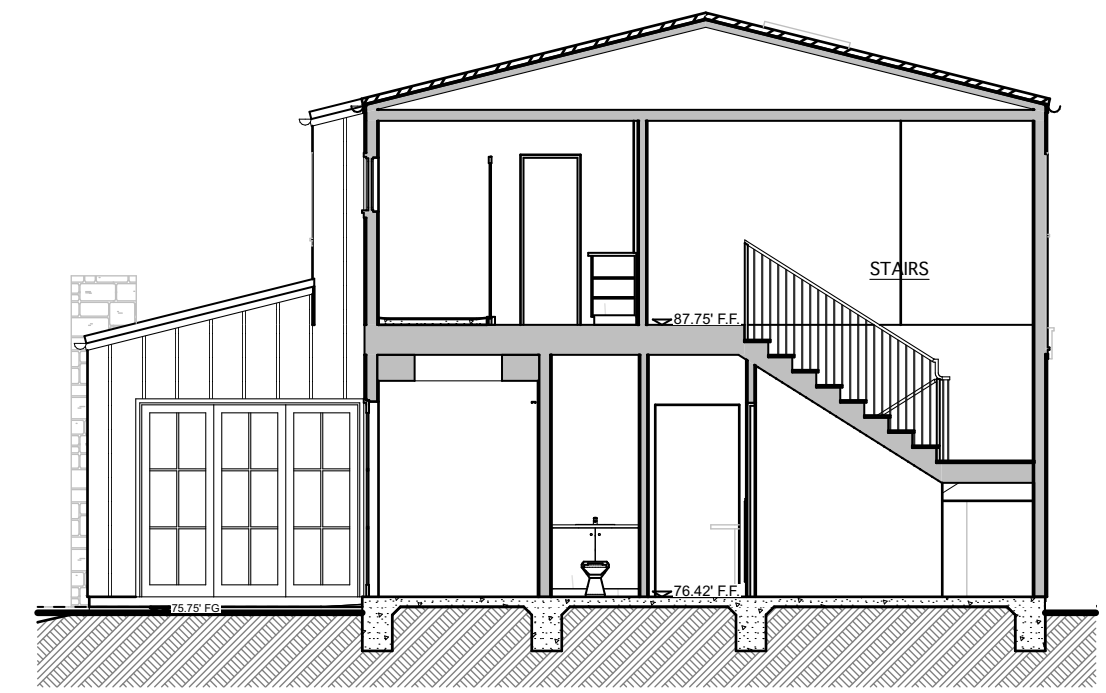
**3**



**Main Floor AREA**  
SCALE: 1/8" = 1'-0"



**2nd Floor AREA**  
SCALE: 1/8" = 1'-0"

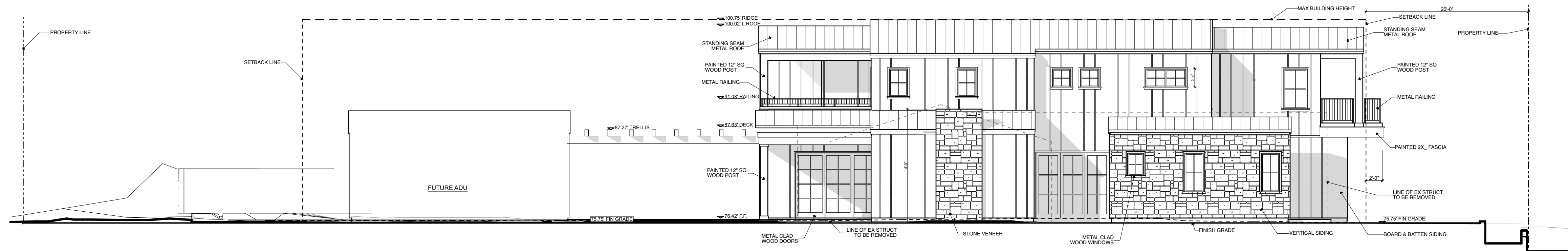


**STAIR SECTION**  
SCALE: 1/8" = 1'-0"

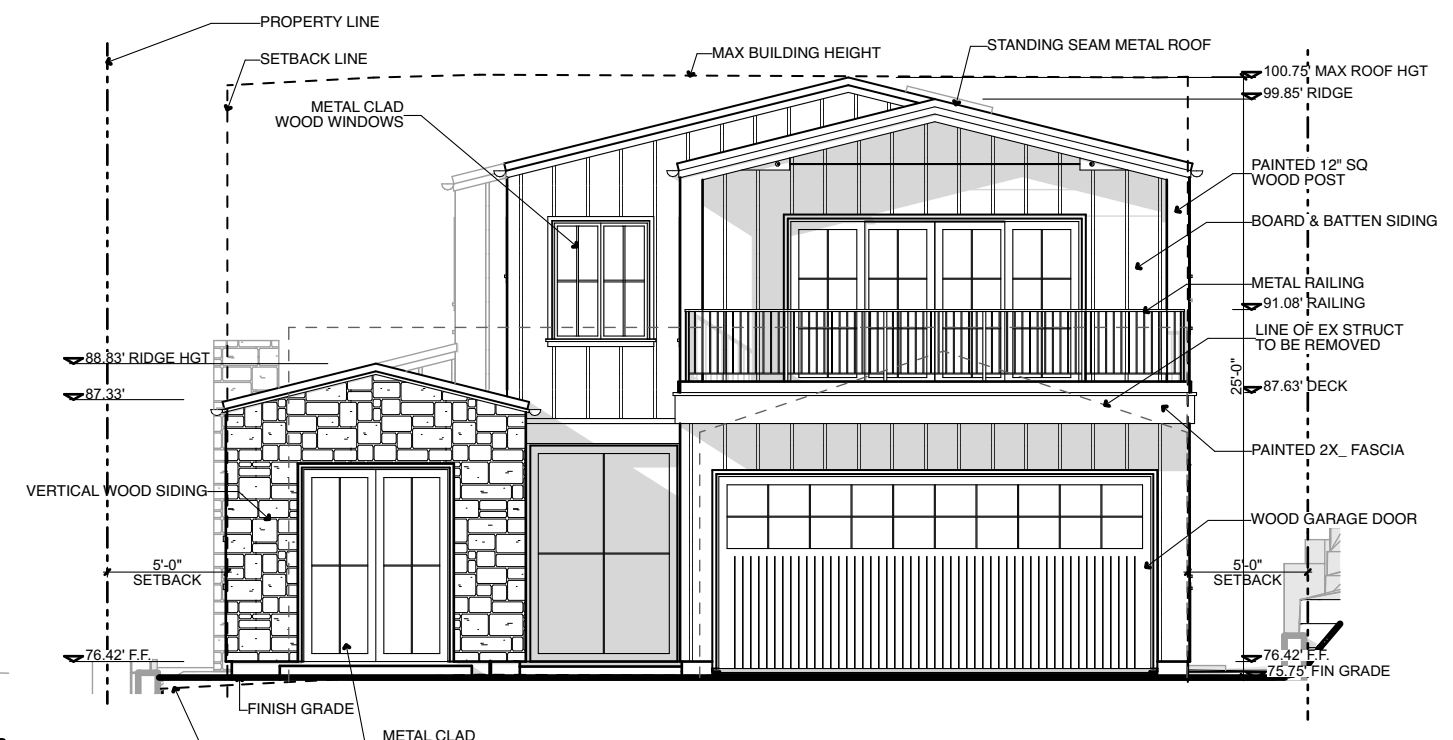
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OCT 21, 2021  
DEC 17, 2021  
JAN 27, 2022

SHEET NO.

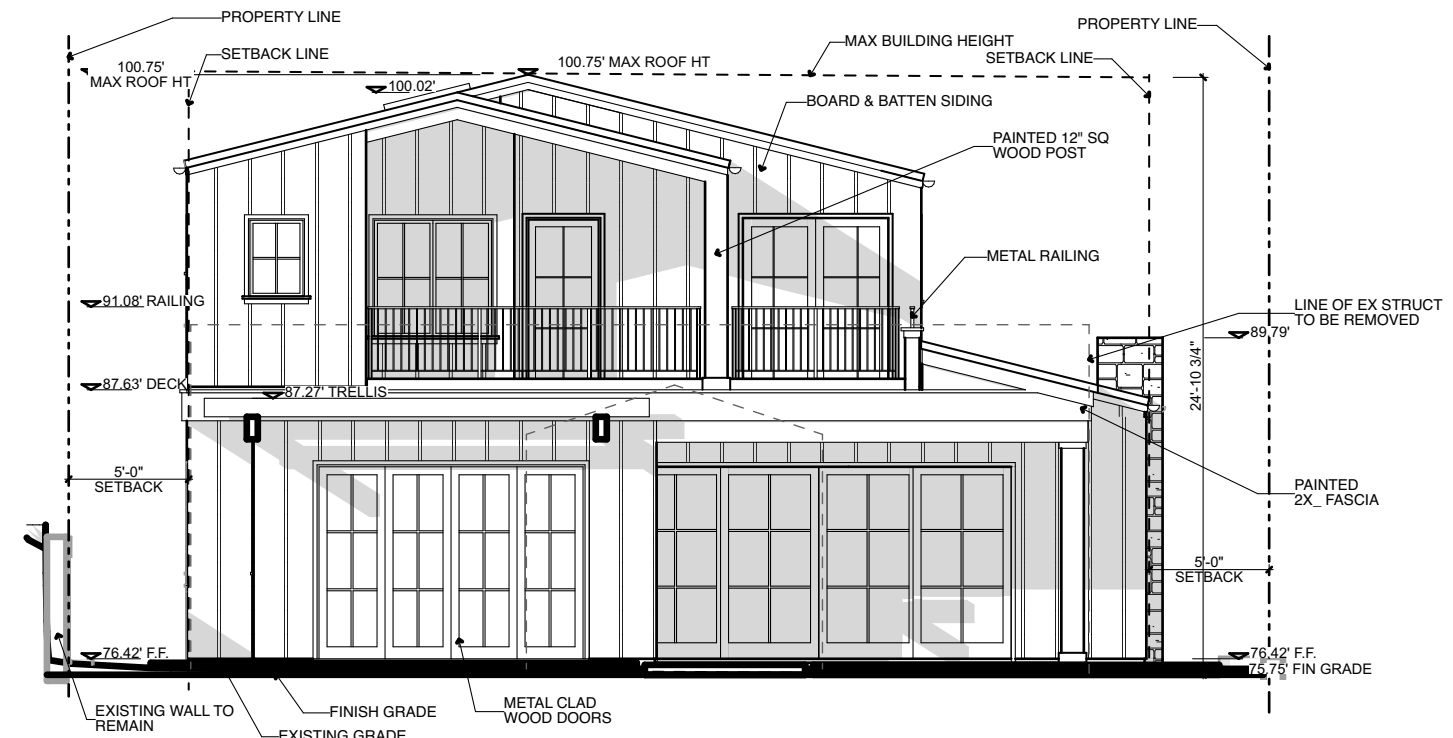
**4**



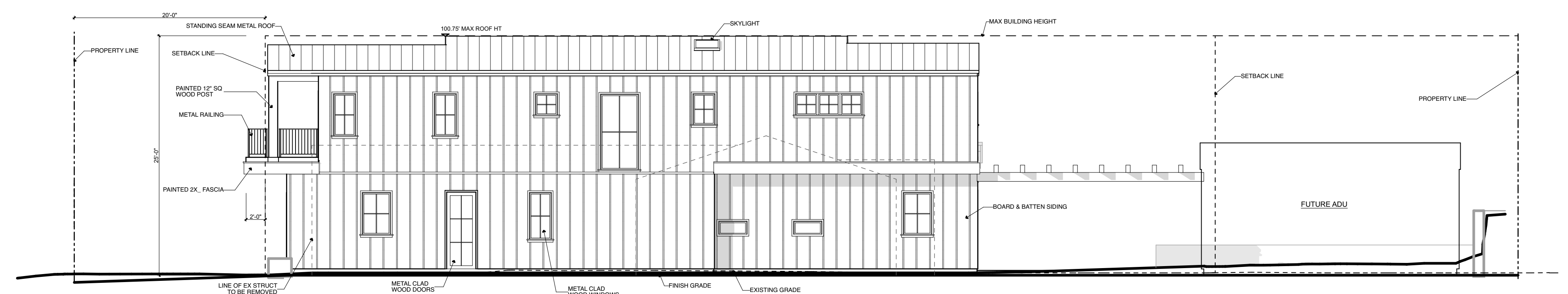
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



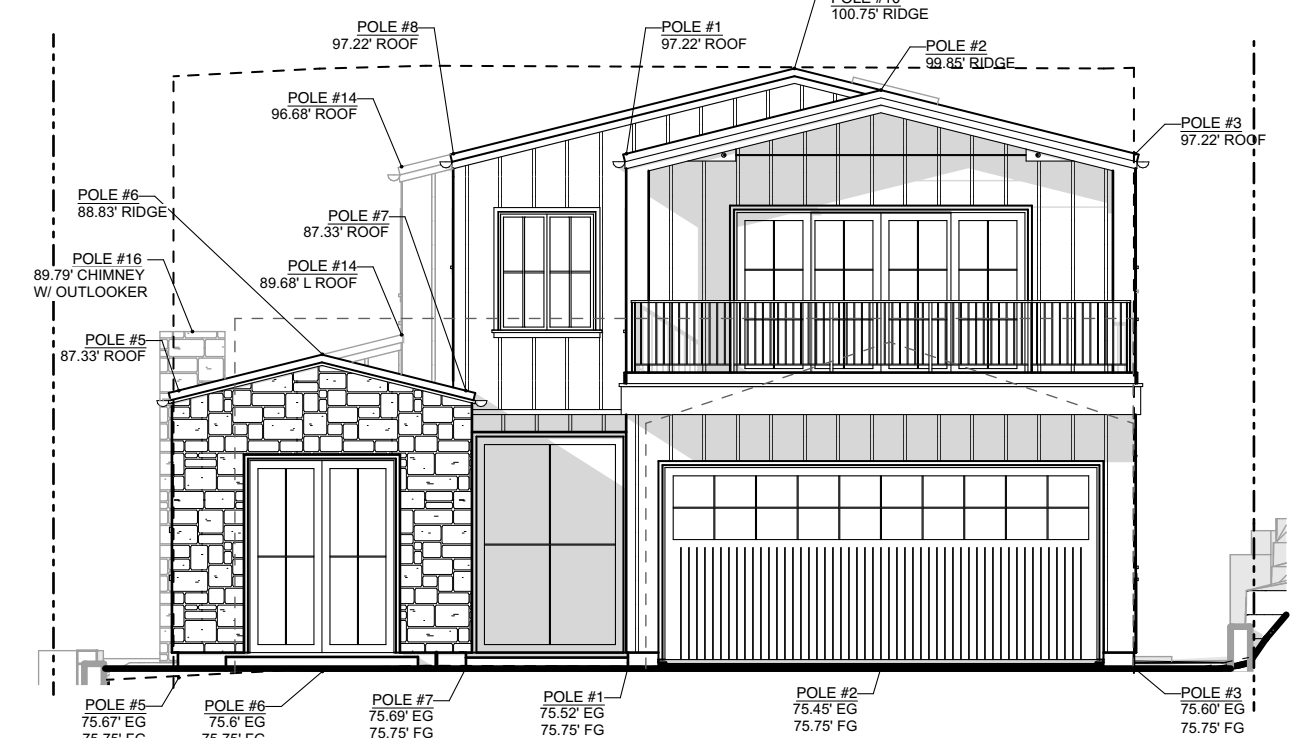
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



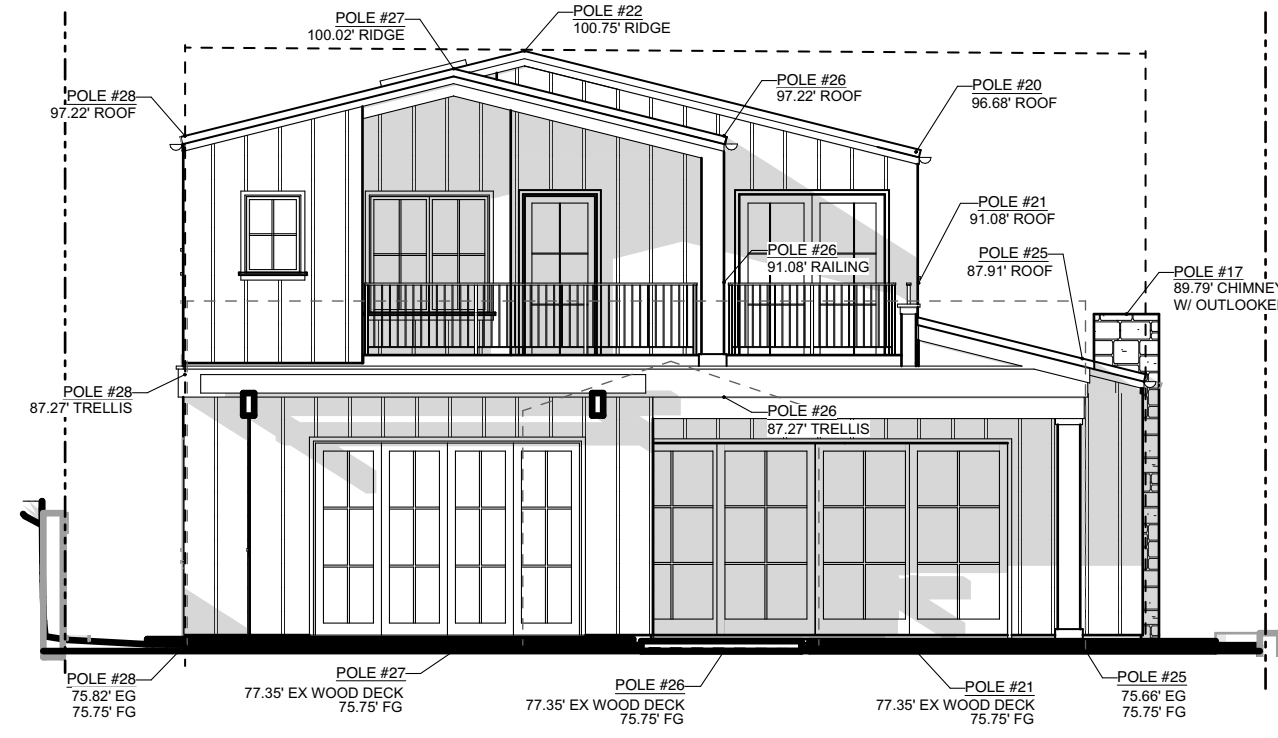
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



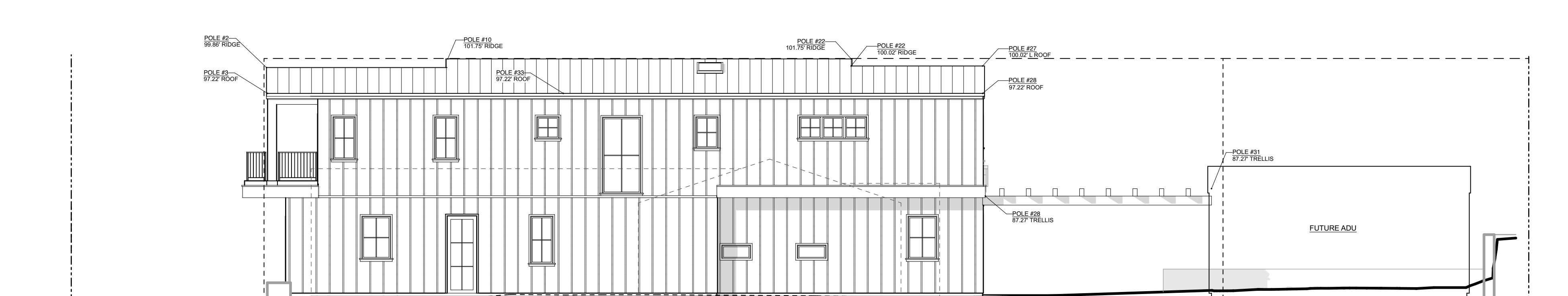
**EAST ELEVATION - STORY POLE**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - STORY POLE**  
SCALE: 1/8" = 1'-0"

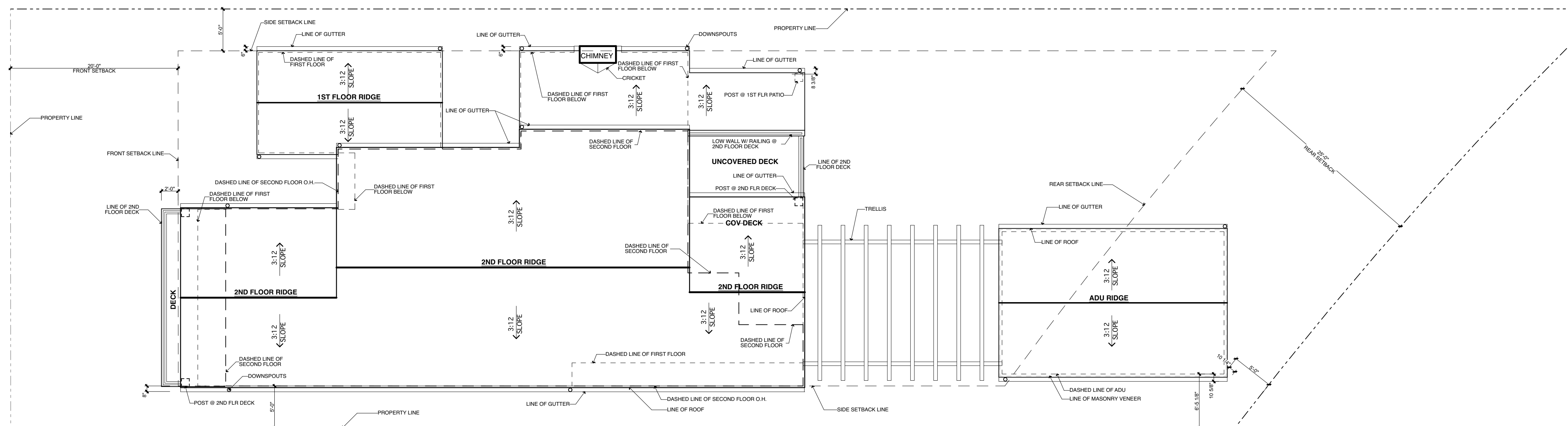


**SOUTH ELEVATION - STORY POLE**  
SCALE: 1/8" = 1'-0"

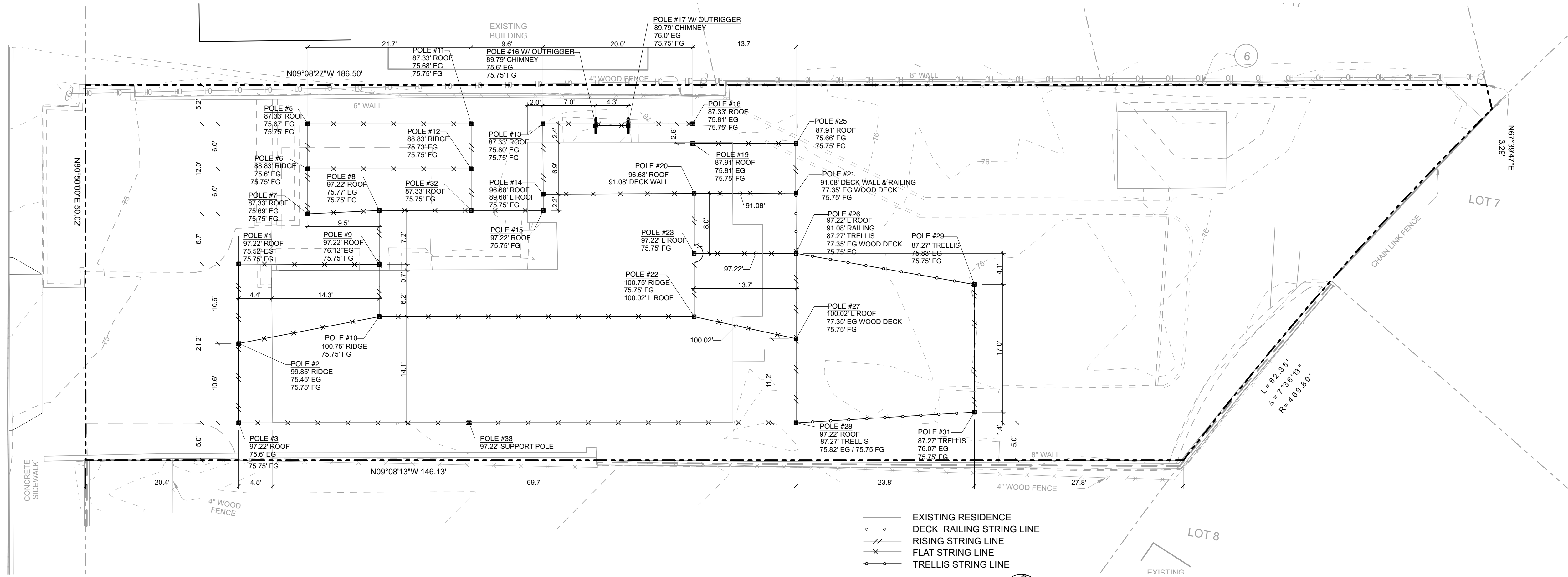


**WEST ELEVATION - STORY POLE**  
SCALE: 1/8" = 1'-0"





**Roof Plan**  
SCALE: 1/8" = 1'-0"



**STORY POLE PLAN**  
SCALE: 1/8" = 1'-0"

- EXISTING RESIDENCE
- DECK RAILING STRING LINE
- RISING STRING LINE
- FLAT STRING LINE
- TRELLIS STRING LINE

# PRELIMINARY GRADING PLAN

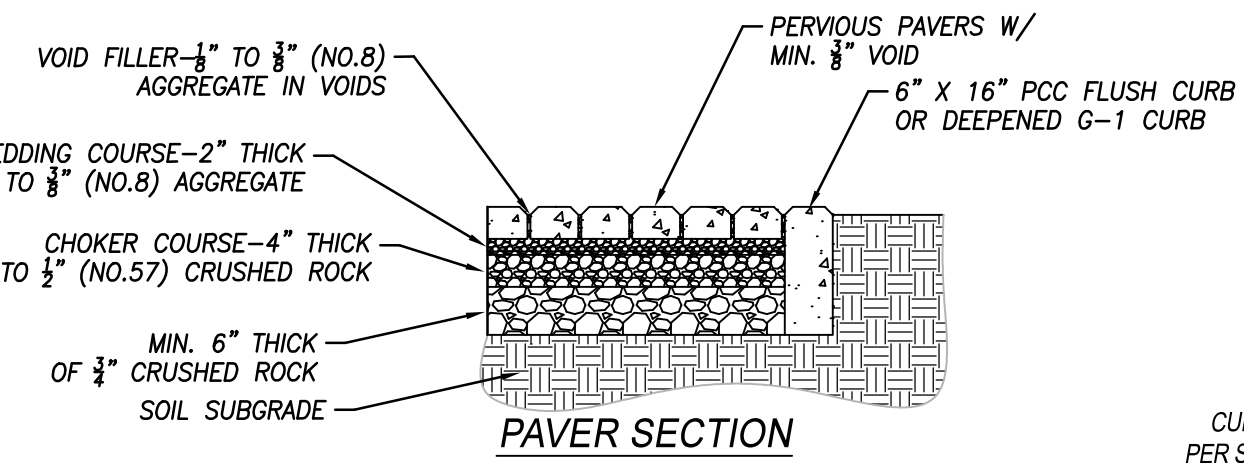
## GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
UNDERGROUND S.A. (800)-227-2600
- A SOILS REPORT SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 1:2 FILL 1:2  
CUT: 30 CY FILL: 80 CY IMPORT: 50 CY  
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)  
\*\* THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBGR-216 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN". THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

## EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:  
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.  
SEED SPECIES:  
ATRIPLEX GLAUCA  
PLANTAGO INSULARIS  
ENCELIS FARNOSA  
LOTUS SCOPARIUS  
EXCHSCHOLTZIA CALIF.

LBS/ACRE	% PURITY/ACRE	SEED SPECIES
20	70% PLUS	ATRIPLEX GLAUCA
50		PLANTAGO INSULARIS
8		ENCELIS FARNOSA
6	SCARIFIED	LOTUS SCOPARIUS
7	50% PLUS	EXCHSCHOLTZIA CALIF.
91		



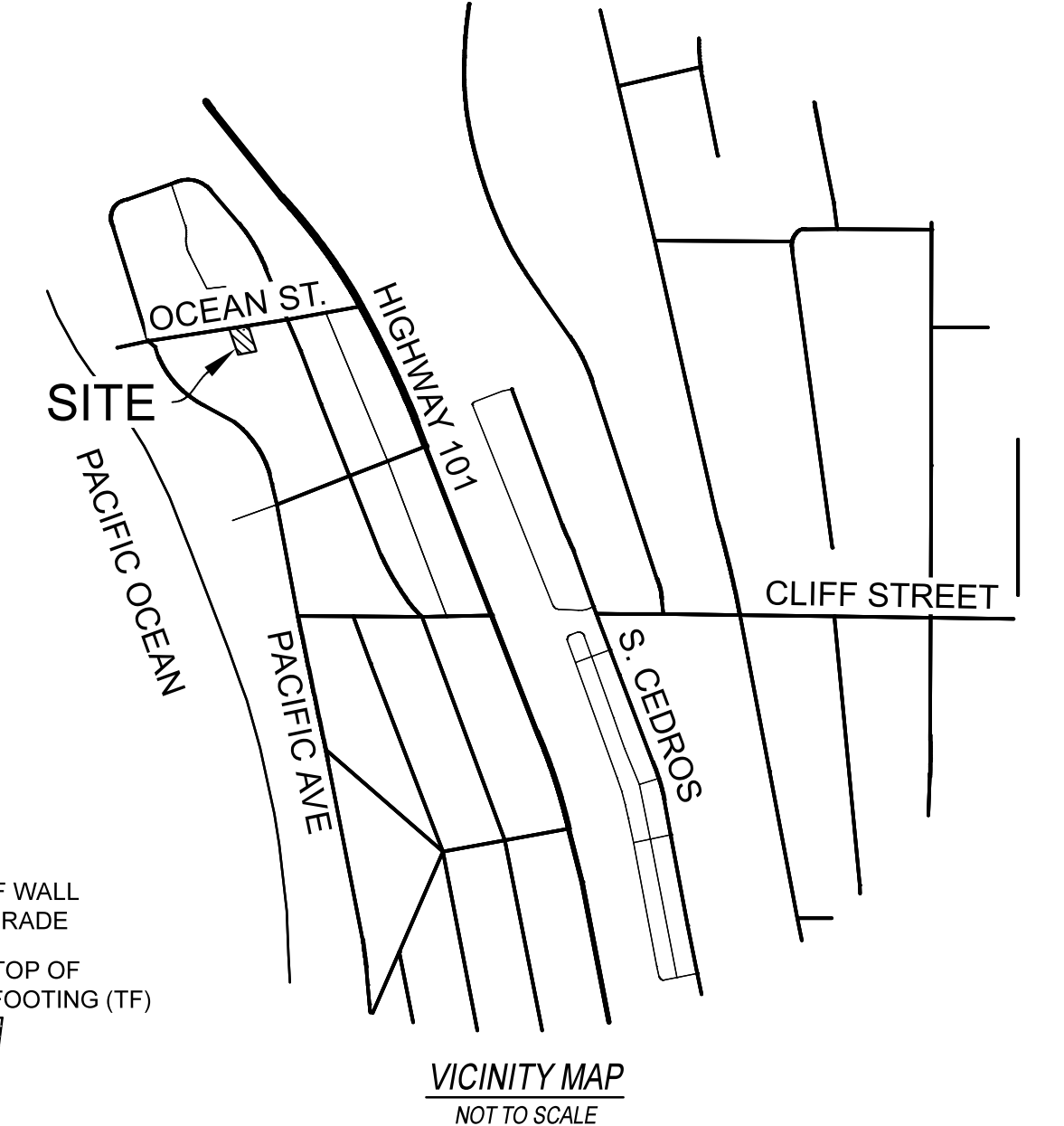
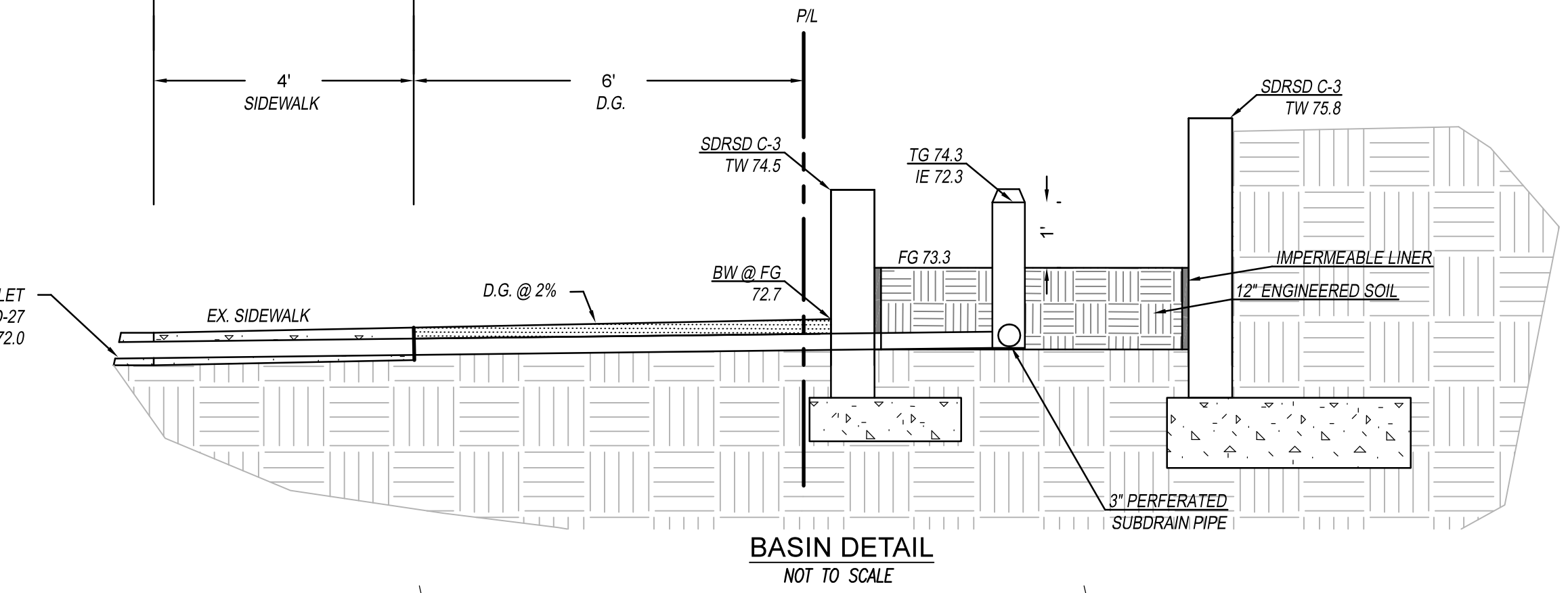
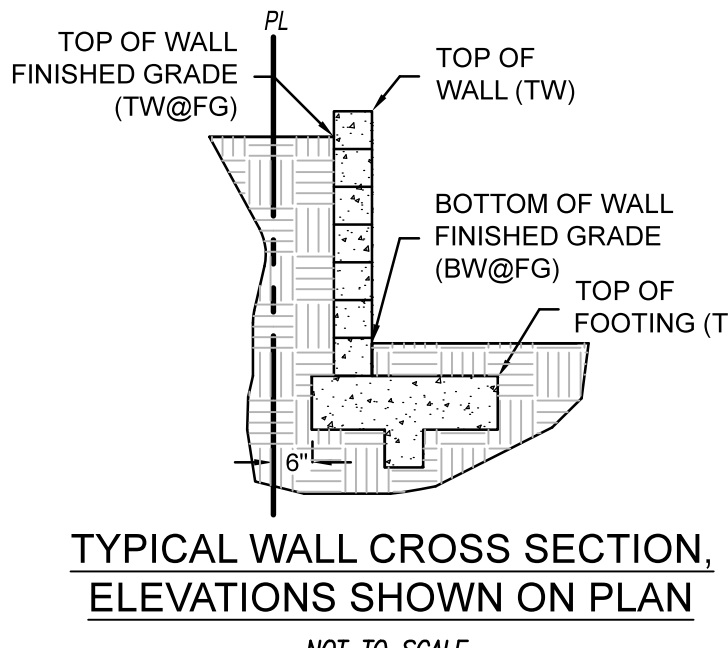
NOTE:  
-ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)  
-THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED  
-EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE  
-NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED  
-SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED  
\*\*CONSTRUCTION NOTE:  
-PAVERS TO BE COVERED AND PROTECTED DURING CONSTRUCTION

## ABBREVIATIONS

CENTER LINE	CL
PROPERTY LINE	PL
INVERT ELEVATION	IE
FINISHED FLOOR	FF
FINISHED GRADE	FG
FINISHED SURFACE	FS
FLOW LINE	FL
PROPOSED ELEVATION XXX.X	(XXX.X)
EXISTING ELEVATION	EX
TOP OF STEP	TS
BOTTOM OF STEP	BS
PLANTER AREA	P.A.
TOP OF CURB	TC
TOP OF GRATE	TG
TOP OF WALL	TW
FRONT YARD SETBACK	FYSB
REAR YARD SETBACK	RYSB
SIDE YARD SETBACK	SYSB
TOP OF WALL AT FINISHED GRADE	TW@FG
BOTTOM OF WALL AT FINISHED GRADE	BW@FG
ROOF DOWN SPOUT	DS

**EXISTING CONDITION**  
IMPERVIOUS: 4,000 SF  
PERVIOUS: 4,360 SF

**PROPOSED CONDITION**  
IMPERVIOUS: 4,342 SF  
HARDSCAPE: 1,683 SF  
BUILDING: 2,208 SF  
ADU: 491  
4,018 SF  
PERVIOUS: 1,419 SF  
LANDSCAPE: 1,889 SF  
POOL: 645 SF  
BMP: 65 SF



## LEGAL DESCRIPTION

LOT 14, IN BLOCK 3 OF SOLANA BEACH VISTA, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL MAP THEREOF NO. 2143, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON DECEMBER 17, 1928.

A.P.N.: 263-042-05  
SITE ADDRESS: 211 OCEAN STREET, SOLANA BEACH, CA 92075  
OWNER/PERMITTEE: FORD AND CASSIE BLAKELY, 211 OCEAN STREET, SOLANA BEACH, CA 92075  
TOPOGRAPHIC SURVEY: COASTAL LAND SOLUTIONS (760)230-6025

## WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

## STANDARD SPECIFICATIONS

- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

## STANDARD DRAWINGS

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

## LEGEND

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED SETBACKS	---
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
PROPOSED MASONRY RETAINING WALL PER PLAN	---
EXISTING MASONRY RETAINING WALL	---
PROPOSED DECOMPOSED GRANITE (D.G.)	---
PROPOSED 4-INCH STORM DRAIN	---
PROPOSED ROOF DOWN SPOUT	---

## OWNER'S CERTIFICATE

I, \_\_\_\_\_ AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.  
IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.  
I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

FORD AND CASSIE BLAKELY  
211 OCEAN STREET  
SOLANA BEACH, CA 92075  
DATE: \_\_\_\_\_

## DECLARATION OF RESPONSIBLE CHARGE

I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

BY: BRIAN ARDOLINO  
R.C.E. No. 71651  
Exp. 12/31/2021  
PASCO LARET SUTIER & ASSOCIATES  
CIVIL ENGINEER  
STATE OF CALIFORNIA

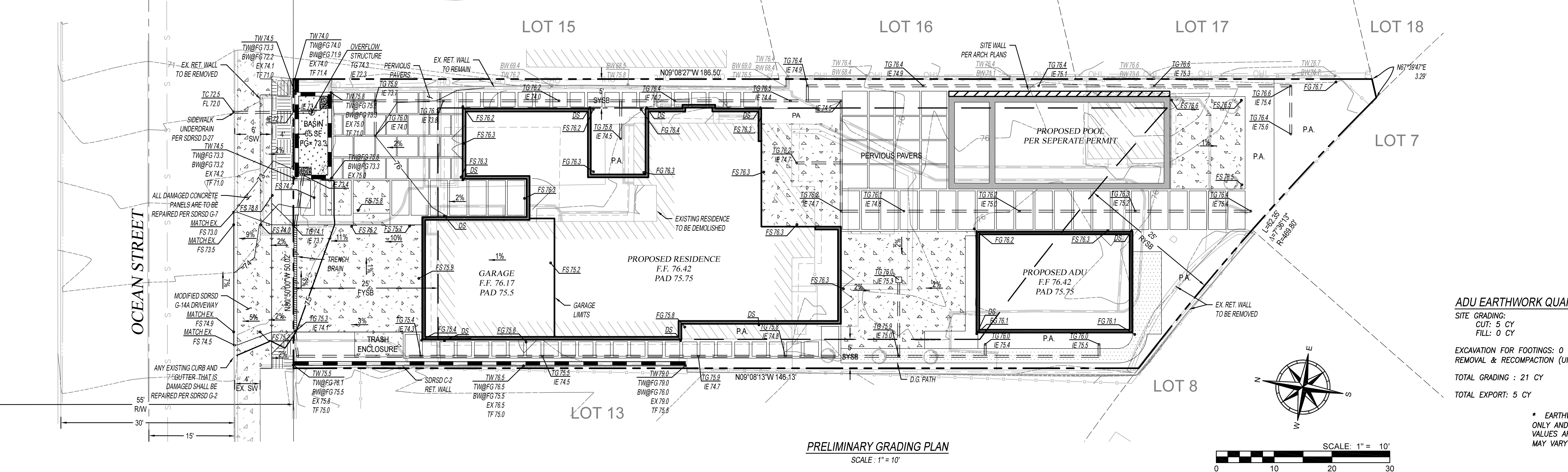
## ADU EARTHWORK QUANTITIES:

SITE GRADING:  
CUT: 5 CY  
FILL: 0 CY  
EXCAVATION FOR FOOTINGS: 0 CY  
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 16 CY  
TOTAL GRADING: 21 CY  
TOTAL EXPORT: 5 CY

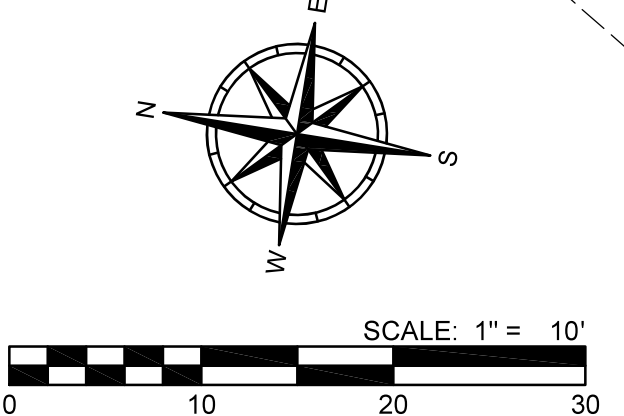
## EARTHWORK QUANTITIES:

SITE GRADING (OUTSIDE OF STRUCTURE):  
CUT: 30 CY  
FILL: 80 CY  
EXCAVATION FOR FOOTINGS: 5 CY  
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 100 CY  
TOTAL GRADING (CUT AND FILL OUTSIDE & BELOW STRUCTURE): 215 CY  
TOTAL IMPORT: 50 CY

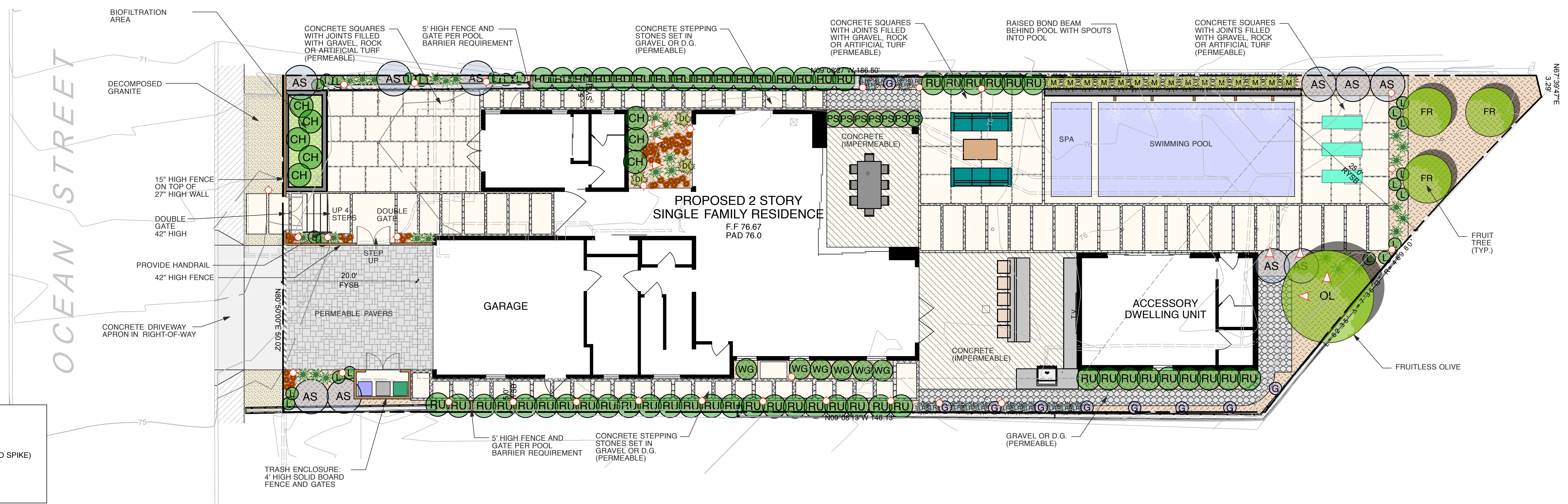
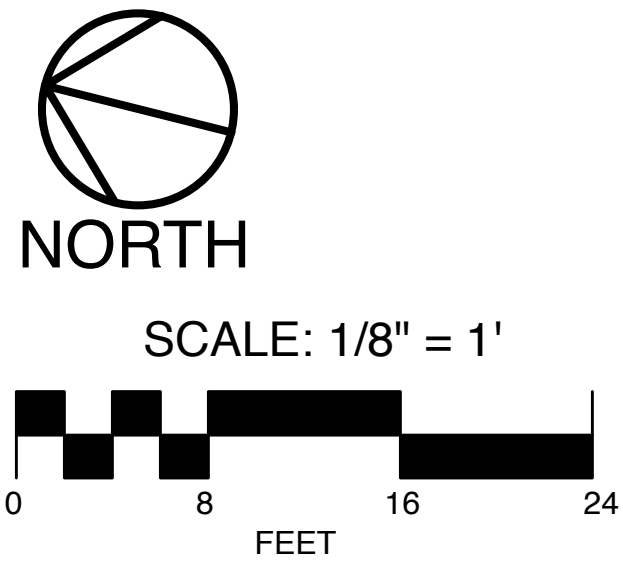
\* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.



PRELIMINARY GRADING PLAN  
SCALE: 1" = 10'



ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
SEL Drawn By: <i>Brian Ardolino</i> Name: BRIAN ARDOLINO R.C.E. 71651 Exp: 12/31/21				By: _____ Review Engineer Date: _____	By: _____ City Engineer Date: _____	DESCRIPTION: "ENC-43" PER SOLANA BEACH SURVEY CONTROL LOCATION: 0.2 MILE NORTH OF SOLANA VISTA DR. ON THE E. SIDE OF NB HWY101, 617 WEST OF CARDIFF BY THE SEA SIGN. RECORD FROM: ROS. NO. 18971 ELEV: 34.670'	PRELIMINARY GRADING PLAN FOR: <b>211 OCEAN STREET</b>	DRP 21-004 SDP 21-004 SHEET 1 OF 1



- LOW VOLTAGE LIGHTING**
- SPOTLIGHT UPLIGHTING TREE  
FX LUMINAIRE VS UPLIGHT - 6 LEDS (WITH GROUND SPIKE)  
10 WATT - NATURAL BRASS/COPPER FINISH
  - BRASS WALKWAY DOWNLIGHT - FX LUMINAIRE HC  
- NATURAL COPPER - 2 WATT LED

**PLANT LEGEND**

SYMBOL	DESCRIPTION	MATURE HEIGHT	WATER USE	MIN. SIZE	QUANTITY
AS	ACCA (FEIJOA) SELLOWIANA - PINEAPPLE GUAVA	18'-25'	LOW	5 GAL.	10
●	AEONUM 'SUNBURST' - SUNBURST AEONUM	2'	LOW	1 GAL.	44
★	ALOE STRIATA - GHOST ALOE	2'	LOW	5 GAL.	29
CH	CHONDROPETALUM TECTORUM - CAPE RUSH	3'	LOW	5 GAL.	8
★	DIANELLA 'LITTLE REV'	2'	LOW	1 GAL.	17
★	DIETES BICOLOR - FORTNIGHT LILY	2'	LOW	5 GAL.	3
L	LIMONIUM PEREZII - STATICE	2'	LOW	1 GAL.	23
★	MUHLENBERGIA RIGENS - DEER GRASS	3'	LOW	5 GAL.	15
RU	RHAPHIOLEPIS UMBELLATA 'MINOR' - DWARF YEDDO	4'	LOW	5 GAL.	54
WG	WESTRINGIA 'GRAY BOX' - COAST ROSEMARY	2'-3'	LOW	5 GAL.	6
⊙	BOUGAINVILLEA BARBARA KARST' ESPALLIER ONTO WALL/FENCE	30'	LOW	5 GAL.	9
OL	OLEA 'SWANN HILL' - FRUITLESS OLIVE	20'-35'	LOW	36" BOX MULTI	1
FR	FRUIT TREE - DWARF MEYER LEMON BEARRS LIME NAVEL ORANGE	8'-10'	SLA	15 GAL.	3
PS	PITTIOSPORUM 'SILVER SHEEN' KOHUHU	12'-15'	MOD	15 GAL.	7
■	MULCHED SHRUB AREA BARK OR ROCK MULCH - 3" DEPTH			1 GAL.	16" O.C.
■	BIO-BASIN: CAREX TUMILICOLA - BERKELEY SEDGE WITH REINFORCED RICE STRAW MATTING ON SIDES PLANTING AND REINFORCED STRAW MATTING SHALL BE INSTALLED ON ALL SIDE SLOPES OF THE BIO-BASIN.				



**ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ET_0)(0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$$

- ETWU = Estimated total water use per year (gallons per year)
- ET<sub>0</sub> = Evapotranspiration rate (inches per year)
- PF = Plant Factor from WUCOLS (see Definitions)
- HA = Hydrozone Area (square feet); Define hydro-zones by water use: very low, low, moderate and high
- SLA = Special Landscape Area (square feet); Edible plants, irrigated with recycled water, & turf used for active play
- 0.62 = Conversion Factor (to gallons per square foot)
- IE = Irrigation Efficiency

**CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)				SLA
	1	2	3	4	
Evapotranspiration Rate (Eto) See "A" below	Use 41 (west of I-5) / 47 (east of I-5)				
Conversion Factor - .62	0.62				
(Line 1 x Line 2)	25.42 (west of I-5) / 29.14 (east of I-5)				
Plant Factor (PF) See "B" below	4	0.3	0.6	1.0	
Hydrozone Area (HA) - in square feet	5	1,361	35	492	264
(Line 4 x Line 5)	6	408.3	21	492	
Irrigation Efficiency (IE) See "C" below	7	0.81	0.81	1.00	
(Line 6 x Line 7)	8	504	26	492	
TOTAL of all Line 8 boxes + SLA	9	1,286			
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below	10	32,690 gallons per year			

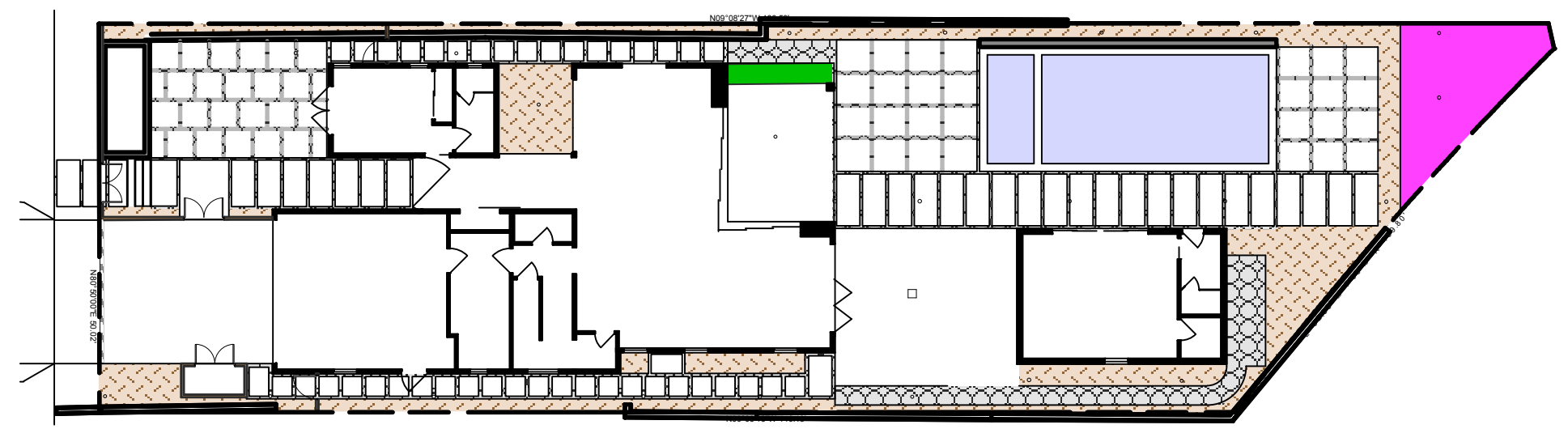
**MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:**

$$\frac{25.42}{25.42 \text{ or } 29.14} \left[ (ETAF \times \frac{2,152}{\text{Total Landscape Area}}) + (1 - ETAF \times \frac{264}{\text{Total SLA}}) \right] = \text{MAWA}$$

Evapotranspiration adjustment factor (ETAF) use: .55 residential, .45 non-residential

**33,107 gallons**

**HYDROZONES**



SYMBOL	ZONE	VEG. TYPE	WATER USE	PLANT FACTOR	AREA SQ. FT.	IRRIGATION TYPE	IRRIGN. EFFIC.
■	#1	TREES/SHRUBS	LOW	0.3	1,361	DRIP	0.81
■	#2	SHRUBS	MOD	0.6	35	DRIP	0.81
■	#3	POOL	WATER FEATURE	1.0	492	FILLER PIPE	1.00
■	#4	CITRUS	SLA	SLA	264	DRIP	SLA
TOTAL:					2,152		

**LANDSCAPE ARCHITECT'S CERTIFICATION**

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

*George Mercer*  
 GEORGE MERCER RLA #4055  
 10/20/21  
 DATE

**GMA**  
 GEORGE MERCER ASSOCIATES INC.  
 LANDSCAPE ARCHITECTURE  
 990 SEACAST DRIVE, STE. 20  
 IMPERIAL BEACH, CA 91932  
 (619) 882-2499



COASTAL COMMISSION PERMIT NO. X-XX-XXXX-X

LANDSCAPE ARCHITECT OF WORK		CITY OF SOLANA BEACH		DRAWING NO.	
GM	By <i>George Mercer</i> Date: 10/20/21	LANDSCAPE PLAN FOR: <b>BLAKELY RESIDENCE</b>		SBGR-XXXL	
Drawn By	Name: GEORGE MERCER License # 4055 Exp 4/30/23	211 OCEAN STREET		SHEET 1 OF 1	
APN: 263-191-09-00					

City of Solana Beach  
City Council Meeting  
Attn: Katie Benson  
Re: 211 Ocean Street

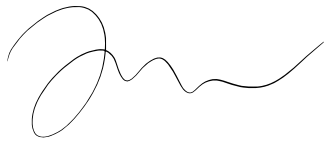
February 1, 2022

Dear Katie,

I request the City Council waive the SDP requirement for the changes we proposed outside the building envelope.

As discussed from the last City Council Meeting, the change was made to the back-west corner of our proposed building envelope. We made the change based on feedback from the last DRB meeting and meeting the objectives of the neighbors. The only neighbor this change impacts is on the west elevation of our property (the McBriars). We reviewed the proposed change with Erin and Mat McBriars (223 Ocean St). The McBriars are very supportive of this change as it offers them additional privacy (removing a deck and replacing it with a closet). To confirm the McBriar's support, they have provided a written document to City's Staff (Katie Benson) showing their positive support for this small update.

Feel free to contact me if you have any questions,



Ford Blakely  
211 Ocean Street  
Solana Beach, CA  
92075



# CITY OF SOLANA BEACH

635 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-1782

## STORY POLE HEIGHT CERTIFICATION

Date: ~~JAN. 7, 2022~~ <sup>JAN 31, 2022 REVISED</sup> ~~CBC~~

Assessor's Parcel No.: 263-042-05

Site Address: 211 OCEAN ST

Owner's Name: BLAKELY

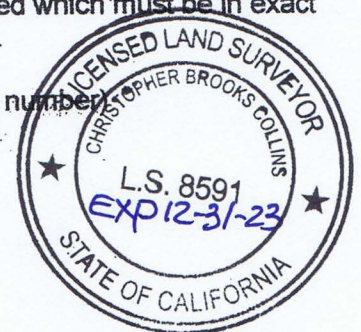
This is to certify that on ~~JANUARY 7, 2022~~ <sup>JANUARY 31, 2022 REVISED</sup> ~~CBC~~ the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

- Highest point of the story poles: ✓ 100.75' (M.S.L.)\* # 22 ON ~~WOOD DECK~~ <sup>ROOF</sup> ~~CBC~~
- Pre-existing grade: ✓ 75.8'+/- (M.S.L.)\*
- Finished grade elevation: ✓ 75.75 (M.S.L.)\*
- Finished floor elevation:        (M.S.L.)\*
- TOTAL MAXIMUM HEIGHT:** ✓ 25.00'

**PLEASE NOTE: The story poles must show and include the total height must include roofing materials.** At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on Story Pole Height Certification.

For additional information, please contact me at 760-224-7653 (phone number)

  
Licensed Land Surveyor



Seal of Registration:

\*Mean Sea Level (MSL) — all measurements must utilize an established benchmark that will not change over the course of the project. NO CHANGE PER CERT. DATED 06/17/21

# C-Story Poles, Inc.

Chris Collins

NAME: BLAKELY

SITE: 211 OCEAN ST

DATE 01-07-22 WD. 21-1571R ACC ISM

(REV 01-31-22) ✓ 21-1571F ✓

B.S. PT.	T. PT.	ES. PT.	POINT ELEV.	PLAN ELEV.	C/F LENGTH	DESCRIPTION
		19	87 <sup>39</sup>	87 <sup>91</sup>	F-0 <sup>52</sup>	ROOF
(120)	*	20	77 <sup>35</sup>	96 <sup>68</sup>	F-19 <sup>33</sup>	UPR WOOD DK
		-	-	89 <sup>66</sup>	F-12 <sup>31</sup>	LWR -
(122)		22	77 <sup>35</sup>	100 <sup>75</sup>	F-23 <sup>40</sup>	WOOD DK
		25	75 <sup>66</sup>	87 <sup>91</sup>	F-12 <sup>25</sup>	T
(126)		26	77 <sup>35</sup>	87 <sup>27</sup>	F-9 <sup>92</sup>	WOOD DK
	*	28	75 <sup>82</sup>	97 <sup>22</sup>	F-21 <sup>40</sup>	UPR T
		-	-	87 <sup>27</sup>	F-11 <sup>45</sup>	LWR -

REVISION: JAN. 31, 2022 ✓

	✓*	20	87 <sup>03</sup>	96 <sup>68</sup>	F-9 <sup>65</sup>	UPR ROOF
		-	-	91 <sup>08</sup>	F-4 <sup>05</sup>	LWR -
	✓	21	77 <sup>35</sup>	91 <sup>08</sup>	F-13 <sup>73</sup>	WD DK
	✓*	22	87 <sup>11</sup>	100 <sup>75</sup>	F-13 <sup>64</sup>	UPR ROOF
		-	-	100 <sup>02</sup>	F-12 <sup>91</sup>	LWR -
	✓	23	87 <sup>13</sup>	97 <sup>22</sup>	F-10 <sup>09</sup>	ROOF
	✓**	26	77 <sup>35</sup>	97 <sup>22</sup>	F-19 <sup>87</sup>	UPR WD DK
		-	-	91 <sup>08</sup>	F-13 <sup>73</sup>	MID -
		-	-	87 <sup>27</sup>	F-9 <sup>92</sup>	LWR -
	✓	27	77 <sup>35</sup>	100 <sup>02</sup>	F-22 <sup>67</sup>	WD DK



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Consideration of Resolution No. 2022-006 Approving Modifications to the Development Review Permit and Structure Development Permit Waiver for Solana Highlands Project (17-14-29) Approved in 2018, a 260-Unit Residential Community Including Affordable Senior Housing at 661 - 781 South Nardo Avenue and 821 Stevens Avenue (Case # DRP MOD 20-002, Applicant: H.G. Fenton)**

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## **BACKGROUND:**

On December 17, 2018, the Solana Beach City Council (Council) certified the Final Environmental Impact Report (FEIR) and approved a Development Review Permit (DRP), Structure Development Permit (SDP), and Vesting Tentative Parcel Map (VTPM) to construct the Solana Highlands Revitalization Project (the "Project") under Resolutions 2018-131, and 2018-132, respectively (see Attachment 1). The Council approvals also included an Affordable Housing Density Bonus and Waiver of Development Standards under State density bonus law, and a Fee Waiver. The approved Project is a residential development consisting of 260 residential units, including 32 senior affordable units, comprised of studios and one and two-bedroom units, 10,287 square feet of clubhouse/leasing office space, 261,266 square feet of landscaped area, 65,434 square feet of open space, 525 on-site parking spaces including 233 garage spaces, 22 covered parking spaces and 270 open or guest parking spaces. The site is located within the City's designated High Density Residential (HR) Zone at 661-781 South Nardo Avenue and 821 Stevens Avenue.

The existing project site is bounded by South Nardo Avenue on the north, Stevens/Valley Avenue to the east, Saint James Church and Academy to the west and the Turfwood residential condominium community to the south.

The site is irregularly shaped and currently varies from an elevation of approximately 60 to 150 feet above Mean Sea Level (MSL), sloping generally upward in elevation from the southeast area of the site to northwest. The project site is currently developed with 194

CITY COUNCIL ACTION:

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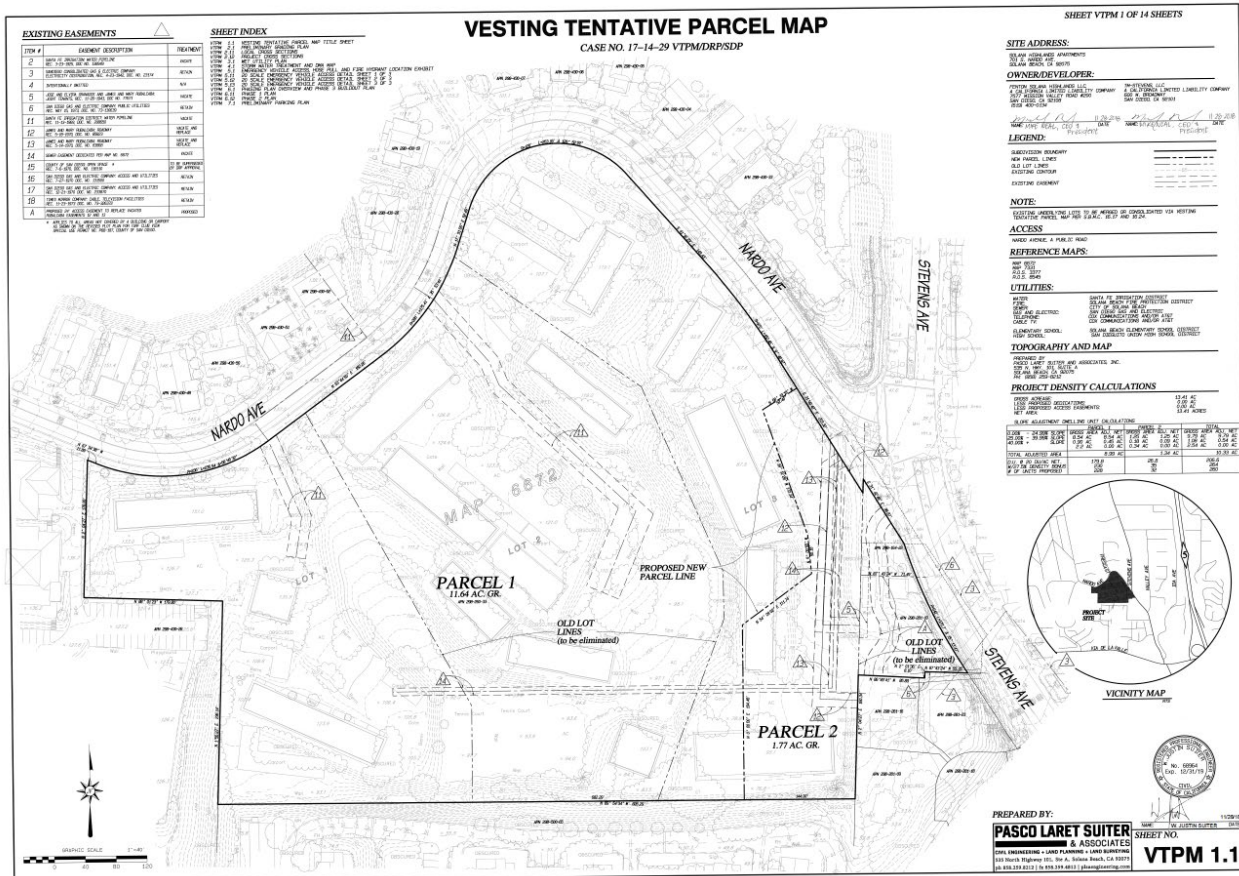
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multi-family residential units and associated amenities within the Solana Highlands community and four additional multi-family units located to the east.

The Solana Highlands apartment complex was constructed in the early 1970s. It is comprised of 16 buildings, carpools and surface parking, various hardscape and landscape areas (including driveways and open green space areas), a coin-operated laundry room, tennis courts, a clubhouse with administrative offices, a fitness room, a business center, a swimming pool and three additional adjacent structures providing four multi-family units. The adjacent multi-family homes were constructed in the late 1940s and mid-1970s.

The proposed Project involves demolition of all existing structures on site and construction of a new rental apartment community consisting of 228 new multi-family residential units, and 32 affordable senior housing units, for a total of 260 new units in 24 buildings on-site. The Project proposes a net increase of 62 residential units consisting of 32 affordable senior units and 28 market rate units.

The existing project site is 13.4 acres (583,704 gross square feet) and is composed of three parcels (12.99 acres, 0.31 acres and 0.11 acres) and will ultimately be consolidated into two parcels as follows: Parcel 1 will contain 228 market rate rental units on an 11.64-acre site and Parcel 2 will contain the 32 affordable senior units and will be a total of 1.77 acres in size, as shown below:





The height of the Project was certified on June 18, 2018 as follows:

- The highest point (elevation) of the Project is 149.5 above MSL, measured at Story Pole #39, with a building height of 25 feet at that location.
- The tallest/maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location.

An earlier version of the Project was heard before the City's View Assessment Commission (VAC) in September 2015. Following substantial revisions to the overall site plan following the 2015 VAC process, a new site plan was prepared and a new story pole plan was certified. The new Project site plan was evaluated by the VAC in October 2018 and November 2018. During the October 2018 and November 2018 VAC proceedings, all view claims were denied by the VAC due to the changes made to the site plan as reflected in the final Project design ultimately approved by the City Council on December 17, 2018.

Grading estimates are 187,000 cubic yards of cut, 27,000 cubic yards of fill and 160,000 cubic yards to be exported off-site. The Project was conditioned such that the Applicant must make every effort to participate in the City's Sand Compatibility and Opportunistic Use Program (SCOUP) if the excavated material is suitable for beach replenishment up to a maximum of 150,000 cubic yards per the City's SCOUP permits.



The Applicant was required to obtain a DRP as the Project met the following DRP thresholds: 1) new construction totaling 30,000 gross square feet or more, 2) any residential project of 20 or more units, 3) any new residential structure or structural addition in the HR zones which exceeds 25 feet in height, or 4) any project that includes grading in excess of 100 cubic yards. A SDP was required as elements of the Project exceed 16 feet above existing/proposed grade.

Through an extensive, multi-year community outreach process, the Applicant made significant design changes to their original proposal based on community feedback. The nature of the Applicant's changes addressed private view issues and community compatibility concerns. The approved site plan is shown above.

The Project was reviewed through a Draft and Final Environmental Impact Report (EIR) for compliance with the requirements of the California Environmental Quality Act (CEQA). The Final EIR was certified and the City Council approved a Development Review Permit (DRP), Structure Development Permit (SDP), Vesting Tentative Parcel Map (VTPM) and other related entitlements on December 17, 2018.

Following City Council approval, the Applicant submitted an application to the California Coastal Commission (CCC) for a Coastal Development Permit (CDP). Conditional approval of CDP 06-19-0109 was issued by the CCC in May 2019. Following CCC approval, the Applicant initiated preparation of construction and engineering plans and submitted applications for ministerial building permits to the City in December 2019 for certain building, grading and public improvement elements of the Project.

City Staff and the Applicant coordinated on the permit processing to discuss and review comments on the project plans intermittently throughout 2020. Processing efforts were somewhat slowed and/or hampered by COVID-19-related restrictions and protocols and related Staff work modifications.

During 2020 and continuing until the present time, input from community stakeholders was obtained by the Applicant on several key topics including landscape concepts, the traffic calming plan and Applicant-initiated revisions to Buildings 13, 19 (Clubhouse) and 24. Members of the community have also held their own meetings to discuss various project elements and community engagement on the Project remains ongoing.

The Applicant is also continuing efforts to support their future anticipated participation in the City's SCoup beach sand replenishment program during the initial construction phases (estimated to be 2022-2023). City Staff have shared their experiences on the Solana 101 SCoup project that placed sand on the City's beaches in the Spring of 2021 with the goal of refining future SCoup project logistics and activities.

In Spring 2021, the Applicant resubmitted a formal application to modify discrete elements of the previously approved Project to allow design changes to proposed Buildings 13, 19, and 24. At that time, City Staff and the Applicant also began to finalize the Project's Landscape Plan and traffic calming plan and exterior building materials ensuring that each remained consistent with the goal and intent of City Council-imposed Conditions of Approval contained in Resolution 2018-132 (See Attachment 1).

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request for DRP Modification 20-002 (see Attachment 2) including changes to conditions of approval and SDP waiver and adopt Resolution 2022-006 (Attachment 3).

### **DISCUSSION:**

On April 6, 2020, the Applicant submitted an initial request to (1) approve minor modifications to three buildings of the previously approved project and (2) modify certain City Council Conditions of Approval. Due to COVID-19-related delays, application processing slowed until April 2021 when the Applicant resubmitted an updated application with supporting materials (See Attachment 2) and permit application processing was once again resumed. Below is a summary of the scope of the Applicant's DRP Modification and SDP Waiver Request (DRP/SDP MOD 20-002). Supporting documentation for each project element listed below is included in Attachment 2 to this Staff Report which contains the Applicant prepared materials.

### **Summary and Overview of Applicant Requested Project Modifications**

- **Building 13.** The Applicant is requesting consideration of a modification of the City Council Condition of Approval X.a.i. requiring that Building 13 be lowered by six (6) inches from the revised story pole plan elevation submitted on October 2, 2018, limiting the maximum elevation of building 13 to 134.9 MSL. The Applicant requests the condition be revised to lower the maximum building height of the easterly 47 feet of Building 13 by an additional 3.0 feet (to 130.5 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18 and waiver of the story pole requirement for this modification.
- **Building 19.** The Applicant requests consideration of modifications to Building 19 (Clubhouse) on three sides (exterior façades) to allow second-floor balconies, open on three sides with a roof, on the front and rear of the building, and exterior stairs on the street-side of the building, which would project outside of the previously permitted horizontal envelope and waiver of the story pole requirement for these modifications.
- **Building 24.** The Applicant requests consideration of a modification to the site plan to shift Building 24 approximately 60' feet east and waiver of the story pole requirement for this modification.
- **Onsite Parking Management Plan.** The Applicant requests consideration of a modification to City Council Condition of Approval XVIII.c. requiring submittal of an onsite Parking Plan to the City Manager on or before March 1, 2020 to allow additional time to develop the parking plan. The Applicant requests they be allowed to submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023.

- **Offsite Traffic Calming Plan.** The Applicant requests consideration of refinements to the originally approved traffic calming conceptual plan reflecting an iterative review process that has benefitted from the input of the community as well as the input of the City Engineer and the Solana Beach Fire Department.
- **Final Landscape Plan.** The Applicant requests consideration of a modification of a portion of City Council Condition of Approval XXVI requiring separate City Council approval of a Final “Conceptual” Landscape Plan. The Applicant requests that a Final Landscape Plan be reviewed and approved by the City Council essentially skipping an interim approval of a Final “Conceptual” Landscape Plan. The Applicant also requests removal of the requirement for ten (10), 84-inch box trees be installed onsite.

Each of these requests is further detailed below.

**Requested Change to Building #13** – The Applicant is requesting amendment of Condition X.a.i. of 2018-132 that requires the reduction of the maximum height of Building 13 by six (6) inches from the revised story pole plan elevation submitted October 2, 2018 and limiting the maximum building elevation for building 13 to 134.9 MSL.

The Applicant requests the condition be revised to reduce the maximum building height of the easterly approximately 50 feet of Building 13 by an additional 3.0 feet and limiting it to 130.5 MSL, and to allow the remaining westerly approximately 144’ feet of Building 13 to be constructed to the originally proposed height of 139.9’ MSL as originally depicted and certified by the story pole plan certification dated June 14, 2018.

This proposed amendment to the massing of Building 13 addresses the portion of the building of most concern both to the City Council and to the claimant (Wilson) who filed a View Assessment Application in conjunction with the SDP in June 2018. This request would further reduce the required 6-inch height reduction an additional 3.0 feet while allowing the portion of the building not visible from claimant’s view to return to the pitched roof architecture that is more aesthetically compatible with the overall architecture of the remainder of the Project. The image below from Attachment 2 shows the proposed reduced building height of the easterly portion of Building 13 and the proposed height of the westerly portion of Building 13.



An email from Weber/Nunn, a former view claimant, was received requesting that the currently proposed changes be story poled and go through the Structure Development review process once again (Attachment 4). The Weber/Nunn claim was filed in 2015 and the applicant submitted a substantially revised site plan which was story poled and certified in June 2018. This 2015 view claimant had their view claim heard by the VAC in November 2018 where it was denied.

The proposed changes before City Council for Building 13 are entirely within the story poled building envelope for Building 13 originally installed and certified on June 14, 2018. This certification established the maximum height of Building 13 at 139.9' MSL during the SDP notification and review period that ran from June 19 through July 20, 2018. Following the receipt of claims for view assessment, the ridgeline was reduced by 4.5' to a height of 135.4' and a new ridgeline flag was set at that elevation and the SDP was amended

accordingly specifically to address the 2018 Wilson view claim. The View Assessment Commission (VAC) considered the revised proposed height of 135.4' at the VAC meeting on October 16, 2018, and recommended approval, however, the claimant requested further consideration of his claim by the City Council, resulting in the condition to reduce the height of Building 13 by 6 inches to 134.9 MSL. Additionally, Condition X.a.i. further stated that, "The manner in which this height reduction is achieved shall be at the discretion of the Applicant." Attachment 1 includes the approved DRP/SDP configuration, and a copy of the June 14, 2018 story pole certification. The Weber/Nunn view claim was subsequently denied by the VAC in November 2018.

Only the easterly quarter of Building 13 creates the view blockage that gave rise to the view claim addressed by Council. The westerly three-quarters of the building are within a viewshed that is largely blocked by an existing building and will be blocked in the future by proposed Buildings 2 and 12. The Applicant's request is in keeping the Council's direction to minimize the view impact on the view claimant, while allowing Building 13 to return to the original architectural articulation of the sloped roof.

The Applicant has discussed this proposed revision with the view claimant, John Wilson, owner of 684 S. Nardo, who has provided written support to proceed with this amendment request (see Attachment 2). The Applicant provided photographs from an informal story pole effort conducted by the Applicant at the request of Mr. Wilson. The request for a waiver of the SDP process is based on the support of Mr. Wilson. With the concurrence of the this view claimant, the Applicant is requesting a waiver of any additional story pole requirements in conjunction with this project modification as the building as revised remains wholly within the building envelope depicted in the certified June 2018 story pole plan. Any and all other view claimants have had their view assessment claims considered as part of the extensive 2018 View Assessment process, which depicted the entire building at 139.9' AMSL.

**Change to Building #19 (Clubhouse)** – The Applicant is requesting consideration of a modification of the DRP to implement an updated design vision for the revitalized Solana Highlands Clubhouse & Leasing Office. Over the past three years since project approval, the Applicant's design has evolved to capture the Solana Beach coastal lifestyle and incorporate additional amenities expected by today's community residents. The revised elevations for Building 19 are intended to:

- Create the feeling of an upscale "beach club" consistent with the Solana Beach lifestyle.
- Establish a welcoming environment at the community's entrance with lots of windows and a large front porch inviting residents and visitors in.
- Update the Coastal Craftsman architecture consistent with the remainder of the Project, while remaining timeless and lasting.
- Evoke a sense of place by introducing a barrel vaulted clerestory element inspired by the iconic Quonset huts on Solana Beach's Cedros Avenue design corridor.

- Increase opportunities for flow between indoor and outdoor spaces and take advantage of the great Solana Beach climate.
- Provide a multi-function space for interaction, work, reflection, and recreation – meeting today’s trends demanding more remote workplaces, fitness amenities, and accommodating package delivery.

These additional design considerations, which are included in Attachment 2, have resulted in a request by the Applicant to modify the front and rear façades of Building 19 to allow for second-floor balconies, open on three sides, with a roof, which would project outside of the previously permitted horizontal envelope. An exterior staircase has also been included on the side of the building that would also project horizontally beyond the story poled envelope. There are also some first floor building elements that are now proposed to project beyond the original building envelope, however, these are below 16 feet in height. The Applicant is requesting consideration of this request and a waiver of the story pole requirement for these modifications. The image below from Attachment 2 shows the projections of the second floor covered balconies and exterior staircase in light blue and proposed first floor roof projections that are less than 16 feet in height in gray. This is discussed in further detail later in this Staff Report under the View Assessment discussion.



The modified elevations are consistent with the Coastal Craftsman style architecture exhibited throughout the Project and are intended to create a strong statement at the project entrance emphasizing the coastal lifestyle and a high-quality architectural design. The building would have a wide front porch and large windows to invite residents and

guests to enjoy the building and provide a high degree of visual transparency and circulation between indoor and outdoor areas consistent with the Solana Beach lifestyle.

The revised building is largely consistent with the scale and massing of the previously approved Building 19, except for small sections of the building projecting beyond the story poled building envelope as shown in Attachment 2. The additional projecting areas on the front and rear of the building contain roofed second-floor balconies, open on three sides and a staircase has been included on the side of the building that projects horizontally beyond the 2018 story poled envelope. No element of the roof of Building 19 would exceed the height of the ridgeline that was depicted in the 2018 story poles. Each of the three additional projecting areas contains a roofed second-floor balcony or staircase, open on three sides, minimizing any massing impact of the additional projection.

The Clubhouse is located at the lower elevation easterly end of the site. The highest ridgeline of the building is well below both the existing and future natural landform as the site rises to the west. No view concerns were raised with the Clubhouse (Building 19) or any of the other nearby buildings during the City's View Assessment process. These horizontal projections do not create any additional view obstruction of any offsite vantage points as the newly proposed projecting elements are blocked by other onsite buildings. The revisions to the clubhouse (Building 19) are consistent with the architecture and design quality established by approved DRP. The area on the front, rear and side façades that project outside of the envelope depicted by the approved story poles do not create any additional new view impacts, and thus a Story Pole Waiver has been requested. The remainder of Building 19 is within the approved envelope and underneath the ridgeline created by the approved building/story poles. The Applicant is requesting a Story Pole Waiver due to the lack of view impairment created by the revised horizontal projecting elements.

**Change to Building #24** – The Applicant is requesting consideration of a modification of the DRP site plan to shift Building 24 approximately 60 feet to the east and waiver of the story pole requirement for this modification.

Building 24 is a three-story building with ground floor garages and upper floor carriage units above the garages located in the southwest quadrant of the site. Views of this building are blocked from offsite to the north by Building 13 and from the south by Building 15. No view claims were filed for Building 24 during the previous SDP process.

The Applicant is proposing to revise the location of Building 24, shifting it approximately 60 feet to the east, in order to create a shared pedestrian walkway between Buildings 14 and 24 intended to enhance the resident experience instead of having front doors immediately open onto parking spaces. This modification will also remove project massing away from the western site near the St. James Church and Academy located west of the site. Below is a depiction of both the original and proposed location of Building 24.

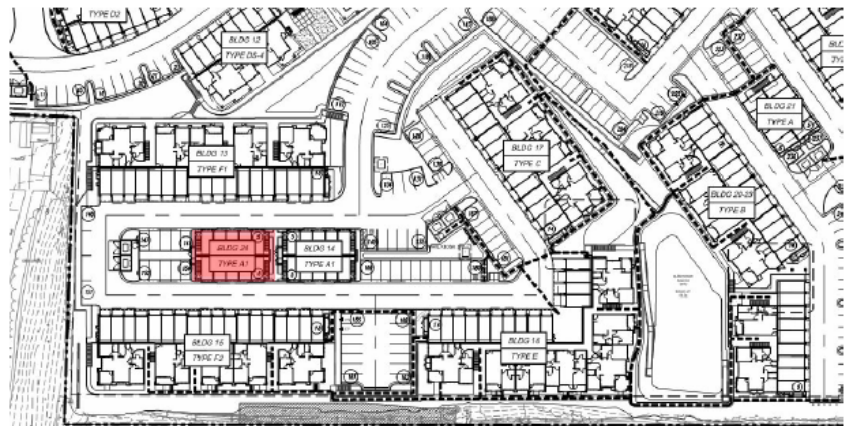


Attachment A.1 Building 24 Layout Changes

ORIGINALLY APPROVED SITE PLAN



CURRENT SITE PLAN



**SOLANA HIGHLANDS** SOLANA BEACH, CA

The proposed location of Building 24 remains blocked from view from the north by Building 13, from the south by Building 15, and from the west by Building 14. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. The eastward shift of Building 24 would not result in any new view impact as shown in Attachment 2.

The proposed location of Building 24 remains blocked from view from the north by Building 13, from the south by Building 15, and from the east by Building 14. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. The Applicant is requesting a waiver of any additional story pole requirements related to this proposed change.

**Traffic Calming Plan** – Resolution 2018-132 contained Council Conditions of Approval related to improvements of the existing roadway network adjacent to and in the general vicinity of the project site consistent with the City’s General Plan Circulation Element and implementing certain recommendations of the City’s Comprehensive Active Transportation Strategies (CATS) Program. Conditions in the original Resolution 2018-132 specifically required the Applicant to work with City Staff to develop Traffic Calming Plans as articulated in the subject resolution and to obtain City Council approval for the proposed traffic calming measures.

The Applicant and the Applicant's Engineering team met with City Staff on several occasions and discussed various elements of the traffic calming measures. Almost all measures were properly developed and designed consistent with the original requirements of the approved City Council Resolution. The following items deviate from the original requirements and are presented here for Council's consideration.

- Condition II-(1) of Resolution 2018-132 discussed requirements for improving the operation of the Turfwood driveway access to Valley Avenue. This requirement included timing modification of the traffic signal at the intersection of Valley Avenue and Stevens Avenue to provide a more efficient egress at Turfwood Lane vehicular access. After careful evaluation of the signal timing performed by the City's Traffic Engineer, it was determined that any timing adjustment and or signal phasing revisions would have unintended and negative consequences for all other signal phases at the Stevens/Valley intersection. City Staff recommends implementation of creative striping at the Turfwood driveway access to Valley Avenue coupled with the addition of an electronic speed limit sign on southbound Stevens just south of Nardo, and improving the sight visibility distance for vehicles entering Valley, would greatly enhance the operation of the Turfwood driveway. City Staff is also recommending that the Applicant monitor the operation of the Turfwood driveway for a period of one year after full implementation of all other measures and provide a report to the City Engineer. If additional enhancements are warranted, the Applicant and City Staff will make appropriate adjustments. Revisions to the signal timing is not recommended at this time.
- Condition II-(2) of Resolution 2018-132 discussed measures by which vehicular right turn movements from eastbound Nardo Avenue to southbound Stevens Avenue will be more controlled or slowed. This condition discussed modification to the design and timing of the traffic signal at the intersection of Nardo Avenue and Stevens Avenue. After discussion with the City's Traffic Engineer, it was concluded that any such design changes to the signal system would be less effective than implementation of certain physical constraints to lower the vehicular traffic speed for these right turn movements. With that in mind, City Staff worked with the Applicant's design team to redesign the existing curb-return at the southwest corner of this intersection to reduce the curb radius. This would require motorists to reduce their speed before making the right turn onto Stevens Avenue. As recommended by Staff, the Applicant's design team supplemented this design by adding continental crosswalks on Nardo Avenue and Stevens Avenue and upgrading of the existing non-standard curb ramps at the northwest corner of this intersection and across Stevens to the east side of the street. City Staff believes these measures will accomplish the City Council's desired intent to slow traffic making righthand turns from Nardo onto Stevens. This modification is included in the Applicant's Traffic Calming Plan included in Attachment 2.

- Condition II-(7) of Resolution 2018-132 Requires the Applicant to install a Speed Table and crosswalk (a long flat speed bump) on Nardo Avenue between east Solana Circle and Nardito Lane. The Applicant organized a community meeting where community members expressed interest in adding stop signs to South Nardo Avenue at Nardito Lane and at Solana Circle instead of the Speed Table. Should the City Council direct City Staff to proceed with the installation of stop signs along South Nardo Avenue, the City Engineer would direct the Applicant to eliminate the proposed speed table and instead provide two thermoplastic continental striping crosswalks; one crossing Nardo Avenue from the northwest corner of Solana Circle and Nardo and one crossing Solana Circle south to the southwest corner of Nardo and Solana Circle.
- Condition II-(8) of Resolution 2018-132 requires evaluation of the addition of one Speed Cushion on South Nardo Avenue between Fresca Street and Nardito Lane. This evaluation has been completed and it was determined that installation of a Speed Cushion in this roadway segment is not consistent with City Council Policy 25, due primarily to the steep grade of the existing road. The Applicant worked with City Staff to design an alternate traffic calming measure in the form of two “Chokers” (Physically narrowing the road width by extending the curbs and installing short median sections). This design is equally effective for calming traffic as compared to speed cushions. This modification is included in the Applicant’s proposed Traffic Calming Plan in Attachment 2.

**Parking Management Plan:** The Applicant is requesting to modify Condition of Approval XVIII.c of Resolution 2018-132 that requires submittal of a Parking Management Plan to the City Manager on or before March 1, 2020, to require submittal of the onsite Parking Management Plan to the City Manager on or before September 1, 2023. Council Resolution 2018-132 provided extensive conditions regarding the number and allocation of onsite parking spaces. No changes to the type, amount, or allocation of parking space use (i.e., reserved, guest, etc.) are proposed. This request is simply for a delay or extension of the timing for submittal of the Parking Management Plan only.

The Parking Management Plan will identify which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces. These allocations of onsite parking spaces will be prepared by the Applicant as part of the onsite operations plan and will be completed during the construction period and prior to the initiation of leasing efforts on the redeveloped site.

**Final Landscape Plan** – The Applicant is requesting to revise the portion of Condition of Approval XXVI of Resolution 2018-132 that requires separate City Council approval of a Final Conceptual Landscape Plan and instead allowing the Applicant to move forward to consideration of a Final Landscape Plan without requiring formal City Council consideration and approval of an interim conceptual version of the Final Landscape Plan.

Resolution 2018-132 required the submittal of a Final Conceptual Landscape Plan prior to March 1, 2019, a deadline that has been extended by concurrence of the City Manager to allow the Applicant to continue to work with members of the community regarding the

details of the final project Landscape Plan. The Council Resolution required submittal of the Final Landscape Plan prior to March 1, 2020.

The Applicant has now submitted a Final Landscape Plan that incorporates community input and satisfies the conditions of approval. The Applicant requests that the City Council accept the Final Landscape Plan and waive the condition requiring approval of a Final Conceptual Landscape Plan as essentially redundant and acknowledge and approve a revision to the tree planting plan as discussed below.

A construction-level landscape plan was submitted to the City on December 20, 2019, in conjunction with the Grading Permit and Building Permit plan check submittals. This submittal constituted the Applicant's concurrent submittal of the delayed Final Conceptual Landscape Plans and the Final Landscape Plan which was required by the conditions of approval to be submitted before March 1, 2020.

Following the Landscape Plan submittal in 2019, the Applicant continued to work with the members of the community to obtain input regarding the landscape materials and design for the buffer area surrounding the site. Based on community input, a plan was developed creating six distinct planting zones along the edge of the property. The planting plan ties together the Project thematically with native and other selected low water usage species, while respecting the context of the adjacent neighborhood as the perimeter of the Project transitions: from single family homes and view sensitive areas across South Nardo Avenue at the northwest; to higher density housing along the eastern portion of South Nardo Avenue and along Stevens Avenue; to the south of the property to interface with the existing Turfwood community; and finally to the east where the Project is adjacent to St. James Church and Academy.

Each planting palette was developed to attractively screen and buffer the development while respecting the established surrounding areas, allowing the Project to integrate with existing adjacent uses while avoiding a monolithic or singular palette. Each of the zones and tree species are depicted in Attachment 2, Landscape Zone Plan, Landscape Tree Zone Plan and Landscape Tree Schedule.

The Applicant has submitted a buffer planting plan which was developed with the benefit of community input including residents along South Nardo Avenue and residents of the Turfwood community. When originally brought forward for approval, the Project was anticipated to include approximately ten (10) 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores in 24-inch boxes. The planting plan has been modified to incorporate smaller container sized trees, including 15-gallon size trees and 24-inch box trees. The proposed changes are in response to concerns raised by adjacent residents expressing concerns regarding the viability of transplanted 84-inch box trees and potential impact on hillside / slope stability as well as the ability of smaller container sized trees to grow faster after transplantation.

In lieu of ten (10) 84-inch Coast Live Oaks along the southern edge of the project site, the planting plan includes twenty (20) 24-inch Coast Live Oaks in the East and North-East Zones. Along the southern project boundary, screening will be provided by eleven

(11) Coastal Shrub Oaks in 15-gallon containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include fifteen (15) Torrey Pines and various other tree species. More than sixty (60) 24-inch box trees will be located within the buffer zones in a combination of oak, palm and other native and drought tolerant tree species all selected with the benefit of community input.

Council Resolution 2018-132 required the submittal of a Final Conceptual Landscape Plan prior to March 1, 2019, a deadline that has been extended by concurrence of the City Manager that allowed the Applicant to continue to work with community stakeholders regarding the details of the project Landscape Plan. Community input was not only incorporated into the Landscape Plans submitted to the City on December 20, 2019, in conjunction with the Grading Permit and Building Permit plan check submittals, but has also been incorporated in the Final Landscape Plan submittal presented to Council. As previously noted, this submittal constitutes the Applicant's concurrent submittal of Final Conceptual Landscape Plans and the Final Landscape Plan which was originally required by to be submitted before March 1, 2020.

Given the concurrent review of the Final Conceptual and Final Landscape Plans with the Grading and Building Permit submittal packages, the Applicant has requested to proceed with the Final Landscape Plan essentially skipping an interim conceptual approval by the City Council. Additional Conditions of Approval have been added to (1) ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health and (2) require engineering review by EsGil of Final Landscape Plan Construction Drawings contained on Sheets LC01 and LC-13.

### **2018 City Council Approved Project Overview Per Resolution 2018-132**

Table 1 on the following page provides an overview of the specific zoning regulations for the development of the property compared to the Applicant's proposed Project design. The development standards that apply to this Project are provided in the SBMC.

**Table 1 Lot and Approved Project Information**

LOT INFORMATION																
<p><b>Property Address:</b> 661 through 781 South Nardo Avenue and 821 Stevens Avenue</p> <p><b>Lot Size:</b> 583,704 ft<sup>2</sup> (13.4 acres) gross/net area of 3 existing parcels and future 2 parcels after consolidation</p> <p><b>Maximum Allowable Floor Area:</b> 0.75 or 437,778 ft<sup>2</sup> (calculated based on gross floor area)</p> <p><b>Proposed FAR:</b> 0.564 or 329,157 ft<sup>2</sup>*</p> <p><b>Maximum Building Height*:</b> 30 ft.</p> <p><b>Proposed Building Height*:</b> 47.1 ft.</p> <p><i>*Subject to density bonus or waiver of development standard</i></p>	<p><b>Zone:</b> HR (High Density Residential)</p> <p><b>Overlay Zone:</b> None.</p> <p><b>Density Allowed:</b> 13-20 du/ac or 207 Dwelling Units</p> <p><b>Density Requested *:</b> 19.4 du/ac - 260 Dwelling Units</p> <p><b>Setbacks:</b></p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;"></th> <th style="width: 30%; text-align: center;">Required:</th> <th style="width: 30%; text-align: center;">Proposed:</th> </tr> </thead> <tbody> <tr> <td>Front:</td> <td style="text-align: center;">25 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> <tr> <td>Rear:</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> <tr> <td>Side (Street):</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">10 Ft.</td> </tr> <tr> <td>Side (Interior):</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> </tbody> </table>		Required:	Proposed:	Front:	25 Ft.	25 Ft.	Rear:	10 Ft.	25 Ft.	Side (Street):	10 Ft.	10 Ft.	Side (Interior):	10 Ft.	25 Ft.
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<p><b>Proposed Square Footage Breakdown:</b></p> <table style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="width: 50%;">Residential:</td> <td style="text-align: right;">318,870 ft<sup>2</sup></td> </tr> <tr> <td>Clubhouse/Leasing center:</td> <td style="text-align: right;">10,287 ft<sup>2</sup></td> </tr> <tr> <td><b>Total Building ft<sup>2</sup> Proposed:</b></td> <td style="text-align: right;"><b>329,157 ft<sup>2</sup></b></td> </tr> <tr> <td><b>Total Residential/Building Area:</b></td> <td style="text-align: right;"><b>318,870 ft<sup>2</sup> or 54.6%</b></td> </tr> </tbody> </table>	Residential:	318,870 ft <sup>2</sup>	Clubhouse/Leasing center:	10,287 ft <sup>2</sup>	<b>Total Building ft<sup>2</sup> Proposed:</b>	<b>329,157 ft<sup>2</sup></b>	<b>Total Residential/Building Area:</b>	<b>318,870 ft<sup>2</sup> or 54.6%</b>	<p><b>Proposed Landscape and Open Space Components:</b></p> <table style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="width: 50%;">Landscaping:</td> <td style="text-align: right;">261,266 ft<sup>2</sup></td> </tr> <tr> <td>Open Space:</td> <td style="text-align: right;">65,434 ft<sup>2</sup></td> </tr> </tbody> </table>	Landscaping:	261,266 ft <sup>2</sup>	Open Space:	65,434 ft <sup>2</sup>			
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<p><b>Required/Obtained Permits:</b></p> <p><b>DRP:</b> New construction over 30,000 square feet. New residential units in excess of 20 units. New structures in excess of 25 feet in height in HR zone. Grading in excess of 100 cubic yards.</p> <p><b>SDP:</b> For construction in excess of 16 feet in height measured from existing grade.</p>																
<p>Proposed Grading: Cut: 187,000 yd<sup>3</sup> Fill: 27,000 yd<sup>3</sup> Export: 160,000 yd<sup>3</sup></p>																
<p>Required Parking: 495 spaces</p> <p>Proposed Parking: 525 spaces</p> <p>Proposed Fences and Walls: Waiver of development standards requested to allow maximum wall and fence heights as noted in Table 3 due to the amount of grading required and general lowering of the grade of the site.</p>	<p><b>Existing Development:</b> High density multi-family residential (rental) community consisting of 198 units, club house and leasing center, swimming pool, driveways and parking areas, fencing, utility poles, and landscaping.</p> <p><b>To be demolished:</b> Yes</p> <p><b>To Remain:</b> N/A <b>Other:</b> N/A</p>															

As shown above, the approved Project meets or exceeds the required setbacks listed in the SBMC. The Project also complies with the applicable development regulations for a high-density residential development, including parking, density and floor area, except where waivers of development standards were specifically approved pursuant to the density bonus application that were approved by the City Council on December 17, 2018.

A new Resolution 2021-131 has been prepared and is attached to this Staff Report for Council consideration (Attachment 3). Resolution 2021-131 provides the pertinent regulations for the DRP and SDP and Staff has prepared draft findings of approval of the

DRP and SDP waiver for the Project for Council's consideration based upon the information provided in this Staff Report. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a part of the public hearing process.

The following is a discussion of the findings for a DRP Modification and SDP waiver as they apply to the currently proposed Project, as well as a discussion of the development plans and recommended conditions as contained in the attached Resolution.

### **Proposed Modifications to Previously Approved DRP/SDP# 17-24-39**

The Project, as modified and described above and depicted more fully in Attachment 2 to this Staff Report must be found in compliance with development review criteria pursuant to SBMC 17.68.040. The nature of the proposed project changes as requested by the Applicant are described above. No changes to the number of residential units or parking spaces is proposed.

The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The City Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2021-131 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All discretionary permits and approvals required by the city, including variances, conditional use permits, tentative maps, and comprehensive sign plans have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the

development review permit upon the applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed Project.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of Project approval, the Applicant was required to obtain a Coastal Development Permit from the Commission prior to the issuance of building permits by the City. The Applicant received approval of a CDP 06-19-0109 which was issued by the CCC in May 2019.

### **Relationship with Adjacent Land Uses**

The site is located within the High Residential Density (HR) Zone which is described by SBMC Section 17.20.010 as follows:

- High Residential Zone (HR) – (13 to 20 dwelling units/net acre): This zone is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

The proposed Project involves modifications to an approved redevelopment project for the site. The overall Project would occur on an existing developed site currently occupied by a 194-unit residential apartment complex and 4 other multifamily units.

The site is located in an urban setting and is surrounded by mix of residential land use types including single family residential neighborhoods to the north, Solana Pointe residential apartments to the northeast, single-family homes to the southeast, Turfwood condominiums to the south, and St. James Catholic Church and Academy campus to the west.

### **General Plan Consistency**

The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR), and may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

- Policy LU-1.1: Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.
- Policy LU-1.2: The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.



- Policy LU-1.3: In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances.
- Policy LU-1.4: Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.
- Policy LU-6.6: Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.
- Policy LU-6.7: Promote appropriate transitions in building height and bulk which are sensitive to the visual and physical character of adjacent neighborhoods.

The Project could be found to be consistent with the following General Plan programs and goals in the City's 6<sup>th</sup> Cycle (2021-2029) Housing Element which the City is committed to implementing. This includes the housing goals, including regional housing needs assessment / local share goals and affordable housing goals, including:

- Continuing to implement the density bonus and affordable housing ordinances.
- Addressing and mitigating constraints to housing development.
- Providing affordable housing for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element.
- Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the 6<sup>th</sup> Cycle RHNA affordable units the City must provide under State law.
- Developing a site that was identified as having redevelopment potential for additional housing units in the City's Housing Element.
- Achieving the need for housing rehabilitation to preserve neighborhood quality.

The Housing Element identified the Solana Highlands project site as one that could accommodate additional residential units and was a site identified as having adequate density to accommodate lower income housing. The Applicant requested DRP modifications do not include any changes to the total number of units redeveloped onsite nor do they propose any changes to the 32 senior affordable units that will be constructed as part of the approved Project. Therefore, the Project remains consistent with the City's RHNA and the 6<sup>th</sup> Cycle 2021-2029 Housing Element Update.

### Local Coastal Plan/Land Use Plan Consistency

The Solana Beach City Council adopted a Local Coastal Plan (LCP) Land Use Plan (LUP) on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LCP LUP designates the property as High Density Residential. This land use category is intended to be developed with 13 to 20 dwelling units per acre. This zone is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers, and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

As the City does not yet have full coastal development permit (CDP) authority, the Applicant was required to obtain approval from the Coastal Commission. On May 19, 2019, the Applicant received Coastal Commission approval for the Project under CDP-06-19-0109.

The proposed Project could be found to be consistent with LCP/LUP. In particular, the proposed Project could be found to be consistent with the policies in Chapter 5 – New Development, which includes general policies for new development, and policies for residential development, high density development and redevelopment, energy efficiency and archaeology. The proposed Project could also be found to be consistent with the policies in Chapter 7 – Public Works, including policies for circulation improvements and traffic calming.

### Affordable Housing, Density Bonus and Waiver of Development Standards, and Fee Waiver

No changes to these elements of the original City Council approved Project are proposed; therefore, no additional analysis for this DRP Modification request is required on these topics.

### Building and Structure Placement

The Project includes a total of 260 units with a breakdown as follows:

- 12 studio apartments that are 420 square feet in size
- 128 one-bedroom apartments ranging in size from 517 to 954 square feet
- 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the Project would include a small park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the Project is located, including required setbacks, maximum FAR, and building height, which are shown in Table 1. The previously approved development standard waivers granted by Council under Resolution 2018-132 notwithstanding, the proposed Project meets or exceeds all required setbacks, and is below the maximum allowable FAR. Required parking and landscaping standards are contained in the City's Off-Street Parking Design Manual (OSPDM). The Project meets or exceeds the parking requirements of the SBMC and the requirements of the OSPDM.

The highest point of the Project would remain consistent with the previous project approval at 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with a building height of 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86, where the project site elevation is 116 feet above MSL at that location. The Applicant received a waiver of the 30-foot height standard under Resolution 2018-132 as part of the original 2018 City Council approved project.

Therefore, pursuant to the requirements of the placement of buildings and structures, the City Council may find that the Project has been designed to minimize the potential for adverse impacts on surrounding properties and has been designed in a manner which visually and functionally enhances their intended use and complements the existing site topography.

### **Landscaping**

Per SBMC Section 17.56.040, the Project is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species. As a condition of approval for the Project, the Applicant shall connect to the City's reclaimed water facilities to provide all on- and off-site irrigation with reclaimed water.

The Final Landscape Plan contained in Attachment 2 proposes 247,583 square feet of open space amenity areas including patios, pool area and walkways throughout the site and 188,187 square feet of irrigated landscape area. During construction of the Project, it is anticipated that all of the existing onsite trees, shrubs and other vegetation would be removed due to the extent of grading that is proposed on site to significantly lower building pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of 5 California Sycamores would replace the existing mature 5 California Sycamores on site in accordance with City LCP requirements for native tree mitigation.

The Project would include the installation of 716 trees including mature 24-inch boxed trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. The Final Landscape Plan was developed with extensive input of community stakeholders including residents along S. Nardo Avenue and residents of the Turfwood community. As a result of this community input, the Final Landscape Plan differs slightly from the landscaping originally described but meets the design intent. Specifically, when originally brought forward for approval the Project was anticipated to, “include approximately ten (10) 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores in 24-inch boxes.” The planting plan has been modified to incorporate smaller container sized trees (15 gallon and 24-inch box trees) as smaller container size trees are more likely to be successful transplantation. Adjacent residents expressed concerns regarding the viability of transplanted 84-inch box trees and impact on slope stability to the south of the site and therefore these 84-inch box trees originally envisioned are no longer being proposed.

In lieu of ten (10) 84-inch Coast Live Oaks along the southern edge, the Final Landscape Plan includes twenty 24-inch Coast Live Oaks in the East and North-East Zones. Along the southern boundary screening will be provided by 11 Coastal Shrub Oaks in 15-gallon containers that are appropriate for slope plantings. Other prominent screening trees in the South Zone include 15 Torrey Pines and an assortment of other trees. More than sixty 24-inch box trees will be located within the buffer zones in a combination of oak, palm and other native and low-water usage trees selected in conjunction with community input.

The Final Landscape Plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting design element linking the project site and design styles and creating a cohesive community. The landscape plan uses plant materials to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture.

Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed Project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant’s Landscape Plan has been reviewed by the City’s third-party landscape architect who has revised the plan and recommends approval as designed with two additional Conditions of Approval to ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health; and require engineering review by EsGil of Final Landscape Plan Construction Drawings contained on Sheets LC-01 through LC-13.

The Applicant is required to submit detailed construction drawings that would be reviewed by the City’s third-party landscape architect for conformance with the Final Landscape Plan being considered herein. In addition, the City’s third-party landscape architect would

perform inspections during the construction phase of the Project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

### **Roads, Pedestrian Walkways, Parking, and Storage Areas**

No changes to roads, walkways, parking or storage areas are proposed. The Applicant has requested additional time, until September 1, 2023, to submit the onsite Parking Management Plan to the City Manager for review.

Residential projects in the City are required to comply with parking standards in the SBMC 17.52. The parking for the affordable senior housing element is per the State density bonus code (CGC 65915(p)). Although this maximum required parking ratio applies to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site.

The approved Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52 and no changes are proposed. There are no requirements for bicycle parking for residential development projects; however up to 50 bicycle parking spaces will be provided onsite.

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site. All the required automobile and motorcycle parking spaces would be provided onsite as shown in Table 1. Vehicular access to the site would be provided from two driveway locations on South Nardo Avenue. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Avenue and Stevens Avenue.

All vehicle entrances would provide full movement driveways allowing inbound and outbound vehicular movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to the project site would be provided via existing, new and/or improved perimeter sidewalks along South Nardo Avenue and Stevens Avenue.

### **Grading**

Based on the grading plan submitted to the City in 2019, grading estimates are 187,000 cubic yards with 160,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 61 to 68 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department included a condition of approval that the Applicant shall make every effort to participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit beach-quality sand excavated from the site up to a maximum of 150,00 cubic yards on City beaches for the export material identified as compatible with

beach sediment in accordance with the City's SCOUP permits. The Applicant continues to express their interest in participating in the City's SCOUP program and City staff continues to work with the Applicant on this element of the Project.

### **Lighting**

No changes to lighting are proposed by the Applicant at this time.

Conditional approval of this Project included the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

### **Open Space**

No changes to the Project open space areas are proposed by the Applicant at this time.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 65,000 square feet. The proposed Project provides a total of 65,434 square feet of open space. In addition, as designed, each of the proposed residential units has its own patio if it is a first-floor unit, or a balcony if it is a second-floor unit. These areas will be directly accessed from the residence.

The proposed Project includes passive usable open space areas as well as a small, fenced park area, along South Nardo Avenue. Other common area project amenities on-site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, bocce ball court, and walking paths.

### **Structure Development Permit**

The Applicant has requested a waiver from the City's SDP permit process and related story pole program for the proposed modifications to Buildings 13, 19 and 24. The City Council has final authority regarding the project entitlements including issuance of an SDP waiver.

**Building 13 SDP Waiver Request:** The Applicant is requesting to Amend condition X.a.i. requiring the reduction of Building 13 maximum height by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum building elevation for building 13 to 134.9 MSL. The manner in which the height reduction was to be achieved was left to the discretion of the Applicant. The Applicant is proposing to limit the maximum height of the easterly approximately 49 feet of Building 13 from 134.9' MSL to 130.5' MSL, a reduction of 4 feet, 6 inches in height, to be accomplished by eliminating one story for the building in this section and returning the flat roof approved in the original

DRP to a sloped roof and restoring the maximum height for the balance of the building to 139.9' MSL as originally demonstrated by the story poles installed and certified on or about June 18, 2018, and changing the flat roof depicted on the original DRP to a roof sloped at a 3:12 ratio, consistent with the rest of the Project. A letter dated December 6, 2020 from John Wilson supports this request (See Attachment 2). All other potential claimants have had their view claims assessed as part of the October 2018 and November 2018 View Assessment process which story poled the entire building at 139.9' AMSL. Since none of the revised building exceeds the height of the originally erected and 2018 certified story poles, and the claimant whose claim regarding Building 13 was approved and considered has indicated consent to the current redesign, no additional story pole erections are necessary to modify the SDP pursuant to this request. Accordingly, a waiver can be granted by Council as it is reasonable to conclude that no new view impairment would occur from this Project modification.

**Building 19 SDP Waiver Request:** The revised building is largely consistent with the scale and massing of the previously approved Building 19, although small projections of the footprint occur on three sides of the building. No element of the roof exceeds the ridgeline that was depicted in the 2018 story pole construction. Each of the three additional projecting areas contains a roofed second-floor balcony or staircase, open on three sides, minimizing any potential adverse massing impact of the additional projections.

These additional projections do not create any additional view obstruction beyond that which has already been demonstrated by story poles erected in 2018 in conjunction with the review and approval of the Structure Development Permit. From all offsite vantage points, the newly proposed projecting areas are blocked by a future building approved through the SDP process or will be viewed with an approved structure behind it. In addition, the clubhouse building is located at the lower elevation of the easterly portion of the site and the highest ridgeline of the Clubhouse is well below both the existing and future natural landform as the site rises to the west.

The Applicant is requesting a Story Pole Waiver due to the lack of view impairment created by the horizontal projections of the revised designs. No view appellant listed a concern with the clubhouse building (Building 19) or any of the other nearby buildings during the View Assessment Process.

As shown earlier in the Staff Report, Figure 4 of Attachment 2 provides a plan view (overhead view) of the proposed clubhouse building (Building 19) with the approved story pole envelope/outline in blue. The numbers in red correspond to the number of the story pole, and the numbers in parentheses indicate the height in feet of the story pole above proposed grade which provides the maximum building height in that location depicted through the story poles.

The areas of the building depicted in blue represent two-story horizontal (i.e., lateral) projections beyond the original story pole footprint, while the areas in grey are single-story areas that do not exceed 16 feet in height (and thus are not subject to the City's SDP process). These projections occur on three sides of the building and range from 9 to 10 feet plus a 3-foot roof overhang for a maximum horizontal projection beyond the

story pole envelop of 13 feet. In all instances, the second floor projections are either a roofed open patio area or open exterior staircase.

The Story Pole Waiver is requested to allow the building to project beyond the original story pole footprint into these colored areas. Accordingly, should Council choose to do so, a waiver can be granted as it is reasonable to concluded that no new view impairment would occur from these Project modifications.

**Building 24 SDP Waiver Request:** The Applicant is requesting modification of the site plan exhibit in the Development Review Permit to shift Building 24 approximately 60' feet to the east and waive the story pole requirement for this modification due to the fact that no new view blockage is created, the minor nature of the modification, the fact that Building 24 is – in both its original and proposed location – blocked by surrounding Buildings 13 and 15, and that no view claims were filed for Building 24 or nearby Building 14. Attachment 2 depicts the approved site plan location and the proposed location approximately 60 feet to the east towards Building 14. The shift of Building 24 is a minor modification, and no additional view impact will be created as illustrated in Attachment 2. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. Accordingly, a waiver can be granted as no new view impairment would occur from this Project modification.

### **Vesting Tentative Map**

No changes to the Vesting Tentative Map are proposed by the Applicant at this time.

### **Public Art**

No changes to the Public Art Fee payable to the City are proposed by the Applicant at this time. The City's Master Art Policy (MAP) indicates that when a residential with a building permit valuation of \$500,000 or more and five (5) or more dwelling units, the Applicant will be required to pay the Public Art Fee of 0.5% of the total building valuation. In the case of a redevelopment project such as the proposed project, the public art fee that is assessed would be based on the net increase of the 62 units provided onsite. This fee can be paid into the City-controlled Reserve Public Art Account or used by the developer to incorporate or purchase City-approved public art for their project. The public artwork may be located in immediate proximity to the said project or placed at a sited MAP location.

### **CEQA COMPLIANCE:**

An Environmental Impact Report (EIR) was prepared for this Project in conformance with the California Environmental Quality Act of 1970 (CEQA). The EIR was prepared as a Project EIR pursuant to Section 15161 of the State CEQA Guidelines. The FEIR was contained in two volumes plus the Findings of Fact approved by the City Council under Resolution 2018-131 on December 17, 2021. Following Project approval by the City Council, a Notice of Determination (Section 15375) was filed by the City with the San Diego County Clerk.



The proposed modifications to the Project do not raise any new environmental issues or increase the level of impact previously considered and analyzed in the Final EIR Certified by the City Council in December 2018. Therefore, no new or subsequent environmental review is required due to the scope and nature of the modifications as proposed pursuant to the 2021 State CEQA Guidelines Section 15162.

**PUBLIC HEARING NOTICE:**

Notice of the City Council Public Hearing for the Project covering the DRP Modification/SDP Waiver Request was published in the San Diego Union Tribune, more than 10 days prior to the public hearing. A Courtesy Notice was mailed to all property owners and occupants within 300 feet of the proposed project site on January 27, 2022, informing the community that an application for a DRP Modification was pending at the City. A Public Hearing Notice was mailed to all property owners and occupants within 300 feet of the proposed project site more than 10 days prior to the scheduled public hearing date of February 9, 2022.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

DRP Modification:

- If the City Council approves Staff recommendation to approve the DRP Modification and SDP Waiver as provided in Resolution 2022-006 subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP Modification and SDP Waiver.
- If the City Council cannot make all required findings for the DRP Modification and SDP Waiver. Staff will return a Resolution of Denial for the Project at a later date.

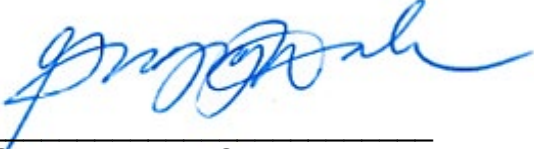
**DEPARTMENT RECOMMENDATION:**

The proposed Project meets the minimum objective requirements under the SBMC, can be found to be consistent with the General Plan and the LCP LUP, and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP Modification and SDP waiver. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Adopt Resolution 2022-006 conditionally approving a DRP Modification and SDP waiver for the Solana Highlands project modifications described herein, a residential community and affordable senior housing project previously approved on December 17, 2018, at 661-781 South Nardo Avenue and 821 Stevens Avenue, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Resolution 2018-132
2. Applicant Submittals for Project Modifications (January 2022)
3. Resolution 2022-006 approving DRP Modification and SDP Waiver Request
4. Public Correspondence Received

**RESOLUTION 2018-132**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT, STRUCTURE DEVELOPMENT PERMIT, VESTING TENTATIVE PARCEL MAP, AFFORDABLE HOUSING PLAN, DENSITY BONUS WITH DEVELOPMENT STANDARDS WAIVER, AND FEE WAIVER FOR THE SOLANA HIGHLANDS RESIDENTIAL COMMUNITY AND AFFORDABLE SENIOR HOUSING PROJECT AT 661-781 SOUTH NARDO DRIVE AND 821 STEVENS AVENUE.**

**APPLICANT: H.G. Fenton  
CASE NO.: 17-14-29 DRP/SDP/VTPM/AFFORDABLE HOUSING AGREEMENT**

**WHEREAS**, H.G. Fenton (hereinafter referred to as “Applicant”) has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP), Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver subject to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the applicant is also requesting approval of a Vesting Tentative Parcel Map (VTPM) which would modify the property from three lots to two lots; and

**WHEREAS**, at the duly and properly noticed public hearing held on December 5, 2018, and the continued public hearing held on December 17, 2018, the City Council received and considered evidence concerning the proposed application as revised; and

**WHEREAS**, the public hearings were conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, the City Council of the City of Solana Beach certified the Final Environmental Impact Report (FEIR), and adopted a Mitigation Monitoring and Reporting Program (MMRP) and Findings of Fact for the Solana Highlands project in accordance with the California Environmental Quality Act and the State CEQA Guidelines via Resolution 2018-131; and

**WHEREAS**, this decision is based upon the oral and written evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.

2. That pursuant to State CEQA Guidelines section 15090, 15091 and 15097, the City Council has adopted and certified the FEIR in compliance with CEQA, made the required Findings of Fact and adopted the MMRP as set forth in Resolution 2018-131.
3. That the request for a DRP, SDP and VTPM for the Solana Highlands project , a residential development consisting of 260 residences (including 32 affordable senior units) consisting of studios, one and two bedrooms, 10,287 square feet of clubhouse/leasing office space, 261,266 square feet of landscaped area, 65,434 square feet of open space, 525 on-site parking spaces including 233 garages, 22 covered spaces and 270 open/guest spaces, is conditionally approved based upon the following Findings and subject to the following Conditions:
4. FINDINGS

Based on the totality of the record, the City Council makes the following findings:

**A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:**

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The proposed project is consistent with the General Plan, which designates the property as High Density Residential (HR). Multi-family residential development under this category will range between 13 and 20 dwelling units per acre. Other compatible uses such as accessory dwelling units, home occupations, religious institutions, educational institutions, parks and recreation facilities, and public utilities are permitted or conditionally permitted. Assuming maximum development and an average household size of 2.4 persons per unit, population densities in these areas could be as high as approximately 48 persons per acre. Most of Solana Beach's high density residential development is located in the southwestern portion of the city (i.e., along the coastal bluffs south of the Plaza and in the area generally bounded by Via de la Valle, Solana Circle, Nardo Avenue, and Stevens Avenue). The project is proposing 260 residential units or 19.4 dwelling units per acre. The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR) and may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

**Policy LU-1.1:** Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and

adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.

**Project Consistency:** The project has been subject to a view assessment process to ensure sensitive transitions between the project and adjacent neighborhoods and has undergone substantial changes, as described in the staff report, to create appropriate transitions.

**Policy LU-1.2:** The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.

**Project Consistency:** The City's general plan and housing element include a range of housing types, locations, and densities,

**Policy LU-1.3:** In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances. The regulations shall ensure that conversion of apartments to condominiums or other similar types of subdivisions will meet current standards for the construction of new condominiums or other similar types of multi-family dwellings within the city.

**Project Consistency:** No condominium conversion is proposed as part of this project.

**Policy LU-1.4:** Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.

**Project Consistency:** As described in the staff report, the project includes 50 bicycle parking spaces and will construct extensive traffic calming measures and pedestrian safety measures on streets adjacent to the project.

**Policy LU-6.6:** Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.

Project Consistency: The project is located on an existing developed infill site that will be reused and, through extensive landscaping and new construction, contribute positively to the surrounding area.

**Policy LU-6.7:** Promote appropriate transitions in building height and bulk, which are sensitive to the visual and physical character of adjacent neighborhoods.

Project Consistency: As described in the staff report, the project has been subject to an extensive view assessment process and has proposed major design changes to ensure that it is sensitive to the visual and physical character of the adjacent neighborhoods.

The project is consistent with the following General Plan programs and goals in the City's Housing Element, including regional housing needs assessment / local share goals and affordable housing goals, including:

- (1) Continuing to implement the density bonus and affordable housing ordinances.
- (2) Addressing and mitigating constraints to housing development by approving development standards and waivers needed for project construction and a fee waiver.
- (3) Providing 32 affordable housing units for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element. The continued affordability of these units will be ensured for 55 years, and that the rents be limited to those affordable to low income households.
- (4) Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the 150 lower income units that are the City's share of the regional housing need.
- (5) Developing a site with the 260 units that were identified as the site's potential in the City's Housing Element.
- (6) Redeveloping an older apartment complex to preserve neighborhood quality.

The proposed project is also consistent with the requirements of Title 17 in that the proposed project density of 260 units is permitted with a density bonus. As designed the project meets the minimum lot area of 10,000 square feet in that each lot will be 1.25 acres and 11.64 acres in size, respectively. The proposed buildings will have a minimum front yard setback of 25 feet, side yard setback of 10 feet and rear yard setback of 25 feet as required in the HR zone. Per the City's parking ordinance, the project requires 494 parking spaces. The applicant is consistent with the parking ordinance requirement by proposing 525 parking spaces on-site. The parking provided for the affordable senior units is consistent with Section 65915(p) of the Government Code and the City's density bonus ordinance.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- (1) Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

The subject lot is located within the High Residential Density (HR) Zone. According to SBMC 17.20.010 this zone allows 13 to 20 dwelling units/net acre and is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning, and provide on-site recreational amenities.

No significant adverse effects upon neighboring properties have been identified or are anticipated to occur from the project implementation, and the project has been extensively redesigned to protect view impacts. As conditioned, the proposed project gives consideration to the protection of surrounding areas from potential adverse effects and provides protection of the property from adverse surrounding influences. Additionally, the City Council has certified the FEIR for this project and has found that project impacts either will not occur, will be less than significant, or will be less than significant with mitigation in all the topic areas analyzed.

- (2) **Building and Structure Placement:** Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.

The Project includes a total of 24 buildings including one affordable senior housing building (Building 25) and one clubhouse/leasing center (Building 19). All parking would be provided onsite in either the form of a garage or surface parking including covered and uncovered and includes 233 garages, 22 covered spaces and 270 open/guest spaces.

Fifteen of the 24 buildings would be two stories in height and nine of the Buildings would be three stories in height. In general, the buildings located along South Nardo Avenue would be two stories and the buildings that are internal to the site would be three stories. The affordable senior building would also be three stories and is located at the southeast corner of the site.

The project includes a total of 260 units with a breakdown as follows:

- (a) 12 studio apartments that are 420 square feet in size
- (b) 128 one-bedroom apartments ranging in size from 517 to 954 square feet
- (c) 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.

Each unit proposes private open space in the form of patios for the units on the ground floor and balconies for the units on the second floor.

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the project would include a small private park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the project is located, including required setbacks, maximum FAR, and building height. The proposed Project meets or exceeds all required setbacks, and is below the maximum allowable FAR.



Required parking and landscaping standards are contained in the City's Off Street Parking Design Manual (OSPDM).

The highest point of the Project is 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with the Project 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location. As required by State law, the City will waive development standards for height of buildings, retaining walls, and walls and fences that would otherwise physically preclude development of the property with the permitted density bonus.

- (3) Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.

Per SBMC 17.56.040, the proposed development is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species.

The conceptual landscaping plan for the Project proposes 261,266 square feet of landscaped area which is equal to approximately 45% of the project site. During construction of the proposed Project, it is anticipated that all of the existing trees, shrubs and other vegetation would be removed as part of the proposed Project due to the extent of grading that is proposed on site to lower pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of five (5) California Sycamores would replace the existing mature 5 California Sycamores on site is in accordance with City LCP requirements for native tree mitigation.

The Project would include the installation of mature (boxed) trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. Larger shade trees would include approximately 10 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores, in 24-inch boxes

throughout the site. A further mix of trees ranging in size and style includes over 400 trees to be planted on site.

The landscape plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting device linking the various pieces of the project site and design styles. The landscape plan uses plant material to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture. Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's conceptual landscape plan has been reviewed by the City's third-party landscape architect who has recommended approval of the conceptual landscape plan. The Applicant would be required to submit detailed construction landscape drawings that would be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect would perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- (4) Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

Residential projects in the City are required to comply with parking standards in SBMC 17.52. The parking requirements for the affordable senior housing element are per the State bonus density code (CGC 65915(p)). Although this maximum required parking ratio could apply to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site (e.g., 228 units).

The proposed Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52. The proposed project includes 525 onsite parking spaces, 50 bicycle spaces, 17 motorcycle spaces and 9 accessible spaces.

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site.

Vehicular access to the site would be provided from two driveway locations on South Nardo Drive. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Drive and Stevens Avenue.

All entrances would provide full movement driveways allowing inbound and outbound movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to and from the project site would be provided via new and/or improved perimeter sidewalks along South Nardo Drive and Stevens Avenue.

- (5) Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Grading is proposed in the amount of 175,000 cubic yards with 154,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 39 to 150 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department has included a condition of approval that the Applicant shall participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit soil exports on city beaches if the Applicant's soil engineer determines that any or all of the soil to be exported is compatible with beach sediments in accordance with the City's SCOUP permits.

- (6) Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).

Conditional approval of this Project includes the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

- (7) Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 65,000 square feet. The proposed project provides a total of 65,434 square feet of open space.

In addition, as designed, each of the proposed residential units has its own patio (first floor units) or balcony (for second floor units) that is directly accessed from the residence.

The proposed project includes passive usable open space areas. Additionally, the proposed project would include a small park area, along South Nardo Avenue.

The site currently has a recorded easement as part of the County of San Diego's approval of Special Use Permit No. P. 68-187 prior to the City's incorporation. The language of the recorded easement specifically allows for amendments to the original Special Use Permit (SUP) as well as additional activities authorized by the Grantee. By virtue of city incorporation, the City is now holds the recorded easement's Grantee interest. As such, the site is subject to the City's zoning regulations. Provided that

all the required findings for issuance of the City's Development Review Permit (DRP) can be made, it would constitute the Grantee's authorization and act as an amendment to the SUP or supersede the SUP in its entirety. .

- III. Portions of the property that is the subject of this application are subject to a Grant of Open Space Easement recorded July 6, 1970 in the Official Records of San Diego County for the benefit of the County of San Diego as Grantee. The City is now the Grantee as the successor in interest to the County upon incorporation.

The Open Space Easement provides that:

(i) no portion of the Open Space shall be graded, excavated or filled except in compliance with said Special Use Permit No. P 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof and (ii) no natural or artificial improvements shall be constructed, installed, erected, permitted or maintained (other than the natural and artificial improvements complying with said Special Use Permit No. 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof).

The City's requirements for a Development Review Permit and a Structure Development Permit are equivalent to the Special Use Permit approved by the County in 1970, and the City's approval of the Development Review Permit and the Structure Development Permit constitutes an amendment to Special Use Permit No. 68-187, allowing development and grading of the site as shown on the approved plans. The City as Grantee hereby authorizes the amendment of the Grant of Open Space Easement to permit grading, excavation, and fill and construction, installation, erection, permission, and maintenance of those natural and artificial improvements as shown on the approved plans for the Development Review Permit and the Structure Development Permit.

- IV. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.

All required permits and approvals required by the City, including the SDP, VTPM and Affordable Housing Plan, Fee Waiver, and Density Bonus with Waiver of Development Standards are being processed concurrently with the Development Review Permit.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development

Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of a building permit by the City.

- V. If the development project also requires a permit or approval to be issued by a State or federal agency, the City Council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of building permits. The FEIR that was certified for this project does not include mitigation measures that require permits or approval from other agencies. The Mitigation Monitoring and Reporting Program (MMRP) was adopted for this project as a part of certification of the FEIR. All applicant proposed project design features are included as conditions of project approval.

**B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:**

1. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting View Assessment. Since 2014, the Applicant has changed the project design to address claims filed in 2015 by lowering the overall elevation/grade of the site. Additional modifications have been made to address 2018 view claims. The key changes include, but are not limited to, dropping building pads between 3 feet and 17.5 feet, moving the secondary driveway 114.5 feet east resulting in Buildings 5 and 10 to be moved westerly, lowering Building 12 ridgeline 6 additional feet to address 2018 claim, lowering Building 13 ridgeline additional 4.5 feet to address 2018 claim, and relocating units from Building 12 to accommodate the dropped roofline. These changes have been certified and included in the revised story pole plan.
2. There is no public property adjacent to the site, except right-of-way therefore, the proposed structures do not significantly impair a view from public property.
3. The proposed structures are designed and situated in such a manner as to minimize impairment of views. The Applicant has dropped building pads onsite by increasing the amount of soil to be excavated and exported off site. The proposed export of materials has lowered building pads between 3 feet and 17.5 feet. Additionally, reduced building heights from three stories to two stories has resulted in lowering of rooflines by as much as 19 feet from the original 2014 proposed project. The lowering of Building 13 from the October 2018 revised story-pole plan by an additional six (6) inches, combined with the project being conditioned to limit tree and other

landscape height, not to exceed the height of Building 12, will sufficiently minimize view impairment.

4. There is no significant cumulative view impairment caused by granting the application. There have been no new or proposed projects in the area that would contribute to cumulative view impairment impacts. As described in the staff report the Applicant has revised the project since 2014 to address all potential private view impairments.
5. The proposed structures are compatible with the immediate neighborhood character. The Applicant has designed the project with similar architectural features, materials, roof types and colors that can be found in the surrounding neighborhoods.

The Applicant will be required to show compliance with the approved maximum height and three-dimensional building envelope that was approved by the SDP at the time of submittal for a building permit and also prior to requesting a framing inspection.

**C. In accordance with Chapter 16.24 (Minor Subdivision) of the Solana Beach Municipal Code, the City Council finds the following:**

- I. That the proposed lot or parcel was not approved or recorded less than two years prior to the filing for approval of the subject vesting tentative parcel map.

The proposed lots within this vesting parcel map boundary have not been recorded within the last two years. The existing legal parcels created under Subdivision Map numbers 1757 and 6672 were recorded with the County Recorder's Office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively.

- II. That the proposed lot or parcel was a legally created lot or parcel.

The proposed tentative parcel map boundary consists of existing legal parcels created under Subdivision Map numbers 1757 and 6672 recorded with the county recorder office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively.

- III. That the proposed subdivision proposes creation of less than five (5) lots.

The proposed subdivision will only create a total of two parcels.

- IV. That the vesting tentative parcel map meets the requirement of this code.

The proposed Vesting Tentative Parcel Map meets all requirements of Chapter 16.24, as well as the State Subdivision Map Act as defined in section 66425.5.

- V. That the proposed lot or parcel was not part of an approved tentative parcel map wherein the parcel map requirement was previously waived.

The proposed tentative parcel map boundary consists of existing legal parcels created under Subdivision Map numbers 1757 and 6672 recorded with the County Recorder's Office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively. The proposed parcels were not part of an approved parcel map where the parcel map requirement was previously waived.

- VI. That the proposed map is consistent with applicable general and specific plans and applicable provisions of SBMC Title 17.

The proposed Vesting Tentative map is consistent with applicable general and specific plans and applicable provisions in that the proposed each parcel meets the minimum lot size of 10,000 square feet, will have a minimum street frontage of 60 feet, and will have a minimum lot depth of 100 feet as required by the HR zone district.

- VII. That the site is physically suitable for the type of development.

The project site is physically suitable for the type of development in that the site is currently developed as a multi-family residential development and is proposing to be used as multi-family residential development project that is consistent with the permitted density of a maximum 20 dwelling units per acre.

- VIII. That the site is physically suitable for the proposed density of development.

The site is physically suitable for the proposed density of development as demonstrated in the site plan, grading plan, and all other supporting studies prepared for the Project Environmental Impact Report. The zoning and General Plan Land Use allow for a maximum density of up to 20 dwelling units per acre. When developed the project density will be 19.59 dwelling units per acre for Parcel 1 and 18.08 dwelling units per acre for Parcel 2 for a total density of 19.4 dwelling units per acre.

- IX. That the design of the subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.



The design of the subdivision and the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as analyzed in the Project's EIR. The subdivision itself will not change or alter the site. However, the Project EIR identified two mitigation measures that would ensure impact to biological resources would be reduced to less than significant by, 1) requiring a Tree Protection Plan be submitted to the City's satisfaction, and 2) requiring a project biologist to conduct pre-construction survey in the proposed project impact area and a 500-foot buffer around the impact area no earlier than 7 days prior to any on-site grading and construction activities during the bird nesting/breeding season.

- X. That the design of the subdivision will not cause serious public health problems.

The design of the subdivision itself will not cause serious public health problems, and Project's EIR has identified 17 mitigation measures that would reduce potentially significant environmental impacts to a less than significant standard for development of the 260 unit multi-family residential project.

- XI. The design of the subdivision will not conflict with easements of record or easements established by court judgement, acquired by the public at large, for access through or use of property within the proposed subdivision and that alternate easements, for access or for use, will be provided and that these will be substantially equivalent to ones previously acquired by the public.

The design of the subdivision will not conflict with easements of record, nor any easements acquired by the public at large. Any public easements or easements acquired by the public at large, for access through or use of property, including necessary for public utilities, for the new development shall be provided and recorded as part of the final map.

**D. In accordance with Section 16.17.020(H) (Vesting Tentative Maps) of the Solana Beach Municipal Code, the City Council finds the following:**

- I. On the basis of the studies and reports submitted by the subdivider, all public facilities necessary to serve the subdivision or mitigate any impacts created by the subdivision will be available for the entire time that the vesting tentative map is valid plus any time during which the rights conferred by Section 16.17.030 exist.

**E. In accordance with Chapter 17.70 (Affordable Housing) of the Solana Beach Municipal Code, the City Council finds the following:**

- I. The Affordable Housing Plan is consistent with the requirements of Chapter 17.70 by providing 15.5 percent of units affordable to low income senior households. The developer has agreed to the limitation on rents in exchange for a density bonus and waivers of development standards pursuant to Government Code Section 65915.
  - II. State and federal fair housing laws require that senior housing be contained in a separate building, so that the affordable senior units cannot be geographically separated. Because senior households are almost entirely comprised of one or two persons, and primarily one person households, the City hereby approves fewer two-bedroom units in the senior housing than proposed for market-rate housing.
- F. In accordance with Section 17.70.045 (Fee Waiver) of the Solana Beach Municipal Code, the City Council finds the following:**
- I. The provision of the fee waiver is needed to provide for affordable housing needs identified in the housing element which otherwise would not be met, based on the memorandum dated November 29, 2018 from Keyser Marston Associates, which concluded that the proposed project demonstrates the need for financial assistance related to the provision of the 32 low income units, that the fee reduction would not provide a windfall profit to the developer, and that the fee reduction is warranted by the project's economic characteristics.
- G. In accordance with Section 17.20.050 of the Solana Beach Municipal Code, the City Council finds the following regarding the density bonus and waiver of development standards:**
- I. By providing 15.5 percent low income units, the project qualifies for a density bonus of 57 additional dwelling units. The developer has applied for a density bonus of 53 additional dwelling units, permitted by Government Code Section 65915(f).
  - II. The development standards being waived would physically preclude development of the project with the density bonus to which the project is entitled. Without the proposed waiver, pad elevations required to fulfill the design goals while minimizing view impairment would not be feasible. Driveways could not be constructed to facilitate vehicular or pedestrian access to building pads set at elevations that allow the project to be built to minimize view impairment. The intent of the walls is to allow the new buildings on the north side of the site to step down from South Nardo Avenue so that the buildings are no taller than or closer to the street than the existing development.
- H. In accordance with California Government Code Section 65863 (No Net Loss Findings), requiring cities to demonstrate that it has adequate**

**capacity to accommodate its regional housing need, the City Council finds the following:**

- I. The City's 2013 – 2017 Housing Element identified Solana Highlands as having a capacity for 260 total units, resulting in a net increase of 66 units, and that the 66 units could be constructed at a density suitable for lower income housing. The proposed project contains 260 total units, but results in a net increase of only 62 units and contains only 32 lower income units. Section 65863(b)(2) requires the City to demonstrate that the remaining sites identified in the Housing Element are adequate to accommodate the City's share of the regional housing need for lower income housing.
- II. The City's total lower income need for the 2013-2021 period was 150 units. The City has approved 10 lower income units on South Sierra Street (the Pearl). If 32 low-income units are approved in Solana Highlands, the City's remaining lower income RHNA will total 108 units.
- III. The Housing Element identified sites for up to 280 lower income units, significantly more than the 150 required. The four largest sites remaining (City Hall (14 units), 140 South Sierra Parking Lot (20 units), and North County Transit District Station (113 units)) together can accommodate 147 lower income units, well in excess of the 108 units required. Therefore, the City has more than adequate sites to accommodate the City's share of the regional housing need for lower income housing.

**5. CONDITIONS**

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

**A. Community Development Department Conditions:**

- I. The Applicant shall pay required Public Facilities Fees and Park Fees for the net increase of 62 units prior to building permit issuance, as established by SBMC Section 17.72.020 and Resolution 1987-36.
- II. The Applicant shall pay the required Public Art Fee for the net increase of 62 units prior to building permit issuance. If the proposed public art is approved by the Council and installed according to the approved plan, the Public Art Fee can be refunded at the building final inspection.
- III. The Mitigation Monitoring and Reporting Program (MMRP) prepared for the proposed project is hereby adopted and made a condition of approval of the proposed project.

- IV. Construction of the project shall be in a single-phase as evaluated by Alternative 7 in the EIR.
- V. The Applicant has agreed to hold quarterly pre-construction meetings with St. James Catholic Community from the time plans are submitted to the City for either a grading or building permit. Monthly meetings with St. James Catholic Community shall occur after issuance of either a grading or building permit by the City, until the project is complete.
- VI. Prior to issuance of any demolition or grading permit, the Applicant shall establish a "Complaint Response Program" (CRP) subject to the approval of the City Manager. As part of the construction CRP, the Applicant shall designate a "Construction Liaison" who will be responsible for notifying the City and responding to any local complaints about construction activities and institute reasonable measures, approved by the City Manager, to correct the problem within 48 hours after receiving a complaint. The CRP shall require that all property owners, residents and business owners within five hundred (500) feet of the construction site be provided contact information for the Construction Liaison to use to communicate complaints and/or concerns. The notification shall also describe the activities anticipated, provide dates and hours, and provide contact information with a description of a complaint and response procedure.
- VII. Building Permit plans must be in substantial conformance with the plans presented to the City Council on December 5, 2018 and December 17, 2018 and located in the project file dated October 2018.
- VIII. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the maximum building height of the structure does not exceed 149.5 above Mean Sea Level (MSL), measured at Story Pole #39 and 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 as measured from the lower of the existing or proposed grade, and is in conformance with the plans as approved by the City Council on December 17, 2018 and the certified story pole plot plan and certifying the maximum building height of all framing and structures do not exceed the heights referred to herein and in the Project plans.
- IX. BUILDING PAD ELEVATIONS.

The elevation (based on Mean Sea Level ("MSL") elevation) of the building pad for each building set forth on the Preliminary Grading Plan (Sheet G 2.1 dated 6/19/2018) (the "Grading Plan") which is part of the Plans submitted by the Applicant to the City dated June 27, 2018 and revised October 24, 2018 in connection with the application for the Development Review Permit and Structure Development Permit for this

Project (the "Initial Project Plans") shall not be increased above the MSL elevation set forth on the Grading Plan.

X. BUILDING HEIGHTS.

- a. Finished Building Heights. The maximum finished height of all buildings and structures of the Project shall not exceed the maximum finished heights set forth on the Initial Project Plans and the modification thereto for Building #12 (lowers the finished height), Building #13 (lowers the finished height), and Building #10 (expands the building envelope without increasing the finished height) submitted by the Applicant to the City and presented to the View Assessment Commission on October 16, 2018 and November 20, 2018 concerning the Structure Development Permit for the Project (the "Modifications to Project Plans") to address the applications for View Assessment filed for the Project. The maximum finished heights include but are not limited to installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning equipment) and related screening of each roof or roof section. The "Initial Project Plans" and "Modifications to Project Plans" are collectively referred to as the "Project Plans"
  - i. The Applicant shall reduce Building 13 maximum height by six (6) inches from the revised story pole plan elevation submitted October 2, 2018. The maximum building elevation for Building 13 shall be 134.9 MSL. The manner in which this height reduction is achieved shall be at the discretion of the Applicant.
- b. Confirmation of Building Heights Before Framing Inspection. Within sixteen (16) months after the City Council's approval of the Development Review Permit for this Project (as conditioned by the City Council), but no later than March 1, 2020, the Applicant shall prepare and submit to the City Manager a chart in the form and content acceptable to the City Manager which at a minimum sets forth the following information for each roof or roof section of each building or structure in the Project:
  - (i) The building number for each building as set forth on the Preliminary Grading Plan (or identify the structure if no number) and the height of those story poles and the height of the ridge(s) of each roof and roof section of each building or structure and the applicable story pole number for each roof ridge;
  - (ii) The maximum height based on Mean Sea Level (MSL) elevation of the completed framing for each ridge of each roof and roof section of each building or structure before installation of anything

on the rough framing, including installation of roofing materials or other materials or equipment; and

- (iii) The maximum finished height based on Mean Sea Level (MSL) elevation for each ridge of each roof and roof section of each building or structure after installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning mechanical equipment) and related screening of each roof and roof section.

The foregoing maximum heights shall be consistent with the maximum finished heights set forth in the Project Plans.

- c. Roof Slopes. The slopes of the roofs shall not be decreased or increased.

#### XI. ROOF DECKS.

- a. Second Floor Level and Third Floor Level Decks. There shall not be any deck on the roof of any building, including on the roof of a one-floor building, two-floor building, or three-floor building.

#### XII. EXTERIOR MATERIALS.

- a. Materials Approved. When constructing the buildings in the Project, the Applicant shall use exterior materials that are of the same type and design and have the same appearance, finish, and architectural design significance and are substantially the same or better quality as the exterior materials shown in the plans, illustrations, photographs, photo and electronic simulations, renderings, and other visual and graphic images submitted by the Applicant to the City Council to obtain approval of this Project. The Project, including the affordable senior housing units, shall be constructed with the same design type and same or better quality materials as shown on such visual and graphic images.
- b. Materials Sample Board. Within one (1) year after City Council's conditional approval of the Development Review Permit for this Project, The Applicant shall prepare and submit for approval by the City Manager a sample board of materials that provides samples of the exterior materials in compliance with the requirements set forth in subsection (a) above and identifies the manufacturer, model, and other product information for each exterior material for the Project.

- XIII. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption

as determined necessary by the CCC, prior to the issuance of a grading or building permit by the City.

- XIV. The Applicant will be required to provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to building permit issuance, which will be reviewed and inspected by the City's third-party landscape professional, subject to the requirements of Condition XXIII.
- XV. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into proposed landscaping to the extent feasible.
- XVI. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC Section 17.60.060.
- XVII. The Applicant shall notify and/or remind all tenants of the street sweeping days on Nardo Avenue.
- XVIII. PARKING.

- a. Addition of Parking Spaces on Lot B. The Applicant has proposed a total of five hundred twenty-five (525) total parking spaces for the Project allocated as follows: 488 spaces for Lot A; and 37 spaces for Lot B. The Applicant has subsequently agreed to add six (6) additional parking spaces on Lot B for a total of 43 spaces on Lot B. The six (6) additional spaces shall be added at the north side of the proposed parking area for Lot B. The six (6) additional parking spaces shall be designated as "visitor" parking.
- b. Quantity of Parking Spaces for the Project. All references to "parking spaces" mean parking for cars and trucks, not motorcycles. The Applicant has proposed a total of 525 parking spaces for the Project. With the six (6) additional visitor parking spaces for Lot B as provided in Subsection (a) above, the Project and Project Plans shall provide a total of five hundred thirty-one (531) parking spaces (a cumulative total for tenants and visitors) for the Project (includes Lot A [market rate apartments] and Lot B [affordable senior apartments]). All parking spaces shall be in compliance with the City's Off-Street Parking Manual.

The zoning applicable to the Project based on the type of apartments (e.g., amount of bedrooms in each apartment) and quantity of apartments in the Project requires a total of 494 parking spaces (this is the total for both tenants and visitors, and includes ADA parking spaces). The Project shall provide a total of 531 parking spaces. Thus, in order for the Applicant to provide 531 parking spaces, the

Project and Project Plans shall provide the 494 parking spaces required by zoning plus an additional 37 extra parking spaces.

The 531 parking spaces are allocated as follows:

- (i) 488 Lot A; and
- (ii) 43 Lot B.

- 1) **LOT A.** There shall be a total of four hundred eighty-eight (488) parking spaces on Lot A, and these parking spaces shall be allocated as follows:

There will be a maximum of 343 reserved parking spaces available for tenants, at least 88 unreserved parking spaces available for tenants, and 57 visitor parking spaces. Thus, the 488 parking spaces are allocated as follows:

343 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

88 minimum unreserved parking spaces for tenants

57 visitor parking spaces (228 apartments = 57 visitor spaces)

=488 total parking spaces on Lot A

- 2) **LOT B.** There shall be a total of forty-three (43) parking spaces on Lot B, and these parking spaces shall be allocated as follows:

There will be a maximum of 37 reserved parking spaces available for tenants, no unreserved parking spaces for tenants, and 6 visitor parking spaces. Thus, the 43 parking spaces are allocated as follows:

37 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

0 minimum reserved parking spaces for tenants

6 visitor parking spaces

=43 total parking spaces on Lot B



- c. Reserved Parking Spaces for Tenants. The Applicant shall assign reserved parking spaces for tenants of the Project as provided herein. However, the Applicant shall not reserve for or assign to any tenant more reserved parking spaces than as follows: 1 parking space for a studio apartment; 1 parking space for a one bedroom apartment; and 2 parking spaces for a two bedroom apartment. The Applicant shall not reserve any "visitor" parking spaces on the Project.

The Applicant shall prepare a written parking plan (the "**Parking Plan**") and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the Parking Plan to the City Manager on or before March 1, 2020 for approval thereafter by the City Council.

With regard to the parking spaces on Lot A, the Applicant shall assign one (1) garage parking space to each apartment (to the extent there are sufficient quantity of garages, noting there are more apartments than garages) for the exclusive use of that apartment so that all garage parking spaces on Lot A are assigned to specific apartments. After assigning all garage parking spaces to specific apartments, then the Applicant shall assign one (1) covered carport parking space to each apartment that does not have a garage parking space assigned to the apartment (to the extent there are sufficient quantity of carport parking spaces, noting that there are more apartments than garages and carport parking spaces combined). After all garage parking spaces and carport parking spaces have been assigned to apartments, then the Applicant shall assign one (1) uncovered parking space to each of the remaining apartments that do not have a garage or carport parking space assigned to that apartment. In addition, if an apartment is a two-bedroom apartment, then the second reserved parking space assigned to a two bedroom apartment will be an uncovered parking space.

The garages that are located in the building where the apartment is located will be assigned first to the apartments located in that same building and then to the apartments located closest thereto. The same principal will be used to assign reserved carport parking spaces and reserved uncovered parking spaces.

The apartment and the garage and/or covered carport parking space and/or uncovered parking space(s) assigned to each specific apartment for the exclusive reserved use of the tenant of that

apartment shall constitute a single premises for the purpose of the rental of that apartment.

Tenants who have apartments with assigned reserved parking space(s) (either garage, carport, and/or uncovered parking space) shall be required by their lease to park in their assigned reserved parking spaces and not in the unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and/or towing for violations.

For the purpose of example and not for limitation, if the tenant of a two bedroom apartment consists of two occupants with two vehicles and the tenant's apartment has a reserved garage parking space and a reserved uncovered parking space assigned to the tenant's two bedroom apartment, then the tenant shall park in the garage and reserved uncovered parking space and shall not park in an unreserved parking space. However, if there are three occupants of the two bedroom apartment and the assigned garage and reserved uncovered parking spaces are being used by two of the occupants, then the third occupant will park in an unreserved uncovered parking space.

The purpose of the requirements herein are to have each garage and covered carport parking space assigned to a specific apartment to ensure that all garages and covered carport parking spaces in the Project will be used for parking before the unreserved tenant parking spaces are used, thereby making available to tenants of the Project as many unreserved uncovered parking spaces as possible for the shared use of all tenants of the Project. With parking spaces available in the Project, tenants are discouraged from parking off site in the neighborhood surrounding the Project.

- 1) Request by the Applicant for Conversion of Unreserved Parking Spaces to become Reserved Parking Spaces on Lot A. The existing development on the Property that will be demolished to construct the Project does not have sufficient parking spaces for the tenants and visitors of the Property. Consequently, many tenants and visitors to the Property park on the streets in the neighborhood near the Property. This has caused a shortage of parking in the neighborhood and other negative impacts.

The Applicant has represented to the residents of the neighborhood and area near the Property and the City Council that the 531 parking spaces to be provided by the Project will provide a sufficient quantity of parking spaces for tenants and

visitors of the Project so that they can park on the Property, not on the streets of the surrounding neighborhood. However, if the Applicant wants to increase the amount of uncovered reserved parking spaces on Lot A by converting some of the “unreserved” uncovered parking spaces to become “reserved” uncovered parking spaces (Applicant shall not increase the amount of reserved parking spaces on Lot B), then the Applicant may request approval from the City Council to convert up to thirty-one (31) of the eighty-eight (88) total unreserved uncovered parking spaces to become reserved uncovered parking spaces.

In addition to the foregoing, the opportunity for the Applicant to request modification of the Parking Plan as provided herein shall include the opportunity for the Applicant to request modification of the allocation of reserved and unreserved parking spaces for tenants of the Project and consideration of other issues concerning the management of tenant and visitor parking for the Project in order to achieve the goal of preventing tenants and visitors of the Project from parking on South Nardo Avenue and on the streets in the surrounding neighborhoods.

In connection with the Applicant’s request, the Applicant shall submit a proposed modified Parking Plan which identifies and changes such unreserved uncovered parking spaces to become reserved uncovered parking spaces (the “**Modified Parking Plan**”) to the City Council for approval. The Modified Parking Plan shall be accompanied by documentary analysis, data, and information which establish and demonstrate that the the Applicant’s proposed Modified Parking Plan will not cause, encourage, or otherwise result in tenants or visitors of the Project parking on the streets in the neighborhood adjacent to the Project and will eliminate and prevent on-street parking by tenants and visitors. The goal and actual effect of any Modified Parking Plan shall be to have all tenants and visitors of the Project park in the Project, not on nearby streets, and eliminate or prevent their on-street parking and the reasons or incentives for tenants and visitors to park on the streets. The Modified Parking Plan shall demonstrate that it will achieve this goal and produce the actual desired result and thereafter it shall actually achieve this goal.

If the Applicant elects to request an increase in the amount of reserved uncovered parking spaces by converting unreserved uncovered parking spaces as provided herein, then the Applicant shall submit the Modified Parking Plan and supporting analysis and documents required herein to the City Manager on or before

March 1, 2020 for consideration and approval thereafter by the City Council.

- d. **Unreserved Parking Spaces for Tenants.** All unreserved parking spaces shall remain open for parking by all tenants of the Project who do not have a reserved parking space for their use as provided herein. The leases for tenants shall provide that tenants shall use their reserved parking spaces first before using any unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- e. **Visitor Parking Spaces.** The visitor parking spaces shall be marked with signage as "visitor parking." The size, design, and location of signage for visitor parking shall be in compliance with the City's Off-Street Parking Manual and approved by City Manager. The visitor parking spaces shall be distributed evenly throughout the Project as approved by City Manager. The Applicant shall not reserve any "visitor" parking spaces on the Project.
- f. **Tenants Shall Not Park in Visitor Parking Spaces.** Tenants shall not be permitted to park in visitor parking spaces. The leases for tenants of the Project shall provide that tenants shall not park in parking spaces with signage stating the space is "visitor" parking. Notwithstanding the foregoing, tenants may park in visitor parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- g. **No Charge for Parking.** There shall not be any charge or fee to park in the Project, whether for any tenant of the Project (reserved or unreserved parking spaces) or their respective invitees, guests, and visitors. There shall not be any charge or fee for any parking spaces for tenants (reserved or unreserved), whether the parking spaces are provided as required by zoning or not, any parking spaces for visitors, and for any parking spaces constructed in the Project that exceed the total amount of spaces required by zoning.

The foregoing prohibition against the Applicant charging for any parking spaces in the Project shall not apply to the Applicant charging a higher rent for each apartment that includes exclusive reserved use of a specific identified garage and/or covered carport parking space assigned to that specific apartment for the exclusive use of that apartment. However, in order to permit this exemption

from the prohibition against charging for parking spaces, each garage and uncovered carport parking space in the Project shall be assigned to a specifically identified apartment for the exclusive use of that apartment, with one garage or covered carport parking space assigned to each apartment as provided in Subsection (c) above. The garage parking spaces and covered carport parking spaces shall be assigned to the extent of the quantity of garages and covered carport parking spaces in the Project (i.e., there are more apartments than garages and carport parking spaces).

- h. Access to Parking. There shall not be any gate, barrier, or other restriction to access any driveway/vehicle access to the Project.
  - i. No Assignment to Third Party. No parking spaces in the Project shall be assigned, sold, conveyed, transferred to any third party owner or otherwise reserved for any tenant beyond the amount of parking spaces allocated to the tenant's type of apartment as provided herein.
  - j. Garages Shall be Used for Parking. All leases and rental agreements for tenants or occupants of the Project shall provide that garages and covered parking spaces in carports shall be used for vehicle parking and incidental storage of personal property. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties for violations.
  - k. All garages shall be pre-wired for electric vehicle charging as identified in exhibit provided to City Council on December 17, 2018
  - l. A minimum of 15 electric vehicle (EV) charging stations shall be installed consistent with the exhibit provided by City Council on December 17, 2018. Tenants shall not be permitted to park in EV parking spaces unless used for charging purposes. The leases for tenants of the Project shall provide that tenants shall not park in EV parking spaces with signage stating the space is "EV" parking. Notwithstanding the foregoing, tenants may park in EV parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- XIX. Fifty-seven (57) guest parking spaces shall be marked as permanent guest spaces and may not be assigned or reserved for any tenant, occupant or employee.

XX. A Parking Management Plan, as approved by the City Council, shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.

XXI. ACCESS TO THE PROJECT.

There shall not be more than three (3) driveway/vehicle entrances to the Project. No gate, barrier, or other restriction to access shall be installed or maintained at any driveway/vehicle entrance or exit to the Project.

The following two driveway entrance/exits shall provide for "right turn only" signage and barriers as approved by the Fire Department to prevent left turn exits. Thus, all exiting vehicles from these two driveways will travel toward Stevens Avenue and/or to the south:

a. Westerly Entrance/Exit on South Nardo Avenue.

b. Easterly Entrance/Exit on Stevens Avenue for Building #25 (Affordable Senior Apartments).

XXII. Residents of the Senior Affordable building (Building 25) and their guests shall receive guest access privileges to the pool and recreation area upon their request subject to the standard rules and regulations

XXIII. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.

XXIV. If nesting sensitive birds are detected at any time during the breeding season, the California Department of Fish and Wildlife shall be notified and an appropriate disturbance set-back will be determined and imposed until the young-of-the-year are no longer reliant upon the nest. The set-back or buffer shall be no less than 100 feet. CDFW shall be notified in nesting sensitive birds are detected at the project site or in the immediate surrounding area during the breeding season. An appropriate set-back or buffer shall be determined by the qualified project biologist.

XXV. The proposed preliminary Landscape Concept Plan includes the use of indigenous and/or drought-tolerant plant material, where feasible. No invasive or potentially invasive species would be used. The City Council shall review and approve the applicant's Landscape Concept Plan and confirm inclusion of drought-tolerant plant material, subject to the provisions of Condition XXIII.

XXVI. LANDSCAPE PLAN.

The Applicant has submitted to the City Council a Preliminary Conceptual Landscape Plan (Sheet L-0.1) (the "Preliminary Conceptual Landscape Plan") which is part of the Project Plans for consideration by the City Council concerning the Development Review Permit for the Project. Subject to approval of the Preliminary Conceptual Landscape Plan by the City Council, the Applicant shall submit a Final Conceptual Landscape Plan to the City on or about March 1, 2019 so that the Final Conceptual Landscape Plan may be considered for approval by the City Council at a regularly scheduled City Council thereafter. Within sixteen (16) months after the City Council approves the Final Conceptual Landscape Plan (but no later than March 1, 2020), the Applicant shall submit a Final Landscape Plan to the City Council for consideration and approval. The City shall not issue any permits for demolition, grading, or construction of the Project until the City Council approves the Final Landscape Plan.

The City Council's approval of the Preliminary Conceptual Landscape Plan is made on the condition that Applicant will work to modify and improve the plan to address the concerns of residents and the City Council and submit a Final Conceptual Landscape Plan for consideration and approval by the City Council as provided herein. The City Council's subsequent consideration of the Final Conceptual Landscape Plan will allow the Applicant the opportunity to refine and modify the Preliminary Conceptual Landscape Plan to address concerns of residents and the City Council. The Preliminary Conceptual Landscape Plan and the Final Conceptual Landscape Plan shall be collectively referred to as the "Landscape Plan."

The Landscape Plan shall comply with the following requirements:

- a. Mix. The mix of trees shall be at least 70% or more evergreen and no more than 30% deciduous.
- b. Quantity. At a minimum, the quantity of trees and other vegetation shown on the Landscape Plan shall be maintained. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.
- c. Quality. Trees and other vegetation shall be the same or better architectural significance and design value (as these terms are customarily used by landscape design professionals from time to time during the life of this Project) and quality as shown on the Landscape Plan.
- d. Requirement to Maintain Landscape Trees and Vegetation. The Applicant shall maintain the landscape buffer areas with trees and vegetation that have a level of architectural significance and design

value and quality that is substantially the same or better than as shown on the Landscape Plan. Such trees and other vegetation shall not be removed unless concurrently replaced.

- e. Removal and Replacement. Trees and other vegetation shall not be removed without concurrently replacing same. When replacing trees and other vegetation, the Applicant shall maintain the same or better level of architectural significance, design value and quality shown on the Landscape Plan. Also, when replacing trees, the Applicant shall replace with equal or larger size of the trees as indicated in the Landscape Plan.
- f. Final Landscape Plan. Subject to approval of the "Preliminary Conceptual Landscape Plan" and the "Final Conceptual Landscape Plan" by the City Council, the Applicant shall submit the "Final Landscape Plan" for consideration and approval by the City Council. Selection of the species of trees (including the height of trees at maturity) and placement of the trees throughout the Project, including in all landscape buffer areas, for the Final Landscape Plan shall consider and mitigate potential for blocking views of residences located on South Nardo Avenue that filed view claims concerning this Project.
  - (i) Landscaping and tree heights shall be specifically addressed as part of the Final Landscape Plan and shall demonstrate that, at maturity, trees and landscape shall not exceed the height of Building 12 within the view corridor between Buildings 2 and 3, Buildings 11 and 12 and Buildings 13, 14 and 17.

## XXVII. LANDSCAPE BUFFER AREAS.

- a. Landscape Buffer Areas. The "landscape buffer area" means the area between the facades of the buildings in the Project that are located along the boundary line of the Property and the adjacent boundary line of the Property or the edge of the sidewalk at a public street that is closest to the building facades, whichever is closer to the building facades. Where there is a parking area along the perimeter of the Project, the Landscape buffer area is the area between the boundary line of the Property or the edge of the sidewalk at a public street that is closest to the parking area and the edge of the paved parking area. However, at various locations along the perimeter of the Project on the south and west sides of the Project there is no sidewalk, and the landscape buffer areas consists of the area between the building facades (or edge of the paved parking area) and the boundary line of the Property.



There is a landscape buffer area around the entire perimeter of the Project, except at the three locations where a driveway crosses the landscape buffer area. The landscape buffer areas are provided by the placement of the buildings and structures set back from the property boundary lines as depicted on the Project Plans, including the Site Plan (Sheet O-1.1) and Preliminary Conceptual Landscape Plan (Sheet L-0.1) that are part of the Project Plans.

The landscape buffer areas are shown on the Project Plans, including the Site Plan and Preliminary Grading Plan therein. The landscape buffer area shall be increased as described herein and specifically depicted and identified on the Site Plan (Sheet O-1.1) and the Landscape Plan that are part of the Project Plans.

The landscape buffer areas shall be planted with trees and other vegetation as provided herein to screen the Project from the public streets, adjoining properties, and other properties in the area of the Project. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.

- b. Modify Landscape Buffer Areas. The minimum width of the landscape buffer areas between Building #25 and the parking area located east of Building #25 and the property to the south, and at Building #6 shall be expanded as follows:
  - (i) Building #25 - a minimum twenty-five (25) feet wide;
  - (ii) Parking area east of Building #25 – twenty (20) feet wide;
  - (iii) Remove hardscape improvements in Landscape Buffer area on north side of Building #6.
- c. Requirement to Maintain Minimum Size of Landscape Buffer Areas. The dimensions (i.e., distance east to west, and north to south) and useable area of the landscape buffer areas as set forth herein shall be maintained and shall not be reduced. No portion of any landscape buffer area shall be converted to patios, decks, walkways, driveways, or other non-landscape uses, except as provided in subsection (d) below entitled “Exceptions to Landscape Buffer Area.”
- d. Exceptions to Landscape Buffer Area. Except as expressly permitted herein, no patios, decks, walkways, seating, or other hardscape improvements, or other non-landscape uses are permitted in any of the landscape buffer areas referenced herein:

- (i) Two Driveways Along South Nardo Avenue and One Driveway on Stevens Avenue. There shall not be more than three (3) driveways/vehicle entrances to the Project. There are two driveways that provide access to the Project along South Nardo Avenue and one driveway on Stevens Avenue that serves Building #25; and
  - (ii) Walkways in the Landscape Buffer Areas Next to and Along the Building Facades. Allow one walkway in the landscape buffer areas next to the building facades. These walkways are shown on the Preliminary Grading Plan. These walkways provide access to the apartments in these residential apartment buildings. These walkways shall not be wider than four (4) feet, including any built-in benches, seating, planters, or other improvements associated with or concerning the walkway.
- e. Pocket Park on South Nardo Avenue. There shall be an open space park area located along and contiguous with South Nardo Avenue between Building #2 and Building #4 as identified on the Preliminary Grading Plan. The minimum dimensions of the area of the park are fifty-three (53) lineal feet measured generally from north to south (approximately perpendicular to South Nardo Avenue) and ninety-five (95) lineal feet measured generally from east to west. This open space area will be used as a park for residents and visitors of the Project. The entire area of this park area will be landscaped with grass and other vegetation as set forth on the Landscape Plan that provide at least ninety percent (90%) coverage of the area. There shall not be any hardscaped area or other improvements constructed or installed within this park area, except the area for installation of a small patio and barbeque, not to exceed a total of two hundred (200) square feet, at the location(s) shown on the Project Plans.

#### XXVIII. PERIMETER FENCE.

No fence or wall shall be installed along or within the landscape buffer areas that are contiguous with the property boundary line of the Project that is contiguous with South Nardo Avenue (i.e., the north side and east side of the Project) and Stevens Avenue (i.e., the east side of the Project). The Applicant shall install a fence along the southerly side of the Project (contiguous with the Turfwood Project) of a height, material, and design that is described in the design concept set forth below.

The design concept for this fence is as follows: six (6) foot tall black anodized aluminum metal fence consisting of approximately 1" square tube spaced pickets, double rail, with pressed spear tops, and capped 4" square posts every 8 to 10 feet. This fence will look like traditional

wrought iron fencing and will be consistent with the existing metal fence located along Turfwood Lane.

XXIX. RESIDENTIAL APARTMENT BUILDING.

Long Term Rentals. Applicant has applied to the City to construct residential rental apartments that will be offered for rent on a long term basis. Therefore, the residential apartments shall be rented on a month-to-month or longer term basis and shall not be rented for a term that is less than thirty days. The apartments shall not be rented for short term vacation rentals that have a term less than thirty days. In addition, no tenant or occupant of any residential apartment shall assign or sublease the apartment for a term of less than thirty days or allow short term vacation rental uses. This restriction on assignment and subletting shall be included in all leases and rental agreements for the apartments.

XXX. All "Useable Open Space" shall be accessible to residents of the Project. Plans shall be modified to demonstrate access to the "Useable Open Space" between Buildings 16, 20 and 23, referred to as the Bio-Retention Basin. There shall be at least two (2) points of access to the Bio-Retention Basin.

XXXI. The Applicant shall make every reasonable commercial effort to preserve the acacia bush/tree near the southwest portion of the site, south of Building 15, during development of the project. If the acacia bush/tree is to be removed, the replacement landscaping shall be of equal or larger size landscaping that will maintain the same or better level of screening, architectural significance, design value, and quality shown on the Landscape Plan.

XXXII. Per Solana Beach Municipal Code (SBMC) Section 17.20.040(J), the proposed project is required to meet a minimum of 250 square feet per unit of usable open space. Therefore, 260 units would require a minimum of 65,000 square feet of usable open space. As shown in Draft EIR Figure 2-6, the project would provide 65,065 square feet of usable open space (250 square feet per unit). The City shall review final project site plans to confirm the incorporation of required useable open space.

XXXIII. In addition to the measures that are part of Title 24, the project would include the following energy-efficiency measures in its design:

- (1) Electric vehicle charging stations for residents and guests
- (2) Photovoltaic panels
- (3) Low water use appliances, in-home fixtures, and irrigation

- (4) Low VOC (volatile organic compound) paints
- (5) Community recycling program
- (6) Energy Star appliances
- (7) Energy-efficient LED lighting, appliance, and heating, ventilation, and air conditioning (HVAC) design
- (8) Pool with solar heating
- (9) Building insulation elements installed under the inspection of the Home Energy Rating System (HERS) rating agency
- (10) Drought-tolerant landscaping
- (11) Possible reclaimed water use for irrigation
- (12) Walking paths and bicycle lockers to promote more sustainable lifestyles for residents, employees, and guests. The applicant shall incorporate the identified and approved energy-efficiency measures into project design.

XXXIV. Construction shall only occur between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday, and between the hours of 8:00 a.m. and 7:00 p.m. on Saturday. Construction activities shall not occur on Sunday or holidays. Demolition and rough grading activities shall not occur on Saturdays.

XXXV. All of the conditions of this project are continuing conditions. Failure of the Applicant to comply with any or all of said conditions at any time may result in the revocation of the permits granted for the development and use of the property.

XXXVI. The City may elect to acquire beach grade material from the project, up to a maximum of 150,000 cubic yards per the City's SCoup regulatory permits, at a market-rate value as determined by estimates of the price of comparable material, from a local supplier as delivered to Fletcher Cove, and at a maximum cost based on funding availability in the Beach Sand Mitigation Fund held in trust for the City by SANDAG. The Applicant shall be responsible for transporting the material to the beach.

XXXVII. Any project plan sheets that were not updated from the original submittal shall be corrected to be consistent with the site plan reviewed and approved by City Council. Revised plans shall be submitted to the Community Development Department to the Director's satisfaction prior to plan check submittal.

XXXVIII. Prior to the issuance of building permits, the project Applicant shall demonstrate to the City Manager that the project has an agreement in place to purchase 100 percent green power (electricity) from the City's Community Choice Aggregation (CCA) program, Solana Energy Alliance (SEA) "SEA Green" product, or, if this program is not in place, any successor CCA program or the San Diego Gas & Electric EcoChoice program. All house meter electricity accounts and all future residential tenant agreements for the proposed project shall encourage that all tenants opt in to either the City's SEA Green program (100 percent renewable power) or, if this program is not in place, any equivalent SEA successor program, or the San Diego Gas & Electric EcoChoice program. If the EcoChoice program is the only option, proof of enrollment in the EcoChoice program shall be provided to the City prior to obtaining building permits.

XXXIX. At least ten (10) working days prior to demolition or removal of existing on-site structures, the project Applicant shall submit an Asbestos Removal, Renovation, and Demolition Operations Notice of Intentions to the County of San Diego Air Pollution Control District. The Notice of Intentions must include:

- (1) The name and company of the person completing the notification form.
- (2) The type of notice (i.e., whether the notice is an original notification, a revision to an existing notification, including the type of revision, or a cancellation of an existing notification).
- (3) Type of operation (i.e., whether the operation(s) is a renovation, demolition, emergency renovation, emergency demolition, or planned renovation).
- (4) The facility name, address, building number, suite number, room number, city, state, and zip code.
- (5) The facility owner's name, address, city, state, zip code, contact person and title, and phone number.
- (6) The removal contractor's name, address, city, state, zip code, contractor's license number, contact person and title, and phone number.
- (7) The demolition contractor's name, address, city, state, zip code, contractor's license number, contact person and title, and phone number.

- (8) A description of the facility, including the number of floors, the number of dwelling units, age of the facility, and the past and present use of the facility.
- (9) Scheduled start and completion dates of renovation operations and/or of demolition operations.
- (10) The work practices, equipment, and engineering controls to be used in demolition operations.
- (11) Description of procedures to be followed in the event that unexpected regulated asbestos-containing material (RACM) is found or any Category I Nonfriable asbestos-containing material (ACM) or Category II Nonfriable ACM becomes crumbled, pulverized, broken into smaller pieces, or reduced to powder.
- (12) The name, address, city, state, zip code, contact person and title, and phone number of the waste transporter for all demolition debris containing no asbestos.
- (13) A certification that at least one person trained in accordance with San Diego Air Pollution Control District Regulation XII, District Rule No. 1206 Subsection (f)(8) will supervise the stripping and removal described by this notification.
- (14) Information about the individual conducting the facility survey including: name, company, title, mailing address and phone number, and the certification number for the Environmental Protection Agency (EPA) approved Building Inspector Course passed by the individual.
- (15) The condition of each ACM identified by the facility survey to be removed, stripped, or disturbed, or a statement that no ACM to be disturbed by renovation or demolition operations has been identified at the facility.
- (16) The procedure(s), including analytical methods, used to detect the presence of RACM, Category I Nonfriable ACM, and Category II Nonfriable ACM.
- (17) For all ACM to be removed, stripped, or disturbed, the categorization of each material containing more than one percent asbestos as friable ACM, Category I Nonfriable ACM, or Category II Nonfriable ACM.
- (18) A description of the facility components containing ACM to be removed, stripped, or disturbed.

- (19) An estimate for the total amount of ACM to be removed, stripped, or disturbed from the facility including the surface area in square feet of other facility components, or volume in cubic feet if square footage cannot be established in the course of renovation or demolition operations regulated by this rule.
- (20) The specific work practices, equipment, and engineering controls that will be used to remove each ACM.
- (21) The name, address, city, state, zip code, contact person and title, and phone number of the waste transporter for all ACWM.
- (22) The name, address, city, state, zip code, and phone number of the waste disposal site for all ACWM.
- (23) In addition, a copy of the Asbestos Survey must be maintained on site for the duration of the project.

## **B. Affordable Housing Conditions**

- I. The Affordable Housing Agreement shall be executed and recorded against the entire property prior to the recordation of any parcel map or final subdivision map or issuance of building permits for the project, whichever occurs first.
- II. The affordable housing agreement and other required agreements shall be prepared by the City at the Applicant's expense.
- III. As proposed by the Applicant, and to comply with the provisions of the City's Affordable Housing Ordinance (SBMC Chapter 17.70) and density bonus law (Government Code Section 65915 and SBMC Section 17.20.050), the project shall provide 32 Affordable Senior Units that are affordable to lower income households (as defined in Section 50079.5 of the Health & Safety Code) at affordable rent (as defined in Section 50053 of the Health & Safety Code) for a 55-year period.
- IV. Construction of Affordable Senior Units. The Affordable Senior Units shall be constructed concurrently with construction of the Market Rate Units. To ensure concurrent construction, the City shall not issue a building permit for the 115th Market Rate Unit until it has issued a building permit for the 32nd Affordable Senior Unit, and the City shall not issue a certificate of occupancy or approve a final inspection for the 115th Market Rate Unit until it has issued a certificate of occupancy or approved a final inspection for the 32nd Affordable Senior Unit.
- V. Senior Housing Characteristics. The design of the Affordable Senior Units shall include all of the elements required by Civil Code Section

51.2(d) or successor provision. The Affordable Senior Units shall be inspected by the City prior to occupancy to determine that they meet the construction and other standards required by this Agreement and by State law.

- VI. Appearance. The design, appearance, and general quality of the Affordable Senior Units shall be compatible with those of the Market Rate Units and consistent with the designs of the Market Rate Units.
- VII. Amenities for Affordable Senior Units. The Applicant shall provide a furnished common indoor meeting space of at least one thousand (1,000) square feet for residents of the Affordable Senior Units and landscaped outdoor open space and recreation space of at least eight thousand (8,000) square feet adjacent to the Affordable Senior Units, as shown in the plans included in the City Approvals. Tenants of the Affordable Senior Units shall have access to the meeting space and outdoor space at no additional cost.
- VIII. Fee Waiver. The City hereby grants a fee waiver in a total amount of \$500,000. Prior to issuance of any grading, demolition, building, or other construction permit for the project, the City shall specify which fees shall be waived.
- IX. Indemnity for Fee Waiver. The City has granted a fee waiver in the amount of \$500,000 under the Affordable Housing Ordinance with the intention that any financial assistance provided by the City through the fee waiver or by other means meets the exception set forth in Labor Code Sections 1720(c)(3) (a public subsidy that is de minimis in the context of the project) and Section 1720(c)(1) (private residential projects) to the general requirement that state prevailing wages be paid in connection with construction work that is paid for in whole or in part out of public funds. However, to the extent other funding sources or a future court or the Department of Industrial Relations determination require the payment of prevailing wages on the Project under the Labor Code, then Owner shall comply with the prevailing wage requirements attached to these conditions (Contingent Prevailing Wage Requirements). Owner shall indemnify, hold harmless and defend (with counsel reasonably selected by the City), to the extent not prohibited by applicable law, the City, its councilmembers, commissioners, officials, employees and agents, against any claim for damages, compensation, fines, penalties or other amounts arising out of the failure or alleged failure of any person or entity (including the Owner, or its contractors or subcontractors) to pay prevailing wages as determined pursuant to Labor Code Sections 1720 et seq., to hire apprentices in accordance with Labor Code Sections 1777.5 et seq., or to comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5



et seq., 1810-1815 and the implementing regulations of the DIR in connection with the work performed in connection with the project. *[See Contingent Prevailing Wage Requirements below.]*

#### X. CONTINGENT PREVAILING WAGE REQUIREMENTS

To the extent other funding sources or a future court or the Department of Industrial Relations (the "DIR") determination require the payment of prevailing wages on the Project under the Labor Code, the following shall apply:

- (1) In accordance with Labor Code Sections 1725.5 and 1771.1, the Owner shall and shall cause its contractors and subcontractors to pay prevailing wages in the construction of the Project as those wages are determined pursuant to Labor Code Sections 1720 et seq. and the implementing regulations of the Department of Industrial Relations (the "DIR"), to employ apprentices as required by Labor Code Sections 1777.5 et seq., and the implementing regulations of the DIR and comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1777.5 et seq., and implementing regulations of the DIR.
- (2) All calls for bids, bidding materials and the construction contract documents for the Project must specify that:
  - (a) No contractor or subcontractor may be listed on a bid proposal nor be awarded a contract for the Project unless registered with the DIR pursuant to Labor Code Section 1725.5.
  - (b) The Project is subject to compliance monitoring and enforcement by the DIR.
- (3) The Owner, as the agent of the "awarding body", shall register the Project as required by Labor Code Section 1773.3 as set forth in the DIR's online form PWC-100 "Form PWC-100) within two (2) days after entering into the construction contract and shall continue to update Form PWC-100 within two (2) days after new information becomes available that must be reported on Form PWC-100 (for example, new subcontractor hired).]
- (4) In accordance with Labor Code Sections 1725.5 and 1771.1, the Owner shall require that its contractors and subcontractors be registered with the DIR, and maintain such registration as required by the DIR.
- (5) Pursuant to Labor Code Section 1771.4, the Project is subject to compliance monitoring and enforcement by the DIR. The Owner

shall and shall require its contractor and subcontractors to submit payroll and other records electronically to the DIR pursuant to Labor Code Sections 1771.4 and 1776 et seq., or in such other format as required by the DIR.

- (6) The Owner shall and shall cause its contractors and subcontractors to keep and retain such records as are necessary to determine if prevailing wages have been paid as required pursuant to Labor Code Sections 1720 et seq., and that apprentices have been employed as required by Labor Code Section 1777.5 et seq., and shall, within ten (10) days of request by the City, provide to the City such records and other documentation reasonably requested by the City.
- (7) The Owner shall and shall cause its respective contractors and subcontractors to comply with all other applicable provisions of Labor Code, including without limitation, Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5 et seq., 1810-1815 and implementing regulations of the DIR in connection with construction of the Project or any other work undertaken or in connection with the Property.

Copies of the currently applicable current per diem prevailing wages are available from the DIR website, [www.dir.ca.gov](http://www.dir.ca.gov). The Owner shall cause its respective contractors to post the applicable prevailing rates of per diem wages at the Project site and to post job site notices, in compliance with Title 8 California Code of Regulations 16451(d) or as otherwise as required by the DIR.

### C. Fire Department Conditions

The following are conditions of approval and are based on the Alternate Materials and Methods Request (AMMR) approved and dated March 26, 2018:

- I. **ACCESS ROAD MINIMUM DIMENSIONS:** Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than **two** single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. The hose pull shall be measured by an approved route around the exterior of each building.

- III. The Civil Engineer on record to verify that fire access turn-around, width and grade shall comply with the California Fire Code, local amendments and the ability for Solana Beach fire apparatus to maneuver for emergency responses.
- IV. The minimum unobstructed inside turning radius shall be 28'.
- V. **DEAD ENDS:** All dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. A cul-de-sac shall be provided in residential areas where the access roadway serves more than four (4) structures. The minimum unobstructed paved radius width for a cul-de-sac shall be 36 feet in residential areas with no parking.
- VI. **GRADE:** The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent).
  - (1) The Civil Engineer on record to verify that fire access turn-around, width and grade shall comply with the California Fire Code, local amendments and the ability for Solana Beach fire apparatus to maneuver for emergency responses.
- VII. **FIRE HYDRANTS AND FIRE FLOWS:** The applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets.
  - (1) Fire Flow shall be provided per CFC Appendix B. A maximum reduction in fire flow of is 50 percent with an approved fire sprinkler system.
  - (2) Fire hydrants shall be provided per CFC Appendix C (number, spacing, and type).
- VIII. **GATES:** All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department.

An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.

- IX. **RESPONSE MAPS:** Any new development, which necessitates updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates and shall be charged a reasonable fee for updating all response maps.
- X. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site all of the following conditions shall be completed to the satisfaction of the Fire Department:
- (1) All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency;
  - (2) As a minimum the first lift of asphalt paving shall be in place to provide a permanent all weather surface for emergency vehicles; and
  - (3) Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- XI. **POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”:** Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
- XII. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- XIII. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4” high with a ½” inch stroke width for residential buildings, 8” high with a ½” stroke for commercial and multi-family residential buildings, 12” high with a 1” stroke for industrial buildings. Additional numbers shall be required where

deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

(1) Directories shall provide to identify buildings/addresses.

XIV. **AUTOMATIC FIRE SPRINKLER SYSTEM:** Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department.

(1) NFPA 13 fire sprinkler systems proposed as a mitigation measure shall not be used for area increase or height increase per the approved Alternate Materials & Methods Mitigation.

XV. **CLASS "A" ROOF:** All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

XVI. **WET STANDPIPE SYSTEM:** A Class I or Class III combined wet standpipe system is required. Standpipe system shall be designed and installed per NFPA 14 and Solana Beach Fire Department requirements.

(1) Proposed Class I combined wet standpipe shall be in locations approved by the Fire Department.

XVII. **FIRE ALARM SYSTEM:** A California State Fire Marshal listed fire alarm system is required and shall be designed and installed per NFPA 72, California Fire Code and Solana Beach Fire Department requirements.

XVIII. **SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels):** Solar Photovoltaic systems shall be installed per the California Fire Code and Solana Beach Fire Department requirements.

XIX. **FIRE-RESISTANCE CONSTRUCTION:** Building #16, Building #20 and Building #23 shall be separated by a **firewall** as defined by the California Building Code to create a separate building.

#### D. Engineering Department Conditions:

##### I. GRADING

Obtain a grading permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. If approved by City Council, grading of the project site may be phased pursuant to the phasing as proposed in the development of the project. Conditions prior to the issuance of a grading permit shall include, but not be limited to the following:

(1) The grading plan shall be prepared by a registered engineer and approved by the City Engineer. On-site grading design and

construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.

- (2) A soils report shall be prepared by a registered soil engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- (3) The Structural setback zone, shown on the exhibit included in the "Updated Slope Stability Analysis, Solana Highlands, Solana Beach, California, by Geocon, Inc., dated August 16, 2018, Revised August 28, 2018" should be incorporated into the grading plan. No habitable structures allowed in this zone.
- (4) All drainage should be directed away from the top of the existing and proposed cut slopes between the proposed development and existing properties.
- (5) All recommendations of the Hydrology Report (such as on site detention basins), prepared by Pasco Laret Suiter & Associates, shall be incorporated into the Grading Plan and approved by the City Engineer.
- (6) A storm water detention easement or maintenance agreement shall be recorded for maintenance of the detention basin by the property owner in perpetuity, prior to the occupancy of the first building on this project.
- (7) All retaining walls and drainage structures shall be shown on the grading plans. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code or as shown on approved exhibits as part of this discretionary action.
- (8) The applicant is responsible to protect the adjacent properties during construction. If any grading or other types of construction are anticipated beyond the property lines, the applicant shall obtain a written permission from the adjoining property owners for incidental grading or construction that may occur and submit the letter to the City Engineer prior to the anticipated work.

- (9) Pay grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- (10) Obtain and submit grading security in a form prescribed by the City Engineer.
- (11) Obtain haul permit for import / export of soil. The applicant shall transport all excavated material to a legal disposal site.
- (12) Submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and installed in accordance with the approved plans. This shall be accomplished by the Engineer of record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soil Engineer certifying the as-built conditions.
- (13) An Erosion Control Plan shall be prepared. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- (14) Show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- (15) The Applicant shall submit a storm water management plan to demonstrate to the satisfaction of the City Engineer that the project does not increase storm water runoff or peak discharge from the existing condition, and that the requirements of SBMC 13.10 Storm Water Management and the RWQCB Final Order R9-2013-0001 are met.
- (16) No increased cross lot drainage shall be allowed.
- (17) Submit certification from a registered civil engineer and soil engineering that all public or private drainage facilities and finished

grades are functioning and installed in accordance with the approved plans. This shall be accomplished by engineer of record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the engineer of record and soil engineer certifying the as-built conditions.

- (18) All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved waste management plan shall be submitted.
- (19) The applicant shall enter into an Encroachment, Removal, and Liability Agreement for any proposed private work in the Public right of way; including but not limited to grading, landscaping, installation of irrigation system, etc.
- (20) Slopes adjacent to site boundaries shall be set back in accordance with SBMC 15.40.140.

## II. PUBLIC IMPROVEMENTS/TRAFFIC CALMING PLAN

The following engineering conditions (1 thru 13 under Public Improvements) are required to improve the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program in satisfaction of the Traffic Impact Fee (TIF) requirement. The Applicant shall construct and install the improvements set forth on the Off-Site Improvement Plan dated December 3, 2018 (the "Off-Site Improvement Plan") submitted by the Applicant to the City concerning the Development Review Permit for the Project. The Applicant shall obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer as follows:

- (1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These Enhancements may include but not be limited to:
  - (a) Modification of the traffic signal timing at the intersection of Valley Avenue and Stevens Avenue to provide for a more efficient egress at the Turfwood Lane access. The proposed signal timing enhancement may include construction of additional loop detectors on northbound Valley Avenue and associated communication and control equipment in the cabinet at a cost not to exceed \$50,000.
  - (b) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane,



one outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install "Keep Clear" legend on Valley Avenue at Turfwood driveway.

- (c) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.
  - (d) Installation of a "Solar Powered Electronic Speed Sign" on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.
- (2) Applicant shall modify the Traffic signal at Nardo Avenue and Stevens Avenue to install a signal indicator for traffic calming purposes to emphasize a safe right turn on red from eastbound Nardo to southbound Stevens Avenue at a cost not to exceed \$50,000.
  - (3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.
  - (4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require elimination of on-street parking along South Nardo on both sides of the street.
  - (5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered pedestrian crossing flashing sign with corresponding signage.
  - (6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.

- (7) On South Nardo Avenue between East Solana Circle and Nardito Lane install a speed table (a long, flat speed bump), a thermoplastic continental crosswalk for pedestrian crossing and a solar powered pedestrian flashing sign with corresponding signage and striping.
- (8) On South Nardo between Fresca Street and Nardito Lane, evaluate additional speed hump with the City Engineer, and install if safety standards can be achieved.
- (9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.
- (10) Construct all sewer lateral connections to the City sewer main consistent with City Standards.
- (11) Construct all proposed driveway entrances to the project on South Nardo Avenue and Valley Avenue consistent with City Standards.
- (12) Construct all storm drain connections to the City curb or storm drain system consistent with City Standards.
- (13) The existing sewer main serving this property, proposed to be replaced, shall be abandoned in the public right-of-way by plugging the street manhole connection and plugging the pipe at the right-of-way line. The sewer connection(s) for 821 Stevens Avenue shall be capped at the main.
- (14) Connect to the existing recycled waterline on Stevens Avenue. The applicant shall coordinate with Santa Fe Irrigation District, San Elijo Joint Powers Authority and County Health Department for this extension project. All irrigation system including the ones in the public right of way shall be provided by recycled water.
- (15) The Applicant shall continue to work with City Staff to develop the Traffic Calming Plan referenced herein. Upon completion, the Traffic Calming Plan shall be subject to future consideration and approval by the City Council.

### III. SEWER FEES

The Applicant shall pay in full, at occupancy, unless waived by the City as part of the approved fee waiver, the one-time sewer capacity/connection fees of \$4,500.00 per Equivalent Dwelling Unit (EDU). The EDU assignment is per SBMC 14.08.060.

- (1) Pay in full, at occupancy the prorated portion of the current annual sewer charge for the remainder of the fiscal year. For FY 2018/19 the annual fee is \$665.67 per EDU. This condition shall be phased based on the prorated number of units in each phase
- (2) The applicant shall be entitled to credit all existing Sewer Capacity in use by the project and is required to pay fees only on net additional Equivalent Dwelling Units (EDU's) as proposed by this project.

#### IV. VESTING TENTATIVE PARCEL MAP

- (1) A Parcel Map shall be prepared and recorded in accordance with Chapter 16.32 of SBMC Prior to obtaining a building permit or grading permit.
- (2) Provide a Subdivision Map Guarantee within ten days before recording the Vesting Parcel Map.
- (3) Pay Parcel Map plan check fee in accordance with the current Engineering Fee Schedule.
- (4) The applicant shall comply with Section 66436 of the Government Code by furnishing to the City Engineer a certification from each public utility and each public entity owning easements within the proposed subdivision stating that: (a) they have received from the developer a copy of the proposed Parcel Map; (b) they object or do not object to the filing of the Parcel Map without their signature; (c) in the case of a street dedication affected by their existing easement, they will sign a "subordination certificate" or "joint use certificate" on the map when required by the governing body.
- (5) Existing lot lines as shown on Vesting Tentative Parcel Map (VTPM) shall be consistent with the DRP plans for the Project. If approved by the City Council, the Applicant shall prepare and record, to the satisfaction of the City Engineer, a Vesting Parcel Map or compatible document prior to issuance of the first building permit.
- (6) All easements, private and public utility easements, including but not limited to SDG&E, water, sewer, and storm drain shall be properly abandoned and when needed exchanged to the satisfaction of the City Engineer prior to the issuance of the first building permit.
- (7) According to sheet G.1.1 of the DRP exhibit, there is an access easements providing legal access to adjacent properties.

Appropriate arrangements are to be made to replace the access easement to the existing legal parcels.

- (8) Concurrently with the recordation of the Parcel Map, an amendment to that Grant of Open Space Easement recorded July 6, 1970 as Document No. 118110 in the Official Records of San Diego County shall be recorded in a form approved by the City Attorney consistent with the approved plans for the project.
- (9) Prior to the recordation of the Parcel Map, or issuance of any building permit, whichever occurs first, the Affordable Housing Agreement shall be executed and recorded against the entire property.
- (10) Prior to recordation of the Parcel Map a resolution summarily vacating the existing public sewer easement shall be recorded.

V. CONDITIONS PRIOR TO OCCUPANCY SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- (1) Underground all new utility services, including but not limited to electrical and telephone.
  - (2) Complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements. With the approval of this application, the City Manager is authorized to allow interim occupancy for a portion of the project subject to acceptance of all required public and private improvements for the said portion of development and assurance for construction of the remainder of improvements to the satisfaction of the City Engineer.
  - (3) The Applicant shall pay all Development Impact Fees levied at the time of project approval. Development Impact Fees shall be based on the net increase of 62 units, unless otherwise provided.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings. The conditions of approval for the project shall remain in place until such time they may be amended or superseded by subsequent City Council action.
7. EXPIRATION: The vesting tentative map shall expire 24 months after the date of Coastal Commission approval and may be extended as provided by State law or Section 16.12.110, whichever provides the longest extension. All other approvals granted by this resolution shall expire 60 months after the date of Coastal Commission approval and may be extended as provided by Section 17.72.110.

8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and the Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.

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9. NOTICE TO APPLICANT: Developer is hereby notified, as required by Government Code Section 66020, that the approved plans and the conditions of approval and ordinances governing fees and exactions in effect at the time the project is approved constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90 day period has begun in which developer may protest any dedications, reservations, fees or other exactions imposed by the City. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Failure to file a protest in compliance with all of the requirements of Government Code Section 66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.


PASSED AND ADOPTED at a special meeting of the City Council of the City of Solana Beach, California, held on the 17<sup>th</sup> day of December 2018, by the following vote:

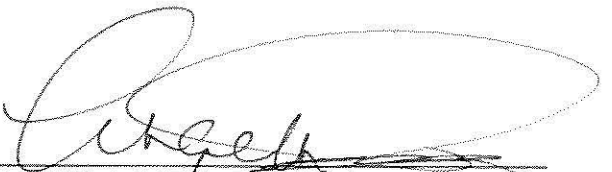
AYES: Councilmembers – Zito, Edson, Hegenauer, Heebner  
NOES: Councilmembers – None  
ABSENT: Councilmembers – Zahn  
ABSTAIN: Councilmembers – None

  
\_\_\_\_\_  
DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:

  
\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

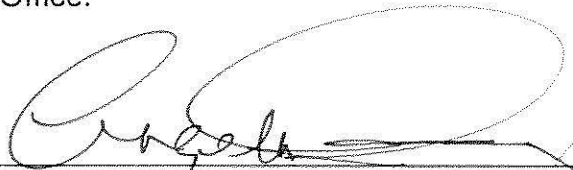
  
\_\_\_\_\_  
ANGELA IVEY, City Clerk



## RESOLUTION CERTIFICATION

STATE OF CALIFORNIA }  
COUNTY OF SAN DIEGO } §  
CITY OF SOLANA BEACH }

I, ANGELA IVEY, City Clerk of the City of Solana Beach, California, DO HEREBY CERTIFY that the foregoing is a full, true and correct copy of **Resolution 2018-132** approving a *Development Review Permit, Structure Development Permit, Vesting Tentative Parcel Map, Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver for the Solana Highlands Residential Community and Affordable Senior Housing Project at 661-781 South Nardo Dr. and 821 Stevens Ave., Case No.: 17-14-29, Applicant: HG. Fenton* as duly passed and adopted at a Special Solana Beach City Council meeting held on the 17<sup>th</sup> day of December, 2018. The original is on file in the City Clerk's Office.

  
ANGELA IVEY, CITY CLERK

CERTIFICATION DATE: January 10, 2019

# ATTACHMENT 2

*Link to this document*

[https://www.dropbox.com/sh/cv5stwha3rmc87v/AAC\\_TmqEOk3vR5DxMpPyNhXea?dl=0](https://www.dropbox.com/sh/cv5stwha3rmc87v/AAC_TmqEOk3vR5DxMpPyNhXea?dl=0)



## RESOLUTION 2022-006

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT MODIFICATION AND STRUCTURE DEVELOPMENT PERMIT WAIVER FOR THE PREVIOUSLY APPROVED SOLANA HIGHLANDS RESIDENTIAL COMMUNITY AND AFFORDABLE SENIOR HOUSING PROJECT AT 661-781 SOUTH NARDO AVENUE AND 821 STEVENS AVENUE.**

**APPLICANT: H.G. Fenton  
CASE NO.: DRP Mod 2020-002**

**WHEREAS**, H.G. Fenton (hereinafter referred to as “Applicant”) submitted an application for a Development Review Permit (DRP), Structure Development Permit (SDP), Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver subject to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Applicant also requested approval of a Vesting Tentative Parcel Map (VTPM) which would modify the property from three lots to two lots; and

**WHEREAS**, at the duly and properly noticed public hearing held on December 5, 2018, and the continued public hearing held on December 17, 2018, the City Council received and considered evidence concerning the proposed application as revised; and

**WHEREAS**, the public hearings were conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, the City Council of the City of Solana Beach certified the Final Environmental Impact Report (FEIR), and adopted a Mitigation Monitoring and Reporting Program (MMRP) and Findings of Fact for the Solana Highlands project in accordance with the California Environmental Quality Act and the State CEQA Guidelines via Resolution 2018-131; and

**WHEREAS**, the Solana Beach City Council approved a Development Review Permit (DRP), Structure Development Permit (SDP), and Vesting Tentative Parcel Map (VTPM) and all related entitlements to construct the Solana Highlands Revitalization Project (the “Project”) under Resolution 2018-132; and

**WHEREAS**, following City Council approval in 2018, the Applicant obtained California Coastal Commission approval of Coastal Development Permit # 06-19-0109 in May 2019; and

**WHEREAS**, following Coastal Commission approval, the Applicant initiated preparation of construction and engineering plans and submitted applications for ministerial building permits to the City in December 2019 for certain building, grading and public improvement elements of the project; and

**WHEREAS**, City Staff and the Applicant coordinated on the permit processing effort to discuss and review comments on the project plans intermittently throughout 2020 until processing efforts were slowed / hampered by COVID-19-related restrictions and protocols and related staff work modifications; and

**WHEREAS**, during 2020 and continuing until the present time, input from the community was solicited by the Applicant on several key project-related topics including landscaping, traffic calming measures and Applicant-initiated revisions to Buildings 13, 19 (Clubhouse) and 24; and

**WHEREAS**, in April 2021, the Applicant submitted a formal application to modify discrete elements of the previously approved project (DRP/SDP 17-14-29) to approved/proposed Buildings 13, 19 (Clubhouse), and 24 and to finalize the project landscape plan, traffic calming plan, and to request additional time to complete the onsite parking management plan; and

**WHEREAS**, the Applicant has stated that their intent with the project modifications is to ensure that each element remains consistent with the goals and intent of City Council-imposed Conditions of Approval contained in Resolution 2018-132; and

**WHEREAS**, the Applicant requests consideration of a modification of the City Council Condition of Approval requiring that Building 13 be lowered by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum elevation of building 13 to 134.9 MSL. The Applicant requests the condition be revised to lower the maximum building height of the easterly 47 feet of Building 13 by an additional 3.0 feet (to 131.9 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18 and waive the story pole requirement for this modification as no new view impairment would occur; and

**WHEREAS**, the Applicant requests consideration of a modification to Building 19 (Clubhouse) on three sides to allow a second-floor balcony, open on three sides with a roof, and an exterior staircase, which would project outside of the previously permitted horizontal envelope and waive the story pole requirement for these modifications as no new view impairments would occur; and

**WHEREAS**, the Applicant requests consideration of a modification to the site plan to shift Building 24 approximately 60' feet east and waive the story pole requirement for this modification as no new view impairment would occur; and

**WHEREAS**, the Applicant requests consideration of a modification to City Council Condition of Approval requiring submittal of an onsite Parking Plan to the City Manager on or before March 1, 2020 to allow additional time to develop the parking plan. The Applicant requests they be allowed to submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023; and

**WHEREAS**, the Applicant requests consideration of refinements to the originally approved traffic calming plan reflecting an iterative review process with the community and the input of the City Engineer and the Solana Beach Fire Department; and

**WHEREAS**, the Applicant requests consideration of a modification of a portion of City Council Condition of Approval XXVI requiring separate City Council approval of a Final “Conceptual” Landscape Plan. The Applicant requests that a Final Landscape Plan be reviewed and approved by the City Council essentially skipping an interim approval of a Final “Conceptual” Landscape Plan. The Applicant also requests that the requirement for 10, 84-inch box trees be removed from project requirements; and.

**WHEREAS**, at the duly and properly noticed public hearing held on February 9, 2022 the City Council received and considered evidence concerning the proposed project modifications; and

**WHEREAS**, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, this decision is based upon the oral and written evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That an Environmental Impact Report (EIR) was prepared for this Project in conformance with the California Environmental Quality Act of 1970 (CEQA). The EIR was prepared as a Project EIR pursuant to Section 15161 of the State CEQA Guidelines. The FEIR was contained in two volumes and consists of the following parts plus the Findings of Fact approved by the City Council under Resolution 2018-131 on December 17, 2021. Following project approval by the City Council, a Notice of Determination (Section 15375) was filed by the City with the San Diego County Clerk.

The proposed modifications to the project do not raise any new environmental issues or increase the level of impact previously disclosed in the Final EIR Certified by the City Council in December 2018 under Resolution 2018-131. Therefore, no new or subsequent environmental review is required due to the scope and nature of the modifications as proposed, pursuant to the State CEQA Guidelines Section 15162.

3. That the Applicant request for a DRP Modification and SDP Waiver for the above described modifications to the approved Solana Highlands residential development consisting of 260 residences (including 32 affordable senior units) consisting of studios, one and two bedrooms, 10,287 square feet of clubhouse/leasing office space, 247,583 square feet of landscaped area, 716

trees, 65,434 square feet of open space, 525 on-site parking spaces including 233 garages, 22 covered spaces and 270 open/guest spaces, is conditionally approved based upon the following Findings and subject to the following Conditions:

#### 4. FINDINGS

Based on the totality of the record, the City Council makes the following findings:

##### **A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:**

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The proposed project is consistent with the General Plan, which designates the property as High Density Residential (HR). Multi-family residential development under this category will range between 13 and 20 dwelling units per acre. Other compatible uses such as accessory dwelling units, home occupations, religious institutions, educational institutions, parks and recreation facilities, and public utilities are permitted or conditionally permitted. Assuming maximum development and an average household size of 2.4 persons per unit, population densities in these areas could be as high as approximately 48 persons per acre. Most of Solana Beach's high density residential development is located in the southwestern portion of the city (i.e., along the coastal bluffs south of the Plaza and in the area generally bounded by Via de la Valle, Solana Circle, Nardo Avenue, and Stevens Avenue). The project is proposing 260 residential units or 19.4 dwelling units per acre. The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR) and may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

**Policy LU-1.1:** Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.

Project Consistency: The project has been subject to a view assessment process to ensure sensitive transitions between the project and adjacent neighborhoods and has undergone substantial

changes, as described in the staff report, to create appropriate transitions.

**Policy LU-1.2:** The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.

Project Consistency: The City's general plan and housing element include a range of housing types, locations, and densities,

**Policy LU-1.3:** In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances. The regulations shall ensure that conversion of apartments to condominiums or other similar types of subdivisions will meet current standards for the construction of new condominiums or other similar types of multi-family dwellings within the city.

Project Consistency: No condominium conversion is proposed as part of this project.

**Policy LU-1.4:** Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.

Project Consistency: As described in the staff report, the project includes 50 bicycle parking spaces and will construct extensive traffic calming measures and pedestrian safety measures on streets adjacent to the project.

**Policy LU-6.6:** Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.

Project Consistency: The project is located on an existing developed infill site that will be reused and, through extensive landscaping and new construction; contribute positively to the surrounding area.

**Policy LU-6.7:** Promote appropriate transitions in building height and bulk, which are sensitive to the visual and physical character of adjacent neighborhoods.

Project Consistency: As described in the staff report, the project has been subject to an extensive view assessment process and has proposed major design changes to ensure that it is sensitive to the visual and physical character of the adjacent neighborhoods.

The project is consistent with the following General Plan programs and goals in the City's 6<sup>th</sup> Cycle Housing Element, including regional housing needs assessment / local share goals and affordable housing goals, including:

- (1) Continuing to implement the density bonus and affordable housing ordinances.
- (2) Addressing and mitigating constraints to housing development by approving development standards and waivers needed for project construction and a fee waiver.
- (3) Providing 32 affordable housing units for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element. The continued affordability of these units will be ensured for 55 years, and that the rents be limited to those affordable to low income households.
- (4) Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the lower income units that are the City's share of the regional housing need.
- (5) Developing a site with the 260 units that were identified as the site's potential in the City's Housing Element.
- (6) Redeveloping an older apartment complex to preserve neighborhood quality.

The proposed project is also consistent with the requirements of Title 17 in that the proposed project density of 260 units is permitted with a density bonus. As designed the project meets the minimum lot area of

10,000 square feet in that each lot will be 1.25 acres and 11.64 acres in size, respectively. The proposed buildings will have a minimum front yard setback of 25 feet, side yard setback of 10 feet and rear yard setback of 25 feet as required in the HR zone. Per the City's parking ordinance, the project requires 494 parking spaces. The applicant is consistent with the parking ordinance requirement by proposing 525 parking spaces on-site. The parking provided for the affordable senior units is consistent with Section 65915(p) of the Government Code and the City's density bonus ordinance.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- (1) Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

The subject lot is located within the High Residential Density (HR) Zone. According to SBMC 17.20.010 this zone allows 13 to 20 dwelling units/net acre and is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning, and provide on-site recreational amenities.

No significant adverse effects upon neighboring properties have been identified or are anticipated to occur from the project implementation, and the project has been extensively redesigned to protect view impacts. As conditioned, the proposed project gives consideration to the protection of surrounding areas from potential adverse effects and provides protection of the property from adverse surrounding influences. Additionally, the City Council has certified the FEIR for this project and has found that project impacts either will not occur, will be less than significant, or will be less than significant with mitigation in all the topic areas analyzed.

- (2) Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.

The Project includes a total of 24 buildings including one affordable senior housing building (Building 25) and one clubhouse/leasing center (Building 19). All parking would be provided onsite in either the form of a garage or surface parking including covered and uncovered and includes 233 garages, 22 covered spaces and 270 open/guest spaces.

Fifteen of the 24 buildings would be two stories in height and nine of the Buildings would be three stories in height. In general, the buildings located along South Nardo Avenue would be two stories and the buildings that are internal to the site would be three stories. The affordable senior building would also be three stories and is located at the southeast corner of the site.

The project includes a total of 260 units with a breakdown as follows:

- (a) 12 studio apartments that are 420 square feet in size
- (b) 128 one-bedroom apartments ranging in size from 517 to 954 square feet
- (c) 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.

Each unit proposes private open space in the form of patios for the units on the ground floor and balconies for the units on the second floor.

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the project would include a small private park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the project is located, including required setbacks, maximum FAR, and building height. The proposed Project meets or exceeds all required setbacks, and is below the maximum allowable FAR.

Required parking and landscaping standards are contained in the City's Off Street Parking Design Manual (OSPDM).

The highest point of the Project is 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with the Project 25 feet at that



location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location. As required by State law, the City will waive development standards for height of buildings, retaining walls, and walls and fences that would otherwise physically preclude development of the property with the permitted density bonus.

- (3) Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.

Per SBMC 17.56.040, the proposed development is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species.

The final landscaping plan for the Project proposes 247,583 square feet of landscaped area which is equal to approximately 43% of the project site. During construction of the proposed Project, it is anticipated that all of the existing trees, shrubs and other vegetation would be removed as part of the proposed Project due to the extent of grading that is proposed on site to lower pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of five (5) California Sycamores would replace the existing mature 5 California Sycamores on site is in accordance with City LCP requirements for native tree mitigation. The proposed changes to the buffer landscaping are in response to concerns raised by adjacent residents expressing concerns regarding the viability of transplanted 84-inch box trees and potential impact on hillside / slope stability as well as smaller size container trees ability to grow faster after transplantation.

In lieu of ten 84-inch Coast Live Oaks along the southern edge of the project site, the planting plan includes twenty 24-inch Coast Live Oaks in the East and North-East Zones. Along the southern project boundary, screening will be provided by 11 Coastal Shrub Oaks in 15-gallon containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include 15 Torrey Pines and various other tree species. More than

sixty 24-inch box trees will be located within the buffer zones in a combination of oak, palm and other native and drought tolerant tree species selected with the benefit of community input.

The Project would include the installation of mature (boxed) trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. Larger shade trees would include approximately 716 trees in total including 15-gallon trees and 24-inch box trees

The landscape plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting device linking the various pieces of the project site and design styles. The landscape plan uses plant material to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture. Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's final landscape plan has been reviewed by the City's third-party landscape architect who has recommended approval of the landscape plan. The Applicant would be required to submit detailed construction landscape drawings that would be reviewed by the City's third-party landscape architect for conformance with the final plan. Additional Conditions of Approval have been added to ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health and include an engineering review by EsGil of Final Landscape Plan Construction Drawings Sheets LC-01 through LC-13. In addition, the City's third-party landscape architect would perform inspections during the construction phase of the project. A separate condition requires that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- (4) Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened

from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

Residential projects in the City are required to comply with parking standards in SBMC 17.52. The parking requirements for the affordable senior housing element are per the State bonus density code (CGC 65915(p)). Although this maximum required parking ratio could apply to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site (e.g., 228 units).

The proposed Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52. The proposed project includes 525 onsite parking spaces, 50 bicycle spaces, 17 motorcycle spaces and 9 accessible spaces.

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site.

Vehicular access to the site would be provided from two driveway locations on South Nardo Avenue. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Avenue and Stevens Avenue.

All entrances would provide full movement driveways allowing inbound and outbound movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to and from the project site would be provided via new and/or improved perimeter sidewalks along South Nardo Avenue and Stevens Avenue.

- (5) Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Grading is proposed in the amount of 187,000 cubic yards with approximately 160,000 cubic yards of soil to be exported off-site.

The project site varies from an elevation of approximately 39 to 150 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department has included a condition of approval that the Applicant shall participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit beach compatible sands / sediment exports on city beaches if the Applicant's soil engineer determines that any or all of the soil to be exported is compatible with beach sediments in accordance with the City's SCOUP permits.

- (6) Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).

Conditional approval of this Project includes the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

- (7) Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 65,000 square feet. The proposed project provides a total of 65,434 square feet of open space.

In addition, as designed, each of the proposed residential units has its own patio (first floor units) or balcony (for second floor units) that is directly accessed from the residence.

The proposed project includes passive usable open space areas. Additionally, the proposed project would include a small park area, along South Nardo Avenue.

The site currently has a recorded easement as part of the County of San Diego's approval of Special Use Permit No. P. 68-187 prior to the City's incorporation. The language of the recorded easement specifically allows for amendments to the original Special Use Permit (SUP) as well as additional activities authorized by the Grantee. By virtue of city incorporation, the City now holds the recorded easement's Grantee interest. As such, the site is subject to the City's zoning regulations. Provided that all the required findings for issuance of the City's Development Review Permit (DRP) can be made, it would constitute the Grantee's authorization and act as an amendment to the SUP or supersede the SUP in its entirety.

- III. Portions of the property that is the subject of this application are subject to a Grant of Open Space Easement recorded July 6, 1970 in the Official Records of San Diego County for the benefit of the County of San Diego as Grantee. The City is now the Grantee as the successor in interest to the County upon incorporation.

The Open Space Easement provides that:

(i) no portion of the Open Space shall be graded, excavated or filled except in compliance with said Special Use Permit No. P 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof and (ii) no natural or artificial improvements shall be constructed, installed, erected, permitted or maintained (other than the natural and artificial improvements complying with said Special Use Permit No. 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof).

The City's requirements for a Development Review Permit and a Structure Development Permit are equivalent to the Special Use Permit approved by the County in 1970, and the City's approval of the Development Review Permit and the Structure Development Permit constitutes an amendment to Special Use Permit No. 68-187, allowing development and grading of the site as shown on the approved plans. The City as Grantee hereby authorizes the amendment of the Grant of

Open Space Easement to permit grading, excavation, and fill and construction, installation, erection, permission, and maintenance of those natural and artificial improvements as shown on the approved plans for the Development Review Permit and the Structure Development Permit.

- IV. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.

All required permits and approvals required by the City, including the SDP, VTPM and Affordable Housing Plan, Fee Waiver, and Density Bonus with Waiver of Development Standards are being processed concurrently with the Development Review Permit.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of project approval, the Applicant was required to obtain a Coastal Development Permit from the CCC which was issued in May 2019 under CDP # 06-19-0109

- V. If the development project also requires a permit or approval to be issued by a State or federal agency, the City Council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

The FEIR that was certified for this project does not include mitigation measures that require permits or approval from other agencies. The Mitigation Monitoring and Reporting Program (MMRP) was adopted for this project as a part of certification of the FEIR. All applicant proposed project design features are included as conditions of project approval.

**B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:**

1. The Applicant for the Project went through an extensive Structure Development Permit for the project approved by the Council in 2018 under Resolution 2018-132.
2. With the proposed modifications, the Applicant requested and received approval by the City Council of a Structure Development Permit waiver for the following modifications to Buildings 13, 19 and 24: 1) Building 13 to be modified as follows - the maximum building height of the easterly 47 feet of Building 13 will be lowered by an additional 3.0 feet (to 131.9 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified

by story pole certification dated 6/14/18. 2) Building 19 (Clubhouse) to be modified on three sides (front, rear and street side) to allow second-floor balconies open on three sides with a roof, and an exterior staircase which would project outside of the previously permitted horizontal building envelope. 3) Building 24 to be shifted approximately 60' feet east.

3. There is no significant cumulative view impairment caused by granting the application. There have been no new or proposed projects in the area that would contribute to cumulative view impairment impacts. As described in the staff report the Applicant revised the (now approved) project to address all potential private view impairments.
4. The proposed structures are compatible with the immediate neighborhood character. The Applicant has designed the project with similar architectural features, materials, roof types and colors that can be found in the surrounding neighborhoods. The Applicant will be required to show compliance with the approved maximum height and three-dimensional building envelope that was approved by the SDP, subject to the approved modifications to Buildings 13, 19 and 24 noted above, at the time of submittal for a building permit and also prior to requesting a framing inspection.

## 5. CONDITIONS

The conditions contained within the original Resolutions of approval 2018-131 and 2018-132 are still in effect except as expressly modified by this Resolution as shown below.

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

### **A. Community Development Department Conditions:**

- I. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the maximum building height of the structure does not exceed 149.5 above Mean Sea Level (MSL), measured at Story Pole #39 and 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 as measured from the lower of the existing or proposed grade, and is in conformance with the plans as approved by the City Council on December 17, 2018 and as modified and as approved by the City Council under this Resolution on January 12, 2022 and the certified story pole plot plan and certifying the maximum building height of all framing and structures do not exceed the heights referred to herein and in the Project plans.

## II. BUILDING HEIGHTS.

- a. Finished Building Heights. The maximum finished height of all buildings and structures of the Project shall not exceed the maximum finished heights set forth on the Initial Project Plans and the modification thereto for Building #12 (lowers the finished height), Building #13 (lowers the finished height), and Building #10 (expands the building envelope without increasing the finished height) submitted by the Applicant to the City and presented to the View Assessment Commission on October 16, 2018 and November 20, 2018 concerning the Structure Development Permit for the Project (the "Modifications to Project Plans") to address the applications for View Assessment filed for the Project. The maximum finished heights include but are not limited to installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning equipment) and related screening of each roof or roof section. The "Initial Project Plans" and "Modifications to Project Plans" are collectively referred to as the "Project Plans"
  - i. The Applicant shall modify Building 13 maximum height to lower the maximum building height of the easterly 47 feet of Building 13 by an additional 3.0 feet (to 131.9 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18.
- b. Confirmation of Building Heights Before Framing Inspection. Within sixteen (16) months after the City Council's approval of the Development Review Permit for this Project (as conditioned by the City Council), but no later than March 1, 2023, the Applicant shall prepare and submit to the City Manager a chart in the form and content acceptable to the City Manager which at a minimum sets forth the following information for each roof or roof section of each building or structure in the Project:
  - (i) The building number for each building as set forth on the Preliminary Grading Plan (or identify the structure if no number) and the height of those story poles and the height of the ridge(s) of each roof and roof section of each building or structure and the applicable story pole number for each roof ridge;
  - (ii) The maximum height based on Mean Sea Level (MSL) elevation of the completed framing for each ridge of each roof and roof section of each building or structure before installation of



anything on the rough framing, including installation of roofing materials or other materials or equipment; and

- (iii) The maximum finished height based on Mean Sea Level (MSL) elevation for each ridge of each roof and roof section of each building or structure after installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning mechanical equipment) and related screening of each roof and roof section.

The foregoing maximum heights shall be consistent with the maximum finished heights set forth in the Project Plans.

- c. Roof Slopes. The slopes of the roofs shall not be decreased or increased.

### III. EXTERIOR MATERIALS.

- a. Materials Approved. When constructing the buildings in the Project, the Applicant shall use exterior materials that are of the same type and design and have the same appearance, finish, and architectural design significance and are substantially the same or better quality as the exterior materials shown in the plans, illustrations, photographs, photo and electronic simulations, renderings, and other visual and graphic images submitted by the Applicant to the City Council to obtain approval of this Project. The Project, including the affordable senior housing units, shall be constructed with the same design type and same or better quality materials as shown on such visual and graphic images as approved by the City under this Resolution.

### IV. PARKING.

- a. Addition of Parking Spaces on Lot B. The Applicant has proposed a total of five hundred twenty-five (525) total parking spaces for the Project allocated as follows: 488 spaces for Lot A; and 37 spaces for Lot B. The Applicant has subsequently agreed to add six (6) additional parking spaces on Lot B for a total of 43 spaces on Lot B. The six (6) additional spaces shall be added at the north side of the proposed parking area for Lot B. The six (6) additional parking spaces shall be designated as “visitor” parking.
- b. Quantity of Parking Spaces for the Project. All references to “parking spaces” mean parking for cars and trucks, not motorcycles. The Applicant has proposed a total of 525 parking spaces for the Project. With the six (6) additional visitor parking spaces for Lot B

as provided in Subsection (a) above, the Project and Project Plans shall provide a total of five hundred thirty-one (531) parking spaces (a cumulative total for tenants and visitors) for the Project (includes Lot A [market rate apartments] and Lot B [affordable senior apartments]). All parking spaces shall be in compliance with the City's Off-Street Parking Manual.

The zoning applicable to the Project based on the type of apartments (e.g., amount of bedrooms in each apartment) and quantity of apartments in the Project requires a total of 494 parking spaces (this is the total for both tenants and visitors, and includes ADA parking spaces). The Project shall provide a total of 531 parking spaces. Thus, in order for the Applicant to provide 531 parking spaces, the Project and Project Plans shall provide the 494 parking spaces required by zoning plus an additional 37 extra parking spaces.

The 531 parking spaces are allocated as follows:

- (i) 488 Lot A; and
- (ii) 43 Lot B.

- 1) **LOT A.** There shall be a total of four hundred eighty-eight (488) parking spaces on Lot A, and these parking spaces shall be allocated as follows:

There will be a maximum of 343 reserved parking spaces available for tenants, at least 88 unreserved parking spaces available for tenants, and 57 visitor parking spaces. Thus, the 488 parking spaces are allocated as follows:

343 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

88 minimum unreserved parking spaces for tenants

57 visitor parking spaces (228 apartments = 57 visitor spaces)

= 488 total parking spaces on Lot A

- 2) **LOT B.** There shall be a total of forty-three (43) parking spaces on Lot B, and these parking spaces shall be allocated as follows:

There will be a maximum of 37 reserved parking spaces available for tenants, no unreserved parking spaces for tenants, and 6 visitor parking spaces. Thus, the 43 parking spaces are allocated as follows:

37 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

0 minimum reserved parking spaces for tenants

6 visitor parking spaces

= 43 total parking spaces on Lot B

- c. Reserved Parking Spaces for Tenants. The Applicant shall assign reserved parking spaces for tenants of the Project as provided herein. However, the Applicant shall not reserve for or assign to any tenant more reserved parking spaces than as follows: 1 parking space for a studio apartment; 1 parking space for a one-bedroom apartment; and 2 parking spaces for a two bedroom apartment. The Applicant shall not reserve any “visitor” parking spaces on the Project.

The Applicant shall prepare a written parking plan (the “**Parking Plan**”) and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the Parking Plan to the City Manager on or before September 1, 2023 for approval thereafter by the City Council.

With regard to the parking spaces on Lot A, the Applicant shall assign one (1) garage parking space to each apartment (to the extent there are sufficient quantity of garages, noting there are more apartments than garages) for the exclusive use of that apartment so that all garage parking spaces on Lot A are assigned to specific apartments. After assigning all garage parking spaces to specific apartments, then the Applicant shall assign one (1) covered carport parking space to each apartment that does not have a garage parking space assigned to the apartment (to the extent there are sufficient quantity of carport parking spaces, noting that there are more apartments than garages and carport parking spaces combined). After all garage parking spaces and carport parking spaces have been assigned to apartments, then the Applicant shall

assign one (1) uncovered parking space to each of the remaining apartments that do not have a garage or carport parking space assigned to that apartment. In addition, if an apartment is a two-bedroom apartment, then the second reserved parking space assigned to a two-bedroom apartment will be an uncovered parking space.

The garages that are located in the building where the apartment is located will be assigned first to the apartments located in that same building and then to the apartments located closest thereto. The same principal will be used to assign reserved carport parking spaces and reserved uncovered parking spaces.

The apartment and the garage and/or covered carport parking space and/or uncovered parking space(s) assigned to each specific apartment for the exclusive reserved use of the tenant of that apartment shall constitute single premises for the purpose of the rental of that apartment.

Tenants who have apartments with assigned reserved parking space(s) (either garage, carport, and/or uncovered parking space) shall be required by their lease to park in their assigned reserved parking spaces and not in the unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and/or towing for violations.

For the purpose of example and not for limitation, if the tenant of a two-bedroom apartment consists of two occupants with two vehicles and the tenant's apartment has a reserved garage parking space and a reserved uncovered parking space assigned to the tenant's two bedroom apartment, then the tenant shall park in the garage and reserved uncovered parking space and shall not park in an unreserved parking space. However, if there are three occupants of the two-bedroom apartment and the assigned garage and reserved uncovered parking spaces are being used by two of the occupants, then the third occupant will park in an unreserved uncovered parking space.

The purpose of the requirements herein is to have each garage and covered carport parking space assigned to a specific apartment to ensure that all garages and covered carport parking spaces in the Project will be used for parking before the unreserved tenant parking spaces are used, thereby making available to tenants of the Project as many unreserved uncovered parking spaces as possible for the shared use of all tenants of the Project. With parking spaces

available in the Project, tenants are discouraged from parking off site in the neighborhood surrounding the Project.

- 1) Request by the Applicant for Conversion of Unreserved Parking Spaces to become Reserved Parking Spaces on Lot A. The existing development on the Property that will be demolished to construct the Project does not have sufficient parking spaces for the tenants and visitors of the Property. Consequently, many tenants and visitors to the Property park on the streets in the neighborhood near the Property. This has caused a shortage of parking in the neighborhood and other negative impacts.

The Applicant has represented to the residents of the neighborhood and area near the Property and the City Council that the 531 parking spaces to be provided by the Project will provide a sufficient quantity of parking spaces for tenants and visitors of the Project so that they can park on the Property, not on the streets of the surrounding neighborhood. However, if the Applicant wants to increase the amount of uncovered reserved parking spaces on Lot A by converting some of the “unreserved” uncovered parking spaces to become “reserved” uncovered parking spaces (Applicant shall not increase the amount of reserved parking spaces on Lot B), then the Applicant may request approval from the City Council to convert up to thirty-one (31) of the eighty-eight (88) total unreserved uncovered parking spaces to become reserved uncovered parking spaces.

In addition to the foregoing, the opportunity for the Applicant to request modification of the Parking Plan as provided herein shall include the opportunity for the Applicant to request modification of the allocation of reserved and unreserved parking spaces for tenants of the Project and consideration of other issues concerning the management of tenant and visitor parking for the Project in order to achieve the goal of preventing tenants and visitors of the Project from parking on South Nardo Avenue and on the streets in the surrounding neighborhoods.

In connection with the Applicant’s request, the Applicant shall submit a proposed modified Parking Plan which identifies and changes such unreserved uncovered parking spaces to become reserved uncovered parking spaces (the “**Modified Parking Plan**”) to the City Council for approval. The Modified Parking Plan shall be accompanied by documentary analysis, data, and information which establish and demonstrate that the Applicant’s proposed Modified Parking Plan will not cause, encourage, or otherwise result in tenants or visitors of the Project

parking on the streets in the neighborhood adjacent to the Project and will eliminate and prevent on-street parking by tenants and visitors. The goal and actual effect of any Modified Parking Plan shall be to have all tenants and visitors of the Project park in the Project, not on nearby streets, and eliminate or prevent their on-street parking and the reasons or incentives for tenants and visitors to park on the streets. The Modified Parking Plan shall demonstrate that it will achieve this goal and produce the actual desired result and thereafter it shall actually achieve this goal.

If the Applicant elects to request an increase in the amount of reserved uncovered parking spaces by converting unreserved uncovered parking spaces as provided herein, then the Applicant shall submit the Modified Parking Plan and supporting analysis and documents required herein to the City Manager on or before September 1, 2023 for consideration and approval thereafter by the City Council.

- d. Unreserved Parking Spaces for Tenants. All unreserved parking spaces shall remain open for parking by all tenants of the Project who do not have a reserved parking space for their use as provided herein. The leases for tenants shall provide that tenants shall use their reserved parking spaces first before using any unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- e. Visitor Parking Spaces. The visitor parking spaces shall be marked with signage as “visitor parking.” The size, design, and location of signage for visitor parking shall be in compliance with the City’s Off-Street Parking Manual and approved by City Manager. The visitor parking spaces shall be distributed evenly throughout the Project as approved by City Manager. The Applicant shall not reserve any “visitor” parking spaces on the Project.
- f. Tenants Shall Not Park in Visitor Parking Spaces. Tenants shall not be permitted to park in visitor parking spaces. The leases for tenants of the Project shall provide that tenants shall not park in parking spaces with signage stating the space is “visitor” parking. Notwithstanding the foregoing, tenants may park in visitor parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.

- g. No Charge for Parking. There shall not be any charge or fee to park in the Project, whether for any tenant of the Project (reserved or unreserved parking spaces) or their respective invitees, guests, and visitors. There shall not be any charge or fee for any parking spaces for tenants (reserved or unreserved), whether the parking spaces are provided as required by zoning or not, any parking spaces for visitors, and for any parking spaces constructed in the Project that exceed the total amount of spaces required by zoning.

The foregoing prohibition against the Applicant charging for any parking spaces in the Project shall not apply to the Applicant charging a higher rent for each apartment that includes exclusive reserved use of a specific identified garage and/or covered carport parking space assigned to that specific apartment for the exclusive use of that apartment. However, in order to permit this exemption from the prohibition against charging for parking spaces, each garage and uncovered carport parking space in the Project shall be assigned to a specifically identified apartment for the exclusive use of that apartment, with one garage or covered carport parking space assigned to each apartment as provided in Subsection (c) above. The garage parking spaces and covered carport parking spaces shall be assigned to the extent of the quantity of garages and covered carport parking spaces in the Project (i.e., there are more apartments than garages and carport parking spaces).

- h. Access to Parking. There shall not be any gate, barrier, or other restriction to access any driveway/vehicle access to the Project.
- i. No Assignment to Third Party. No parking spaces in the Project shall be assigned, sold, conveyed, transferred to any third party owner or otherwise reserved for any tenant beyond the amount of parking spaces allocated to the tenant's type of apartment as provided herein.
- j. Garages Shall be Used for Parking. All leases and rental agreements for tenants or occupants of the Project shall provide that garages and covered parking spaces in carports shall be used for vehicle parking and incidental storage of personal property. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties for violations.
- k. All garages shall be pre-wired for electric vehicle charging as identified in exhibit provided to City Council on December 17, 2018

- I. A minimum of 15 electric vehicle (EV) charging stations shall be installed consistent with the exhibit provided by City Council on December 17, 2018. Tenants shall not be permitted to park in EV parking spaces unless used for charging purposes. The leases for tenants of the Project shall provide that tenants shall not park in EV parking spaces with signage stating the space is "EV" parking. Notwithstanding the foregoing, tenants may park in EV parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- V. Fifty-seven (57) guest parking spaces shall be marked as permanent guest spaces and may not be assigned or reserved for any tenant, occupant or employee.
- VI. A Parking Management Plan, as approved by the City Council, shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.
- VII. LANDSCAPE PLAN.

The Applicant has submitted to the City Council a Final Landscape Plan which is part of the Project for consideration by the City Council concerning the Development Review Permit Modification Request for the Project.

The Landscape Plan shall comply with the following requirements:

- a. Mix. The mix of trees shall be at least 70% or more evergreen and no more than 30% deciduous.
- b. Quantity. At a minimum, the quantity of trees and other vegetation shown on the Landscape Plan shall be maintained. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.
- c. Quality. Trees and other vegetation shall be the same or better architectural significance and design value (as these terms are customarily used by landscape design professionals from time to time during the life of this Project) and quality as shown on the Landscape Plan.



- d. Requirement to Maintain Landscape Trees and Vegetation. The Applicant shall maintain the landscape buffer areas with trees and vegetation that have a level of architectural significance and design value and quality that is substantially the same or better than as shown on the Landscape Plan. Such trees and other vegetation shall not be removed unless concurrently replaced.
- e. Removal and Replacement. Trees and other vegetation shall not be removed without concurrently replacing same. When replacing trees and other vegetation, the Applicant shall maintain the same or better level of architectural significance, design value and quality shown on the Landscape Plan. Also, when replacing trees, the Applicant shall replace with equal or larger size of the trees as indicated in the Landscape Plan.
- f. Final Landscape Plan. The Applicant shall submit the “Final Landscape Plan” for consideration and approval by the City Council. Selection of the species of trees (including the height of trees at maturity) and placement of the trees throughout the Project, including in all landscape buffer areas, for the Final Landscape Plan shall consider and mitigate potential for blocking views of residences located on South Nardo Avenue that filed view claims concerning this Project.
  - (i) Landscaping and tree heights shall be specifically addressed as part of the Final Landscape Plan and shall demonstrate that, at maturity, trees and landscape shall not exceed the height of Building 12 within the view corridor between Buildings 2 and 3, Buildings 11 and 12 and Buildings 13, 14 and 17.

#### VIII. LANDSCAPE BUFFER AREAS.

- a. Landscape Buffer Areas. The “landscape buffer area” means the area between the facades of the buildings in the Project that are located along the boundary line of the Property and the adjacent boundary line of the Property or the edge of the sidewalk at a public street that is closest to the building facades, whichever is closer to the building facades. Where there is a parking area along the perimeter of the Project, the Landscape buffer area is the area between the boundary line of the Property or the edge of the sidewalk at a public street that is closest to the parking area and the edge of the paved parking area. However, at various locations along the perimeter of the Project on the south and west sides of the Project there is no sidewalk, and the landscape buffer areas consists of the area between the building facades (or edge of the paved parking area) and the boundary line of the Property.

There is a landscape buffer area around the entire perimeter of the Project, except at the three locations where a driveway crosses the landscape buffer area. The landscape buffer areas are provided by the placement of the buildings and structures set back from the property boundary lines as depicted on the Project Plans, including the Site Plan (Sheet O-1.1) and Preliminary Conceptual Landscape Plan (Sheet L-0.1) that are part of the Project Plans.

The landscape buffer areas are shown on the Project Plans, including the Site Plan and Preliminary Grading Plan therein. The landscape buffer area shall be increased as described herein and specifically depicted and identified on the Site Plan and the updated final Landscape Plan that are part of the Project Plans.

The landscape buffer areas shall be planted with trees and other vegetation as provided herein to screen the Project from the public streets, adjoining properties, and other properties in the area of the Project. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.

- b. Modify Landscape Buffer Areas. The minimum width of the landscape buffer areas between Building #25 and the parking area located east of Building #25 and the property to the south, and at Building #6 shall be expanded as follows:
  - (i) Building #25 - a minimum twenty-five (25) feet wide;
  - (ii) Parking area east of Building #25 – twenty (20) feet wide;
  - (iii) Remove hardscape improvements in Landscape Buffer area on north side of Building #6.
- c. Requirement to Maintain Minimum Size of Landscape Buffer Areas. The dimensions (i.e., distance east to west, and north to south) and useable area of the landscape buffer areas as set forth herein shall be maintained and shall not be reduced. No portion of any landscape buffer area shall be converted to patios, decks, walkways, driveways, or other non-landscape uses, except as provided in subsection (d) below entitled “Exceptions to Landscape Buffer Area.”
- d. Exceptions to Landscape Buffer Area. Except as expressly permitted herein, no patios, decks, walkways, seating, or other hardscape improvements, or other non-landscape uses are permitted in any of the landscape buffer areas referenced herein:

- (i) Two Driveways Along South Nardo Avenue and One Driveway on Stevens Avenue. There shall not be more than three (3) driveways/vehicle entrances to the Project. There are two driveways that provide access to the Project along South Nardo Avenue and one driveway on Stevens Avenue that serves Building #25; and
  - (ii) Walkways in the Landscape Buffer Areas Next to and Along the Building Facades. Allow one walkway in the landscape buffer areas next to the building facades. These walkways are shown on the Preliminary Grading Plan. These walkways provide access to the apartments in these residential apartment buildings. These walkways shall not be wider than four (4) feet, including any built-in benches, seating, planters, or other improvements associated with or concerning the walkway.
- e. Pocket Park on South Nardo Avenue. There shall be an open space park area located along and contiguous with South Nardo Avenue between Building #2 and Building #4 as identified on the Preliminary Grading Plan. The minimum dimensions of the area of the park are fifty-three (53) lineal feet measured generally from north to south (approximately perpendicular to South Nardo Avenue) and ninety-five (95) lineal feet measured generally from east to west. This open space area will be used as a park for residents and visitors of the Project. The entire area of this park area will be landscaped with grass and other vegetation as set forth on the Landscape Plan that provide at least ninety percent (90%) coverage of the area. There shall not be any hardscaped area or other improvements constructed or installed within this park area, except the area for installation of a small patio and barbeque, not to exceed a total of two hundred (200) square feet, at the location(s) shown on the Project Plans.
  - f. The Final Landscape Plan shall be reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health prior to building permit issuance.
  - g. Engineering review shall be conducted by EsGil for Final Landscape Plan Construction Drawings contained on Sheets LC-01 through and LC-13 prior to building permit issuance.

**B. Engineering Department Conditions:**

**I. PUBLIC IMPROVEMENTS/TRAFFIC CALMING PLAN**

The following engineering conditions (1 thru 13 under Public Improvements) are required to improve the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program in satisfaction of the Traffic Impact Fee (TIF) requirement. The Applicant shall construct and install the improvements set forth on the Off-Site Improvement Plan dated December 3, 2018 (the "Off-Site Improvement Plan") as modified by the Traffic Calming Plan exhibit dated January 2022 submitted by the Applicant to the City concerning the Development Review Permit for the Project. The Applicant shall obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer as follows:

- (1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These Enhancements may include but not be limited to:
  - (a) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane, one outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install "Keep Clear" legend on Valley Avenue at Turfwood driveway.
  - (b) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.
  - (c) Installation of a "Solar Powered Electronic Speed Sign" on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.
  - (d) The Applicant shall monitor the traffic pattern and delay at the Turfwood Lane Access to the Valley Avenue four times (two times during morning and two times during afternoon peak hours) within one year after full implementation of the above measure. Upon completion of the field observation and monitoring efforts, a report prepared by a professional traffic engineer shall be delivered to the City Engineering office. If additional enhancement is warranted, the Applicant shall implement the project's share of the required improvements at a cost not to exceed \$50,000 to the satisfaction of the City Engineer.

- (2) The Applicant shall reconstruct the southwesterly curb return at the intersection of Nardo Avenue and Stevens Avenue. The Applicant shall place thermoplastic continental pedestrian crossing striping at the north and west side of the intersection. The Applicant shall replace the pedestrian ramps at the northwest corner and east side of the intersection to the satisfaction of the City Engineer.
- (3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.
- (4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require elimination of on-street parking along South Nardo on both sides of the street.
- (5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered pedestrian crossing flashing sign with corresponding signage.
- (6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.
- (7) The Applicant shall place thermoplastic continental pedestrian crossing striping on Nardo Avenue north side of Solana Circle and on Solana Circle west side of Nardo Avenue to the satisfaction of the City Engineer. City will perform appropriate analysis and report to the City Council. If directed by the City Council, City Staff would facilitate the installation of new stop signs on south Nardo Avenue at Nardito Lane and Solana Circle with corresponding signs and legends.

- (8) The applicant Shall Construct two Chokers (Physically narrowing the road width by extending the curbs and installing a short median section) between Nardito Lane and Fresca Street with corresponding signs and pavement legends to the satisfaction of the City Engineer.
  - (9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.
  - (10) Construct all sewer lateral connections to the City sewer main consistent with City Standards.
  - (11) Construct all proposed driveway entrances to the project on South Nardo Avenue and Valley Avenue consistent with City Standards.
  - (12) Construct all storm drain connections to the City curb or storm drain system consistent with City Standards.
  - (13) The existing sewer main serving this property, proposed to be replaced, shall be abandoned in the public right-of-way by plugging the street manhole connection and plugging the pipe at the right-of-way line. The sewer connection(s) for 821 Stevens Avenue shall be capped at the main.
  - (14) Connect to the existing recycled waterline on Stevens Avenue. The applicant shall coordinate with Santa Fe Irrigation District, San Elijo Joint Powers Authority and County Health Department for this extension project. All irrigation system including the ones in the public right of way shall be provided by recycled water.
  - (15) The Applicant shall continue to work with City Staff to develop the Traffic Calming Plan referenced herein. Upon completion, the Traffic Calming Plan shall be subject to future consideration and approval by the City Council.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings. The conditions of approval for the project shall remain in place until such time they may be amended or superseded by subsequent City Council action.
  7. EXPIRATION: The vesting tentative map shall expire 24 months after the date of Coastal Commission CDP permit issuance and may be extended as provided by State law or Section 16.12.110, whichever provides the longest extension. All

other approvals granted by this resolution shall expire 60 months after the date of Coastal Commission approval and may be extended as provided by Section 17.72.110.

8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and the Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.
9. NOTICE TO APPLICANT: Developer is hereby notified, as required by Government Code Section 66020, that the approved plans and the conditions of approval and ordinances governing fees and exactions in effect at the time the project is approved constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90 day period has begun in which developer may protest any dedications, reservations, fees or other exactions imposed by the City. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Failure to file a protest in compliance with all of the requirements of Government Code Section 66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 19<sup>h</sup> day of February 2022, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk



**From:** [Mike Nunn](#)  
**To:** [Joseph Lim](#)  
**Subject:** Fwd: HG Fenton project discussion at this evening's city council meeting — Case No. DRP MOD 20-002 for DRP/SDP/VTM 17-14-29  
**Date:** Wednesday, January 26, 2022 1:27:08 PM

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Begin forwarded message:

**From:** Mike Nunn <[REDACTED]>  
**Subject:** HG Fenton project discussion at this evening's city council meeting — Case No. DRP MOD 20-002 for DRP/SDP/VTM 17-14-29  
**Date:** January 26, 2022 at 1:22:14 PM PST  
**To:** [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org)  
**Cc:** Phil Weber [REDACTED]

This note is to express our support of using the view assessment process to evaluate changes proposed by HG Fenton. We (Phil Weber and Mike Nunn) live at 639 Nardito Lane and were involved in the prior view assessment for the Solana Highlands renewal project. Our claims of potential loss of view, together with those of others, led to significant changes in the original project design through the city's view assessment process .

HG Fenton has now requested a change to the approved plan, including a 5 ft increase in height for 139.9 ft of one of the buildings, and moving a second building into a new area where views might be impacted. We would request that these changes be treated the same as any other change in structure heights in the city: that story poles be put in place so neighbors can assess the impact that these modifications will have on the surrounding community. ... If any other home were going to increase in height by 5 feet, story poles would be required for the change. If any other building were going to be moved by 60 feet, we would need to evaluate it. And if a large balcony, with a modification to the roof line were to be added to a house, that would also need by evaluated by our city's view assessment process.

We urge the city council to follow the laws and codes of the City of Solana Beach, enforce the view assessment process, and deny the applicants request to proceed without full evaluation of their proposed changes to previously approved plans.

Thank you,

Michael Nunn, PhD  
[REDACTED] Nardito Lane  
Solana Beach, CA 92075  
(858) 342-1458

[nunm639@gmail.com](mailto:nunm639@gmail.com)



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Finance Department  
**SUBJECT:** **Fiscal Year 2020-21 Annual Comprehensive Financial Report (ACFR)**

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## **BACKGROUND:**

The City's financial policies specify that each year the City's financial statements are to be audited by a firm of independent Certified Public Accountants (CPA's) and that the auditor's opinion is to be included in the financial statements as is required by Generally Accepted Accounting Principles (GAAP). An independent audit is essential to demonstrate the accountability of government officials' use of public resources and provides a basis for user acceptance of the audited financial statements.

This item is before the City Council to accept and file the Fiscal Year (FY) 2020-21 Annual Comprehensive Financial Report (ACFR) (Attachment 1) and receive a presentation by the City's Independent Auditors, Lance, Sol & Lunghard, LLP, on the City's financial condition as of June 30, 2021.

## **DISCUSSION:**

Staff is presenting the FY 2020-21 ACFR for Council's review. The ACFR is a detailed report that goes beyond the requirements of GAAP and beyond any legal reporting requirements. The ACFR covers all funds of the government and all the financial transactions during the applicable fiscal year. It is considered a general-purpose report as its contents are intended to meet the needs of a range of user groups.

Highlights of the FY 2020-21 ACFR include the following:

- The City's net position increased to \$87,556,725, or by \$3,310,854, as a result of FY2021 operations.
- Governmental net position equaled \$39,480,938.
- The total revenues from all sources were \$37,419,385.

CITY COUNCIL ACTION:

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- The total cost of all City programs was \$34,108,531.
- The General Fund reported an excess of revenues over expenditures and other financing sources and uses by \$2,091,876.
- The General Fund's actual resources received exceeded the final revenue budget by \$1,529,852 while actual expenditures were \$1,300,098 less than final budget before other financing sources and uses.

**GASB Statements Regarding Pension Liabilities**

Governmental Accounting Standards Board (GASB) requires government entities to report net pension liabilities in their Statement of Net Position. The standard, GASB Statement No. 68 (GASB 68), *Accounting and Financial Reporting for Pensions*, was issued by GASB on June 12, 2012.

Under GASB 68, governmental entities need to address net pension liability in their financial statements. Net pension liability refers to the difference between the total pension liability, defined as the present value of the projected benefit payments to employees based on past service, and the pension's assets, generally considered to be the investments set aside to pay retirees and current employees. Since the City takes part in a cost-sharing plan, it needs to recognize its proportionate share of the collective net pension liability and expense for the plan.

GASB 68 also requires governments to immediately recognize annual service costs and interest on the pension liability, as well as the effects of any changes in benefit terms. Since pension expenses are now viewed over the service period of the plan member, governments also have to deal with how changes in economic and demographic assumptions used to project benefits affect the pension, as well as with differences between assumptions and actual experiences. Governmental entities also need to recognize, over a five-year period, the effects of differences between expected and actual investment returns.

The provisions in GASB 68 were effective for financial statements for periods beginning after June 15, 2014.

As of June 30, 2021, the City of Solana Beach reported net pension liabilities for its proportionate shares of the net pension liability of each Plan as follows, with a comparison to the net pension liability of each Plan as of June 30, 2020:

	Proportionate Share of Net Pension Liability		
	FY 2019-20	FY 2020-21	Difference
Miscellaneous	\$ 5,668,839	\$ 6,151,557	\$ 482,718
Safety	9,611,934	10,505,198	893,264
	<u>\$ 15,280,773</u>	<u>\$ 16,656,755</u>	<u>\$ 1,375,982</u>

The City of Solana Beach's net pension liability of each of the Plans is measured as of June 30, 2019, and the total pension liability for each Plan used to calculate the net

pension liability was determined by an actuarial valuation as of June 30, 2019 rolled forward to June 30, 2020 using standard update procedures. The City's proportion of the net pension liability was based on a projection of the City's long-term share of contributions to the pension plans relative to the projected contributions of all participating employers, actuarially determined. The City's net position as a percentage of the total pension liability for both Plans is 75.10%.

More detailed information regarding the implementation of GASB 68 can be found in the following sections of the ACFR:

1. Note 6, City Employees Retirement Plan – Pension Plans, beginning on page 63
2. Schedule of Proportionate Share of the Net Pension Liability on page 90
3. Schedule of Plan Contributions on page 91

### **GASB Statements Regarding Other Post-Employment Benefits (OPEB)**

During the fiscal year ended June 30, 2018, the City implemented GASB Statement No. 75 (GASB 75), *Accounting and Financial Reporting for Post-Employment Benefits other than Pensions* which is the “employer” reporting of the plan in its financial statements. GASB 75 reports a liability in the ACFR on the statement of net position for the OPEB liability which is similar to how net pension liability is reported for pensions.

The primary objective of this statement was to improve accounting and financial reporting by state and local governments for post-employment benefits other than pensions (OPEB). It also improved information provided by state and local governmental employers about financial support for OPEB that is provided by other entities. This Statement replaced the requirements of Statements No. 45, *Accounting for Financial Reporting by Employers for Post-Employment Benefits other than Pensions, as amended*, and No. 57, *OPEB Measurements by Agent Employers and Agent Multiple-Employer Plans*.

The City provides OPEB in the form of a modest retiree healthcare benefit. The City's net OPEB liability was measured as of June 30, 2021, and the total OPEB liability used to calculate the net OPEB liability was determined by an actuarial valuation dated June 30, 2019 that was rolled forward to determine the June 30, 2021 total OPEB liability, based on the actuarial methods and assumptions as explained in Note 7 in the ACFR.

In FY 2018-19, the Council changed its funding policy for the City's OPEB liability. Before FY 2018-19, the Council would use a portion of a fiscal year's ending surplus to be placed in the Public Agency Retirement Services (PARS) Section 115 irrevocable benefit trust (Trust) for OPEB. As part of the adoption of the FYs 2019-20 and 2020-21 budgets, both approved by Council on June 12, 2019, a funding policy was established to fund the OPEB liability.

The total OPEB liability as of June 30, 2021 increased by \$50,293 to \$3,582,741. Combined with an increase of \$410,273 in the Fiduciary Net Position (FNP), or monies held by the PARS Trust, the City's Net OPEB Liability (NOL) realized a total reduction of \$359,980 from FY 2019-20 to FY 2020-21 as shown in the following table:

	Net OPEB Liability		
	06/30/2020	6/30/2021	Difference
Total OPEB Liability (TOL)	\$ 3,532,448	\$ 3,582,741	\$ 50,293
Fiduciary Net Position (FNP)	848,608	1,258,881	410,273
Net OPEB Liability (NOL)	<u>\$ 2,683,840</u>	<u>\$ 2,323,860</u>	<u>\$(359,980)</u>
Funded Status (FNP/TOL)	24.0%	35.1%	
Discount Rate	6.00%	6.00%	

More detailed information regarding the implementation of GASB 75 can be found in the following sections of the ACFR:

1. Note 7, Other Post-Employment Benefits, beginning on page 68
2. Schedule of Changes in Net OPEB Liability and Related Ratios on page 94
3. Schedule of Plan Contributions on page 95
4. Schedule of Investment Returns on page 96

### **Fund Balance**

In FY 2010-11, the City adopted the provisions of GASB Statement No. 54 (GASB 54), Fund Balance and Governmental Fund Type Definitions. GASB 54 changed how Fund Balances were previously reported in fiscal years prior to FY 2010-11 and has established Fund Balance classifications based largely upon the extent to which a government is bound to observe constraints imposed upon the use of the resources reported in governmental funds. The Governmental Fund statements conform to this classification and information regarding Fund Balances can be found in Note 12 on page 79 of the ACFR.

Also included in Note 12 on page 80 of the ACFR is the General Fund GASB 54 Fund Balance Classifications, which provides detail about the General Fund Balance categories. The Unassigned category amount of \$7,138,002 includes the Fund Balance amount of \$(1,993,423) for the Real Property Acquisition Fund. This amount reflects the balance due to the Sanitation Fund of \$2,054,056, plus \$60,633 of cash available for future property acquisitions.

The loan balance from the Sanitation Fund is reported as a liability on the General Fund's balance sheet as an "Advances from Other Funds". The loan payable to the Sanitation fund was made at an annual interest rate of 2.78% for seven years with annual payments equal to \$445,699. As payments are made each year to the Sanitation Fund, the loan amount will decrease and the Fund Balance amount in the Real Property Acquisition Fund will increase and eventually be zero when the loan is fully paid in FY 2025/26.

**Fund Activity**

**General Fund**

The General Fund had the following activity for FY 2020-21:

Total Revenues	\$ 23,041,752
Total Expenditures	(20,666,776)
Other Financing Sources	-
Other Financing (Uses)	(283,100)
Net Change in Fund Balance	<u>\$ 2,091,876</u>
Fund Balance	
Beginning of Year	<u>15,454,078</u>
End of Year	<u>\$ 17,545,954</u>
Non-Spendable	
Restricted	54,212
Committed	3,245,475
Assigned	901,576
Unassigned	6,206,689
Fund Balance-June 30, 2021	<u>\$ 7,138,002</u>
	<u>\$ 17,545,954</u>

The net change in the General Fund's fund balance from FY 2019-20 to FY 2020-21 is \$2,091,876 using the GASB 54 fund balance classifications as reflected in the following table:

	<u>06/30/20</u>	<u>06/30/21</u>	<u>Difference</u>
Non-Spendable	\$ 52,665	\$ 54,212	\$ 1,547
Restricted	2,422,056	3,245,475	823,419
Committed	1,179,507	901,576	(277,931)
Assigned	6,349,702	6,206,689	(143,013)
Unassigned GF	7,956,885	9,131,425	1,174,540
Real Property Acquis	<u>(2,506,737)</u>	<u>(1,993,423)</u>	<u>513,314</u>
Total Unassigned	<u>5,450,148</u>	<u>7,138,002</u>	<u>1,687,854</u>
Total General Fund	<u>\$ 15,454,078</u>	<u>\$ 17,545,954</u>	<u>\$ 2,091,876</u>

The General Fund's revenue, expenditures, and fund balance as reported in the ACFR includes the City's internal service funds. The net change in the General Fund's fund balance, including the internal service fund designations, is reflected in the following table:

	06/30/20	06/30/21	Difference
General Fund	\$ 10,466,843	\$ 11,642,931	\$ 1,176,088
Self-Insurance	923,644	618,490	(305,154)
Workers Comp	539,911	696,923	157,012
Asset Replacement	2,392,250	2,391,099	(1,151)
Facilities Replacement	735,493	741,773	6,280
OPEB/Pensions	2,902,674	3,448,161	545,487
Real Property Acquisition	(2,506,737)	(1,993,423)	513,314
<b>Total General Fund</b>	<b>\$ 15,454,078</b>	<b>\$ 17,545,954</b>	<b>\$ 2,091,876</b>

Other Governmental Funds

The Special Revenue Funds, Capital Improvement Funds, and Debt Service Funds had the following combined activity for FY 2020-21:

Total Revenues	\$ 3,778,172
Total Expenditures	(3,730,203)
Other Financing Sources	-
Other Financing (Uses)	283,100
<b>Net Change in Fund Balance</b>	<b>\$ 331,069</b>
Fund Balance	
Beginning of Year	7,761,442
End of Year	<b>\$ 8,092,511</b>
Non-Spendable	-
Restricted	10,928,273
Committed	-
Assigned	-
Unassigned	(464,267)
<b>Fund Balance-June 30, 2021</b>	<b>\$ 10,464,006</b>

The Proprietary Funds, which include Sanitation and Solana Energy Alliance, had the following activity for FY 2020-21 as shown on the following page:



Total Revenues	\$ 9,280,616
Total Expenditures	(7,001,401)
Non Operating Revenues	235,627
Non Operating Expenditures	(841,891)
Change in Net Position	<u>\$ 1,672,951</u>
Net Position	
Beginning of Year	<u>46,402,836</u>
End of Year	<u>\$ 48,075,787</u>
Net Position	
Net Investment in Capital Assets	11,185,890
Restricted for Debt Service	-
Unrestricted	<u>36,889,897</u>
Net Position-June 30, 2021	<u>\$ 48,075,787</u>

The Management’s Discussion and Analysis Section of the ACFR provides a more in-depth view of the City’s current financial health. The Statement of Auditing Standards (SAS) No. 115, Communication of Internal Control Related Matters Identified in an Audit (Attachment 2), received from the auditor’s states that there were no material instances of noncompliance, no material weaknesses in internal controls, and no reportable conditions.

In SAS No. 114, the Auditor’s Communication with Those Charged with Governance (Communication) (Attachment 3) regarding their responsibilities under auditing standards generally accepted in the United States of America and Government Auditing Standards, the auditors reported on the implementation of various GASBs, among other findings.

The City’s audit was conducted in conformity with Generally Accepted Auditing Standards (GAAS). These are the standards that a CPA must follow when auditing financial statements. In an independent audit, the CPA expresses an opinion as to whether the financial statements present fairly the financial position and results of operations for the year ended. The Fiscal Year 2020-21 audit report contains this unmodified opinion.

The City was proud to accept the Certificate of Achievement for Excellence in Financial Reporting from the Government Finance Officers Association for the ACFR for the fiscal year ended June 30, 2020. Staff is confident that this report will again earn this distinction.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

None with this action.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation.
- Provide alternative direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Accept and file the City of Solana Beach Annual Comprehensive Financial Report (ACFR) for the fiscal year July 1, 2020 – June 30, 2021.
2. Accept and file the Communication of Internal Control Related Matters Identified in an Audit letter.
3. Accept and file The Auditor's Communication with Those Charged with Governance letter.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

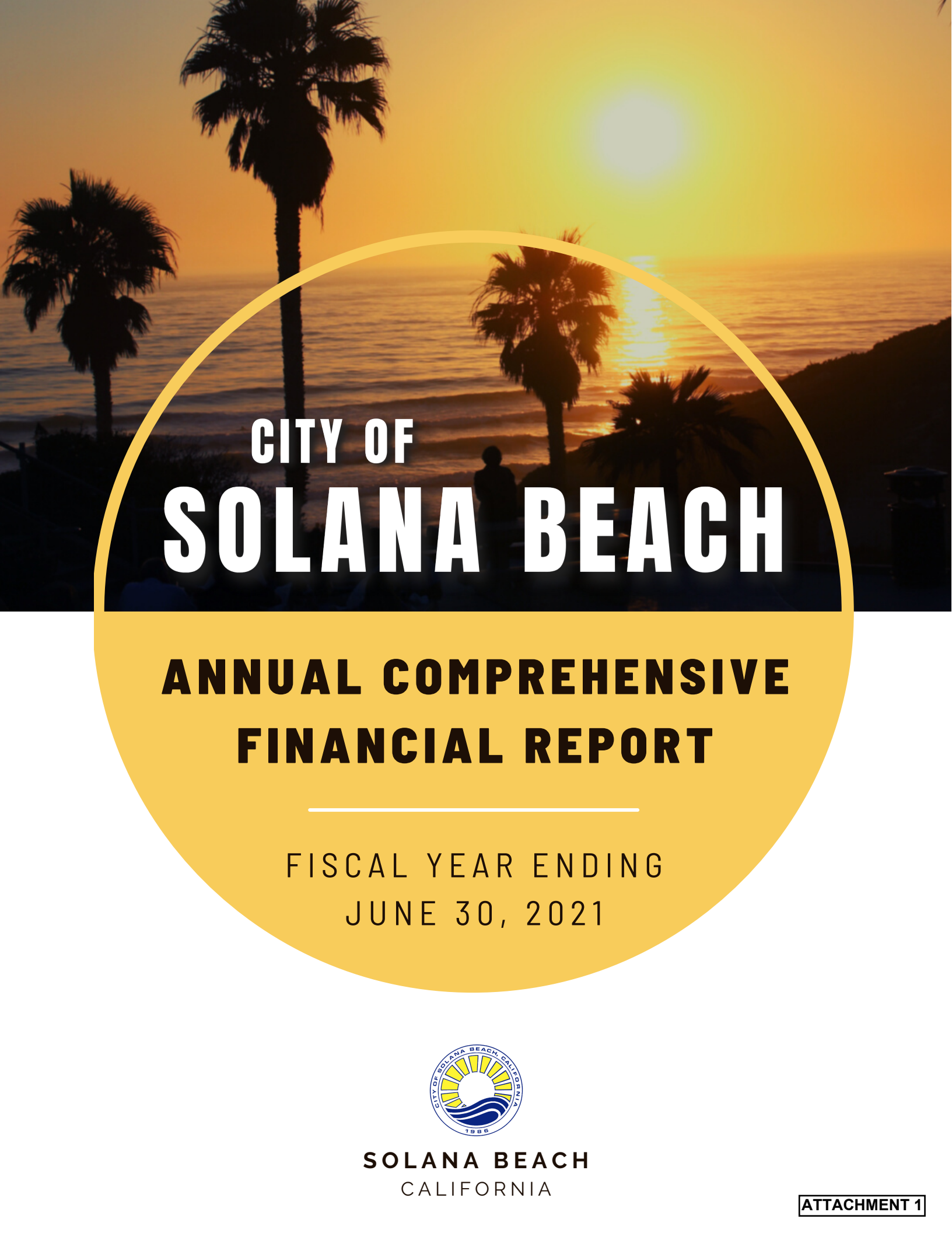


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Gregory Wade, City Manager

Attachments:

1. ACFR Fiscal Year Ended June 30, 2021
2. Communication of Internal Control Related Matters Identified in an Audit letter
3. The Auditor's Communication with Those Charged with Governance letter



**CITY OF  
SOLANA BEACH**

**ANNUAL COMPREHENSIVE  
FINANCIAL REPORT**

---

FISCAL YEAR ENDING  
JUNE 30, 2021



**SOLANA BEACH**  
CALIFORNIA

CITY OF SOLANA BEACH, CALIFORNIA  
ANNUAL COMPREHENSIVE FINANCIAL REPORT  
FOR THE FISCAL PERIOD ENDED JUNE 30, 2021

PREPARED BY THE FINANCE DEPARTMENT  
OF THE CITY OF SOLANA BEACH

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CITY OF SOLANA BEACH, CALIFORNIA  
ANNUAL COMPREHENSIVE FINANCIAL REPORT  
FOR THE FISCAL PERIOD ENDED JUNE 30, 2021

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CITY OF SOLANA BEACH, CALIFORNIA  
ANNUAL COMPREHENSIVE FINANCIAL REPORT  
FOR THE FISCAL PERIOD ENDED JUNE 30, 2021

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CITY OF SOLANA BEACH, CALIFORNIA  
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 FOR THE FISCAL PERIOD ENDED JUNE 30, 2021

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## CITY OF SOLANA BEACH

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January 31, 2022

To the Honorable Mayor, Members of the City Council, and Citizens of Solana Beach:

It is with great pleasure that we present to you the City of Solana Beach (City) Annual Comprehensive Financial Report (ACFR) for the Fiscal Year ended June 30, 2021.

This year's report was prepared by the City's Finance Department in conformity with Generally Accepted Accounting Principles (GAAP) and has been audited in accordance with Generally Accepted Auditing Standards (GAAS) by a firm of licensed Certified Public Accountants. The report consists of management representations concerning the finances of the City. Consequently, responsibility for both the accuracy of the data and the completeness and fairness of the presentation, including all disclosures, rests with the City. To the best of our knowledge and belief, the enclosed information is accurate in all material respects and is reported in a manner designed to present fairly the financial position of the City. All disclosures necessary to enable an understanding of the City's financial activities have been included.

The ACFR includes the financial activity for all funds of the City. The City provides a wide range of services including planning; public works; engineering; maintenance of streets, parks and public facilities; community services and recreation; fire and marine safety; sanitation; community choice aggregation; and general administrative activities. Contracted services include building services through a third-party consultant, law enforcement with the San Diego County Sheriff and animal control with the San Diego Humane Society.

### **Internal Controls**

The management of the City is responsible for establishing and maintaining an internal control structure designed to ensure that the assets of the government are protected from loss, theft, or misuse, and to ensure that adequate accounting data is compiled to allow for the preparation of financial statements in conformity with GAAP. The internal control structure is designed to provide reasonable, but not absolute, assurance that these objectives are met. The concept of reasonable assurance recognizes that (1) the costs of a control should not exceed the benefits likely to be derived; and (2) the valuation of costs and benefits requires estimates and judgments by management.

As a recipient of State, County, and Federal financial resources, the City also is responsible for ensuring that an adequate internal control structure is in place to ensure compliance with applicable laws and regulations related to those programs. The internal control structure is subject to periodic evaluation by the management of the City.

## **Annual Audit**

Lance, Soll and Lunghard, LLP, appointed by the City Council, has audited the City's financial statements. The goal of the independent audit is to provide reasonable assurance that the financial statements of the City for the fiscal year ended June 30, 2021, are free of material misstatements. As part of the City's annual audit, reviews are made to determine the adequacy of the internal control structure as well as to determine that the City has complied with applicable laws and regulations.

The results of the City's annual audit for the fiscal year ended June 30, 2021, provided no instances of material weaknesses in the internal control structure and no violations of applicable laws and regulations. The independent auditor concluded there was a reasonable basis for rendering an unmodified opinion and the City's financial statements are fairly presented in conformity with GAAP. The independent auditor's report is presented as the first component of the financial section of this report.

## **Management's Discussion and Analysis (MDA)**

This letter of transmittal is designed to complement the Management's Discussion and Analysis (MDA) and should be read in conjunction with it. The MDA provides "financial highlights" and interprets the financial reports by analyzing trends and by explaining changes, fluctuations, and variances in the financial data. In addition, the MDA is intended to disclose any known significant events or decisions that affect the financial condition of the City. The City's MDA can be found immediately following the report of the independent auditors.

## **Government Profile**

The City was incorporated on July 1, 1986, under the general laws of the State of California and is home to a population of 13,838 residents per the State of California Department of Finance. Included within the City's financial statements is the financial information of the Solana Beach Public Facilities Corporation. The City is considered the primary government and the Public Facilities Corporation is a component unit. Additionally, since the governing boards of the City and the component unit are the same, the financial statements of the City and the component unit are blended.

The Solana Beach Public Facilities Corporation was incorporated on July 25, 1990, as a nonprofit public benefit corporation duly organized and existing under the Nonprofit Public Benefit Corporation Law. Its purpose is to benefit the City by providing financing for the planning, development, acquisition, construction, improvement, extension, repair, and renovation of public works projects, public facilities, furnishings, and equipment for use by the City.

The City is a coastal community encompassing approximately 3.4 square miles and is located twenty-one miles north of the City of San Diego's downtown district. It is bordered to the North and South by the cities of Encinitas and Del Mar, respectively; to the East by the County San Diego; to the southeast by the City of San Diego; and by the Pacific Ocean to the West.

The City is a general law city that operates under the Council-Manager form of government.

The City Council (Council) is comprised of four Council members elected within separate Council Districts to staggered four-year terms of office. The Mayor is elected at large to a four-year term and the Deputy Mayor is selected by the Council from among its four Councilmembers to serve a one-year term. The Council acts as the legislative and policy-making body of the City, enacting all laws and directing such actions as required providing for the general welfare of the community.

The City Manager, appointed by the Council, serves as the Chief Executive Officer and is responsible to the Council for the proper administration of all City affairs and for the implementation of all policies established by the Council. The City Attorney is the only other position appointed by the Council. All other department heads and employees are appointed by the City Manager.

Commissions play an important role in the governmental structure of Solana Beach. They provide many opportunities for citizens to participate in the affairs of the City. These Advisory Commissions assist in the performance of studies and the issuance of recommendations on various matters of concern to the Council.

The Advisory Commissions are the following:

- Budget & Finance Commission
- Climate Action Commission
- Parks & Recreation Commission
- Public Arts Commission
- View Assessment Commission

**Budgetary Process and Controls**

The process of adopting a budget for the City is generally a six-month process beginning in late December and ending in June when the Council adopts the budget and appropriates funds necessary for the City to provide services to its residents.

The process is all-inclusive as department directors work with the City Manager and representatives of the Finance Department to discuss departmental requests relative to the City’s available resources.

The City’s overall objectives and goals, along with the economic outlook, serve as a platform for the proposed budget that is distributed to the Council, and the Budget and Finance Commission, for preliminary review and analysis in preparation of public workshops and hearings. The public workshops and hearings are held to facilitate discussions of items contained within the proposed budget and to allow the citizenry to participate in the budget process.

In June 2019, the City Council approved a two-year budget for Fiscal Years (FY) 2019/20 and 2020/21. The same process was followed in developing this two-year budget and, as the budget is amended during this two-year budget cycle, budget adjustments are brought to the City Council for review and approval. The Fiscal Year 2020/21 portion of the two-year budget was amended in July 2020 mainly due to the impacts of COVID on City resources.

In addition to internal controls, the City maintains budgetary controls. The objective of these budgetary controls is to ensure compliance with legal provisions embodied in the annual appropriated budget approved by the Council. Activities of the General, Special Revenue, Debt Service, and Capital Projects Funds are included in the annual appropriated budget.

The budget is arranged by fund, function, and department and is presented to the Council by the City Manager and Finance Director. The budget is then adopted annually by the Council prior to the beginning of the financial year and serves as the foundation for the City's financial planning and control. Department directors may make transfers of appropriations within their own budget units' departments with City Manager approval. The City budget is reviewed and is periodically adjusted at the middle of the fiscal year and at the end of the fiscal year. These adjustments are approved by the Council.

The City also maintains an encumbrance accounting system as one technique of accomplishing budgetary control. The adopted budget for Fiscal Year 2020/21 was prepared in accordance with Generally Accepted Accounting Principles.

As demonstrated by the statements and schedules included in the financial section of this report, the City continues to meet its responsibility for sound financial management.

## **Economic Condition and Outlook**

Information presented in the City's financial statements is best understood within the context of our broader economic conditions. Fundamentals of the national economy have gained strength as the economy continues to rebound from the beginning stages of the COVID-19 pandemic. Based on the most recent estimates from the Bureau of Economic Analysis, Real Gross Domestic Product (GDP) increased at an annual rate of 2.3% in the third quarter of 2021 after increasing 6.7% in the 2nd quarter. The national unemployment rate continued to decline from its highs in 2020. The unemployment rate was estimated at 4.2% in November 2021, down from 6.7% in November 2020.

In November, the U.S. Bureau of Labor Statistics (BLS) reported the Consumer Price Index for All Urban Consumers (CPI-U) increased 0.8% on a seasonally adjusted basis after rising 0.9% in October. Over the last 12 months, the All Items index increased 6.8% before seasonal adjustment. Lead by food and energy increases, the CPI-U produced the largest 12-month increase since the period ending June 1982. According to the Federal Open Market Committee (FOMC), the elevated inflation is largely reflecting factors that are expected to be transitory. Supply and demand imbalances related to the pandemic and the reopening of the economy have contributed to sizable price increases in some sectors. Overall financial conditions remain accommodative, in part reflecting policy measures to support the economy and the flow of credit to U.S. households and businesses.

## **Local Economy**

Solana Beach is home to citizens who enjoy the benefits of a coastal community that is within close proximity to the City of San Diego. The local beaches are a big attraction to both residents and non-residents. The City is comprised mainly of single-family homes and

condominiums with retail, office, and light industrial uses and service entities providing a tax base for the City.

As a somewhat suburban community, Solana Beach's economic base is linked primarily to the economy of the greater San Diego region. In particular, the greater San Diego economic base sustains the City's residential and industrial facilities. The local economy is primarily based on small to medium sized retail establishments and specialty stores selling general merchandise, furniture, arts and crafts, clothing, food, and gasoline. Local economic generators such as vacation tourism support a significant portion of the City's commercial base.

The United States Bureau of Labor Statistics (BLS) reported the San Diego region's unemployment rate was 4.6% in November down from 6.8% in November 2020. The region's unemployment rate remains lower than California's unemployment rate of 6.9%, but higher than the national unemployment rate of 4.2%.

Solana Beach housing prices have continued to climb. Low mortgage rates and low inventory of available homes has fueled price growth. According to the San Diego Association of Realtors, the median home price in Solana Beach in November was \$1.64 Million, up 28% from the year prior. The San Diego region's median home price was \$829,000 in November 2021, an increase of 18% as compared to the same month in 2020.

On July 12, 2021, Governor Gavin Newsom signed a \$262.5 billion budget for the 2021/22 fiscal year, an increase of 23 percent from the adopted FY 2020/21 budget. The state budget includes a \$196.4 Billion General Fund, a \$49.5 billion or 34% increase, as compared to the adopted FY 2020/21 budget appropriations. Much of the increases are due to COVID related budget reductions in the FY 2020/21 adopted budget.

### **Long-Term Financial Planning**

Solana Beach's conservative fiscal policies have helped the City build and maintain a healthy reserve and management will continue to hold costs in line with available resources.

General Fund property taxes have been, and continue to be, the highest revenue generator for the City. Sales tax is the City's second largest revenue source. Property Taxes in FY 2020/21 increased \$448,140 to \$8,748,270, or 5.4%, as compared to the prior year. However, sales tax receipts increased \$397,760 to \$3,291,805, or 12%, mainly due to the economic impact of COVID-19 in the prior year.

Overall, the City's General Fund revenues increased by \$303,692, or 1.34%, from \$22,738,060 in FY 2019/20 to \$23,041,752 in FY 2020/21.

For FY 2021/22, budgeted property taxes are expected to increase as compared to actual amounts received for the prior fiscal year. Sales tax is also projected to realize an increase as the local economy continues to rebound from the pandemic.

Total General Fund revenues, net of internal service charges, are budgeted at \$22,694,100 in FY 2021/22. It is the City's goal not to rely on General Fund reserves to operate the City

annually. The General Fund budget for FY 2021/22 was adopted on June 23, 2021. The adopted budget resulted in a projected \$1,555,440 surplus for FY 2021/22.

### **Relevant Financial Policies**

The City of Solana Beach has financial policies that help guide it during the preparation of the annual budget.

One such policy is the 17% reserve requirement discussed in the previous section. This policy, as in the adoption of the FYs 2019/20 and 2020/21 Budgets, is one that has been continuously adhered to by Council.

The Asset Replacement Reserve Fund is used to provide for the replacement of the City's existing equipment, vehicles, computers, and furnishings and the City's financial policy is to annually budget funds to this Reserve. During the FYs 2019/20 and 2020/21 budget process, the Council again ensured that funds were appropriated to maintain adequate reserves in the Asset Replacement Fund.

Additionally, beginning with the budget cycle for FY 2014/15, the City established an infrastructure replacement reserve to ensure that funds are available in the future for the replacement of buildings and improvements. Through FY 2020/21, the Council has approved \$850,000 to this reserve fund. This is net of the \$150,000 reduction in the amended FY2020/21 Budget.

### **Cash Management Policies and Practices**

Cash resources of the individual funds are combined to form a pool of cash and investments. Cash temporarily idle during the year was invested primarily with Chandler Asset Management and also with the Local Agency Investment Fund (LAIF) consistent with the City's Investment Policy.

The City's longstanding Investment Policy was amended by the Council on February 10, 2016, and provides the City more flexibility to invest its excess funds to provide safety to ensure the preservation of capital in the portfolio, provide sufficient liquidity for cash needs, and to realize a market rate of return consistent with the investment program while staying within the requirements of California Government Code Section 53601.

The City's Investment Policy is designed to maximize the productive use of assets entrusted to its care and to invest and manage those funds wisely and prudently. Criteria for selecting investments and the order of priority are: (1) safety (2) liquidity and (3) yield. The basic premise underlying the City's Investment Policy is to ensure that money is safe, always available, and earning the highest and best returns.

Investment income includes appreciation/depreciation in the fair market value of investments (FMV). The total investment income for all funds for the fiscal year was \$759,560 (\$808,013 investment income received minus \$48,453 loss on the FMV), a decrease of \$746,060 from the prior fiscal year's amount of \$1,505,620 (\$870,880 investment income received plus \$634,740 gain on the FMV).

## Major Projects and Financial Planning

### Marine Safety Center Renovations

The Marine Safety Center (MSC) at Fletcher Cove was constructed in or around the 1940s and is showing signs of its age. As part of the FY 2015/16 Adopted Budget, funding was allocated to perform a needs assessment and feasibility study to determine the best course of action for the renovation/replacement of the existing facility.



To accomplish this task, a Professional Services Agreement with Stephen Dalton Architects (SDA) was approved at the March 23, 2016 City Council meeting. During FY 2016/17, Staff worked with SDA on the preparation of the Fletcher Cove MSC Feasibility/Needs Assessment Study. The results of the Study indicate that nearly all building components are degraded and are past their useful lifespan. Spatially, the current building layout does not meet the functional needs of the Lifeguards.

To continue with this task, a Professional Services Agreement with Domus Studios Architects was approved at the October 24, 2018 City Council meeting. During FY 2019/20, Staff worked with domus on the preparation of preliminary design plans for the Fletcher Cove MSC. A community meeting was held in February 2019 and presentations occurred at Council meetings in November 2019 and October 2020. At the November 2019 Council meeting, three design options were presented and Council directed Staff to pursue the above-ground option. At the October 2020 Council meeting, a refined version of the above-ground option was presented. A total of \$450,000 has been appropriated in the FY 2021/22 budget for design and engineering for the project.

During the past fiscal year, in collaboration with the City Staff and following City Council's direction, the consultant team continued the design work on the preferred design options. Staff is currently working on story poles plans in preparation for the next community outreach efforts.

### La Colonia Park Improvements

In FY 2006/2007, a community based La Colonia Park Needs Assessment Advisory Committee developed recommendations for improvements throughout La Colonia Park including ADA Transition Plan recommendations. The City completed the conceptual design for the park improvements in FY 2009/2010 and preliminary design of the park during FY 2010/2011.

With the City's purchase of the property immediately north of the new Skate Park, analysis will need to be made on how to incorporate the property into the existing park. In FY 2021/22 the City has budgeted \$479,000 to design and construct the new Tot Lot and renovate the



playground.

Staff is currently working with the City’s consultant, Van Dyke Architects, on amending the La Colonia Park Master Plan to incorporate the recently purchased parcel to the north of the existing Park. Additionally, the City is developing design options for reconstruction of the existing playground at the La Colonia Park. As the City’s workplan includes renovation of the Fletcher Cove playground, and in an effort to take advantage of the economy of scale during construction, the design team is concurrently working on design options for replacement of the Fletcher Cove Park playground equipment.



Santa Helena Neighborhood Trail

In FY 2019/20, a Conceptual Design of the project was developed that would reduce the pavement width on Santa Helena, from Sun Valley Road to the trail head at the San Elijo Lagoon and use the additional space for traffic calming improvements and a neighborhood trail. A focus group meeting was held with representatives from several local HOAs, community members and BikeWalkSolana. The FY 2021/22 budget has \$70,000 appropriated for community outreach and engineering design for the project. Staff Negotiated a Professional Services Agreement with M.W. Peltz and Associate for community engagement and preparation of final plans, estimate, and specifications. In compliance with Covid-19 protocol, a virtual community meeting was held in October 2021. Constructive recommendations and feedback were received. The design team is currently working on refining the concept plans in preparation for additional community outreach and presentation to the City Council.

Lomas Santa Fe Corridor Project

The project study area for the Lomas Santa Fe (LSF) Drive Corridor Project extends from Sierra Avenue on the west side of Highway 101 to Highland Drive at the City’s eastern boundary. The City’s goal for the Lomas Santa Fe Corridor Project is to design physical improvements that could be constructed to improve the community character, safety, walkability, bike ability, and circulation along this key east-west arterial through the City of Solana Beach. With the variation in character along the corridor, the Project will evaluate feasible improvements that address transportation improvements that integrate with the surrounding land use, activity centers and community character along the Corridor.



During the past fiscal year, work continued on Phase III of the project which is developing design elements that were shared with the community for feedback. Phase III of the project

is for final design of the improvements to LSF and has been funded primarily through a grant from SANDAG. Some of the elements are being designed as part of Phase III include a multi-use path on the north side of LSF, striping and signal improvements, added parking, landscaping, and other items intended to slow down traffic and increase use of the corridor by pedestrians and bicycles. A Community Workshop was held in October 2019 and the project was presented to the City Council for further direction in October 2021. All recommendations from the City Council were incorporated into the design plans and specifications. The project was successfully submitted to SANDAG in December 2021 in compliance with the City's Active Transportation Grant Agreement.

**Acknowledgments**

The Government Finance Officers Association of the United States and Canada (GFOA) awarded a Certificate of Achievement for Excellence in Financial Reporting to the City of Solana Beach for its CAFR for the fiscal year ended June 30, 2020. This was the eighteenth year in the past nineteen years that the City has received this award. In order to be awarded a Certificate of Achievement, a government must publish an easily readable and efficiently organized comprehensive annual financial report. This report must satisfy both generally accepted accounting principles and applicable legal requirements.

A Certificate of Achievement is valid for a period of one year only. We believe that our current comprehensive annual financial report continues to meet the Certificate of Achievement program's requirements and we are submitting it to GFOA to determine its eligibility for another certificate.

The preparation of the Comprehensive Annual Financial Report in accordance with the GASB 34 financial reporting model was made possible by the dedicated work of the Finance Department staff. Each member of the staff consisting of Catherine Wong, Kyle Koszewnik, Jill Thayer, and Amanda Sither has our sincerest appreciation for their contributions made in the preparation of this report. We would also like to thank the Mayor and Council for their continued support for maintaining the highest standards of professionalism in the management of the City's finances.

Respectfully submitted,



Gregory Wade  
City Manager

Respectfully submitted,



Ryan Smith  
Finance Director/City Treasurer



Government Finance Officers Association

Certificate of  
Achievement  
for Excellence  
in Financial  
Reporting

Presented to

**City of Solana Beach  
California**

For its Comprehensive Annual  
Financial Report  
For the Fiscal Year Ended

June 30, 2020

*Christopher P. Morrill*

Executive Director/CEO

**CITY OF SOLANA BEACH**  
**LIST OF OFFICIALS AND ADVISORY BODIES**

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**CITY COUNCIL**

LESA HEBNER  
Mayor

KRISTI BECKER  
Deputy Mayor

JEWEL EDSON  
Council Member

KELLY HARLESS  
Council Member

DAVID A. ZITO  
Council Member

**ADVISORY COMMISSIONS**

Budget & Finance Commission  
Climate Action Commission  
Parks & Recreation Commission  
Public Arts Commission  
View Assessment Commission

**CITY ADMINISTRATION**

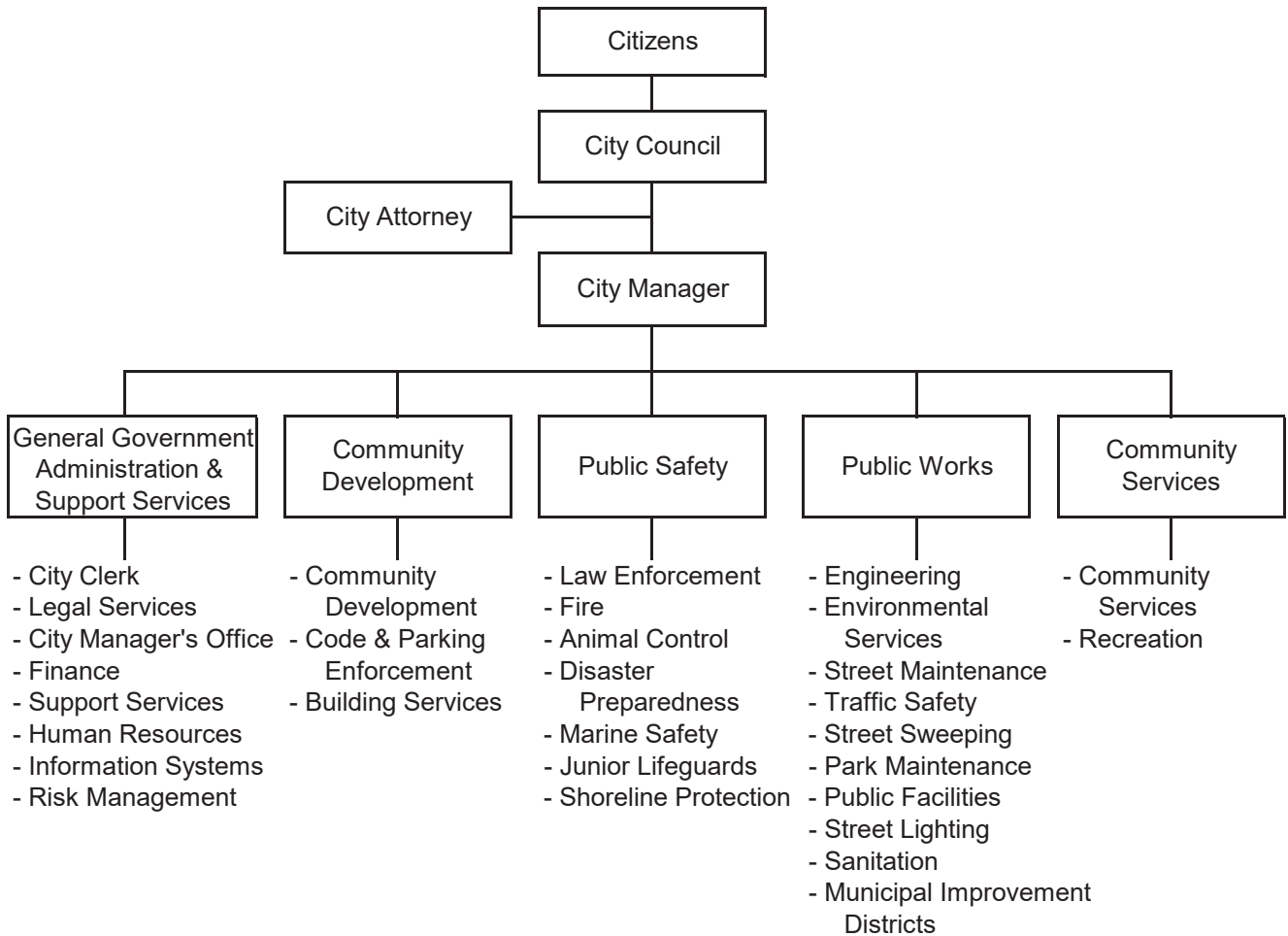
GREGORY WADE  
City Manager

Dan King, Assistant City Manager  
Johanna Canlas, City Attorney  
Pouneh Sammak, Human Resources Director  
Ryan Smith, Finance Director/City Treasurer  
Mohammed Sammak, Director of Public Works/City Engineer  
Joseph Lim, Director of Community Development  
Angela Ivey, City Clerk  
Michael Manriquez, Information Technology Manager

# CITY OF SOLANA BEACH

## Organizational Chart

Fiscal Year 2020-2021





## INDEPENDENT AUDITORS' REPORT

To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

### Report on the Financial Statements

#### ***Opinions***

We have audited the accompanying financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the City of Solana Beach, California, (the "City") as of and for the year ended June 30, 2021, and the related notes to the financial statements, which collectively comprise the City's basic financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the City as of June 30, 2021, and the respective changes in financial position and, where applicable, cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

#### ***Basis for Opinions***

We conducted our audit in accordance with auditing standards generally accepted in the United States of America (GAAS) and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the City and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audits. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

#### ***Responsibilities of Management for the Financial Statements***

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the City's ability to continue as a going concern for twelve months beyond the date of the financial statements.



To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

### ***Auditor's Responsibilities for the Audit of the Financial Statements***

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with GAAS and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if, there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with GAAS and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the City's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

### ***Other Reporting Responsibilities***

#### *Required Supplementary Information*

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis; the budgetary comparison schedules for the General Fund and Transnet Fund; the schedules of proportionate shares of the net pension liabilities; the schedule of changes in net other post-employment benefits (OPEB) liability and related ratios; the schedules of employer's contributions; and the schedule of investment returns be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.



To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

*Report on Summarized Comparative Information*

We have previously audited the City's 2020 financial statements, and we expressed an unmodified audit opinion on those audited financial statements in our report dated November 25, 2020. In our opinion, the summarized comparative information presented herein as of and for the year ended June 30, 2020, is consistent, in all material respects, with the audited financial statements from which it has been derived.

*Supplementary Information*

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the City's basic financial statements. The combining and individual fund financial statements and schedules are presented for purposes of additional analysis and are not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the combining and individual fund financial statements and schedules are fairly stated, in all material respects in relation to the basic financial statements as a whole.

*Other Information*

Management is responsible for the other information included in the annual report. The other information comprises the introductory section and statistical section but does not include the basic financial statements and our auditor's report thereon. Our opinions on the financial statements does not cover the other information, and we do not express an opinion or any form of assurance thereon. In connection with our audit of the financial statements, our responsibility is to read the other information and consider whether a material inconsistency exists between the other information and the financial statements, or the other information otherwise appears to be materially misstated. If, based on the work performed, we conclude that an uncorrected material misstatement of the other information exists, we are required to describe it in our report.

**Other Reporting Required by *Government Auditing Standards***

In accordance with *Government Auditing Standards*, we have also issued our report dated January 18, 2022, on our consideration of the City's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the City's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the City's internal control over financial reporting and compliance.

A handwritten signature in cursive script that reads "Lance, Soll &amp; Loughard, LLP".

Brea, California  
January 18, 2022



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## **MANAGEMENT'S DISCUSSION AND ANALYSIS**

As management of the City of Solana Beach (City), we offer readers of the City's financial statements this narrative overview and analysis of the financial activities of the City for the fiscal year ended June 30, 2021 (Fiscal Year (FY) 2021). It should be read in conjunction with the accompanying transmittal letter beginning on page i and the accompanying basic financial statements.

### **FINANCIAL HIGHLIGHTS**

- The City's net position increased to \$87,556,725, or by \$3,310,854, as a result of FY2021 operations.
- Governmental net position equaled \$39,480,938.
- The total revenues from all sources were \$37,419,385.
- The total cost of all City programs was \$34,108,531.
- The General Fund reported an excess of revenues over expenditures and other financing sources and uses by \$2,091,876.
- The General Fund's actual resources received exceeded the final revenue budget by \$1,529,852 while actual expenditures were \$1,300,098 less than final budget before other financing sources and uses.

### **USING THIS ANNUAL REPORT**

This annual report consists of a series of financial statements. The three components of the financial statements are:

- (1) Government-wide financial statements, which include the Statement of Net Position and the Statement of Activities. These statements provide information about the activities of the City as a whole.
- (2) Fund financial statements describe how City services are financed in the short term as well as what resources are available for future spending. Fund financial statements also report the City's operations in more detail than the government-wide statements by providing information about the City's most significant funds.
- (3) Notes to the financial statements.

### **Reporting the City as a Whole**

#### **The Statement of Net Position and the Statement of Activities (Government-wide)**

A frequently asked question regarding the City's financial health is whether the year's activities contributed positively to the City's overall financial well-being. The Statement of Net Position and the Statement of Activities report information about the City as a whole and about its activities in a way that helps answer this question. These statements include all assets and liabilities using the *accrual basis of accounting*, which is similar to the accounting used by most private-sector companies. All of the current year's revenues and expenses are accounted for regardless of when cash is received or paid.

These two statements report the City's net position and changes thereto. Net position, the difference between assets and liabilities, are one way to measure the City's financial health, or financial position. Over time, increases or decreases in net position are an indicator of whether the financial health is improving or deteriorating. However, it is important to consider other non-financial factors such as changes in the City's property tax base or condition of the City's roads to assess accurately the overall health of the City.

The Statement of Net Position and the Statement of Activities present information about the following:

- **Governmental activities** - All of the City's basic services are considered governmental activities, including general government, community development, public safety, public works, and community services. Property taxes, transient occupancy taxes, sales taxes, and franchise fees finance most of these activities.
- **Proprietary activities/Business type activities** - The City charges a fee to customers to cover all or most of the cost of the services provided. The City's Sanitation system and Solana Energy Alliance, which provides clean energy services to the general public, are reported in this category.
- **Component units** - The City's governmental activities include the blending of the City of Solana Beach Public Facilities Corporation, a separate legal entity. Although legally separate, this "component unit" is important because the City is financially accountable for the corporation. A separate component unit financial statement was not issued for the Solana Beach Public Facilities Corporation since it has had no transactions, nor any assets, liabilities or equity over the past three fiscal years.

## **Reporting the City's Most Significant Funds**

### **Fund Financial Statements**

The fund financial statements provide detailed information about the most significant funds—not the City as a whole. Some funds are required to be established by State law and by bond covenants. However, management establishes many other funds that aid in the administration of resources for particular purposes or to meet legal responsibilities associated with the usage of certain taxes, grants, and other money. The City's two kinds of funds, governmental and proprietary, use different accounting approaches:

- **Governmental funds** - Most of the City's basic services are reported in governmental funds. Governmental funds focus on how resources flow in and out with the balances remaining at year-end that are available for spending. These funds are reported using an accounting method called *modified accrual*, which measures cash and all other *financial* assets that can readily be converted to cash. The governmental fund statements provide a detailed *short-term view* of the City's general government operations and the basic services it provides. Governmental fund information shows whether there are more or fewer financial resources that can be spent in the near future to finance the City's programs. We describe the relationship (or differences) between governmental *activities* (reported in the Statement of Net Position and the Statement of Activities) and

governmental *funds* through the Reconciliation of the Fund Financial Statements to the Government-Wide Financial Statements.

- *Proprietary funds* - When the City charges customers for the services it provides, these services are generally reported in proprietary funds. Proprietary funds are reported in the same way that all activities are reported in the Statement of Net Position and the Statement of Activities.

## **The City as Trustee**

### **Reporting the City's Fiduciary Responsibilities**

The City is the trustee, or *fiduciary*, for certain amounts held on behalf of developers, property owners, and others. These fiduciary activities are reported in separate Statements of Fiduciary Net Position and Changes in Assets and Liabilities. The City is responsible for ensuring that the assets are used for their intended purposes. Therefore, fiduciary activities are excluded from the City's other financial statements because the assets cannot be used to finance operations.

After the date of the dissolution of the Solana Beach Redevelopment Agency (RDA) on February 1, 2012, the assets and liabilities of the former redevelopment agency were transferred to the Successor Agency to the former Solana Beach RDA (Successor Agency) and are reported in a fiduciary fund (private-purpose trust fund).

## **THE CITY AS A WHOLE**

Our analysis focuses on the net position (Table 1) and changes in net position (Table 2) of the City's governmental and business activities.

**Table 1**  
**City of Solana Beach Net Position**

	Governmental Activities		Business Activities		Total	
	2021	2020	2021	2020	2021	2020
<b>Assets:</b>						
Current and other assets	\$ 34,206,580	\$ 31,561,200	\$ 49,566,684	\$ 47,750,929	\$ 83,773,264	\$ 79,312,129
Capital assets, net	34,899,886	35,609,119	17,389,211	18,602,120	52,289,097	54,211,239
<b>Total Assets</b>	<b>69,106,466</b>	<b>67,170,319</b>	<b>66,955,895</b>	<b>66,353,049</b>	<b>136,062,361</b>	<b>133,523,368</b>
Deferred Outflows	3,533,326	3,391,977	199,042	282,142	3,732,368	3,674,119
<b>Liabilities:</b>						
Long-term liabilities outstanding	25,698,201	24,818,586	17,994,668	18,620,170	43,692,869	43,438,756
Other liabilities	5,790,073	5,858,950	972,935	1,447,374	6,763,008	7,306,324
<b>Total Liabilities</b>	<b>31,488,274</b>	<b>30,677,536</b>	<b>18,967,603</b>	<b>20,067,544</b>	<b>50,455,877</b>	<b>50,745,080</b>
Deferred Inflows	1,670,580	2,041,725	111,547	164,811	1,782,127	2,206,536
<b>Net Position:</b>						
Net investment in capital assets	26,653,123	26,666,266	11,185,890	12,052,987	37,839,013	38,719,253
Restricted	14,173,748	12,664,581	-	46	14,173,748	12,664,627
Unrestricted	(1,345,933)	(1,487,812)	36,889,897	34,349,803	35,543,964	32,861,991
<b>Total Net Position</b>	<b>\$ 39,480,938</b>	<b>\$ 37,843,035</b>	<b>\$ 48,075,787</b>	<b>\$ 46,402,836</b>	<b>\$ 87,556,725</b>	<b>\$ 84,245,871</b>

The City's combined net position for the fiscal year ended June 30, 2021 was \$87,556,725. The City has chosen to account for its sanitation and community choice aggregation operations in enterprise funds, which are shown as Business Activities on Table 1. The City's net position for governmental activities increased from \$37,843,035 to \$39,480,938. The following is an explanation of the governmental activity changes between fiscal years as shown in Table 1:

- Current and other assets increased \$2,645,380 or 8.4% primarily due to increased cash and investments and receivables.
- Capital Assets net of depreciation decreased \$709,233 or 2.0% mainly due to current year depreciation on existing assets. More information is provided following Table 4.
- Long-term liabilities increased by \$879,615 mainly due to the increase in net pension liability related to changes in actuarial assumptions.

Changes related to Business activities are as follows:

- Current and other assets increased \$1,815,755 or 3.8% primarily due to increased cash and investments and receivables.
- Capital Assets net of depreciation decreased \$1,212,909 or 6.5% primarily due to the sale of a recycled water pipeline to San Elijo JPA. More information is provided following Table 4.
- Other liabilities decreased by \$474,439 or 32.8% mainly due to the decrease in accounts payable at year end.

### **Governmental Activities**

The cost of all Governmental activities in FY 2021 was \$26,375,978 as shown on Tables 2 and 2.1. Of this cost, \$2,269,672 was paid for by those who directly benefited from the programs; \$2,215,495 was subsidized by grants received from other governmental organizations for both capital and operating activities; and \$21,890,811 was financed through general City revenues. Overall governmental program revenues, including intergovernmental aid and fees for services were \$4,485,167.

**Table 2**  
**City of Solana Beach Changes in Net Position**

	Governmental Activities		Business Activities		Total	
	2021	2020	2021	2020	2021	2020
<b>Revenues:</b>						
Program revenues:						
Charges for services	\$ 2,269,672	\$ 1,973,694	\$ 9,243,320	\$ 9,766,536	\$ 11,512,992	\$ 11,740,230
Operating grants and contributions	1,913,915	1,168,729	-	-	1,913,915	1,168,729
Capital grants and contributions	301,580	345,162	-	-	301,580	345,162
General revenues:						
Property taxes	10,093,847	9,465,402	-	-	10,093,847	9,465,402
Other taxes	9,681,807	9,119,882	-	-	9,681,807	9,119,882
Other	3,753,060	4,718,834	162,184	604,355	3,915,244	5,323,189
<b>Total revenues</b>	<u>28,013,881</u>	<u>26,791,703</u>	<u>9,405,504</u>	<u>10,370,891</u>	<u>37,419,385</u>	<u>37,162,594</u>
<b>Expenses:</b>						
General government	5,537,474	4,985,418	-	-	5,537,474	4,985,418
Public safety	13,116,915	12,616,348	-	-	13,116,915	12,616,348
Public works	4,665,830	4,894,915	-	-	4,665,830	4,894,915
Community development	1,506,502	1,585,952	-	-	1,506,502	1,585,952
Community services	1,193,256	1,226,910	-	-	1,193,256	1,226,910
Interest and fiscal charges	356,001	363,326	-	-	356,001	363,326
Sanitation	-	-	3,891,241	4,221,307	3,891,241	4,221,307
Solana Energy	-	-	3,841,312	4,350,085	3,841,312	4,350,085
<b>Total expenses</b>	<u>26,375,978</u>	<u>25,672,869</u>	<u>7,732,553</u>	<u>8,571,392</u>	<u>34,108,531</u>	<u>34,244,261</u>
<b>Increase/(decrease) in net position</b>	1,637,903	1,118,834	1,672,951	1,799,499	3,310,854	2,918,333
<b>Net position - July 1</b>	<u>37,843,035</u>	<u>36,724,201</u>	<u>46,402,836</u>	<u>44,603,337</u>	<u>84,245,871</u>	<u>81,327,538</u>
<b>Net position - June 30</b>	<u>\$ 39,480,938</u>	<u>\$ 37,843,035</u>	<u>\$ 48,075,787</u>	<u>\$ 46,402,836</u>	<u>\$ 87,556,725</u>	<u>\$ 84,245,871</u>

Items of significance within Table 2 are:

Revenues:

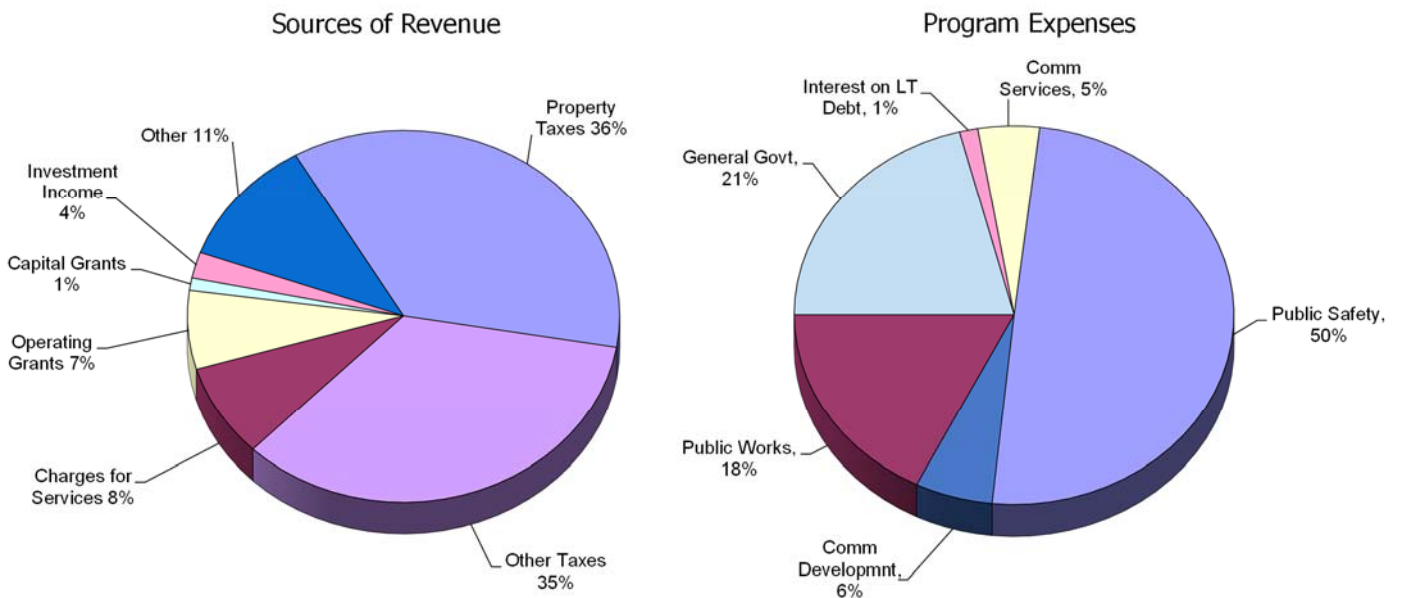
- Operating and Capital grants and contributions increased by a net \$701,604 over the prior fiscal year amount due to an increase state and federal grant revenue received including State and County CARES Covid-19 funds.
- Property taxes and other taxes increased by approximately 6.4% or \$1,190,370 due to increased revenue from property tax and sales tax.

- Other general revenues decreased by \$1,407,945 or 26.4% as compared to the prior fiscal year primarily to decreases in investment income, administrative charges, and camp related transfers.

Expenses:

- General Government expenses increased in FY 2021 by 11.1% or \$552,056 from the prior fiscal year primarily due to increased costs in the City’s net Pension liability associated with a change in actuarial assumptions.
- Public Safety increased by 4% or \$500,567 due to a combination of increases in the Sheriff’s contract with the County, equipment replacement, and pension costs.
- Solana Energy Alliance expenses decreased by \$508,773 or 11.7% due to the transition of operations to the Clean Energy Alliance in FY 2021.

**Fiscal Year 2021  
Governmental Activities**  
(Graphic representation of Table 2 in percentages)



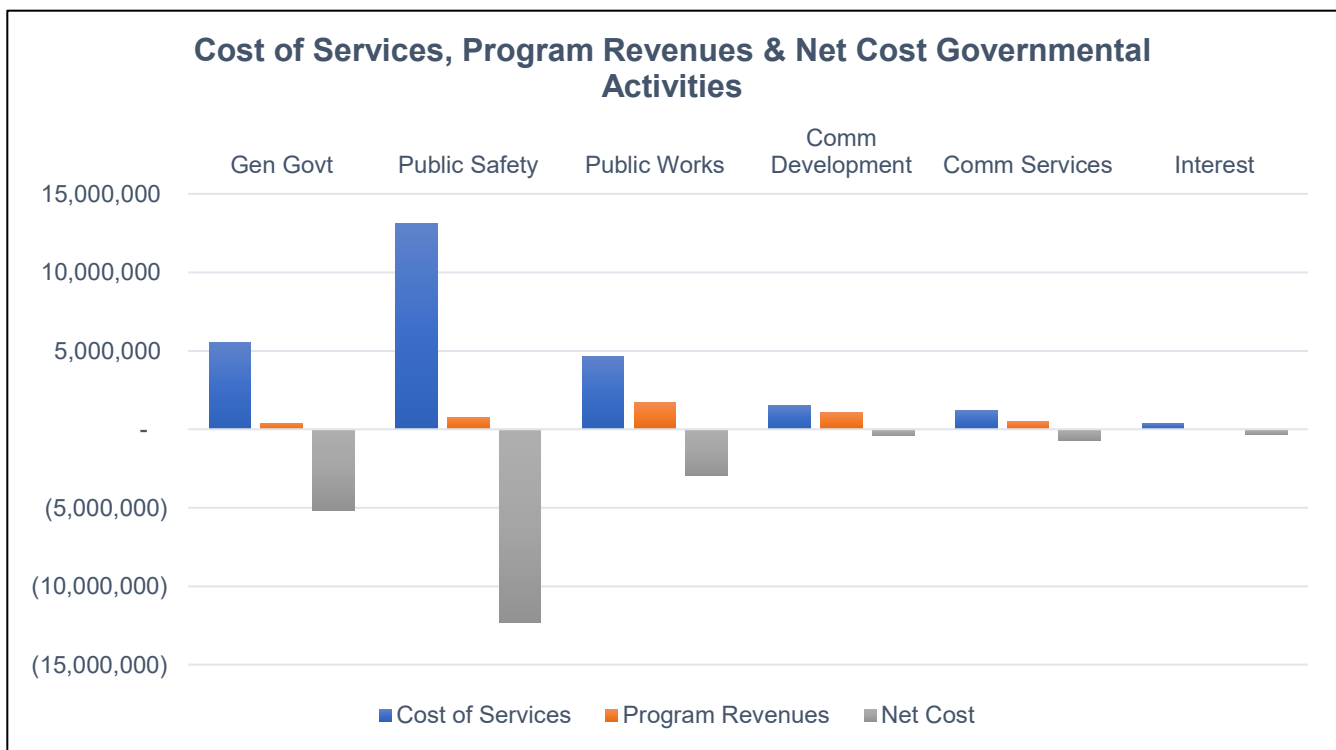
**Net Cost of Governmental Activities**

The City’s programs include General Government, Public Safety, Public Works, Community Development, and Community Services. Each programs’ net cost (total cost less revenues generated by the activities) is presented on Table 2.1. The net cost shows the extent to which the City’s general taxes support each of the City’s programs.



**Table 2.1  
Net Cost of Governmental Activities**

	Total Cost of Services		Program Revenues		Net Cost of Services	
	2021	2020	2021	2020	2021	2020
General government	\$ 5,537,474	\$ 4,985,418	\$ 393,455	\$ 205	\$ (5,144,019)	\$ (4,985,213)
Public safety	13,116,915	12,616,348	791,551	946,095	(12,325,364)	(11,670,253)
Public works	4,665,830	4,894,915	1,708,329	1,247,879	(2,957,501)	(3,647,036)
Community development	1,506,502	1,585,952	1,082,510	1,190,562	(423,992)	(395,390)
Community services	1,193,256	1,226,910	509,322	102,844	(683,934)	(1,124,066)
Interest on long-term debt	356,001	363,326	-	-	(356,001)	(363,326)
<b>Totals</b>	<b>\$ 26,375,978</b>	<b>\$ 25,672,869</b>	<b>\$ 4,485,167</b>	<b>\$ 3,487,585</b>	<b>\$ (21,890,811)</b>	<b>\$ (22,185,284)</b>



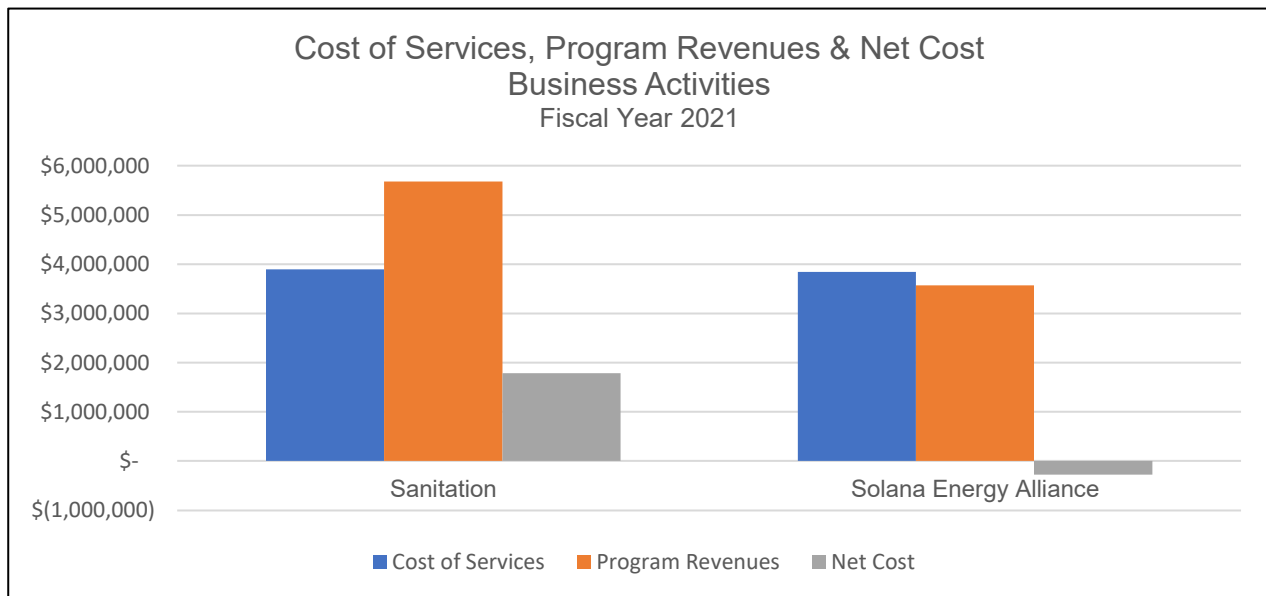
Total resources available during the year to finance governmental operations were \$65,856,916 consisting of a net position at July 1, 2020 of \$37,843,035, program revenues of \$4,485,167, and general revenues of \$23,528,714. Total governmental activities during the year were \$26,375,978, and as a result, net position increased by \$1,637,903 to \$39,480,938.

### Business Type Activities

Net position of the Proprietary Fund (Business Type activities) at June 30, 2021, as reflected in Table 1, was \$48,075,787. As shown in Table 3, amounts paid by users of the Sanitation system and Solana Energy Alliance and other operating revenue were \$9,243,320 while the cost of providing all Proprietary (Business Type) activities in FY 2021 was \$7,732,553 resulting in a net gain of \$1,510,767. With the addition of negative non-operating revenues of \$162,184, as shown on Table 2, net position increased by \$1,672,951 or 3.6%.

**Table 3  
Net Cost of Business Activities**

	Total Cost of Services		Program Revenue		Net Cost of Services	
	2021	2020	2021	2020	2021	2020
Sanitation	\$ 3,891,241	\$ 4,221,307	\$ 5,676,286	\$ 5,588,249	\$ 1,785,045	\$ 1,366,942
Solana Energy Alliance	3,841,312	4,350,085	3,567,034	4,178,287	(274,278)	(171,798)
<b>Total Business Activities</b>	<b>\$ 7,732,553</b>	<b>\$ 8,571,392</b>	<b>\$ 9,243,320</b>	<b>\$ 9,766,536</b>	<b>\$ 1,510,767</b>	<b>\$ 1,195,144</b>



## Governmental Funds

The net change in Governmental Fund Balances are shown below in Table 4:

**Table 4  
City of Solana Beach Governmental Funds  
Changes in Fund Balances**

	General Fund		Special Revenue Fund Transnet		Capital Projects Fund City CIP		Other Governmental Funds		Total	
	2021	2020	2021	2020	2021	2020	2021	2020	2021	2020
<b>Revenues:</b>										
Taxes, Licenses, Fees and Intergovernmental	\$ 18,174,610	\$ 17,017,289	\$ 405,974	\$ 608,951	\$ -	\$ -	\$ 3,644,229	\$ 2,846,324	\$ 22,224,813	\$ 20,472,564
Charges for Services	1,006,034	1,110,059	-	-	70,716	43,215	372,964	115,549	1,449,714	1,268,823
Other	3,861,108	4,610,712	576	6,142	159,709	171,242	(24,002)	290,441	3,997,391	5,078,537
<b>Total Revenues</b>	<b>23,041,752</b>	<b>22,738,060</b>	<b>406,550</b>	<b>615,093</b>	<b>230,425</b>	<b>214,457</b>	<b>3,993,192</b>	<b>3,252,314</b>	<b>27,671,919</b>	<b>26,819,924</b>
<b>Expenditures:</b>										
Current	20,159,439	20,096,733	3,251	461	5,265	102,148	2,656,987	1,822,927	22,824,942	22,022,269
Capital Outlay	507,337	291,013	117,579	222,389	609,562	282,589	566,198	896,975	1,800,676	1,692,966
Debt	-	-	325,105	325,105	-	-	349,701	356,639	674,806	681,744
<b>Total Expenditures</b>	<b>20,666,776</b>	<b>20,387,746</b>	<b>445,935</b>	<b>547,955</b>	<b>614,827</b>	<b>384,737</b>	<b>3,572,886</b>	<b>3,076,541</b>	<b>25,300,424</b>	<b>24,396,979</b>
<b>Net Transfers</b>	<b>(283,100)</b>	<b>(729,515)</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>100,000</b>	<b>283,100</b>	<b>629,515</b>	<b>-</b>	<b>-</b>
<b>Net Change in Fund Balances</b>	<b>\$ 2,091,876</b>	<b>\$ 1,620,799</b>	<b>\$ (39,385)</b>	<b>\$ 67,138</b>	<b>\$ (384,402)</b>	<b>\$ (70,280)</b>	<b>\$ 703,406</b>	<b>\$ 805,288</b>	<b>\$ 2,371,495</b>	<b>\$ 2,422,945</b>

The General Fund - Fund Balance increased by \$2,091,876 or 13.5% to \$17,545,954 from June 30, 2020 to June 30, 2021. This was mainly due to increases in tax revenues and reductions in project related transfers out due to uncertainty surrounding COVID-19. Property Tax revenue increased primarily due to Prop 13 assessment increases of 2% and new assessments from construction and sales. Sales Tax revenues increased from the prior year as the economy rebounded from the COVID-19 lows. The City's largest business segment, general consumer goods, saw a big jump which reflected a return to in-store shopping as people felt safer with the roll-out of vaccines. Restaurant activity also rebounded in the 4<sup>th</sup> quarter of FY 2021, with quick-service and casual dining returning to prior year levels. Lead by the increase in the General Fund Balance, the Total Governmental Fund balance increased by 9.3% or \$2,371,495 to \$28,009,960 from June 30, 2020 to June 30, 2021.

### **General Fund Budgetary Highlights**

**Revenues:** Actual revenues received were above the final year-end budget by \$1,529,852 or 4.1%. Sales Tax revenue was \$356,566 higher than the revised budget projections. The increase is primarily attributed to a strong second half of FY 21, as the COVID-19 vaccine roll-out began and was reflected in a return to in-store shopping. Restaurant activity also rebounded in the fourth quarter of FY 21 to prior year levels. Hotel Transient Occupancy Tax revenue was \$103,511 less than the revised budget. The hotel TOT shortfall was partially offset by Short-Term Vacation Rental (STVR) TOT revenue that was \$81,720 higher than the revised budget. The variances reflect travelers' preference for STVR accommodations over traditional hotels during the COVID-19 pandemic. Charges for Services category totaled \$331,534 higher than the revised budget. The variance was due to an overall higher than expected increase in permit activity in FY 21. In addition, large development projects at Santa Fe Christian, Solana Highlands, and Solana 101 led to one-time increases in the permit and plan check categories.

**Expenditures:** Actual expenditures incurred were \$1,300,098 or 5.9% lower than the final year-end budget as a result of the proactive approach by City Council and staff in response to the COVID-19 pandemic. Building Services category was \$109,966 over-budget as the gains in permit revenue are offset by proportional costs for providing these services. Actual expenditures for legal professional services were \$274,062 as compared to the amended budget amount of \$476,700, resulting in a savings for this budget unit of \$202,638. These savings were the result of less than expected litigation expenses during FY 2021. Capital Outlay expenditures were \$507,337 compared to the budgeted amount of \$1,005,723, resulting in savings of \$498,386 due to the deferral of projects during the COVID-19 pandemic.

**Ending Fund Balance:** Ending Fund Balance for the year increased by 13.5% from FY 2019-2020, for a total ending balance of \$17,543,567. Included in the fund balance are non-spendable, restricted, committed, and assigned funds which total \$10,407,952. The unassigned portion is the part of fund balance that is available for use without constraints established by legal requirements and totals \$7,138,002. The fund balance at the fiscal year end of June 30, 2021 is equal to 85% of the FY 2021 General Fund appropriations.

## CAPITAL ASSET AND DEBT ADMINISTRATION

### Capital Assets

The capital assets of the City are those assets that are used in performance of City functions including infrastructure assets. Capital assets include equipment, buildings, land, park facilities, and roads.

At June 30, 2021, net capital assets of the governmental activities totaled \$34,899,886 and the net capital assets of the business-type activities totaled \$17,389,211. Depreciation on capital assets is recognized in the government-wide financial statements. (See Table 5 below and Note 5 to the financial statements.)

Over the next five years, funding for capital assets will come from current fund balances and revenues such as Gas Tax and TransNet. Significant projects are La Colonia Park Improvements, Lomas Santa Fe Drive Corridor Improvements, Marine Safety Center Renovations, and ongoing pavement management, traffic calming, and storm drain and sewer pipeline improvements and replacement projects.

**Table 5**  
**City of Solana Beach Capital Assets at Year-End**  
**(Net of Depreciation)**

	Governmental Activities		Business Activities		Total	
	2021	2020	2021	2020	2021	2020
Land	\$ 5,337,440	\$ 5,337,440	\$ 111,706	\$ 111,706	\$ 5,449,146	\$ 5,449,146
Buildings & Improvements	10,651,917	10,958,176	16,950,169	12,052,676	27,602,086	23,010,852
Equipment & Vehicles	1,340,465	1,221,436	264,516	281,048	1,604,981	1,502,484
Infrastructure	15,897,009	16,850,321	-	-	15,897,009	16,850,321
Work in Progress	1,673,055	1,241,746	62,820	6,156,690	1,735,875	7,398,436
	<u>\$ 34,899,886</u>	<u>\$ 35,609,119</u>	<u>\$ 17,389,211</u>	<u>\$ 18,602,120</u>	<u>\$ 52,289,097</u>	<u>\$ 54,211,239</u>

### Debt

At year-end, the City had \$7,842,631 in governmental type debt and \$16,869,623 in proprietary debt (including premium on debt issuance) totaling \$24,712,254. This debt is a liability of the government and amounts to \$1,787 per capita.

See Table 6 below and Notes 9 through 11 to the financial statements for detailed descriptions.

**Table 6**  
**City of Solana Beach Outstanding Debt at Year-End**

	Governmental Activities		Business Activities		Total	
	2021	2020	2021	2020	2021	2020
Refunding lease	\$ 287,700	\$ 423,000	\$ -	\$ -	\$ 287,700	\$ 423,000
Capital leases	406,650	590,421	-	-	406,650	590,421
SEJPA Loan Payable-2011	-	-	-	60,000	-	60,000
SEJPA Loan Payable-2017	-	-	10,615,000	10,840,000	10,615,000	10,840,000
2017 Wastewater						
Refunding Bond	-	-	5,820,000	6,105,000	5,820,000	6,105,000
TransNet Bond	5,500,000	5,500,000	-	-	5,500,000	5,500,000
Bond premiums	-	-	383,321	444,133	383,321	444,133
Bond discounts	(1,643)	(2,709)	-	-	(1,643)	(2,709)
Claims and judgements	1,177,000	947,000	-	-	1,177,000	947,000
Compensated absences	472,924	508,845	51,302	58,453	524,226	567,298
	<u>\$ 7,842,631</u>	<u>\$ 7,966,557</u>	<u>\$ 16,869,623</u>	<u>\$ 17,507,586</u>	<u>\$ 24,712,254</u>	<u>\$ 25,474,143</u>

## NEXT YEAR'S BUDGET AND ECONOMIC FACTORS

In June 2021, the City Council adopted a two-year budget for fiscal years ending June 30, 2022 and June 30, 2023.

In considering the City Budget, the City Council and management focused on the challenge of balancing the budget in the midst of the ongoing COVID-19 pandemic. Budget decisions were made with the understanding that, although the economic climate had taken a downturn, it had begun to rebound. Fiscal Years 2022 and 2023 budget projections were filled with uncertainty as the City's revenue stream for certain revenues was unknown and the need to manage the rate of any expenditure cost increase had to be closely evaluated and monitored. The challenge given these circumstances was to prepare a budget that held costs in line while continuing to provide high quality services and to move forward implementing the City's five-year capital improvement plan.

Overall, General Fund revenues are projected to increase for FY 2022 by \$1,313,448, or 5.7%, as compared to the FY 2021 actual revenues. The primary increases are in tax revenue and projected American Rescue Plan Act (ARPA) grant funds. The City is in line to receive \$3,180,686 in ARPA Funds over a two-year period. Although the federal guidance identifies a number of eligible uses of the ARPA funds, Staff believes replacing lost revenue affords the City the broadest latitude in using the funding to support government services.

General Fund expenditures are projected to increase by \$2,322,272 or 11.1% in FY 2022 compared to FY 2021 actual expenditures. This increase is primarily due to increases in Public Safety, Salaries & Benefits, and capital projects.

## **CONTACTING THE CITY'S FINANCIAL MANAGEMENT**

This financial report is designed to provide our citizens, taxpayers, customers, investors, and creditors with a general overview of the City's finances and to show the City's fiduciary responsibility for the funds it receives. If you have questions about this report or need additional financial information, contact the City's Finance Department, at the City of Solana Beach, 635 South Highway 101, Solana Beach, California 92075 or online: <http://www.ci.solana-beach.ca.us>.

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# **BASIC FINANCIAL STATEMENTS**

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# **GOVERNMENT-WIDE FINANCIAL STATEMENTS**

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## CITY OF SOLANA BEACH, CALIFORNIA

## STATEMENT OF NET POSITION

JUNE 30, 2021

(With comparative totals for June 30, 2020)

	Primary Government			
	Governmental Activities	Business-Type Activities	Total	
			2021	2020
<b>ASSETS</b>				
Cash and investments	\$ 29,467,996	\$ 10,481,523	\$ 39,949,519	\$ 39,085,428
Restricted assets - cash and investments	3,247,089	-	3,247,089	2,422,102
Investment in joint venture	-	35,555,593	35,555,593	34,949,555
Receivables:				
Accounts, net	1,280,509	670,889	1,951,398	1,910,329
Interest	61,957	27,660	89,617	133,037
Intergovernmental	1,363,341	1,514,950	2,878,291	610,623
Deposits	-	-	-	100,000
Internal balances	(1,316,069)	1,316,069	-	-
Inventories	47,545	-	47,545	47,545
Prepaid costs	54,212	-	54,212	53,510
Capital assets not being depreciated	7,010,495	174,526	7,185,021	12,847,582
Capital assets, net of accumulated depreciation	27,889,391	17,214,685	45,104,076	41,363,657
<b>Total Assets</b>	<b>69,106,466</b>	<b>66,955,895</b>	<b>136,062,361</b>	<b>133,523,368</b>
<b>DEFERRED OUTFLOWS OF RESOURCES</b>				
Pension related	3,533,326	199,042	3,732,368	3,590,709
OPEB related	-	-	-	14,763
Deferred charge on refunding	-	-	-	68,647
<b>Total Deferred Outflows of Resources</b>	<b>3,533,326</b>	<b>199,042</b>	<b>3,732,368</b>	<b>3,674,119</b>
<b>LIABILITIES</b>				
Accounts payable	2,095,112	697,086	2,792,198	3,333,169
Accrued liabilities	366,571	60,476	427,047	349,940
Accrued interest payable	1,984	215,373	217,357	223,827
Deposits payable	2,918,384	-	2,918,384	3,003,499
Unearned revenue	408,022	-	408,022	395,889
Noncurrent Liabilities				
Due within one year: Bonds, loans, leases, claims, compensated absences	696,053	544,172	1,240,225	1,450,965
Due in more than one year				
Net pension liability	15,729,006	927,749	16,656,755	15,280,773
Net OPEB liability	2,126,564	197,296	2,323,860	2,683,840
Bonds, loans, leases, claims, compensated absences	7,146,578	16,325,451	23,472,029	24,023,178
<b>Total Liabilities</b>	<b>31,488,274</b>	<b>18,967,603</b>	<b>50,455,877</b>	<b>50,745,080</b>
<b>DEFERRED INFLOWS OF RESOURCES</b>				
Pension related	661,052	17,886	678,938	930,697
OPEB related	1,009,528	93,661	1,103,189	1,275,839
<b>Total Deferred Inflows of Resources</b>	<b>1,670,580</b>	<b>111,547</b>	<b>1,782,127</b>	<b>2,206,536</b>
<b>NET POSITION</b>				
Net investment in capital assets	26,653,123	11,185,890	37,839,013	38,719,253
Restricted:				
Redevelopment activities	1,528,599	-	1,528,599	1,427,267
Public safety	748,023	-	748,023	591,923
Parks and recreation	220,542	-	220,542	13,501
Public works	4,423,740	-	4,423,740	3,954,924
Capital projects	3,981,615	-	3,981,615	4,232,955
Debt service	25,754	-	25,754	22,001
Pensions	3,245,475	-	3,245,475	2,422,056
Unrestricted	(1,345,933)	36,889,897	35,543,964	32,861,991
<b>Total Net Position</b>	<b>\$ 39,480,938</b>	<b>\$ 48,075,787</b>	<b>\$ 87,556,725</b>	<b>\$ 84,245,871</b>

CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF ACTIVITIES  
 FOR THE YEAR ENDED JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

	Program Revenues			
	Expenses	Charges for Services	Operating Contributions and Grants	Capital Contributions and Grants
<b>Functions/Programs:</b>				
<b>Primary Government:</b>				
Governmental Activities:				
General government	\$ 5,537,474	\$ 91,875	\$ -	\$ 301,580
Public safety	13,116,915	325,042	466,509	-
Community development	1,506,502	1,082,510	-	-
Community services	1,193,256	276,648	232,674	-
Public works	4,665,830	493,597	1,214,732	-
Interest	356,001	-	-	-
Total Governmental Activities	<u>26,375,978</u>	<u>2,269,672</u>	<u>1,913,915</u>	<u>301,580</u>
Business-Type Activities:				
Sanitation Fund	3,891,241	5,676,286	-	-
Solana Energy Alliance Fund	3,841,312	3,567,034	-	-
Total Business-Type Activities	<u>7,732,553</u>	<u>9,243,320</u>	<u>-</u>	<u>-</u>
Total Primary Government	<u>\$ 34,108,531</u>	<u>\$ 11,512,992</u>	<u>\$ 1,913,915</u>	<u>\$ 301,580</u>

General Revenues:

Taxes:

    Property taxes, levied for general purpose

    Sales taxes

    Transient occupancy taxes

    Franchise taxes

    Other taxes

Use of money and property

Other

Total General Revenues

Change in Net Position

Net Position - Beginning

Net Position - Ending

**Net (Expense) Revenue and Changes in Net Position**

**Primary Government**

Governmental Activities	Business-Type Activities	Total	
		2021	2020
\$ (5,144,019)	\$ -	\$ (5,144,019)	\$ (4,985,213)
(12,325,364)	-	(12,325,364)	(11,670,253)
(423,992)	-	(423,992)	(395,390)
(683,934)	-	(683,934)	(1,124,066)
(2,957,501)	-	(2,957,501)	(3,647,036)
(356,001)	-	(356,001)	(363,326)
<u>(21,890,811)</u>	<u>-</u>	<u>(21,890,811)</u>	<u>(22,185,284)</u>
-	1,785,045	1,785,045	1,366,942
-	<u>(274,278)</u>	<u>(274,278)</u>	<u>(171,798)</u>
-	1,510,767	1,510,767	1,195,144
<u>(21,890,811)</u>	<u>1,510,767</u>	<u>(20,380,044)</u>	<u>(20,990,140)</u>
10,093,847	-	10,093,847	9,465,402
3,689,566	-	3,689,566	3,291,805
1,457,156	-	1,457,156	1,456,897
789,365	-	789,365	751,324
3,745,720	-	3,745,720	3,619,856
631,813	124,888	756,701	1,555,932
3,121,247	37,296	3,158,543	3,767,257
<u>23,528,714</u>	<u>162,184</u>	<u>23,690,898</u>	<u>23,908,473</u>
1,637,903	1,672,951	3,310,854	2,918,333
<u>37,843,035</u>	<u>46,402,836</u>	<u>84,245,871</u>	<u>81,327,538</u>
<u>\$ 39,480,938</u>	<u>\$ 48,075,787</u>	<u>\$ 87,556,725</u>	<u>\$ 84,245,871</u>

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# **FUND FINANCIAL STATEMENTS**

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**Governmental Fund Financial Statements**  
**Proprietary Fund Financial Statements**  
**Fiduciary Fund Financial Statements**



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**GOVERNMENTAL FUND  
FINANCIAL STATEMENTS**

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CITY OF SOLANA BEACH, CALIFORNIA

**BALANCE SHEET  
GOVERNMENTAL FUNDS  
JUNE 30, 2021**

(With comparative totals for June 30, 2020)

	Special Revenue Fund		Capital Projects Fund	Other Governmental Funds	Total Governmental Funds	
	General	TransNet	City CIP		2021	2020
<b>ASSETS</b>						
Cash and investments	\$ 18,097,000	\$ 78,748	\$ 2,363,958	\$ 8,928,290	\$ 29,467,996	\$ 29,279,786
Restricted cash and investments	3,247,089	-	-	-	3,247,089	2,422,056
Receivables:						
Accounts	996,912	-	3,929	279,668	1,280,509	1,162,513
Accrued interest	32,404	344	6,605	22,604	61,957	102,896
Intergovernmental	1,005,607	-	-	357,734	1,363,341	408,927
Due from other funds	1,282,631	-	31,171	-	1,313,802	1,044,102
Inventories	-	-	-	47,545	47,545	47,545
Prepaid costs	54,212	-	-	-	54,212	52,665
<b>Total Assets</b>	<b>\$ 24,715,855</b>	<b>\$ 79,092</b>	<b>\$ 2,405,663</b>	<b>\$ 9,635,841</b>	<b>\$ 36,836,451</b>	<b>\$ 34,520,490</b>
<b>LIABILITIES</b>						
Accounts payable	\$ 1,855,980	\$ 28,145	\$ 28,299	\$ 182,688	\$ 2,095,112	\$ 2,129,973
Accrued liabilities	329,943	-	8,879	27,749	366,571	326,805
Deposits payable	2,849,158	-	-	69,226	2,918,384	3,003,499
Due to other funds	-	-	-	575,815	575,815	527,149
Advances from other funds	2,054,056	-	-	-	2,054,056	2,432,141
Unearned revenues	-	-	-	408,022	408,022	395,889
<b>Total Liabilities</b>	<b>7,089,137</b>	<b>28,145</b>	<b>37,178</b>	<b>1,263,500</b>	<b>8,417,960</b>	<b>8,815,456</b>
<b>DEFERRED INFLOWS OF RESOURCES</b>						
Unavailable revenues	80,764	-	-	327,767	408,531	66,569
<b>Total Deferred Inflows of Resources</b>	<b>80,764</b>	<b>-</b>	<b>-</b>	<b>327,767</b>	<b>408,531</b>	<b>66,569</b>
<b>FUND BALANCES</b>						
Nonspendable	54,212	-	-	-	54,212	52,665
Restricted	3,245,475	50,947	2,368,485	8,508,841	14,173,748	12,664,581
Committed	901,576	-	-	-	901,576	1,179,507
Assigned	6,206,689	-	-	-	6,206,689	6,349,702
Unassigned	7,138,002	-	-	(464,267)	6,673,735	5,392,010
<b>Total Fund Balances</b>	<b>17,545,954</b>	<b>50,947</b>	<b>2,368,485</b>	<b>8,044,574</b>	<b>28,009,960</b>	<b>25,638,465</b>
<b>Total Liabilities, Deferred Inflows of Resources, and Fund Balances</b>	<b>\$ 24,715,855</b>	<b>\$ 79,092</b>	<b>\$ 2,405,663</b>	<b>\$ 9,635,841</b>	<b>\$ 36,836,451</b>	<b>\$ 34,520,490</b>

CITY OF SOLANA BEACH, CALIFORNIA

RECONCILIATION OF THE BALANCE SHEET OF GOVERNMENTAL FUNDS  
TO THE STATEMENT OF NET POSITION  
JUNE 30, 2021

Amounts reported for governmental activities in the Statement of Net Position are different because:

Total Fund Balances - Governmental Funds	\$	28,009,960	
Capital assets of \$106,489,606, net of accumulated depreciation of \$71,589,720, used in governmental activities are not financial resources and, therefore, are not reported in the funds.			34,899,886
Differences between expected and actual experiences, assumption changes, and net differences between projected and actual earnings and contributions subsequent to the measurement date for the postretirement benefits (pension and OPEB) are recognized as deferred outflows of resources and deferred inflows of resources on the Statement of Net Position.			
Deferred outflows - pension related	\$	3,533,326	
Deferred inflows - pension related		(661,052)	
Deferred inflows - OPEB related		<u>(1,009,528)</u>	
Total Deferred Outflows and Inflows Related to Postemployment Benefits			1,862,746
Other long-term assets that are not available to pay for current period expenditures and, therefore, are either deferred or not reported in the funds.			408,531
Long-term liabilities that are not due and payable in the current period, and therefore, are not reported in the funds.			
Bonds payable		(5,500,000)	
Lease revenue bonds		(287,700)	
Compensated absences		(472,924)	
Claims		(1,177,000)	
Leases payable		(406,650)	
Accrued interest payable on long-term debt		(1,984)	
Net OPEB liability		(2,126,564)	
Net pension liability		<u>(15,729,006)</u>	
Total Long-term Liabilities			(25,701,828)
Governmental funds report the effect of premiums, discounts, and refundings and similar items when debt is first issued, whereas these amounts are deferred and amortized in the Statement of Activities.			
Discount on lease		<u>1,643</u>	
Total Premiums, Discounts, and Deferred Items			<u>1,643</u>
Net Position of Governmental Activities	\$		<u><u>39,480,938</u></u>

CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)

	Special Revenue Fund		Capital Projects Fund	Other Governmental Funds	Total Governmental Funds	
	General	TransNet	City CIP		2021	2020
<b>REVENUES</b>						
Taxes and assessments	\$ 17,515,370	\$ -	\$ -	\$ 2,260,284	\$ 19,775,654	\$ 16,842,473
Licenses, permits and fees	521,627	10,869	-	-	532,496	345,168
Intergovernmental	137,613	395,105	-	1,383,946	1,916,664	3,284,923
Charges for services	1,006,034	-	70,716	372,964	1,449,714	1,268,823
Use of money and property	590,097	576	66,026	(24,886)	631,813	1,132,930
Fines and forfeitures	244,331	-	-	-	244,331	359,703
Other revenues	3,026,680	-	93,683	884	3,121,247	3,585,904
Total Revenues	23,041,752	406,550	230,425	3,993,192	27,671,919	26,819,924
<b>EXPENDITURES</b>						
Current:						
General government	5,032,268	-	-	-	5,032,268	4,705,339
Public safety	11,081,431	-	-	1,457,476	12,538,907	11,560,008
Public works	2,155,391	3,251	5,265	962,000	3,125,907	3,408,610
Community development	1,258,578	-	-	188,300	1,446,878	1,544,402
Community services	631,771	-	-	49,211	680,982	803,910
Capital outlay	507,337	117,579	609,562	566,198	1,800,676	1,692,966
Debt service:						
Principal retirement	-	-	-	319,071	319,071	316,505
Interest and fiscal charges	-	325,105	-	30,630	355,735	365,239
Total Expenditures	20,666,776	445,935	614,827	3,572,886	25,300,424	24,396,979
Excess (Deficiency) of Revenue						
Over (Under) Expenditures	2,374,976	(39,385)	(384,402)	420,306	2,371,495	2,422,945
<b>OTHER FINANCING SOURCES (USES)</b>						
Transfers in	-	-	-	353,500	353,500	799,915
Transfers out	(283,100)	-	-	(70,400)	(353,500)	(799,915)
Total Other Financing Sources (Uses)	(283,100)	-	-	283,100	-	-
Net Change in Fund Balances	2,091,876	(39,385)	(384,402)	703,406	2,371,495	2,422,945
Fund Balances - Beginning	15,454,078	90,332	2,752,887	7,341,168	25,638,465	23,215,520
Fund Balances - Ending	\$ 17,545,954	\$ 50,947	\$ 2,368,485	\$ 8,044,574	\$ 28,009,960	\$ 25,638,465

CITY OF SOLANA BEACH, CALIFORNIA

**RECONCILIATION OF THE STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES OF GOVERNMENTAL FUNDS  
TO THE STATEMENT OF ACTIVITIES  
FOR THE YEAR ENDED JUNE 30, 2021**

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Amounts reported for governmental activities in the Statement of Activities are different because:

Net Change in Fund Balances - Total Governmental Funds	\$	2,371,495	
<p>Governmental funds report capital outlays as expenditures. However, in the Statement of Activities, the cost of these assets is allocated over their estimated useful lives and reported as depreciation expense. This is the amount by which capital outlays exceeded depreciation expense in the current period.</p>			
			(709,233)
<p>Revenues in the Statement of Activities that do not provide current financial resources are not reported as revenues in the funds.</p>			
Earned but unavailable grant revenues	\$	327,767	
Earned but unavailable miscellaneous revenues		<u>14,195</u>	
			341,962
<p>Bond and other debt proceeds provide current financial resources to governmental funds, but issuing debt increases long-term liabilities in the Statement of Net Position. Repayment of bond and other debt principal is an expenditure in the governmental funds, but repayment reduces long-term liabilities in the Statement of Net Position. Also, governmental funds report the effect of premiums, discounts, and similar items when debt is first issued, whereas these amounts are deferred and amortized in the Statement of Activities.</p>			
Principal paid on leases		<u>319,071</u>	
			319,071
<p>Some expenses reported in the Statement of Activities do not require the use of current financial resources and, therefore, are not reported as expenditures in the governmental funds.</p>			
Accrued interest on long-term debt		800	
Amortization of lease discount		(1,066)	
Compensated absences		35,921	
Claims and judgments		(230,000)	
Changes in pension liabilities and related deferred outflows and inflows of resources		(964,435)	
Changes in OPEB liabilities and related deferred outflows and inflows of resources		<u>473,388</u>	
			(685,392)
Change in Net Position of Governmental Activities	\$		<u><u>1,637,903</u></u>

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**PROPRIETARY FUND  
FINANCIAL STATEMENTS**

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## CITY OF SOLANA BEACH, CALIFORNIA

## STATEMENT OF NET POSITION

## PROPRIETARY FUNDS

JUNE 30, 2021

(With comparative totals for June 30, 2020)

			Total Proprietary Funds	
			2021	2020
	Sanitation Fund	Solana Energy Alliance Fund		
<b>ASSETS</b>				
Current Assets:				
Cash and cash equivalents	\$ 10,481,523	\$ -	\$ 10,481,523	\$ 9,805,642
Restricted assets - cash and cash equivalents	-	-	-	46
Receivables:				
Accounts	145,143	525,746	670,889	690,364
Taxes	-	-	-	57,452
Interest	27,660	-	27,660	30,141
Intergovernmental	1,354,075	160,875	1,514,950	201,696
Deposits	-	-	-	100,000
Prepaid costs	-	-	-	845
Total Current Assets	12,008,401	686,621	12,695,022	10,886,186
Noncurrent Assets:				
Advances to other funds	2,054,056	-	2,054,056	2,432,141
Investment in joint venture	35,555,593	-	35,555,593	34,949,555
Capital Assets:				
Land	111,706	-	111,706	111,706
Construction in progress	62,820	-	62,820	6,156,690
Building and improvements	24,613,647	-	24,613,647	19,391,927
Equipment	828,705	-	828,705	828,705
Less accumulated depreciation	(8,227,667)	-	(8,227,667)	(7,886,908)
Total Noncurrent Assets	54,998,860	-	54,998,860	55,983,816
Total Assets	67,007,261	686,621	67,693,882	66,870,002
<b>DEFERRED OUTFLOWS OF RESOURCES</b>				
Deferred charge on refunding	-	-	-	68,647
Pension related	156,777	42,265	199,042	212,240
OPEB related	-	-	-	1,255
Total Deferred Outflows of Resources	156,777	42,265	199,042	282,142
<b>LIABILITIES</b>				
Current Liabilities:				
Accounts payable	681,558	15,528	697,086	1,203,196
Accrued liabilities	13,403	47,073	60,476	23,135
Compensated absences	14,172	-	14,172	29,340
Accrued interest payable	215,373	-	215,373	221,043
Due to other funds	-	737,987	737,987	516,953
Loans and bonds payable - current	530,000	-	530,000	570,000
Total Current Liabilities	1,454,506	800,588	2,255,094	2,563,667
Noncurrent Liabilities:				
Compensated absences	37,130	-	37,130	29,113
Loans and bonds payable	16,288,321	-	16,288,321	16,879,133
Net pension liability	728,648	199,101	927,749	884,339
Net OPEB liability	156,628	40,668	197,296	228,245
Total Noncurrent Liabilities	17,210,727	239,769	17,450,496	18,020,830
Total Liabilities	18,665,233	1,040,357	19,705,590	20,584,497
<b>DEFERRED INFLOWS OF RESOURCES</b>				
Pension related	13,552	4,334	17,886	56,365
OPEB related	74,355	19,306	93,661	108,446
Total Deferred Inflows of Resources	87,907	23,640	111,547	164,811
<b>NET POSITION</b>				
Net investment in capital assets	11,185,890	-	11,185,890	12,052,987
Restricted for debt service	-	-	-	46
Unrestricted	37,225,008	(335,111)	36,889,897	34,349,803
Total Net Position	\$ 48,410,898	\$ (335,111)	\$ 48,075,787	\$ 46,402,836

CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF REVENUES, EXPENSES  
AND CHANGES IN FUND NET POSITION  
JUNE 30, 2021  
(With comparative totals for June 30, 2020)

	<u>Total Proprietary Funds</u>			
	<u>Sanitation Fund</u>	<u>Solana Energy Alliance Fund</u>	<u>2021</u>	<u>2020</u>
<b>OPERATING REVENUES</b>				
Charges for services	\$ 5,676,286	\$ 3,567,034	\$ 9,243,320	\$ 9,766,536
Miscellaneous Revenue	37,135	161	37,296	181,353
Total Operating Revenues	<u>5,713,421</u>	<u>3,567,195</u>	<u>9,280,616</u>	<u>9,947,889</u>
<b>OPERATING EXPENSES</b>				
Cost of sales and services	2,227,686	3,833,710	6,061,396	6,604,507
Administration	540,898	7,602	548,500	771,192
Depreciation	391,505	-	391,505	426,773
Total Operating Expenses	<u>3,160,089</u>	<u>3,841,312</u>	<u>7,001,401</u>	<u>7,802,472</u>
Operating Income (Loss)	<u>2,553,332</u>	<u>(274,117)</u>	<u>2,279,215</u>	<u>2,145,417</u>
<b>NONOPERATING REVENUES (EXPENSES)</b>				
Interest income	124,624	264	124,888	423,002
Interest expense	(666,139)	-	(666,139)	(682,773)
Amortization of investment premium	(10,945)	-	(10,945)	(10,945)
Gain (loss) on disposal of capital assets	(164,807)	-	(164,807)	-
Share in joint venture net gain/(loss)	110,739	-	110,739	(75,202)
Total Nonoperating Revenues (Expenses)	<u>(606,528)</u>	<u>264</u>	<u>(606,264)</u>	<u>(345,918)</u>
Change in Net Position	1,946,804	(273,853)	1,672,951	1,799,499
Net Position - Beginning	46,464,094	(61,258)	46,402,836	44,603,337
Net Position - Ending	<u>\$ 48,410,898</u>	<u>\$ (335,111)</u>	<u>\$ 48,075,787</u>	<u>\$ 46,402,836</u>

## CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF CASH FLOWS  
PROPRIETARY FUNDS  
JUNE 30, 2021

(With comparative totals for June 30, 2020)

	Sanitation Fund	Solana Energy Alliance Fund	Total Proprietary Funds	
			2021	2020
<b>CASH FLOWS FROM OPERATING ACTIVITIES</b>				
Receipts from customers	\$ 4,342,463	\$ 3,702,324	\$ 8,044,787	\$ 10,191,884
Payments to suppliers and service providers	(2,510,632)	(3,790,970)	(6,301,602)	(6,167,853)
Payments to employees for salaries and benefits	(577,565)	(132,154)	(709,719)	(620,508)
Net Cash Provided by (Used for) Operating Activities	1,254,266	(220,800)	1,033,466	3,403,523
<b>CASH FLOWS FROM NONCAPITAL FINANCING ACTIVITIES</b>				
Repayment received from short-term interfund borrowings	-	221,034	221,034	367,859
Cash advance made to other governments	-	(498)	(498)	(160,377)
Net Cash Provided by (Used for) Noncapital Financing Activities	-	220,536	220,536	207,482
<b>CASH FLOWS FROM CAPITAL AND RELATED FINANCING ACTIVITIES</b>				
Repayment received from capital-related interfund borrowings	378,085	-	378,085	359,764
Proceeds from the sale of assets	1,053,119	-	1,053,119	1,452
Acquisition and construction of capital assets	(396,522)	-	(396,522)	(3,267,423)
Principal paid on capital debt	(570,000)	-	(570,000)	(555,000)
Interest paid on capital debt	(663,974)	-	(663,974)	(691,366)
Net Cash Provided by (Used for) Capital and Related Financing Activities	(199,292)	-	(199,292)	(4,152,573)
<b>CASH FLOWS FROM INVESTING ACTIVITIES</b>				
Interest on investments	127,105	264	127,369	437,753
Investment in joint venture	(506,244)	-	(506,244)	(409,356)
Net Cash Provided by (Used for) Investing Activities	(379,139)	264	(378,875)	28,397
Net Increase (Decrease) in Cash and Cash Equivalents	675,835	-	675,835	(513,171)
Cash and Cash Equivalents - Beginning	9,805,688	-	9,805,688	10,318,859
Cash and Cash Equivalents - Ending	\$ 10,481,523	\$ -	\$ 10,481,523	\$ 9,805,688
<b>Reconciliation of Operating Income (Loss) to Net Cash Provided by (Used for) Operating Activities:</b>				
Operating income (loss)	\$ 2,553,332	\$ (274,117)	\$ 2,279,215	\$ 2,145,417
Adjustments to Reconcile Operating Income (Loss) to Net Cash Provided by (Used for) Operating Activities:				
Depreciation expense	391,505	-	391,505	426,773
(Increase) decrease in accounts receivable	(58,202)	135,129	76,927	119,704
(Increase) decrease in intergovernmental receivables	(1,312,756)	-	(1,312,756)	124,291
(Increase) decrease in deposits	-	100,000	100,000	-
(Increase) decrease in prepaid costs	845	-	845	846
(Increase) decrease in pension related deferred outflows of resources	11,927	1,271	13,198	4,110
(Increase) decrease in OPEB related deferred outflows of resources	1,004	251	1,255	(1,255)
Increase (decrease) in accounts payable	(283,526)	(222,584)	(506,110)	435,808
Increase (decrease) in accrued liabilities	1,197	36,144	37,341	(12,044)
Increase (decrease) in compensated absences	(7,151)	-	(7,151)	7,051
Increase (decrease) in net pension liability	25,712	17,698	43,410	73,597
Increase (decrease) in net OPEB liability	(25,968)	(4,981)	(30,949)	23,789
Increase (decrease) in pension related deferred inflows of resources	(31,251)	(7,228)	(38,479)	19,469
Increase (decrease) in OPEB related deferred inflows of resources	(12,402)	(2,383)	(14,785)	35,967
Total Adjustments	(1,299,066)	53,317	(1,245,749)	1,258,106
Net Cash Provided by (Used for) Operating Activities	\$ 1,254,266	\$ (220,800)	\$ 1,033,466	\$ 3,403,523
<b>Schedule of Non-Cash Investing, Capital, and Financing Activities:</b>				
Amortization of bonds premium/discount	\$ 68,647	\$ -	\$ -	\$ 68,647
Unrealized gain on investment in joint venture	110,739	-	110,739	(75,202)

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**FIDUCIARY FUND  
FINANCIAL STATEMENTS**

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CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF FIDUCIARY NET POSITION  
 FIDUCIARY FUNDS  
 JUNE 30, 2021

(with comparative totals for the year ended June 30, 2020)

	Pension (and Other Employee Benefit) Trust Fund		Private-Purpose Trust Fund			
	OPEB Trust Fund		Successor Agency of the Former RDA		Custodial Funds	
	2021	2020	2021	2020	2021	2020
<b>ASSETS</b>						
Cash and cash equivalents	\$ -	\$ -	\$ -	\$ 98,875	\$ 229,890	\$ 112,380
Investments:						
Money market mutual funds	1,265,851	849,021	-	-	1,646	17,287
Local Agency Investment Fund	-	-	-	-	59,324	178,690
Asset-backed securities	-	-	-	-	9,718	3,608
Federal agency securities	-	-	-	-	85,126	30,989
Medium term corporate notes	-	-	-	-	33,510	12,627
Supranational securities	-	-	-	-	1,350	618
US Treasury securities	-	-	-	-	66,680	23,552
Receivables:						
Accrued interest	-	-	-	-	431	837
Due from other governments	-	-	-	-	1,562	1,623
<b>Total Assets</b>	<b>1,265,851</b>	<b>849,021</b>	<b>-</b>	<b>98,875</b>	<b>489,237</b>	<b>382,211</b>
<b>LIABILITIES</b>						
Accounts payable	629	413	-	600	3,796	1,964
Accrued liabilities	-	-	1,419	1,294	-	-
Accrued interest	-	-	6,413	6,750	68,699	71,376
Long-term liabilities:						
Due in one year	-	-	124,900	120,900	75,000	85,000
Due in more than one year	-	-	2,165,000	2,289,900	1,780,000	1,855,000
<b>Total Liabilities</b>	<b>629</b>	<b>413</b>	<b>2,320,052</b>	<b>2,419,444</b>	<b>1,927,495</b>	<b>2,013,340</b>
<b>NET POSITION</b>						
Restricted for:						
Postemployment benefits other than pensions	1,265,222	848,608	-	-	-	-
Individuals, organizations, and other governments	-	-	(2,320,052)	(2,320,569)	(1,438,258)	(1,631,129)
<b>Total Net Position</b>	<b>\$ 1,265,222</b>	<b>\$ 848,608</b>	<b>\$ (2,320,052)</b>	<b>\$ (2,320,569)</b>	<b>\$ (1,438,258)</b>	<b>\$ (1,631,129)</b>



CITY OF SOLANA BEACH, CALIFORNIA

STATEMENT OF CHANGES IN FIDUCIARY NET POSITION  
 FIDUCIARY FUNDS  
 FOR THE YEAR ENDED JUNE 30, 2021  
 (with comparative totals for the year ended June 30, 2020)

	Pension (and Other Employee Benefit) Trust Fund		Private-Purpose Trust Fund			
	OPEB Trust Fund		Successor Agency of the Former RDA		Custodial Funds	
	2021	2020	2021	2020	2021	2020
<b>ADDITIONS</b>						
Contributions:						
Employers	\$ 204,000	\$ 198,000	\$ -	\$ -	\$ -	\$ -
Total contributions	204,000	198,000	-	-	-	-
Investment earnings:						
Net increase (decrease) in fair value of investments	153,596	(1,817)	(192)	-	(3,836)	5,046
Interest, dividends, and other	65,596	23,098	-	47	3,584	7,544
Total investment earnings	219,192	21,281	(192)	47	(252)	12,590
Property taxes	-	-	136,847	100,899	-	-
Special assessment collections	-	-	-	-	215,329	97,439
Miscellaneous	-	-	-	-	99,256	-
Total Additions	423,192	219,281	136,655	100,946	314,333	110,029
<b>DEDUCTIONS</b>						
Administrative expenses	-	-	44,117	41,638	-	-
Contractual services	6,578	4,208	12,353	4,606	8,973	50,020
Interest expense	-	-	79,668	83,637	112,489	190,671
Total Deductions	6,578	4,208	136,138	129,881	121,462	240,691
Net Increase (Decrease) in Fiduciary Net Position	416,614	215,073	517	(28,935)	192,871	(130,662)
Net Position - Beginning	848,608	633,535	(2,320,569)	(2,291,634)	(1,631,129)	-
Restatement of Net Position	-	-	-	-	-	(1,500,467)
Net Position - Beginning, as Restated	848,608	633,535	(2,320,569)	(2,291,634)	(1,631,129)	(1,500,467)
Net Position - Ending	\$ 1,265,222	\$ 848,608	\$ (2,320,052)	\$ (2,320,569)	\$ (1,438,258)	\$ (1,631,129)

# **NOTES TO BASIC FINANCIAL STATEMENTS**

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**Note 1: Summary of Significant Accounting Policies**

The basic financial statements of the City of Solana Beach, California (the "City") have been prepared in conformity with accounting principles generally accepted in the United States of America ("U.S. GAAP") as applied to governmental agencies. The Governmental Accounting Standards Board ("GASB") is the accepted standard setting body for establishing governmental accounting and financial reporting principles. The more significant of the City's accounting policies are described below.

**a. Financial Reporting Entity**

The City was formed July 1, 1986 after an election held June 3, 1986 in the proposed incorporated area. The City's incorporation involved a reorganization consisting primarily of the incorporation of the City of Solana Beach; the detachment of territory from the Cardiff Sanitation District and annexation of the same territory to the Solana Beach Sanitation District; the establishment of the Solana Fire Protection District and Solana Beach Sanitation District as subsidiary districts of the City; and the establishment of five improvement districts of the City, which coincided with five previously existing county service areas (CSAs). The City merged the Fire District into the City by dissolving the District and creating a separate Fire Department within the City's General Fund effective January 1, 1988. Effective July 1, 1990, the Solana Beach Sanitation District was dissolved and is now a department of the City.

The Solana Beach Public Facilities Corporation (Corporation) was incorporated on July 25, 1990 as a nonprofit public benefit corporation duly organized and existing under the Nonprofit Public Benefit Corporation Law. Its purpose is to benefit the City by providing financing for the planning, development, acquisition, construction, improvement, extension, repair, and renovation of public works projects, public facilities, furnishings, and equipment for use by the City. The Corporation does not issue separate financial statements. The City's basic financial statements have the Corporation included using the blended method since the governing bodies of the component unit is substantially the same as the governing body of the City. The Corporation provides services entirely to the City.

**b. Basis of Accounting and Measurement Focus**

The accounts of the City are organized on the basis of funds, each of which is considered a separate accounting entity. The operations of each fund are accounted for with a separate set of self-balancing accounts that comprise its assets, liabilities, fund equity, revenues, and expenditures or expenses as appropriate. Government resources are allocated to and accounted for in individual funds based upon the purpose for which they are to be spent and the means by which spending activities are controlled.

**Government-Wide Financial Statements**

The City's Government-Wide Financial Statements include a Statement of Net Position and a Statement of Activities and Changes in Net Position. These statements present summaries of Governmental and Business-Type Activities for the City, the primary government, accompanied by a total column. Fiduciary activities of the City are not included in these statements.

**Note 1: Summary of Significant Accounting Policies (Continued)**

The Government-Wide Financial Statements are presented on an “*economic resources*” measurement focus and the accrual basis of accounting. Accordingly, all of the City’s assets and liabilities, including capital assets and related infrastructure assets and long-term liabilities, are included in the accompanying Statement of Net Position. The Statement of Activities presents changes in Net Position. Under the accrual basis of accounting, revenues are recognized in the period in which they are earned while expenses are recognized in the period in which the liability is incurred.

Certain types of transactions are reported as program revenues for the City in three categories:

- Charges for services
- Operating grants and contributions
- Capital grants and contributions

Certain eliminations have been made as prescribed by GASB Statement No. 34 in regard to interfund activities, payables, and receivables. All internal balances in the Statement of Net Position have been eliminated except those representing balances between the governmental activities and the business-type activities, which are presented as internal balances and eliminated in the total primary government column. In the Statement of Activities, internal service fund transactions have been eliminated; however, those transactions between governmental and business-type activities have not been eliminated. The following interfund activities have been eliminated:

- Due to, Due from other funds
- Advances to, Advances from other funds
- Transfers in, Transfers out

**Governmental Fund Financial Statements**

Governmental fund financial statements include a Balance Sheet and a Statement of Revenues, Expenditures and Changes in Fund Balances for all major governmental funds and non-major funds aggregated. An accompanying schedule is presented to reconcile and explain the differences in net position as presented in these statements to the net position presented in the government-wide financial statements. The City has presented all major funds that met the applicable criteria.

All governmental funds are accounted for on a spending or “*current financial resources*” measurement focus and the modified accrual basis of accounting. Accordingly, only current assets and current liabilities are included on the Balance Sheet. The Statement of Revenues, Expenditures and Changes in Fund Balances present increases (revenue and other financing sources) and decreases (expenditures and other financing uses) in net current assets. Under the modified accrual basis of accounting, revenues are recognized in the accounting period in which they become both measurable and available to finance expenditures of the current period.

**Note 1: Summary of Significant Accounting Policies (Continued)**

Revenues are recorded when received in cash, except those revenues subject to accrual (90 days after year-end, with the exception of property taxes, which is 60 days) are recognized when due. The primary revenue sources, which have been treated as susceptible to accrual by the City, are property taxes, sales taxes, franchise taxes, gas taxes, transient occupancy taxes, intergovernmental revenues, and other taxes. Expenditures are recorded in the accounting period in which the related fund liability is incurred.

Unavailable revenues arise when potential revenues do not meet both the “measurable” and “available” criteria for recognition in the current period. Unearned revenues also arise when the government receives resources before it has a legal claim to them, as when grant monies are received prior to incurring qualifying expenditures. In subsequent periods when both revenue recognition criteria are met or when the government has a legal claim to the resources, the unavailable revenue is removed from the balance sheet and revenue is recognized.

The Reconciliation of the Fund Financial Statements to the Government-Wide Financial Statements is provided to explain the differences.

The City reports the following major governmental fund:

*General Fund* - accounts for all revenues and expenditures used to finance the traditional services associated with a municipal government which are not accounted for in the other funds. In Solana Beach, these services include general government, public safety, public works, community development, and community services.

*TransNet Special Revenue Fund* - accounts for revenues received and expenditures made related to transportation development, transit, and related studies. Funding is provided to the City as a secondary recipient under agreement with the County of San Diego and with San Diego Association of Governments (SANDAG).

*City Capital Projects Fund* - accounts for the acquisition, construction and improvement of capital facilities and infrastructure. Projects are funded by transfers from the General Fund.

**Proprietary Fund Financial Statements**

Proprietary fund financial statements include a Statement of Net Position, a Statement of Revenues, Expenses and Change in Net Position, and a Statement of Cash Flows for all proprietary funds.

Proprietary funds are accounted for using the “*economic resources*” measurement focus and the accrual basis of accounting. Accordingly, all assets and liabilities (whether current or noncurrent) are included on the Statement of Net Position. The Statement of Revenues, Expenses and Changes in Net Position presents increases (revenues) and decreases (expenses) in total net position. Under the accrual basis of accounting, revenues are recognized in the period in which they are earned while expenses are recognized in the period in which the liability is incurred.

**Note 1: Summary of Significant Accounting Policies (Continued)**

Operating revenues, such as charges for services, in the proprietary funds are those revenues that are generated from exchange transactions as the primary operations of the fund. Exchange transactions are those in which each party receives and gives up essentially equal values. All other revenues, such as subsidies, taxes, and investment earnings, which result from non-exchange transactions or ancillary activities are reported as non-operating revenues. Operating expenses are those expenses that are essential to the primary operations of the fund. All other expenses are reported as non-operating expenses.

The City reports the following major proprietary fund:

*Sanitation Fund* - is used to account for operations that are financed and operated in a manner similar to private business enterprises, where the intent of the governing body is that costs of providing sewage and wastewater treatment services to the general public on a continuing basis be financed or recovered primarily through user charges.

*Solana Energy Alliance Fund* - is used to account for operations that are financed and operated in a manner similar to private business enterprises, where the intent of the governing body is that the cost of providing clean energy services to the general public on a continuing basis be financed or recovered primarily through user charges.

**Fiduciary Fund Financial Statements**

Fiduciary fund financial statements include a Statement of Net Position and a Statement of Changes in Net Position. The City's fiduciary funds include custodial funds, one pension (and other employee benefits) trust fund, and one private-purpose trust fund. Custodial funds are used to account for collections received from special assessment districts and their disbursement to bondholders. Spending of Custodial fund resources is controlled primarily through legal agreements and applicable State and Federal laws.

The Private-Purpose Trust Fund is used to account for the assets and liabilities of the former redevelopment agency and the allocated revenue to pay estimated installment payments of enforceable obligations until the obligations of the former redevelopment agency are paid in full and assets have been liquidated.

The Fiduciary Funds are accounted for using the "economic resources" measurement focus and the accrual basis of accounting. Under the accrual basis of accounting, revenues are recognized in the period in which they are earned while expenses are recognized in the period in which the liability is incurred.

**Note 1: Summary of Significant Accounting Policies (Continued)**

**c. Cash, Cash Equivalents, and Investments**

The City pools its available cash for investment purposes. The City considers pooled cash and investment amounts, with original maturities of three months or less, to be cash equivalents.

The cash flow statements require presentation of “cash and cash equivalents”. For the purpose of the statement of cash flows, the City considers all proprietary fund pooled cash and investments as “cash and cash equivalents”, as such funds are available to the various funds as needed.

Highly liquid market investments with maturities of one year or less at time of purchase are stated at amortized cost. All other investments are stated at fair value. Market value is used as fair value for those securities for which market quotations are readily available.

The City participates in an investment pool managed by the State of California titled *Local Agency Investment Fund* (LAIF) which has invested a portion of the pool funds in structured notes and asset-backed securities. LAIF’s investments are subject to credit risk with the full faith and credit of the State of California collateralizing these investments. In addition, these structured notes and asset-backed securities are subject to market risk as to change in interest rates.

**d. Restricted Cash and Investments**

Certain restricted cash and investments are held by fiscal agents for the redemption of bonded debt and for acquisition and construction of capital projects.

**e. Capital Assets**

Capital assets are valued at historical cost or estimated historical cost if actual historical cost was not available. Donated capital assets, donated works of art and similar items, and capital assets received in a service concession arrangement are reported at acquisition value at the time of acquisition by the City. City policy has set the capitalization threshold for reporting infrastructure and all other capital assets at \$5,000. Depreciation is recorded on a straight-line basis over estimated useful lives of the assets as follows:

Buildings and improvements	20-50 years
Equipment	3-25 years
Infrastructure - sewer lines	40-50 years
Infrastructure - other	20-60 years

The City defines infrastructure as the basic physical assets that allow the City to function. The assets include roads and streets, curbs, gutters and sidewalks, streetlights, signs and signals, park equipment, and storm drains. The appropriate operating department maintains information regarding the infrastructure assets.



**Note 1: Summary of Significant Accounting Policies (Continued)**

For all infrastructure systems, the City elected to use the Basic Approach as defined by GASB Statement No. 34 for infrastructure reporting. The City commissioned an appraisal of City owned infrastructure and property that determined the original cost, which is defined as the actual cost to acquire new property in accordance with market prices at the time of first construction/acquisition.

Original costs were developed in one of three ways: (1) historical records; (2) standard unit costs appropriate for the construction/acquisition date; or (3) present cost indexed by a reciprocal factor of the price increase from the construction/acquisition date to the current date. The accumulated depreciation, defined as the total depreciation from the date of construction/acquisition to the current date on a straight line, unrecovered cost method was computed using industry accepted life expectancies for each infrastructure subsystem. The book value was then computed by deducting the accumulated depreciation from the original cost.

**f. Deferred Outflows/Inflows of Resources**

In addition to assets, the statement of financial position and governmental fund balance sheet will sometimes report a separate section for deferred outflows of resources. This separate financial statement element, deferred outflows of resources, represents a consumption of net position or fund balance that applies to a future period(s) and so will not be recognized as an outflow of resources (expense/ expenditure) until then. The City has three items that qualify for reporting in this category. One is the deferred charge on refunding reported in the government-wide statement of net position. A deferred charge on refunding results from the difference in the carrying value of refunded debt and its reacquisition price. This amount is deferred and amortized over the shorter of the life of the refunded or refunding debt. The other two are the deferred outflows relating to the net pension and other post-employment benefit (OPEB) obligations reported in the government-wide statement of net position and proprietary statement of net position. These outflows are the results of contributions made after the measurement period, which are recognized in the following year, and of differences between expected and actual experience, changes of assumptions, changes in the City's proportionate share of the net pension liability, and the net difference between projected and actual earnings on OPEB plan investments. These amounts are deferred and amortized over the expected average remaining service lifetime or five years.

In addition to liabilities, the statement of financial position or governmental fund balance sheet will sometimes report a separate section for deferred inflows of resources. This separate financial statement element, deferred inflows of resources, represents an acquisition of net position or fund balance that applies to a future period(s) and so will not be recognized as an inflow of resources (revenue) until that time. The City reports one item, which arises only under the modified accrual basis of accounting that qualifies for reporting in this category. The item, unavailable revenue, is reported only in the governmental funds balance sheet. The governmental funds report unavailable revenues related to resources received outside of the City's availability period. The City reports two other items that qualify for reporting in this category which are the deferred inflows related to the pensions and deferred inflows relating to other post-employment benefits reported in the government-wide statement of net position and proprietary statement of net position. These inflows are the result of differences between expected and actual experience, changes in assumptions, net differences between projected and actual earnings on pension plan investments, changes in the City's proportionate share of the net pension liability, and differences between the City's contributions and the City's share of recognized contributions. These amounts are deferred and amortized straight-line over the expected average remaining service lifetime.

**Note 1: Summary of Significant Accounting Policies (Continued)**

**g. Long-Term Liabilities**

In the government-wide financial statements, and proprietary fund types in the fund financial statements, long-term debt and other long-term obligations are reported as liabilities in the applicable governmental activities, business-type activities, or proprietary fund type Statement of Net Position. Bond premiums and discounts are amortized over the life of the bonds using the effective interest method. Bonds payable are reported net of the applicable bond premium or discount.

In the fund financial statements, governmental fund types recognize bond premiums and discounts, as well as bond issuance costs, during the current period. The face amount of debt issued is reported as other financing sources. Premiums received on debt issuances are reported as other financing sources while discounts on debt issuances are reported as other financing uses. Issuance costs, whether or not withheld from the actual debt proceeds received, are reported as debt service expenditures.

**h. Compensated Absences**

Government-Wide Financial Statements

For governmental activities, compensated absences are recorded as incurred and the related expenses and liabilities are reported.

Fund Financial Statements

In governmental funds, compensated absences are recorded as expenditures in the years paid, as it is the City's policy to liquidate any unpaid vacation or sick leave at June 30 from future resources, rather than currently available financial resources. Accordingly, the entire unpaid liability for the governmental funds is recorded in the government-wide financial statements, as these amounts will be liquidated from future resources. In the proprietary fund, compensated absences are expensed in the period they are earned, and the unpaid liability is recorded as a long-term liability of the fund.

**i. Pensions**

For purposes of measuring the net pension liability and deferred outflows/inflows of resources related to pensions, and pension expense, information about the fiduciary net position of the City's California Public Employees' Retirement System (CalPERS) plans (Plans) and additions to/deductions from the Plans' fiduciary net position have been determined on the same basis as they are reported by CalPERS. For this purpose, benefit payments (including refunds of employee contributions) are recognized when due and payable in accordance with the benefit terms. Investments are reported at fair value.

**j. Other Post-Employment Benefits (OPEB)**

For purposes of measuring the net OPEB liability, deferred outflows and deferred inflows of resources related to OPEB, and OPEB expense, information about the fiduciary net position of the City's plan (OPEB Plan), the assets of which are held by Public Agency Retirement Services (PARS), and additions to/deductions from the OPEB Plan's fiduciary net position have been determined by an independent actuary. For this purpose, benefit payments are recognized when currently due and payable in accordance with the benefit terms. Investments are reported at fair value.

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

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**Note 1: Summary of Significant Accounting Policies (Continued)**

Generally accepted accounting principles require that the reported results must pertain to liability and asset information within certain defined timeframes. For this report, the following timeframes are used:

Valuation Date	June 30, 2019
Measurement Date	June 30, 2021
Measurement Period	July 1, 2020 to June 30, 2021

Gains and losses related to changes in total OPEB liability and fiduciary net position are recognized in OPEB expense systematically over time. Amounts are first recognized in OPEB expense for the year the gain or loss occurs. The remaining amounts are categorized as deferred outflows and deferred inflows of resources related to OPEB and are to be recognized in future OPEB expense. The recognition period differs depending on the source of the gain or loss with the net difference between projected and actual earnings on OPEB plan investments being recognized over 5 years and all other amounts being recognized over the expected average remaining service lifetime (EARSL) of 5.0 years at June 30, 2021.

**k. Net Position**

In the Government-Wide and Proprietary Fund Financial Statements, net position is classified in the following categories:

Net Investment in Capital Assets – This amount consists of capital assets, net of accumulated depreciation and reduced by outstanding debt that was issued for the acquisition, construction, or improvement of the assets.

Restricted Net Position – This amount is restricted by external creditors, grantors, contributors, or laws or regulations of other governments.

Unrestricted Net Position – This amount is all net position that do not meet the definition of “net investment in capital assets” or “restricted net position.”

When an expense is incurred for purposes for which both restricted and unrestricted net position are available, the City’s policy is to apply restricted net position first.

**l. Net Position Flow Assumption**

Sometimes the government will fund outlays for a particular purpose from both restricted (e.g., restricted bond or grant proceeds) and unrestricted resources. In order to calculate the amounts to report as restricted – net position and unrestricted – net position in the government-wide and proprietary fund financial statements, a flow assumption must be made about the order in which the resources are considered to be applied. It is the government’s policy to consider restricted – net position to have been depleted before unrestricted – net position is applied.

**Note 1: Summary of Significant Accounting Policies (Continued)**

**m. Fund Balances**

In the Governmental Fund Financial Statements, fund balances are classified in the following categories:

*Nonspendable* – Items that cannot be spent because they are not in spendable form, such as prepaid items and inventories, items that are legally or contractually required to be maintained intact, such as principal of an endowment or revolving loan funds.

*Restricted* – Restricted fund balances encompass the portion of net fund resources subject to externally enforceable legal restrictions. This includes externally imposed restrictions by creditors, such as through debt covenants, grantors, contributors, laws, or regulations of other governments, as well as restrictions imposed by law through constitutional provisions or enabling legislation.

*Committed* – Committed fund balances encompass the portion of net fund resources, the use of which is constrained by limitations that the government imposes upon itself at its highest level of decision making, normally the governing body, and that remain binding unless removed in the same manner. The City Council is considered the highest authority for the City. The formal action required to establish, modify, or rescind a fund balance commitment is through a resolution.

*Assigned* – Assigned fund balances encompass the portion of net fund resources reflecting the government's intended use of resources. Assignment of resources can be done by the highest level of decision making or by a committee or official designated for that purpose. The City Council has authorized through a resolution the City Manager and the Director of Finance for that purpose.

*Unassigned* – This is the residual classification that includes all spendable amounts not contained in the other classifications. The General Fund is the only fund that reports a positive unassigned fund balance. In other governmental funds, it is not appropriate to report a positive unassigned fund balance amount. However, in governmental funds other than the General Fund, if expenditures incurred for specific purposes exceed amounts that are restricted, committed, or assigned to those purposes, it may be necessary to report a negative unassigned fund balance in that fund.

When expenditures are incurred for purposes for which both restricted and unrestricted fund balances are available, the City's policy is to apply restricted fund balances first, then unrestricted fund balances as they are needed.

**n. Fund Balance Flow Assumptions**

Sometimes the government will fund outlays for a particular purpose from both restricted and unrestricted resources (the total of committed, assigned, and unassigned fund balance). In order to calculate the amounts to report as restricted, committed, assigned, and unassigned fund balance in the governmental fund financial statements a flow assumption must be made about the order in which the resources are considered to be applied. It is the government's policy to consider restricted fund balance to have been depleted before using any of the components of unrestricted fund balance. Further, when the components of unrestricted fund balance can be used for the same purpose, committed fund balance is depleted first, followed by assigned fund balance. Unassigned fund balance is applied last.

**Note 1: Summary of Significant Accounting Policies (Continued)**

When expenditures are incurred for purposes where only unrestricted fund balances are available, the City uses the unrestricted resources in the following order: committed, assigned, and unassigned.

**o. Property Taxes**

Property taxes are levied on July 1 and are payable in two installments: November 1 and February 1 of each year. Property taxes become delinquent on December 10 and April 10, for the first and second installments, respectively. The lien date is January 1. The County of San Diego, California (County) bills and collects the property taxes and remits them to the City in installments during the year. City property tax revenues are recognized when received in cash except at year end when they are accrued pursuant to the modified accrual basis of accounting. The City recognizes as revenues at June 30 available taxes or those collected within 90 days. The County is permitted by State law to levy taxes at 1% of full market value (at time of purchase) and can increase the property tax rate no more than 2% per year. The City receives a share of this basic levy.

**p. Use of Estimates**

The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from those estimates.

**q. Change in Accounting Principle and Effect of New Accounting Standards**

The City implemented Government Accounting Standards Board (GASB) Statement No. 84, *Fiduciary Activities* during fiscal year 2020-21. The requirements of this Statement will enhance consistency and comparability by (1) establishing specific criteria for identifying activities that should be reported as fiduciary activities and (2) clarifying whether and how business-type activities should report their fiduciary activities. Greater consistency and comparability enhance the value provided by the information reported in financial statements for assessing government accountability and stewardship. The change in accounting principle resulted in a prior period adjustment in the amount of \$(1,500,467) being reported for the custodial funds in the Statement of Changes in Fiduciary Net Position.

The City early adopted GASB Statement No. 98, the *Annual Comprehensive Financial Report*, which establishes the term *annual comprehensive financial report* and its acronym *ACFR*. The new term and acronym replace instances of *comprehensive annual financial report* and its acronym in generally accepted accounting principles for state and local governments. This statement was developed in response to concerns raised by stakeholders that the common pronunciation of the acronym for comprehensive annual financial report sounds like a profoundly objectionable racial slur. This Statement's introduction of the new term is founded on a commitment to promoting inclusiveness.

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 2: Reconciliation of Government-Wide and Fund Financial Statements**

**a. Explanation of Certain Differences Between the Governmental Fund Balance Sheet and the Government-Wide Statement of Net Position**

The governmental fund balance sheet includes a reconciliation between *fund balance – total governmental funds* and *net position – governmental activities* as reported in the government-wide statement of net position. One element of that reconciliation explains that “other long-term assets that are not available to pay for current period expenditures and, therefore, are either labeled unavailable or no reported in the funds.” The details of this \$408,531 are as follows:

Grant revenues	\$ 327,767
Miscellaneous revenues	<u>80,764</u>
Total other long-term assets	<u>\$ 408,531</u>

**b. Explanation of Certain Differences Between the Governmental Fund Statement of Revenues, Expenditures, and Changes in Fund Balances and the Government-Wide Statement of Activities**

The governmental fund statement of revenues, expenditures, and changes in fund balances includes a reconciliation between net changes in fund balances – total governmental funds and changes in net position of governmental activities as reported in the government-wide statement of activities. One element of that reconciliation explains that “governmental funds report capital outlays as expenditures. However, in the statement of activities, the cost of these assets is allocated over their estimated useful lives and reported as depreciation expense. This is the amount by which capital outlays exceeded depreciation expense in the current period.” The details of this \$(709,233) difference are as follows:

Capital outlay	\$ 1,723,018
Depreciation expense	<u>(2,432,251)</u>
Total other long-term assets	<u>\$ (709,233)</u>

**Note 3: Stewardship, Compliance, and Accountability**

**a. Excess of Expenditures over Appropriations**

At June 30, 2021, the Transnet major special revenue fund reported expenditures exceeding appropriations in the amount of \$137,043.

**b. Deficit Fund Equity**

At June 30, 2021, the following nonmajor funds reported deficit fund balance:

Nonmajor Fund Name	Classification	Deficit
Transportation Development Act	Special Revenue Fund	\$ 103,489
CDBG	Special Revenue Fund	16,660
Boating & Waterways	Special Revenue Fund	297,613
Developer Pass-Thru	Special Revenue Fund	87
Assessment Districts CIP	Capital Projects Fund	46,418

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 3: Stewardship, Compliance, and Accountability (Continued)**

These deficits are due to the timing of reimbursements and revenues for these activities, and are expected to be eliminated through future revenues.

**c. Budgetary Compliance**

The Assessment Districts CIP capital projects fund did not adopt a budget for the fiscal year ended June 30, 2021.

**Note 4: Cash and Investments**

The following is a summary of pooled cash and investments and restricted cash and investments at June 30, 2021:

	Government-Wide Statement of Net Position		Fiduciary Funds	Total
	Governmental Activities	Business-Type Activities	Statement of Net Position	
Cash and investments	\$ 29,467,996	\$ 10,481,523	\$ 487,244	\$ 40,436,763
Restricted cash and investments	3,247,089	-	1,265,851	4,512,940
<b>Total</b>	<b>\$ 32,715,085</b>	<b>\$ 10,481,523</b>	<b>\$ 1,753,095</b>	<b>\$ 44,949,703</b>

Cash and investments consisted of the following at June 30, 2021:

Cash:	
Cash on hand	\$ 400
Demand deposits	8,554,302
<b>Total cash</b>	<b>8,554,702</b>
Investments:	
Local Agency Investment Fund	4,087,811
Investments	27,794,250
Cash and investments held in PARS Section 115 Trust	4,512,940
<b>Total investments</b>	<b>36,395,001</b>
<b>Total cash and investments</b>	<b>\$ 44,949,703</b>

**a. Cash Deposits**

The carrying amounts of the City's cash deposits were \$8,554,302 at June 30, 2021. Bank balances were \$9,088,822 at that date. The total amount of which was collateralized or insured with securities held by the pledging financial institutions in the City's name is discussed below. The \$534,520 difference represents outstanding checks and other reconciling items.

The California Government Code and the City's investment policy do not contain legal or policy requirements that would limit the exposure to custodial credit risk for deposits or investments, other than the following provision for deposits: The California Government Code requires that a financial institution secure deposits made by state or local governmental units by pledging securities in an undivided collateral pool held by a depository regulated under state law (unless so waived by the governmental unit). The

**CITY OF SOLANA BEACH, CALIFORNIA**

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**

**Note 4: Cash and Investments (Continued)**

market value of the pledged securities in the collateral pool must equal at least 110% of the total amount deposited by the public agencies. California law also allows financial institutions to secure City deposits by pledging first trust deed mortgage notes having a value of 150% of the secured public deposits.

As of June 30, 2021, none of the City's deposits with financial institutions in excess of federal depository insurance limits were held in uncollateralized accounts. For investments identified herein as held by fiscal agent, the fiscal agent selects the investment under the terms of the applicable trust agreement, acquires the investment, and holds the investment on behalf of the City.

**b. Investments**

**Investments Authorized by the California Government Code and the City's Investment Policy**

The following table identifies the investment types that are authorized for the City by the California Government Code and the City's investment policy. The table also identifies certain provisions of the California Government Code (or the City's investment policy, if more restrictive) that address interest rate risk and concentration of credit risk. The City has no investments held by bond trustee.

Investment Types Authorized by State Law	Authorized by Investment Policy	Maximum Maturity	*Maximum Percentage of Portfolio	*Maximum Investment in One Issuer
Local agency bonds	Yes	5 years	None	65,000,000
U.S. Treasury bills	Yes	5 years	None	25%
U.S. Treasury notes	Yes	5 years	None	25%
U.S. agency securities	Yes	5 years	None	25%
Banker's acceptances	Yes	180 days	25%	5%
Commercial paper	Yes	270 days	25%	10%
Non-Negotiable certificates of deposit	Yes	5 years	20%	5%
Negotiable certificates of deposit	Yes	5 years	30%	None
Certificate of Deposit Placement Services	Yes	5 years	30%	None
Collateralized Bank Deposits	Yes	1 year	None	None
Repurchase agreements	Yes	1 year	None	None
Medium-term notes	Yes	5 years	30%	5%
Mutual funds	Yes	5 years	20%	None
Money market mutual funds	Yes	5 years	20%	None
Asset backed security	Yes	5 years	20%	5%
Supranational	Yes	5 years	30%	10%
Local Agency Investment Fund (LAIF)	Yes	5 years	\$65,000,000	None

\* Based on state law or investment policy requirements, whichever is more restrictive.

**Investments Authorized by Debt Agreements**

Investments of debt proceeds held by fiscal agent are governed by provisions of the debt agreements, rather than the general provisions of the California Government Code or the City's investment policy. The table below identifies the investment types that are authorized for investments held by fiscal agents. The table also identifies certain provisions of these debt agreements that address interest rate risk and concentration of credit risk.



CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 4: Cash and Investments (Continued)**

Authorized Investment Type	Maximum Maturity	Maximum Percentage Allowed	Maximum Investment in One Issuer
U.S. Treasury obligations	None	None	None
U.S. agency securities	None	None	None
Banker's acceptances	360 days	None	None
Commercial paper	270 days	None	None
Money market mutual funds	90 days	None	None
Investment contracts	None	None	None
Local Agency Investment Fund (LAIF)	N/A	None	None

**c. External Investment Pool**

The City is a voluntary participant in the Local Agency Investment Fund (LAIF) that is regulated by the California Government Code under the oversight of the Treasurer of the State of California. The fair value of the City's investment in this pool is reported in the accompanying financial statements at amounts based on the City's pro rata share of the fair value provided by LAIF for the entire LAIF portfolio (in relation to the amortized cost of that portfolio). The balance available for withdrawal is based on accounting records maintained by LAIF, which are recorded on an amortized cost basis. The entire balance of the City's share of the investment pool is available for withdrawal at any time. LAIF is not registered with the Securities and Exchange Commission and is not rated. Deposits and withdrawals in LAIF are made on the basis of \$1 and not fair value. Accordingly, the City's investment in this pool is measured on uncategorized inputs not defined as Level 1, 2, or 3.

**d. Risk Disclosures**

Interest Rate Risk

Interest rate risk is the risk that the market value of investments in the portfolio will fall due to changes in market interest rates. Generally, the longer the maturity of an investment, the greater the sensitivity of its fair value to changes in market interest rates. The City manages this risk by investing its operating funds primarily in shorter-term securities, money market mutual funds, or similar investment pools to ensure liquidity and by timing cash flows from maturities so that a portion of the portfolio is maturing or coming close to maturity evenly over time as necessary to provide the cash flow and liquidity needed for operations.

Investments:	Fair Value	Remaining Investment Maturities		
		12 Months or Less	13 to 24 Months	25 to 60 Months
Local Agency Investment Fund	\$ 4,087,811	\$ 4,087,811	\$ -	\$ -
US Treasury	9,358,556	1,222,735	3,977,277	4,158,544
US Government Agency Securities				
Federal Home Loan Bank	2,686,696	713,381	1,973,315	-
Federal Farm Credit Bank	4,399,693	1,216,503	2,250,934	932,256
Federal National Mortgage Association	2,589,210	-	2,069,269	519,941
Federal Home Loan Mortgage Corporation	2,271,762	-	-	2,271,762
Medium Term Notes	4,703,207	1,632,981	628,078	2,442,148
Money Market Mutual Funds	231,820	231,820	-	-
Supranationals	189,374	-	189,374	-
Asset Backed Securities	1,363,932	7,697	85,390	1,270,845
Investments Held in Section 115 Trust:				
Money Market Mutual Funds	4,512,940	4,512,940	-	-
	<b>\$ 36,395,001</b>	<b>\$ 13,625,868</b>	<b>\$ 11,173,637</b>	<b>\$ 11,595,496</b>

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

Note 4: Cash and Investments (Continued)

Credit Risk

Credit Risk is the risk of loss due to failure of the security issuer. The risk can be identified through the rating assigned by a nationally recognized statistical rating organization to the issuers of securities. The City minimizes this risk by investing only in investment types allowed for municipalities by the Government Code as listed on the City's investment policy and investing only in instruments that are most credit worthy. Presented below is the minimum rating required by (where applicable) the California Government Code, the City's investment policy, or debt agreements, and the actual rating as of June 30, 2021, for each investment type.

Investments:	Total as of June 30, 2021	Minimum Legal Rating	AAA	AA+/Aa1	Exempt
Local Agency Investment Fund	\$ 4,087,811	N/A	\$ -	\$ -	\$ 4,087,811
US Treasury	9,358,556	N/A	-	-	9,358,556
US Government Agency Securities					
Federal Home Loan Bank	2,686,696	N/A	-	-	2,686,696
Federal Farm Credit Bank	4,399,693	N/A	-	-	4,399,693
Federal National Mortgage Association	2,589,210	N/A	-	-	2,589,210
Federal Home Loan Mortgage Corporation	2,271,762	N/A	-	-	2,271,762
Medium Term Notes	4,703,207	A	-	4,703,207	-
Money Market Mutual Funds	231,820	AAA	231,820	-	-
Supranationals	189,374	AA	-	189,374	-
Asset Backed Securities	1,363,932	AA	-	1,363,932	-
Investments Held in Section 115 Trust:					
Money Market Mutual Funds	4,512,940	AAA	4,512,940	-	-
	<u>\$ 36,395,001</u>		<u>\$ 4,744,760</u>	<u>\$ 6,256,513</u>	<u>\$ 25,393,728</u>

Custodial Credit Risk

Custodial credit risk for deposits is the risk that, in the event of the failure of a depository financial institution, a government will not be able to recover its deposits or will not be able to recover collateral securities that are in the possession of an outside party. The custodial credit risk for investments is the risk that, in the event of the failure of the counterparty (e.g., broker-dealer) to a transaction, a government will not be able to recover the value of its investment or collateral securities that are in the possession of another party.

Concentration of Credit Risk

The investment policy of the City contains no limitations on the amount that can be invested in any one issuer beyond that stipulated by the California Government Code. The City had investments in the following US Government Agency issuers which held more than 5% of the investment portfolio:

Issuer	Investment Amount	Percentage of Portfolio
Federal Home Loan Bank	\$ 2,686,696	7.4%
Federal Farm Credit Bank	4,399,693	12.1%
Federal National Mortgage Association	2,589,210	7.1%
Federal National Mortgage Loan Corporation	2,271,762	6.2%

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
JUNE 30, 2021

Note 4: Cash and Investments (Continued)

e. Fair Value Hierarchy

The City categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in active markets for identical assets; Level 2 inputs are significant other observable inputs; Level 3 inputs are significant unobservable inputs. Except for LAIF and money market mutual funds, which are considered uncategorized, all of the City's unrestricted investments are valued using Level 2 inputs. Certificates of Deposit, any local agency, and Registered Treasury Notes or Bonds of any other 49 States are classified in Level 2 of the fair value hierarchy and value using specified fair market value factors.

The Section 115 Trust values its assets as follows:

	Level 1	Level 2	Total
Money Market Mutual Funds	\$ 388,453	\$ 4,124,487	\$ 4,512,940

Note 5: Capital Assets

The following is a summary of changes in capital assets for governmental activities for the year ended June 30, 2021:

	Balance June 30, 2020	Additions	Deletions	Transfers	Balance June 30, 2021
<i>Governmental Activities:</i>					
<i>Non-Depreciable Assets:</i>					
Land	\$ 5,337,440	\$ -	\$ -	\$ -	\$ 5,337,440
Construction in progress	1,241,746	1,213,704	-	(782,395)	1,673,055
Total non-depreciable assets	6,579,186	1,213,704	-	(782,395)	7,010,495
<i>Depreciable Assets:</i>					
Buildings	6,016,915	-	-	-	6,016,915
Improvements	13,709,809	-	-	292,093	14,001,902
Equipment	2,519,028	454,217	-	-	2,973,245
Vehicles	2,548,858	55,097	-	-	2,603,955
Infrastructure	73,392,792	-	-	490,302	73,883,094
Total depreciable assets	98,187,402	509,314	-	782,395	99,479,111
<i>Less accumulated depreciation:</i>					
Buildings	(3,120,277)	(120,791)	-	-	(3,241,068)
Improvements	(5,648,271)	(477,561)	-	-	(6,125,832)
Equipment	(2,128,809)	(225,913)	-	-	(2,354,722)
Vehicles	(1,717,641)	(164,372)	-	-	(1,882,013)
Infrastructure	(56,542,471)	(1,443,614)	-	-	(57,986,085)
Total accumulated depreciation	(69,157,469)	(2,432,251)	-	-	(71,589,720)
Total depreciable assets, net	29,029,933	(1,922,937)	-	782,395	27,889,391
Total capital assets, net	\$ 35,609,119	\$ (709,233)	\$ -	\$ -	\$ 34,899,886

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 5: Capital Assets (Continued)**

Governmental activities depreciation expense for capital assets for the year ended June 30, 2021, is as follows:

General Government	\$ 211,789
Public Safety	252,818
Public Works	1,499,234
Community Development	42,657
Community Services	425,753
	<hr/>
Total Depreciation Expense	<u>\$ 2,432,251</u>

The following is a summary of changes in capital assets for business-type activities for the year ended June 30, 2021:

	Balance June 30, 2020	Additions	Deletions	Transfers	Balance June 30, 2021
<u>Business-Type Activities</u>					
<i>Non-Depreciable Assets:</i>					
Land	\$ 111,706	\$ -	\$ -	\$ -	\$ 111,706
Construction in progress	6,156,690	396,522	-	(6,490,392)	62,820
Total non-depreciable assets	<u>6,268,396</u>	<u>396,522</u>	<u>-</u>	<u>(6,490,392)</u>	<u>174,526</u>
<i>Depreciable Assets:</i>					
Building and improvements	19,391,927	-	(1,268,672)	6,490,392	24,613,647
Equipment	828,705	-	-	-	828,705
Total depreciable assets	<u>20,220,632</u>	<u>-</u>	<u>(1,268,672)</u>	<u>6,490,392</u>	<u>25,442,352</u>
<i>Less accumulated depreciation:</i>					
Building and improvements	(7,339,251)	(374,973)	50,746	-	(7,663,478)
Equipment	(547,657)	(16,532)	-	-	(564,189)
Total accumulated depreciation	<u>(7,886,908)</u>	<u>(391,505)</u>	<u>50,746</u>	<u>-</u>	<u>(8,227,667)</u>
Total depreciable assets, net	<u>12,333,724</u>	<u>(391,505)</u>	<u>(1,217,926)</u>	<u>6,490,392</u>	<u>17,214,685</u>
Total capital assets, net	<u>\$ 18,602,120</u>	<u>\$ 5,017</u>	<u>\$(1,217,926)</u>	<u>\$ -</u>	<u>\$ 17,389,211</u>

Business-type activities depreciation expense for capital assets for the year ended June 30, 2021, is \$391,505, recorded wholly in the Sanitation Fund.

**Note 6: City Employees Retirement Plan - Pension Plans**

**a. General Information about the Pension Plans**

Plan Descriptions

All qualified permanent and probationary employees are eligible to participate in the Public Agency Cost-Sharing Multiple-Employer Defined Benefit Pension Plan (Plan) administered by the California Public Employees' Retirement System (CalPERS). The Plan consists of individual rate plans (benefits tiers) within a safety risk pool (police and fire) and a miscellaneous risk pool (all other). Plan assets may be used to pay benefits for any employer rate plan of safety and miscellaneous pools. Accordingly, rate plans within the safety or miscellaneous pools are not separate plans under GASB Statement No. 68. Individual employers may sponsor more than one rate plan in the miscellaneous or safety risk pools. The City sponsors nine rate plans (three miscellaneous and six safety). Benefit provisions under the Plan are established by State statute and City resolution. CalPERS

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 6: City Employees Retirement Plan - Pension Plans (Continued)**

issues publicly available reports that include a full description of the pension plan regarding benefit provisions, assumptions and membership information that can be found on the CalPERS website.

Benefits Provided

CalPERS provides service retirement and disability benefits, annual cost-of-living adjustments, and death benefits to plan members, who must be public employees and beneficiaries. Benefits are based on years of credited service, equal to one year of full-time employment. Members with five years of total service are eligible to retire at age 50 with statutorily reduced benefits. All members are eligible for non-duty disability benefits after 10 years of service. The death benefit is one of the following: the Basic Death Benefit, the 1957 Survivor Benefit, or the Optional Settlement 2W Death Benefit. The cost-of-living adjustments for each plan are applied as specified by the Public Employees' Retirement Law.

Below is a summary of the plans' provisions and benefits in effect at June 30, 2021, for which the City has contracted:

Major Benefit Options	Miscellaneous*	Miscellaneous Second Tier	Miscellaneous PEPRA	Safety Fire First Tier*	Safety Fire Second Tier	Safety Fire PEPRA	Safety Lifeguard First Tier*	Safety Lifeguard Second Tier*	PEPRA Other Safety
Hire Date	Prior to January 1, 2010	January 1, 2010 but prior to January 1, 2013	On or after January 1, 2013	Prior to January 1, 2010	January 1, 2010 but prior to January 1, 2013	On or after January 1, 2013	Prior to January 1, 2010	January 1, 2010 but prior to January 1, 2013	On or after January 1, 2013
Benefit Provision									
Benefit Formula	2.5% @ 55	2.0% @ 60	2.0% @ 62	3.0% @ 50	2.0% @ 50	2.7% @ 57	3.0% @ 50	2.0% @ 50	2.7% @ 57
Social Security Full/ Modified	no full	no full	no full	no full	no full	no full	no full	no full	no full
Benefit vesting schedule	5 yrs service	5 yrs service	5 yrs service	5 yrs service	5 yrs service	5 yrs service	5 yrs service	5 yrs service	5 yrs service
Benefit payments	monthly for life	monthly for life	monthly for life	monthly for life	monthly for life	monthly for life	monthly for life	monthly for life	monthly for life
Retirement age	50-63	50-63	52-67	50	50-55	50-57	50-55	50-55	52-67
Monthly benefits, as a % of eligible compensation	1.426% to 2.418%	1.092% to 2.418%	1.0% to 2.5%	3%	2.0% to 2.7%	2% to 2.7%	1.423% to 2.0%	1.423% to 2.0%	2.0% to 2.7%
Required employer contribution rates	11.432%	8.081%	6.985%	21.927%	16.636%	13.034%	21.927%	18.152%	13.034%
Required employee contribution rates	8.000%	7.000%	6.750%	9.000%	9.000%	12.000%	9.000%	9.000%	12.000%

\*closed to new member entrants

Contribution Description

Section 20814(c) of the California Public Employees' Retirement Law (PERL) requires that the employer contribution rates for all public employers be determined on an annual basis by the actuary and shall be effective on the July 1 following notice of a change in the rate. The total plan contributions are determined through the CalPERS' annual actuarial valuation process. For public agency cost-sharing plans covered by either the Miscellaneous or Safety risk pools, the Plan's actuarially determined rate is based on the estimated amount necessary to pay the Plan's allocated share of the risk pool's costs of benefits earned by employees during the year, and any unfunded accrued liability. The City is required to contribute the difference between the actuarially determined rate and the contribution rate of employees.

For the year ended June 30, 2021, the contributions recognized as a reduction to the net pension liability was \$1,624,905.

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 6: City Employees Retirement Plan - Pension Plans (Continued)**

**b. Pension Liabilities, Pension Expenses and Deferred Outflows/Inflows of Resources Related to Pensions**

As of June 30, 2021, the City of Solana Beach reported net pension liabilities for its proportionate shares of the net pension liability of each Plan as follows:

	Proportionate Share of Net Pension Liability
Miscellaneous	\$ 6,151,557
Safety	10,505,198
Total	<u>\$ 16,656,755</u>

The net pension liability of each of the Plans is measured as of June 30, 2020, and the total pension liability for each Plan used to calculate the net pension liability was determined by an actuarial valuation as of June 30, 2019 rolled forward to June 30, 2020 using standard update procedures. The City's proportion of the net pension liability was based on a projection of the City's long-term share of contributions to the pension plans relative to the projected contributions of all participating employers, actuarially determined. The City's proportionate share of the net pension liability for each Plan measured as of June 30, 2019 and 2020, respectively, was as follows:

	<u>Miscellaneous</u>	<u>Safety</u>	<u>Combined</u>
Proportion - June 30, 2019	0.05532%	0.09380%	0.14912%
Proportion - June 30, 2020	<u>0.05654%</u>	<u>0.09655%</u>	<u>0.15309%</u>
Change - Increase (Decrease)	<u>0.00122%</u>	<u>0.00275%</u>	<u>0.00397%</u>

For the year ended June 30, 2021, the City recognized pension expense as follows:

<u>Miscellaneous</u>	<u>Safety</u>	<u>Total Plans</u>
\$ 1,041,137	\$ 1,672,516	\$ 2,713,653

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 6: City Employees Retirement Plan - Pension Plans (Continued)**

At June 30, 2021, the City reported deferred outflows of resources and deferred inflows of resources related to pensions from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources
<u>Miscellaneous Plan</u>		
Pension contributions subsequent to measurement date	\$ 685,457	\$ -
Adjustment due to differences in proportions	178,443	-
Difference between expected and actual experience	317,007	-
Difference between actual contributions and the proportionate share of contributions	-	214,892
Changes in assumptions	-	43,875
Net difference between projected and actual earnings on plan investments	182,742	-
Total Miscellaneous Plan	<u>1,363,649</u>	<u>258,767</u>
<u>Safety Plan</u>		
Pension contributions subsequent to measurement date	1,045,632	-
Adjustment due to differences in proportions	280,141	-
Difference between expected and actual experience	814,624	-
Difference between actual contributions and the proportionate share of contributions	-	385,178
Changes in assumptions	-	34,993
Net difference between projected and actual earnings on plan investments	228,322	-
Total Safety Plan	<u>2,368,719</u>	<u>420,171</u>
Total All Plans	<u>\$ 3,732,368</u>	<u>\$ 678,938</u>

The \$1,731,089 reported as deferred outflows of resources related to contributions subsequent to the measurement date will be recognized as a reduction of the net pension liability in the year ended June 30, 2022. Other amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized as pension expense as follows:

Year Ended June 30,	Deferred Outflows/(Inflows) of Resources		
	Miscellaneous Plan	Safety Plan	Total
2022	\$ 60,897	\$ 217,083	\$ 277,980
2023	156,108	355,657	511,765
2024	122,445	237,889	360,334
2025	79,975	92,287	172,262
	<u>\$ 419,425</u>	<u>\$ 902,916</u>	<u>\$ 1,322,341</u>

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**

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**Note 6: City Employees Retirement Plan - Pension Plans (Continued)**

**c. Actuarial Methods and Assumptions**

Actuarial Assumptions

For the measurement period ended June 30, 2020 (the measurement date), the total pension liability was determined by rolling forward the June 30, 2019 total pension liability. The June 30, 2019, total pension liabilities were based on the following actuarial methods and assumptions:

Actuarial Cost Method	Entry Age Normal Cost Method
Actuarial Assumptions	
Discount Rate	7.15%
Inflation	2.50%
Salary Increases	Varies by Entry Age and Service
Mortality Rate Table <sup>(1)</sup>	Derived using CalPERS' Membership Data for all Funds
Post Retirement Benefit Increase	Contract COLA up to 2.50% until Purchasing Power Protection Allowance Floor on Purchasing Power applies

<sup>(1)</sup> The mortality table used was developed based on CalPERS' specific data. The table includes 20 years of mortality improvements using Society of Actuaries Scale BB. For more details on this table, please refer to the 2017 experience study report on the CalPERS' website.

Discount Rate

The discount rate used to measure the total pension liability was 7.15%. The projection of cash flows used to determine the discount rate assumed that contributions from plan members will be made at the current member contribution rates and that contributions from employers will be made at statutorily required rates, actuarially determined. Based on those assumptions, the Plan's fiduciary net position was projected to be available to make all projected future benefit payments of current plan members. Therefore, the long-term expected rate of return on plan investments was applied to all periods of projected benefit payments to determine the total pension liability.

The long-term expected rate of return on pension plan investments was determined using a building-block method in which expected future real rates of return (expected returns, net of pension plan investment expense and inflation) are developed for each major asset class. In determining the long-term expected rate of return, CalPERS took into account both short-term and long-term market return expectations as well as the expected pension fund cash flows. Using historical returns of all of the funds' asset classes, expected compound (geometric) returns were calculated over the short-term (first 10 years) and the long-term (11+ years) using a building-block approach. Using the expected nominal returns for both short-term and long-term, the present value of benefits was calculated for each fund. The expected rate of return was set by calculating the rounded single equivalent expected return that arrived at the same present value of benefits for cash flows as the one calculated using both short-term and long-term returns. The expected rate of return was then set equal to the single equivalent rate calculated above and adjusted to account for assumed administrative expenses.



**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**
**Note 6: City Employees Retirement Plan - Pension Plans (Continued)**

The expected real rates of return by asset class are as followed:

Asset Class	New Strategic Allocation	Real Return Years 1 - 10 <sup>(1)</sup>	Real Return Years 11+ <sup>(2)</sup>
Global Equity	50.0%	4.80%	5.98%
Fixed Income	28.0%	1.00%	2.62%
Inflation Assets	0.0%	0.77%	1.81%
Private Equity	8.0%	6.30%	7.23%
Real Assets	13.0%	3.75%	4.93%
Liquidity	1.0%	0.00%	-0.92%

(1) An expected inflation of 2.00% used for this period.

(2) An expected inflation of 2.92% used for this period.

Sensitivity of the Net Pension Liability to Changes in the Discount Rate

The following presents the City's proportionate share of the net pension liability of the Plan, calculated using the discount rate for each Plan, as well as what the City's proportionate share of the net pension liability would be if it were calculated using a discount rate that is 1% point lower (6.15 percent) or 1% point higher (8.15 percent) than the current rate:

Plan Type	Discount Rate - 1% 6.15%	Current Discount Rate 7.15%	Discount Rate + 1% 8.15%
Miscellaneous	\$ 9,325,054	\$ 6,151,557	\$ 3,529,397
Safety	15,312,220	10,505,198	6,560,582
Total	<u>\$ 24,637,274</u>	<u>\$ 16,656,755</u>	<u>\$ 10,089,979</u>

**d. Pension Plan Fiduciary Net Position**

Detailed information about each pension plan's fiduciary net position is available in the separately issued CalPERS financial reports. See CalPERS website for additional information.

**Note 7: Other Post-Employment Benefits**
**a. Plan Description**

The City of Solana Beach Retiree Healthcare Plan ("Plan") is a single employer defined benefit healthcare plan administered by the City. The Plan provides healthcare benefits to eligible retirees and their dependents through the California Public Employees' Retirement System healthcare program (PEMHCA). Benefit provisions are established and may be amended through agreements and memorandums of understanding between the City, its non-represented employees and the unions representing City employees. The Retiree Healthcare Plan does not issue a financial report.

The City provides the PEMHCA minimum benefit (\$136 per month for 2021) but no less than \$325 per month for employees retired before January 1, 2007 and \$290 per month for employees hired before January 1, 2007.

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**


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**Note 7: Other Post-Employment Benefits (Continued)****b. Plan Membership**

At June 30, 2021, the measurement date, the following numbers of participants were covered by the benefit terms:

Inactive plan members or beneficiaries currently receiving benefit payments	50
Inactive plan members entitled to but not yet receiving benefit payments	14
Active plan members	65
	<u>129</u>

**c. Contributions**

The contribution requirements of the Plan participants and the City are established by and may be amended by the City pursuant to agreements with its non-represented employees and the unions representing City Employees. The City pays cash and implied subsidy benefit payments and PEMHCA administrative fees directly from City assets. Contributions made to the trust are on an ad-hoc basis. On average over the past 5 years, 0.98 percent of payroll was contributed to the trust each year.

The City contributed \$480,132 during the 2021 fiscal year which consisted of \$178,856 of pay-as-you-go benefit payments, \$204,000 in contributions to the trust, and \$97,276 in implied subsidy benefits. Retired plan members and their beneficiaries pay the annual premium cost not paid by the employer.

**d. Net OPEB Liability of the City**

	Fiscal Year Ending	
	<u>June 30, 2021</u>	<u>June 30, 2020</u>
Total OPEB Liability (TOL)	\$ 3,582,741	\$ 3,532,448
Fiduciary Net Position (FNP)	1,258,881	848,608
Net OPEB Liability (NOL)	<u>\$ 2,323,860</u>	<u>\$ 2,683,840</u>
Funded Status (FNP/TOL)	35.1%	24.0%

The City's net OPEB liability was measured as of June 30, 2021, and the total OPEB liability used to calculate the net OPEB liability was determined by an actuarial valuation dated June 30, 2019 that was rolled forward to determine the June 30, 2021 total OPEB liability, based on the following actuarial methods and assumptions:

**e. Actuarial Assumptions**

The total OPEB liability was determined by an actuarial valuation as of June 30, 2019, using the following actuarial assumptions, applied to all periods included in the measurement, unless otherwise specified:

- Actuarial Valuation Date: June 30, 2019
- Contribution Policy: City contributes at least the full ADC
- Discount Rate and Long-Term Expected Rate of Return on Assets: 6.00% at June 30, 2021; 6.00% at June 30, 2020; Expected City contributions projected to keep sufficient plan assets to pay all benefits from trust
- General Inflation: 2.75% annually

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**
**Note 7: Other Post-Employment Benefits (Continued)**

- Mortality, Retirement, Disability, Termination: CalPERS 1997-2015 Experience Study
- Mortality Improvement: Mortality projected fully generational with Scale MP-2019
- Salary Increases: Aggregate – 3% annually; Merit – CalPERS 1997-2015 Experience Study
- Medical Trend: Non-Medicare – 7.25% for 2021, decreasing to an ultimate rate of 4% in 2076; Medicare – 6.3% for 2021, decreasing to an ultimate rate of 4% in 2076
- PEMHCA Minimum Increases: 4.25% annually
- Cap Increases: 0%
- Healthcare Participation for Future Retirees: Actives & Surviving Spouses Hired < 1/1/07: Covered – 90%; Waived – 70%. Actives & Surviving Spouses Hired > 1/1/07: Covered – 60%; Waived – 50%. Retirees & Surviving Spouses: Covered 100%; Waived < 65 – 20% at 65; Waived > 65 – 0%
- Changes of Assumptions: None
- Changes of Benefit Terms: None

**f. Changes in the OPEB Liability**

	Total OPEB Liability	Fiduciary Net Position	Net OPEB Liability
Balance at June 30, 2020	\$ 3,532,448	\$ 847,218	\$ 2,685,230
Changes for the year			
Service Cost	115,154	-	115,154
Interest	210,592	-	210,592
Assumption changes	-	-	-
Actual vs. Expected Experience	-	-	-
Contributions - employer	-	480,132	(480,132)
Net investment income	-	210,366	(210,366)
Benefit payments*	(275,453)	(275,453)	-
Administrative Expenses	-	(3,382)	3,382
Net changes	<u>50,293</u>	<u>411,663</u>	<u>(361,370)</u>
Balance at June 30, 2021	<u>\$ 3,582,741</u>	<u>\$ 1,258,881</u>	<u>\$ 2,323,860</u>

\*Benefit payments include an implied subsidy of \$97,276 for the measurement date June 30, 2021

**g. Sensitivity of the Net OPEB Liability to Changes in the Discount Rate**

Sensitivity of the net OPEB liability to changes in the discount rate. The following presents the net OPEB liability of the City, as well as what the City's net OPEB liability would be if it were calculated using a discount rate that is 1-percentage-point lower or 1-percentage-point higher than the current discount rate:

	1% Decrease (5.00%)	Current Rate (6.00%)	1% Increase (7.00%)
Net OPEB liability	\$ 2,749,798	\$ 2,323,860	\$ 1,970,920

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 7: Other Post-Employment Benefits (Continued)**

**h. Sensitivity of the Net OPEB Liability to Changes in the Health Care Cost Trend Rates**

Sensitivity of the net OPEB liability to changes in the healthcare cost trend rates. The following presents the net OPEB liability of the City, as well as what the City's net OPEB liability would be if it were calculated using healthcare cost trend rates that are 1-percentage-point lower or 1-percentage-point higher than the current healthcare cost trend rates:

	<u>1% Decrease</u>	<u>Current Trend</u>	<u>1% Increase</u>
Net OPEB liability	\$ 2,028,828	\$ 2,323,860	\$ 2,741,615

**i. OPEB Plan Fiduciary Net Position**

The plan fiduciary net position is reported in the OPEB Trust Fund included in the City's Statement of Fiduciary Net Position.

**j. OPEB Expense and Deferred Outflows/Inflows of Resources Related to OPEB**

For the fiscal year ended June 30, 2021, the City recognized OPEB income of \$39,125. As of fiscal year ended June 30, 2021, the City reported deferred outflows of resources related to OPEB from the following sources:

	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>
Differences between expected and actual experience	\$ -	\$ 30,398
Changes in assumptions	-	963,915
Net difference between projected and actual earnings on plan investments	-	108,876
Total	<u>\$ -</u>	<u>\$ 1,103,189</u>

Amounts reported as deferred outflows of resources related to OPEB will be recognized as expense as follows:

<u>Fiscal Year Ended June 30,</u>	<u>Deferred Outflows/(Inflows) of Resources</u>
2022	\$ (308,690)
2023	(307,597)
2024	(280,018)
2025	(145,808)
2026	(61,076)
Thereafter	-

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 8: Commitments and Contingencies**

**a. Litigation**

The City is a defendant in certain legal actions arising in the normal course of operations. The accompanying basic financial statements reflect a liability for the probable amounts of loss associated with these claims.

**b. Construction Commitments**

Construction Commitments

The following material construction commitments existed at June 30, 2021:

Project Name	Contract Amount	Expenditures as of June 30, 2021	Remaining Commitments
Drain Rehab	\$ 978,955	\$ 606,460	\$ 372,495

**c. Sales Tax – TransNet Debt Commitment**

On November 10, 2010, Solana Beach executed an agreement with The San Diego Association of Governments (SANDAG) relating to the 2010 Series A Bonds Build American Bonds (BABs) for the completion of several projects including the Highway 101 streetscape and traffic calming project and other eligible projects. In the agreement, SANDAG withholds one-sixth of the interest due each month when Sales Tax is sent from the Board of Equalization (BOE) in an effort to have the full amount with the Trustee by the 1st of April and 1st of October.

**Note 9: Risk Management**

**a. General Liability Insurance**

Public Risk Innovation, Solutions, and Management (PRISM), formerly known as CSAC - Excess Insurance Authority, is a member-directed risk sharing pool of counties and public entities. With the dissolution of SANDPIPA, the City elected to join the PRISM pool as a new member and procured all lines of insurance coverage for the City. PRISM is ranked as the second largest public entity risk pool and the largest property and casualty pool in the nation.

The City has a Self-Insured Retention (SIR) of \$100,000 per claim and additional coverage above its SIR with PRISM to \$5 million per claim; there is an additional \$45 million of reinsurance above PRISM coverage bringing the total coverage to over \$50 million per claim.

**b. Workers' Compensation**

Beginning October 1, 2004, the City became fully self-insured with respect to Workers' Compensation. The City has an SIR of \$125,000 per claim and additional coverage above its SIR with PRISM to \$5 million per claim; there is an additional \$45 million of reinsurance above PRISM coverage bringing the total coverage to over \$50 million per claim, up to the statutory workers' compensation limits set by the State of California.

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 9: Risk Management (Continued)**

The workers' compensation and general liability claims payable of \$1,177,000 reported at June 30, 2021, includes all claims for which information prior to the issuance of the financial statements indicates that it was probable that a liability had been incurred at the date of the financial statements and the amount of the loss can be reasonably estimated. During the past three fiscal (claims) years none of the above programs of protection have had settlements or judgments that exceeded pooled or insured coverage. There have been no significant reductions in pooled or insured liability coverage in the prior year. Changes in the claims liability amounts were as follows:

	Beginning of Fiscal Year Liability	Current Year Claims and Changes in Estimates	Claim Payments	Balance at Fiscal Year End
2018-2019	\$ 1,026,000	\$ 142,144	\$ (174,144)	\$ 994,000
2019-2020	994,000	291,083	(338,083)	947,000
2020-2021	947,000	529,364	(299,364)	1,177,000

The City also maintains insurance coverage in the following specific areas: real and personal property damage, boiler and machinery, special events, cyber liability, and pollution.

**Note 10: Leases**

**a. Energy Efficiency/Conservation Upgrades**

On May 9, 2012, the City entered into a capital lease with Municipal Finance Corporation for various energy efficiency/conservation upgrades at City facilities. The lease was executed in the amount of \$818,696. Rental payments are due in thirty-one semi-annual payments of \$35,187 and include interest at the rate of 3.45%. The City also executed an acquisition fund agreement with Deutsche Bank National Trust Company for distribution of the funds. At June 30, 2021, the balance of the lease liability was \$406,650.

**b. Fire Truck Lease**

In 2016, the City entered into a capital lease with Municipal Finance Corporation for a fire truck at the cost of \$614,759. Rental payments are due in annual installments of \$131,944 which includes interest at the rate of 2.40% per annum. Payments are due July of each year. At June 30, 2021, the lease liability is completely repaid, with no balance outstanding.

The future principal and interest lease payments as of June 30, 2021, were as follows:

Year Ending June 30,	Governmental Activities
2022	\$ 70,374
2023	70,374
2024	70,374
2025	70,374
2026	70,374
2027-2029	105,561
Total minimum lease payments	457,431
Less: amount representing interest	(50,781)
Present value of minimum lease payments	\$ 406,650

**Note 11: Long-Term Liabilities**

**a. Bonds Payable**

San Diego County Regional Transportation Commission Sales Tax Revenue Bonds

On October 28, 2010, the San Diego Association of Governments (SANDAG), acting as the San Diego County Regional Transportation Commission, issued \$338,960,000 Taxable Build America Bonds 2010 Series A (Limited Tax Bonds). SANDAG is responsible for the administration of programs under the TransNet Extension ordinance, Proposition A, which sets forth the permitted uses for revenues from a half cent transaction and use tax in San Diego County (TransNet Extension Program). In fiscal year ended June 2010, the City borrowed \$5,500,000 from the TransNet debt financing program for the Highway 101 Streetscaping/Traffic Calming Project and other projects eligible under the terms of the debt financing and applicable SANDAG policies and approved projects. 2017 Wastewater Revenue Refunding Bonds. The bond is wholly secured by sales tax revenues pledged for the payment of debt service. In the event of default, all sales tax revenues pledged for the payment of the debt must be transferred to the bond trustee; however, there is no acceleration of payment on outstanding debt service. The total amount of the bond outstanding at June 30, 2021, is \$5,500,000.

2017 Wastewater Revenue Refunding Bonds

On August 1, 2017, the City, issued \$6,865,000 of 2017 Wastewater Revenue Refunding Bonds to refund, on a current basis, the outstanding Solana Beach Public Financing Authority Subordinate Wastewater Revenue Bonds, Series 2006, which were issued to finance the improvement, betterment, renovation, and expansion of certain facilities within the City's municipal wastewater enterprise. These bonds have a 19-year maturity with principal payments ranging from \$210,000 to \$485,000 with the final maturity paid on March 1, 2036. Interest on the bonds is payable semi-annually March 1 and September 1 commencing on March 1, 2018. Interest rates range from 4.00% to 4.375%. Failure by the City to make debt service payments on the Bonds constitutes an event of default under the Indenture and the Trustee is permitted to pursue remedies at law or in equity to enforce the City's obligation to make such payments. Although the Trustee has the right to accelerate the total unpaid principal amount of the debt service payments on the Bonds, there is no assurance that the City would have sufficient funds to pay the accelerated amounts.

The Bonds are paid solely from, and secured by a pledge of, installment payments and moneys in the funds and account held under the indenture. The installment payments are special limited obligations of the City payable solely from and secured by a pledge of and first lien on residual net revenues of the Wastewater System. Residual net revenues consist of revenues derived from the Wastewater System and remaining after the payment of operating and maintenance expense and debt service on the JPA Loan Payable. The loan amount outstanding at June 30, 2021, is \$5,820,000.

**Note 11: Long-Term Liabilities (Continued)**

**b. Direct Borrowings and Direct Placements**

Lease Revenue Bonds – ABAG

On January 10, 2002, the City issued \$3,465,000 of Series 2002 ABAG Lease Revenue Bonds to advance refund \$2,185,000 of the outstanding Certificates of Participation, Series 1992, and \$1,125,000 of the outstanding Certificates of Participation, Series 1995, establish a reserve account for the bonds, and to pay the cost of issuing the bonds. On November 1, 2011, the City entered into a refunding lease agreement with Municipal Financial Corporation in the amount of \$1,388,300 to current refund the outstanding balance of the ABAG Lease Revenue Bonds, Series 2002 and to take advantage of historically low interest rates. The average savings are approximately \$21,258 per fiscal year with the net present value savings equal to \$185,245. The lease matures on December 1, 2022. Principal payments are due December 1st of each year with semi-annual interest rate at 3.40%. In the event of default, the City remains liable for the continued payment of debt service and damages for breach of the refunding lease agreement. The total amount of the bond outstanding at June 30, 2021, is \$287,700.

San Elijo JPA Loan Payable - 2011

On March 1, 2012, the San Elijo Joint Powers Authority issued the 2012 Refunding Revenue Bonds to refund on a current basis the 2003 Refunding Revenue Bonds and prepaid a note to the California Energy Commission. Each local agency entered into a Third Amended and Restated Loan Agreement as of January 1, 2012 to assist in the financing of the Local Agencies' respective share of the Bonds. The City of Encinitas and the City of Solana Beach will be paying approximately 52% and 48% of total debt service on the bonds, respectively. In the event of default, the trustee may accelerate the payment of outstanding principal and interest. The loan is wholly secured by revenues pledged for the payment of the loan. The amended loan matures on March 1, 2021. The interest rates on the bonds range from 2.00% to 4.00% per year. The City of Solana Beach's portion of annual principal installments range from \$25,000 to \$751,155. The bond was fully repaid as of June 30, 2021, with no balance outstanding.

San Elijo JPA Loan Payable - 2017

On June 1, 2017, the San Elijo Joint Powers Authority issued the 2017 Revenue Bonds for the purpose of funding facilities and improvements as part of the Authority's capital improvement plan. Each local agency entered into a "Series 2017 Loan Agreement" on June 1, 2017 to assist in the financing of the Local Agencies' respective share of the Bonds. The City of Encinitas and the City of Solana Beach will each be paying 50 percent of total debt service on the bonds, respectively. In the event of default, the trustee may accelerate the payment of outstanding principal and interest. The loan is wholly secured by revenues pledged for the payment of the loan. The loan matures on March 1, 2047. The interest rates on the bonds range from 3.00% to 5.00% per year. The City of Solana Beach's portion of annual principal installments range from \$217,500 to \$642,500. The total amount of the bond outstanding at June 30, 2021, is \$10,615,000.



CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

Note 11: Long-Term Liabilities (Continued)

c. Changes in Long-term Liabilities

The following is a summary of changes in long-term debt for the year ended June 30, 2021:

	Balance Beginning of Year	Additions	Deletions	Balance End of Year	Amount Due Within One Year
Governmental Activities:					
Bonds Payable:					
Limited Tax Bonds, Series 2010A	\$ 5,500,000	\$ -	\$ -	\$ 5,500,000	\$ -
Discount	(2,709)	-	(1,066)	(1,643)	-
Total Bonds Payable	5,497,291	-	(1,066)	5,498,357	-
Direct Borrowings and Direct Placements:					
Lease Revenue Bonds - ABAG	423,000	-	135,300	287,700	142,700
Total Direct Borrowings and Direct Placements	423,000	-	135,300	287,700	142,700
Leases (Note 10)	461,569	-	54,919	406,650	56,831
Compensated Absences	508,845	234,705	270,626	472,924	251,522
Claims (Note 9)	947,000	529,364	299,364	1,177,000	245,000
Total Governmental Activities	\$ 7,837,705	\$ 764,069	\$ 759,143	\$ 7,842,631	\$ 696,053
Business-Type Activities:					
Bonds Payable:					
2017 Wastewater Revenue Refunding Bonds	\$ 6,105,000	\$ -	\$ 285,000	\$ 5,820,000	\$ 300,000
Premium	444,133	-	60,812	383,321	-
Total Bonds Payable	6,549,133	-	345,812	6,203,321	300,000
Direct Borrowings and Direct Placements:					
San Elijo JPA Loan Payable - 2011	60,000	-	60,000	-	-
San Elijo JPA Loan Payable - 2017	10,840,000	-	225,000	10,615,000	230,000
Total Direct Borrowings and Direct Placements	10,900,000	-	285,000	10,615,000	230,000
Compensated Absences	58,453	8,996	16,147	51,302	14,172
Total Business-Type Activities	\$ 17,507,586	\$ 8,996	\$ 646,959	\$ 16,869,623	\$ 544,172

Compensated absences do not have a fixed repayment schedule and become payable when leave is used by employees. Governmental activities' compensated absences are typically liquidated through the General Fund, and business-type activities' compensated absences are liquidated through the Water Utility Fund.

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

Note 11: Long-Term Liabilities (Continued)

d. Annual Debt Service Requirements

The annual debt service requirements to maturity on the City's long-term debts as of June 30, 2021, are as follows:

Year Ending June 30,	Governmental Activities			
	Bonds Payable		Direct Placements	
	Principal	Interest	Principal	Interest
2022	\$ -	\$ 325,105	\$ 142,700	\$ 7,356
2023	-	325,105	145,000	2,465
2024	-	325,105	-	-
2025	-	325,105	-	-
2026	-	325,105	-	-
2027-2031	-	1,625,525	-	-
2032-2036	-	1,625,525	-	-
2037-2041	1,567,452	1,521,388	-	-
2042-2046	2,816,793	841,808	-	-
2047-2051	1,115,755	94,674	-	-
Total	\$ 5,500,000	\$ 7,334,445	\$ 287,700	\$ 9,821

Year Ending June 30,	Business-Type Activities			
	Bonds Payable		Direct Borrowings	
	Principal	Interest	Principal	Interest
2022	\$ 300,000	\$ 208,006	\$ 230,000	\$ 438,113
2023	305,000	199,006	237,500	431,213
2024	320,000	186,806	245,000	424,088
2025	330,000	174,006	255,000	414,288
2026	340,000	164,106	267,500	401,538
2026-2031	1,920,000	601,131	1,550,000	1,793,313
2031-2036	2,305,000	216,213	1,955,000	1,388,938
2036-2041	-	-	2,370,000	970,769
2041-2046	-	-	2,862,500	481,000
2046-2051	-	-	642,500	25,700
Total	\$ 5,820,000	\$ 1,749,274	\$ 10,615,000	\$ 6,768,960

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**
**Note 11: Long-Term Liabilities (Continued)**
**e. Debt Covenant Compliance for JPA Loans**

In Compliance with bond issuance covenants, specifically, the 2011 and 2017 San Elijo JPA Bonds, the City is including this table showing debt service coverage for the fiscal year of at least 1.30 times (i) the loan installments coming due and payable during the fiscal year, (ii) all payments required with respect to parity debt, and (iii) amount required to replenish the Reserve Fund as required by the indenture. The City covenants under the 2017 Wastewater Revenue Refunding Bond agreement require while the Bonds remain outstanding and to the extent permitted by law, the City will fix, prescribe, and collect rates and charges which will be at least sufficient to yield during each fiscal year Residual Net Revenues equal to one hundred thirty percent (130%) of Debt Service. The debt coverage ratios for the 2011 and 2017 San Elijo JPA Loans Payable and the 2017 Wastewater Revenue Refunding Bonds are calculated as follows:

	2011 and 2017 JPA Loans	2017 Wastewater Bonds
Revenues:		
Operating revenues	\$ 5,676,285	\$ 5,676,285
Other operating	37,135	37,135
Non-operating	124,624	124,624
Gross revenues	<u>5,838,044</u>	<u>5,838,044</u>
Expenses:	<u>4,598,867</u>	<u>4,598,867</u>
Net Income	1,239,177	1,239,177
Add Back:		
Interest expense	666,139	666,139
Depreciation	391,505	391,505
Loss on disposal of capital assets	164,807	164,807
Amortization of investment in JPA	<u>10,945</u>	<u>10,945</u>
Net revenues available for debt service (2011 and 2017 JPA Loans)	<u>\$ 2,472,573</u>	<u>2,472,573</u>
2011 Refunding Revenue Bonds debt service:		
Principal repayment	\$ 60,000	60,000
Interest charges	1,710	1,710
2017 Refunding Revenue Bonds debt service:		
Principal repayment	285,000	285,000
Interest charges	<u>444,863</u>	<u>444,863</u>
Total debt service	<u>\$ 791,573</u>	<u>791,573</u>
Net revenues available for debt service (2017 Wastewater Bonds)		<u>\$ 1,681,000</u>
2017 Wastewater Bonds debt service:		
Principal repayment		\$ 285,000
Interest charges		<u>216,556</u>
Total debt service		<u>\$ 501,556</u>
<b>Coverage ratio</b>	<u><b>3.1</b></u>	<u><b>3.4</b></u>

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 12: Classification of Fund Balances**

The City has adopted the provisions of GASB Statement No. 54 Fund Balance and Governmental Fund Type Definitions. GASB 54 establishes Fund Balance classifications based largely upon the extent to which a government is bound to observe constraints imposed upon the use of the resources reported in governmental funds. The Governmental Fund statements conform to this new classification.

Classification	General	TransNet	City CIP	Other Governmental Funds	Total Governmental Funds
<b>Nonspendable:</b>					
Prepaid costs	\$ 54,212	\$ -	\$ -	\$ -	\$ 54,212
Total Nonspendable	54,212	-	-	-	54,212
<b>Restricted:</b>					
Section 115 Pension Stabilization Trust	3,245,475	-	-	-	3,245,475
TransNet	-	50,947	-	-	50,947
Gas Tax	-	-	-	425,941	425,941
Municipal Improvement Districts	-	-	-	1,266,139	1,266,139
Lighting District	-	-	-	3,076,356	3,076,356
COPS	-	-	-	337,919	337,919
Public Safety	-	-	-	396,070	396,070
Fire Mitigation	-	-	-	14,034	14,034
Coastal Area Business/Visitor Assistance & Enhancement	-	-	-	881,435	881,435
Miscellaneous Grants	-	-	-	188,885	188,885
Housing	-	-	-	647,164	647,164
Camp Programs	-	-	-	31,657	31,657
SB1 Streets & Roads	-	-	-	230,424	230,424
Capital Projects	-	-	2,368,485	987,063	3,355,548
Debt Service	-	-	-	25,754	25,754
Total Restricted	3,245,475	50,947	2,368,485	8,508,841	14,173,748
<b>Committed:</b>					
Parks & Recreation	32,199	-	-	-	32,199
Public Facilities	539,047	-	-	-	539,047
Public Art	26,858	-	-	-	26,858
In-Lieu Housing	100,786	-	-	-	100,786
Other Post-Employment Benefits	202,686	-	-	-	202,686
Total Committed	901,576	-	-	-	901,576
<b>Assigned:</b>					
Housing	1,499,500	-	-	-	1,499,500
Community TV	90,564	-	-	-	90,564
Street Sweeping	129,637	-	-	-	129,637
Park Fees	38,703	-	-	-	38,703
Asset Replacement	2,391,099	-	-	-	2,391,099
Self-Insurance	618,490	-	-	-	618,490
Workers' Compensation	696,923	-	-	-	696,923
Public Facilities	741,773	-	-	-	741,773
Total Assigned	6,206,689	-	-	-	6,206,689
Unassigned	7,138,002	-	-	(464,267)	6,673,735
Total Fund Balance	\$ 17,545,954	\$ 50,947	\$ 2,368,485	\$ 8,044,574	\$ 28,009,960

CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
JUNE 30, 2021

**Note 12: Classification of Fund Balances (Continued)**

The General Fund for financial reporting purposes consists of the General Fund and the following funds that act as internal funds: Self Insurance Liability, Worker's Compensation, Asset Replacement, Facilities Replacement, OPEB/Pensions, and Real Property Acquisition.

The fund balances for the internal service funds are classified as Assigned with the exception of the OPEB/Pension funds where the fund balance is either Restricted because the fund balance is invested in a Section 115 Trust or Committed because the City Council has limited the use of the funds to either OPEB or Pension purposes and the Real Property Acquisition fund. This fund has a deficit fund balance of \$1,993,423 and because the fund balance amount is a deficit, GASB 54 requires this amount to be classified as Unassigned instead of Assigned.

Classification	General Fund	Self Insurance	Workers' Compensation	Asset Replacement	Facilities Replacement	Real Property Acquisition	PARS OPEB	PARS Pension	Total
<b>Nonspendable:</b>									
Prepaid costs	\$ 54,212	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 54,212
<b>Total Nonspendable</b>	<b>54,212</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>54,212</b>
<b>Restricted:</b>									
Section 115 Pension Stabilization Trust	-	-	-	-	-	-	-	3,245,475	3,245,475
<b>Total Restricted</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>3,245,475</b>	<b>3,245,475</b>
<b>Committed:</b>									
Parks & Recreation	32,199	-	-	-	-	-	-	-	32,199
Public Facilities	539,047	-	-	-	-	-	-	-	539,047
Public Art	26,858	-	-	-	-	-	-	-	26,858
In-Lieu Housing	100,786	-	-	-	-	-	-	-	100,786
Other Post-Employment Benefits	-	-	-	-	-	-	202,686	-	202,686
<b>Total Committed</b>	<b>698,890</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>202,686</b>	<b>-</b>	<b>901,576</b>
<b>Assigned:</b>									
Housing	1,499,500	-	-	-	-	-	-	-	1,499,500
Community TV	90,564	-	-	-	-	-	-	-	90,564
Street Sweeping	129,637	-	-	-	-	-	-	-	129,637
Park Fees	38,703	-	-	-	-	-	-	-	38,703
Asset Replacement	-	-	-	2,391,099	-	-	-	-	2,391,099
Self-Insurance	-	618,490	-	-	-	-	-	-	618,490
Workers' Compensation	-	-	696,923	-	-	-	-	-	696,923
Public Facilities	-	-	-	-	741,773	-	-	-	741,773
<b>Total Assigned</b>	<b>1,758,404</b>	<b>618,490</b>	<b>696,923</b>	<b>2,391,099</b>	<b>741,773</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>6,206,689</b>
<b>Unassigned</b>	<b>9,131,425</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>(1,993,423)</b>	<b>-</b>	<b>-</b>	<b>7,138,002</b>
<b>Total Fund Balance</b>	<b>\$ 11,642,931</b>	<b>\$ 618,490</b>	<b>\$ 696,923</b>	<b>\$ 2,391,099</b>	<b>\$ 741,773</b>	<b>\$ (1,993,423)</b>	<b>\$ 202,686</b>	<b>\$ 3,245,475</b>	<b>\$ 17,545,954</b>

**Note 13: Interfund Transactions**

**a. Due From and To Other Funds**

At June 30, 2021, the City had the following short-term interfund receivables and payables:

Due to other funds	Due from other funds		
	General Fund	City CIP	Total
Non-major Governmental Funds	\$ 575,815	\$ -	\$ 575,815
Solana Energy Alliance	706,816	31,171	737,987
<b>Total</b>	<b>\$ 1,282,631</b>	<b>\$ 31,171</b>	<b>\$ 1,313,802</b>

Due from/to other funds balances arise from the short-term borrowing made from the City's General Fund to various other funds to cover cash shortages during the year.

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 13: Interfund Transactions (Continued)**

**b. Interfund Transfers**

For the year ended June 30, 2021, the City had the following transfers:

Transfers Out	Transfers In Non-Major Governmental Funds
General Fund	\$ 283,100
Non-major governmental funds	70,400
	\$ 353,500

Transfers were made from the General Fund and the Lighting District nonmajor special revenue fund to the City Debt Service nonmajor debt service fund to provide resources for debt service payments. During the fiscal year ended June 30, 2021, there were no significant interfund transfers that were not expected, budgeted for, unusual, nor of a non-routine nature.

**c. Advances to, Advances from other funds**

On July 11, 2018, the City Council adopted Resolution 2018-069 approving the purchase and sale agreement for 700 Stevens Avenue (“Property”) for \$2.8 million; establishing an internal General Fund service fund named “Real Property Acquisition” to receive funds from the Sanitation fund to pay for the acquisition of the Property; and authorizing the transfer of \$2.8 million from the Sanitation Fund to the Real Property Acquisition fund as a loan payable to the Sanitation fund at an annual interest rate of 2.78% for seven years with annual payments equal to \$445,699.

The City is a built-out coastal community and availability of vacant land is scarce. The Property is three parcels of vacant land totaling approximately 28,978 square feet and is located immediately north of and adjacent to La Colonia Park. The purchase of the Property offered the City an opportunity to expand the existing open space, recreation and park use in the future.

The City has the ability to make this kind of transfer from one fund to another so long as there is no prohibition on the use of the funds. In this case, the Sanitation funds are not specifically prohibited for other uses (except for connection fees, which cannot be used for any other purpose). See Health & Safety Code §§ 5473 et seq.

The City elected to borrow funds from its Sanitation Fund to pay for the purchase of the Property. Repayment to the Sanitation Fund over the seven years of the loan will be as follows:

Year Ending June 30,	Principal	Interest	Total
2022	\$ 388,596	\$ 57,103	\$ 445,699
2023	399,399	46,300	445,699
2024	410,503	35,196	445,699
2025	421,914	23,785	445,699
2026	433,644	12,055	445,699
Total	\$ 2,054,056	\$ 174,439	\$ 2,228,495

**CITY OF SOLANA BEACH, CALIFORNIA**

**NOTES TO FINANCIAL STATEMENTS (CONTINUED)**  
**JUNE 30, 2021**

**Note 14: Investment in Joint Venture**

On June 17, 1987, the Cardiff Sanitation District and the City of Solana Beach established the San Elijo Joint Powers Authority (SEJPA), a separate legal entity, whose function is to manage, operate, maintain, and expand a plant for the treatment and disposal of sewage or wastewater and to determine the joint and separate obligations of the members concerning the transmission, treatment, disposal and reclamation of sewage and wastewater within the respective service territories. The SEJPA's governing board consists of two members from each entity. The City of Solana Beach's investment in the SEJPA has been recorded using the equity method of accounting and is shown as an investment in joint venture in the City's financial statements. Summarized audited information of the SEJPA for the fiscal year ended June 30, 2021, is as follows:

Operating revenues	\$ 8,794,541
Operating expenses	(9,852,449)
Net non-operating income	1,279,386
Capital contributions	<u>1,157,490</u>
Change in net position	<u>\$ 1,378,968</u>
Total assets and deferred outflows of resources	\$ 105,367,985
Total liabilities and deferred inflows of resources	<u>(34,101,597)</u>
Net position- total fund equity	<u>\$ 71,266,388</u>

Prior to the formation of the San Elijo Joint Powers Authority, the Cardiff Sanitation District and the City of Solana Beach operated the San Elijo water pollution control facility under an agreement whereby operating costs were shared based on usage and capital expansions were funded 56% by Cardiff and 44% by Solana Beach. Upon formation of the SEJPA in June 1987 the members continued funding SEJPA activities in this manner until May 1989, when the equity interests in the joint venture were revised to 50% Cardiff and 50% Solana Beach. To effect the change in equity interests, the City of Solana Beach agreed to pay Cardiff Sanitation District \$750,680, which included a premium on the value of the equity interest in the amount of \$437,782. This premium is being amortized over the estimated useful life of the facility of forty years.

A summary of the changes in the City's investment in the San Elijo Joint Powers Authority for the year ended June 30, 2021, is as follows:

Investment at June 30, 2020	\$ 34,949,555
Capital contribution	578,745
Current year share in the joint venture net income	689,484
Amortization of JPA	<u>(662,191)</u>
Investment at June 30, 2021	<u>\$ 35,555,593</u>

The financial statements of the SEJPA can be obtained from the Solana Beach Finance Department located at Solana Beach City Hall, 635 S. Highway 101, Solana Beach, California 92075.

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
JUNE 30, 2021

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**Note 15: Non-City Obligations – Special Assessment Debt**

Bonds issued to finance public improvement projects in certain assessment districts are liabilities of the property owners and are secured by liens against the assessed property. The City acts as an agent for collection of principal and interest payments by the property owners and remittance of such monies to the bondholders.

The City has no obligation or duty to pay any delinquency out of any available funds of the City. Neither the faith, credit, nor the taxing power of the City is pledged to the payment of the bonds. Therefore, none of the following obligations are included in the accompanying basic financial statements.

**a. Undergrounding Districts**

During July 2006, the Solana Beach Public Financing Authority issued Assessment District Revenue Bonds totaling \$2,112,000 (less bond issuance costs of \$244,393) to finance the undergrounding of utility lines for the Barbara/Granados Avenue Utility Undergrounding District and the Pacific Avenue/East and West Circle Drive Utility Underground Assessment District. In July 2008, the City of Solana Beach issued \$480,000 (less bond issuance costs of \$87,775) to finance the undergrounding of utility lines on Marsolan Avenue. The outstanding bonds as of June 30, 2021, were \$1,490,000.

**b. South Solana Sewer District**

In November 2006, the Solana Beach Public Financing Authority issued Limited Obligation Improvement Bonds totaling \$570,000 (less bond issuance costs of \$5,742) to finance the construction of sewer improvements to connect 51 properties of the South Solana Beach Sewer District assessment district to the City's sewer system. The outstanding bonds as of June 30, 2021, were \$405,000.

**Note 16: Successor Agency Trust for Assets of Former Redevelopment Agency**

On December 29, 2011, the California Supreme Court upheld Assembly Bill 1X 26 ("the Bill") that provides for the dissolution of all redevelopment agencies in the State of California. This action impacted the reporting entity of the City of Solana Beach that previously had reported a redevelopment agency within the reporting entity of the City as a blended component unit.

After enactment of the law, which occurred on June 28, 2011, redevelopment agencies in the State of California cannot enter into new projects, obligations, or commitments. Subject to the control of a newly established oversight board, remaining assets can only be used to pay enforceable obligations in existence at the date of dissolution (including the completion of any unfinished projects that were subject to legally enforceable contractual commitments).

Management believes, in consultation with legal counsel, that the obligations of the former redevelopment agency due to the City are valid enforceable obligations payable by the successor agency trust under the requirements of the Bill. The City's position on this issue is not a position of settled law and there is considerable legal uncertainty regarding this issue. It is reasonably possible that a legal determination may be made at a later date by an appropriate judicial authority that would resolve this issue unfavorably to the City.



CITY OF SOLANA BEACH, CALIFORNIA

NOTES TO FINANCIAL STATEMENTS (CONTINUED)  
 JUNE 30, 2021

**Note 16: Successor Agency Trust for Assets of Former Redevelopment Agency (Continued)**

**a. Due to City of Solana Beach**

The City made a short-term loan in the amount of \$22,320 to the Successor Agency for the purpose of covering the Successor Agency's cash shortage for the fiscal year ended June 30, 2021. This loan is expected to be repaid in the fiscal year ended June 30, 2022.

**b. Long-Term Debt**

The following debt was transferred from the Redevelopment Agency to the Successor Agency as of February 1, 2012, as a result of the dissolution. A description of long-term debt outstanding (excluding defeased debt) of the Successor Agency as of June 30, 2021, follows:

	Balance June 30, 2020	Additions	Deletions	Balance June 30, 2021	Due Within One Year
Fiduciary Funds:					
2017 Tax Allocation					
Refunding Bonds	\$ 2,410,800	\$ -	\$ 120,900	\$ 2,289,900	\$ 124,900

2017 Tax Allocation Refunding Bonds

On November 10, 2017, the Agency issued the 2017 Tax Allocation Bonds to be used for the purpose of providing funds to the Successor Agency to refund, on a current basis, the Solana Beach Redevelopment Agency, Solana Beach Redevelopment Project, Tax Allocation Bonds, Series and pay the costs of issuing the Bonds. These bonds have an 18-year maturity with the final maturity paid on December 1, 2035 and interest rate of 3.360% Interest on the bonds is payable semi-annually on June 1 and December 1, commencing December 1, 2035.

The annual debt service requirements are as follows:

Year Ending June 30,	Principal	Interest	Total
2022	\$ 124,900	\$ 75,909	\$ 200,809
2023	129,100	71,677	200,777
2024	133,500	67,302	200,802
2025	138,200	62,778	200,978
2026	142,700	58,098	200,798
2027 - 2031	789,800	214,581	1,004,381
2032 - 2036	831,700	71,410	903,110
Total	<u>\$ 2,289,900</u>	<u>\$ 621,755</u>	<u>\$ 2,911,655</u>

**Note 16: Successor Agency Trust for Assets of Former Redevelopment Agency (Continued)**

Pledged Revenue

The City pledged, as security for bonds issued, either directly or through the Financing Authority, a portion of tax increment revenue (including Low- and Moderate-Income Housing set-aside and pass-through allocations) that it receives. The bonds issued were to provide financing for various capital projects, accomplish Low- and Moderate-Income Housing projects and to defease previously issued bonds. Assembly Bill 1X 26 provided that upon dissolution of the Redevelopment Agency, property taxes allocated to redevelopment agencies no longer are deemed tax increment but rather property tax revenues and will be allocated first to successor agencies to make payments on the indebtedness incurred by the dissolved redevelopment agency. Total principal and interest remaining on the debt is \$2,911,655 with annual debt service requirements as indicated above. For the current year, the total property tax revenue recognized by the City for the payment of indebtedness incurred by the dissolved redevelopment agency was \$136,847 and the debt service obligation on the bonds was \$200,905.

**c. Insurance**

The Successor Agency is covered under the City of Solana Beach's insurance policies. Therefore, the limitation and self-insured retentions applicable to the City also apply to the Successor Agency. Additional information as to coverage and self-insured retentions can be found in Note 10.

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# **REQUIRED SUPPLEMENTARY INFORMATION**

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
GENERAL FUND  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)**

	2021		Actual Amounts	Variance with Final Budget Positive (Negative)	2020
	Budget Amounts				Actual
	Original	Final			Amounts
Budgetary Fund Balance, July 1	\$ 15,454,078	\$ 15,454,078	\$ 15,454,078	\$ -	\$ 13,833,279
<b>Resources (Inflows):</b>					
Taxes:					
Property	8,586,500	8,701,500	8,748,270	46,770	8,300,130
Transient occupancy	1,004,400	1,224,400	1,120,889	(103,511)	1,120,664
Sales	3,493,000	3,333,000	3,689,566	356,566	3,291,805
Franchise and other	1,990,200	3,808,700	3,956,645	147,945	1,933,499
Licenses and permits	323,800	423,800	521,627	97,827	337,922
Intergovernmental	1,906,500	97,000	137,613	40,613	2,033,269
Charges for services	574,500	674,500	1,006,034	331,534	1,110,059
Use of money and property	261,000	306,000	590,097	284,097	725,551
Fines and forfeitures	396,000	306,000	244,331	(61,669)	359,703
Miscellaneous	2,622,000	2,637,000	3,026,680	389,680	3,525,458
<b>Amounts Available for Appropriations</b>	<b>36,611,978</b>	<b>36,965,978</b>	<b>38,495,830</b>	<b>1,529,852</b>	<b>36,571,339</b>
<b>Charges to Appropriations (Outflows):</b>					
General Government:					
City Council	322,500	322,500	338,199	(15,699)	328,172
City Clerk	700,600	649,500	597,329	52,171	446,243
Legal Services	476,700	476,700	274,062	202,638	348,069
City Manager	406,300	523,276	500,676	22,600	374,001
Finance	1,375,500	1,465,500	1,397,212	68,288	1,445,974
Personnel	236,900	256,675	242,946	13,729	219,862
Information Systems	423,900	433,900	441,386	(7,486)	393,313
Support Services	1,392,000	1,388,000	1,240,458	147,542	1,142,745
Total General Government	5,334,400	5,516,051	5,032,268	483,783	4,698,379
Public Safety:					
Marine safety	1,006,400	1,023,700	1,047,161	(23,461)	941,300
Law enforcement	4,495,600	4,499,600	4,492,116	7,484	4,322,787
Code & parking enforcement	236,600	236,600	189,513	47,087	207,168
Fire department	5,099,700	5,099,700	5,003,705	95,995	5,082,555
Animal regulation	88,600	92,900	90,075	2,825	85,142
Civil defense	235,300	260,300	258,861	1,439	225,936
Environmental services	1,100	-	-	-	1,000
Total Public Safety	11,163,300	11,212,800	11,081,431	131,369	10,865,888
Public Works:					
Street and other	1,639,500	1,867,900	1,651,923	215,977	1,551,966
Engineering	415,900	401,100	415,781	(14,681)	398,926
Public Facilities	335,300	93,000	87,687	5,313	453,465
Total Public Works	2,390,700	2,362,000	2,155,391	206,609	2,404,357
Community Development:					
Planning	745,900	751,900	714,712	37,188	798,376
Building services	283,900	433,900	543,866	(109,966)	593,848
Total Community Development	1,029,800	1,185,800	1,258,578	(72,778)	1,392,224
Community Services:					
Community services	88,600	88,600	74,730	13,870	75,763
Recreation programs	603,400	595,900	557,041	38,859	660,122
Total Community Services	692,000	684,500	631,771	52,729	735,885
Capital Outlay	388,000	1,005,723	507,337	498,386	291,013
<b>Total Charges to Appropriations</b>	<b>20,998,200</b>	<b>21,966,874</b>	<b>20,666,776</b>	<b>1,300,098</b>	<b>20,387,746</b>
<b>Other Financing Sources (Uses):</b>					
Transfers in	80,000	80,000	-	(80,000)	-
Transfers out	(283,100)	(283,100)	(283,100)	-	(729,515)
<b>Total Other Financing Sources (Uses)</b>	<b>(203,100)</b>	<b>(203,100)</b>	<b>(283,100)</b>	<b>(80,000)</b>	<b>(729,515)</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 15,410,678</b>	<b>\$ 14,796,004</b>	<b>\$ 17,545,954</b>	<b>\$ 2,749,950</b>	<b>\$ 15,454,078</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
TRANSNET FUND  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)**

	2021			Variance with Final Budget Positive (Negative)	2020
	Budget Amounts		Actual Amounts		Actual Amounts
	Original	Final			
Budgetary Fund Balance, July 1	\$ 90,332	\$ 90,332	\$ 90,332	\$ -	\$ 23,194
<b>Resources (Inflows):</b>					
Service fees	-	-	10,869	10,869	7,246
Intergovernmental	144,400	144,400	395,105	250,705	601,705
Use of money and property	-	-	576	576	6,142
<b>Amounts Available for Appropriations</b>	<b>234,732</b>	<b>234,732</b>	<b>496,882</b>	<b>262,150</b>	<b>638,287</b>
<b>Charges to Appropriations (Outflows):</b>					
Public works	75,000	75,000	3,251	71,749	461
Capital outlay	144,400	233,892	117,579	116,313	222,389
Debt service:					
Interest and fiscal charges	-	-	325,105	(325,105)	325,105
<b>Total Charges to Appropriations</b>	<b>219,400</b>	<b>308,892</b>	<b>445,935</b>	<b>(137,043)</b>	<b>547,955</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 15,332</b>	<b>\$ (74,160)</b>	<b>\$ 50,947</b>	<b>\$ 125,107</b>	<b>\$ 90,332</b>

CITY OF SOLANA BEACH, CALIFORNIA

**SCHEDULE OF PROPORTIONATE SHARE OF THE NET PENSION LIABILITY  
MISCELLANEOUS EMPLOYEES PENSION PLAN  
LAST TEN YEARS  
JUNE 30, 2021**

	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
City of Solana Beach's Proportion of the Net Pension Liability	0.05654%	0.05532%	0.05550%	0.05313%	0.05241%
City of Solana Beach's Proportionate Share of the Net Pension Liability	\$ 6,151,557	\$ 5,668,839	\$ 5,177,151	\$ 5,268,836	\$ 4,534,940
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 3,312,829	\$ 3,058,602	\$ 2,879,582	\$ 2,721,499	\$ 2,593,359
City of Solana Beach's Proportionate Share of the Net Pension Liability as a Percentage of the Miscellaneous Employees Plan Covered Payroll	185.69%	185.34%	179.79%	193.60%	174.87%
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	75.10%	75.26%	75.26%	72.59%	75.87%
	<u>2016</u>	<u>2015</u>			
City of Solana Beach's Proportion of the Net Pension Liability	0.05706%	0.04245%			
City of Solana Beach's Proportionate Share of the Net Pension Liability	\$ 3,550,604	\$ 2,651,591			
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 2,409,776	\$ 2,517,165			
City of Solana Beach's Proportionate Share of the Net Pension Liability as a Percentage of the Miscellaneous Employees Plan Covered Payroll	147.34%	105.34%			
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	79.82%	78.40%			

CITY OF SOLANA BEACH, CALIFORNIA

**SCHEDULE OF EMPLOYER'S CONTRIBUTIONS  
MISCELLANEOUS EMPLOYEES PENSION PLAN  
LAST TEN YEARS  
JUNE 30, 2021**

	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
Actuarially Determined Contribution	\$ 685,457	\$ 636,152	\$ 541,582	\$ 460,816	\$ 417,318
Contribution in Relation to the Actuarially Determined Contribution	<u>685,457</u>	<u>636,152</u>	<u>541,582</u>	<u>460,816</u>	<u>417,318</u>
Contribution Excess (Deficiency)	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 3,353,666	\$ 3,312,829	\$ 3,058,602	\$ 2,879,582	\$ 2,721,499
City of Solana Beach's Contributions as a Percentage of the Miscellaneous Employees Plan Covered Payroll	20.44%	19.20%	17.71%	16.00%	15.33%

	<u>2016</u>	<u>2015</u>
Actuarially Determined Contribution	\$ 385,634	\$ 330,415
Contribution in Relation to the Actuarially Determined Contribution	<u>385,634</u>	<u>330,415</u>
Contribution Excess (Deficiency)	<u>\$ -</u>	<u>\$ -</u>
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 2,593,359	\$ 2,409,776
City of Solana Beach's Contributions as a Percentage of the Miscellaneous Employees Plan Covered Payroll	14.87%	13.71%



CITY OF SOLANA BEACH, CALIFORNIA

**SCHEDULE OF PROPORTIONATE SHARE OF THE NET PENSION LIABILITY  
SAFETY EMPLOYEES PENSION PLAN  
LAST TEN YEARS  
JUNE 30, 2021**

	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
City of Solana Beach's Proportion of the Net Pension Liability	0.09655%	0.09380%	0.09361%	0.08816%	0.08774%
City of Solana Beach's Proportionate Share of the Net Pension Liability	\$ 10,505,198	\$ 9,611,934	\$ 8,884,523	\$ 8,742,997	\$ 7,592,101
City of Solana Beach's Safety Employees Plan Covered Payroll	\$ 2,389,544	\$ 2,270,208	\$ 2,249,144	\$ 2,115,191	\$ 2,116,065
City of Solana Beach's Proportionate Share of the Net Pension Liability as a Percentage of the Safety Employees Plan Covered Payroll	439.63%	423.39%	395.02%	413.34%	358.78%
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	75.10%	75.26%	75.26%	72.59%	75.87%
	<u>2016</u>	<u>2015</u>			
City of Solana Beach's Proportion of the Net Pension Liability	0.09490%	0.07208%			
City of Solana Beach's Proportionate Share of the Net Pension Liability	\$ 5,905,301	\$ 4,940,589			
City of Solana Beach's Safety Employees Plan Covered Payroll	\$ 1,997,991	\$ 1,925,616			
City of Solana Beach's Proportionate Share of the Net Pension Liability as a Percentage of the Safety Employees Plan Covered Payroll	295.56%	256.57%			
Plan Fiduciary Net Position as a Percentage of the Total Pension Liability	79.82%	78.40%			

**CITY OF SOLANA BEACH, CALIFORNIA**

**SCHEDULE OF EMPLOYER'S CONTRIBUTIONS  
SAFETY EMPLOYEES PENSION PLAN  
LAST TEN YEARS  
JUNE 30, 2021**

	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
Actuarially Determined Contribution	\$ 1,045,632	\$ 988,753	\$ 838,065	\$ 717,659	\$ 673,212
Contribution in Relation to the Actuarially Determined Contribution	<u>1,045,632</u>	<u>988,753</u>	<u>838,065</u>	<u>717,659</u>	<u>673,212</u>
Contribution Excess (Deficiency)	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 2,138,322	\$ 2,389,544	\$ 2,270,208	\$ 2,249,144	\$ 2,115,191
City of Solana Beach's Contributions as a Percentage of the Miscellaneous Employees Plan Covered Payroll	48.90%	41.38%	36.92%	31.91%	31.83%
	<u>2016</u>	<u>2015</u>			
Actuarially Determined Contribution	\$ 619,022	\$ 519,933			
Contribution in Relation to the Actuarially Determined Contribution	<u>619,022</u>	<u>519,933</u>			
Contribution Excess (Deficiency)	<u>\$ -</u>	<u>\$ -</u>			
City of Solana Beach's Miscellaneous Employees Plan Covered Payroll	\$ 2,116,065	\$ 1,997,991			
City of Solana Beach's Contributions as a Percentage of the Miscellaneous Employees Plan Covered Payroll	29.25%	26.02%			

CITY OF SOLANA BEACH, CALIFORNIA

**SCHEDULE OF CHANGES IN NET OPEB LIABILITY AND RELATED RATIOS**  
**RETIREE HEALTHCARE PLAN**  
**LAST FIVE FISCAL YEARS**  
**JUNE 30, 2021**

	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
<b>TOTAL OPEB LIABILITY</b>					
Service Cost	\$ 115,154	\$ 140,334	\$ 218,793	\$ 231,577	\$ 225,000
Interest	210,592	231,171	187,559	172,035	164,000
Actual vs. expected experience	-	(42,558)	-	-	-
Assumption changes	-	(384,986)	(1,145,939)	(242,883)	-
Benefit payments	(275,453)	(248,040)	(230,041)	(219,042)	(148,000)
Net Changes	50,293	(304,079)	(969,628)	(58,313)	241,000
Total OPEB Liability - Beginning	3,532,448	3,836,527	4,806,155	4,864,468	4,623,000
<b>Total OPEB Liability - Ending (a)</b>	<b>\$ 3,582,741</b>	<b>\$ 3,532,448</b>	<b>\$ 3,836,527</b>	<b>\$ 4,806,155</b>	<b>\$ 4,864,000</b>
<b>PLAN FIDUCIARY NET POSITION</b>					
Contributions - employer <sup>(2)</sup>	\$ 480,132	\$ 446,751	\$ 484,191	\$ 307,582	\$ 233,000
Net investment income	210,366	20,418	27,769	23,652	17,000
Benefit payments	(275,453)	(248,040)	(227,210)	(219,042)	(148,000)
Administrative expenses	(3,382)	(4,056)	(2,496)	(2,062)	-
Other changes	(1,390)	-	-	-	-
Net Changes	410,273	215,073	282,254	110,130	102,000
Plan Fiduciary Net Position - Beginning	848,608	633,535	351,281	241,151	139,000
<b>Plan Fiduciary Net Position - Ending (b)</b>	<b>\$ 1,258,881</b>	<b>\$ 848,608</b>	<b>\$ 633,535</b>	<b>\$ 351,281</b>	<b>\$ 241,000</b>
<b>PLAN NET OPEB LIABILITY - ENDING (a) - (b)</b>	<b>\$ 2,323,860</b>	<b>\$ 2,683,840</b>	<b>\$ 3,202,992</b>	<b>\$ 4,454,874</b>	<b>\$ 4,623,000</b>
Retiree Healthcare Plan Fiduciary Net Position as a Percentage of the Plan Total OPEB Liability	35.1%	24.0%	16.5%	7.3%	5.0%
City of Solana Beach's Retiree Healthcare Plan Covered-Employee Payroll	\$ 7,533,033	\$ 7,506,736	\$ 7,050,741	\$ 6,666,082	\$ 6,406,137
City of Solana Beach's Net Retiree Healthcare Plan OPEB Liability as a Percentage of Retiree Healthcare Plan Covered-Employee Payroll	30.8%	35.8%	45.4%	66.8%	72.2%

CITY OF SOLANA BEACH, CALIFORNIA

**SCHEDULE OF EMPLOYER CONTRIBUTIONS  
 RETIREE HEALTHCARE PLAN  
 LAST FIVE FISCAL YEARS  
 JUNE 30, 2021**

	<b>2021</b>	<b>2020</b>	<b>2019</b>	<b>2018</b>	<b>2017</b>
Retiree Healthcare Plan Actuarially Determined Contribution	\$ 389,000	\$ 378,000	\$ 484,191	\$ 220,491	\$ 531,000
Retiree Healthcare Plan Contributions in Relation to the Actuarially Determined Contribution	<u>480,132</u>	<u>446,751</u>	<u>484,191</u>	<u>252,055</u>	<u>233,000</u>
Contribution Excess (Deficiency)	<u>\$ 91,132</u>	<u>\$ 68,751</u>	<u>\$ -</u>	<u>\$ 31,564</u>	<u>\$ (298,000)</u>
Retiree Healthcare Plan Covered-Employee Payroll	\$ 7,533,033	\$ 7,506,736	\$ 7,050,741	\$ 6,666,082	\$ 6,406,137
City of Solana Beach Contributions as a Percentage of Retiree Healthcare Plan Covered-Employee Payroll	-6.4%	-6.0%	-6.9%	-3.8%	-3.6%

CITY OF SOLANA BEACH, CALIFORNIA

SCHEDULE OF INVESTMENT RETURNS  
RETIREE HEALTHCARE PLAN  
LAST FIVE FISCAL YEARS  
JUNE 30, 2021

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	<u>2021</u>	<u>2020</u>	<u>2019</u>	<u>2018</u>	<u>2017</u>
Retiree Healthcare Plan Annual Money-Weighted Rate of Return, Net of Investment Expense	21.40%	3.97%	5.94%	5.62%	10.55%

**REQUIRED SUPPLEMENTARY INFORMATION  
JUNE 30, 2021**

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**Note 1: Budgetary Information**

The City is required by its municipal code to adopt an annual budget on or before June 30 for the ensuing fiscal year. The budget is adopted on a basis consistent with accounting principles generally accepted in the United States of America. From the effective date of the budget adoption, the amounts budgeted become the "annual appropriated budget." Annual appropriated budget is adopted for the General Fund, special revenue funds, capital projects funds and debt service funds.

The City Council may amend the budget by motion during the fiscal year. The appropriations constitute the budget for the 2020-2021 fiscal year and the City Manager is authorized to transfer monies between accounts within a department, provided that the total budget for the department is not exceeded. Transfer of monies from one department of the City to another, or from one fund to another, shall be approved by the City Council. However, any revisions that alter total expenditures of any fund must be approved by the City Council.

Expenditures may not legally exceed appropriations at the fund level. Appropriations lapse at the end of the fiscal year. Selected appropriations are carried over. Project-length financial plans are adopted for the City capital projects. Supplemental appropriations, which increase appropriations, may be made during the fiscal year.

**Note 2: Miscellaneous and Safety Employees' Pension Plans**

1. The schedules are intended to show information for ten years. Historical information is required only for years for which GASB Statement No. 68 is applicable; fiscal year 2014-15 was the first year of implementation. Additional years will be displayed as they become available.
2. Assumption Changes:
  - a. For Fiscal Year 2020-21: None
  - b. For Fiscal Year 2019-20: None
  - c. For Fiscal Year 2018-19: The CalPERS Board adopted new mortality assumptions. The new mortality table was developed from the December 2017 Experience Study. The inflation assumption was reduced from 2.75% to 2.50%. The assumption for salary increases and overall payroll growth was reduced from 3.00% to 2.75%.
  - d. For Fiscal Year 2018-19: None
  - e. For Fiscal Year 2017-18: The discount rate was reduced from 7.65% to 7.15%.
  - f. For Fiscal Year 2016-17: None
  - g. For Fiscal Year 2015-16: The discount rate was increased from 7.50% to 7.65%
  - h. For Fiscal Year 2014-15: None
3. There were no changes of benefit terms.

REQUIRED SUPPLEMENTARY INFORMATION (CONTINUED)  
JUNE 30, 2021

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**Note 2: Miscellaneous and Safety Employees' Pension Plans (Continued)**

4. Methods and assumptions used to determine contribution rates for the most recent year include:
  - a. Valuation Date: June 30, 2017
  - b. Actuarial Cost Method: Entry Age Normal Cost Method
  - c. Amortization Method: Level Percent of Pay, Direct Rate Smoothing
  - d. Remaining Amortization Periods: Differs by Employer Rate Plan but not more than 30 Years
  - e. Asset Valuation Method: Fair value of assets
  - f. Inflation: 2.50%
  - g. Salary Increases: Varies by Entry Age and Service
  - h. Discount Rate: 7.00% (net of administrative expenses)
  - i. Mortality: Derived using CalPERS' Membership Data for all Funds. The post-retirement mortality rates include 15 years of projected ongoing mortality improvement using 90% of Scale MP-2016 published by the Society of Actuaries.

**Note 3: Retiree Healthcare Plan Other Post-Employment Benefits Plan**

1. The schedules are intended to show information for ten years. Historical information is required only for years for which GASB Statement Nos. 74 and 75 are applicable; fiscal year 2016-17 was the first year of implementation. Additional years will be displayed as they become available.
2. There were no changes of assumptions.
3. There were no changes of benefit terms.
4. Methods and assumptions used to determine contribution rates for the most recent year include:
  - a. Valuation Date: June 30, 2017
  - b. Actuarial Cost Method: Entry Age Normal, Level % of Pay
  - c. Amortization Method: Level % of Pay
  - d. Amortization Period: 19-year fixed period for 2020/21
  - e. Asset Valuation Method: Fair value of assets
  - f. Discount Rate: 6.00%
  - g. General Inflation: 2.75%
  - h. Medical Trend: Non-Medicare – 7.5% for 2019, decreasing to an ultimate rate of 4% in 2076; Medicare – 6.5% for 2019, decreasing to an ultimate rate of 4% in 2076
  - i. Mortality, Retirement, Disability, Termination: CalPERS 1997-2011 Experience Study
  - j. Mortality Improvement: Mortality projected fully generational with Scale MP-2016

## **SUPPLEMENTARY INFORMATION**

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# NON-MAJOR GOVERNMENTAL FUNDS

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**Gas Tax Fund** - accounts for revenues received and expenditures made for street related activities. Revenues are received from the State of California for the City's share of gasoline taxes pursuant to California Streets and Highways Code Sections 2105, 2106, 2107 and 2107.5.

**Municipal Improvement Districts Fund** - accounts for receipts and expenditure related to landscape maintenance within the various improvement districts. Budgets for maintenance cost are determined by property owners who are then assessed on a per parcel basis. The assessments are collected via the County tax roll.

**Lighting District Fund** - accounts for the revenues received and expenditures made related to street lights on the City's streets. The City determines the yearly budget and property owners are charged their proportionate share based on a per unit basis. The assessments are collected via the County tax roll.

**COPS Fund** - accounts for federal and state grants received for police services.

**Public Safety Fund** - accounts for federal and state grants received for public safety.

**Fire Mitigation Fund** - accounts for fire mitigation fees collected during new structural development based on construction type and size. The fees are restricted to equipment purchases only.

**Transportation Development Act** - accounts for the revenues and expenditures of the Transportation Development Act.

**CDBG Fund** - accounts for the revenues and expenditures of the Community Development Block Grant program.

**Coastal Area Business/Visitor Assistance and Enhancement Fund** - this fund is for expenditures that include local visitor and business promotion such as assistance to the Chamber of Commerce and North County Convention and Visitor's Bureau, special events such as the Fiesta Del Sol, public art, and visitor enhancements to the Highway 101 business corridor or the Cedros Design District.

# NON-MAJOR GOVERNMENTAL FUNDS

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**Boating and Waterways Fund** - accounts for grants received from the Department of Boating and Waterways. These funds are being used to fund the US Army Corps of Engineers beach replenishment study.

**Miscellaneous Grants Fund** - accounts for grant received to fund various ongoing capital projects.

**Developer Pass-Thru Fund** - accounts for resources reserved to developer deposits.

**Housing Fund** - accounts for resources reserved to provide for low and moderate income housing.

**Camp Programs Fund** - accounts for camp programs in the City.

**SB1 Streets & Roads** - accounts for revenues received and expenditures made for street related activities. Revenues are received from the State of California for the City's share of SB1 taxes pursuant.

**Assessment Districts CIP Fund** - accounts for capital projects in the assessment districts.

**Sand Replenish / Retention and Coastal CIP** - is limited to sand replenishment, sand retention, and coastal improvement project. Seewall expenditures are excluded from this CIP fund.

**City Debt Service Fund** - accounts for debt service in the City.

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

	Special Revenue Funds		Capital Projects Funds	
	2021	2020	2021	2020
<b>ASSETS</b>				
Cash and investments	\$ 7,869,546	\$ 6,976,742	\$ 1,032,990	\$ 1,090,034
Receivables:				
Accounts	279,668	74,320	-	-
Interest	19,803	20,040	2,801	3,005
Intergovernmental	357,734	286,637	-	-
Inventories	47,545	47,545	-	-
Total Assets	<u>\$ 8,574,296</u>	<u>\$ 7,405,284</u>	<u>\$ 1,035,791</u>	<u>\$ 1,093,039</u>
<b>LIABILITIES</b>				
Accounts payable	\$ 156,768	\$ 156,771	\$ 25,920	\$ 23,351
Accrued liabilities	27,749	6,454	-	-
Unearned revenues	408,022	395,889	-	-
Deposits payable	-	-	69,226	69,226
Due to other funds	575,815	527,149	-	-
Total Liabilities	<u>1,168,354</u>	<u>1,086,263</u>	<u>95,146</u>	<u>92,577</u>
<b>DEFERRED INFLOWS OF RESOURCES</b>				
Unavailable revenues	327,767	-	-	-
Total Deferred Inflows of Resources	<u>327,767</u>	<u>-</u>	<u>-</u>	<u>-</u>
<b>FUND BALANCES</b>				
Restricted	7,496,024	6,376,889	987,063	1,000,462
Unassigned	(417,849)	(58,138)	(46,418)	-
Total Fund Balances	<u>7,078,175</u>	<u>6,318,751</u>	<u>940,645</u>	<u>1,000,462</u>
Total Liabilities, Deferred Inflows of Resources and Fund Balances	<u>\$ 8,574,296</u>	<u>\$ 7,405,014</u>	<u>\$ 1,035,791</u>	<u>\$ 1,093,039</u>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

	Debt Service Funds		Total Nonmajor Governmental Funds	
	2021	2020	2021	2020
<b>ASSETS</b>				
Cash and investments	\$ 25,754	\$ 21,955	\$ 8,928,290	\$ 8,088,731
Receivables:				
Accounts	-	-	279,668	74,320
Interest	-	-	22,604	23,045
Intergovernmental	-	-	357,734	286,637
Inventories	-	-	47,545	47,545
Total Assets	<u>\$ 25,754</u>	<u>\$ 21,955</u>	<u>\$ 9,635,841</u>	<u>\$ 8,520,278</u>
<b>LIABILITIES</b>				
Accounts payable	\$ -	\$ -	\$ 182,688	\$ 180,122
Accrued liabilities	-	-	27,749	6,454
Unearned revenues	-	-	408,022	395,889
Deposits payable	-	-	69,226	69,226
Due to other funds	-	-	575,815	527,149
Total Liabilities	<u>-</u>	<u>-</u>	<u>1,263,500</u>	<u>1,178,840</u>
<b>DEFERRED INFLOWS OF RESOURCES</b>				
Unavailable revenues	-	-	327,767	-
Total Deferred Inflows of Resources	<u>-</u>	<u>-</u>	<u>327,767</u>	<u>-</u>
<b>FUND BALANCES</b>				
Restricted	25,754	21,955	8,508,841	7,399,306
Unassigned	-	-	(464,267)	(58,138)
Total Fund Balances	<u>25,754</u>	<u>21,955</u>	<u>8,044,574</u>	<u>7,341,168</u>
Total Liabilities, Deferred Inflows of Resources and Fund Balances	<u>\$ 25,754</u>	<u>\$ 21,955</u>	<u>\$ 9,635,841</u>	<u>\$ 8,520,008</u>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

Special Revenue Funds

	Gas Tax	Municipal Improvement Districts	Lighting District	COPS	Public Safety
<b>ASSETS</b>					
Cash and investments	\$ 443,421	\$ 1,296,641	\$ 3,087,497	\$ 373,294	\$ 343,252
Receivables:					
Accounts	-	-	-	-	84,461
Interest	1,130	3,473	9,403	1,001	-
Intergovernmental	-	5,034	4,372	-	-
Inventories	-	-	-	-	-
Total Assets	<u>\$ 444,551</u>	<u>\$ 1,305,148</u>	<u>\$ 3,101,272</u>	<u>\$ 374,295</u>	<u>\$ 427,713</u>
<b>LIABILITIES</b>					
Accounts payable	\$ 18,610	\$ 39,009	\$ 22,139	\$ 36,376	\$ 3,785
Accrued liabilities	-	-	2,777	-	1,671
Unearned revenues	-	-	-	-	-
Deposits payable	-	-	-	-	-
Due to other funds	-	-	-	-	-
Total Liabilities	<u>18,610</u>	<u>39,009</u>	<u>24,916</u>	<u>36,376</u>	<u>5,456</u>
<b>DEFERRED INFLOWS OF RESOURCES</b>					
Unavailable revenues	-	-	-	-	26,187
Total Deferred Inflows of Resources	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>26,187</u>
<b>FUND BALANCES</b>					
Restricted	425,941	1,266,139	3,076,356	337,919	396,070
Unassigned	-	-	-	-	-
Total Fund Balances	<u>425,941</u>	<u>1,266,139</u>	<u>3,076,356</u>	<u>337,919</u>	<u>396,070</u>
Total Liabilities, Deferred Inflows of Resources and Fund Balances	<u>\$ 444,551</u>	<u>\$ 1,305,148</u>	<u>\$ 3,101,272</u>	<u>\$ 374,295</u>	<u>\$ 427,713</u>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

(CONTINUED)

	Special Revenue Funds				
	Fire Mitigation	Transportation Development Act	CDBG	Coastal Area Business / Visitor Assistance & Enhancement	Boating & Waterways
<b>ASSETS</b>					
Cash and investments	\$ 12,275	\$ -	\$ -	\$ 878,961	\$ -
Receivables:					
Accounts	1,759	154,265	-	-	-
Interest	-	-	-	2,483	-
Intergovernmental	-	-	-	-	301,580
Inventories	-	-	-	-	-
<b>Total Assets</b>	<b>\$ 14,034</b>	<b>\$ 154,265</b>	<b>\$ -</b>	<b>\$ 881,444</b>	<b>\$ 301,580</b>
<b>LIABILITIES</b>					
Accounts payable	\$ -	\$ 21,265	\$ -	\$ 9	\$ -
Accrued liabilities	-	-	-	-	-
Unearned revenues	-	-	-	-	-
Deposits payable	-	-	-	-	-
Due to other funds	-	236,489	16,660	-	297,613
<b>Total Liabilities</b>	<b>-</b>	<b>257,754</b>	<b>16,660</b>	<b>9</b>	<b>297,613</b>
<b>DEFERRED INFLOWS OF RESOURCES</b>					
Unavailable revenues	-	-	-	-	301,580
<b>Total Deferred Inflows of Resources</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>301,580</b>
<b>FUND BALANCES</b>					
Restricted	14,034	-	-	881,435	-
Unassigned	-	(103,489)	(16,660)	-	(297,613)
<b>Total Fund Balances</b>	<b>14,034</b>	<b>(103,489)</b>	<b>(16,660)</b>	<b>881,435</b>	<b>(297,613)</b>
<b>Total Liabilities, Deferred Inflows of Resources and Fund Balances</b>	<b>\$ 14,034</b>	<b>\$ 154,265</b>	<b>\$ -</b>	<b>\$ 881,444</b>	<b>\$ 301,580</b>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

<u>Special Revenue Funds</u>					
	<u>Miscellaneous Grants</u>	<u>Developer Pass- Thru</u>	<u>Housing</u>	<u>Camp Programs</u>	<u>SB1 Streets &amp; Roads</u>
<b>ASSETS</b>					
Cash and investments	\$ 190,627	\$ 414,999	\$ 645,233	\$ -	\$ 183,346
Receivables:					
Accounts	-	-	-	39,183	-
Interest	-	-	1,983	-	330
Intergovernmental	-	-	-	-	46,748
Inventories	-	-	-	47,545	-
Total Assets	<u>\$ 190,627</u>	<u>\$ 414,999</u>	<u>\$ 647,216</u>	<u>\$ 86,728</u>	<u>\$ 230,424</u>
<b>LIABILITIES</b>					
Accounts payable	\$ 1,742	\$ 7,064	\$ 52	\$ 6,717	\$ -
Accrued liabilities	-	-	-	23,301	-
Unearned revenues	-	408,022	-	-	-
Deposits payable	-	-	-	-	-
Due to other funds	-	-	-	25,053	-
Total Liabilities	<u>1,742</u>	<u>415,086</u>	<u>52</u>	<u>55,071</u>	<u>-</u>
<b>DEFERRED INFLOWS OF RESOURCES</b>					
Unavailable revenues	-	-	-	-	-
Total Deferred Inflows of Resources	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<b>FUND BALANCES</b>					
Restricted	188,885	-	647,164	31,657	230,424
Unassigned	-	(87)	-	-	-
Total Fund Balances	<u>188,885</u>	<u>(87)</u>	<u>647,164</u>	<u>31,657</u>	<u>230,424</u>
Total Liabilities, Deferred Inflows of Resources and Fund Balances	<u>\$ 190,627</u>	<u>\$ 414,999</u>	<u>\$ 647,216</u>	<u>\$ 86,728</u>	<u>\$ 230,424</u>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING BALANCE SHEET  
 NONMAJOR GOVERNMENTAL FUNDS  
 JUNE 30, 2021  
 (With comparative totals for June 30, 2020)

	Capital Projects Funds		Debt Service	Total Nonmajor Governmental Funds	
	Assessment Districts CIP	Sand Replenish/ Retention and Coastal Access CIP	Funds City Debt Service	2021	2020
<b>ASSETS</b>					
Cash and investments	\$ 39,452	\$ 993,538	\$ 25,754	\$ 8,928,290	\$ 8,088,731
Receivables:					
Accounts	-	-	-	279,668	74,050
Interest	-	2,801	-	22,604	23,045
Intergovernmental	-	-	-	357,734	286,637
Inventories	-	-	-	47,545	47,545
Total Assets	\$ 39,452	\$ 996,339	\$ 25,754	\$ 9,635,841	\$ 8,520,008
<b>LIABILITIES</b>					
Accounts payable	\$ 16,644	\$ 9,276	\$ -	\$ 182,688	\$ 180,122
Accrued liabilities	-	-	-	27,749	6,454
Unearned revenues	-	-	-	408,022	395,889
Deposits payable	69,226	-	-	69,226	69,226
Due to other funds	-	-	-	575,815	527,149
Total Liabilities	85,870	9,276	-	1,263,500	1,178,840
<b>DEFERRED INFLOWS OF RESOURCES</b>					
Unavailable revenues	-	-	-	327,767	-
Total Deferred Inflows of Resources	-	-	-	327,767	-
<b>FUND BALANCES</b>					
Restricted	-	987,063	25,754	8,508,841	7,399,306
Unassigned	(46,418)	-	-	(464,267)	(58,138)
Total Fund Balances	(46,418)	987,063	25,754	8,044,574	7,341,168
Total Liabilities, Deferred Inflows of Resources and Fund Balances	\$ 39,452	\$ 996,339	\$ 25,754	\$ 9,635,841	\$ 8,520,008



CITY OF SOLANA BEACH, CALIFORNIA

**COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)**

	Special Revenue Funds		Capital Projects Funds	
	2021	2020	2021	2020
<b>REVENUES</b>				
Taxes and assessments	\$ 2,036,106	\$ 1,972,220	\$ 224,178	\$ 224,155
Intergovernmental	1,383,946	649,949	-	-
Charges for services	372,964	115,549	-	-
Use of money and property	35,933	239,111	(60,819)	34,835
Other revenues	884	16,495	-	-
Total Revenues	<u>3,829,833</u>	<u>2,993,324</u>	<u>163,359</u>	<u>258,990</u>
<b>EXPENDITURES</b>				
Current:				
Public safety	1,333,556	596,013	123,920	98,107
Public works	962,000	953,601	-	-
Community development	89,044	107,181	99,256	-
Community services	49,211	68,025	-	-
Capital outlay	566,198	833,321	-	63,654
Debt service:				
Principal retirement	-	-	-	-
Interest and fiscal charges	-	-	-	-
Total Expenditures	<u>3,000,009</u>	<u>2,558,141</u>	<u>223,176</u>	<u>161,761</u>
Excess (Deficiency) of Revenue Over (Under) Expenditures	<u>829,824</u>	<u>435,183</u>	<u>(59,817)</u>	<u>97,229</u>
<b>OTHER FINANCING SOURCES (USES)</b>				
Transfers in	-	346,415	-	-
Transfers out	(70,400)	(70,400)	-	-
Total Other Financing Sources (Uses)	<u>(70,400)</u>	<u>276,015</u>	<u>-</u>	<u>-</u>
Net Change in Fund Balance	759,424	711,198	(59,817)	97,229
Fund Balance - Beginning	<u>6,318,751</u>	<u>5,607,553</u>	<u>1,000,462</u>	<u>903,233</u>
Fund Balance - Ending	<u>\$ 7,078,175</u>	<u>\$ 6,318,751</u>	<u>\$ 940,645</u>	<u>\$ 1,000,462</u>

CITY OF SOLANA BEACH, CALIFORNIA

**COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)**

	Debt Service Funds		Total Nonmajor Governmental Funds	
	2021	2020	2021	2020
<b>REVENUES</b>				
Taxes and assessments	\$ -	\$ -	\$ 2,260,284	\$ 2,196,375
Intergovernmental	-	-	1,383,946	649,949
Charges for services	-	-	372,964	115,549
Use of money and property	-	-	(24,886)	273,946
Other revenues	-	-	884	16,495
Total Revenues	-	-	3,993,192	3,252,314
<b>EXPENDITURES</b>				
Current:				
Public safety	-	-	1,457,476	694,120
Public works	-	-	962,000	953,601
Community development	-	-	188,300	107,181
Community services	-	-	49,211	68,025
Capital outlay	-	-	566,198	896,975
Debt service:				
Principal retirement	319,071	316,505	319,071	316,505
Interest and fiscal charges	30,630	40,134	30,630	40,134
Total Expenditures	349,701	356,639	3,572,886	3,076,541
Excess (Deficiency) of Revenue Over (Under) Expenditures	(349,701)	(356,639)	420,306	175,773
<b>OTHER FINANCING SOURCES (USES)</b>				
Transfers in	353,500	353,500	353,500	699,915
Transfers out	-	-	(70,400)	(70,400)
Total Other Financing Sources (Uses)	353,500	353,500	283,100	629,515
Net Change in Fund Balance	3,799	(3,139)	703,406	805,288
Fund Balance - Beginning	21,955	25,094	7,341,168	6,535,880
Fund Balance - Ending	\$ 25,754	\$ 21,955	\$ 8,044,574	\$ 7,341,168

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)

	Special Revenue Funds				
	Gas Tax	Municipal Improvement Districts	Lighting District	COPS	Public Safety
<b>REVENUES</b>					
Taxes and assessments	\$ 310,442	\$ 710,306	\$ 646,733	\$ -	\$ -
Intergovernmental	10,000	2,749	3,231	232,674	454,707
Charges for services	-	-	-	-	-
Use of money and property	7,122	4,818	21,468	3,179	-
Other revenues	-	-	-	-	884
Total Revenues	<u>327,564</u>	<u>717,873</u>	<u>671,432</u>	<u>235,853</u>	<u>455,591</u>
<b>EXPENDITURES</b>					
Current:					
Public safety	-	-	-	148,877	313,595
Public works	2,924	605,495	325,839	-	-
Community development	-	-	-	-	-
Community services	-	-	-	-	-
Capital outlay	96,533	-	-	-	24,677
Debt service:					
Principal retirement	-	-	-	-	-
Interest and fiscal charges	-	-	-	-	-
Total Expenditures	<u>99,457</u>	<u>605,495</u>	<u>325,839</u>	<u>148,877</u>	<u>338,272</u>
Excess (Deficiency) of Revenue Over (Under) Expenditures	<u>228,107</u>	<u>112,378</u>	<u>345,593</u>	<u>86,976</u>	<u>117,319</u>
<b>OTHER FINANCING SOURCES (USES)</b>					
Transfers in	-	-	-	-	-
Transfers out	-	-	(70,400)	-	-
Total Other Financing Sources (Uses)	<u>-</u>	<u>-</u>	<u>(70,400)</u>	<u>-</u>	<u>-</u>
Net Change in Fund Balance	228,107	112,378	275,193	86,976	117,319
Fund Balance - Beginning	<u>197,834</u>	<u>1,153,761</u>	<u>2,801,163</u>	<u>250,943</u>	<u>278,751</u>
Fund Balance - Ending	<u>\$ 425,941</u>	<u>\$ 1,266,139</u>	<u>\$ 3,076,356</u>	<u>\$ 337,919</u>	<u>\$ 396,070</u>

**COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)**

(CONTINUED)

	Special Revenue Funds				
	Fire Mitigation	Transportation Development Act	CDBG	Coastal Area Business / Visitor Assistance & Enhancement	Boating & Waterways
<b>REVENUES</b>					
Taxes and assessments	\$ -	\$ -	\$ -	\$ 112,089	\$ -
Intergovernmental	-	167,872	-	-	91,545
Charges for services	27,078	-	-	-	-
Use of money and property	-	-	-	5,165	(1,387)
Other revenues	-	-	-	-	-
<b>Total Revenues</b>	<b>27,078</b>	<b>167,872</b>	<b>-</b>	<b>117,254</b>	<b>90,158</b>
<b>EXPENDITURES</b>					
Current:					
Public safety	5,606	-	743	-	450,000
Public works	-	-	-	-	-
Community development	-	-	-	25,821	-
Community services	-	-	-	-	-
Capital outlay	-	236,665	-	-	-
Debt service:					
Principal retirement	-	-	-	-	-
Interest and fiscal charges	-	-	-	-	-
<b>Total Expenditures</b>	<b>5,606</b>	<b>236,665</b>	<b>743</b>	<b>25,821</b>	<b>450,000</b>
Excess (Deficiency) of Revenue Over (Under) Expenditures	21,472	(68,793)	(743)	91,433	(359,842)
<b>OTHER FINANCING SOURCES (USES)</b>					
Transfers in	-	-	-	-	-
Transfers out	-	-	-	-	-
<b>Total Other Financing Sources (Uses)</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Net Change in Fund Balance</b>	<b>21,472</b>	<b>(68,793)</b>	<b>(743)</b>	<b>91,433</b>	<b>(359,842)</b>
Fund Balance - Beginning	(7,438)	(34,696)	(15,917)	790,002	62,229
<b>Fund Balance - Ending</b>	<b>\$ 14,034</b>	<b>\$ (103,489)</b>	<b>\$ (16,660)</b>	<b>\$ 881,435</b>	<b>\$ (297,613)</b>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)

	Special Revenue Funds				
	Miscellaneous Grants	Developer Pass- Thru	Housing	Camp Programs	SB1 Streets & Roads
<b>REVENUES</b>					
Taxes and assessments	\$ -	\$ -	\$ -	\$ -	\$ 256,536
Intergovernmental	421,168	-	-	-	-
Charges for services	-	74,423	-	271,463	-
Use of money and property	(142)	(12,149)	10,848	-	(2,989)
Other revenues	-	-	-	-	-
Total Revenues	<u>421,026</u>	<u>62,274</u>	<u>10,848</u>	<u>271,463</u>	<u>253,547</u>
<b>EXPENDITURES</b>					
Current:					
Public safety	210,639	-	-	204,096	-
Public works	27,742	-	-	-	-
Community development	-	62,274	949	-	-
Community services	-	-	-	49,211	-
Capital outlay	-	-	-	-	208,323
Debt service:					
Principal retirement	-	-	-	-	-
Interest and fiscal charges	-	-	-	-	-
Total Expenditures	<u>238,381</u>	<u>62,274</u>	<u>949</u>	<u>253,307</u>	<u>208,323</u>
Excess (Deficiency) of Revenue Over (Under) Expenditures	<u>182,645</u>	<u>-</u>	<u>9,899</u>	<u>18,156</u>	<u>45,224</u>
<b>OTHER FINANCING SOURCES (USES)</b>					
Transfers in	-	-	-	-	-
Transfers out	-	-	-	-	-
Total Other Financing Sources (Uses)	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
Net Change in Fund Balance	182,645	-	9,899	18,156	45,224
Fund Balance - Beginning	<u>6,240</u>	<u>(87)</u>	<u>637,265</u>	<u>13,501</u>	<u>185,200</u>
Fund Balance - Ending	<u>\$ 188,885</u>	<u>\$ (87)</u>	<u>\$ 647,164</u>	<u>\$ 31,657</u>	<u>\$ 230,424</u>

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING STATEMENT OF REVENUES,  
EXPENDITURES AND CHANGES IN FUND BALANCES  
NONMAJOR GOVERNMENTAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(With comparative totals for the year ended June 30, 2020)

	Capital Projects Funds		Debt Service Funds	Total Nonmajor Governmental Funds	
	Assessment Districts CIP	Sand Replenish/ Retention and Coastal Access CIP	City Debt Service	2021	2020
<b>REVENUES</b>					
Taxes and assessments	\$ -	\$ 224,178	\$ -	\$ 2,260,284	\$ 2,196,375
Intergovernmental	-	-	-	1,383,946	649,949
Charges for services	-	-	-	372,964	115,549
Use of money and property	(67,531)	6,712	-	(24,886)	273,946
Other revenues	-	-	-	884	16,495
Total Revenues	(67,531)	230,890	-	3,993,192	3,252,314
<b>EXPENDITURES</b>					
Current:					
Public safety	-	123,920	-	1,457,476	694,120
Public works	-	-	-	962,000	953,601
Community development	99,256	-	-	188,300	107,181
Community services	-	-	-	49,211	68,025
Capital outlay	-	-	-	566,198	896,975
Debt service:					
Principal retirement	-	-	319,071	319,071	316,505
Interest and fiscal charges	-	-	30,630	30,630	40,134
Total Expenditures	99,256	123,920	349,701	3,572,886	3,076,541
Excess (Deficiency) of Revenue					
Over (Under) Expenditures	(166,787)	106,970	(349,701)	420,306	175,773
<b>OTHER FINANCING SOURCES (USES)</b>					
Transfers in	-	-	353,500	353,500	699,915
Transfers out	-	-	-	(70,400)	(70,400)
Total Other Financing Sources (Uses)	-	-	353,500	283,100	629,515
Net Change in Fund Balance	(166,787)	106,970	3,799	703,406	805,288
Fund Balance - Beginning	120,369	880,093	21,955	7,341,168	4,927,549
Fund Balance - Ending	\$ (46,418)	\$ 987,063	\$ 25,754	\$ 8,044,574	\$ 7,341,168

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
GAS TAX FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 197,834	\$ 197,834	\$ 197,834	\$ -
<b>Resources (Inflows):</b>				
Taxes	336,400	336,400	310,442	(25,958)
Intergovernmental	-	-	10,000	10,000
Use of money and property	2,000	2,000	7,122	5,122
<b>Amounts Available for Appropriations</b>	<b>536,234</b>	<b>536,234</b>	<b>525,398</b>	<b>(10,836)</b>
<b>Charges to Appropriations (Outflows):</b>				
Public works	2,600	47,600	2,924	44,676
Capital outlay	292,300	247,300	96,533	150,767
<b>Total Charges to Appropriations</b>	<b>294,900</b>	<b>294,900</b>	<b>99,457</b>	<b>195,443</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 241,334</b>	<b>\$ 241,334</b>	<b>\$ 425,941</b>	<b>\$ 184,607</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
MUNICIPAL IMPROVEMENT DISTRICTS FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 1,153,761	\$ 1,153,761	\$ 1,153,761	\$ -
<b>Resources (Inflows):</b>				
Taxes	662,900	662,900	710,306	47,406
Intergovernmental	2,500	2,500	2,749	249
Use of money and property	800	800	4,818	4,018
<b>Amounts Available for Appropriations</b>	<b>1,819,961</b>	<b>1,819,961</b>	<b>1,871,634</b>	<b>51,673</b>
<b>Charges to Appropriations (Outflows):</b>				
Public works	630,100	631,098	605,495	25,603
<b>Total Charges to Appropriations</b>	<b>630,100</b>	<b>631,098</b>	<b>605,495</b>	<b>25,603</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 1,189,861</b>	<b>\$ 1,188,863</b>	<b>\$ 1,266,139</b>	<b>\$ 77,276</b>



CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
LIGHTING DISTRICT FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 2,801,163	\$ 2,801,163	\$ 2,801,163	\$ -
<b>Resources (Inflows):</b>				
Taxes	598,100	598,100	646,733	48,633
Intergovernmental	3,200	3,200	3,231	31
Use of money and property	30,000	30,000	21,468	(8,532)
<b>Amounts Available for Appropriations</b>	<b>3,432,463</b>	<b>3,432,463</b>	<b>3,472,595</b>	<b>40,132</b>
<b>Charges to Appropriations (Outflows):</b>				
Public works	339,000	370,879	325,839	45,040
Transfers out	70,400	70,400	70,400	-
<b>Total Charges to Appropriations</b>	<b>409,400</b>	<b>441,279</b>	<b>396,239</b>	<b>45,040</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 3,023,063</b>	<b>\$ 2,991,184</b>	<b>\$ 3,076,356</b>	<b>\$ 85,172</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 COPS FUND  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 250,943	\$ 250,943	\$ 250,943	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	100,000	100,000	232,674	132,674
Use of money and property	400	400	3,179	2,779
<b>Amounts Available for Appropriations</b>	<b>351,343</b>	<b>351,343</b>	<b>486,796</b>	<b>135,453</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	150,000	150,000	148,877	1,123
<b>Total Charges to Appropriations</b>	<b>150,000</b>	<b>150,000</b>	<b>148,877</b>	<b>1,123</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 201,343</b>	<b>\$ 201,343</b>	<b>\$ 337,919</b>	<b>\$ 136,576</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 PUBLIC SAFETY FUND  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 278,751	\$ 278,751	\$ 278,751	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	49,500	61,824	454,707	392,883
Miscellaneous	-	-	884	884
<b>Amounts Available for Appropriations</b>	<b>328,251</b>	<b>340,575</b>	<b>734,342</b>	<b>393,767</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	85,000	97,324	313,595	(216,271)
Capital outlay	-	-	24,677	(24,677)
<b>Total Charges to Appropriations</b>	<b>85,000</b>	<b>97,324</b>	<b>338,272</b>	<b>(240,948)</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 243,251</b>	<b>\$ 243,251</b>	<b>\$ 396,070</b>	<b>\$ 152,819</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
FIRE MITIGATION FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ (7,438)	\$ (7,438)	\$ (7,438)	\$ -
<b>Resources (Inflows):</b>				
Charges for services	5,000	5,000	27,078	22,078
<b>Amounts Available for Appropriations</b>	<b>(2,438)</b>	<b>(2,438)</b>	<b>19,640</b>	<b>22,078</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	5,000	5,000	5,606	(606)
<b>Total Charges to Appropriations</b>	<b>5,000</b>	<b>5,000</b>	<b>5,606</b>	<b>(606)</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ (7,438)</b>	<b>\$ (7,438)</b>	<b>\$ 14,034</b>	<b>\$ 21,472</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
TRANSPORTATION DEVELOPMENT ACT FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ (34,696)	\$ (34,696)	\$ (34,696)	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	-	-	167,872	167,872
<b>Amounts Available for Appropriations</b>	<b>(34,696)</b>	<b>(34,696)</b>	<b>133,176</b>	<b>167,872</b>
<b>Charges to Appropriations (Outflows):</b>				
Capital outlay	-	310,429	236,665	73,764
<b>Total Charges to Appropriations</b>	<b>-</b>	<b>310,429</b>	<b>236,665</b>	<b>73,764</b>
<b>Budgetary Fund (Deficit), June 30</b>	<b>\$ (34,696)</b>	<b>\$ (345,125)</b>	<b>\$ (103,489)</b>	<b>\$ 241,636</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 CDBG FUND  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ (15,917)	\$ (15,917)	\$ (15,917)	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	-	49,500	-	(49,500)
<b>Amounts Available for Appropriations</b>	<b>(15,917)</b>	<b>33,583</b>	<b>(15,917)</b>	<b>(49,500)</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	-	-	743	(743)
Capital outlay	-	49,500	-	49,500
<b>Total Charges to Appropriations</b>	<b>-</b>	<b>49,500</b>	<b>743</b>	<b>48,757</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ (15,917)</b>	<b>\$ (15,917)</b>	<b>\$ (16,660)</b>	<b>\$ (743)</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
 COASTAL AREA BUSINESS / VISITOR ASSISTANCE AND ENHANCEMENT FUND  
 FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 790,002	\$ 790,002	\$ 790,002	\$ -
<b>Resources (Inflows):</b>				
Taxes	100,500	100,500	112,089	11,589
Use of money and property	2,500	2,500	5,165	2,665
<b>Amounts Available for Appropriations</b>	<b>893,002</b>	<b>893,002</b>	<b>907,256</b>	<b>14,254</b>
<b>Charges to Appropriations (Outflows):</b>				
Community development	53,100	68,950	25,821	43,129
<b>Total Charges to Appropriations</b>	<b>53,100</b>	<b>68,950</b>	<b>25,821</b>	<b>43,129</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 839,902</b>	<b>\$ 824,052</b>	<b>\$ 881,435</b>	<b>\$ 57,383</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
BOATING AND WATERWAYS FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 62,229	\$ 62,229	\$ 62,229	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	-	450,000	91,545	(358,455)
Use of money and property	-	-	(1,387)	(1,387)
<b>Amounts Available for Appropriations</b>	<b>62,229</b>	<b>512,229</b>	<b>152,387</b>	<b>(359,842)</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	-	450,000	450,000	-
<b>Total Charges to Appropriations</b>	<b>-</b>	<b>450,000</b>	<b>450,000</b>	<b>-</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 62,229</b>	<b>\$ 62,229</b>	<b>\$ (297,613)</b>	<b>\$ (359,842)</b>



CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
MISCELLANEOUS GRANTS FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 6,240	\$ 6,240	\$ 6,240	\$ -
<b>Resources (Inflows):</b>				
Intergovernmental	-	-	421,168	421,168
Use of money and property	-	-	(142)	(142)
<b>Amounts Available for Appropriations</b>	<b>6,240</b>	<b>6,240</b>	<b>427,266</b>	<b>421,026</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	-	-	210,639	(210,639)
Public works	-	165,000	27,742	137,258
<b>Total Charges to Appropriations</b>	<b>-</b>	<b>165,000</b>	<b>238,381</b>	<b>(73,381)</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 6,240</b>	<b>\$ (158,760)</b>	<b>\$ 188,885</b>	<b>\$ 347,645</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
DEVELOPER PASS-THRU FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ (87)	\$ (87)	\$ (87)	\$ -
<b>Resources (Inflows):</b>				
Charges for services	100,000	100,000	74,423	(25,577)
Use of money and property	-	-	(12,149)	(12,149)
<b>Amounts Available for Appropriations</b>	<b>99,913</b>	<b>99,913</b>	<b>62,187</b>	<b>(37,726)</b>
<b>Charges to Appropriations (Outflows):</b>				
Community development	100,000	179,902	62,274	117,628
Public works	-	18,512	-	18,512
<b>Total Charges to Appropriations</b>	<b>100,000</b>	<b>198,414</b>	<b>62,274</b>	<b>136,140</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ (87)</b>	<b>\$ (98,501)</b>	<b>\$ (87)</b>	<b>\$ 98,414</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 HOUSING FUND  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 637,265	\$ 637,265	\$ 637,265	\$ -
<b>Resources (Inflows):</b>				
Use of money and property	2,500	2,500	10,848	8,348
<b>Amounts Available for Appropriations</b>	<b>639,765</b>	<b>639,765</b>	<b>648,113</b>	<b>8,348</b>
<b>Charges to Appropriations (Outflows):</b>				
Community development	10,000	58,559	949	57,610
<b>Total Charges to Appropriations</b>	<b>10,000</b>	<b>58,559</b>	<b>949</b>	<b>57,610</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 629,765</b>	<b>\$ 581,206</b>	<b>\$ 647,164</b>	<b>\$ 65,958</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 CAMP PROGRAMS FUND  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 13,501	\$ 13,501	\$ 13,501	\$ -
<b>Resources (Inflows):</b>				
Charges for services	388,900	388,900	271,463	(117,437)
<b>Amounts Available for Appropriations</b>	<b>402,401</b>	<b>402,401</b>	<b>284,964</b>	<b>(117,437)</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	322,800	323,000	204,096	118,904
Parks and recreation	66,100	65,900	49,211	16,689
<b>Total Charges to Appropriations</b>	<b>388,900</b>	<b>388,900</b>	<b>253,307</b>	<b>135,593</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 13,501</b>	<b>\$ 13,501</b>	<b>\$ 31,657</b>	<b>\$ 18,156</b>

CITY OF SOLANA BEACH, CALIFORNIA

BUDGETARY COMPARISON SCHEDULE  
 SB1 STREETS & ROADS  
 FOR THE YEAR ENDED JUNE 30, 2021

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 185,200	\$ 185,200	\$ 185,200	\$ -
<b>Resources (Inflows):</b>				
Taxes	236,400	236,400	256,536	20,136
Use of money and property	-	-	(2,989)	(2,989)
<b>Amounts Available for Appropriations</b>	<b>421,600</b>	<b>421,600</b>	<b>438,747</b>	<b>17,147</b>
<b>Charges to Appropriation (Outflow):</b>				
Capital outlay	208,300	208,300	208,323	(23)
<b>Total Charges to Appropriations</b>	<b>208,300</b>	<b>208,300</b>	<b>208,323</b>	<b>(23)</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 213,300</b>	<b>\$ 213,300</b>	<b>\$ 230,424</b>	<b>\$ 17,124</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
CITY CIP CAPITAL PROJECTS FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	<u>Budget Amounts</u>		<u>Actual Amounts</u>	<u>Variance with Final Budget Positive (Negative)</u>
	<u>Original</u>	<u>Final</u>		
Budgetary Fund Balance, July 1	\$ 2,752,887	\$ 2,752,887	\$ 2,752,887	\$ -
<b>Resources (Inflows):</b>				
Charges for services	50,000	50,000	70,716	20,716
Use of money and property	37,000	37,000	66,026	29,026
Miscellaneous	10,000	10,000	93,683	83,683
Transfers in	70,000	70,000	-	(70,000)
<b>Amounts Available for Appropriations</b>	<b>2,919,887</b>	<b>2,919,887</b>	<b>2,983,312</b>	<b>63,425</b>
<b>Charges to Appropriations (Outflows):</b>				
Public works	63,400	63,400	5,265	58,135
Capital outlay	870,000	986,722	609,562	377,160
<b>Total Charges to Appropriations</b>	<b>933,400</b>	<b>1,050,122</b>	<b>614,827</b>	<b>435,295</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 1,986,487</b>	<b>\$ 1,869,765</b>	<b>\$ 2,368,485</b>	<b>\$ 498,720</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
SAND REPLENISHMENT / RETENTION AND COASTAL ACCESS CAPITAL PROJECTS FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	<u>Budget Amounts</u>		<u>Actual Amounts</u>	<u>Variance with Final Budget Positive (Negative)</u>
	<u>Original</u>	<u>Final</u>		
Budgetary Fund Balance, July 1	\$ 880,093	\$ 880,093	\$ 880,093	\$ -
<b>Resources (Inflows):</b>				
Taxes	200,900	200,900	224,178	23,278
Use of money and property	400	400	6,712	6,312
<b>Amounts Available for Appropriations</b>	<b>1,081,393</b>	<b>1,081,393</b>	<b>1,110,983</b>	<b>29,590</b>
<b>Charges to Appropriations (Outflows):</b>				
Public safety	150,300	241,003	123,920	117,083
Capital outlay	150,000	150,000	-	150,000
<b>Total Charges to Appropriations</b>	<b>300,300</b>	<b>391,003</b>	<b>123,920</b>	<b>267,083</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 781,093</b>	<b>\$ 690,390</b>	<b>\$ 987,063</b>	<b>\$ 296,673</b>

CITY OF SOLANA BEACH, CALIFORNIA

**BUDGETARY COMPARISON SCHEDULE  
CITY DEBT SERVICE FUND  
FOR THE YEAR ENDED JUNE 30, 2021**

	Budget Amounts		Actual Amounts	Variance with Final Budget Positive (Negative)
	Original	Final		
Budgetary Fund Balance, July 1	\$ 21,955	\$ 21,955	\$ 21,955	\$ -
<b>Resources (Inflows):</b>				
Transfers in	353,500	353,500	353,500	-
<b>Amounts Available for Appropriations</b>	<b>375,455</b>	<b>375,455</b>	<b>375,455</b>	<b>-</b>
<b>Charges to Appropriations (Outflows):</b>				
Debt service:				
Principal retirement	267,300	267,300	319,071	(51,771)
Interest and fiscal charges	86,200	86,200	30,630	55,570
<b>Total Charges to Appropriations</b>	<b>353,500</b>	<b>353,500</b>	<b>349,701</b>	<b>3,799</b>
<b>Budgetary Fund Balance, June 30</b>	<b>\$ 21,955</b>	<b>\$ 21,955</b>	<b>\$ 25,754</b>	<b>\$ 3,799</b>



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## **FIDUCIARY FUNDS**

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**Undergrounding District Funds** - the Barbara/Granados Avenue, Pacific Avenue/East and West Circle Drive, and Marsalan Avenue Utility Underground Assessment Districts are utility districts created to finance the undergrounding of utility lines. These funds account for payments from property owners as well debt service on bonds that were issued to pay for the undergrounding improvements within the assessment districts. This is accounted for as a custodial fund because the City has no responsibility for the debt service on the bonds.

**South Solana Sewer District Fund** - this fund was formed to finance the construction of sewer improvements to connect the 51 properties of the assessment district to the City's sewer system. This fund accounts for payments from property owners as well as debt service on the bonds that were issued to pay for the sewer improvements. This is accounted as an custodial fund because the City has no responsibility for the debt service on the bonds.

CITY OF SOLANA BEACH, CALIFORNIA

COMBINING STATEMENT OF FIDUCIARY NET POSITION

CUSTODIAL FUNDS

JUNE 30, 2021

(with comparative totals for the year ended June 30, 2020)

	Undergrounding Districts	South Solana Sewer District	2021	2020
<b>ASSETS</b>				
Cash and cash equivalents	\$ 194,317	\$ 35,573	\$ 229,890	\$ 112,380
Investments:				
Money market mutual funds	1,450	196	1,646	17,287
Local Agency Investment Fund	59,324	-	59,324	178,690
Asset-backed securities	8,561	1,157	9,718	3,608
Federal agency securities	74,989	10,137	85,126	30,989
Medium term corporate notes	29,520	3,990	33,510	12,627
Supranational securities	1,189	161	1,350	618
US Treasury securities	58,740	7,940	66,680	23,552
Receivables:				
Accrued interest	354	77	431	837
Due from other governments	789	773	1,562	1,623
Total Assets	<u>429,233</u>	<u>60,004</u>	<u>489,237</u>	<u>382,211</u>
<b>LIABILITIES</b>				
Accounts payable	2,607	1,189	3,796	1,964
Accrued interest	62,021	6,678	68,699	71,376
Long-term liabilities:				
Due in one year	60,000	15,000	75,000	85,000
Due in more than one year	1,420,000	360,000	1,780,000	1,855,000
Total Liabilities	<u>1,544,628</u>	<u>382,867</u>	<u>1,927,495</u>	<u>2,013,340</u>
<b>NET POSITION</b>				
Restricted for:				
Individuals, organizations, and other governments	(1,115,395)	(322,863)	(1,438,258)	(1,631,129)
Total Net Position	<u>\$ (1,115,395)</u>	<u>\$ (322,863)</u>	<u>\$ (1,438,258)</u>	<u>\$ (1,631,129)</u>

CITY OF SOLANA BEACH, CALIFORNIA

**COMBINING STATEMENT OF CHANGES IN FIDUCIARY NET POSITION  
CUSTODIAL FUNDS  
FOR THE YEAR ENDED JUNE 30, 2021  
(with comparative totals for the year ended June 30, 2020)**

	<b>Undergrounding Districts</b>	<b>South Solana Sewer District</b>	<b>2021</b>	<b>2020</b>
<b>ADDITIONS</b>				
Investment earnings:				
Net increase (decrease) in fair value of investments	\$ (2,661)	\$ (1,175)	\$ (3,836)	\$ 5,046
Interest, dividends, and other	3,044	540	3,584	7,544
Total investment earnings	383	(635)	(252)	12,590
Special assessment collections	176,822	38,507	215,329	97,439
Miscellaneous	99,256	-	99,256	-
Total Additions	276,461	37,872	314,333	110,029
<b>DEDUCTIONS</b>				
Contractual services	7,354	1,619	8,973	50,020
Interest expense	92,336	20,153	112,489	190,671
Total Deductions	99,690	21,772	121,462	240,691
Net Increase (Decrease) in Fiduciary Net Position	176,771	16,100	192,871	(130,662)
Net Position - Beginning	(1,292,166)	(338,963)	(1,631,129)	-
Restatement of Net Position	-	-	-	(1,500,467)
Net Position - Beginning, as Restated	(1,292,166)	(338,963)	(1,631,129)	(1,500,467)
Net Position - Ending	\$ (1,115,395)	\$ (322,863)	\$ (1,438,258)	\$ (1,631,129)

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**STATISTICAL SECTION  
(UNAUDITED)**

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## Statistical Section

*This part of the City of Solana Beach's Statistical annual comprehensive financial report presents detailed information as a context for understanding what the information in the financial statements, note disclosures, and required supplementary information says about the city's overall financial health.*

### Contents

#### **Financial Trends**

*These schedules contain trend information to help the reader understand how the city's financial performance and well-being have changed over time.*

- \* **Net Position by Component**
- \* **Changes in Net Position**
- \* **Fund Balances of Governmental Funds**
- \* **Changes in Fund Balances of Governmental Funds**

#### **Revenue Capacity**

*These schedules contain information to help the reader assess the factors affecting the city's ability to generate its property taxes.*

- \* **Assessed Value and Estimated Actual Value of Taxable Property**
- \* **Direct and Overlapping Property Tax Rates**
- \* **Principal Property Tax Payers**
- \* **Property Tax Levies and Collections**

#### **Debt Capacity**

*These schedules present information to help the reader assess the affordability of the city's current levels of outstanding debt and the city's ability to issue additional debt in the future.*

- \* **Ratios of Outstanding Debt by Type**
- \* **Direct and Overlapping Debt**
- \* **Legal Debt Margin Information**
- \* **Pledged-Revenue Coverage**

#### **Demographic and Economic Information**

*These schedules offer demographic and economic indicators to help the reader understand the environment within which the city's financial activities take place and to help make comparisons over time and with other governments.*

- \* **Demographic and Economic Statistics**
- \* **Principal Employers**

#### **Operating Information**

*These schedules contain information about the city's operations and resources to help the reader understand how the city's financial information relates to the services the city provides and the activities it performs.*

- \* **Full-time Equivalent City Government Employees by Function/Program**
- \* **Operating Indicators by Function/Program**
- \* **Capital Assets Statistics by Function/Program**

**Sources:** *Unless otherwise noted, the information in these schedules is derived from the comprehensive annual financial reports for the relevant year. The city implemented Statement 34 in 2003; schedules presenting government-wide information include information beginning in that year.*



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# ***Financial Trends***

CITY OF SOLANA BEACH

Net Position by Component  
Last Ten Fiscal Years  
(Accrual Basis of Accounting)

	Fiscal Year				
	2012	2013	2014	2015	2016
<b>Government activities</b>					
Net Investment in Capital Assets	\$ 34,301,049	\$ 39,384,623	\$ 34,095,894	\$ 32,415,836	\$ 30,365,711
Restricted	6,370,933	4,688,776	5,183,814	4,979,850	5,825,595
Unrestricted	5,275,012	1,418,151	6,871,872	(85,816)	1,230,929
<b>Total governmental activities net position</b>	<b>\$ 45,946,994</b>	<b>\$ 45,491,550</b>	<b>\$ 46,151,580</b>	<b>\$ 37,309,870</b>	<b>\$ 37,422,235</b>
<b>Business-type activities</b>					
Net Investment in Capital Assets	\$ 5,470,469	\$ 5,682,518	\$ 6,324,862	\$ 6,798,584	\$ 5,594,350
Restricted	-	-	-	-	-
Unrestricted	24,794,121	25,769,871	27,155,489	26,759,779	29,711,194
<b>Total governmental activities net position</b>	<b>\$ 30,264,590</b>	<b>\$ 31,452,389</b>	<b>\$ 33,480,351</b>	<b>\$ 33,558,363</b>	<b>\$ 35,305,544</b>
<b>Primary government</b>					
Net Investment in Capital Assets	\$ 39,771,518	\$ 45,067,141	\$ 40,420,756	\$ 39,214,420	\$ 35,960,061
Restricted	6,370,933	4,688,776	5,183,814	4,979,850	5,825,595
Unrestricted	30,069,133	27,188,022	34,027,361	26,673,963	30,942,123
<b>Total governmental activities net position</b>	<b>\$ 76,211,584</b>	<b>\$ 76,943,939</b>	<b>\$ 79,631,931</b>	<b>\$ 70,868,233</b>	<b>\$ 72,727,779</b>

ote: The City began to report accrual information when it implemented GASB Statement 34 in fiscal year 200

Fiscal Year				
2017	2018	2019	2020	2021
\$ 28,412,121	\$ 27,241,251	\$ 29,396,878	\$ 26,666,266	\$ 26,653,123
6,619,853	9,139,181	11,238,745	12,664,581	14,173,748
1,795,456	(2,320,375)	(3,911,422)	(1,487,812)	(1,345,933)
<b>\$ 36,827,430</b>	<b>\$ 34,060,057</b>	<b>\$ 36,724,201</b>	<b>\$ 37,843,035</b>	<b>\$ 39,480,938</b>
\$ 6,195,352	\$ 5,929,088	\$ 8,892,771	\$ 12,052,987	\$ 11,185,890
-	54	49	46	-
32,866,729	36,722,015	35,710,517	34,349,803	36,889,897
<b>\$ 39,062,081</b>	<b>\$ 42,651,157</b>	<b>\$ 44,603,337</b>	<b>\$ 46,402,836</b>	<b>\$ 48,075,787</b>
\$ 34,607,473	\$ 33,170,339	\$ 38,289,649	\$ 38,719,253	\$ 37,839,013
6,619,853	9,139,235	11,238,794	12,664,627	14,173,748
34,662,185	34,401,640	31,799,095	32,861,991	35,543,964
<b>\$ 75,889,511</b>	<b>\$ 76,711,214</b>	<b>\$ 81,327,538</b>	<b>\$ 84,245,871</b>	<b>\$ 87,556,725</b>

CITY OF SOLANA BEACH

Changes in Net Position  
Last Ten Fiscal Years  
(Accrual Basis of Accounting)

	Fiscal Year				
	2012	2013	2014	2015	2016
<b>Expenses</b>					
Governmental Activities:					
General government	\$ 3,509,970	\$ 3,521,929	\$ 3,712,734	\$ 3,344,429	\$ 3,944,303
Public safety	7,801,875	8,177,235	8,416,330	8,441,144	9,162,345
Public works	4,499,601	5,070,916	5,008,665	5,181,223	5,438,407
Community development	957,995	957,303	1,361,588	1,281,059	1,378,130
Community services	561,563	604,445	579,088	622,608	627,748
Interest on long-term debt	139,345	78,156	439,918	388,144	398,408
Total Governmental Activities expenses	17,470,349	18,409,984	19,518,323	19,258,607	20,949,341
Business-Type Activities:					
Sanitation	4,038,404	3,456,455	2,855,368	4,566,357	3,568,901
Solana Energy Alliance Fund	-	-	-	-	-
Total Business-Type Activities Expenses	4,038,404	3,456,455	2,855,368	4,566,357	3,568,901
<b>Total Primary Government Expenses</b>	<b>\$ 21,508,753</b>	<b>\$ 21,866,439</b>	<b>\$ 22,373,691</b>	<b>\$ 23,824,964</b>	<b>\$ 24,518,242</b>
<b>Program Revenues</b>					
Governmental Activities:					
Charges for services:					
General government	\$ 21,370	\$ -	\$ -	\$ -	\$ -
Public safety	439,523	376,156	402,670	464,533	578,282
Public works	251,766	511,843	743,210	238,587	416,524
Community development	796,475	648,280	830,429	852,578	928,065
Community services	229,571	357,877	303,070	347,698	365,289
Operating Contributions:					
Public safety	273,048	270,428	286,687	285,399	270,152
Public works	173,664	583,136	1,577,961	920,807	1,045,301
Community development	-	-	-	109,689	200,388
Community services	30,331	-	-	-	-
Capital Contributions and Grants:					
Public safety	78,590	162,672	129,740	53,091	160,372
Public works	25,000	-	-	-	-
Total Governmental Activities Program Revenues	2,319,338	2,910,392	4,273,767	3,272,382	3,964,373
Business-Type Activities:					
Charges for services:					
Sanitation	\$ 4,517,005	4,708,765	4,775,489	4,949,069	5,151,671
Solana Energy Alliance Fund	-	-	-	-	-
Total Business-Type Activities Program Revenues	4,517,005	4,708,765	4,775,489	4,949,069	5,151,671
<b>Total Primary Government Program Revenues</b>	<b>\$ 6,836,343</b>	<b>\$ 7,619,157</b>	<b>\$ 9,049,256</b>	<b>\$ 8,221,451</b>	<b>\$ 9,116,044</b>
<b>Net (Expense)/Revenue</b>					
Governmental Activities	\$ (15,151,011)	\$ (15,499,592)	\$ (15,244,556)	\$ (15,986,225)	\$ (16,984,968)
Business-Type Activities	478,601	1,252,310	1,920,121	382,712	1,582,770
<b>Total primary Government Net Expense</b>	<b>\$ (14,672,410)</b>	<b>\$ (14,247,282)</b>	<b>\$ (13,324,435)</b>	<b>\$ (15,603,513)</b>	<b>\$ (15,402,198)</b>
<b>General Revenues and Other Charges in Net Position</b>					
Governmental Activities:					
Taxes:					
Property taxes, levied for general purpose	\$ 6,597,393	\$ 6,655,138	\$ 6,880,916	\$ 7,247,202	\$ 7,705,956
Transient occupancy taxes	1,118,592	1,186,197	1,220,075	1,467,373	1,605,685
Sales taxes	2,963,507	3,077,691	2,814,702	2,808,203	3,255,104
Intergovernmental, unrestricted:					
Franchise taxes	52,084	-	-	-	-
Other taxes	685,336	698,672	714,991	765,995	736,042
Use of money and property	2,670,333	2,643,515	2,736,146	2,747,073	2,797,559
Other	102,469	84,903	137,906	136,763	261,446
Extraordinary Gain/(Loss) on dissolution on redevelopment agency	494,008	722,094	1,399,850	914,672	735,521
Total Governmental Activities	2,933,995	-	-	-	-
Business-Type Activities:					
Use of money and property	17,617,717	15,068,210	15,904,586	16,087,281	17,097,313
Other	152,477	78,615	71,541	71,973	115,321
Total Business-Type Activities	269,358	46,470	36,300	28,939	49,090
<b>Total Primary Government</b>	<b>\$ 18,039,552</b>	<b>\$ 15,193,295</b>	<b>\$ 16,012,427</b>	<b>\$ 16,188,193</b>	<b>\$ 17,261,724</b>
<b>Changes in Net Position</b>					
Governmental Activities	\$ 2,466,706	\$ (431,382)	\$ 660,030	\$ 101,056	\$ 112,345
Business-Type Activities	900,436	1,377,395	2,027,962	483,624	1,747,181
<b>Total Primary Government</b>	<b>\$ 3,367,142</b>	<b>\$ 946,013</b>	<b>\$ 2,687,992</b>	<b>\$ 584,680</b>	<b>\$ 1,859,526</b>

		Fiscal Year							
		2017	2018	2019	2020	2021			
\$	4,309,372	\$	4,101,170	\$	3,650,982	\$	4,985,418	\$	5,537,474
	9,628,140		10,539,671		11,050,684		12,616,348		13,116,915
	5,487,183		5,944,432		5,937,131		4,894,915		4,665,830
	1,745,101		1,754,910		1,482,428		1,585,952		1,506,502
	1,122,128		730,645		1,178,128		1,226,910		1,193,256
	389,077		381,634		368,495		363,326		356,001
	<u>22,681,001</u>		<u>23,452,462</u>		<u>23,667,848</u>		<u>25,672,869</u>		<u>26,375,978</u>
	1,602,359		2,100,256		4,204,504		4,221,307		3,891,241
	-		390,533		5,210,816		4,350,085		3,841,312
	<u>1,602,359</u>		<u>2,490,789</u>		<u>9,415,320</u>		<u>8,571,392</u>		<u>7,732,553</u>
\$	<u>24,283,360</u>	\$	<u>25,943,251</u>	\$	<u>33,083,168</u>	\$	<u>34,244,261</u>	\$	<u>34,108,531</u>
\$	-	\$	-	\$	194,122	\$	205	\$	91,875
	620,990		577,351		581,313		401,633		325,042
	449,962		698,999		1,005,828		358,450		493,597
	1,252,126		1,300,411		1,169,232		1,190,562		1,082,510
	400,353		336,079		335,828		22,844		276,648
	198,615		177,936		186,145		199,300		466,509
	1,241,379		1,106,636		1,404,721		889,429		1,214,732
	-		100,000		-		-		-
	129,324		139,416		148,747		80,000		232,674
	158,370		420,005		298,205		345,162		301,580
	-		-		-		-		-
	<u>4,451,119</u>		<u>4,856,833</u>		<u>5,324,141</u>		<u>3,487,585</u>		<u>4,485,167</u>
	5,255,483		5,415,690		5,592,045		5,588,249		5,676,286
	-		494,307		5,202,375		4,178,287		3,567,034
	<u>5,255,483</u>		<u>5,909,997</u>		<u>10,794,420</u>		<u>9,766,536</u>		<u>9,243,320</u>
\$	<u>9,706,602</u>	\$	<u>10,766,830</u>	\$	<u>16,118,561</u>	\$	<u>13,254,121</u>	\$	<u>13,728,487</u>
\$	(18,229,882)	\$	(18,595,629)	\$	(18,343,707)	\$	(22,185,284)	\$	(21,890,811)
	3,653,124		3,419,208		1,379,100		1,195,144		1,510,767
\$	<u>(14,576,758)</u>	\$	<u>(15,176,421)</u>	\$	<u>(16,964,607)</u>	\$	<u>(20,990,140)</u>	\$	<u>(20,380,044)</u>
\$	8,095,383	\$	8,586,838	\$	9,070,200	\$	9,465,402	\$	10,093,847
	1,740,208		1,827,753		2,019,005		1,456,897		1,457,156
	3,127,803		3,191,410		3,502,561		3,291,805		3,689,566
	-		-		-		-		-
	733,354		723,164		792,575		751,324		789,365
	2,868,629		3,170,331		3,547,175		3,619,856		3,745,720
	283,828		286,867		1,100,795		1,132,930		631,813
	785,872		722,186		975,510		3,585,904		3,121,247
	-		-		-		-		-
	<u>17,635,077</u>		<u>18,508,549</u>		<u>21,007,821</u>		<u>23,304,118</u>		<u>23,528,714</u>
	88,940		81,629		557,179		423,002		124,888
	14,473		88,239		15,901		181,353		37,296
	<u>103,413</u>		<u>169,868</u>		<u>573,080</u>		<u>604,355</u>		<u>162,184</u>
\$	<u>17,738,490</u>	\$	<u>18,678,417</u>	\$	<u>21,580,901</u>	\$	<u>23,908,473</u>	\$	<u>23,690,898</u>
\$	(594,805)	\$	(87,080)	\$	2,664,114	\$	1,118,834	\$	1,637,903
	3,756,537		3,589,076		1,952,180		1,799,499		1,672,951
\$	<u>3,161,732</u>	\$	<u>3,501,996</u>	\$	<u>4,616,294</u>	\$	<u>2,918,333</u>	\$	<u>3,310,854</u>

CITY OF SOLANA BEACH

Fund Balances of Governmental Funds  
 Last Ten Fiscal Years  
 (Modified Accrual Basis Of Accounting)

	Fiscal Year				
	2012	2013	2014	2015	2016
General Fund					
Nonspendable	\$ 6,482	\$ 9,276	\$ 7,523	\$ 9,382	\$ 7,471
Restricted	-	-	-	-	508,897
Committed	264,534	278,377	324,083	454,048	787,790
Assigned	4,486,177	4,579,527	5,102,543	5,324,048	5,520,890
Unassigned	2,573,592	4,014,144	4,369,152	5,580,686	6,200,244
Total General Fund	<u>\$ 7,330,785</u>	<u>\$ 8,881,324</u>	<u>\$ 9,803,301</u>	<u>\$ 11,368,164</u>	<u>\$ 13,025,292</u>
All Other Governmental Funds					
Nonspendable	\$ -	\$ -	\$ -	\$ -	\$ -
Restricted	6,241,182	4,588,670	5,107,900	4,979,850	5,316,698
Assigned	539,450	525,735	425,416	589,120	849,917
Unassigned	(315,857)	(5,333,420)	(222,713)	(213,005)	(184,544)
Total all other Governmental Funds	<u>\$ 6,464,775</u>	<u>\$ (219,015)</u>	<u>\$ 5,310,603</u>	<u>\$ 5,355,965</u>	<u>\$ 5,982,071</u>

Fiscal Year				
2017	2018	2019	2020	2021
\$ 20,164	\$ 72,579	\$ 23,402	\$ 52,665	\$ 54,212
893,185	1,294,957	1,743,908	2,422,056	3,245,475
914,846	1,015,354	1,436,307	1,179,507	901,576
5,690,381	5,805,890	6,041,593	6,349,702	6,206,689
6,805,201	7,385,736	4,588,069	5,450,148	7,138,002
<u>\$ 14,323,777</u>	<u>\$ 15,574,516</u>	<u>\$ 13,833,279</u>	<u>\$ 15,454,078</u>	<u>\$ 17,545,954</u>
\$ -	\$ 200	\$ -	\$ -	\$ -
5,726,668	7,844,224	9,494,837	10,242,525	10,928,273
1,385,099	-	-	-	-
(336,475)	(234,689)	(112,596)	(58,138)	(464,267)
<u>\$ 6,775,292</u>	<u>\$ 7,609,735</u>	<u>\$ 9,382,241</u>	<u>\$ 10,184,387</u>	<u>\$ 10,464,006</u>



CITY OF SOLANA BEACH

Changes In Fund Balances Of Governmental Funds  
Last Ten Fiscal Years  
(Modified Accrual Basis Of Accounting)

	Fiscal Year				
	2012	2013	2014	2015	2016
<b>Revenues:</b>					
Taxes and assessments	\$ 12,881,767	\$ 13,046,917	\$ 13,135,199	\$ 13,727,132	\$ 14,719,229
Intergovernmental	1,822,705	2,230,532	3,217,319	2,674,057	3,069,673
Licenses and permits	420,339	361,573	429,464	461,687	471,581
Charges for services	799,836	830,907	959,935	1,001,943	1,313,658
Fines and forfeitures	342,136	323,961	348,337	392,683	502,921
Use of money and property	102,469	84,903	137,906	136,763	261,466
Other	604,953	1,099,809	1,941,493	961,755	735,521
<b>Total revenues</b>	<b>16,974,205</b>	<b>17,978,602</b>	<b>20,169,653</b>	<b>19,356,020</b>	<b>21,074,049</b>
<b>Expenditures:</b>					
General government	3,230,362	3,057,761	3,085,499	3,222,933	3,500,443
Public safety	7,614,262	7,945,912	8,238,659	8,315,766	8,912,742
Public works	2,301,953	2,075,777	2,215,596	2,322,090	2,463,442
Community development	953,383	955,907	1,360,192	1,291,073	1,380,934
Community services	244,955	284,884	259,809	275,790	278,481
Capital outlay	2,048,301	7,638,942	3,452,914	1,773,690	2,190,316
Debt service:					
Principal retirement	239,900	280,700	155,925	155,930	161,086
Interest	155,519	77,283	439,464	388,523	383,130
Payment to refunded bond escrow agent	1,545,000	-	-	-	-
Pass-through payments	7,147	-	-	-	-
<b>Total expenses</b>	<b>18,340,782</b>	<b>22,317,166</b>	<b>19,208,058</b>	<b>17,745,795</b>	<b>19,270,574</b>
<b>Excess (Deficiency) of Revenues Over (Under) Expenditures</b>	<b>(1,366,577)</b>	<b>(4,338,564)</b>	<b>961,595</b>	<b>1,610,225</b>	<b>1,803,475</b>
<b>Other financing sources (uses):</b>					
Transfers in	2,560,970	742,322	1,319,473	446,865	743,400
Transfers out	(2,560,970)	(742,322)	(1,319,473)	(446,865)	(743,400)
Contributions to Successor Agency	-	(834,007)	(10,000)	-	-
Refunding Bonds issued	1,388,300	-	-	-	-
Other Debts Issued	818,696	-	-	-	-
Bond Discount	(10,650)	-	-	-	-
Contributions to OPEB Trust Fund	-	-	-	-	(135,000)
Long-term debt issued	(24,062)	-	5,500,000	-	614,759
Capital leases	-	-	-	-	-
<b>Total other financing sources (uses)</b>	<b>2,172,284</b>	<b>(834,007)</b>	<b>5,490,000</b>	<b>-</b>	<b>479,759</b>
Extraordinary Gain/(Loss) on dissolution of Redevelopment Agency	(366,005)	-	-	-	-
<b>Net change in fund balances / net position</b>	<b>\$ 439,702</b>	<b>\$ (5,172,571)</b>	<b>\$ 6,451,595</b>	<b>\$ 1,610,225</b>	<b>\$ 2,283,234</b>
<b>Capital assets used in debt service calculation*</b>	<b>\$ 2,055,611</b>	<b>\$ 7,859,585</b>	<b>\$ 3,527,607</b>	<b>\$ 1,764,750</b>	<b>\$ 2,194,361</b>
<b>Debt service as a percentage of noncapital expenditures</b>	<b>2.4%</b>	<b>2.5%</b>	<b>3.8%</b>	<b>3.4%</b>	<b>3.2%</b>

\* The amount of capital outlay used to calculate the ratio of total debt service expenditures to noncapital expenditures is the same as the reconciling item for capital outlay in the reconciliation between the government-wide statement of activities and the statement of revenues, expenditures and changes in fund balance.

		Fiscal Year							
		2017	2018	2019	2020	2021			
\$	15,109,053	\$	15,945,223	\$	17,275,214	\$	16,842,473	\$	19,775,654
	3,185,272		3,498,266		3,665,899		3,284,923		1,916,664
	527,146		508,549		486,891		345,168		532,496
	1,699,140		1,584,561		2,230,614		1,268,823		1,449,714
	495,885		479,933		502,249		359,703		244,331
	283,828		286,867		1,100,795		1,132,930		631,813
	785,872		1,061,983		975,510		3,585,904		3,121,247
	<b>22,086,196</b>		<b>23,365,382</b>		<b>26,237,172</b>		<b>26,819,924</b>		<b>27,671,919</b>
	3,777,819		3,820,029		4,191,376		4,705,339		5,032,268
	9,070,746		9,831,070		10,243,546		11,573,438		12,538,907
	2,509,194		2,628,777		2,975,518		3,401,680		3,125,907
	1,721,715		1,574,333		1,523,428		1,544,402		1,446,878
	760,475		328,755		830,315		797,410		680,982
	1,473,835		2,417,383		5,763,230		1,692,966		1,800,676
	288,487		296,366		303,971		316,505		319,071
	392,219		383,487		374,519		365,239		355,735
	-		-		-		-		-
	-		-		-		-		-
	<b>19,994,490</b>		<b>21,280,200</b>		<b>26,205,903</b>		<b>24,396,979</b>		<b>25,300,424</b>
	<b>2,091,706</b>		<b>2,085,182</b>		<b>31,269</b>		<b>2,422,945</b>		<b>2,371,495</b>
	1,576,800		997,300		2,636,370		799,915		353,500
	(1,576,800)		(997,300)		(2,636,370)		(799,915)		(353,500)
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
	-		-		-		-		-
\$	<b>2,091,706</b>	\$	<b>2,085,182</b>	\$	<b>31,269</b>	\$	<b>2,422,945</b>	\$	<b>2,371,495</b>
\$	<b>1,440,550</b>	\$	<b>2,432,556</b>	\$	<b>5,754,228</b>	\$	<b>1,697,994</b>	\$	<b>1,723,018</b>
	3.7%		3.6%		3.3%		3.0%		2.9%

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# ***Revenue Capacity***

**CITY OF SOLANA BEACH**

**Assessed Value and Estimated Actual Value of Taxable Property  
Last Ten Fiscal Years  
(in thousands of dollars)**

<b>Fiscal Year</b>	<b>Residential Property</b>	<b>Commercial Property</b>	<b>Other Property</b>	<b>Less: Tax-Exempt Property</b>
2012	2,990,970	352,417	158,210	-
2013	3,053,864	459,003	156,019	-
2014	3,150,064	457,092	154,207	-
2015	3,348,897	471,453	159,027	-
2016	3,549,149	490,565	161,797	-
2017	3,750,959	504,604	173,545	-
2018	3,974,035	567,922	182,779	-
2019	4,237,025	598,064	202,769	-
2020	4,479,369	619,869	254,522	-
2021	4,713,080	632,197	201,845	-

(a) The County of San Diego does not compile Estimated Actual Valuations

N/A - Data not available

**Source:** San Diego County Assessor 2011/12 - 2020/21 Combined Tax Rolls  
HdL Coren & Cone.  
City of Solana Beach Finance Department

<b>Total Taxable Assessed Value</b>	<b>Total Direct Tax Rate</b>	<b>Estimated Actual Taxable Value<sup>a</sup></b>	<b>Taxable Assessed Value as a Percentage of Actual Taxable Value</b>
3,501,597	0.1800%	N/A	N/A
3,668,886	0.1800%	N/A	N/A
3,761,363	0.1803%	N/A	N/A
3,979,377	0.1779%	N/A	N/A
4,201,511	0.1778%	N/A	N/A
4,429,108	0.1779%	N/A	N/A
4,724,736	0.1778%	N/A	N/A
5,037,858	0.1778%	N/A	N/A
5,353,760	0.1779%	N/A	N/A
5,547,122	0.1780%	N/A	N/A

**CITY OF SOLANA BEACH**

**Direct and Overlapping Property Tax Rates,  
Last Ten Fiscal Years  
(rate per \$100 of taxable value)**

**City's Share of 1% Levy Per Prop 13**

<b>Fiscal Year</b>	<b>General Basic Tax Levy</b>	<b>Municipal Improvement District</b>	<b>Lighting District</b>	<b>Total City's Share of 1% Levy per Prop 13</b>
2012	0.1602	0.0037	0.00955	0.1735
2013	0.1602	0.0037	0.00955	0.1735
2014	0.1602	0.0037	0.00955	0.1735
2015	0.1602	0.0037	0.09600	0.1735
2016	0.1602	0.0037	0.09600	0.1735
2017	0.1602	0.0037	0.09600	0.1735
2018	0.1602	0.0037	0.00955	0.1735
2019	0.1602	0.0037	0.00955	0.1735
2020	0.1602	0.0037	0.00955	0.1735
2021	0.1602	0.0037	0.00955	0.1735

**Overlapping Rates**

<b>Fiscal Year</b>	<b>San Diego County (1)</b>	<b>Carlsbad/Oceanside/Vista Projects</b>	<b>School Districts</b>	<b>Community College</b>	<b>Santa Fe Irrigation District (2)</b>
2012	0.167550	0.0004	0.40281	0.10486	0.025350
2013	0.167550	0.0004	0.40281	0.10486	0.025350
2014	0.167550	0.0004	0.40281	0.10486	0.025350
2015	0.167550	0.0004	0.40281	0.10486	0.025340
2016	0.167550	0.0004	0.40281	0.10486	0.025340
2017	0.167550	0.0004	0.40281	0.10486	0.025340
2018	0.167490	0.0004	0.40285	0.10490	0.025330
2019	0.167490	0.0004	0.40293	0.10490	0.025330
2020	0.167490	0.0004	0.40293	0.10490	0.025330
2021	0.167490	0.0004	0.40290	0.10490	0.025330

- (1) Includes County School Services, Library, Childrens Institution Tuition, and Regional Occupational Centers.
- (2) Includes Cwa Santa Fe Irrigation District (.00423) and Santa Fe Irrigation (.02111)
- (3) Includes only rate(s) from indebtedness adopted prior to 1989 per California State Statute

**Source:** San Diego County Assessor 2020/21 Annual Tax Increment Tables and HdL Coren and Cone.

**Overlapping Rates**

<b>Educational Revenue Augmentation</b>	<b>Voter Approved (3)</b>					<b>Total Direct &amp; Overlapping Tax Rate</b>
	<b>Solana Beach School District Prop JJ Debt Service</b>	<b>Metropolitan Water District Debt Service</b>	<b>Santa Fe Irrigation Tax Rate Reduction</b>	<b>Mira Costa Comm College 2016A</b>	<b>San Dieguito Prop Aa 11/6/2013 2013A A1</b>	
0.12551	-	0.0037	-	-	-	1.00370
0.12551	-	0.0035	-	-	-	1.00350
0.12551	-	0.0035	-	-	0.0378	1.04131
0.12551	-	0.0035	-	-	0.0215	1.02497
0.12551	-	0.0035	-	-	0.0227	1.02622
0.12551	-	0.0035	-	-	0.0228	1.02625
0.12550	0.03093	0.0035	-	0.01443	0.0223	1.07115
0.12550	0.02886	0.0035	-	0.01294	0.0230	1.06828
0.12550	0.02800	0.0035	-	0.01299	0.0232	1.06767
0.12550	0.02688	0.0035	-	0.01373	0.0233	1.06738



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**CITY OF SOLANA BEACH**

**Principal Property Tax Payers,  
Current Year and Nine Years Ago**

<u>Taxpayer</u>	<u>Taxable Assessed Value</u>	<u>Percentage of Total City Taxable Assessed Value</u>
<b><u>For the Fiscal Year Ended June 30, 2021</u></b>		
S B T C Holdings LLC	\$ 103,427,450	1.86%
Pacific Solana Beach Holdings LP	72,101,495	1.30%
SB Coporate Centre III-IV LLC	59,922,135	1.08%
GRE Beachwalk LLC (Pending Appeals on Parcels)	35,285,166	0.64%
Sanyo Foods Corporation of America	34,035,001	0.61%
Fenton Solana Highlands LLC	33,139,762	0.60%
E R P Operating LP	20,749,877	0.37%
Lavida Delmar Asscs LP	17,709,620	0.32%
Solana Mar LLC	17,200,349	0.31%
Showprop Monrovia II LLC	16,777,695	0.30%
<b>Total</b>	<b>\$ 410,348,550</b>	<b>7.40%</b>
<b><u>For the Fiscal Year Ended June 30, 2012</u></b>		
SB Corporate Centre III-IV LLC	\$ 37,324,946	1.07%
Solana Beach Towne Centres Investments (Pending Appeals on Parcels)	31,930,384	0.91%
Sanyo Foods Corporation of America	29,241,915	0.84%
Pacific Solana Beach Holdings LP	29,235,554	0.83%
Fenton Solana Highlands LLC	27,669,189	0.79%
Muller-Beachwalk LLC	22,400,000	0.64%
E R P Operating LP	17,708,254	0.51%
Lavida Delmar Asscs LP	15,649,998	0.45%
445 Marine View LLC	15,000,000	0.43%
Urschel Laboratories Inc	12,853,076	0.37%
<b>Total</b>	<b>\$ 239,013,316</b>	<b>6.83%</b>

**Source:** HdL Coren & Cone and San Diego County Assessor 2011/12 & 2020/21

**CITY OF SOLANA BEACH**

**Property Tax Levies and Collections,  
Last Ten Fiscal Years**

<b>Fiscal Year Ended June 30,</b>	<b>Taxes Levied for the Fiscal Year</b>	<b>Collected within the Fiscal Year of the Levy</b>	
		<b>Amount</b>	<b>Percentage of Levy</b>
2012	\$ 5,770,042	\$ 5,489,946	95.1%
2013	6,110,404	5,832,325	95.4%
2014	6,303,038	6,033,082	95.7%
2015	6,576,197	6,257,093	95.1%
2016	6,931,466	6,635,180	95.7%
2017	7,300,293	7,017,400	96.1%
2018	7,741,663	7,444,166	96.2%
2019	8,232,844	7,949,648	96.6%
2020	8,622,755	8,306,418	96.3%
2021	9,074,415	8,652,200	95.3%

**Sources:** City of Solana Beach Finance Department, County of San Diego Office of Auditor-Controller.

Collections in Subsequent Years	Total Collections to Date	
	Amount	Percentage of Levy
\$ -	\$ 5,489,946	95%
258,145	6,090,470	100%
252,973	6,286,055	100%
215,422	6,472,515	98%
80,163	6,715,343	97%
27,141	7,044,541	96%
33,622	7,477,788	97%
27,740	7,977,388	97%
36,401	8,342,819	97%
65,224	8,717,424	96%

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# ***Debt Capacity***

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CITY OF SOLANA BEACH

Ratios of Outstanding Debt by Type,  
Last Ten Fiscal Years  
(dollars in thousands, except per capita)

Fiscal Year	Government Activities				Business-type Activities	Total Primary Government	Percentage of Personal Income <sup>a</sup>	Per Capita <sup>a</sup>
	2002 ABAG Lease Revenue Bonds	Refunding Lease ABAG	Bonds	Capital Leases	Loans			
2012*	\$ -	\$ 1,388,300	\$ -	\$ 958,681	\$ 14,132,771	\$ 16,479,752	4.20%	0.0032
2013*	-	1,279,300	-	787,950	13,095,631	15,162,881	4.58%	0.0035
2014*	-	1,166,600	5,500,000	745,693	12,175,456	19,587,749	3.56%	0.0027
2015*	-	1,055,400	5,500,000	701,931	11,273,883	18,531,214	3.95%	0.0030
2016	-	940,600	5,500,000	1,271,372	10,339,405	18,051,377	4.05%	0.0031
2017	-	817,200	5,500,000	1,113,062	9,373,587	16,803,849	4.85%	0.0036
2018	-	690,400	5,500,000	943,496	19,146,912	26,280,808	3.10%	0.0023
2019	-	560,600	5,500,000	769,326	18,064,945	24,894,871	3.52%	0.0025
2020	-	423,000	5,500,000	590,421	17,449,133	23,962,554	3.66%	0.0026
2021	-	287,700	5,500,000	406,650	16,818,321	23,012,671	3.88%	0.0028

Notes: Details regarding the city's outstanding debt can be found in the notes to the financial statements.

<sup>a</sup> See Demographic and Economic Statistics schedule for personal income and population data.

These ratios are calculated using personal income and population for the prior calendar year.

\* Prior years adjusted to comply with GASB comment Q&A 9.24- Included the Premiums/Discounts and Bonds

\*\* Prior year adjusted to comply with GFOA comment GASB-S44 23- included bonds to schedule



**CITY OF SOLANA BEACH**

**Direct and Overlapping Governmental Activities Debt  
As of June 30, 2021**

**Fiscal Year 2020-21 Assessed Valuation :** \$5,547,944,868

<u>Direct Debt:</u>	<u>Gross Bonded Debt Balance</u>	<u>Percent Applicable to City (1)</u>	<u>Net Bonded Debt</u>
City of Solana Beach Lease Agreement	\$ 287,700	100.000%	(3) \$ 287,700
City of Solana Beach Capital Lease Obligation	406,650	100.000%	406,650
Total Direct Debt			<u>694,350</u>
 <b><u>Overlapping Debt:</u></b>			
Metropolitan Water District	26,830,000	0.170%	45,611
Mira Costa Community College District	306,265,000	4.628%	14,173,944
San Dieguito Union High School District	431,325,000	7.632%	32,918,724
San Dieguito Union High School District			
Community Facilites District No. 95-1	27,780,000	1.303%	361,973
Solana Beach School District School Facilities			
Improvement District No. 2016-1	93,095,000	31.929%	29,724,303
City of Solana Beach 1915 Act Bonds	2,220,000	100.000%	2,220,000
Olivenhain Municpal Water District, Assessment District No. 96-1	6,315,000	0.557%	35,175
San Diego County General Fund Obligations	211,585,000	0.947%	2,003,710
San Diego County Pension Obligations	400,125,000	0.947%	3,789,184
San Diego County Superintendent of Schools			
General Fund Obligations	8,585,000	0.947%	81,300
San Dieguito Union High School District			
Certificates of Participation	12,730,000	7.632%	971,554
Overlapping Tax Increment Debt	2,289,900	100.000%	2,289,900
Total Overlapping Debt			<u>88,615,378</u>
Total Direct and Overlapping Debt			<u>(2) \$ 89,309,728</u>

**Debt to Assessed Valuation Ratios :**

Direct Debt	0.01%
Overlapping Debt	1.60%
Total Debt	1.61%

**Note:**

(1) - Percentage of overlapping agency's assess valuation located within the boundaries of the city.

(2) - Excludes tax and revenue anticipation notes, enterprise revenues, mortgage revenue and tax allocation bonds and non-bonded capital lease obligations.

(3) Includes the Unamortized Bond Discount

**Source:** California Municipal Statistics, Inc.

CITY OF SOLANA BEACH

Legal Debt Margin Information  
 Last Ten Fiscal Years  
 (dollars in thousands)

Legal Debt Margin Calculation for Fiscal Year 2021

Assessed value	\$ 5,547,945
Debt limit (15% of assessed value)	<u>832,192</u>
Legal debt margin	<u><u>\$ 832,192</u></u>

<u>Fiscal Year</u>	<u>Debt Limit</u>	<u>Total net debt Applicable to Limit</u>	<u>Legal Debt Margin</u>	<u>Legal Debt Margin Percentage of Debt Limit</u>
2012	\$ 513,291	\$ -	\$ 513,291	100.00%
2013	550,417	-	550,417	100.00%
2014	564,290	-	564,290	100.00%
2015	597,013	-	597,013	100.00%
2016	630,359	-	630,359	100.00%
2017	664,464	-	664,464	100.00%
2018	708,810	-	708,810	100.00%
2019	755,767	-	755,767	100.00%
2020	793,275	-	793,275	100.00%
2021	832,192	-	832,192	100.00%

**CITY OF SOLANA BEACH**

**Pledged-Revenue Coverage  
Last Ten Fiscal Years**

**2011 ABAG Refunded Lease Revenue Bonds**

<u>Fiscal Year</u>	<u>Use of Money &amp; Property</u>	<u>Lease/Rents</u>	<u>Less: Expenditures</u>	<u>Net Available Revenue</u>
2012*	4,122	154,349	-	158,471
2013*	-	154,280	-	154,280
2014*	-	148,974	-	148,974
2015*	-	148,732	-	148,732
2016*	-	153,283	-	153,283
2017*	-	152,429	-	152,429
2018*	-	151,067	-	151,067
2019*	-	154,321	-	154,321
2020*	-	147,382	-	147,382
2021*	-	150,056	-	150,056

<u>Fiscal Year</u>	<u>Debt Service</u>		<u>Coverage</u>
	<u>Principal</u>	<u>Interest</u>	
2012*	109,000	45,349	1.03
2013*	112,700	41,580	1.00
2014*	111,200	37,774	1.00
2015*	114,800	33,932	1.00
2016*	123,400	29,883	1.00
2017*	126,800	25,629	1.00
2018*	129,800	21,267	1.00
2019*	137,600	16,721	1.00
2020*	135,300	12,082	1.00
2021*	142,700	7,356	1.00

**Notes:** Details regarding the city's outstanding debt can be found in the notes to the financial statements.

Expenditures do not include interest, depreciation, or amortization expenses.

\* 2002 ABAG Lease Revenue Bonds

# ***Demographic and Economic Information***

CITY OF SOLANA BEACH

Demographic and Economic Statistics  
Last Ten Calendar Years

<u>Calendar Year</u>	<u>Population</u>	<u>Personal Income</u> <i>(thousands of dollars)</i>	<u>Per Capita Personal Income</u>	<u>Unemployment Rate</u>
2011	13,000	\$ 691,899	\$ 53,223	6.8%
2012	12,987	695,142	53,526	4.7%
2013	13,099	697,561	53,253	4.1%
2014	13,059	731,200	55,992	6.0%
2015	13,494	778,568	57,697	4.8%
2016	13,527	815,210	60,265	4.3%
2017	13,938	830,408	59,578	1.7%
2018	13,933	875,833	62,860	1.7%
2019	13,838	873,757	63,141	1.7%
2020	13,827	894,002	64,656	5.1%

Sources: HdL Coren & Cone report prepared on 7/28/2021

**CITY OF SOLANA BEACH**  
**25 MAJOR EMPLOYERS - SAN DIEGO COUNTY**  
**AS OF 2021**

<b>Employer</b>	<b>Category</b>	<b>Business category</b>
Cesar Entertainment	1	Restaurants
Employee's Association SDG-E	1	Associations
General Dynamics Nassco	1	Ship Builders & Repairers (Mfrs)
Illumina Inc	1	Biotechnology Products & Services
Kaiser Permanente Zion Med Ctr	1	Health Services
Merchants Building Maintenance	1	Janitor Service
Page One Seo	1	Mental Health Services
Palomar Pomerodo Health Rehab	1	Rehabilitation Services
Rady's Children's Hospital	1	Hospitals
San Diego County Sheriff	1	Police Departments
Scripps Mercy Hospital	1	Hospitals
Scripps Research Institute	1	Laboratories-Research & Development
Sea World-San Diego	1	Amusement & Theme Parks
Sharp Grossmont Rehab Ctr	1	Rehabilitation Services
Sharp Mary Birch Hospital	1	Hospitals
Sharp Memorial Hospital	1	Hospitals
Sony Electronics	1	Electronic Equipment & Supplies-Retail
Kaiser Permanente Vandever Med	2	Physicians & Surgeons
San Diego Community College	2	Junior-Community College- Tech Institutes
UC San Diego Health	2	Hospitals
32nd St Naval Station	3	Federal Government-National Security
Mccs Mcrd	3	Military Bases
UCSD- Neural Computation	3	University-College Dept/Facility/Office
University of California	3	University-College Dept/Facility/Office
Univesity-California Sn Diego	3	University-College Dept/Facility/Office

**Source:**

State of California- Employee Development Department- Major Employers in San Diego for 2021

**Categories**

- 1 1,000-4,999 Employees
- 2 5,000-9,999 Employees
- 3 10,000+ Employees

Employer information specific to the City of Solana Beach is not readily available\*

\* Due to unreliable data, the Top Employer Report is no longer offered by HdL Coren & Cone

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# ***Operating Information***



**CITY OF SOLANA BEACH**

**Full-time-Equivalent City Government Employees by Function/Program  
Last Ten Fiscal Years**

<b>Fiscal Years:</b>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>
<b><u>Function/Program</u></b>					
General government					
City Council	0.20	0.20	0.20	0.20	0.20
City Clerk	2.75	2.65	2.60	3.10	3.10
City Manager	1.92	1.84	1.74	2.05	2.05
Legal Services	0.25	0.25	0.25	0.25	0.25
Finance	3.40	3.35	3.80	3.55	3.55
Personnel	1.10	0.98	0.95	1.00	1.00
Info/Communication Systems	1.00	1.00	1.00	1.00	1.00
Community Development	5.50	5.50	5.40	6.00	6.00
Public Safety					
Fire	19.22	19.95	19.95	19.95	19.95
Code Enforcement	1.78	1.75	1.75	1.80	1.80
Marine Safety	8.08	8.06	8.06	8.06	9.49
Junior Lifeguards	3.73	3.73	3.73	3.73	3.53
Public Works					
Engineering	2.31	2.48	2.41	2.28	2.13
Environmental/Flood Control	1.10	1.10	1.10	1.10	1.10
Street Maintenance	2.90	2.90	2.90	2.95	2.95
Park Maintenance	1.35	1.35	1.35	1.35	1.35
Recreation & Community Services					
Community Services	0.95	0.95	0.95	0.95	0.95
Recreation	(1) 2.59	2.59	2.59	2.46	2.48
Sanitation	2.93	2.93	2.98	2.93	3.22
Improvement Districts	0.95	0.95	0.95	0.9	0.9
Redevelopment Agency	0.50	0.60	1.05	0.90	0.90
Solana Energy Alliance*	-	-	-	-	-
<b>Total Personnel</b>	<u>64.51</u>	<u>65.11</u>	<u>65.71</u>	<u>66.51</u>	<u>67.90</u>

N/A - Data Not Available

**Notes:** A full-time employee is scheduled to work 2,080 hours per year (including full-time equivalent employment is calculated by dividing total labor hours by 2,080.

\*Solana Energy Alliance started mid FY18

(1) Includes Camp Recreation

**Source:** City of Solana Beach's Annual Budget

<u>2017</u>	<u>2018</u>	<u>2019</u>	<u>2020</u>	<u>2021</u>
0.20	0.20	0.20	0.20	0.20
3.10	3.10	3.10	3.23	3.23
1.80	1.90	1.90	2.48	2.48
0.25	0.25	0.25	0.25	0.25
3.55	3.45	3.05	3.30	3.30
1.15	0.95	0.95	0.95	0.95
1.00	1.00	1.00	1.00	1.00
5.80	5.80	5.80	6.00	6.00
19.95	20.20	20.20	20.20	20.20
1.80	1.80	1.80	1.80	1.80
9.49	9.29	9.29	9.71	9.71
4.03	4.23	4.23	4.7	4.7
2.73	2.73	2.73	2.73	2.73
1.05	1.05	1.05	1.00	1.00
2.95	2.95	2.95	2.95	2.95
1.35	1.35	1.35	1.35	1.35
0.90	0.90	0.65	0.65	0.65
2.43	2.43	2.38	2.40	2.40
3.12	3.37	3.37	3.37	3.37
0.9	0.9	0.9	0.9	0.9
1.10	0.80	0.80	0.14	0.14
-	-	0.75	0.75	0.75
<u>68.65</u>	<u>68.65</u>	<u>68.70</u>	<u>70.06</u>	<u>70.06</u>

CITY OF SOLANA BEACH

Operating Indicators by Function/Program  
Last Ten Fiscal Years

<u>Function/Program</u>	<u>Fiscal Year</u>				
	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>
Community development					
Number of:					
Business licenses (A)	1877	2023	2147	1957	2068
Plan checks (B)	211	225	276	275	304
Code violations (calendar basis)	1277	1458	1467	1016	1240
Police (Calendar basis)					
Number of calls for service (C) (D):					
Priority 1	12	11	27	12	13
Priority 2	501	480	498	467	437
Priority 3	1689	1711	1624	1712	1740
Priority 4	1199	1156	1037	1225	1110
Priority 5	N/A	N/A	N/A	N/A	N/A
Priority 6	N/A	N/A	N/A	N/A	N/A
Priority 7	N/A	N/A	N/A	N/A	N/A
Priority 8	N/A	N/A	N/A	N/A	N/A
Priority 9	N/A	N/A	N/A	N/A	N/A
FBI Index Crimes	337	321	210	305	240
Fire					
Emergency Responses	1093	1736	1702	1798	1810
Training Hours	n/a	5090	7079.67	6178	5997
Plan Checks	161	335	92	289	380
Public works					
Miles of:					
Street resurfacing/repair	180000**	150000**	150000**	550000**	5.3*
Street sweeping	900	900	900	900*	900*
Number of:					
Street signal maintained	168	168	192	192	192
Trees pruned per year	158	500	158	40	40
Recreation & community services					
Number of enrollees:					
Day camp (Calendar basis)	315	385	280	329	266
Classes (classes offered to san digueto adult school)	35	35	N/A	144	***N/A
Mira Costa College Community Education, # of students	N/A	N/A	N/A	N/A	N/A
Special events (attendees)	11250	N/A	7350	10600	7800

N/A - Data not available

(A) - Includes new & renewal licenses, excludes temporary licenses

(B) - Excludes temporary plan checks.

(C) - Numbers adjusted and updated on CAFR FY16-17 for FY08-FY17 numbers to count only complete calls for service.

(D) - FY18-19 San Diego Sheriff dispatch system shifted to a 9-category system

Sources: Various city departments.

\* Street Repair in Miles

\*\* Street repair in Square Feet (SF)

\*\*\* Classes offered by Mira Costa College

Fiscal Year				
2017	2018	2019	2020	2021
2007	2055	2345	2677	2677
284	319	319	399	399
1124	2513	2656	N/A	N/A
7	11	9	2	9
343	470	209	159	207
1141	1825	167	117	143
826	1181	1154	1109	1337
N/A	N/A	247	226	337
N/A	N/A	147	287	212
N/A	N/A	703	619	832
N/A	N/A	0	0	0
N/A	N/A	0	0	0
173	227	139	117	231
1883	1859	1792	1792	1495
4695.6	4687	6350	6350	6375
390	375	375	375	436
1.7*	1.9	3.8	1	0.8
900*	504	504	504	504
192	192	192	192	192
500	274	280	280	280
315	322	315	312	290
***N/A	***N/A	***N/A	***N/A	***N/A
N/A	720	700	400	150
8300	7400	7700	6500	2200

CITY OF SOLANA BEACH

Capital Asset Statistics by Function/Program  
Last Ten Fiscal Years

<u>Function/Program</u>	<u>Fiscal Year</u>				
	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>
Public Safety					
Code enforcement vehicles	2	2	2	2	2
Fire					
Stations	1	1	1	1	1
Fire Engines	4	4	4	3	3
Other vehicles	2	2	1	2	2
Public works					
Streets (miles)	46	46	46	42	42
Street lights (city-owned)	748	748	748	527	527
Traffic signals	13	16	18	16	16
Public works vehicles	7	7	8	11	11
Public works Corporation Yard	1	1	1	1	1
Recreation & community service					
Community centers	2	2	2	2	2
Parks	3	3	3	3	3
Marine Safety					
Lifeguard Stations (Permanent)*	3	3	3	3	3
Lifeguard Stations (Temporary)	N/A	N/A	N/A	N/A	N/A
Vehicles	5	5	4	4	4

**Notes:** No capital asset indicators are available for the general government.

**Sources:** Various city departments.

\* Both Fixed and Portable Towers up FY18. FY19 broke out number of temporary stations.

Fiscal Year					
2017	2018	2019	2020	2021	
	2	2	2	2	2
	1	1	1	1	1
	3	3	2	2	2
	2	2	3	3	3
	42	42	42	42	42
	527	525	525	525	525
	16	16	16	16	16
	12	8	8	8	8
	1	1	1	1	1
	2	2	2	2	2
	3	2	2	2	2
	6	6	3	3	3
N/A	N/A		3	4	4
	5	5	5	5	5

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**CITY OF  
SOLANA BEACH**

635 S. Highway 101

Solana Beach, Ca 92075

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

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INDEPENDENT AUDITORS' REPORT ON INTERNAL CONTROL  
OVER FINANCIAL REPORTING AND ON COMPLIANCE AND OTHER MATTERS  
BASED ON AN AUDIT OF FINANCIAL STATEMENTS PERFORMED IN ACCORDANCE  
WITH *GOVERNMENT AUDITING STANDARDS*

To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the City of Solana Beach, California (the "City"), as of and for the year ended June 30, 2021, and the related notes to the financial statements, which collectively comprise the City's basic financial statements, and have issued our report thereon dated January 18, 2022.

#### **Internal Control over Financial Reporting**

In planning and performing our audit of the financial statements, we considered the City's internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control. Accordingly, we do not express an opinion on the effectiveness of the City's internal control.

*A deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or, significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

#### **Compliance and Other Matters**

As part of obtaining reasonable assurance about whether the City's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the financial statements. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.



To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

**Purpose of this Report**

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the City's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the City's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

*Lance, Solt & Lughard, LLP*

Brea, California  
January 18, 2022



January 18, 2022

To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

We have audited the financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the City of Solana Beach, California (the "City") for the year ended June 30, 2021. Professional standards require that we provide you with information about our responsibilities under generally accepted auditing standards, *Government Auditing Standards* and the Uniform Guidance, as well as certain information related to the planned scope and timing of our audit. We have communicated such information in our letter to you dated April 20, 2021. Professional standards also require that we communicate to you the following information related to our audit.

### **Significant Audit Findings and Other Issues**

#### ***Qualitative Aspects of Significant Accounting Practices***

Management is responsible for the selection and use of appropriate accounting policies. The significant accounting policies used by the City are described in the notes to the financial statements. As described in Note 1 to the financial statements, the City changed accounting policies related to accounting for fiduciary activities by adopting Statement of Governmental Accounting Standards (GASB Statement) No. 84, *Fiduciary Activities*, in Fiscal Year 2020-21. Accordingly, the cumulative effect of the accounting change as of the beginning of the year is reported in the *Statement of Changes in Fiduciary Net Position*. We noted no transactions entered into by the City during the year for which there is a lack of authoritative guidance or consensus. All significant transactions have been recognized in the financial statements in the proper period.

Accounting estimates are an integral part of the financial statements prepared by management and are based on management's knowledge and experience about past and current events and assumptions about future events. Certain accounting estimates are particularly sensitive because of their significance to the financial statements and because of the possibility that future events affecting them may differ significantly from those expected. The most sensitive estimates affecting the City's financial statements were:

Management's estimates of its net pension liabilities, net other post-employment benefits (OPEB) liability, and claims liability are based on actuarial valuation specialist assumptions. We evaluated the key factors and assumptions used to develop the net pension liabilities, net OPEB liability, and claims liability in determining that they are reasonable in relation to the financial statements taken as a whole.

Certain financial statement disclosures are particularly sensitive because of their significance to financial statement users.

The disclosure of Debt Covenant Compliance for JPA Loans in Note 11 to the financial statements calculates the City's debt service coverage ratios, which are required disclosures related to the City's debt covenants and are of particular importance to users of the financial statements, particularly the City's debtholders.

The financial statement disclosures are neutral, consistent, and clear.





To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

### ***Significant Unusual Transactions***

Management is responsible for the policies and practices used to account for significant unusual transactions. No significant unusual transactions have occurred during fiscal year 2020-2021.

### ***Difficulties Encountered in Performing the Audit***

We encountered no significant difficulties in dealing with management in performing and completing our audit.

### ***Corrected and Uncorrected Misstatements***

Professional standards require us to accumulate all known and likely misstatements identified during the audit, other than those that are trivial, and communicate them to the appropriate level of management. Management has corrected all such misstatements. In addition, none of the misstatements detected as a result of audit procedures and corrected by management were material, either individually or in the aggregate, to the financial statements taken as a whole.

### ***Disagreements with Management***

For purposes of this letter, a disagreement with management is a financial accounting, reporting, or auditing matter, whether or not resolved to our satisfaction, that could be significant to the financial statements or the auditor's report. We are pleased to report that no such disagreements arose during the course of our audit.

### ***Circumstances that Affect the Form and Content of the Auditor's Report***

New auditing standards were implemented in fiscal year 2020-2021 related to Statement of Auditing Standards 134, *Auditor Reporting and Amendments, Including Amendments Addressing Disclosures in the Audit of Financial Statements*, through Statement of Auditing Standards 140, *Supplementary Information in Relation to the Financial Statements as a Whole*. These standards updated the form and content of the financial statement auditor's report. The purpose of the change was to present an easier format for users to understand the results of the audit and management's responsibilities.

### ***Management Representations***

We have requested certain representations from management that are included in the management representation letter dated January 18, 2022.

### ***Management Consultations with Other Independent Accountants***

In some cases, management may decide to consult with other accountants about auditing and accounting matters, similar to obtaining a "second opinion" on certain situations. If a consultation involves application of an accounting principle to the City's financial statements or a determination of the type of auditor's opinion that may be expressed on those statements, our professional standards require the consulting accountant to check with us to determine that the consultant has all the relevant facts. To our knowledge, there were no such consultations with other accountants.

### ***Other Audit Findings or Issues Discussed with Management***

We generally discuss a variety of matters, including the significant events or transactions that occurred during the year, business conditions affecting the City and business plans and strategies that may affect the risks of material misstatements, the application of accounting principles and auditing standards, with



To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

management each year prior to retention as the City's auditors. However, these discussions occurred in the normal course of our professional relationship and our responses were not a condition to our retention.

### **Other Matters**

We applied certain limited procedures to management's discussion and analysis; the budgetary comparison schedules for the General Fund and Transnet Fund; the schedules of proportionate shares of the net pension liabilities; the schedule of changes in net other post-employment benefits (OPEB) liability and related ratios; the schedules of employer's contributions; and the schedule of investment returns which are required supplementary information (RSI) that supplements the basic financial statements. Our procedures consisted of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We did not audit the RSI and do not express an opinion or provide any assurance on the RSI.

We were engaged to report on combining and individual fund statements and schedules, which accompany the financial statements but are not RSI. With respect to this supplementary information, we made certain inquiries of management and evaluated the form, content, and methods of preparing the information to determine that the information complies with accounting principles generally accepted in the United States of America, the method of preparing it has not changed from the prior period, and the information is appropriate and complete in relation to our audit of the financial statements. We compared and reconciled the supplementary information to the underlying accounting records used to prepare the financial statements or to the financial statements themselves.

We were not engaged to report on introductory or statistical sections of the Annual Comprehensive Financial Report, which accompany the financial statements but are not RSI. Such information has not been subjected to the auditing procedures applied in the audit of the basic financial statements, and accordingly, we do not express an opinion or provide any assurance on it.

The following new Governmental Accounting Standards Board (GASB) pronouncements were effective for fiscal year 2020-2021 audit:

GASB Statement No. 84, *Fiduciary Activities*.

GASB Statement No. 90, *Majority Equity Interests - an Amendment of GASB Statement Nos. 14 and 61*.

GASB Statement No. 98, *the Annual Comprehensive Financial Report*.

The following GASB pronouncements are effective in the following fiscal years' audits and should be reviewed for proper implementation by management:

Fiscal year 2022

GASB Statement No. 87, *Leases*.

GASB Statement No. 89, *Accounting for Interest Cost Incurred before the End of a Construction Period*.

GASB Statement No. 97, *Certain Component Unit Criteria, and Accounting and Financial Reporting for Internal Revenue Code Section 457 Deferred Compensation Plans*.



To the Honorable Mayor and Members of the City Council  
City of Solana Beach, California

Fiscal year 2023

GASB Statement No. 91, *Conduit Debt Obligations*.

GASB Statement No. 94, *Public-Private and Public-Public Partnerships and Availability Payment Arrangement*.

GASB Statement No. 96, *Subscription-Based Information Technology Arrangements*.

**Restriction on Use**

This information is intended solely for the use of City Council and management of the City and is not intended to be, and should not be, used by anyone other than these specified parties.

Very truly yours,

A handwritten signature in black ink that reads "Lance, Solt &amp; Lughard, LLP". The signature is written in a cursive, flowing style.

Brea, California



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **City Council Consideration of North Highway 101 Speed Survey and to Provide Direction on Citywide Traffic Calming Measures; and Consideration of Resolution 2022-012 Establishing a 35 MPH Speed Limit on North Highway 101**

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### **BACKGROUND:**

The City Council (Council) periodically evaluates various traffic calming issues and provides direction to Staff for funding and implementation strategies for such projects. During discussions and development of the City's Fiscal Year (FY) 2021/22 Work Plan, the Council expressed interest in implementing traffic calming measures in various City neighborhoods subject to involvement from the community members. Several communities expressed interest in traffic calming measures for their neighborhoods. While Staff addressed a few neighborhoods, there are others that require City Council's involvement. The neighborhoods and proposed traffic calming measures for which Council consideration is requested are as follow:

- South Sierra Avenue speed cushions, two locations between Border Avenue and Dahlia Drive.
- Santa Helena Drive speed choker, one location between Sun Valley Road and Santa Rosita.
- North Highway 101 speed limit reduction, 40 miles per hour (MPH) to 35 MPH, from Cliff Street to the northerly City boundary.

This item is presented to Council to consider and provide direction on implementing the two proposed traffic calming measures and for the consideration of the North Highway 101 speed survey, and establishment of a speed limit of 35 MPH on North Highway 101 from Cliff Street to the northerly City boundary, subject to approval of Resolution 2022-012 (Attachment 1).

COUNCIL ACTION:

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## **DISCUSSION:**

In November 2019, the City Council adopted Council Policy No. 25 (Attachment 2) for Installation of Speed Cushions in Residential Neighborhoods. Since adoption of this policy, Staff has worked in collaboration with two neighborhoods to successfully install speed cushions. Those two neighborhoods are:

- Glencrest Drive between Dell Street and Glencrest Place
- Highland Drive between San Lucas Drive and San Andres Drive

Two more sets of speed cushions have been approved and will soon be installed on South Cedros Avenue between Cofair and Marsolan Avenues as part of the City's annual Pavement Rehabilitation Project. These projects were successfully implemented because they are consistent with the Council Policy 25.

The proposed traffic calming measures listed below require direction from the City Council before implementation can proceed.

### **South Sierra Avenue Speed Cushions**

In response to a request for speed cushions on South Sierra south of Dahlia Drive, Staff worked with community members to identify two sets of potential speed cushions that comply with Policy 25 (Attachment 3). This proposal requires the City Council's approval because one set of speed cushions is proposed adjacent to a City-owned parking lot. Council Policy 25 requires a petition to be circulated in the neighborhood that must be supported by 67% of the adjacent property owners. The City owns the property on which City Hall is located, in addition to a total of four parking lots within the boundary of the community in which the speed cushions are proposed. It is important to note that the proposed speed cushions appear to have the support of many residents on the west side of South Sierra Avenue. Staff has not yet authorized circulation of the petition for these speed cushions. Staff is seeking City Council's direction on these speed cushions before doing so.

### **Santa Helena Chokers**

The residents in this community have expressed concerns about the speed of traffic for many years. In response to these concerns, Staff has met with community members several times and has implemented several traffic calming measures along Santa Helena. These measures have included the installation of a buffered bike lane on the uphill direction of the street and sharrow bike lanes on the downhill direction, narrowing the vehicle travel lanes, placement of electronic speed indicator signs, and additional enforcement by the Sheriff's Traffic Deputy in the community. Based on speed survey data, these efforts have proved to be fairly effective, however, some community members believe that more needs to be done.



Santa Helena is a meandering road with several horizontal curves. Many segments of this road are also located on steep slopes. The combination of steep slopes and horizontal curvature of this road, combined with the narrow lane widths particularly on the downhill direction and the presence of a raised median makes this roadway segment ineligible for speed cushions under Policy 25. Additionally, given the proximity of this street to the Very High Fire Hazard Severity (VHFHS) Zone in the Wildland Urban Interface (WUI) of the San Elijo Lagoon, it is also important to note that the installation of speed cushions or any other traffic calming measure at this location raise concerns of the Fire Department as Santa Helena is identified as a collector road in the Circulation Element and is also considered an evacuation route during emergencies. Staff has coordinated with the Fire Department, however, to present a temporary traffic calming measure for both Council and the community's consideration.

Staff engaged the services of our on-call traffic engineering consultants to develop other potential traffic calming options for this stretch of road. The consultant developed a design concept for one set of "chokers" on Santa Helena between Sun Valley and Santa Rosita, which would involve the placement a physical barrier to constrain a short segment of approximately 10 feet of the road to slow down traffic (see Attachment 4). Because there is no policy for the implementation of chokers in the City, Staff is seeking Council direction on this potential traffic calming measure. If directed by Council, Staff recommends that, prior to installation, Staff work with community members on this concept and facilitate circulation of a petition as outlined in Council Policy 25 to determine if such a proposal has support. If acceptable to the community, Staff further recommends that this proposal be initially implemented as a temporary and easily removable installation to test its effectiveness and desirability. Staff is seeking Council input and direction on this potential traffic calming element.

#### North Highway 101 Speed Limit Reduction, 40 MPH to 35 MPH

In 2009, the City implemented the Highway 101 Westside Improvement Project including a comprehensive streetscape improvement transforming an old highway into a walkable and vibrant business district. Among many benefits of this project was the fact that the preexisting traffic speed of 40 MPH was reduced to 35 MPH within the proposed improvement corridor limit (from Dahlia Drive on the south to Cliff Street on the north). The speed limits for the rest of the Highway 101 within the City remained at 40 MPH.

Several years later, the City of Encinitas introduced their own streetscape project on Highway 101 immediately north of the Solana Beach/Encinitas jurisdictional boundary through the Cardiff community. Under this project, the City of Encinitas constructed cycle tracks on both sides of Highway 101 and a pedestrian walkway along the west side. As a result of these improvements, the City of Encinitas reduced the speed limit from 40 MPH to 35 MPH within the project corridor.

With the implementation of the 35 MPH zone by the City of Encinitas, currently there is a small segment of Highway 101 from Cliff Street to the northerly City Boundary that is posted at 40 MPH between two longer segments that area each posted at 35 MPH. The

City engaged the professional services of our on-call Traffic Engineers and asked for an analysis of this 40 MPH segment. The consultant performed a comprehensive speed/engineering and traffic survey and concluded that the subject gap may also be posted at 35 MPH (See Attachment 5). The 85<sup>th</sup> percentile (the speed at which 85 percent of all vehicles on both directions travel at or below) of vehicles surveyed were traveling 36 MPH northbound and 35 MPH southbound. Vehicle Code Section 22358.6 provides for rounding to the nearest five miles per hour increment of the 85<sup>th</sup> percentile of the free-flowing traffic.

The survey is consistent with applicable law. It was performed using the methodology prescribed in Section 2B.13 of the California Manual on Uniform Traffic Control Devices (MUTCD). Vehicle Code Section 627(b) requires that engineering and traffic survey include consideration of all of the following: (1) prevailing speeds as determined by traffic engineering measurements; (2) accident records; and (3) highway, traffic, and roadside conditions not readily apparent to the driver. Prevailing speeds and accidents are set forth in the survey. There are no highway, traffic, and roadside conditions not readily apparent to the driver on this segment of Highway 101.

The City Council is being asked to validate the engineering and traffic study contained in Attachment 5 and to adopt Resolution 2022-012 to establish a speed limit of 35 MPH as most appropriate to facilitate the orderly movement of traffic and as reasonable and safe.

#### **CEQA COMPLIANCE STATEMENT:**

The speed cushion and choker projects are exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines, which categorically exempts the minor alteration of existing public or private structures, facilities, or topographical features involving negligible or no expansion of the use. The proposed speed cushions constitute a minor alteration of a public facility (*i.e.*, a public street) and do not or negligibly expand that existing facility. Section 15301(c) includes “road grading for the purposes of public safety” and changing the roadway elevation by adding a vertical deflection in the form of speed cushions to an otherwise flat road surface to slow traffic speeds constitutes “grading for the purposes of public safety.”

Reduction of the speed limit on North Highway 101 from 40 MPH to 35 MPH is not a “project” as defined by CEQA and is exempt pursuant to Section 15061(b)(3) of the State CEQA Guidelines (14 CCR 15061(b)(3)) because there is no possibility that the activity in question may have a significant effect on the environment because the 85<sup>th</sup> percentile of traffic is already flowing at 35-36 MPH. Alternatively, the action is exempt under Section 15301(c) of the State CEQA Guidelines.

#### **FISCAL IMPACT:**

Staff estimates that the installation of one set of speed cushions would cost approximately \$12,000 per location. It is also estimated that the chockers and associated signs and pavement markings would cost approximately the same amount as the speed cushions.

If the modified speed limit along Highway 101 is approved, the cost associated with this change is estimated at \$450.

**WORK PLAN:**

This Project is consistent with Item B.4 of the Community Character Priorities/Capital Projects section of the FY 2021/22 Work Plan.

**OPTIONS:**

- Approve Staff recommendation.
- Deny Staff recommendation and provide direction.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Validate the North Highway 101 Engineering and Traffic Speed Survey performed by STC Traffic (Attachment 3).
2. Adopt Resolution 2022-012 determining that upon the basis of the Engineering and Traffic Speed Survey, that North Highway 101, between Cliff Street and the northern city limit, the speed limit shall be 35 miles per hour, which is the most appropriate speed to facilitate the orderly movement of traffic and is reasonable and safe.
3. Consider and provide direction to Staff on implementing the three proposed traffic calming measures at San Mario, South Sierra and Santa Helena.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



---

Gregory Wade, City Manager

Attachments:

1. Resolution 2022-012
2. Council Policy No. 25 Installation of Speed Cushions in Residential Neighborhoods
3. Proposed South Sierra Speed Cushions
4. Santa Helena Choker
5. North Highway 101 Engineering and Traffic Speed Survey performed by STC Traffic

## RESOLUTION 2022-012

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DECLARING A 35 MPH SPEED LIMIT ON NORTH HIGHWAY 101

**WHEREAS**, the California Vehicle Code requires that an Engineering and Traffic Survey be conducted every five years or when the speed limits are proposed to be revised on streets where the enforcement of speed limits involves the use of radar or other electronic devices to measure vehicle speeds; and

**WHEREAS**, the City of Solana Beach City Council performed a citywide engineering and traffic speed survey in 2016; and

**WHEREAS**, the City Engineering Department Commissioned STC Traffic Engineering Consultant to perform a new speed survey on North Highway 101 between Cliff Street and the northerly city limit dated January 7, 2022 (the "Survey"); and

**WHEREAS**, at a regular meeting of the City Council on February 9, 2022, the City Council reviewed and validated the Survey, which supports setting the speed limit at 35 miles per hour on North Highway 101, between Cliff Street and the northerly city limit, pursuant to Vehicle Code section 627(b); and

**WHEREAS**, the City Council finds and determines, upon the basis of the Engineering and Traffic Speed Survey, that a speed limit of 35 miles per hour is the most appropriate speed limit to facilitate the orderly movement of traffic on North Highway 101, between Cliff Street and the northerly city limit, and is reasonable and safe.

**NOW THEREFORE**, the City Council of the City of Solana Beach does ordain as follows:

1. That the above recitations are true and correct.
2. That the City Council validates the North Highway 101 Engineering and Traffic Speed Survey performed by STC Traffic.
3. That this action is exempt from the provisions of the California Environmental Quality Act ("CEQA") pursuant to Section 15061(b)(3) of the CEQA Guidelines (14 CCR 15061) because there is no possibility that the activity in question may have a significant effect on the environment and is not a project as defined by CEQA.
4. That City Council finds and determines, and declares, upon the basis of the Engineering and Traffic Speed Survey, that the speed limit shall be 35 miles per hour on North Highway 101, between Cliff Street and the northerly city limit.

**PASSED AND ADOPTED** this 9th day of February, 2022, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

<b>CITY OF SOLANA BEACH</b>	<b>Policy No. 25</b>
<b>COUNCIL POLICY STATEMENT</b>	<b>Adopted:</b> November 20, 2019 <b>Effective:</b> November 20, 2019
<b>GENERAL SUBJECT:</b> Traffic Calming	
<b>SPECIFIC SUBJECT:</b> Installation of Speed Cushions in Residential Neighborhoods	

**PURPOSE:** To establish a policy for the installation of speed cushions in residential neighborhoods.

**BACKGROUND:** One of the most common source of concern for the residents in Solana Beach is the traffic speed in residential neighborhoods. Staff has traditionally employed a number of measures to slow down traffic and make residential neighborhoods more user-friendly for walking and biking. However, in some neighborhoods the implemented measures have not been very effective. It has been demonstrated that introduction of a vertical deflection in roadways will force drivers to slow down. The main issue is that vertical deflections are essentially roadway obstacles for drivers and if improperly designed or placed in undesirable locations, will negatively affect neighborhoods.

While some residents support certain types of vertical deflections, such installations are not always favored among other community members and emergency responders. After extensive research and consultations with experts including the City’s traffic engineers, it is concluded that speed cushions are considered the most effective and least controversial traffic calming measures as compared to all other vertical deflections. Speed cushions have mild and gentle profile and when properly installed, drivers can travel between 10 to 15 MPH with little to no significant disruption. They may be placed longitudinally in the roadway in the direction of traffic with a gap specifically designed to match the wheel tracks of fire vehicles. Field tests reported by the Federal Highway Administration have shown speed cushions to reduce general vehicle speeds while providing little to no delay to fire vehicles since they are able to straddle the cushions.

**POLICY PROCEDURES:**

The City Council establishes the following policy for the installation of speed cushions in residential neighborhoods.

Section 1. Steps for Implementing Speed Cushions in Residential Neighborhoods

- a. Solana Beach residents may submit a request on behalf of their neighborhood for the proposed installation of speed cushions.
- b. City Staff determines if the roadway segment is eligible for the placement of speed cushions subject to the Roadway Segment Eligibility Criteria outlined in Section 2 below. If the roadway segment is determined to be ineligible, City Staff will meet with the residents of the neighborhood to discuss alternative traffic calming measures such as education, enforcement, signing and striping.
- c. If the roadway segment meets criteria “a” through “h” of the Roadway Segment Eligibility Criteria in Section 2, a speed survey will be conducted and evaluated by City Staff and City’s Traffic Engineer.
- d. Upon completion of the speed survey, City Staff will determine whether the request meets the Design Criteria outlined in Section 3 below. If it does not comply, City Staff will meet with the residents of the neighborhood to discuss alternative traffic calming measures such as education, enforcement, signage and striping. Requests that do not comply with this Policy would be assessed for other traffic calming measures or presented to the City Council for consideration.
- e. A preliminary speed cushion design including the number and proposed location(s) and the corresponding signage and striping for the speed cushions will be prepared by City Staff in consultation with the City’s Traffic Engineer, Fire Marshal, and Deputy Sheriffs pursuant to the Design Criteria of Section 3 below.
- f. A petition will be circulated by and within the neighborhood requesting the speed cushions to determine whether the proposal is acceptable as provided in the Community and Stakeholder Support Criteria in Section 4 below.
- g. If, following the petition conducted pursuant to subsection “f” above, the proposed speed cushions are determined to be acceptable to the neighborhood, a final design and location(s) of the proposed speed cushion(s) will be prepared by City Staff and presented to and confirmed with the neighborhood consistent with the preliminary design and circulated petition. The process would then move to subsection “i” below.
- h. If the neighborhood does not support the speed cushion installation, then Staff would return to Step “e” above. At this point Staff would also discuss alternative traffic calming measures such as education, enforcement, signage and striping or prepare a report for City Council’s consideration.
- i. City Staff implements the final speed cushion design subject to the available budget and/or an approved Capital Improvement Program project consistent with Section 5 below.

- j. After six months, the speed cushion installation will be evaluated for effectiveness. If the 85<sup>th</sup> percentile speed is less than 28 mph, the speed cushion installation is considered effective and no further action is required. If the 85<sup>th</sup> percentile speed is 28 mph or above, the speed cushion installation is considered ineffective and the speed cushion installation is evaluated for possible removal. Input from the surrounding neighborhood would be considered before any speed cushions are removed.

## Section 2. Roadway Segment Eligibility Criteria

- a. Roadway is only 2 lanes wide (40 feet maximum width).
- b. Roadway is not a designated truck, bus or emergency route.
- c. The speed limit is 25 miles per hour (mph).
- d. The maximum grade of the roadway segment is 5%.
- e. The minimum length of the roadway segment is 500 feet.
- f. The minimum traffic volume is 300 vehicles per day.
- g. The maximum traffic volume is 4,000 vehicles per day.
- h. The 85th percentile speed exceeds 25 mph by 3 mph.
- i. Consideration should be given for speed related accident history and proximity to schools.

## Section 3. Design Criteria

- a. The design of the speed cushions is consistent with City of Solana Beach Speed Cushion Design Guide to the satisfaction of the City Engineer.
- b. If multiple speed cushions are considered, spacing should be approximately 200 feet apart (+/- 50 feet).
- c. Speed cushions are at least 150 feet from an intersection, horizontal curve or vertical curve.
- d. Proper signage and roadway legends shall be included in the installation.

## Section 4. Community and stake holder support Criteria

- a. 67% of the Property owners on the street segment are in support the installation (1 vote per property).
- b. 100% of the property owners immediately adjacent to the speed cushion support the installation and location (1 voter per property).
- c. Consideration should be given for diversion of vehicles to adjacent neighboring residential streets.
- d. Location will be reviewed and coordinated with emergency responders.

## Section 5. Funding Options (not in order of priority)



- a. Grant funding available for a portion or all of the proposed speed cushions.
- b. Project is included in the Capital Improvement Program project.
- c. Residents fund speed cushion installation.

Attachments:

- 1. Resolution of Policy Approval (Resolution 2019-107)
- 2. Petition for Installation of Speed Cushions

# Speed Cushion Petition



**City of Solana Beach  
Engineering Department  
635 South Highway 101  
Solana Beach, CA 92075**

We, the undersigned property owners hereby request the City of Solana Beach install speed cushions on \_\_\_\_\_ (street) between \_\_\_\_\_ (street) and \_\_\_\_\_ (street).

We certify that we are legal homeowners of the property affected by the proposed speed cushion. We understand that in order for the City to consider installing speed cushions, this petition requires that contact be made to every homeowner on the affected street segment and to obtain signatures in favor of the proposed speed cushion from at least 67% of property owners on the affected street segment and 100% of the property owners immediately adjacent to the proposed speed cushions. If no response is checked for an address, two separate attempts of contact are required with the date and time of attempted contact documented.

We, the undersigned, further understand the following:

- Speed cushions with related signage and pavement markings may be installed in front of my house or adjacent to my driveway approach and may eliminate our ability to park along the street.
- Installing speed cushions may increase noise levels and delay emergency response time.
- Speed cushions may affect the effectiveness of street sweeping operations.
- The proposed street segment must meet all requirements outlined in the City of Solana Beach Speed Cushion criteria and procedures.
- Receipt of this petition by the City of Solana Beach does not guarantee installation of speed cushions.

**Before you sign this petition, please be sure to read and understand the City of Solana Beach Council Policy for the Installation of Speed Cushions in Residential Neighborhoods (attached).**

<input type="checkbox"/> <b>YES</b> , I favor speed cushion on my street.	<input type="checkbox"/> <b>NO</b> , I do not favor speed cushion on my street.
<b>Address:</b> _____ <b>APN</b> _____	
<b>Signature:</b> _____	
<b>Name:</b> _____ <small>(Please Print)</small>	
<input type="checkbox"/> <b>NO RESPONSE</b> 1 <sup>st</sup> Contact: _____ (date) : _____ (time)	
2 <sup>nd</sup> Contact: _____ (date) : _____ (time)	

<input type="checkbox"/> <b>YES</b> , I favor speed cushion on my street.	<input type="checkbox"/> <b>NO</b> , I do not favor speed cushion on my street.
<b>Address:</b> _____ <b>APN</b> _____	
<b>Signature:</b> _____	
<b>Name:</b> _____ <small>(Please Print)</small>	
<input type="checkbox"/> <b>NO RESPONSE</b> 1 <sup>st</sup> Contact: _____ (date) : _____ (time)	
2 <sup>nd</sup> Contact: _____ (date) : _____ (time)	

CITY USE ONLY  
Date Received: \_\_\_\_\_

# Speed Cushion Petition



City of Solana Beach  
Engineering Department  
635 South Highway 101  
Solana Beach, CA 92075

<input type="checkbox"/> YES, I favor speed cushion on my street.	<input type="checkbox"/> NO, I do not favor speed cushion on my street.
Address: _____ APN _____	
Signature: _____	
Name: _____ (Please Print)	
<input type="checkbox"/> NO RESPONSE	1 <sup>st</sup> Contact: _____ (date) : _____ (time)
	2 <sup>nd</sup> Contact: _____ (date) : _____ (time)

---

<input type="checkbox"/> YES, I favor speed cushion on my street.	<input type="checkbox"/> NO, I do not favor speed cushion on my street.
Address: _____ APN _____	
Signature: _____	
Name: _____ (Please Print)	
<input type="checkbox"/> NO RESPONSE	1 <sup>st</sup> Contact: _____ (date) : _____ (time)
	2 <sup>nd</sup> Contact: _____ (date) : _____ (time)

---

<input type="checkbox"/> YES, I favor speed cushion on my street.	<input type="checkbox"/> NO, I do not favor speed cushion on my street.
Address: _____ APN _____	
Signature: _____	
Name: _____ (Please Print)	
<input type="checkbox"/> NO RESPONSE	1 <sup>st</sup> Contact: _____ (date) : _____ (time)
	2 <sup>nd</sup> Contact: _____ (date) : _____ (time)

---

<input type="checkbox"/> YES, I favor speed cushion on my street.	<input type="checkbox"/> NO, I do not favor speed cushion on my street.
Address: _____ APN _____	
Signature: _____	
Name: _____ (Please Print)	
<input type="checkbox"/> NO RESPONSE	1 <sup>st</sup> Contact: _____ (date) : _____ (time)
	2 <sup>nd</sup> Contact: _____ (date) : _____ (time)

---

<input type="checkbox"/> YES, I favor speed cushion on my street.	<input type="checkbox"/> NO, I do not favor speed cushion on my street.
Address: _____ APN _____	
Signature: _____	
Name: _____ (Please Print)	
<input type="checkbox"/> NO RESPONSE	1 <sup>st</sup> Contact: _____ (date) : _____ (time)
	2 <sup>nd</sup> Contact: _____ (date) : _____ (time)

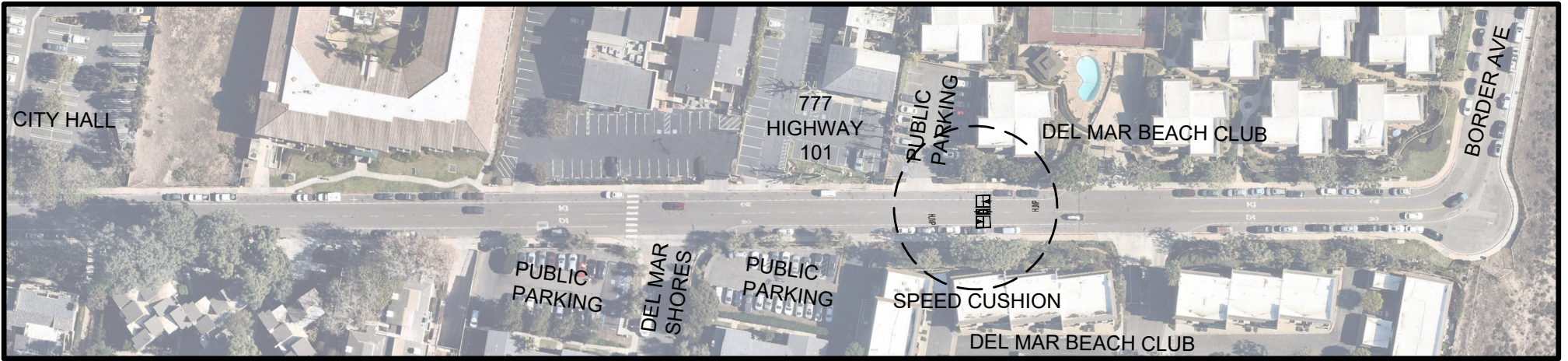
CITY USE ONLY  
Date Received: \_\_\_\_\_



# PROPOSED SPEED CUSHIONS

## SAN MARIO DRIVE





SOUTH SIERRA AVENUE  
 PROPOSED SPEED CUSHIONS



Spring-back flexible posts

Painted edge lines with RPMs



14" wide  
2.25" high  
Rubber  
Speed Bump

Will not affect  
trash trucks.

Santa Helena westbound



**CITY OF SOLANA BEACH  
ENGINEERING & TRAFFIC SURVEY**

<b>Radar Enforceable? YES</b>
---------------------------------------

<b>Street:</b>	Highway 101		
<b>From:</b>	North City Limit	<b>To:</b>	Lomas Santa Fe Drive

<b>Date of Speed Survey:</b>	12/08/21	
<b>Road Direction</b>	Northbound	Southbound
<b>Critical Speed (85<sup>th</sup>)</b>	36 MPH	35 MPH
<b>50<sup>th</sup> Percentile</b>	33 MPH	32 MPH
<b>Existing Posted Speed Limit</b>	35 MPH	35 MPH
<b>10 MPH Pace</b>	29-38 MPH	28-37 MPH
<b>Percent in Pace</b>	86%	89%

<b>CRS Street Classification:</b>	Major Arterial (4-Lanes)
<b>Length of Street Segment:</b>	0.72 miles
<b>Average Daily Traffic:</b>	15,175
<b>Total Accidents:</b>	5
<b>Evaluation Period:</b>	January 1, 2018 – December 31, 2020
<b>Accident Rate (MVM):</b>	0.42
<b>California Statewide Accidents Rate (MVM):</b>	1.21

**Justification:** Establishment of a new speed survey was based on the critical speed and the limits of Highway 101 from North City limits to Lomas Santa Fe Drive. This section of Highway 101 is classified as a 4-lane major arterial roadway.

**TRAFFIC ENGINEER'S RECOMMENDATIONS/AUTHORITY:**

Posted Speed Limit: **35 MPH**

This survey was prepared in accordance with the requirements of Section 627 of the California Vehicle Code using methods prescribed in Section 2B.13 of the California Manual on Uniform Traffic Control Devices. Based on the measured critical speeds and the not readily apparent conditions, it is appropriate and justified to recommend the posted speed limit be **35 MPH** along the subject segment of the road.

**APPROVALS:**

- Recertification of the existing speed zone per Sections 22357, 22358, and 40802 of the California Vehicle Code
- Establishment of new speed zone



**APPROVED:**

**DATE:** 1/7/2022

## **Appendix A – Traffic Count Data**



# City of Solana Beach

## Radar Speed Survey

			MPH	Vehicles Surveyed										TOT.	
Speed	NB	SB		Northbound					Southbound					VEH.	
55	0	0	55												0
54	0	0	54												0
53	0	0	53												0
52	0	0	52												0
51	0	0	51												0
50	0	0	50												0
49	0	0	49												0
48	0	0	48												0
47	0	0	47												0
46	0	0	46												0
45	0	0	45												0
44	0	0	44												0
43	1	0	43	X											1
42	0	1	42						X						1
41	0	0	41												0
40	0	1	40						X						1
39	3	0	39	X	X	X									3
38	7	1	38	X	X	X	X	X	X			X			8
37	4	5	37	X	X	X	X				X	X	X	X	9
36	2	7	36	X	X						X	X	X	X	9
35	9	4	35	X	X	X	X	X	X	X		X	X	X	13
34	10	7	34	X	X	X	X	X	X	X	X	X	X	X	17
33	12	6	33	X	X	X	X	X	X	X	X	X	X	X	18
32	18	15	32	X	X	X	X	X	X	X	X	X	X	X	33
31	11	12	31	X	X	X	X	X	X	X	X	X	X	X	23
30	7	11	30	X	X	X	X	X			X	X	X	X	18
29	6	12	29	X	X	X	X	X			X	X	X	X	18
28	5	10	28	X	X	X	X				X	X	X	X	15
27	2	5	27	X	X						X	X	X	X	7
26	1	0	26	X											1
25	2	3	25	X	X					X	X	X			5
24	0	0	24												0
23	0	0	23												0
22	0	0	22												0
21	0	0	21												0
20	0	0	20												0
19	0	0	19												0
18	0	0	18												0
17	0	0	17												0
16	0	0	16												0
15	0	0	15												0
14	0	0	14												0
13	0	0	13												0
12	0	0	12												0
11	0	0	11												0
10	0	0	10												0
9	0	0	9												0
8	0	0	8												0
7	0	0	7												0
6	0	0	6												0
5	0	0	5												0
<b>Total</b>	<b>100</b>	<b>100</b>		<b>GRAND TOTALS</b>										<b>200</b>	

**Location:** Highway 101  
**Between:** Estrella Street - Lomas Santa Fe Drive  
**Weather:** Clear  
**Date:** 12/8/21  
**Time From:** 11:20  
**Time To:** 11:45  
**Existing Speed Limit:** 35 MPH

	Northbound	Southbound	Combined Statistics
<b>% Over Pace:</b>	4%	3%	7%
<b>% In Pace:</b>	86%	89%	87%
<b>% Under Pace:</b>	10%	8%	7%
<b>Average Speed:</b>	33 MPH	32 MPH	32 MPH
<b>Pace Speed:</b>	29 - 38 MPH	28 - 37 MPH	28 - 37 MPH
<b>15th Percentile / Critical Speed:</b>	29 MPH	28 MPH	29 MPH
<b>50th Percentile / Critical Speed:</b>	32 MPH	31 MPH	32 MPH
<b>85th Percentile / Critical Speed:</b>	36 MPH	35 MPH	36 MPH



**Radar Survey Conducted By:**  
**Counts Unlimited, Inc.**  
**PO Box 1178**  
**Corona, CA 92880**  
**T 951-268-6268 F 951-268-6267**

# Counts Unlimited, Inc.

City of Solana Beach  
 Highway 101  
 B/ Estrella Street - Lomas Santa Fe Drive  
 24 Hour Directional Volume Count

PO Box 1178  
 Corona, CA 92878  
 Phone: (951) 268-6268  
 email: counts@countsunlimited.com

SNB101ESLS  
 Site Code: 999-21740

Start Time	08-Dec-21 Wed	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		4	166			7	135				
12:15		2	159			3	154				
12:30		1	171			3	146				
12:45		5	151	12	647	5	130	18	565	30	1212
01:00		2	139			3	114				
01:15		0	155			4	157				
01:30		3	140			4	140				
01:45		0	147	5	581	6	149	17	560	22	1141
02:00		1	149			0	142				
02:15		3	142			2	143				
02:30		0	140			1	127				
02:45		0	179	4	610	0	142	3	554	7	1164
03:00		2	215			4	149				
03:15		3	265			1	152				
03:30		1	276			0	132				
03:45		0	262	6	1018	0	110	5	543	11	1561
04:00		0	272			1	158				
04:15		2	262			0	136				
04:30		1	275			5	135				
04:45		8	287	11	1096	7	139	13	568	24	1664
05:00		0	263			2	131				
05:15		6	261			8	155				
05:30		8	287			8	120				
05:45		20	195	34	1006	14	99	32	505	66	1511
06:00		25	213			15	90				
06:15		17	111			38	86				
06:30		25	95			51	58				
06:45		33	84	100	503	66	74	170	308	270	811
07:00		38	76			81	65				
07:15		45	63			75	66				
07:30		71	49			106	65				
07:45		81	45	235	233	127	53	389	249	624	482
08:00		86	46			144	48				
08:15		113	34			131	49				
08:30		85	38			148	37				
08:45		119	22	403	140	138	55	561	189	964	329
09:00		112	30			113	40				
09:15		84	28			121	41				
09:30		90	21			101	38				
09:45		116	18	402	97	113	31	448	150	850	247
10:00		105	12			107	30				
10:15		98	20			126	17				
10:30		106	13			128	18				
10:45		144	16	453	61	107	9	468	74	921	135
11:00		126	5			130	11				
11:15		122	4			136	10				
11:30		137	6			137	9				
11:45		152	3	537	18	138	3	541	33	1078	51
<b>Total</b>		2202	6010	2202	6010	2665	4298	2665	4298	4867	10308
<b>Combined Total</b>		8212		8212		6963		6963		15175	
AM Peak	-	11:00	-	-	-	08:00	-	-	-	-	-
Vol.	-	537	-	-	-	561	-	-	-	-	-
P.H.F.	-	0.883	-	-	-	0.948	-	-	-	-	-
PM Peak	-	-	04:45	-	-	-	01:15	-	-	-	-
Vol.	-	-	1098	-	-	-	588	-	-	-	-
P.H.F.	-	-	0.956	-	-	-	0.936	-	-	-	-
Percentage		26.8%	73.2%			38.3%	61.7%				
ADT/AADT		ADT 15,175		AADT 15,175							



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** February 9, 2022  
**ORIGINATING DEPT:** City Manager  
**SUBJECT:** **San Diego Association of Governments (SANDAG) 2021 Board Member Annual Report**

---

## **BACKGROUND:**

On October 11, 2017, then-Governor Jerry Brown signed Assembly Bill (AB) 805 which, among other things, revised the manner in which transportation agencies in San Diego County governed, including specifying membership requirements for the San Diego Association of Governments (SANDAG) Board of Directors (Board) and modifying the Board's weighted voting process.

Also included in AB 805 and adopted as Government Code Section 132354.1.(e), is the following requirement:

*(e) The board members shall make an annual report to their member agencies at a public meeting pursuant to Chapter 9 (commencing with Section 54950) of Part 1 of Division 2 of Title 5 of the Government Code, that includes a summary of activities by the consolidated agency including, but not limited to, program developments, project updates, changes to voter-approved expenditure plans, and potential ballot measures.*

Attached to this Staff Report is SANDAG's 2021 Annual Report. This item is presented to the City Council (Council) to satisfy the above requirement and to allow the City's SANDAG Board Member, Mayor Heebner, to provide an update and overview of SANDAG's 2021 Annual Report (Attachment 1).

## **DISCUSSION:**

After several years of analysis, public engagement, and research, the first draft of the 2021 Regional Plan was released in May 2021 for review and comment. In August 2021, SANDAG released a draft Environmental Impact Report (EIR) for the 2021 Regional Plan and the proposed final 2021 Regional Plan and final EIR were published on November 30, 2021.

SANDAG held workshops, webinars, public meetings, and community engagement activities to educate the public about the Plan. After receiving public feedback and engaging in public policy discussion, the SANDAG Board adopted the final 2021 Regional Plan and certified the EIR at its meeting on December 10, 2021.

CITY COUNCIL ACTION: \_\_\_\_\_  
\_\_\_\_\_

The 2021 Regional Plan is intended to provide a vision for the region's transportation and transit needs with proposed improvements planned out to 30 years into the future. The Annual Report indicates that SANDAG would immediately start working to advance certain priority projects that include, but are not limited to, the following:

- Opening the new Otay Mesa East Port of Entry and Smart Border Management System
- Relocating the LOSSAN rail corridor off the bluffs
- Advancing the Central Mobility Hub to provide direct transit connections to the San Diego International Airport
- Blue Line Express
- Purple Line
- Regional Vision Zero action plan and policy
- Digital Equity Action Plan

The Annual Report then provides a summary of some of these priority projects.

**CEQA COMPLIANCE STATEMENT:**

Presentation of the SANDAG 2021 Annual Report is not a project as defined by CEQA.

**FISCAL IMPACT:**

There is no immediate fiscal impact to the City associated with this presentation.

**WORK PLAN:**

N/A

**OPTIONS:**

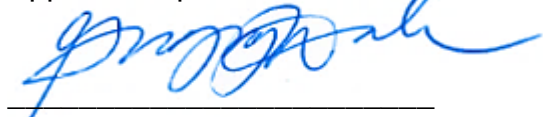
This is an informational item required under the California Government Code.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report of SANDAG's 2021 Annual Report.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



\_\_\_\_\_  
Gregory Wade, City Manager

Attachments:

1. SANDAG 2021 Annual Report

# 2021

## ANNUAL REPORT

# SANDAG

The San Diego region is home to 3.35 million residents who live in 18 incorporated cities and unincorporated areas of the County of San Diego. The San Diego Association of Governments (SANDAG) is the regional agency that connects people, places, and innovative ideas by implementing solutions with our unique and diverse communities. We are committed to creating a San Diego region where every person who visits, works, and lives can thrive. With oversight by a Board of Directors – made up of elected officials from the 18 city councils and the County Board of Supervisors – SANDAG works on a wide array of projects, programs, and initiatives that support the region's economy and protect our environment and quality of life. This report highlights some of SANDAG's accomplishments during 2021.

Click on each project's title for more information.



*A special thank you to our stakeholders, the community, and our transportation partners, Caltrans, MTS, and NCTD for their collaboration during 2021 on several of the projects and programs listed in this report.*

## 2021 REGIONAL PLAN

After years of analysis, public engagement, and research, the first draft of the 2021 Regional Plan was released in May 2021 for review and comment. In August 2021, SANDAG released a draft Environmental Impact Report (EIR) for the 2021 Regional Plan and the proposed final 2021 Regional Plan and final EIR were published on November 30, 2021.

SANDAG held numerous workshops, webinars, public meetings, and community engagement activities to educate the public about the Plan. In total, nearly 17,000 comments were received.

After extensive public feedback and public policy discussion, the SANDAG Board of Directors adopted the final 2021 Regional Plan and certified the EIR at its meeting on December 10, 2021.

The 2021 Regional Plan provides a vision for our future that leverages the latest technologies, meets all state and federal requirements, addresses traffic congestion and roadway safety, and improves social equity. While the Plan includes improvements 30 years into the future, SANDAG will immediately start working to advance projects, including but not limited to:

- Opening the new Otay Mesa East Port of Entry and Smart Border Management System
- Relocating the LOSSAN rail corridor off the bluffs
- Advancing the Central Mobility Hub to provide direct transit connections to the San Diego International Airport
- Blue Line Express
- Purple Line
- Regional Vision Zero action plan and policy
- Digital Equity Action Plan



The Mid-Coast Extension of the UC San Diego Blue Line Trolley is one of the largest transportation infrastructure projects in the history of the San Diego region. Construction began in the fall of 2016 and was completed on time and within budget in the fall of 2021. The UC San Diego Blue Line Trolley, operated by the Metropolitan Transit System (MTS), now extends service from Downtown San Diego 11 miles north to the University community. The extended line serves Mission Bay, the VA Medical Center, UC San Diego, Westfield UTC, and other major employment and activity centers. This project has expanded the region's Trolley system so that it now provides a one-seat ride from the U.S./Mexico Border all the way to the University community – with stops at several communities in between.

The Mid-Coast Trolley Extension showcases SANDAG's ability to plan, build, and deliver large-scale infrastructure projects by leveraging local funds to secure additional funding from state and federal sources. This major investment in regional transportation is the result of decades of planning, engineering, design, and construction – made possible through SANDAG's collaborative regional planning process.

In November 2021, SANDAG and MTS were presented with the first-ever Mid Coast Award from Circulate San Diego, created to honor the Mid-Coast Trolley Extension. The award recognized the project for its transformational impact on the San Diego region.





## SR 11/OTAY MESA EAST PORT OF ENTRY

SANDAG and Caltrans have been working closely with federal, state, and local governments in the United States and Mexico to develop a new land port of entry east of the Otay Mesa border crossing. In May 2021, the team completed the first segment of the new diverging diamond interchange – the first of its kind in the San Diego region. Following this milestone, dignitaries from both countries joined together in June to sign a Memorandum of Understanding that expresses their commitment to open the new port of entry by 2024. The team also initiated a new investment grade Traffic & Revenue study, which will guide the development of a bonding package.

SANDAG and Caltrans received the 2021 WTS San Diego County Innovative Transportation Solutions Award for SR 11 Segment 2A and Segment 4 South County Trade Corridor Project.

In December 2021, the team celebrated the completion of connectors from southbound SR 125 to eastbound SR 11 and SR 905. These connectors now provide travelers with direct access from East County to Otay Mesa.







## DEL MAR BLUFFS STABILIZATION

In late February 2021, a bluff collapse just south of 4th Street in Del Mar resulted in a slowdown of train traffic through Del Mar. SANDAG and the North County Transit District (NCTD) worked quickly to ensure safety and reliability along the line, for the region and the entire Los Angeles-San Diego-San Luis Obispo (LOSSAN) Rail Corridor, all while simultaneously exploring a long-term strategy to move the tracks off the bluffs. Emergency repairs included installing steel support columns into the bluffs to protect the tracks, rebuilding the bluff slope from the bottom up, installing sea walls to protect the toe of the bluffs, and installing drainage infrastructure to prevent further erosion. This project was awarded Project of the Year by the American Public Works Association (APWA) in the disaster/emergency category. Work began in March 2021, and it is continuing. Heavy construction tasks are expected to be completed in early 2022.





## CENTRAL MOBILITY HUB

The Central Mobility Hub is envisioned as a mixed-use, multimodal transportation center that connects all current and future modes of transportation and provides a direct link between San Diego International Airport and the regional transit system.

In April 2021, SANDAG initiated an environmental review for the project, which is required by the California Environmental Quality Act (CEQA). A Notice of Preparation of the Environmental Impact Report (EIR) was released to begin a 30-day public scoping period, during which the public could submit comments on the project, suggest alternatives, and raise issues to address in the EIR. SANDAG received significant public input and is now preparing technical studies to support the consideration of the proposed project at several potential alternatives: The Navy Old Town Campus site, the Intermodal Transportation Center site, the Port of San Diego site, a Downtown San Diego Civic Center site, and a Trolley connection to the airport.



**Regional Bike Plan Early Action Program (EAP) Budget Amendment**

At the SANDAG Board of Directors meeting on September 24, 2021, the Board approved a Fiscal Year 2022 budget amendment for the EAP, reallocating \$2.3 million to the budget and accepting \$16.3 million in grant funds to help deliver regional bikeway connections.

**Rose Creek Bikeway**

The Rose Creek Bikeway project was completed in May 2021, filling a two-mile gap in the Coastal Rail Trail between the Rose Canyon Bike Path in University City and the Rose Creek Bike Path in Pacific Beach. This project was selected to receive a Merit Award in the American Council of Engineering Companies (ACEC) California 2022 Engineering Excellence Awards.

**Inland Rail Trail**

Phase 2 of the Inland Rail Trail was completed in January 2021, adding three miles of multi-use path along the NCTD SPRINTER rail line through parts of unincorporated San Diego County and the City of Vista. This project received a 2021 APWA Honor Award in the Sustainability/Green category and the 2021 WTS San Diego County Alternative Modes and Active Transportation Award.

**Georgia – Meade and Landis Bikeways**

The Georgia – Meade and Landis Bikeway projects are anticipated to open to the public in early 2022. Accomplishments this past year include the construction of neighborhood traffic circles, buffered bike lanes, and many other traffic-calming features along the project corridors in the North Park and Mid-City neighborhoods.

**Fourth and Fifth Avenue Bikeways**

The Fourth and Fifth Avenue Bikeways project is anticipated to open fully to the public in early 2022. Accomplishments this past year include the construction of separated bikeways, buffered bike lanes, and many safety improvements for people who walk, bike, and roll in Hillcrest, Bankers Hill, and Downtown San Diego.

**Pershing Bikeway**

Construction of the Pershing Bikeway is expected to begin in early 2022. The project will connect North Park and Downtown San Diego with separated biking and walking paths. Final design of the project concluded in 2021. The project was advertised for construction in the summer and the contract was executed in the fall.

**Bayshore Bikeway**

In 2021, SANDAG advertised the Bayshore Bikeway – Barrio Logan segment for construction and reviewed and evaluated bids. The project will stretch 2.5 miles along Harbor Drive between Park Boulevard and 32nd Street, connecting two existing segments of the Bayshore Bikeway. Construction is expected to begin in 2022.



## BUILD NCC

In mid-2021, Phase 1 of the SANDAG and Caltrans I-5 North Coast Corridor (Build NCC) Program broke ground on four miles of new carpool/HOV lanes on I-5, from Palomar Airport Road in Carlsbad to SR 78 in Oceanside. In May 2021, APWA awarded Build NCC its Project of the Year. The APWA recognized Build NCC for environmental sustainability efforts, in particular the San Elijo Lagoon Restoration Project which enhances tidal flows and creates improved coastal wetland habitats for wildlife that depend on the lagoon. The start of 2022 also marks the groundbreaking of the San Dieguito Lagoon Restoration Project in Del Mar.

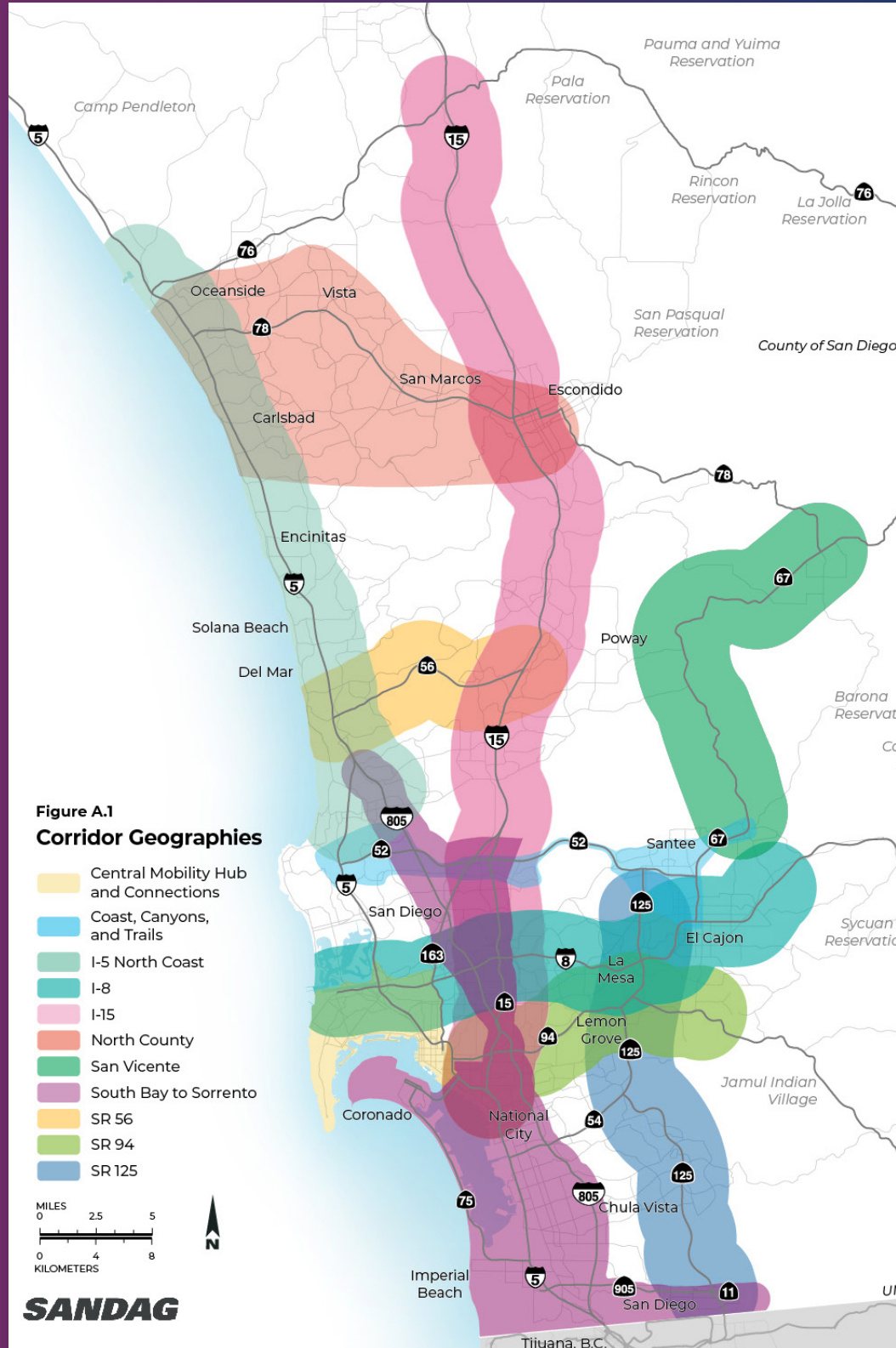
A new bike and pedestrian bridge, anticipated to be completed in April 2022, will be suspended below the reconstructed San Elijo Lagoon highway bridge and above the east basin channel and will connect Manchester Avenue to more than seven miles of trails. A new Multi-Use Facility at Manchester Avenue, providing EV charging, bike docking stations, and San Elijo Lagoon trail information, is scheduled for completion in late 2022.

Build NCC crews are expected to complete 13 miles of carpool/High Occupancy Vehicle (HOV) lanes on I-5 in 2022, between Lomas Santa Fe Drive in Solana Beach and Palomar Airport Road in Carlsbad.

## COMPREHENSIVE MULTIMODAL CORRIDOR PLANS

SANDAG and Caltrans are now developing their first five Comprehensive Multimodal Corridor Plans. Each corridor plan evaluates all modes of travel and all transportation facilities along a defined corridor – which can include highways and freeways, parallel and connecting roadways, transit (bus, bus rapid transit, light rail, intercity rail, etc.), pathways, and bikeways.

Corridors cover wide and diverse areas of the San Diego region, including the North County Corridor; the San Vicente Corridor; the Coast, Canyons, and Trails; the Central Mobility Hub and its Connections; and South Bay to Sorrento Valley. In 2021, all five corridor teams engaged with the public to gather feedback through public meetings, surveys, and comment forms. Each corridor team held lively public meetings, stakeholder advisory groups, and community roundtables to ensure that the plans include feedback directly from people who use the corridors. The Comprehensive Multimodal Corridor Plans are scheduled to be completed during the summer of 2022.



## DIGITAL EQUITY

In January 2021, the SANDAG Board of Directors adopted a resolution committing to bridging the digital divide. As a first step toward achieving this goal, SANDAG formed the Regional Digital Divide Taskforce consisting of representatives from public agencies, internet service providers, and non-profit organizations that are actively working to bridge the digital divide. The Taskforce worked collaboratively to develop the Regional Digital Equity Strategy and Action Plan.

In May 2021, SANDAG, Caltrans, and the County of San Diego partnered to identify \$7 million in funding to install fiber with the planned Caltrans SR 67 Pavement Rehabilitation project, which will fill a critical gap in the region's fiber network.

As 2021 comes to a close, the San Diego region is set to receive the largest investment statewide for broadband infrastructure improvements from the California Department of Technology. This is thanks in large part to partnership between SANDAG and Caltrans, work on the 2021 Regional Plan, and the efforts of the SANDAG Regional Digital Divide Taskforce to study the digital divide and develop a Digital Equity Strategy and Action Plan.

## REQUEST FOR INNOVATIVE CONCEPTS

In November 2021, SANDAG invited interested innovators, entrepreneurs, service providers, and mobility experts to submit innovative concepts for transportation "Connector" services that advance the transformative vision for transportation shaped by the SANDAG Draft 2021 Regional Plan's 5 Big Moves.

In 2022, SANDAG will evaluate how well Connector concepts advance the goal of a transportation system that is faster, fairer, and cleaner for everyone. The top three proposers will be awarded a \$50,000 stipend to further develop their concept and present their conceptual designs to a panel of experts. Ultimately, one or more firms will be selected to enter a partnership agreement where SANDAG and partners will pursue funding, plan, design, and build the Connector services.



## EL PORTAL UNDERCROSSING

In October, SANDAG and the City of Encinitas celebrated the halfway mark in construction on the El Portal Undercrossing project, which will provide pedestrians and cyclists with a new connection between Vulcan Avenue and N. Coast Highway 101. SANDAG crews have installed bridge foundations and set the new rail bridge and will continue installing retaining walls and drainage infrastructure through this winter. The El Portal Undercrossing is expected to be completed in spring 2022.

## BUS ON SHOULDER CONSTRUCTION COMPLETED

During the summer of 2021, construction for the Bus on Shoulder (BOS) project was completed. This project allows South Bay Rapid buses (Route 225) to use the freeway shoulder during weekday peak travel times. This helps maintain transit schedules and support system reliability.

Crews on the project made modifications to freeway ramps and repaved sections of the shoulders to prepare for MTS buses. These buses are operated by specially trained drivers and equipped with innovative technology so they can operate safely on freeway shoulders during heavy traffic congestion. Sensors embedded on project buses will provide bus drivers with audio and visual alerts – a first for vehicle-to-infrastructure technology in the San Diego region. Driver training on Route 225 launched in December 2021, with the official project launch anticipated in early 2022. Shoulders will remain available during the pilot project for law enforcement, emergencies, and incident management.

## I-805 CORRIDOR ENHANCEMENT PROJECTS

During the summer of 2021, crews completed construction for the I-805 Corridor Enhancement Projects, which included five new sound wall segments as well as bridge and safety improvements at the Sweetwater River Bridge. The enhancements span more than three miles along I-805, from just north of East Naples Street in Chula Vista to State Route 54 (SR 54) in National City. Improvements totaling \$63 million are helping to alleviate congestion, improve traffic flow, and enhance the quality of life for residents who live along this segment of the I-805 corridor. In June 2021, Caltrans and the cities of Chula Vista and National City celebrated the project's completion.



## REGIONAL EQUITABLE HOUSING EFFORTS

On October 22, the SANDAG Board of Directors approved the creation of the Regional Equitable Housing Subcommittee (REHS), a temporary subcommittee to lead discussions and identify voluntary, innovative, and incentive-based approaches that address housing needs throughout the San Diego region.

In November 2021, the SANDAG Board of Directors approved the Housing Incentive Program and released two calls for projects for up to \$6 million total:

\$3 million through the Housing Acceleration Program, a new grant program funded through the California Department of Housing and Community Development (HCD) Regional Early Action Planning (REAP) grant program, which is focused on housing acceleration and smart growth.

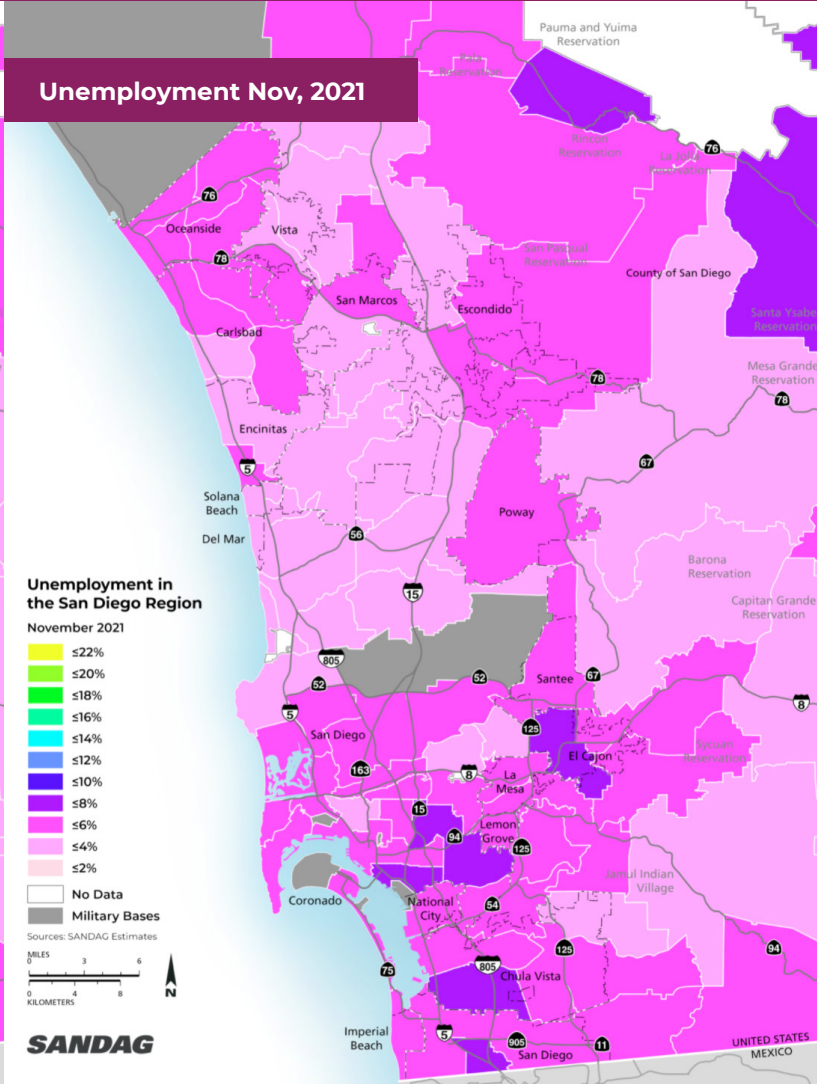
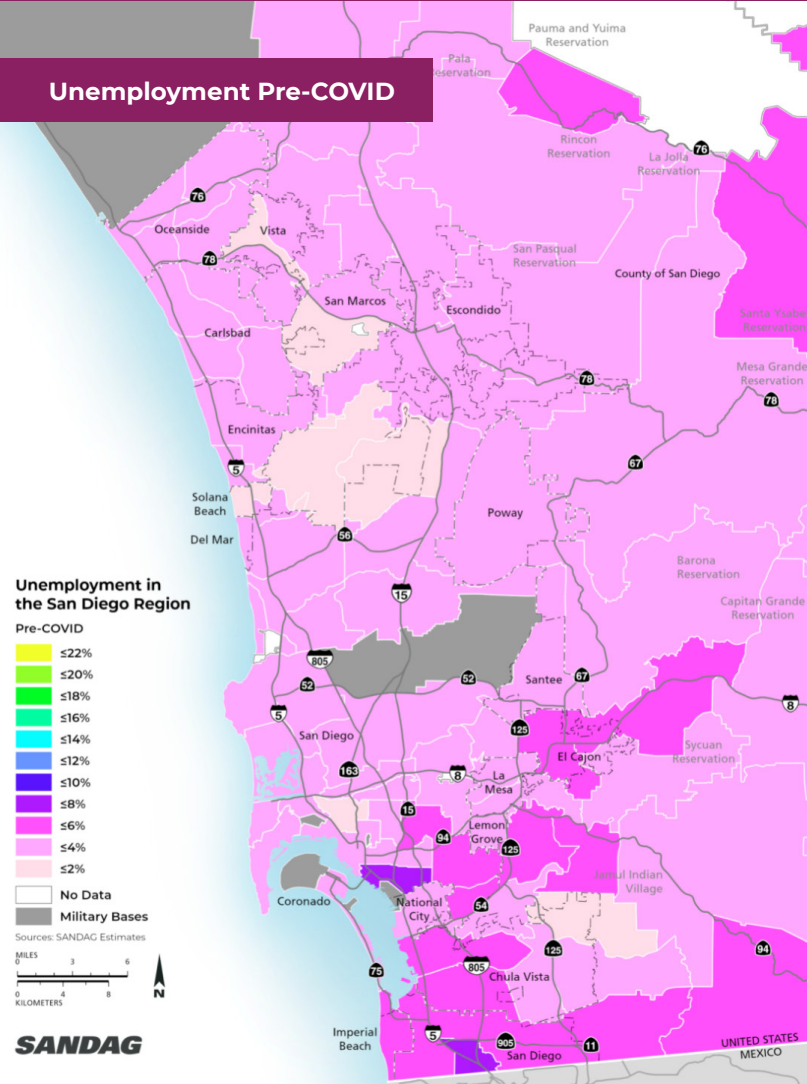
\$3 million through the TransNet Smart Growth Incentive Program for planning efforts that encourage mobility hub planning in smart growth areas or employment centers, and strengthen the connections between housing and transportation.

## COMMITMENT TO EQUITY

In January 2021, the SANDAG Board of Directors unanimously adopted the following statement expressing its commitment to equity:

“We hold ourselves accountable to the communities we serve. We acknowledge we have much to learn and much to change; and we firmly uphold equity and inclusion for every person in the San Diego region. This includes historically underserved, systemically marginalized groups impacted by actions and inactions at all levels of our government and society. We have an obligation to eliminate disparities and ensure that safe, healthy, accessible, and inclusive opportunities are available to everyone. In 2021, SANDAG will develop an equity action plan that will inform how we plan, prioritize, fund, and build projects and programs; frame how we work with our communities; define how we recruit and develop our employees; guide our efforts to conduct unbiased research and interpret data; and set expectations for companies and stakeholders that work with us. We are committed to creating a San Diego region where every person who visits, works, and lives can thrive.”





## UNEMPLOYMENT/ECONOMIC REPORTS

In October 2021, SANDAG unveiled an interactive data tool that highlights key findings related to unemployment during 2021 in the San Diego region. The tool is updated monthly and allows policymakers, businesses, and members of the public to gain a better understanding of the impact of the pandemic on unemployment in the region in real time.

## GRANT PROGRAMS

In 2021, nine SANDAG-funded grant projects were completed throughout the region, including the City of Vista's Paseo Santa Fe Smart Growth Incentive Program project, which received an APWA award for Project of the Year, and the City of Oceanside's enclosed bike parking facility. The City of San Diego also completed the 14th Street Pedestrian Promenade Demonstration Block, completing the first phase of a linear park connecting East Village and Barrio Logan to City College. Many more projects that received funds in past years moved forward with planning and construction.

On October 25th, 2021, the SANDAG Board of Directors approved and released the TransNet Environmental Mitigation Program 10th Cycle of Land Management Grants Call for Projects. The Board allocated \$2.4 million in funding for the 10th cycle of Land Management Grants.

The TransNet Environmental Mitigation Program funded the restoration of the San Elijo Lagoon, which was completed in the fall of 2021.

## CRIMINAL JUSTICE REPORTS AND FLASHES

Over the past year, the SANDAG Criminal Justice Clearinghouse prepared several reports for policymakers, law enforcement, and prevention and treatment professionals. These reports provide essential information on public safety and public health, crime data, and crime-reduction strategies being implemented countywide.



## SANDAG ICOMMUTE PROGRAM

The SANDAG iCommute program replaced old mechanical bike lockers and added 100 new electronic bike parking spaces in FY 2021. During the pandemic, SANDAG launched a new Telework Assistance Program and worked with area employers to develop and/or improve their telework policies to offer employees more options for working at home.

## TRANSNET UPDATE

During the past two years, public agencies across the nation have braced for budget shortfalls related to the ongoing COVID-19 pandemic. SANDAG has closely monitored tax revenues from TransNet, the region's half-cent sales tax that voters approved for transportation improvements. During FY 2021, revenue was 9.2% higher than in FY 2020. In March 2021, SANDAG refinanced 2014 Series A bonds at lower interest rates, saving more than \$22 million for the region's taxpayers. These bond deals also support cashflow needs, providing more than \$130 million for the TransNet major corridor program. The FY 2022 SANDAG Program Budget includes an investment of about \$613 million in TransNet funding for major capital projects throughout the San Diego region.

