



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL**  
SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING  
AUTHORITY, HOUSING AUTHORITY

# AGENDA

## Joint REGULAR Meeting

**Wednesday, August 26, 2020 \* 4:00 p.m.**

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California  
This meeting will be conducted in accordance with Governor Newsom's Executive Order N-29-20 related to the COVID-19 virus.

### PUBLIC MEETING VIEWING

❖ **Live Broadcast on Local Government Channel, Live web-streaming, and Archived videos online.**

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live on Cox Communications-Channel 19, Spectrum(Time Warner)-Channel 24, and AT&T U-verse Channel 99. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

❖ **Zoom Virtual Webinar (registration required).** Register early and Join the meeting at least 15 minutes prior to the start time. To register to view/listen to the meeting, go to this public participant link [https://us02web.zoom.us/webinar/register/WN\\_J84kZTaQRoCmUkOjLeSOGA](https://us02web.zoom.us/webinar/register/WN_J84kZTaQRoCmUkOjLeSOGA) for this meeting, follow the prompts to enter your name and email address. \* To receive a confirmation email allowing you to enter the meeting and the link to join, you will need to enter a valid email address. Choose Gallery View to see the presentations, when applicable.

### MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC.

Due to the Executive Order to stay home, in person participation at City Council meetings will not be allowed at this time. In accordance with the Executive Order to stay home, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under Public Participation.

### AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

### PUBLIC PARTICIPATION

❖ Written correspondence regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [EMAILGRP-CityClerksOfc@cosb.org](mailto:EMAILGRP-CityClerksOfc@cosb.org) with the Subject line including the meeting date Aug 26, 2020. Please include the Agenda Item# and topic in your email. \* Correspondence received after the official posting of the agenda, but before 12:00 p.m. on meeting day, will be distributed to Council and made available to the public online along with the agenda posting. Written submittals will be added to the record and not read out loud. \* All submittals received before the start of the meeting will be made part of the record. The designated location for viewing public documents is the City's website [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

❖ **Zoom Webinar Public Comment Participation:**

If you wish to provide a live verbal comment during the meeting, register for the Zoom Virtual (City Council Meeting) Webinar (registration required), register for the Zoom webinar as noted at the top, under Public Meeting/Zoom Webinar, and join the meeting using the "Join Webinar" link provided in your confirmation email.

1) EMAIL a Speaker Request by 12:00 p.m. (noon) on meeting day to [EMAILGRP-CityClerksOfc@cosb.org](mailto:EMAILGRP-CityClerksOfc@cosb.org)

- Subject line should include Request to Speak
- Content should include the Item/Topic you would like to speak on.

AND

2) REGISTER as a speaker on meeting day by 12:00 p.m. (noon) by going to:

[https://us02web.zoom.us/webinar/register/WN\\_J84kZTaQRoCmUkOjLeSOGA](https://us02web.zoom.us/webinar/register/WN_J84kZTaQRoCmUkOjLeSOGA)

and follow the required prompts to receive a confirmation email with your log in link.

- Join the meeting 30 minutes before the meeting begins by clicking on the link provided in your confirmation email.
- Speaking participants may use the computer's microphone and speakers to listen and communicate or they may also call into the meeting by dialing into the meeting with a telephone (this information will be provided in your email confirmation). If you call in as well for better audio, mute your computer's speakers to eliminate feedback.

- Participants will be called upon from those who have submitted the Speaker Request, registered, and logged on as described above. You will be called on by name and unmuted by the meeting organizer and may provide comments for the allotted time. Allotted speaker times are listed under each [Agenda](#) section.
- Participants can use a computer microphone and speakers to listen and communicate or dial into the meeting with a telephone (if you log in and call in, mute one of the devices to eliminate feedback).
- Do not self-mute since you will be muted when you enter the meeting and organizers will unmute you to provide comments. All oral comments received prior to the close of the meeting will be made part of the meeting record.

**SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 [EMAILGRP-CityClerksOfc@cosb.org](mailto:EMAILGRP-CityClerksOfc@cosb.org) at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set cellular phones and pagers to silent mode and engage in conversations offline/muted.

<b>CITY COUNCILMEMBERS</b>	
Jewel Edson, <b>Mayor</b>	
Judy Hegenauer, <b>Deputy Mayor</b>	Kristi Becker, <b>Councilmember</b>
Kelly Harless, <b>Councilmember</b>	David A. Zito, <b>Councilmember</b>

**Gregory Wade**  
City Manager

**Johanna Canlas**  
City Attorney

**Angela Ivey**  
City Clerk

**SPEAKERS:**

See Public Participation on the first page of the Agenda for publication participation options.

**READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

**CALL TO ORDER AND ROLL CALL:**

**CLOSED SESSION REPORT:**

**FLAG SALUTE:**

**APPROVAL OF AGENDA:**

**ORAL COMMUNICATIONS:**

**Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.**

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by having submitted written comments for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

## **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR: (Action Items) (A.1. - A.10.)**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

#### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the following City Council meetings: January 22, 2020, March 10, 2020, April 1, 2020, April 8, 2020, April 16, 2020, April 22, 2020, and May 6, 2020.

##### Item A.1. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.2. Register of Demands. (File 0300-30)**

Recommendation: That the City Council

1. Ratify the list of demands for June 20, 2020 – August 7, 2020.

##### Item A.2. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.3. General Fund Adopted Budget for Fiscal Year 2020-2021 Changes. (File 0330-30)**

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2020-2021 General Fund Adopted Budget.

##### Item A.3. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. Glenmont Underground Utility District – Revised District Boundary and Additional Seed Money.** (File 1010-90)

Recommendation: That the City Council

1. Adopt **Resolution 2020-122** approving the additional payment of an amount not to exceed \$25,000 from the City's share of CPUC Rule 20A funds in seed money to cover the design costs for the preparation of preliminary plans and preliminary cost estimate by SDG&E for the Glenmont Avenue Underground Utility District that would include properties along additional streets of Marview Drive and Ford Avenue.

Item A.4. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.5. Shore Protection Project Pre-Construction Engineering and Design (PED) and Design Agreement – United States Army Corps of Engineers (USACE).** (File 0740-80)

Recommendation: That the City Council

1. Adopt **Resolution 2020-120:**
  - a. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney, to execute the Design Agreement with the USACE San Diego County Project (formerly known as the Encinitas-Solana Beach Coastal Storm Damage Reduction Project).
  - b. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney, to sign and execute any and all related documents and certifications as may be needed during the PED phase of the Project, provided those do not involve increases to the approved Design Agreement (DA) budget.
  - c. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney; to pay all invoices received by the USACE either through direct cash contributions or work in kind contributions and to seek reimbursement from State Parks through the grant agreement with DBW.
  - d. Approving an appropriation of \$450,000 to the State Grant revenue account and Sand Replenishment/ACOE Study Project for FY 2021, both in the Department of Boating and Waterways Special revenue fund.
  - e. Authorizing the City Treasurer to amend FY 202021 Adopted Budget accordingly.

Item A.5. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.6 Video Broadcast Services of Public Meetings.** (File 0190-70)

Recommendation: That the City Council

1. Adopt **Resolution 2020-119**:
  - a. Awarding Bob Hoffman Video and Photography an increased amount not to exceed \$24,402 for FY 2019/20.
  - b. Authorizing the City Manager to amend the FY 2019/20 agreement and the agreement extension FY 2020/21 with Bob Hoffman Video and Photography.

Item A.6. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.7. State Homeland Security Program Grant 2019 for 800 MHz Radios.** (File 0240-60)

Recommend that the City Council:

1. Adopt **Resolution 2020-118**:
  - a. Accepting \$12,324 in federal funds from a 2019 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of 800 MHz radios.
  - b. Authorizing the City Manager to execute the sign and submit the required California Governor's Office of Emergency Services Fiscal Year FY19 Grant Program Standard Assurances.
  - c. Approving an appropriation of \$12,324 to the Federal Grant revenue account and the Minor Equipment expenditure account for the Fire Department both in the Public Safety Special Revenue fund.
  - d. Authorizing the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

Item A.7. Report (click here)

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**A.8. Reinstating the 6:00 PM Start Time for Regular City Council Meetings.** (File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2020-123** Reinstating 6:00 P.M. Start Time for Regular City Council Meetings.

Item A.8. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.9. Ratification of Emergency Order Relaxing Outdoor Use Regulations for Gym & Fitness Centers, Personal Care Services, Salons and Barber Shops through a Temporary Use Permit.** (File 0240-00, 800-20)

The Staff recommends that the City Council:

1. Consider ratifying the Emergency Order made by the City Manager, acting as the Director of Emergency Services, and issued on July 29, 2020.

**Item A. 9. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.10. Solana Energy Alliance (SEA) – 2019 Power Content Label and Attestation.**  
(File 1010-45)

The Staff recommends that the City Council:

1. Attest to the accuracy of information provided in Solana Energy Alliance's 2019 Power Content Labels.

**Item A.10. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**B. PUBLIC HEARINGS: (B.1. – B.2.)**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

This portion of the agenda provides citizens an opportunity to express their views on a specific issue, as required by law after proper noticing, by submitting written comments for the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

**B.1. Public Hearing: 201 Ocean Street, Applicant: Carome, Case 17-28-02.** (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15303 of the State CEQA Guidelines.
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-077** conditionally approving conditionally approving a DRP and SDP to remodel the existing residence and construct a new two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert an existing detached accessory structure to an accessory dwelling unit (ADU) at 201 Ocean Street, Solana Beach.

**Item B.1. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**B.2. Public Hearing: 325 S. Sierra, Applicant: Seascape Shores Condominiums HOA, Case TE20-001.** (File 0600-40)

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. If the Council can make the required findings, adopt **Resolution 2020-121**, approving the request for a Time Extension for approvals and entitlements in Case No. 17-17-39 and setting the expiration date on May 23, 2021.

**Item B.2. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**C. STAFF REPORTS: (C.1. – C.4.)**

**Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.**

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**C.1. Small Business Grant Program Update.** (File 0330-25)

Recommendation: That the City Council:

1. Receive the report on the grant recipients and provide additional direction to Staff on the Small Business Financial Assistance Grant Program.as necessary.

Item C.1. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**C.2. Declaring Climate Emergency and Need for Accelerated Action to Address the Climate Crisis** (File 0220-10)

Recommendation: That the City Council

1. Adopt **Resolution 2020-124** declaring a climate emergency and the need for accelerated action to address the climate crisis.

Item C.2. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**C.3. State Coronavirus Aid, Relief and Economic Security (CARES) Act, Coronavirus Relief Fund (CRF).** (File 0240-70)

Recommendation: That the City Council

1. Provide direction to Staff on the use of the \$209,366.00 county and state allocations of CARES Act CRF funds, including its use for eligible reimbursement to the General Fund.

Item C.3. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**C.4. Citizen Commission Vacancies: Parks & Recreation Commission Appointment and Climate Action Commission Extension** (File 0120-06)

Recommendation: That the City Council

1. Consider the application(s) submitted and make an appointment to the vacancy on the Parks and Recreation Commission with a term until January 2021.

Item C.4. Report (click here)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**WORK PLAN COMMENTS:**

*Adopted June 12, 2019*



## COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

## COUNCIL COMMITTEE REPORTS: [Council Committees](#)

### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Edson, Alternate-Zito
- b. County Service Area 17: Primary- Harless, Alternate-Edson
- c. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- d. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate-Harless and any subcommittees.
- e. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- f. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- g. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- h. North County Transit District: Primary-Edson, Alternate-Becker
- i. Regional Solid Waste Association (RSWA): Primary-Hegenauer, Alternate-Becker
- j. SANDAG: Primary-Zito, 1<sup>st</sup> Alternate-Edson, 2<sup>nd</sup> Alternate-Becker, and any subcommittees.
- k. SANDAG Shoreline Preservation Committee: Primary-Hegenauer, Alternate-Zito
- l. San Dieguito River Valley JPA: Primary-Hegenauer, Alternate-Zito
- m. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- n. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Harless

### **STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Hegenauer
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Becker
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Hegenauer
- f. School Relations Committee – Hegenauer, Harless
- g. Solana Beach-Del Mar Relations Committee – Zito, Edson

## ADJOURN:

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**Next Regularly Scheduled Meeting is September 9, 2020**

*Always refer the City's website Event Calendar for Special Meetings or an updated schedule.*

*Or Contact City Hall 858-720-2400*

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

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## AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }  
COUNTY OF SAN DIEGO } §  
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the August 26, 2020 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on August 19, 2020 at 3:00 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 4:00 p.m., August 26, 2020, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk \* City of Solana Beach, CA

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## **CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**

## **MINUTES OF THE CITY COUNCIL**

January 22, 2020	Closed Session Regular Mtg
March 10, 2020	Closed Session Special Mtg
April 1, 2020	Closed Session
April 8, 2020	Closed Session Regular Mtg
April 16, 2020	Closed Session
April 22, 2020	Regular Mtg
May 6, 2020	Closed Session Special Mtg

**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**



# MINUTES

**Joint Meeting – Closed Session**

**Wednesday, January 22, 2020 5:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

<b><u>CITY COUNCILMEMBERS</u></b>	
<b>Jewel Edson, Mayor</b>	
<b>Judy Hegenauer, Deputy Mayor</b>	<b>Kristi Becker, Councilmember</b>
<b>Kelly Harless, Councilmember</b>	<b>David A. Zito, Councilmember</b>

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

**CALL TO ORDER AND ROLL CALL:**

Mayor Edson called the meeting to order at 5:02 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito  
Absent: None  
Also Present: Gregory Wade, City Manager  
Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

**CLOSED SESSION:**

**1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)  
Three (3) Potential case(s).

**2. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**

Pursuant to Government Code Section 54956.9(d)(4)  
Two (2) Potential case(s).

**ACTION:** No reportable action.

**ADJOURN:**

Mayor Edson adjourned the closed session meeting at 6:04 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_

# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,  
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



## MINUTES

Joint REGULAR Meeting  
Wednesday, January 22, 2020 \* 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

### CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 6:09 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Greg Wade, City Manager  
Johanna Canlas, City Attorney  
Angela Ivey, City Clerk,  
Dan King, Assistant City Manager  
Mo Sammak, City Engineer/Public Works Dir.  
Marie Berkuti, Finance Manager  
Joseph Lim, Community Development Dir.

### CLOSED SESSION REPORT: None

### FLAG SALUTE:

### APPROVAL OF AGENDA:

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

Sunset 5k Run/Walk Donation

Lauren Surrrels, San Diego County Medical Society Foundation Champions for Health, hosted the 6<sup>th</sup> annual Solana Beach Sunset 5K which raised \$50,000 for community wellness and outreach programs and presented a donation to the City for \$1,000.

### San Diego County Sheriff Captain's Report

Captain Herb Taft presented a PowerPoint (on file) reviewing 2019 statistics.

### **ORAL COMMUNICATIONS:**

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Lane Sharman spoke about he and Michael Hetts starting a new venture to help reduce single use plastic water bottles by replacing them with glass or aluminum, that the new executive director of the San Diego Energy District was Jose Torre-Bueno, the symposium scheduled for June 5<sup>th</sup> on how to create a CCA (Community Choice Aggregate) and best practices, and concerns about the new CCA forming that would be a step back from 75% emission free to 50% emission free.

### **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.9.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

#### **A.1. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for December 14, 2019 – January 3, 2020.

[Item A.1. Report \(click here\)](#)

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

#### **A.2. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.3. New Leases for Replacement Office Equipment.** (File 0190-50)

Recommendation: That the City Council

1. Adopt **Resolution 2020-014:**
  - a. Authorizing the City Manager to enter into a contract with Xerox Corporation for 60-month term leases for two Xerox Primelink 9060.
  - b. Authorize the City Manager to enter into a contract with Xerox Corporation for a 60-month term leases for a Xerox Primelink C9070.

[Item A.3. Report \(click here\)](#)

[Item A.3. Updated Report #1 \(1-21-20\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.4. Americans with Disability Act (ADA) Pedestrian Ramps.** (File 0820-20)

Recommendation: That the City Council

1. Adopt **Resolution 2020-008:**
  - a. Awarding the construction contract to Miramar General Engineering in the amount of \$52,100 for the ADA Pedestrian Ramps, Bid No. 2019-08.
  - b. Approving an amount of \$8,000 for construction contingency.
  - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
  - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
  - e. Appropriating \$60,325 to the Federal Grants revenue account and to the ADA Pedestrian Ramps CIP project, both in the CDBG fund.
  - f. Authorizing the City Treasurer to amend the FY 2019/20 Adopted Budget accordingly.

[Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.5. MyCommunity Mobile App Software Services.** (File 0190-60)

Recommendation: That the City Council

1. Adopt **Resolution 2020-011** authorizing the City Manager to execute a Software as a Service Agreement with Tyler Technologies, Inc. as approved to form by the City Attorney.

[Item A.5. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.6. Emergency Corrugated Metal Pipes (CMP) Storm Drain Repairs Update.**

(File 0850-40)

Recommendation: That the City Council

1. Receive Update No. 1 and provide further direction, if necessary.

[Item A.6. Report \(click here\)](#)

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.7. As-Needed Repair Services for City Facilities and Parks.** (File 0700-25)

Recommendation: That the City Council

1. Adopt **Resolution 2020-013** authorizing the City Manager to execute Amendment No. 1 to the Professional Services Agreement with Lalley Construction to increase the amount of the agreement by \$25,000.

[Item A.7. Report \(click here\)](#)

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0.** Motion carried unanimously.

**A.8. Sewer Rate and Revenue Study.** (File 1040-75)

Recommendation: That the City Council

1. Adopt **Resolution 2020-012:**
  - a. Authorizing the City Manager to execute a professional services agreement, in an amount not to exceed \$41,684, with Raftelis for a Sewer Rate and Revenue Study.
  - b. Authorizing an appropriation of \$41,684 to the Sanitation Professional Services account.
  - c. Authorizing the City Treasurer to amend the Fiscal Year 2019/20 Adopted Budget accordingly.

[Item A.8. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.9. Minutes of the City Council**



Recommendation: That the City Council

Approved Minutes [http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B\\_BASIC](http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B_BASIC)

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**C.1. Lomas Santa Fe Corridor Improvement Project – Phase III Update.** (File 0820-15)

Recommendation: That the City Council

1. Receive the report and provide input and direction on the Lomas Santa Fe Corridor Improvement Project.

[Item C.1. Report \(click here\)](#)

[Item C.1. Supplemental Docs \(updated 1-22 at 4:30pm\)](#)

Greg Wade, City Manager, presented a PowerPoint (on file) reviewing the project history, project phases, open house and community workshop drew 100 people in attendance.

Dawn Wilson, Michael Baker International, presented a PowerPoint (on file) reviewing the project and comments from the public.

Shawna McGarry spoke having shared slides of the project with the PTA who were supportive, the City having provided productive workshop formats, transportation emissions being the biggest source of local emissions, her support for the class 1 multi-use path, the 12 ft. sidewalks and 10 ft. car lanes, and the project benefitting the business community.

Kristin Brinner spoke about support for calming traffic and making pedestrians more visible and safer, the lack of options for bicyclists heading east on Lomas Santa Fe between Nardo and Skyline, support for narrowing lanes, and feeling safer when there were bollards.

Kristine Schindler spoke about support for the project making it more livable and friendly to all road users, the bad behavior by drivers from other communities cutting through the City, and support for spending funds on the east side for more improvements.

Jane Morton, Seaweed group member, spoke about their support of local gardens, the letter they submitted asking to meet with the landscapers before more work was performed on the pocket park, and determining who would be responsible for the maintenance.

Jill Cooper said she was speaking for herself and her husband, Carl Rudnick, and spoke about support for the narrowing traffic lanes, advocating for 35 mph everywhere including near Highland, support for a Class-1 multi-use path, use of extra width to make it a true Class-1 bicycle facility, support for the wider Class-2 bike lanes with buffers and green paint highlighting conflict areas, and opposition for Class-4 bikeways with left side physical separation unless it was consistent throughout the entire corridor.

Harley Gordon spoke about support for the project, welcoming public input, and conflicts at the left turn from Cedros going west on Lomas Santa Fe while pedestrians are crossing.

Douglas Alden spoke about support for the project, the outreach and collection of input, bollards presenting challenges when being hit by cars, the bike lane not being easily cleaned with street sweeping, support for the narrow lanes, traffic calming, and 35 mph speed limit, and removing parking spaces on the north side of Lomas Santa Fe adjacent to the shopping center to remove limited site lines for vehicles and cyclists coming down the hill.

Cindi Clemons spoke about support for the project, a dangerous area east of Rios on Lomas Santa Fe coming out of the driveway of the small shopping center due to limited view from landscape, support for the pocket park and Seaweeder's weighting in on it, and addressing issues at the left turn out of the shopping center on Lomas Santa Fe Plaza and for clarity on left and right hand turn lanes.

Peter Zahn spoke about prioritizing active transportation and traffic calming, and consider what might be done in the meantime with significant pedestrian safety challenges at intersections with repeat accidents.

Council discussed the importance of safety, decreased emissions, increased bike use, aesthetics, support for narrowing lanes to 10 ft., signage suggestions, landscaping of the pocket park, balancing the needs of different cyclists such as active transportation person and sport cyclists, issues with bollards, removing asphalt, community gatherings and collaboration, prioritizing public safety, safe routes to school, engaging the Seaweeder's, addressing intersection issues sooner than the end of the project, 35 mph with or without the Highland area east of Lomas Santa Fe, some variety of surface materials for a variety of uses, opportunities for public art, seeking further input at the Work Plan workshop, and provided direction to Staff to be reviewed during the next steps.

**B. PUBLIC HEARINGS:** (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each. Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 476 Marview, Applicant: Landholdings, LLC., Case 17-19-14.**  
(File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.

2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-010** conditionally approving a DRP and an SDP for a first-story remodel and addition and a new second-story addition to an existing single-story single-family residence with an attached garage, and perform associated site improvements at 476 Marview Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Tiffany Wade, Associate Planner, presented a PowerPoint (on file).

Mayor Edson opened the public hearing. Council disclosures.

Bob Mueller, Applicant, spoke about a meeting with the neighbor during the story poles and changed the configuration of the house, the recent new concerns and would suggest modifications by removing 130 sq. ft. from the deck pulling it back and removing the additional roof above it, another proposal would be to pull back the other deck by 18 in., the articulation that was intended to break up the massing of the structure, and some of the options they were considering which included removing some roof overhangs on the garage and lining it up with the wall which would make the garage non-conforming.

Council, Staff, and Applicant discussed the height of the structure was not lowered, lowering the house by 12 in. or lower would lower the parapets and lose the detail which provides articulation and reduces appearance of the mass, lowering the pool with steps down rather than bringing the pool up, and the differing heights of the retaining wall and a fence above the pool.

Melodie Almond said her biggest concern would be a lack of privacy, that there was no mention of a pool until now, that the house was sitting 3 ft from the property line, concerns about why the house was not placed on the other side of the lot, that there would be a lack of sky view from her kitchen.

Bob Mueller, Applicant, (rebuttal time) said that the fence on the south side was at grade or below and not visible to the neighbor to the south.

Council and Applicant discussed that the pool was in the middle of the property with setbacks of about 12 ft. on one side and 20 ft. on the other side, the pool equipment noise would be more of an issue than the use of the pool since equipment runs consistently, and drainage from the pool and roof drains.

**Motion:** Moved by Councilmember Harless and second by Deputy Mayor Hegenauer to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Council discussed lowering the parapet, limit the roof overhang to the existing 2 ft., conditioning the pool equipment location, support for the new design changes, lowering the height by 18 in., concern about the non-conforming one-foot side yard encroachment, the substantial remodel, not allowing encroachment in the side yard setback, removing the desk cover portions, solar panel requirements, and lowering the parapets.

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to reopen the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Council and Applicant discussed his interest in obtaining an approval now with conditions rather than return at a later date.

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Hegenauer to approve with modifications offered by the applicant around front yard balconies and roof coverings and adding conditions of a four-foot high screening structure on the one side of the balcony, the height be lowered 18 inches, the pool equipment be located at least 10 feet away from the South property line, least 10 feet from the upper South property line, no encroachment into the interior South yard setback so it is in conformance, and that the solar installation be required.

Councilmember Harless asked if the motion maker would consider modifying the height further, lowering it another 6 inches.

Councilmember Zito stated that he was comfortable with his initial motion as stated.

**Motion:** Motion seconded by Deputy Mayor Hegenauer to approve with modifications. **Approved 3/2:** Ayes: Hegenauer, Becker, and Zito. Noes: Edson, Harless. Motion carried.

Mayor Edson recessed the meeting at 9:40 p.m. for a break and reconvened at 9:46 p.m.

## **B.2. Public Hearing: 731 Avocado Pl., Applicant: Truc and Alex Harris, Case 17-18-15** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2019-138** conditionally approving a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish the existing single-family residence and construct a replacement single-family residence with an attached garage and perform associated site improvements at 731 Avocado Place, Solana Beach.
4. Adopt **Resolution 2019-141** ordering the vacation of excess public street right-of-way at 731 Avocado Place.

[Item B.2. Report \(click here\)](#)

[Item B.2. Updated Report #1 \(Updated 1-22 at 2:00pm\)](#)

[Item B.2. Supplemental Docs \(updated 1-22 at 4:30pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item, noting this item was a public hearing continued from October 23, 2019.

Corey Andrews, Principal Planner, presented a PowerPoint (on file).

Council disclosures.

Mayor Edson opened the public hearing.

Alex Harris, Applicant, presented a PowerPoint (on file).

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Council discussed the revised plans addressed most of the SDP issues, the DRP concerns were not resolved including raised plate heights, concern about the bulk, mass and scale of the project.

Mayor Edson passed out proposed conditions and comments to the City Council and applicant.

Council discussed revising the project may result in a split-level house rather than a single-level house as the applicant desired, issues with the community character and compatibility with the neighborhood, and proposal for less grading and lower ceilings.

**Motion:** Moved by Councilmember Harless and second by Councilmember Becker to reopen the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Alex Harris, Applicant, stated that they did not want a split-level home, that the lowering of the pad would impair the ocean view, that the architect said the ceiling height in bedrooms two, three and four and the laundry room could be reduced from 15 ft. to 10 ft., and his desire to maintain a higher entry to give dimension to the house.

Council and Applicant discussed decrease of fill, runoff problems, the objective of the fill was to keep a usable flat pad and be able to see the kids play, large drainage was added to capture all the water from the easement, the laundry room could be lowered to 10 ft., and the master bedroom height was currently 14 ft.

**Motion:** Moved by Councilmember Becker and second by Councilmember Hegenauer to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Council and Staff discussed concerns about fill, heights, typography, massing and scale, prohibiting roof decks, requiring consistency with 10 foot shoulder and 8 foot DG surface, issue with on-site parking and fencing during construction, concerns about width and canopy of Crepe Myrtle trees at the edge of the DG infringing on usability of DG path, lowering either the ceilings or the pad, that 18 feet for a single-story home was too high, lowering the master bedroom ceiling height, reducing ceiling heights of 10 feet for bedrooms two, three, four and the laundry room, and that the grading was already similar to Feather Acres.

**Motion:** Moved by Councilmember Harless and second by Councilmember Zito to reopen the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

Peter Trevino, Architect, said that he could reduce the ceiling heights in the entry way to 14 ft., the master bedroom and bath, kitchen, dining room, great room, 3-car garage to 12 ft., and the master bath closet, sitting area, hallway, office, laundry, bedrooms 2, 3, and 4 to 10 ft.

**Motion:** Moved by Councilmember Zito and second by Councilmember Hegenauer to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Zito and seconded by Harless to approve the recommended action with modifications to include ceiling heights be reduced to ten feet with the exceptions of 12 feet for the master bedroom and bath, kitchen, dining room, great room and 3-car garage and 14 feet for the entry; prohibition of roof decks; parking and construction fencing on the property itself at all times feasible; and relocate the Crepe Myrtle trees at least five feet toward the structure and away from the DG path. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**C. STAFF REPORTS:** (C.1. – C.2.)  
*Submit speaker slips to the City Clerk.*

**C.2. 2020 Annual Citizen Commission Appointments.** (File 0120-06)

Recommendation: That the City Council

1. Appoint two (2) members to the **Budget and Finance** Commission nominated/appointed by *individual* Councilmembers (Harless and Becker) for two-year terms.

**Motion:** Moved by Mayor Edson and second by Councilmember Zito to appoint Charles Cooper (by Becker) and David Clemons (by Harless) to the two-year term positions.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

2. Appoint four (4) members to the **Climate Action** Commission nominated/appointed by *Council-at-large for the following positions:*

Paul Basore spoke about his background and interest in the Commission.

Peter Zahn, Climate Action Commission, stated there were seven strong candidates but asked Council to reappoint the two incumbents,

Michael McClune spoke about his background working with climate scientists and his interest in serving.

- a. Three (3) *Resident* appointments for two-year terms.

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to appoint Heidi Dewar and Jonathan Goodmacher and Mary Yang to two-year term positions and Rachel McHale to the one-year term position. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

- b. One (1) *Professional* appointment for member of the environmental and/or scientific community (resident or non-resident) for a two-year term.

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to appoint Paul Basore to the two-year term position and Michael McClune to the one-year term position.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

3. Appoint three (3) members to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for two-year terms.

**Motion:** Moved by Councilmember Zito and second by Councilmember Harless to appoint John Fontanesi, Richard Lebert, and Julie Van de Auwera to two-year term positions.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

4. Appoint four (4) members to the **Public Arts** Commission nominated/appointed by *Council-at-large*.

**Motion:** Moved by Councilmember Becker and second by Councilmember Zito to appoint Maggie Brown, Christine de Pagter, Sharon Klein, and Mark Mennie to the two-year term

positions. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

5. Appoint six (6) members to the **View Assessment** Commission: two (2) positions for two-year terms (Councilmember Harless and Councilmember Zito), two (2) positions for two-year terms (Council-at-large), and two (2) positions for one-year terms (Mayor Edson and Deputy Mayor Hegenauer).

**Motion:** Moved by Councilmember Harless and second by Councilmember Hegenauer to appoint Robert Zajac (by Harless), Linda Najjar (by Zito), Pat Coad, and Frank Stribling to the two-year term positions; Paul Bishop (by Edson) and Robert Moldenhauer (by Hegenauer) to the one-year term positions. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

[Item C.2. Report \(click here\)](#)

[Item C.2. Staff Report Update #1](#)

[Item C.2. Supplemental Docs \(Updated 1-22 at 2:00pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

### **B.3. Public Hearing: Adjustments to the Transportation Impact Fee (TIF), Fire Mitigation Impact Fee (FMIF), Park Development Impact Fee (PDIF), and the Public Use Facilities Impact Fee (PUFIF) effective March 23, 2020.** (File 0390-23)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Consider adoption of **Resolution 2020-009** approving a 1.6% adjustment in the TIF and a 2.5% adjustment in the FMIF, PDIF, and PUFIF effective March 23, 2020.

[Item B.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Mayor Edson opened the public hearing.

**Motion:** Moved by Deputy Mayor Hegenauer and second by Councilmember Becker to close the public hearing. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Becker and second by Councilmember Harless to approve recommendations. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.



**COMPENSATION & REIMBURSEMENT DISCLOSURE: None**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

**STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)**

**ADJOURN:**

Mayor Edson adjourned the meeting at 11:45 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_

**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**



**MINUTES**

**Joint Meeting - Closed Session**

**Tuesday, March 10, 2020 5:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

(Teleconference location) 8303 E. Cortez Drive, Scottsdale, AZ 85260 (Edson)

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

<b><u>CITY COUNCILMEMBERS</u></b>		
<b>Jewel Edson, Mayor</b>		
<b>Judy Hegenauer, Deputy Mayor</b>		<b>Kristi Becker, Councilmember</b>
<b>Kelly Harless, Councilmember</b>		<b>David A. Zito, Councilmember</b>

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

**CALL TO ORDER AND ROLL CALL:**

Mayor Edson called the meeting to order at 5:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito  
 Absent: None  
 Also Present: Gregory Wade, City Manager  
 Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

**CLOSED SESSION:**

**1. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**

Pursuant to Government Code Section 54956.9(d)(4)

One (1) Potential case(s).

**ACTION:** No reportable action.

**ADJOURN:**

Mayor Edson adjourned the meeting at 5:25 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_

# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,  
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



## MINUTES

### Joint SPECIAL Meeting

Tuesday, March 10, 2020 \* 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California  
(Teleconference location) 8303 E. Cortez Drive, Scottsdale, AZ 85260 (Edson)

**Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.**

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

#### CITY COUNCILMEMBERS

**Jewel Edson, Mayor**

**Judy Hegenauer, Deputy Mayor**

**Kristi Becker, Councilmember**

**Kelly Harless, Councilmember**

**David A. Zito, Councilmember**

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

#### CALL TO ORDER AND ROLL CALL:

Deputy Mayor Hegenauer called the meeting to order at 6:07 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Greg Wade, City Manager  
Johanna Canlas, City Attorney  
Angela Ivey, City Clerk,  
Dan King, Assistant City Manager  
Mo Sammak, City Engineer/Public Works Dir.  
Marie Berkuti, Finance Manager  
Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

#### FLAG SALUTE:

#### APPROVAL OF AGENDA:

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**ORAL COMMUNICATIONS: None**

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today’s agenda by submitting a speaker slip (located on the back table) to the City Clerk. Comments relating to items on this evening’s agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

**COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

**A. CONSENT CALENDAR:** (Action Items) (A.1. - A.5.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

**A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council Meetings held February 12, 2020.

Approved Minutes [http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B\\_BASIC](http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B_BASIC)

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 08, 2020 – February 21, 2020.

**[Item A.2. Report \(click here\)](#)**

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.3 General Fund Adopted Budget for Fiscal Year 2019-2020 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

**[Item A.3. Report \(click here\)](#)**

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.4. Citywide Landscape Maintenance Services.** (File 0750-25)

Recommendation: That the City Council

1. Adopt **Resolution 2020-028**:

- a. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Nissho of California, Inc., in an amount not to exceed \$355,031, for Citywide Landscape Maintenance Services for Fiscal Year 2019/20.
- b. Authorizing the City Manager to execute amendments to the Professional Services Agreement with Nissho of California, Inc., in an amount not to exceed \$347,411, for Citywide Landscape Maintenance Services for Fiscal Years 2020/21, 2021/22 and 2022/23.

[Item A.4. Report \(click here\)](#)

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**A.5. Emergency Vehicle Services.** (File 0260-40)

Recommendation: That the City Council

1. Adopt **Resolution 2020-019**:

- a. Awarding North County Emergency Vehicle Services an increased contract amount not to exceed of \$90,000 for FY 2019/20.
- b. Authorizing the City Manager to amend the agreement with North County emergency Vehicle Services.

[Item A.5. Report \(click here\)](#)

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**C.3. Prohibit the Sale of Unregulated Firearm Parts, Components and/or Gun Build Kits at the Del Mar Fairgrounds.** (File 0150-85)

Recommendation: That the City Council

1. Consider the adoption of **Resolution 2020-032** Requesting the 22<sup>nd</sup> District Agricultural Association to Prohibit the Sale of Unregulated Firearm Parts, Components and/or Gun Build Kits at the Del Mar Fairgrounds.

[Item C.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Johanna Canlas, City Attorney, introduced the item.

Cindi Clemons, Never Again California, stated that 80% of the inventory for sale at the gun show were ghost gun kits and asked City Council to adopt the resolution requesting the prohibition of the sale of ghost guns for the purpose of public safety.

Jill Cooper stated that many ghost guns had been used in shootings, that an estimated one-third of all firearms seized in Southern California were assembled from unregistered ghost gun kits, and that she opposed untraceable ghost gun kits.

Ira Sharp displayed a ghost gun kit that he said cost \$400, took about 15 minutes to put together, was functional once it was assembled, and that vendors selling parts were not required to be registered until July 1, 2024.

Council and Staff discussion.

**Motion:** Moved by Councilmember Harless and second by Councilmember Becker to approve Staff recommendation. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

## **B. PUBLIC HEARINGS:** (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each. Please be aware of the timer light on the Council Dais.

### **B.1. Public Hearing: 1036 Solana Drive, Applicant: Unitarian Universalist Fellowship of San Dieguito, Case: 17-16-18** (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a CUP Modification, DRP, VAR and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Adopt the IS/MND in accordance with CEQA.
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-029** conditionally approving a CUP Mod, DRP, VAR, and SDP to construct improvements to an existing religious facility/campus located at 1036 Solana Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

[Attachment 1](#) [Attachment 2](#) [Attachment 3](#) [Attachment 4](#) [Attachment 5](#) [Attachment 6](#)

Greg Wade, City Manager, introduced the item.

Katie Benson, Senior Planner, presented a PowerPoint (on file).

Deputy Mayor Hegenauer opened the public hearing.

Council disclosures.

Chris Faller, Applicant, introduced Jessica Schwartz, Domus Studio Architects, who presented a PowerPoint (on file).

Lisa Shaffer, congregant, requested approval of the variance for needed site improvements including drainage.

Alan Smerican (time donated by Marcia Smerican) spoke about the conditional use being an exception to the General Plan, there being no rights to unlimited expansion, the tall tower that could be seen from a distance that was not supposed to be visible, the church was involved in political activities so it would not qualify as church per the IRS, the objectionable banners posted around the public viewing area, the lack of required ADA improvements, and opposition to the size of the project.

Jon Dominy, Domus Studio, said that the project site was not being expanded and that a variance would not be necessary if the previous determination that the slopes were not steep hillsides was followed.

**Motion:** Moved by Councilmember Harless and seconded by Councilmember Zito to close the public hearing. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless and Zito. Noes: None. Motion carried unanimously.

Council discussed the modesty of the project, fire access and drainage, maintenance, and that findings for a variance could be met due to unique circumstances and when applicant of the usual standards would be unreasonable.

**Motion:** Moved by Mayor Edson and seconded by Councilmember Zito to approve staff recommendation. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless and Zito. Noes: None. Motion carried unanimously.

**C. STAFF REPORTS:** (C.1. – C.2.)  
*Submit speaker slips to the City Clerk.*

**C.1. Santa Helena Neighborhood Trail Project Update.** (File 0820-46)

Recommendation: That the City Council

1. Receive the report and provide input and direction on the Santa Helena Neighborhood Trail Project.

[Item C.1. Report \(click here\)](#)

[Item C.1. Supplemental Docs \(Updated 3-5-20\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Mo Sammak, Public Works/Engineering Dir., presented a PowerPoint (on file).

Mike Peltz, MW Peltz & Associates, Landscape Architect, presented a PowerPoint (on file).

Council and Staff discussed parking near the lagoon, the 34-foot right-of-way in addition to the 40-foot roadway would allow options for parking and a bike lane, signage, the width, safety, surface and use of the trail and sidewalks, funding, possible phasing of the project. a hard surface bike trail, considering adding sharrows, and the pros and cons of obtaining grant funding for a phased or complete project.

Kristine Schindler said she participated in neighborhood meetings, liked the repurposing of Lomas Santa Fe and the overall project for the East side, the 10-foot travel lanes provided more calming than 12-feet, and the preference for a four-way stop at the bottom of the hill by the school with a four-way crosswalk.

Karl Rudnick stated that he lived in the neighborhood, that he supported the trail project, he had a preference for 10-foot travel lanes for calming and consistency, and that riding bikes on sidewalks was unsafe and concrete was a better surface for the trail.

## **C.2. Green Vehicle Purchasing.** (File 0370-26)

Recommendation: That the City Council

1. Adopt **Resolution 2020-032-031** prioritizing the purchase of alternative fuel vehicles that adhere to California fuel-efficiency standards.

[Item C.2. Report \(click here\)](#)

[Item C.2. Supplemental Docs \(Updated 3-10 at 4:30pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Dan King, Assistant City Manager, presented a PowerPoint (on file).

Peter Zahn said that the resolution would fulfill a key Climate Action Plan measure and that he submitted written comments with suggested modifications to add language to the resolution to align with Department of General Services' Vehicle Manufacturer Purchasing Restrictions and define the DGS agency's Vehicle Manufacture Restrictions description.



Kristine Schindler stated that she drove an electrical vehicle and a hybrid vehicle, that she supported the purchase of green vehicles, and she supported Peter Zahn's suggested modifications to the resolution.

Councilmembers expressed thanks and support for Mr. Zahn's suggested modifications.

**Motion:** Moved by Councilmember Becker and second by Council Harless to approve the recommended action and adding language from Mr. Zahn's suggested modifications.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**WORK PLAN COMMENTS: None**

*Adopted June 12, 2019*

**COMPENSATION & REIMBURSEMENT DISCLOSURE: None**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

**STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

**ADJOURN:**

Deputy Mayor Hegenauer adjourned the meeting at 8:35 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

Joint Meeting - Closed Session

Wednesday, April 1, 2020 5:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California Pursuant to Governor Newsom’s Executive Order N-29-20, City Council and staff participated in this meeting via teleconference.

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

### CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 5:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Gregory Wade, City Manager  
Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

### CLOSED SESSION:

#### 1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)

One (1) Potential cases.

#### 2. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION

Pursuant to Government Code Section 54956.9(d)(4)

One (1) Potential cases.

**ACTION:** No reportable action.

### ADJOURN:

Mayor Edson adjourned the meeting at 6:15 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# MINUTES

**Joint Meeting - Closed Session**  
**Wednesday, April 8, 2020 5:00 p.m.**

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California  
Pursuant to Governor Newsom's Executive Order N-29-20, City Council and staff participated in this meeting via teleconference.  
Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

**CITY COUNCILMEMBERS**

**Jewel Edson, Mayor**

**Judy Hegenauer, Deputy Mayor**

**Kristi Becker, Councilmember**

**Kelly Harless, Councilmember**

**David A. Zito, Councilmember**

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

**CALL TO ORDER AND ROLL CALL:**

Mayor Edson called the meeting to order at 5:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito  
Absent: None  
Also Gregory Wade, City Manager  
Present: Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

**CLOSED SESSION:**

**1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)  
Two (2) Potential cases.

**2. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**

Pursuant to Government Code Section 54956.9(d)(4)  
One (1) Potential cases.

**ACTION:** No reportable action.

**ADJOURN:**

Mayor Edson adjourned the meeting at 6:05 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



**CITY OF SOLANA BEACH**  
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

# MINUTES

## Joint REGULAR Meeting

Wednesday, April 8, 2020 \* 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

**Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.**

This meeting was conducted in accordance with Governor Newsom's Executive Order N-29-20 related to the COVID-19 virus.

### CITY COUNCILMEMBERS

Jewel Edson, **Mayor**

Judy Hegenauer, **Deputy Mayor**

Kristi Becker, **Councilmember**

Kelly Harless, **Councilmember**

David A. Zito, **Councilmember**

**Gregory Wade**  
City Manager

**Johanna Canlas**  
City Attorney

**Angela Ivey**  
City Clerk

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### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 6:17 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Greg Wade, City Manager

Present: Johanna Canlas, City Attorney  
Angela Ivey, City Clerk,  
Dan King, Assistant City Manager  
Mo Sammak, City Engineer/Public Works Dir.  
Marie Berkuti, Finance Manager  
Joseph Lim, Community Development Dir.

### CLOSED SESSION REPORT: None

### FLAG SALUTE:

### APPROVAL OF AGENDA:

**Motion:** Moved by Councilmember Hegenauer and second by Councilmember Harless to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

### ORAL COMMUNICATIONS: None

### COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.*

## **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting written correspondence City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

### **A.1. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 22, 2020 – March 20, 2020.

#### **Item A.1. Report (click here)**

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

### **A.2. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

#### **Item A.2. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

### **A.3. Americans with Disabilities Act (ADA) Pedestrian Ramps Project - Notice of Completion.** (File 0820-20)

Recommendation: That the City Council

1. Adopt **Resolution 2020-037:**
  - a. Authorizing the City Council to accept, as complete, the ADA Pedestrian Ramps, Bid No. 2019-08, constructed by Miramar General Engineering.
  - b. Authorizing the City Clerk to file a Notice of Completion.

#### **Item A.3. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.

**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

### **A.4. Quarterly Investment Report.** (File 0350-44)

Recommendation: That the City Council

1. Accepts and files the attached Cash and Investment Report for the quarter ended December 31, 2019.

[Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**C.4. Disaster Recovery Documentation Signers** (File 0240-70)

*Item moved to Consent at Agenda Approval.*

Recommendation: That the City Council

1. Authorize the City Manager, Assistant City Manager and the Finance Director to execute applications to the California Governor's Office of Emergency Services for obtaining certain financial assistance and/or state financial assistance in the event of declared disaster.

[Item C.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**Motion:** Moved by Councilmember Zito and second by Councilmember Becker to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**C. STAFF REPORTS: (C.1. – C.4.)**

**C.1. Work Plan and Budget Impacts from COVID-19.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report and provide direction as necessary to Staff.

[Item C.1. Report \(click here\)](#)

[Item C.1. Updated Report #1 \(upd. 4-8 at 5pm\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, stated that the pandemic would have near-term and long-term financial impacts to the City's budget in the areas of retail sales tax, transit occupancy hotel tax, and other revenues, and an initial assessment was prepared to analyze what impacts may affect the current fiscal year as well as Fiscal Year 2021.

Marie Berkuti, Finance Director, presented a PowerPoint (on file) reviewing the impacts and estimated deficits as compared to the effects of the 2008 recession. She stated the main impacts were a 3.6% reduction in sales tax revenues for the current fiscal year and approximately 2% for Fiscal Year 2021, that transient occupancy tax reductions were estimated to be 23% for the current fiscal year and 30% for Fiscal Year 2021, and development related fees were estimated to be reduced by 20% for the current fiscal year and 25% for Fiscal Year 2021. She said that the property taxes were not expected to be affected for the current or next fiscal year. She reviewed the expected General Fund impacts of a deficit of \$678,000 for the current fiscal year and the anticipated deficit of \$768,000 for Fiscal Year 2021.

Council and Staff discussed the outlook, the current government stimulus allocations were for cities with populations over 500,000, Congressman Levin's support for smaller cities' requests for stimulus, no effects on the Army Corps Storm Damage Reduction and Shoreline Protection project federal funding that had already been transferred to the region, the potential repurposing of CDBG funds, that projections used were from the 2008 recession which had a three-year recovery, that there were no current or projected losses of online sales tax, that property tax delinquency rate history was available back to 2003, the effect on pension contributions, and that Staff would continue to assess the numbers and provide updated information as it becomes available.

## **C.2. RHNA (Regional Housing Needs Allocation) Appeal Discussion** (File 0630-10)

Recommendation: That the City Council

1. Discuss and provide guidance regarding the RHNA Appeal.

### [Item C.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item stating that the City, along with the cities of Lemon Grove, Imperial Beach and Coronado, filed an appeal with San Diego Association of Governments (SANDAG) regarding the regional housing needs assessment (RHNA) and Solana Beach's allocation of 875 units of varying income levels, that the appeal was scheduled for April 10, 2020 but the SANDAG Chair and Executive Director were recommending the Board continue the public hearing until the public can participate, due to COVID-19.

Council and Staff discussed that the City requested that the California Department of Housing Community Development (HCD) delay the Housing Element timeline which normally would be completed in April of 2021, and submitting a request that SANDAG supporting the City's request to HCD to extend the timeline, due to COVID-19, and so the RHNA numbers could be finalized.

## **C.3. Adopt (2<sup>nd</sup> Reading) Ordinance 513 – Flavored Tobacco Projects** (File 0230-10)

Recommendation: That the City Council

1. Adopt **Ordinance 513** (2<sup>nd</sup> Reading) adding Chapter 6.18 to the Solana Beach Municipal Code to prohibit the sale and distribution of flavored tobacco products.

### [Item C.3. Report \(click here\)](#)

### [Item C.3. Supplemental Docs \(updated 4-8-20 at 1145am\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

Greg Wade, City Manager, introduced the item.

Johanna Canlas, City Attorney, said that submittals were received in support of the ordinance and some form of opposition was received from the Grocer's Association and the petroleum associations.

Council and Staff discussed the sensitivity to the customs of people who use hookah pipes and if there was a difference between flavored tobacco used in a hookah pipe versus the flavored tobacco that would be banned in the ordinance, the attraction of young people, that there are no hookah

lounges in Solana Beach, that there was no outright opposition to the ordinance from local businesses, and that those opposing the ordinance were from people out of state or city and not local residents or business owners.

**Motion:** Moved by Councilmember Harless and second by Councilmember Hegenauer to approve.  
**Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None. Motion carried unanimously.

**COMPENSATION & REIMBURSEMENT DISCLOSURE:** None

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES:** (outside agencies, appointed by this Council)

**STANDING COMMITTEES:** (All Primary Members) (*Permanent Committees*)

**ADJOURN:**

Mayor Edson adjourned the meeting at 8:24 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_





# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

Joint – Closed Session

Thursday, April 16, 2020 5:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

Pursuant to Governor Newsom's Executive Order N-29-20, City Council and staff participated in this meeting via teleconference.

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

### CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 5:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Gregory Wade, City Manager  
Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

### CLOSED SESSION:

1. **CONFERENCE WITH LABOR NEGOTIATORS** Pursuant to Government Code Section 54957.6 Agency designated representative: Gregory Wade  
Employee organizations: Miscellaneous Employees, Marine Safety Unit, Solana Beach Firefighter's Association, and Unrepresented Employees.
2. **CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**  
Pursuant to Government Code Section 54956.9(d)(4) One (1) Potential case(s).
3. **CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**  
Pursuant to Government Code Section 54956.9(d)(2)  
Two (2) Potential case(s).

**ACTION:** No reportable action.

### ADJOURN:

Mayor Edson adjourned the meeting at 5:55 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

Joint REGULAR Meeting

Wednesday, April 22, 2020 \* 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

This meeting was conducted in accordance with Governor Newsom's Executive Order N-29-20 and N-33-20 related to the COVID-19 virus.

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

### CITY COUNCILMEMBERS

Jewel Edson, **Mayor**

Judy Hegenauer, **Deputy Mayor**

Kristi Becker, **Councilmember**

Kelly Harless, **Councilmember**

David A. Zito, **Councilmember**

**Gregory Wade**  
City Manager

**Johanna Canlas**  
City Attorney

**Angela Ivey**  
City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 6:01 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, and David A. Zito

Absent: None

Also Present: Greg Wade, City Manager  
Johanna Canlas, City Attorney  
Angela Ivey, City Clerk,

### CLOSED SESSION REPORT: None

### FLAG SALUTE:

### APPROVAL OF AGENDA:

**Motion:** Moved by Deputy Mayor Hegenauer and second by Councilmember Harless to approve.

**Motion Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

### ORAL COMMUNICATIONS:

Angela Ivey, City Clerk, stated that there was one written public comment submitted before the meeting, distributed to Council, and posted online.

### COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

Council reported community announcements, events, and commentary.

### A. CONSENT CALENDAR: (Action Items) (A.1. - A.6.)

**A.1. Minutes of the City Council.** (File 0300-30)

Recommendation: That the City Council

1. Approve the Minutes of the City Council Meeting held February 26, 2020.

[Item A.1. Report \(click here\)](#)

**Motion:** Moved by Councilmember Becker and seconded by Councilmember Zito to approve.

Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**A.2. Register of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for March 21, 2020 – April 03, 2020.

[Item A.2. Report \(click here\)](#)

**Motion:** Moved by Councilmember Becker and seconded by Councilmember Zito to approve.

Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**A.3. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

**Motion:** Moved by Councilmember Becker and seconded by Councilmember Zito to approve.

Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**A.4.** Skipped number.

**A.5. TransNet Funds Transfer.** (File 0390-35)

Recommendation: That the City Council

1. Adopt **Resolution 2020-040** approving the transfer of \$2,420 of TransNet funds from the Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) to the Pavement Resurfacing Project (SANDAG MPO ID SB16).

[Item A.5. Report \(click here\)](#)

**Motion:** Moved by Councilmember Becker and seconded by Councilmember Zito to approve.

Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**A.6. Regular Council Meetings Temporary Time Change.** (File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2020-043** to establish a 4:00 p.m. start time for the regular City Council meetings on a temporary basis.

[Item A.6. Report \(click here\)](#)

**Motion:** Moved by Councilmember Becker and seconded by Councilmember Zito to approve. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**B. PUBLIC HEARINGS:** (B.1. – B.3.)

**B.1. Public Hearing: 675 Glenmont Dr., Applicant: Roemmich-Nottingham, Case: DRP 19-004.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-024** conditionally approving a DRP to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

Greg Wade, City Manager, introduced the item.

Katie Benson, Sr. Planner, presented a PowerPoint (on file) reviewing the project.

Council made disclosures.

Mayor Edson stated that this was a continued and open public hearing.

**Motion:** Moved by Councilmember Zito and seconded by Deputy Mayor Hegenauer to close the public hearing. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**Motion:** Moved by Mayor Edson and seconded by Deputy Mayor Hegenauer to reopen the public hearing. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

John Kavan, Applicant's Architect, thanked the City Council and staff for proceeding with hearing the project during the health emergency crisis.

**Motion:** Moved by Councilmember Zito and seconded by Councilmember Becker to close the public hearing. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**Motion:** Moved by Mayor Edson and seconded by Councilmember Becker to approve staff recommendations. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**B.2. Public Hearing: 447 E. Cliff Street, Applicant: Davis, Case: MOD 19-002, SDP 20-004.**

(File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue an SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-039** conditionally approving a MOD to the Resolution 2015-35 conditions of approval and approving an addition of 95 square feet to an existing Accessory Living Unit (ALU) and administratively approving a SDP located on property at 447 E. Cliff Street.

[Item B.2. Report \(click here\)](#)

Deputy Mayor Hegenauer recused herself from discussion due to property ownership of a residence within 500 feet of the project, so she moved to the Zoom waiting room.

Greg Wade, City Manager, introduced the item.

Joe Lim, Community Development Director, presented a PowerPoint (on file) reviewing the project.

Mayor Edson opened the public hearing and Council made disclosures.

Applicant Donald Davis said he did not have a presentation and was available to answer questions.

Council and Staff discussed the affordability deed restriction for the accessory living unit, that and the deed restriction was previously for accessory living units and not accessory dwelling units, and that the deed restriction would be removed since it was not required for accessory dwelling units.

**Motion:** Moved by Councilmember Zito and seconded by Councilmember Becker to close the public hearing. Motion **Approved 5/0:** Ayes: Edson, Becker, Harless, and Zito. Noes: None. Recused: Hegenauer.

**Motion:** Following brief Council discussion, it was moved by Councilmember Zito and seconded by Mayor Edson to approve staff recommendations. Motion **Approved 5/0:** Ayes: Edson, Becker, Harless, and Zito. Noes: None. Recused: Hegenauer.

### **B.3. Public Hearing: *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2021 through 2025.** (File 0820-90)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive public testimony, and Close the Public Hearing.
2. Consider Adoption of **Resolution 2020-041**, approving the *TransNet* Local Street Improvement Program list of projects for Fiscal Years 2021 through 2025.

[Item B.3. Report \(click here\)](#)

Greg Wade, City Manager, introduced the item.

Mayor Edson opened the public hearing.

**Motion:** Moved by Mayor Edson and seconded by Councilmember Harless to close the public hearing. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**Motion:** Moved by Councilmember Harless and seconded by Councilmember Becker to approve staff recommendation. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

### **C. STAFF REPORTS: (C.1.)**

See [Public Participation](#) on the front page for information on how to submit public comment.

#### **C.1. Solana Energy Alliance (SEA) 2/12/20 Quarterly Update Follow Up.** (File 1010-45)

Recommendation: That the City Council

1. Provide direction regarding the rate discount to apply in developing an adjusted rate schedule.
2. Direct Staff to schedule a rate public hearing with an updated rate schedule reflecting Council direction at the May 13, 2020 City Council meeting.

[Item C.1. Report \(click here\)](#)

[Item C.1. Supplemental Docs \(Updated 4-22 at 545pm\)](#)

Greg Wade, City Manager, presented a PowerPoint (on file) regarding the item.

Jeff Fuller, Consultant, continued the PowerPoint (on file), reviewing historical data and financial projections.

City Manager Wade continued the presentation, summarizing impacts from rate discounts of 3%, 1% or zero, deferral of \$25,000 repayment to the City general fund, and projecting a rate decrease at the next hearing.

Council and Staff discussed unchanged rate charges for summer and fall, timing of selling Bucket 2 energy and purchasing Bucket 3, procuring carbon free energy prior to winding down operations of Solana Energy Alliance (SEA) in 2021, the Power Charge Indifference Adjustment (PCIA) eventually being at zero, deferring repayment to the City, Calpine Energy Solutions providing billing and data management services, and setting rates at parity (0% discount).

Discussion continued regarding clarification about selling energy contracts, contradiction of PCIA increase and decrease of energy generating costs, potential increase from SDG&E even with leveling of summer/winter rates, and lowering the rate discount resulting in reduction for energy generation rates but with increased distribution charges bills, the difficulty in comparing bills and the

sample bill on the SEA website, the change in value of solar energy with and without storage, maintaining a 1% rate discount under the circumstances and deferring reimbursement of City costs, maintaining the current portfolio mix since the carbon free component of the portfolio mix was mostly from out of State, the goals would be increasing local energy production and meeting the Climate Action Plan, the SEA having about \$450,000 in charges over the last two years, increased distribution charges of 129% and a higher PCIA, other environmental projects, and setting rates at parity.

**Motion:** Moved by Councilmember Zito and seconded by Councilmember Becker to direct staff to return with a rate plan with 1% discount for energy generation and schedule the hearing on May 13, 2020. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**Motion:** Moved by Councilmember Harless and seconded by Councilmember Becker to defer repayment of \$25,000 in monthly costs to the City. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

## **C.2. Consideration of Resident & Business Relief Measures Related to COVID-19**

Recommendation: That the City Council

1. Discuss and consider ways in which the City might assist residents and businesses during the COVID-19 pandemic and provide direction to Staff as necessary.

[Item C.2. Report \(click here\)](#)

Greg Wade, City Manager, presented a PowerPoint (on file) reviewing relief measures to consider for residents and businesses due to the COVID-19 emergency related to business certificate renewal fees/fire inspection fees, short term vacation permits, sewer rates, Solana Energy Alliance, hillside slope failure efforts, and communication and outreach with information on resources and financial assistance.

Council and Staff discussed focusing on business certificate renewal fees waiver, short term vacation permits at 2018 rates, sewer rate at 2018 rate, defer sending outstanding bills to collections for Solana Energy Alliance until year end, and hillside slope failure permit fee waiver.

**WORK PLAN COMMENTS:** None

**COMPENSATION & REIMBURSEMENT DISCLOSURE:** None

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES:** (outside agencies, appointed by this Council)

**STANDING COMMITTEES:** (All Primary Members) (*Permanent Committees*)

Councilmembers reported Committee activities.

### **ADJOURN:**

Mayor Edson adjourned the meeting at 9:05 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

Joint – Closed Session

Wednesday, May 6, 2020 \* 3:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

Pursuant to Governor Newsom's Executive Order N-29-20, City Council and staff participated in this meeting via teleconference.

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

### CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

### CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 3:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Gregory Wade, City Manager  
Johanna Canlas, City Attorney

**PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):** None

### CLOSED SESSION:

#### 1. CONFERENCE WITH LABOR NEGOTIATORS

Pursuant to Government Code Section 54957.6 Agency designated representative:  
Gregory Wade

Employee organizations: Miscellaneous Employees, Marine Safety Unit, Solana Beach Firefighter's Association and Unrepresented Employees.

#### 2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)  
One (1) Potential case(s).

**ACTION:** The City Council authorized the filing of an Amicus Brief with the Supreme Court of the United States related to the Higginson v. City of Poway case. The City of Solana Beach is joined by the cities of Mission Viejo, Barstow, South Pasadena, Oroville and the Town of Yucca Valley in our brief.

### ADJOURN:

Mayor Edson adjourned the meeting at 4:45 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_





# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

### Joint SPECIAL Meeting

Wednesday, May 6, 2020 \* 4:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

This meeting was conducted in accordance with Governor Newsom's  
Executive Order N-29-20 and N-33-20 related to the COVID-19 virus.

**Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.**

City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.

Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

#### CITY COUNCILMEMBERS

Jewel Edson, **Mayor**

Judy Hegenauer, **Deputy Mayor**

Kristi Becker, **Councilmember**

Kelly Harless, **Councilmember**

David A. Zito, **Councilmember**

Gregory Wade  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

#### **CALL TO ORDER:**

Mayor Edson called the meeting to order at 4:00 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito

Absent: None

Also Present: Greg Wade, City Manager  
Johanna Canlas, City Attorney  
Angela Ivey, City Clerk,  
Dan King, Assistant City Manager  
Mo Sammak, City Engineer/Public Works Dir.  
Marie Berkuti, Finance Director  
Joseph Lim, Community Development Dir.

#### **CLOSED SESSION REPORT:**

Johanna Canlas, City Attorney, reported that the City Council authorized filing an Amicus Brief with the U.S. Supreme Court related to Higginson vs. City of Poway, along with the cities of Mission Viejo, Barstow, South Pasadena, Oroville, and town of Yucca Valley.

#### **FLAG SALUTE:**

#### **APPROVAL OF AGENDA:**

**Motion:** Moved by Councilmember Zito and seconded by Councilmember Harless to approve. **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless, and Zito. Noes: None.

**ORAL COMMUNICATIONS:** None

## **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

Council reported community announcements, events and commentary.

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.3.)

#### **A.1. Minutes of the City Council.** (File 0300-30)

Recommendation: That the City Council

1. Approve the Minutes of the City Council Meetings held December 5, 2018, December 17, 2018, May 22, 2019, September 16, 2019, November 13, 2019 and November 20, 2019.

Approved Minutes [http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B\\_BASIC](http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B_BASIC)

**Motion:** Moved by Mayor Edson and seconded by Councilmember Becker to approve. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless and Zito. Noes: None.

#### **A.2. Emergency Paid Sick Leave Due to Coronavirus.** (File 0520-00)

Recommendation: That the City Council

1. Approve **Resolution 2020-046** adopting the side letter agreements with Solana Beach Fire Association (SBFA), Marine Safety Employee Group and the Public Works employees.

[Item A.2. Report \(click here\)](#)

**Motion:** Moved by Mayor Edson and seconded by Councilmember Becker to approve. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless and Zito. Noes: None.

#### **A.3. Continuing the Proclamation of Existence of a Local Emergency Related to COVID-19.** (File 0240-00)

Recommendation: That the City Council

1. Consider adoption of **Resolution 2020-056** to continue the Proclamation of the Existence of a Local Emergency related to COVID-19.

[Item A.3. Report \(click here\)](#)

**Motion:** Moved by Mayor Edson and seconded by Councilmember Becker to approve. Motion **Approved 5/0:** Ayes: Edson, Hegenauer, Becker, Harless and Zito. Noes: None.

### **C. STAFF REPORTS: (C.1. – C.2.)**

#### **C.1. Chandler Asset Management Quarterly Update.** (File 0350-44)

Recommendation: That the City Council

1. Accept and file the Chandler Asset Quarterly Investment Report for the quarter ended March 31, 2020.

[Item C.1. Report \(click here\)](#)

Greg Wade, City Manager introduced the item.

Genny Lynkiewicz, Portfolio Manager, Chandler Asset Management, presented a PowerPoint (on file).

Council and Consultant discussion.

**C.2. COVID-19 Budget and Work Plan Discussion.** (File 0330-30)

Recommendation: That the City Council

1. Receive this report and provide direction as necessary to Staff.

[Item C.2. Report \(click here\)](#)

[Item C.2. Updated Report #1 \(upd. 5-6 at 130pm\)](#)

[Item C.2. Supplemental Docs \(Updated 5-06 at 8:30am\)](#)

Greg Wade, City Manager introduced the item. He indicated the purpose of the report is informational and to obtain initial ideas from Council before refining the proposals and coming back to Council.

Marie Berkuti, Finance Director, presented a PowerPoint (on file) on budget impacts on Financial and Human Resources software.

Dan King, Assistant City Manager, continued the presentation relative to the City website.

Mo Sammak, Engineering/Public Works Director, continued the presentation on proposed decreases to the Capital Improvement Plan.

Council and Staff discussed projected adjustments to the General Fund budget due to impacts from COVID-19, proceeding with the RFP (Request for Proposal) for the website improvements in the Fiscal Year 2020/2021, concerns about the amount of reductions in the pavement management program, the Santa Helena Neighborhood Trail project, tot lot improvements, and the climate energy declaration.

**COMPENSATION & REIMBURSEMENT DISCLOSURE:** None.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES:** (outside agencies, appointed by this Council)

**STANDING COMMITTEES:** (All Primary Members) (*Permanent Committees*)

Councilmembers reported Committee activities.

**ADJOURN:**

Mayor Edson adjourned the meeting at 6:09 p.m.

Angela Ivey, City Clerk

Approved: \_\_\_\_\_



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Register of Demands

## BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 06/20/20 through 08/07/20

Check Register-Disbursement Fund (Attachment 1)		\$	3,275,208.64
Retirement Payroll	June 22, 2020		4,648.00
Net Payroll	June 26, 2020		177,338.25
Federal & State Taxes	June 26, 2020		45,726.44
PERS Retirement (EFT)	June 26, 2020		45,558.51
Health Insurance for July	July 1, 2020		47,854.21
FY21 PERS UAL- July	July 1, 2020		89,542.50
Retirement Payroll	July 8, 2020		4,648.00
Council Payroll	July 9, 2020		3,497.97
Federal & State Taxes	July 9, 2020		355.48
PERS Retirement (EFT)	July 9, 2020		535.34
Net Payroll	July 10, 2020		222,266.90
Federal & State Taxes	July 10, 2020		58,536.58
PERS Retirement (EFT)	July 10, 2020		49,034.37
FY21 PERS UAL Prepayment	July 28, 2020		949,225.50
Health Insurance for August	August 1, 2020		47,391.28
Retirement Payroll	August 4, 2020		4,938.00
Net Payroll	August 7, 2020		219,322.95
Federal & State Taxes	August 7, 2020		58,837.46

TOTAL \$ 5,352,282.90

## DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CITY COUNCIL ACTION: \_\_\_\_\_  
 \_\_\_\_\_

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The register of demands for June 20, 2020 through August 7, 2020 reflects total expenditures of \$5,352,282.90 from various City funding sources.

**WORK PLAN:**

N/A

**OPTIONS:**


- Ratify the register of demands.
- Do not ratify and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.

  
\_\_\_\_\_  
Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund

PENTAMATION  
 DATE: 08/10/2020  
 TIME: 11:43:20

CITY OF SOLANA BEACH, CA  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1  
 ACCTPA21

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FUND - 001 - GENERAL FUND

CASH ACCT CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97250	06/25/20 4711	ABEL PEREZ	00165006560	MILEAGE-06/14/20	0.00	8.12
1011	97251	06/25/20 3453	ADVANCED COMMUNICATIONS	00160006120	RADIO REPAIR	0.00	580.00
1011	97252	06/25/20 1135	AFFORDABLE PIPELINE SERV	50900007700	C-SEWER CLEAN-12,567	0.00	6,283.50
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006120	9391012280 4/24-5/23	0.00	324.40
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006120	9391012280 4/24-5/23	0.00	181.06
1011	97253	06/25/20 4832	AT&T CALNET 3	00150005450	9391053641 4/24-5/23	0.00	164.69
1011	97253	06/25/20 4832	AT&T CALNET 3	00150005450	9391062899 4/24-5/23	0.00	164.69
1011	97253	06/25/20 4832	AT&T CALNET 3	00150005450	9391012282 4/24-5/23	0.00	19.68
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391053651 12/25-1/24	0.00	217.27
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391053651 2/25-3/24	0.00	221.26
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391053651 4/25-5/24	0.00	224.02
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391053651 3/25-4/24	0.00	226.67
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391012281 3/25-4/24	0.00	64.14
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391012281 4/25-5/24	0.00	64.54
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391012281 2/25-3/24	0.00	64.71
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391019469 4/20-5/19	0.00	21.37
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391019469 1/20-2/19	0.00	21.47
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391019469 2/20-3/19	0.00	21.57
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391019469 3/20-4/19	0.00	21.57
1011	97253	06/25/20 4832	AT&T CALNET 3	00160006170	9391019469 8/20-9/19	0.00	23.49
TOTAL CHECK						0.00	2,046.60
1011	97254	06/25/20 3069	JOSHUA BLEA	00165006560	MILEAGE-06/17/20	0.00	28.75
1011	97257	06/25/20 1914	US BANK	00160006170	CPR/AED-PENNELL	0.00	21.00
1011	97257	06/25/20 1914	US BANK	00160006170	CPR/AED-KAMMERER	0.00	21.00
1011	97257	06/25/20 1914	US BANK	00160006120	SCRUB BRUSH	0.00	22.60
1011	97257	06/25/20 1914	US BANK	00160006120	CAR WASH	0.00	22.95
1011	97257	06/25/20 1914	US BANK	00170007110	CPRS MTG-K RICHARD	0.00	25.00
1011	97257	06/25/20 1914	US BANK	00160006120	COFFEE POT	0.00	34.93
1011	97257	06/25/20 1914	US BANK	00160006120	2 SPRAY BOTTLE	0.00	36.58
1011	97257	06/25/20 1914	US BANK	00170007110	CPRS AWARD NOM FEE	0.00	40.00
1011	97257	06/25/20 1914	US BANK	00160006120	CAR WASH BRUSH	0.00	45.24
1011	97257	06/25/20 1914	US BANK	00170007110	CPRS MTG-WENGR/MOSHKI	0.00	50.00
1011	97257	06/25/20 1914	US BANK	00160006120	CLOROX WIPES/DTRGNT	0.00	73.86
1011	97257	06/25/20 1914	US BANK	00160006120	TRAH BAGS/MOP TOWELS	0.00	104.28
1011	97257	06/25/20 1914	US BANK	00160006120	TWLS/TRASH BAGS	0.00	223.46
1011	97257	06/25/20 1914	US BANK	00160006120	TWLS/CLNR/BAGS/DTRGNT	0.00	374.28
1011	97257	06/25/20 1914	US BANK	001	CPRS CONF-WENGER-3/10	0.00	425.55
1011	97257	06/25/20 1914	US BANK	00170007110	SKT PRK EVNT GVEAWAYS	0.00	790.94
1011	97257	06/25/20 1914	US BANK	00160006140	BATTERY RETURN	0.00	-18.00
1011	97257	06/25/20 1914	US BANK	00160006170	CABINET HINGE-MS	0.00	4.16
1011	97257	06/25/20 1914	US BANK	00165006570	BATHROOM CLEANER-CH	0.00	5.05
1011	97257	06/25/20 1914	US BANK	00160006120	T237 SHORELINE PLUGS	0.00	24.11
1011	97257	06/25/20 1914	US BANK	00165006560	SPRAY PAINT - TOT LOT	0.00	32.29
1011	97257	06/25/20 1914	US BANK	00150005400	ADMN DAY FLWRS-SITHER	0.00	51.70
1011	97257	06/25/20 1914	US BANK	00150005400	ADMN DAY FLWRS-WILLMS	0.00	51.70
1011	97257	06/25/20 1914	US BANK	00150005400	ADMN DAY FLWRS-EGGUM	0.00	51.70
1011	97257	06/25/20 1914	US BANK	00150005400	ADMIN DAY FLWRS-LETTS	0.00	51.70

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97257	06/25/20	1914	US BANK	00150005400	ADMN DAY FLWRS-RIVERA	0.00	51.70
1011	97257	06/25/20	1914	US BANK	00150005200	LA TIMES SUB-FEB-MAY	0.00	51.87
1011	97257	06/25/20	1914	US BANK	00160006120	TRN SUPPLIES-LUMBER	0.00	52.77
1011	97257	06/25/20	1914	US BANK	00150005150	STAMP-CLERK OFFC	0.00	60.02
1011	97257	06/25/20	1914	US BANK	00150005400	COVID19 WEBNR-POUNEH	0.00	75.00
1011	97257	06/25/20	1914	US BANK	00165006560	PAINT-SKT PARK	0.00	111.61
1011	97257	06/25/20	1914	US BANK	00150005150	DROPBOX-CLERK-4/20-21	0.00	119.88
1011	97257	06/25/20	1914	US BANK	00160006120	TOILET PAPER	0.00	136.88
1011	97257	06/25/20	1914	US BANK	00165006560	MEGAPHONE	0.00	146.79
1011	97257	06/25/20	1914	US BANK	00160006120	TONER	0.00	151.91
1011	97257	06/25/20	1914	US BANK	00160006140	ESCAPE-BATTERY	0.00	171.23
1011	97257	06/25/20	1914	US BANK	00160006120	FACE MASKS	0.00	190.70
1011	97257	06/25/20	1914	US BANK	00160006120	CLOTH FOR MASKS	0.00	238.99
1011	97257	06/25/20	1914	US BANK	00160006120	CLEANER	0.00	293.08
1011	97257	06/25/20	1914	US BANK	00160006120	MARTIAL ARTS MATS	0.00	435.98
1011	97257	06/25/20	1914	US BANK	00155005550	AICP/APA MBRSH- LIM	0.00	788.00
1011	97257	06/25/20	1914	US BANK	00160006120	FUEL	0.00	68.96
1011	97257	06/25/20	1914	US BANK	00160006120	FUEL	0.00	88.63
1011	97257	06/25/20	1914	US BANK	00160006120	FACE MASK FILTERS	0.00	413.80
TOTAL CHECK							0.00	6,213.88
1011	97258	06/25/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	JANITORIAL SVC-MAY	0.00	3,975.00
1011	97258	06/25/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	COVID-19 CLN-05/25/20	0.00	880.00
TOTAL CHECK							0.00	4,855.00
1011	97259	06/25/20	101	CAMEO PAPER & JANITORIAL	00160006170	TOWELS/LINERS	0.00	104.03
1011	97260	06/25/20	211	CONSOLIDATED ELECTRICAL	00165006560	LAMPS	0.00	193.95
1011	97261	06/25/20	2098	CULLIGAN OF SAN DIEGO	00160006120	WATER FLTR 6/01-7/31	0.00	85.60
1011	97262	06/25/20	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-MAY	0.00	45.56
1011	97262	06/25/20	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-JUN	0.00	45.56
TOTAL CHECK							0.00	91.12
1011	97263	06/25/20	2629	D & D DISPOSAL INC	00160006130	ANIMAL DISPOSAL-MAY	0.00	365.00
1011	97264	06/25/20	1701	DANNY KING	55000007750	CALCCA-KING-11/05-07	0.00	842.46
1011	97264	06/25/20	1701	DANNY KING	001	CALCCA-KING-11/05-07	0.00	-725.30
TOTAL CHECK							0.00	117.16
1011	97265	06/25/20	2572	DRIVE AUTO CARE	00160006120	12 F150-RPLC ALTRNTOR	0.00	1,015.74
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006570	COUPLING	0.00	7.26
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006530	BOLT/DRILL BIT/ANCHR	0.00	12.06
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006530	LOW SMOKE OIL	0.00	17.40
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	PRIMER	0.00	20.64
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	LUMBER/TAPE	0.00	21.37
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	MNT TAPE/DOOR KNOB	0.00	23.93
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	CAUTION TAPE/TIES	0.00	25.19
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	50900007700	LUBE	0.00	28.68
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006570	CLEANER/GLOVES	0.00	35.87

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	WASHER/BOLT	0.00	36.20
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006570	BATTERIES	0.00	45.23
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006530	BLACK TOP PATCH	0.00	89.32
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006530	HAMMER/KEY/WRENCH	0.00	120.98
1011	97266	06/25/20	134	DIXIELINE LUMBER CO INC	00165006560	LUMBER	0.00	211.40
TOTAL CHECK							0.00	695.53
1011	97267	06/25/20	4989	DRO MANAGEMENT CONSULTAN	00150005200	PROF SVC-07/19-06/20	0.00	4,500.00
1011	97268	06/25/20	5880	ERIC AND MICHELLE CARLBO	001	RFND ENC4116/635 N GR	0.00	755.00
1011	97269	06/25/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 05/18-05/22	0.00	1,207.46
1011	97269	06/25/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 05/25-05/29	0.00	6,595.08
TOTAL CHECK							0.00	7,802.54
1011	97270	06/25/20	4166	HOGAN LAW APC	00150005250	GENERAL LEGAL-DEC	0.00	942.50
1011	97271	06/25/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 06/26/20	0.00	13,800.57
1011	97272	06/25/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 06/26/20	0.00	2,024.11
1011	97273	06/25/20	489	INDUSTRIAL DESIGN RESEAR	13560006170	LG TWR STRC RPLCMNT-2	0.00	20,501.35
1011	97274	06/25/20	5866	KAIZEN INFOSOURCE LLC	00150005150	RECRD RETN PLCY-AP/MY	0.00	2.32
1011	97274	06/25/20	5866	KAIZEN INFOSOURCE LLC	00150005150	RECRD RETN PLCY-AP/MY	0.00	2,997.68
TOTAL CHECK							0.00	3,000.00
1011	97275	06/25/20	2562	LALLEY CONSTRUCTION	00165006570	MS RPR-WATER HEATER	0.00	910.00
1011	97275	06/25/20	2562	LALLEY CONSTRUCTION	45994626510	9462.04 FCCC RPR-DOOR	0.00	10,000.00
1011	97275	06/25/20	2562	LALLEY CONSTRUCTION	45994626510	9462.04 FCCC RPR-DOOR	0.00	9,825.00
TOTAL CHECK							0.00	20,735.00
1011	97276	06/25/20	323	LIEBERT CASSIDY INC	00150005250	PROF SVC-MAR	0.00	1,923.85
1011	97276	06/25/20	323	LIEBERT CASSIDY INC	00150005250	PROF SVC-MAR	0.00	152.00
TOTAL CHECK							0.00	2,075.85
1011	97277	06/25/20	5549	MICHAEL BAKER INTERNATIO	21355005550	1718.03/0 IDA AVE	0.00	1,627.50
1011	97277	06/25/20	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	22,025.42
1011	97277	06/25/20	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	2,447.27
TOTAL CHECK							0.00	26,100.19
1011	97278	06/25/20	2106	MIKHAIL OGAWA ENGINEERIN	00165006520	JURMP-MAY	0.00	7,790.40
1011	97279	06/25/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	7.98
1011	97279	06/25/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	22.59
1011	97279	06/25/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	22.59
TOTAL CHECK							0.00	53.16
1011	97280	06/25/20	5391	NIELSEN MERKSAMER	00150005250	REDSTRCT PROF SVC-MAY	0.00	5,070.39
1011	97281	06/25/20	66	NORTH COUNTY DISPATCH (J	00160006120	FY20 DISPATCH SVC Q4	0.00	13,192.43



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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97282	06/25/20	54	1 STOP TONER & INKJET, L	00165006510	TONER/COLOR-ENG	0.00	781.13
1011	97283	06/25/20	3754	PAL GENERAL ENGINEERING	247	9362PAV RPR RTN RLS	0.00	23,428.15
1011	97283	06/25/20	3754	PAL GENERAL ENGINEERING	459	9362PAV RPR RTN RLS	0.00	199.76
TOTAL CHECK							0.00	23,627.91
1011	97284	06/25/20	5886	PATRICK E DOUGHERTY REV	001	RFND-ENC4098/426 N GR	0.00	261.00
1011	97285	06/25/20	416	REGIONAL COMMS SYS, MS 0	00160006120	CAP CODE-MAY	0.00	32.50
1011	97286	06/25/20	5402	SHULTZ AUDIO VIDEO	00160006170	TRBLSHT SPKRS/REWIRE	0.00	390.00
1011	97287	06/25/20	5743	STANDARD PLUMBING SUPPLY	00165006570	WATER HEATER-MS	0.00	1,302.57
1011	97288	06/25/20	1978	THE STATE CHEMICAL MFG C	00160006120	CLEANING PROCDUCTS	0.00	586.19
1011	97288	06/25/20	1978	THE STATE CHEMICAL MFG C	00160006120	CLEANING PRODUCT	0.00	187.49
TOTAL CHECK							0.00	773.68
1011	97289	06/25/20	5887	STEIGERWALD-DOUGHERTY, I	001	RFND-ENC4141/426 N GR	0.00	530.00
1011	97290	06/25/20	5699	SUNBELT RENTALS, INC.	00160006170	FORKLIFT-MS	0.00	802.48
1011	97291	06/25/20	3980	TURNOUT MAINTENANCE COMP	00160006120	TRNT CLN/RPR BACKUP	0.00	591.00
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	21100007600	PW CELL 05/02-06/01	0.00	4.44
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	50900007700	PW CELL 05/02-06/01	0.00	4.44
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00165006540	PW CELL 05/02-06/01	0.00	17.75
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00165006560	PW CELL 05/02-06/01	0.00	17.75
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00165006510	PW CELL 05/02-06/01	0.00	22.17
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00165006520	PW CELL 05/02-06/01	0.00	22.18
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00165006530	PW CELL 05/02-06/01	0.00	22.18
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00160006140	CODES CELL 3/24-4/23	0.00	89.45
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00160006140	CODES CELL 3/24-4/23	0.00	55.86
1011	97292	06/25/20	30	VERIZON WIRELESS-SD	00160006140	CODES CELL 4/24-5/23	0.00	145.31
TOTAL CHECK							0.00	401.53
1011	97293	06/25/20	5091	WASHED OUT PRESSURE WASH	00160006170	PRSR WSH LIFEGRD TWRS	0.00	596.00
1011	97294	06/25/20	5772	ZOLL MEDICAL CORPORATION	27060006120	CSA17 MONITR CSE REVW	0.00	3,990.00
1011	97295	06/30/20	5883	CALIFORMULATED INC.	00160006170	REISSUE CK#97221	0.00	444.47
1011	97295	06/30/20	5883	CALIFORMULATED INC.	00160006170	REISSUE CK#97221	0.00	1,113.95
TOTAL CHECK							0.00	1,558.42
1011	97296	07/21/20	2906	ACE UNIFORMS & ACCESSORI	00160006170	35 PATCHES	0.00	116.85
1011	97297	07/21/20	1135	AFFORDABLE PIPELINE SERV	50900007700	H-SEWER CLEANING	0.00	1,140.00
1011	97297	07/21/20	1135	AFFORDABLE PIPELINE SERV	50900007700	D-SEWER CLEAN-7,117	0.00	10,817.84
TOTAL CHECK							0.00	11,957.84
1011	97298	07/21/20	2137	AFLAC	001	JUNE 20	0.00	895.40

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97299	07/21/20	834	ALLSTAR FIRE EQUIPMENT,	00160006120	TURNOUTS-SPANN	0.00	2,415.75
1011	97299	07/21/20	834	ALLSTAR FIRE EQUIPMENT,	00160006120	TURNOUTS-MORGAN	0.00	2,415.75
1011	97299	07/21/20	834	ALLSTAR FIRE EQUIPMENT,	00160006120	TURNOUTS-MASNICA	0.00	2,415.76
1011	97299	07/21/20	834	ALLSTAR FIRE EQUIPMENT,	00160006120	TURNOUTS-STYERS	0.00	2,415.76
TOTAL CHECK							0.00	9,663.02
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00170007110	AUTO FUEL-06/03-07/02	0.00	46.30
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00165006560	AUTO FUEL-06/03-07/02	0.00	84.58
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00165006570	AUTO FUEL-06/03-07/02	0.00	140.97
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00165006510	AUTO FUEL-06/03-07/02	0.00	155.07
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	50900007700	AUTO FUEL-06/03-07/02	0.00	169.17
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00160006120	AUTO FUEL-06/03-07/02	0.00	213.49
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00160006140	AUTO FUEL-06/03-07/02	0.00	244.03
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00165006530	AUTO FUEL-06/03-07/02	0.00	408.85
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00165006520	AUTO FUEL-06/03-07/02	0.00	451.13
1011	97300	07/21/20	3704	ARCO GASPRO PLUS	00160006170	AUTO FUEL-06/03-07/02	0.00	644.76
TOTAL CHECK							0.00	2,558.35
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006120	9391012280 5/24-6/23	0.00	505.41
1011	97301	07/21/20	4832	AT&T CALNET 3	00150005450	9391012282 5/24-6/23	0.00	19.68
1011	97301	07/21/20	4832	AT&T CALNET 3	00150005450	9391053641 5/24-6/23	0.00	164.69
1011	97301	07/21/20	4832	AT&T CALNET 3	00150005450	9391062899 5/24-6/23	0.00	164.69
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006150	9391012275 5/24-6/23	0.00	164.69
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006150	9391012275 4/24-5/23	0.00	164.69
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006170	9391053651 5/25-6/24	0.00	228.80
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006170	9391012281 5/25-6/24	0.00	68.06
1011	97301	07/21/20	4832	AT&T CALNET 3	00160006170	9391019469 5/20-6/19	0.00	21.77
TOTAL CHECK							0.00	1,502.48
1011	97302	07/21/20	350	BAKER MARINE INST. & REP	00160006170	2 BINOCULARS	0.00	773.65
1011	97303	07/21/20	3069	JOSHUA BLEA	00165006570	MILEAGE 06/30/20	0.00	28.75
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	30.08
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	113.15
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	226.30
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	280.15
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	430.92
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	474.10
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	655.04
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	1,131.50
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	1,203.20
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	1,228.20
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	1,810.40
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	1,939.50
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	2,381.70
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	4,015.68
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	25560006180	JR GUARD UNIFRMS FY20	0.00	4,833.45
1011	97304	07/21/20	5816	BOARDRIDERS WHOLESAL, L	00160006170	MS UNIFRMS FY20	0.00	1,306.80
TOTAL CHECK							0.00	22,060.17
1011	97305	07/21/20	101	CAMEO PAPER & JANITORIAL	00160006170	HND SNTIZR/DISNFCTNT	0.00	95.99

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1011	97305	07/21/20	101	CAMEO PAPER & JANITORIAL	00160006170	HND TWLS/SOAP	0.00	118.03
TOTAL CHECK							0.00	214.02
1011	97306	07/21/20	3551	CITY NATIONAL BANK	32000007220	FIRE TRK:15-010-7/03	0.00	3,092.45
1011	97306	07/21/20	3551	CITY NATIONAL BANK	32000007220	FIRE TRK:15-010-7/03	0.00	128,851.86
TOTAL CHECK							0.00	131,944.31
1011	97307	07/21/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 05/19-06/18	0.00	585.86
1011	97307	07/21/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 06/19-07/18	0.00	585.86
TOTAL CHECK							0.00	1,171.72
1011	97308	07/21/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-MAY	0.00	273.32
1011	97309	07/21/20	5882	DAVID LIKINS	001	RFND-DRP/SDP 1719.06	0.00	281.25
1011	97309	07/21/20	5882	DAVID LIKINS	213	RFND-DRP/SDP 1719.06	0.00	1,875.00
1011	97309	07/21/20	5882	DAVID LIKINS	001	RFND-DRP/SDP 1719.06	0.00	3,088.50
TOTAL CHECK							0.00	5,244.75
1011	97310	07/21/20	5674	EMANUELS JONES AND ASSOC	00150005200	PROF SVC-JUN	0.00	2,500.00
1011	97311	07/21/20	825	EMERGENCY MEDICAL PRODUC	27060006120	CR: VINYL GLOVES	0.00	-68.56
1011	97311	07/21/20	825	EMERGENCY MEDICAL PRODUC	27060006120	HOT PACK	0.00	34.48
1011	97311	07/21/20	825	EMERGENCY MEDICAL PRODUC	27060006120	BNDG/AIRWAY SET/WRP	0.00	191.99
1011	97311	07/21/20	825	EMERGENCY MEDICAL PRODUC	27060006120	GAUZE-HEMOSTATIC	0.00	395.58
TOTAL CHECK							0.00	553.49
1011	97312	07/21/20	4169	FIRE STATS, LLC	00160006120	FIRE DATA-OCT19-JUN20	0.00	1,377.00
1011	97313	07/21/20	4601	FIREWATCH	00165006570	CH/FS FIRE STSM UPGRD	0.00	456.89
1011	97313	07/21/20	4601	FIREWATCH	00165006570	CH/FS FIRE STSM UPGRD	0.00	2,486.52
TOTAL CHECK							0.00	2,943.41
1011	97314	07/21/20	5480	FISHER INTEGRATED, INC.	00150005450	COUNCIL WEB STRM-MAY	0.00	800.00
1011	97314	07/21/20	5480	FISHER INTEGRATED, INC.	00150005450	COUNCIL WEB STRM-JUN	0.00	800.00
TOTAL CHECK							0.00	1,600.00
1011	97315	07/21/20	5717	GOVOFFICE LLC	00150005450	EXTEND STRG ANL FEE 2	0.00	840.00
1011	97315	07/21/20	5717	GOVOFFICE LLC	00150005450	HOSTING ANNUAL FEE 20	0.00	1,260.00
TOTAL CHECK							0.00	2,100.00
1011	97316	07/21/20	2619	GRANICUS INC	00150005450	FY20 CNCL WEB HOST	0.00	3,852.00
1011	97317	07/21/20	171	HI-WAY SAFETY INC.	00160006170	(50) 18IN CONES	0.00	399.75
1011	97318	07/21/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 07/09/20	0.00	6,208.67
1011	97318	07/21/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 07/10/20	0.00	13,496.44
TOTAL CHECK							0.00	19,705.11
1011	97319	07/21/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 07/10/20	0.00	2,020.57
1011	97320	07/21/20	5371	JONATHAN MARK	001	RFND-SBGR-373/986 AVO	0.00	72,147.00

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1011	97321	07/21/20	5098	JOSE GARCIA	00165006570	MILEAGE-06/28/20	0.00	36.80
1011	97321	07/21/20	5098	JOSE GARCIA	00165006570	MILEAGE-06/28/20	0.00	36.80
TOTAL CHECK							0.00	73.60
1011	97322	07/21/20	5847	JOSHUA HERBST	001	RFND-SBGR-374/362 N S	0.00	20,255.00
1011	97323	07/21/20	5455	JPW COMMUNICATIONS, LLC	55000007750	SEA ANNUAL POSTCARD	0.00	400.00
1011	97324	07/21/20	99	LAWNMOWERS PLUS	00160006120	20IN CHNSAW/36 RDR	0.00	675.33
1011	97325	07/21/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-MAY	0.00	185.00
1011	97325	07/21/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-JUN	0.00	750.00
1011	97325	07/21/20	5014	MANAGED SOLUTION	13550005450	MICROSOFT 365-JUN	0.00	1,011.60
TOTAL CHECK							0.00	1,946.60
1011	97326	07/21/20	5893	MANGANO CONSULTING	001	RFND:B20-0091 /545 N	0.00	1.95
1011	97326	07/21/20	5893	MANGANO CONSULTING	135	RFND:B20-0091 /545 N	0.00	2.28
1011	97326	07/21/20	5893	MANGANO CONSULTING	001	RFND:B20-0091 /545 N	0.00	123.75
TOTAL CHECK							0.00	127.98
1011	97327	07/21/20	5549	MICHAEL BAKER INTERNATIO	21355005550	1718.03/0 IDA AVE	0.00	2,843.75
1011	97328	07/21/20	1377	ONE DAY SIGNS	00160006120	T237&E237 RFLCTVE ID	0.00	856.61
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-FC	0.00	32.00
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-LC	0.00	32.00
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-PW	0.00	32.00
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-MS	0.00	32.00
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-FS	0.00	37.00
1011	97329	07/21/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUNE-CH	0.00	49.50
TOTAL CHECK							0.00	214.50
1011	97330	07/21/20	5151	PHARMALINK, INC	27060006120	CSA17.20-ECOLINK FEE	0.00	150.00
1011	97331	07/21/20	1008	PSC, LLC	00165006520	HHW-MAY	0.00	873.40
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-APR	0.00	8,333.34
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-MAY	0.00	8,333.34
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-APR	0.00	359,062.73
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-MAY	0.00	359,062.73
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-APR	0.00	-218.84
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-MAY	0.00	-164.13
1011	97332	07/21/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	COVID-19 ATV DETAIL	0.00	1,556.10
TOTAL CHECK							0.00	735,965.27
1011	97333	07/21/20	5502	SAN DIEGO HUMANE SOCIETY	00160006130	FY20 ANIMAL SVC-MAR	0.00	6,920.58
1011	97333	07/21/20	5502	SAN DIEGO HUMANE SOCIETY	00160006130	FY20 ANIMAL SVC-MAY	0.00	6,920.58
1011	97333	07/21/20	5502	SAN DIEGO HUMANE SOCIETY	00160006130	FY20 ANIMAL SVC-JUN	0.00	6,920.58
TOTAL CHECK							0.00	20,761.74
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006520	005506014 06/02-07/01	0.00	201.20
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	50900007700	005506014 06/02-07/01	0.00	603.62

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1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006550	011695000 06/02-07/01	0.00	75.58
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006530	011695000 06/02-07/01	0.00	125.97
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	20475007520	GRP 6-01 06/02-07/01	0.00	7,228.96
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	012448001 0502-070120	0.00	82.85
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506018 0602-070120	0.00	310.45
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506019 0602-070120	0.00	1,359.52
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	20875007580	005506020 0602-070120	0.00	1,439.09
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506000 0502-070120	0.00	159.96
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506001 0502-070120	0.00	74.42
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506002 0502-070120	0.00	262.17
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	20875007580	005506003 0502-070120	0.00	117.34
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506004 0502-070120	0.00	74.42
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506005 0502-070120	0.00	221.21
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506006 0502-070120	0.00	117.34
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506007 0502-070120	0.00	102.25
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006570	005506008 0502-070120	0.00	281.57
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506009 0502-070120	0.00	74.42
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506010 0502-070120	0.00	131.35
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506011 0502-070120	0.00	271.87
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506012 0502-070120	0.00	1,086.67
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005506013 0502-070120	0.00	102.25
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	20375007510	005979000 0502-070120	0.00	135.67
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	005979001 0502-070120	0.00	98.69
1011	97335	07/21/20	141	SANTA FE IRRIGATION DIST	00165006560	012448000 0502-070120	0.00	130.83
TOTAL CHECK							0.00	14,869.67
1011	97336	07/21/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-APR	0.00	2,256.73
1011	97336	07/21/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-FEB	0.00	2,288.30
TOTAL CHECK							0.00	4,545.03
1011	97337	07/21/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JAN	0.00	245.00
1011	97338	07/21/20	156	SHARP REES-STEALY MEDICA	00150005400	RESRTRY QUSTNR-FIRE	0.00	850.00
1011	97339	07/21/20	31	SOLANA BEACH CHAMBER OF	25055005570	Q3 VISITOR CENTER	0.00	3,750.00
1011	97340	07/21/20	1978	THE STATE CHEMICAL MFG C	00160006120	HAND SANITIZER	0.00	768.76
1011	97341	07/21/20	450	SWRCB	50998336510	9833STLMNT#R920200109	0.00	9,000.00
1011	97342	07/21/20	130	UNITED STATES LIFESAVING	00160006170	FY20 ADV AGENCY CERT	0.00	500.00
1011	97343	07/21/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 05/24-06/23	0.00	152.04
1011	97344	07/21/20	5594	WEX BANK	00160006120	CR EXEMPT TAX-MAY 20	0.00	-59.77
1011	97344	07/21/20	5594	WEX BANK	00160006120	AURO FUEL-MAY 20	0.00	747.76
TOTAL CHECK							0.00	687.99
1011	97345	07/23/20	5894	AED BRANDS, LLC	27060006120	5 AED BATTERIES	0.00	1,628.24
1011	97346	07/23/20	1135	AFFORDABLE PIPELINE SERV	50900007700	I-SEWER CLEANING	0.00	425.00

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1011	97347	07/23/20	2137	AFLAC	001	JULY 20	0.00	895.40
1011	97348	07/23/20	112	ALLIANT INSURANCE SVCS I	12050005460	FY21 WK PLC VIOLNC PRE	0.00	4,670.00
1011	97349	07/23/20	4800	ASSISTANCE LEAG RNCHO SA	00150005100	FY21 COMMNTY GRANT	0.00	3,000.00
1011	97350	07/23/20	4832	AT&T CALNET 3	00150005450	9391012278 4/24-5/23	0.00	3,124.69
1011	97350	07/23/20	4832	AT&T CALNET 3	00150005450	9391012278 5/24-6/23	0.00	3,139.84
1011	97350	07/23/20	4832	AT&T CALNET 3	50900007700	9391012277 5/24-06/23	0.00	13.50
1011	97350	07/23/20	4832	AT&T CALNET 3	00165006540	9391012279 05/24-6/23	0.00	43.83
1011	97350	07/23/20	4832	AT&T CALNET 3	00150005450	9391012278 3/24-4/23	0.00	2,033.02
1011	97350	07/23/20	4832	AT&T CALNET 3	00150005450	9391012278 3/24-4/23	0.00	1,112.28
TOTAL CHECK							0.00	9,467.16
1011	97351	07/23/20	5587	ZACHARY BASIN	00150005400	FRE SVC RPT WRT-BASIN	0.00	135.05
1011	97352	07/23/20	4626	BIKE WALK SOLANA	00150005100	FY21 COMMNTY GRANT	0.00	1,500.00
1011	97353	07/23/20	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	COUNCIL MTG-6/10-6/24	0.00	2,100.00
1011	97353	07/23/20	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	CNCLMT-12/11,4/8-5/27	0.00	4,452.00
1011	97353	07/23/20	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	COUNCIL MTG-1/8-3/19	0.00	6,930.00
TOTAL CHECK							0.00	13,482.00
1011	97354	07/23/20	3716	BOYS & GIRLS CLUB	00150005100	FY21 COMMNTY GRANT	0.00	5,000.00
1011	97355	07/23/20	2853	CASA DE AMISTAD	00150005100	FY21 COMMNTY GRANT	0.00	5,000.00
1011	97356	07/23/20	2476	CCAC	00150005150	2021 MMBRSH-ARMBRUST	0.00	55.00
1011	97357	07/23/20	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-CH	0.00	258.33
1011	97357	07/23/20	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-PW	0.00	62.86
TOTAL CHECK							0.00	321.19
1011	97358	07/23/20	2631	CLEAN STREET	00165006550	STREET SWP-JUN	0.00	3,364.00
1011	97359	07/23/20	2854	COMMUNITY RESOURCE CENTE	00150005100	FY21 COMMNTY GRANT	0.00	4,500.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 PROPERTY PROG	0.00	63,151.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 MASTER CRIME PROG	0.00	2,333.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 POLLUTION	0.00	1,309.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY20 PROPERTY PROG	0.00	-77,973.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	50900007700	FY20 PROPERTY PROG	0.00	21,284.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY20 PROPERTY PROG	0.00	56,689.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 GEN LIABILITY	0.00	143,357.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 EXCESS LIAB	0.00	31,676.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 EXCESS WKRS COMP	0.00	139,415.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	12050005460	FY21 CYBER INSURANCE	0.00	5,131.00
1011	97360	07/23/20	1964	CSAC EXCESS INSURANCE AU	50900007700	FY21 PROPERTY PROG	0.00	44,241.00
TOTAL CHECK							0.00	430,613.00
1011	97361	07/23/20	5898	DANIEL OLIVER	00150005400	LIVESCAN-OLIVER	0.00	25.00

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1011	97362	07/23/20	739	DEPARTMENT OF JUSTICE	00160006140	FINGERPRINT APP-JUN	0.00	32.00
1011	97362	07/23/20	739	DEPARTMENT OF JUSTICE	00150005400	FINGERPRINT APP-JUN	0.00	256.00
TOTAL CHECK							0.00	288.00
1011	97363	07/23/20	5460	DISCONNECT COLLECTIVE, I	00150005100	FY21 COMMNTY GRANT	0.00	2,500.00
1011	97364	07/23/20	1242	DSR - DOOR SERVICE & REP	00165006570	SRVC-BAY DOOR-FS	0.00	185.62
1011	97365	07/23/20	2462	EMBROIDERY IMAGE	00150005400	JACKET-RETRMNT KERR	0.00	75.75
1011	97365	07/23/20	2462	EMBROIDERY IMAGE	00170007110	PR STAFF UNIFORMS	0.00	505.98
TOTAL CHECK							0.00	581.73
1011	97366	07/23/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 06/22-06/26	0.00	4,271.83
1011	97366	07/23/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 06/29-06/30	0.00	8,405.16
1011	97366	07/23/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 06/15-06/19	0.00	14,226.63
TOTAL CHECK							0.00	26,903.62
1011	97367	07/23/20	4601	FIREWATCH	00165006570	INSPECT SPRKNLR-LC	0.00	187.43
1011	97368	07/23/20	321	GOLDEN TELECOM, INC.	13560006170	MS PHONES/INSTALL	0.00	1,493.24
1011	97369	07/23/20	391	REGIONAL TRAINING CENTER	00150005400	FY21 EE RL TNS CNSRTM	0.00	640.00
1011	97370	07/23/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 07/24/20	0.00	13,010.39
1011	97371	07/23/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 07/24/20	0.00	2,018.14
1011	97372	07/23/20	5741	JALISCIENCE FOLKLORIC AC	00150005100	FY21 COMMNTY GRANT	0.00	2,500.00
1011	97373	07/23/20	5895	KARLI CANALE	00150005400	LIVESCAN-CANALE	0.00	21.00
1011	97374	07/23/20	2287	KOPPEL & GRUBER PUBLIC F	20875007580	CRT ADMIN APR-JUN	0.00	327.47
1011	97374	07/23/20	2287	KOPPEL & GRUBER PUBLIC F	20875007580	CRT PROF SVC APR-JUN	0.00	2,300.00
1011	97374	07/23/20	2287	KOPPEL & GRUBER PUBLIC F	21100007600	ST LGHT ADMIN APR-JUN	0.00	621.23
TOTAL CHECK							0.00	3,248.70
1011	97375	07/23/20	5740	LA COLONIA COMMUNITY FOU	00150005100	FY21 COMMNTY GRANT	0.00	5,000.00
1011	97376	07/23/20	2102	LEGAL SHIELD CORP	001	PPD LEGAL-JULY 20	0.00	64.75
1011	97376	07/23/20	2102	LEGAL SHIELD CORP	001	PPD LEGAL-JUNE 20	0.00	64.75
TOTAL CHECK							0.00	129.50
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005250	PROF SVC-MAR	0.00	-1,923.85
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005250	PROF SVC-MAR	0.00	-152.00
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005400	PROF SVC-MAR	0.00	1,923.85
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005400	PROF SVC-MAY	0.00	2,343.00
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005400	PROF SVC-MAR	0.00	152.00
1011	97377	07/23/20	323	LIEBERT CASSIDY INC	00150005400	PROF SVC-APR	0.00	1,710.00
TOTAL CHECK							0.00	4,053.00
1011	97378	07/23/20	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	4,590.00
1011	97378	07/23/20	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	510.00

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TOTAL CHECK							0.00	5,100.00
1011	97379	07/23/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 06/09&06/16	0.00	81.64
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	7.98
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	7.98
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	22.59
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	22.59
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	22.59
1011	97380	07/23/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	22.59
TOTAL CHECK							0.00	106.32
1011	97381	07/23/20	5215	N. C. IMMIGRATION & CITI	00150005100	FY21 COMMNTY GRANT	0.00	3,000.00
1011	97382	07/23/20	5900	NATURE COLLECTIVE	00150005100	FY21 COMMNTY GRANT	0.00	2,000.00
1011	97383	07/23/20	2163	NORTH COAST REPERTORY TH	00150005100	FY21 COMMNTY GRANT	0.00	5,000.00
1011	97384	07/23/20	66	NORTH COUNTY DISPATCH (J	00160006120	3000 3-PLY FACE MSKS	0.00	2,521.35
1011	97385	07/23/20	2019	NORTH COUNTY EVS, INC	00160006120	INV7027 OVR PMNT	0.00	-2,373.38
1011	97385	07/23/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-2/23	0.00	1,295.63
1011	97385	07/23/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-06/23	0.00	781.48
1011	97385	07/23/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-06/29	0.00	783.73
1011	97385	07/23/20	2019	NORTH COUNTY EVS, INC	001	CK#97200 REFUND	0.00	1,077.75
TOTAL CHECK							0.00	1,565.21
1011	97386	07/23/20	1377	ONE DAY SIGNS	00165006560	COVID-SIGNAGE	0.00	1,896.40
1011	97387	07/23/20	113	PITNEY BOWES GLOBAL FINA	00150005150	POSTAGE MTR-1/30-4/29	0.00	704.94
1011	97387	07/23/20	113	PITNEY BOWES GLOBAL FINA	00150005150	POSTAGE MTR-4/30-7/29	0.00	704.94
1011	97387	07/23/20	113	PITNEY BOWES GLOBAL FINA	00150005150	POSTG MTR-01/03-04/29	0.00	-704.94
TOTAL CHECK							0.00	704.94
1011	97388	07/23/20	5896	QUINN HEGGIE	00150005400	LIVESCAN-HEGGIE	0.00	25.00
1011	97389	07/23/20	1112	RANCHO SANTA FE SECURITY	00165006560	RESTRM LCK/UNLOCK-JUN	0.00	555.79
1011	97389	07/23/20	1112	RANCHO SANTA FE SECURITY	00165006560	ALARM MONITORING-JUN	0.00	240.00
TOTAL CHECK							0.00	795.79
1011	97390	07/23/20	416	REGIONAL COMMS SYS, MS 0	00160006120	CAP CODE-JUN	0.00	32.50
1011	97391	07/23/20	5899	SAN DIEGO BOTANIC GARDEN	00150005100	FY21 COMMNTY GRANT	0.00	1,000.00
1011	97392	07/23/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-06/11	0.00	400.00
1011	97392	07/23/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-06/11	0.00	391.00
1011	97392	07/23/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-6/30	0.00	2,800.00
TOTAL CHECK							0.00	3,591.00
1011	97393	07/23/20	156	SHARP REES-STEALY MEDICA	00150005400	PRE-EMPLOYMENT SCREEN	0.00	1,093.00
1011	97394	07/23/20	3122	ST JAMES-ST LEO MEDICAL	00150005100	FY21 COMMNTY GRANT	0.00	5,000.00



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1011	97395	07/23/20	5743	STANDARD PLUMBING SUPPLY	00165006570	MS WATERHEATR PARTS	0.00	74.93
1011	97396	07/23/20	5881	STRYKER SALES CORPORATIO	27060006120	CSA17 2 DEFIBRILLATOR	0.00	8,856.00
1011	97396	07/23/20	5881	STRYKER SALES CORPORATIO	27060006120	CSA17 2 DEFIBRILLATOR	0.00	642.06
TOTAL CHECK							0.00	9,498.06
1011	97397	07/23/20	2393	TARGET SOLUTIONS INC	00160006120	PRMR FY21 MEMBRSHIP	0.00	1,520.00
1011	97398	07/23/20	5897	TEGAN PRESTON	00150005400	LIVESCAN-PRESTON	0.00	25.00
1011	97399	07/23/20	51	TRAUMA INTERVENTION PROG	00160006120	FY 21 24HR VLNTR SVC	0.00	2,018.00
1011	97400	07/23/20	5509	VALLEY CONSTRUCTON MANAG	50998336510	9833PMP STN MNGMT-JUN	0.00	4,785.00
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006140	CODES CELL 05/24-6/23	0.00	145.31
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 04/29-05/28	0.00	457.58
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 02/29-03/28	0.00	92.37
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 01/29-02/28	0.00	556.04
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 1/29-02/28	0.00	114.03
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 04/29-05/28	0.00	114.03
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 02/29-03/28	0.00	114.03
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 03/29-04/28	0.00	114.03
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 1/29-02/28	0.00	61.69
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 02/29-03/28	0.00	63.66
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 04/29-05/28	0.00	63.87
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 03/29-04/28	0.00	66.12
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 02/29-03/28	0.00	367.29
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 03/29-04/28	0.00	463.99
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006170	MS CELL 03/29-04/28	0.00	152.04
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006170	MS CELL 02/29-03/28	0.00	152.04
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006170	MS CELL 04/29-05/28	0.00	152.04
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	00160006170	MS CELL 1/29-02/28	0.00	196.24
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	13560006120	PUB SAFETY IPAD	0.00	349.64
1011	97401	07/23/20	30	VERIZON WIRELESS-SD	13560006170	PUB SAFETY IPAD	0.00	1,398.56
TOTAL CHECK							0.00	5,194.60
1011	97402	07/23/20	4844	WARWICK GROUP CONSULTANT	45099266190	9926.20 PROF SVC-JUN	0.00	5,375.00
1011	97403	07/30/20	2555	BOB HOFFMAN VIDEO PRODUC	550	CEA MTNGS 2/20 & 5/21	0.00	1,344.00
1011	97404	07/30/20	5521	CA DEPARTMENT OF TAX AND	550	Q4 ENERGY SRCHRG RTN	0.00	3,802.44
1011	97406	07/30/20	1914	US BANK	00150005450	HEADSET SHIP RFND	0.00	-16.87
1011	97406	07/30/20	1914	US BANK	00150005450	HEADSET SHIP RFND	0.00	-16.87
1011	97406	07/30/20	1914	US BANK	00150005450	HOSTING DOMAINS-MAR	0.00	9.95
1011	97406	07/30/20	1914	US BANK	00150005450	PRIME MEMBERSHIP	0.00	14.00
1011	97406	07/30/20	1914	US BANK	00165006560	LAMINATING FILM	0.00	21.54
1011	97406	07/30/20	1914	US BANK	25560006180	CARGO NET	0.00	23.26
1011	97406	07/30/20	1914	US BANK	00160006170	BATTERIES	0.00	35.55
1011	97406	07/30/20	1914	US BANK	00160006170	SIGN CABLE TIES	0.00	36.60
1011	97406	07/30/20	1914	US BANK	00160006170	DISH SOAP	0.00	43.07

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1011	97406	07/30/20	1914	US BANK	00165006530	PRIME MEMBERSHIP	0.00	64.11
1011	97406	07/30/20	1914	US BANK	50900007700	PRIME MEMBERSHIP	0.00	64.11
1011	97406	07/30/20	1914	US BANK	00165006570	HAND SANITIZER	0.00	73.15
1011	97406	07/30/20	1914	US BANK	00160006170	DOOR CLOSERS	0.00	74.35
1011	97406	07/30/20	1914	US BANK	00150005450	CONSTANT CONTACT-APR	0.00	75.00
1011	97406	07/30/20	1914	US BANK	001	INSTR MTHD-PENNELL	0.00	104.00
1011	97406	07/30/20	1914	US BANK	00160006170	DISINFECTANT	0.00	105.03
1011	97406	07/30/20	1914	US BANK	00150005200	DROPBOX-04/20-04/21	0.00	119.88
1011	97406	07/30/20	1914	US BANK	00160006140	MEGAPHONE-CODES	0.00	146.79
1011	97406	07/30/20	1914	US BANK	550	QUICKBOOKS-03/23/20	0.00	197.79
1011	97406	07/30/20	1914	US BANK	00160006170	FACE MASKS/SANITIZER	0.00	207.62
1011	97406	07/30/20	1914	US BANK	00150005450	5 HEADSETS	0.00	220.16
1011	97406	07/30/20	1914	US BANK	00150005450	5 HEADSETS	0.00	220.16
1011	97406	07/30/20	1914	US BANK	00160006170	72 HATS-MS	0.00	721.31
1011	97406	07/30/20	1914	US BANK	13550005450	5 ACROBAT PRO SUBS	0.00	752.12
1011	97406	07/30/20	1914	US BANK	00150005450	REMOTE VPN SECURITY	0.00	1,307.00
1011	97406	07/30/20	1914	US BANK	13550005450	ZOOM MEMBERSHIP	0.00	140.00
TOTAL CHECK							0.00	4,742.81
1011	97407	07/30/20	5883	CALIFORMULATED INC.	00160006170	FACE COVERS	0.00	848.53
1011	97408	07/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-JUN	0.00	608.98
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006530	BRASS NIPPLE	0.00	5.03
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	CEMENT SCREW	0.00	9.20
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	VYNL TAPE	0.00	9.29
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	COPPER PIPE/ELBOW	0.00	10.89
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	SEALER	0.00	14.63
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	CONCRETE MIX	0.00	15.04
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	BUNGEE CORD/STRAP	0.00	17.24
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	CONCRETE MIX	0.00	22.56
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	SAND DISK	0.00	26.61
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	DRILL BIT/BOLTS/ANCHR	0.00	26.75
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	AUTO FEED NAILS	0.00	33.93
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006570	VENT SCREEN	0.00	38.39
1011	97409	07/30/20	134	DIXIELINE LUMBER CO INC	00165006560	LINER/DSTR/PRIMER	0.00	85.23
TOTAL CHECK							0.00	314.79
1011	97410	07/30/20	5296	DOG WASTE DEPOT	00165006520	23 MUTT-MITT CARTONS	0.00	1,489.04
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 11/25-11/29	0.00	18,992.23
1011	97411	07/30/20	94	ESGIL CORPORATION	00160006120	FIRE PRMT 01/20-01/24	0.00	176.25
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 11/18-11/22	0.00	4,325.72
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/07-10/11	0.00	5,768.10
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 01/20-01/24	0.00	6,140.42
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 06/01-06/05	0.00	8,240.94
1011	97411	07/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/14-10/18	0.00	10,539.99
TOTAL CHECK							0.00	54,183.65
1011	97412	07/30/20	2562	LALLEY CONSTRUCTION	00165006570	MS RPR-06/19	0.00	163.00
1011	97413	07/30/20	4023	LIFE-ASSIST, INC	27060006120	AED BTRY/SMRT PADS	0.00	575.76

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	97414	07/30/20	4738	MEDICAL EYE SERVICES	001	VISION JUN 20	0.00	432.11
1011	97414	07/30/20	4738	MEDICAL EYE SERVICES	001	EE - JUN 20	0.00	-20.33
1011	97414	07/30/20	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING-JUN 20	0.00	-0.23
TOTAL CHECK							0.00	411.55
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	00165006530	MLTPL DMG/MLTPL LCTNS	0.00	1,322.87
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	00165006530	STREET LNDS SCP SVC-JUN	0.00	1,826.00
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	00165006560	PRKS LNDS SCP SVC-JUN	0.00	11,625.14
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	00165006570	PUBFAC LNDS SCP SVC-JUN	0.00	2,509.06
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	20375007510	MID#33 LNDS SCP SVC-JUN	0.00	2,678.26
1011	97415	07/30/20	4522	NISSHO OF CALIFORNIA	20875007580	CRT LNDS SCP SVC-JUN	0.00	3,396.52
TOTAL CHECK							0.00	23,357.85
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUN	0.00	5.00
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUN	0.00	23.97
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUN	0.00	31.00
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUN	0.00	32.80
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-JUN	0.00	47.94
1011	97416	07/30/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-JUN	0.00	65.60
TOTAL CHECK							0.00	206.31
1011	97417	07/30/20	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	1718.03/IDA AVENUE	0.00	300.00
1011	97417	07/30/20	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	171914/476 MARVIEW	0.00	300.00
1011	97417	07/30/20	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	DRP19007/970 AVOCADO	0.00	300.00
1011	97417	07/30/20	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	DRP19011/608 N. RIOS	0.00	300.00
1011	97417	07/30/20	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	DRP20002/622 GLENMONT	0.00	450.00
TOTAL CHECK							0.00	1,650.00
1011	97418	07/30/20	1087	PREFERRED BENEFIT INS AD	001	DENTAL JUN 20	0.00	2,826.50
1011	97419	07/30/20	1008	PSC, LLC	00165006520	HHW-JUN	0.00	1,158.50
1011	97420	07/30/20	5782	SAN DIEGO HOUSE OF MOTOR	00160006170	2016 POLARIS INSPECTN	0.00	130.81
1011	97421	07/30/20	141	SANTA FE IRRIGATION DIST	00160006120	005512000 05/02-07/01	0.00	550.19
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	21100007600	ST LIGHT REPAIR-MAY	0.00	1,822.97
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	21100007600	ST LIGHT REPAIR-APR	0.00	2,903.29
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-APR	0.00	1,062.88
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-MAY	0.00	1,062.88
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-FEB	0.00	148.70
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-APR	0.00	476.50
1011	97422	07/30/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-MAY	0.00	1,157.29
TOTAL CHECK							0.00	8,634.51
1011	97423	07/30/20	2051	STALKER APPLIED CONCEPTS	00165006540	TRAFFIC DATA COLLECTR	0.00	2,305.12
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005350	PENS	0.00	7.85
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	TABS	0.00	11.83
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	CD CASES	0.00	12.38
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005350	STYLUS	0.00	16.80

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1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005350	PENS	0.00	22.84
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005300	SRG PRTCTR/WRIST RST	0.00	26.17
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	PAPER	0.00	30.90
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005350	ENVELOPES	0.00	38.24
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	MOUSE	0.00	63.67
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	FILE ORGANIZER	0.00	65.28
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	CHAIR FLOOR MATS	0.00	168.98
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005150	DATE/TIME STAMPER	0.00	260.74
1011	97424	07/30/20	1231	STAPLES CONTRACT & COMME	00150005350	PAPER	0.00	391.74
TOTAL CHECK							0.00	1,117.42
1011	97425	07/30/20	40	UNDERGROUND SVC ALERT OF	00165006510	DIG ALERT-JUN	0.00	100.75
1011	97425	07/30/20	40	UNDERGROUND SVC ALERT OF	00165006510	CA ST REGLRTY-JUN	0.00	36.45
TOTAL CHECK							0.00	137.20
1011	97426	07/30/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 05/29-06/28	0.00	114.03
1011	97426	07/30/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 05/29-06/28	0.00	93.71
1011	97426	07/30/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 05/29-06/28	0.00	463.92
1011	97426	07/30/20	30	VERIZON WIRELESS-SD	00160006170	MS CELL 05/29-06/28	0.00	152.04
TOTAL CHECK							0.00	823.70
1011	97427	07/30/20	4705	WEBQA, INC	00150005150	FY21 RCRDS RQST SFTWR	0.00	4,325.00
1011	97428	07/30/20	2189	WILLDAN	67385008530	MARSOLAN APR-JUN	0.00	253.94
1011	97428	07/30/20	2189	WILLDAN	67285008520	PACIFIC APR-JUN	0.00	255.01
1011	97428	07/30/20	2189	WILLDAN	67185008510	BARB/GRAN APR-JUN	0.00	267.00
TOTAL CHECK							0.00	775.95
1011	97429	08/06/20	5286	AMRON INTERNATIONAL, INC	13560006170	SCUBA SET	0.00	2,499.99
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00165006560	AUTO FUEL-07/03-08/02	0.00	87.59
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00165006570	AUTO FUEL-07/03-08/02	0.00	145.99
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00165006510	AUTO FUEL-07/03-08/02	0.00	160.59
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	50900007700	AUTO FUEL-07/03-08/02	0.00	175.19
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00160006140	AUTO FUEL-07/03-08/02	0.00	250.08
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00160006120	AUTO FUEL-07/03-08/02	0.00	267.20
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00160006170	AUTO FUEL-07/03-08/02	0.00	383.25
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00165006530	AUTO FUEL-07/03-08/02	0.00	423.37
1011	97430	08/06/20	3704	ARCO GASPRO PLUS	00165006520	AUTO FUEL-07/03-08/02	0.00	467.16
TOTAL CHECK							0.00	2,360.42
1011	97431	08/06/20	4832	AT&T CALNET 3	00160006120	9391059865 06/01-6/30	0.00	388.61
1011	97432	08/06/20	4168	CHEN RYAN ASSOCIATES	00165006540	ONCALL TRFFC- JUN	0.00	2,740.00
1011	97433	08/06/20	5051	CINTAS CORPORATION NO. 2	00165006510	FIRST AID SUPPLIES-PW	0.00	27.26
1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	TRAVEL BREAKFAST	0.00	17.74
1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	KRONOS LIC (20)	0.00	128.80
1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	FIRST WATCH PRFM MOD	0.00	153.30
1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	FRC ENTRY DOOR TRNG	0.00	1,773.13
1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	FY20 FIRE MGMNT Q3&Q4	0.00	157,547.00

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1011	97434	08/06/20	310	CITY OF ENCINITAS	00160006120	FY20 STNDRD OF COVERGE	0.00	12,340.97
TOTAL CHECK							0.00	171,960.94
1011	97435	08/06/20	108	DEL MAR BLUE PRINT COMPA	00165006510	BW AS-BUILT PLANS	0.00	410.25
1011	97435	08/06/20	108	DEL MAR BLUE PRINT COMPA	00165006510	BW AS-BUILT PLANS	0.00	96.66
TOTAL CHECK							0.00	506.91
1011	97436	08/06/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 05/04-5/08	0.00	4,712.90
1011	97437	08/06/20	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.2003 PROF SVC-JUN	0.00	35.20
1011	97437	08/06/20	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.2004 PROF SVC-JUN	0.00	37.50
1011	97437	08/06/20	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.1904 PROF SVC-JUN	0.00	140.80
TOTAL CHECK							0.00	213.50
1011	97438	08/06/20	1246	THE HOME DEPOT	00165006530	CLOROX/LINERS	0.00	716.70
1011	97438	08/06/20	1246	THE HOME DEPOT	00165006560	CLOROX/LINERS	0.00	716.70
TOTAL CHECK							0.00	1,433.40
1011	97439	08/06/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 08/07/20	0.00	13,857.71
1011	97440	08/06/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 08/07/20	0.00	2,018.11
1011	97441	08/06/20	5035	KAENON, LLC	00160006170	SUNGLASSES-SHOOK	0.00	127.59
1011	97442	08/06/20	172	LEE'S LOCK & SAFE INC	00165006570	REPAIR HARDWARE-FC	0.00	147.13
1011	97443	08/06/20	5902	M H MASONRY	001	RFND-ECR#4148/823 VER	0.00	530.00
1011	97444	08/06/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-JUN	0.00	277.50
1011	97445	08/06/20	252	MAR-CON PRODUCTS, INC.	00165006530	2 MANHOLE RISERS	0.00	301.70
1011	97445	08/06/20	252	MAR-CON PRODUCTS, INC.	00165006530	MANHOLE RISER RING	0.00	150.85
TOTAL CHECK							0.00	452.55
1011	97446	08/06/20	2323	MATTRESS PLACE	13560006120	2-MATTRESSES	0.00	1,635.10
1011	97447	08/06/20	5901	MAX THREADS LLC	00160006150	COVID-19 FACE MASKS	0.00	6,330.00
1011	97448	08/06/20	4486	ORIGINAL WATERMEN, INC	27060006170	CSA17.21-MED SUPPLS	0.00	96.97
1011	97448	08/06/20	4486	ORIGINAL WATERMEN, INC	00160006170	26 WMNS UNIFORMS	0.00	730.55
TOTAL CHECK							0.00	827.52
1011	97449	08/06/20	3754	PAL GENERAL ENGINEERING	50900007700	CRT EMRGNCY RPR 09/19	0.00	4,733.71
1011	97450	08/06/20	5354	PILLSBURY WINTHROP SHAW	00150005250	PROF SVC-MAY	0.00	1,299.50
1011	97451	08/06/20	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-JUN	0.00	8,333.33
1011	97451	08/06/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-JUN	0.00	359,062.74
1011	97451	08/06/20	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-JUN	0.00	-109.42
TOTAL CHECK							0.00	367,286.65
1011	97452	08/06/20	60	SAN DIEGO ASSOC OF GOVER	00150005100	FY21 SANDAG MEMBRSHIP	0.00	4,679.00

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1011	97452	08/06/20	60	SAN DIEGO ASSOC OF GOVER	45099266190	9926 FY21 SHORELINE	0.00	5,260.00
1011	97452	08/06/20	60	SAN DIEGO ASSOC OF GOVER	00160006110	FY21 CRIMINAL JUSTICE	0.00	687.00
TOTAL CHECK							0.00	10,626.00
1011	97453	08/06/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-MAY	0.00	2,288.65
1011	97454	08/06/20	5743	STANDARD PLUMBING SUPPLY	00165006570	FLUSH VALVE	0.00	148.37
1011	97455	08/06/20	4809	WILLIAM STYERS	00150005400	STYERS-BIO LAB/CHILD	0.00	1,590.68
1011	97456	08/06/20	5427	TOSDAL LAW FIRM	55000007750	SEA PROF SVC-APR	0.00	3,075.60
1011	97456	08/06/20	5427	TOSDAL LAW FIRM	55000007750	SEA PROF SVC-MAY	0.00	6,377.10
TOTAL CHECK							0.00	9,452.70
1011	97457	08/06/20	4534	TRAFFIC SUPPLY, INC	00165006540	PAINT/POSTS	0.00	1,178.94
1011	97458	08/06/20	1667	TRANSAMERICAN MAILING &	50900007700	SEWER ASSMNT-DATA	0.00	377.13
1011	97459	08/06/20	2823	WELLS FARGO BANK	67385008530	ADMIN FEE 7/20-7/21	0.00	450.00
1011	V9000127	06/25/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-MAY	0.00	1,457.50
1011	V9000128	06/25/20	5843	MIDAMERICA	16053005360	CTYSOLANAG5-JUL20	0.00	5,580.00
1011	V9000129	06/25/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 06/26/20	0.00	863.50
1011	V9000130	06/25/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRG-DRP19-008	0.00	360.62
1011	V9000130	06/25/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DRP19-003	0.00	371.69
TOTAL CHECK							0.00	732.31
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	26355005580	-APR	0.00	595.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	52.50
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	210.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	210.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	210.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	735.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	842.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	12050005460	PROF SVC-APR	0.00	1,755.06
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	3,325.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	5,500.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	6,654.03
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 04/30/20	0.00	9,888.13
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	137.50
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	140.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	210.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	297.50
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	507.50
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	1,960.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	3,745.00
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	4,238.47
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	4,443.53
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 05/31/20	0.00	5,500.00

PENTAMATION  
 DATE: 08/10/2020  
 TIME: 11:43:20

CITY OF SOLANA BEACH, CA  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 18  
 ACCTPA21

SELECTION CRITERIA: transact.gl\_cash='1011' and transact.ck\_date between '20200620 00:00:00.000' and '20200807 00:00:00.000'  
 ACCOUNTING PERIOD: 2/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	V9000132	07/21/20	1130	MCDUGAL LOVE ECKIS SMIT	12050005460	PROF SVC-MAY	0.00	6,642.91
TOTAL CHECK							0.00	57,799.13
1011	V9000133	07/21/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 07/10/20	0.00	863.50
1011	V9000134	07/21/20	3066	SUMMIT ENVIRONMENTAL GRO	45099266190	9926 PROF SVC SND-JUN	0.00	1,265.00
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ORD 508 ADOPT	0.00	60.58
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ELECTION NOTICE	0.00	247.95
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DUP19-004	0.00	297.72
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB NTC-MOD 19-002	0.00	300.38
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	DRP19-004/675 GLENMON	0.00	321.22
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DRP 1719.10	0.00	360.62
1011	V9000135	07/21/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	CITIZN COMM ADVERT	0.00	500.00
TOTAL CHECK							0.00	2,088.47
1011	V9000136	07/21/20	5019	TIFFANY WADE	00150005400	CEQA IN PRACTICE	0.00	425.00
1011	V9000137	07/23/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-JUN	0.00	2,887.50
1011	V9000138	07/23/20	5843	MIDAMERICA	16053005360	CTYSOLANAG5-AUG20	0.00	5,580.00
1011	V9000139	07/23/20	5527	PCL CONSTRUCTION INC.	50998336510	9833 SB PMP STN-JUN	0.00	52,250.00
1011	V9000139	07/23/20	5527	PCL CONSTRUCTION INC.	50998336510	9833 PMP STN RTN-JUN	0.00	2,750.00
1011	V9000139	07/23/20	5527	PCL CONSTRUCTION INC.	509	9833 PMP STN RTN-JUN	0.00	-2,750.00
TOTAL CHECK							0.00	52,250.00
1011	V9000140	07/23/20	2260	REDFLEX TRAFFIC SYSTEMS,	00165006540	RED LIGHT CAMERA-JUN	0.00	7,158.00
1011	V9000141	07/23/20	4080	JENNIFER REED	00150005350	COVID ADMIN SVC-MAR	0.00	508.75
1011	V9000141	07/23/20	4080	JENNIFER REED	00150005350	COVID ADMIN SVC-JUN	0.00	756.25
TOTAL CHECK							0.00	1,265.00
1011	V9000142	07/23/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 07/24/20	0.00	863.50
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	JUNE 20 RNDING ADJ	0.00	18.79
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	NOV 19 SUNLFE CHG ADJ	0.00	355.75
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	JUN 20 SUPP LIFE INS	0.00	417.75
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	MAY 20 SUPP LIFE INS	0.00	423.45
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	FY20 RNDG & ADJ	0.00	-72.14
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	NOV 19 SUNLFE CHG ADJ	0.00	-355.75
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	MAY 20 LIFE&ADD INS	0.00	1,169.02
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	JUN 20 LTD	0.00	1,604.58
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	MAY 20 LTD	0.00	1,604.58
1011	V9000143	07/30/20	4465	SUN LIFE FINANCIAL	001	JUN 20 LIFE&ADD INS	0.00	1,379.76
TOTAL CHECK							0.00	6,545.79
1011	V9000144	07/30/20	1512	WELLS FARGO BANK N.A.	67285008520	PACIFC BND INT 9/2/20	0.00	9,731.26
1011	V9000144	07/30/20	1512	WELLS FARGO BANK N.A.	67285008520	PACIFC BND PRN 9/2/20	0.00	15,000.00
1011	V9000144	07/30/20	1512	WELLS FARGO BANK N.A.	67185008510	BARB BND INT 9/2/20	0.00	28,943.76
1011	V9000144	07/30/20	1512	WELLS FARGO BANK N.A.	67185008510	BARB BND PRN 9/2/20	0.00	45,000.00
1011	V9000144	07/30/20	1512	WELLS FARGO BANK N.A.	671	LSS RV FND CSH 9/2/20	0.00	-98.41

PENTAMATION  
 DATE: 08/10/2020  
 TIME: 11:43:20

CITY OF SOLANA BEACH, CA  
 CHECK REGISTER - DISBURSEMENT FUND

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 ACCTPA21

SELECTION CRITERIA: transact.gl\_cash='1011' and transact.ck\_date between '20200620 00:00:00.000' and '20200807 00:00:00.000'  
 ACCOUNTING PERIOD: 2/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
TOTAL CHECK							0.00	98,576.61
1011	V9000145	08/06/20	1561	CDW GOVERNMENT INC	13550005450	4 DELL COMPTR/MONTR	0.00	1,859.83
1011	V9000145	08/06/20	1561	CDW GOVERNMENT INC	13550005450	4 DELL COMPUTER TWRS	0.00	3,596.13
1011	V9000145	08/06/20	1561	CDW GOVERNMENT INC	13550005450	4 LAPTOPS	0.00	3,783.32
TOTAL CHECK							0.00	9,239.28
1011	V9000146	08/06/20	5564	MUFG UNION BANK 2011 SEJ	50900007700	2011 SEJPA INT 9/1	0.00	855.00
1011	V9000146	08/06/20	5564	MUFG UNION BANK 2011 SEJ	509	LESS REV FUND BAL 9/1	0.00	-45.95
TOTAL CHECK							0.00	809.05
1011	V9000147	08/06/20	5565	MUFG UNION BANK 2017 SEJ	50900007700	2017 SEJPA INT 9/1	0.00	222,431.25
1011	V9000148	08/06/20	5563	MUFG UNION BANK WW REV B	50900007700	SWR REV BND INT 9/1	0.00	108,278.13
1011	V9000148	08/06/20	5563	MUFG UNION BANK WW REV B	509	LESS CASH ON HAND 9/1	0.00	-148.78
TOTAL CHECK							0.00	108,129.35
1011	V9000149	08/06/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 08/07/20	0.00	863.50
1011	V9000150	08/06/20	4048	WELLS FARGO CORP TRST SS	67385008530	MARSOLAN BND INT 9/2	0.00	9,570.00
1011	V9000150	08/06/20	4048	WELLS FARGO CORP TRST SS	67385008530	MARSOLAN BND PRIN 9/2	0.00	10,000.00
1011	V9000150	08/06/20	4048	WELLS FARGO CORP TRST SS	67685008560	SSSWR BND INT 9/2	0.00	10,376.25
1011	V9000150	08/06/20	4048	WELLS FARGO CORP TRST SS	67685008560	SSSWR BND PRIN 9/2	0.00	15,000.00
TOTAL CHECK							0.00	44,946.25
TOTAL CASH ACCOUNT							0.00	3,275,208.64
TOTAL FUND							0.00	3,275,208.64
TOTAL REPORT							0.00	3,275,208.64





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2020/21

## **BACKGROUND:**

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through July 8, 2020.

## **DISCUSSION:**

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES						
As of July 8, 2020						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,827,600	(19,602,500)	(151,100)	(1)	\$ 74,000
Reso 2020-101	FY2019/20	(495,000)	361,000	80,000		20,000
	(1) Transfers to:					
	Debt Service for Public Facilities		151,100			
				151,100		
	(2) Transfer to:					
	City CIP Fund		(80,000)			
				(80,000)		

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA

## **FISCAL IMPACT:**

N/A

## **COUNCIL ACTION:**

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**WORK PLAN:**

N/A

**OPTIONS:**

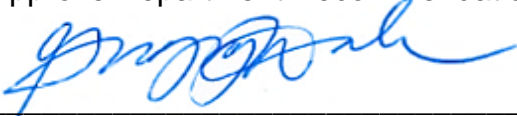
- Receive the report.
- Do not accept the report

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report listing changes made to the FY 2020-2021 General Fund Adopted Budget.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Engineering Department  
**SUBJECT:** **Council Consideration of Resolution 2020-122 Approving the Revised District Boundary and Additional Seed Money for the Glenmont Underground Utility District**

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## **BACKGROUND:**

In October 2016, City Staff received a petition from residents along all of Glenmont Avenue, Rawl Place, Mar Vista Drive and parts of Canyon Drive, Marview Drive and Marview Lane for the formation of a district to underground the existing overhead utility lines along all or parts of these streets. After receiving the petition and verifying that the 70% threshold was met, Staff started the process by engaging SDG&E to verify the boundary of the district and to provide a cost estimate for design of the undergrounding project (herein referred to as the Glenmont Underground Utility District or Glenmont UUD). In March 2017, Staff presented to and received approval from the City Council for Resolution 2017-039, approving \$44,679 for seed funding from the City's allocation of 20A funding. The seed funds were based on SDG&E's estimate for preparation of the design plans for the subject district.

Since that time, the proponent of the Glenmont UUD has expanded the boundaries of the District to include additional properties along Marview Drive and Ford Avenue. SDG&E's cost estimate for preparation of the design plans have subsequently been increased. This item is before the City Council to consider Resolution 2020-122 (Attachment 1) approving the revised boundaries of the proposed Glenmont UUD (Attachment 2) and use of additional seed funding from the same funding source for the preliminary design costs associated with the revised Glenmont UUD.

COUNCIL ACTION:

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## **DISCUSSION:**

In accordance with Council Policy No. 13, California Public Utility Commission's (CPUC) Rule 20A, funding may be used to pay SDG&E for preliminary engineering costs. Per Council Policy No. 13, the maximum amount to be allocated as "seed" or "front" money from CPUC Rule 20A funds shall be 100% of the initial design cost with a maximum of \$25.00 per linear foot of overhead infrastructure proposed to be undergrounded as determined by SDG&E. A copy of Council Policy No. 13 is included with this Staff Report as Attachment 3. Please note that as of July 2020, the balance of the City's share of CPUC Rule 20A funds is approximately \$1,270,000.

The neighborhood coordinators for the Glenmont UUD requested a revision to the original boundary that was approved in March 2017. Specifically, the neighborhood coordinators have requested approximately 32 additional properties be included in the Glenmont UUD boundary. The additional properties are located on Marview Drive and Ford Avenue as shown in Attachment 2 to this report. Consistent with the provisions of Council Policy No. 13, 70% of the properties within the originally proposed boundaries of the district were in support of forming the district. Following the implementation procedures set forth in Council Policy No. 13, SDG&E was notified of the proposed changes to the assessment district. SDG&E performed an initial assessment of the revised district boundaries and requested additional funding to revise the design of the engineering plans.

Per Council Policy No. 13, the City Council may approve seed money to be used for the preparation of preliminary plans and a preliminary cost estimate by SDG&E. Staff and SDG&E believe an additional amount not to exceed \$25,000 would be sufficient for preliminary design to incorporate the additional properties into the Glenmont UUD. This amount would still comply with the provisions of Council Policy No. 13 that allows for a maximum of \$25.00 per linear foot of overhead infrastructure to be removed.

The entire SDG&E design fee can be funded from the Rule 20A allocations. If the district is ultimately formed, then the Rule 20A funds would be paid back to the City's Rule 20A account from the proceeds collected from the property owners within the district. If the district fails, the Rule 20A funds would be lost. In either case, no General Fund money would be at risk.

## **CEQA COMPLIANCE STATEMENT:**

Underground Utility District projects are exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302(d) of the State CEQA Guidelines.

## **FISCAL IMPACT:**

There are not any specific fiscal impacts associated with this Staff Report. The amount of additional seed money requested to pay SDG&E for the preliminary design plans and cost estimate is not to exceed \$25,000 and would be paid from the City's share of

CPUC Rule 20A funds pursuant to City Council Policy No. 13. If the district is ultimately formed, then the Rule 20A funds would be paid back to the City Rule 20A account with the proceeds collected from the property owners within the district. If the district fails, the Rule 20A funds would be lost. In either case, no General Fund money would be at risk.

**WORK PLAN:**

This project is not identified in the Fiscal Year (FY) 2020/21 Work Plan.

**OPTIONS:**

- Approve an amount not to exceed \$25,000 in additional seed money from the CPUC Rule 20A funds.
- Don't approve the request for additional seed money.
- Provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2020-122, approving the additional payment of an amount not to exceed \$25,000 from the City's share of CPUC Rule 20A funds in seed money to cover the design costs for the preparation of preliminary plans and preliminary cost estimate by SDG&E for the Glenmont Avenue Underground Utility District that would include properties along additional streets of Marview Drive and Ford Avenue.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



\_\_\_\_\_  
Gregory Wade, City Manager

Attachments:

1. Resolution 2020-122
2. Map of properties included in proposed Glenmont UUD
3. Council Policy No. 13

## RESOLUTION 2020-122

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE BOUNDARY REVISION AND PAYMENT OF AN AMOUNT NOT TO EXCEED \$25,000 FROM THE CITY'S SHARE OF CPUC RULE 20A FUNDS IN SEED MONEY FOR THE GLENMONT UNDERGROUND UTILITY DISTRICT

**WHEREAS**, per Council Policy No. 13, the City Council may approve seed money to pay for the preparation of preliminary plans and a preliminary cost estimate by SDG&E. The Policy allows for the allocation of California Public Utilities Commission Rule 20A funds for 100% of the seed money needed, up to \$25.00 per linear foot of overhead wires being removed; and

**WHEREAS**, in March 2017, City Staff received a petition from residents along all of Glenmont Avenue, Rawl Place, Mar Vista Drive and parts of Canyon Drive, Marview Drive and Marview Lane for formation of a district to underground the existing overhead utility lines along all or parts of these streets (herein referred to as the Glenmont Underground Utility District); and

**WHEREAS**, the petition submitted by the Glenmont Avenue Underground Utility District requesting the formation of the underground district was consistent with the provisions of Council Policy No. 13 and contained signatures from 70% of the properties within the proposed boundaries of the district that were in support of forming the district; and

**WHEREAS**, in March 2017, City Council adopted Resolution 2017-039, approving \$44,679 seed funding from the City's allocation of 20A funding; and

**WHEREAS**, after the first petition was approved, the neighborhood coordinator requested the addition of approximately 32 properties along a part of Marview Drive and all of Ford Avenue in the Glenmont Underground Utility District; and

**WHEREAS**, in order for the additional properties to be included in the proposed Glenmont Underground Utility District, SDG&E requires an additional design fee that will be used to revise the design drawings already prepared.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the additional payment of an amount not to exceed \$25,000 from the City's share of California Public Utilities

Commission Rule 20A funds in seed money to cover the design costs for the preparation of preliminary plans and preliminary cost estimate by SDG&E for the Glenmont Avenue Underground Utility District that would include properties along additional streets of Marview Drive and Ford Avenue.

**PASSED AND ADOPTED** this 26th day of August, 2020, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

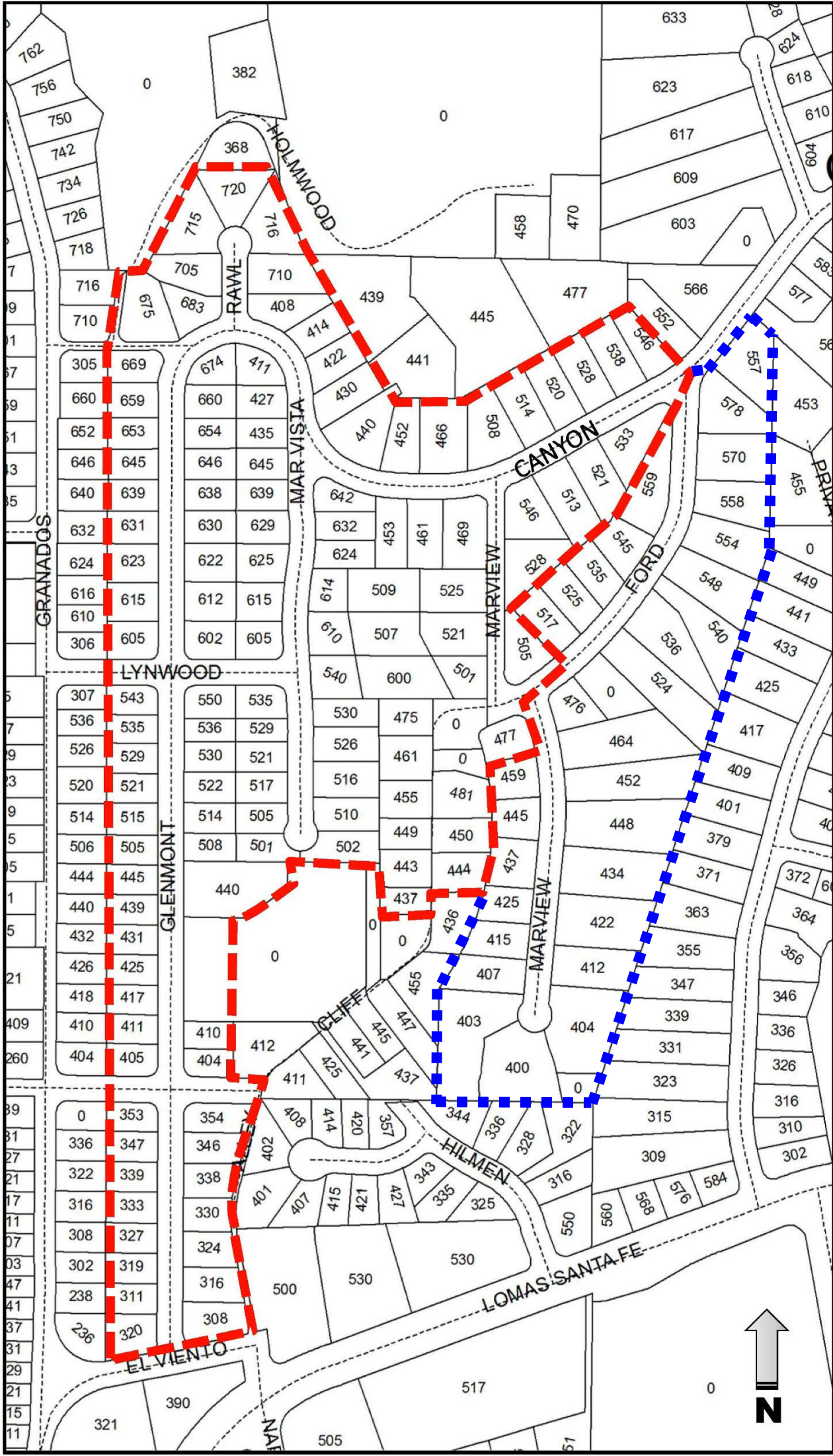
\_\_\_\_\_  
JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



Original Boundary – 12/29/2016  
 Revised Boundary – 11/21/2019  
 Attachment 2

**GLENMONT ET AL UNDERGROUND UTILITY DISTRICT**

(add these properties to Original Boundary)

**LEGEND**

- - - Original Boundary
- - - Revised Boundary



<b>CITY OF SOLANA BEACH</b>	<b>Policy No. 13</b>
<b>COUNCIL POLICY</b>	Adopted: 08/19/2003 Resolution 2003-110 Revised: 04/26/2006 Resolution 2006-066 Revised: 10/27/2010 Resolution 2010-152 <b>Revised: 04/13/2016 by minute order</b> <b>Effective: 04/13/2016</b>
<b>GENERAL SUBJECT:</b> Utility Undergrounding Policy	
<b>SPECIFIC SUBJECT:</b> Utility Undergrounding Policy for Municipality-Initiated Assessment Districts, Rule 20B	

**PURPOSE:** To establish a policy to underground the existing overhead lines in residential neighborhoods, to promote the benefit of undergrounding and encourage the formation of undergrounding districts at the neighborhood level.

**BACKGROUND:** From time to time residents in the City request information from staff about the process for undergrounding utilities in their neighborhood. Due to California Public Utilities Commission (CPUC) 20A guidelines on what constitutes a 20A conversion district, many times these residential neighborhoods don't qualify for Rule 20A funding. CPUC Rule 20A funds are the set-aside funds from a portion of SDG&E revenues, received from the City of Solana Beach, for undergrounding electric utilities. In general, Rule 20A requires that the funds be used for projects in high traffic or public use areas (see Rule 20A packet). The City's Rule 20A funds are used to underground utility lines on Major Arterials and commercial Collector Streets. Rule 20B projects are resident-initiated utility undergrounding assessment districts. Rule 20A funds may be used to "seed" or "front" preliminary engineering costs for Rule 20B projects, but the funds must be reimbursed to the Rule 20A account upon successful completion of a Rule 20B district.

**POLICY:**

The City Council establishes the following policy for the formation of 20B utility underground districts.

1. General Provisions

It is the desire of the City Council to be responsive to residents who agree to be assessed for utility undergrounding, as well as to respect those who do not wish to pay for utility undergrounding.

Therefore;

- a) The City will respond to the requests of those desiring undergrounding, rather than initiating utility undergrounding districts.
- b) Initially, the City Council will require a 70% showing of support of property owners benefiting from the assessment district before any “seed” or “front” money will be appropriated.
- c) A majority vote of the property owners, by assessment, is necessary before the City may form a utility district.
- d) All utility undergrounding districts shall comply with all applicable laws, including, but not limited to the California Constitution and applicable state codes.

2. Funding shall be as follows:

- a. Proposed underground conversion area will be a 20B assessment district. One hundred percent (100%) of the cost will be assessed to property owners.
- b. Assessment payments may be made in cash or spread out up to 20 years.
- c. Assessment payments will be billed on the County Tax Bill.
- d. Property owner is responsible for the connections from the property line to the private service panel.
- e. Any “seed” or “front” money in formation of the district that come from Rule 20A funds shall be reimbursed to the City by the property owners within the conversion boundary in the event of formation of the assessment district.
- f. Maximum amount to be allocated as “seed” of “front” money from CPUC Rule 20A funds shall be 100% of the initial design cost with a maximum of twenty-five dollars (\$25.00) per linear foot of overhead infrastructure proposed to be undergrounded as determined by SDG&E.

3. Implementation Procedures

- a. Generally the neighborhood that initiates the process of utility undergrounding assigns a Neighborhood Coordinator and circulates the City-approved petition among property owners. The City Council approved petition is attached to this policy. The Neighborhood Coordinator will prepare the boundary map of the properties proposed to be in the district per the results of the circulated petition.
- b. 70% of the property owners included in the proposed district must sign the approved petition in order to begin the process for forming the assessment district.
- c. If 70% of the property owners in the proposed district approve formation of the assessment district, the Neighborhood Coordinator may submit the petitions to the City Engineering Department for verification.

- d. A representative from City Staff will notify SDG&E of the proposed assessment district and will provide SDG&E with a map showing the boundaries of the assessment district. SDG&E will then provide the City with a “ballpark” cost estimate to convert the overhead electric lines to underground. Based on the existing layout of the electrical infrastructure, the proposed assessment boundaries may be modified by SDG&E.
- e. After signatures are verified by the Engineering Department, the City Council shall be requested to approve “seed” money to pay for the preparation of preliminary plans and preliminary cost estimate by SDG&E. This preliminary cost estimate will be more accurate than the earlier “ballpark” estimate.
- f. With the new preliminary costs (from SDG&E), the Neighborhood Coordinator will circulate a second petition within the proposed district for a further count of signatures based on the preliminary cost estimate for each property owner. A petition of the property owners in the proposed district must indicate that at least 70% wish to go forward with the formation process. Proposed boundaries of the district are submitted with the petition.
- g. If 70% of the property owners in the proposed district sign the petition in step (f), Staff will require a deposit to retain an assessment engineer. The deposit amount will be calculated by multiplying the total number of properties in the proposed district by \$500, with a minimum amount of \$20,000. The City will refund the excess deposit amounts after the final bond counsel and assessment engineer costs are determined. Expenditures are controlled by the City. A reimbursement agreement between the City and district proponents shall govern the deposited funds.
- h. Using the above (g) information, Bond Counsel prepares the petition and drafts the reimbursement agreement between the City and proponents of the project. Residents within the proposed boundaries of the assessment district then submit the required deposit utilizing the formula listed above (g).
- i. To formally initiate the assessment district, the Bond Counsel reviews the petition and prepares a resolution initiating proceedings to consider formation of the district for City Council approval.
- j. Next, the City Council approves the reimbursement agreement, accepts the petition, approves the boundary map and declares its intention to form the district and orders the preparation of an Engineer’s Report.
- k. The Assessment Engineer’s Report will include a map of the district boundary, a description of the improvements, an estimate of the total

costs of the improvements, the methodology by which the special benefit is determined and the assessments are to be spread, as well as the amount to be assessed upon each parcel.

- l. City Council approves by resolution the Engineer's Report and sets the time, date and location of the Public Hearing.
- m. Public Hearing and Assessment ballots are mailed. The notice will contain the estimated total assessment amount chargeable to the district, the amount chargeable to the record owner's parcel, the basis for assessment, information regarding the Public Hearing, and summary of the procedures for the completion, return, and tabulations of the assessment ballots.
- n. The City Council conducts a Public Hearing at which the City Council considers objections, if any, to the proposed assessment. Following closure of the Public Hearing, the City Clerk tabulates ballots and reports to the City Council. Assessment ballots are weighted on the basis of the dollar amount assessed to each parcel for which the ballot is submitted. If a majority (50% plus 1) of the weighted assessment or more than 40% of the total parcels ballots returned opposes the proposed assessment, the City Council may not levy the assessment. If a majority of the weighted assessment and 60% of the total parcels ballots returned are in favor, the City Council, in its discretion, may adopt a resolution declaring the amounts of the tabulation of assessment ballots, approve the Engineer's Report, authorize the proposed improvement described in the report, confirm the assessment and direct the City Clerk to file an assessment diagram and notice of assessment with the County Recorder's Office.
- o. The City Clerk records a Notice of Assessment with the County Recorder's office. The Finance Director then mails a statement of assessment to each property to be assessed.
- p. Property Owners have the option to pay all or portion of the assessment during the cash collection period – 30 days.
- q. Following closure of the cash collection period, all uncollected assessment will be levied against the properties over a number of years and collected on the tax roll.
- r. City Council will authorize the issuance of bonds.
- s. The City shall provide at least 15 days written notice prior to construction stating that at their own cost, every person owning, operating, leasing, occupying or renting a building or structure within a district shall construct and provide that portion of the service connection on his property necessary to connect to the UUD facilities. Such work may be done by

the contractor, or the public utility, public agency or city performing the conversion work, and the cost thereof included in the assessment to be levied upon such lot or parcel provided, that the owner shall execute a written request therefor and file the same with the City. Any such request shall expressly authorize the contractor, public utility, public agency or city, and their respective officers, agents and employees to enter upon such lot or parcel for such purpose and shall waive any right of protest or objection in respect of the doing of such work and the inclusion of the cost thereof in said assessment.

- t. Any written request executed pursuant to section 2(s) shall be filed with the City not later than the date fixed for commencement of construction of the conversion. A written request executed after such date shall not be accepted for filing by the City unless it shall contain the written approval of the contractor, public utility, public agency or city which is authorized to perform such work or improvement.
- u. In the event any person does not comply with subsections 2(s) and 2(t), the city engineer shall provide written notice to the property, via posting and U.S. mail, that power to that property shall be disconnected and all overhead services wires and associated facilities will be removed. Such notice shall be provided at least five days prior to disconnection and removal.
- v. After provision of the notice in subsection 2(u), the if there is still no compliance with subsections 2(s) and 2(t), the city engineer shall have the authority to order the disconnection and removal of any and all overhead service wires and associated facilities providing utility to that property. Any costs of future reconnection to the property shall be at the cost of the owner, operator, lessee, occupier or renter of that property.
- w. Utility companies will prepare the project design plans and complete construction.
- x. If a property owner sells the property or passes away during the assessment process, the Neighborhood Coordinator(s) must notify the City immediately, so that the City can properly notify the new owner or estate representative of the ongoing UUD process.

Attachments:           1.     Petition





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Consideration of Resolution 2020-120 Authorizing the Initiation of the United States Army Corps of Engineers (USACE) Shore Protection Project Pre-Construction Engineering and Design (PED) Phase and Execution of the Design Agreement (DA) for the Project**

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## **BACKGROUND:**

In 2016, the U. S. Army Corps of Engineers (USACE) and the City of Solana Beach and City of Encinitas completed the Feasibility Phase of the “San Diego County Shore Protection Project” (Project). The Project was formerly known as the *USACE, Encinitas and Solana Beach Coastal Storm Damage Reduction Project* and was renamed by Congress in 2019.

The authorized Project will restore approximately eight miles of shoreline within the adjoining cities of Solana Beach and Encinitas. The Project will consist of initial placement of approximately one million cubic yards of sand in the two cities and the beaches would be re-nourished on a regular 10-year cycle during the initial Federal participation period of 50 years.

After completion of the Feasibility Phase in 2016 until now, City Staff and representatives continued to maintain an active dialogue with USACE staff and representatives in Washington D.C. to secure the next phase of federal funding for this important City project.

In Fiscal Year (FY) 2020, federal funds in the amount of \$400,000 were allocated to initiate the Pre-Construction, Engineering and Design (PED) phase for this high priority, local coastal resiliency project. The PED phase of the Project will include collecting required environmental baseline data and other physical monitoring as well as development of engineering design specifications, technical reports and preparation of

CITY COUNCIL ACTION:

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**AGENDA ITEM A.5.**

construction documents. The Project PED phase is anticipated to last approximately three years and is currently anticipated to conclude in 2023.

## **DISCUSSION:**

The USACE has prepared a PED phase cost sharing Design Agreement (DA) for City approval. Approval of the DA will allow the City to continue forward in the required process toward this 50-year sand replenishment project along the City's public beaches. The DA is included as Attachment 1 to this Staff Report. In addition, the USACE is requesting the first increment of local funding from both cities.

As the local sponsor, the City is required to provide Local/State Sponsor funding to share in the cost of the PED phase. The total PED phase cost is estimated at \$3,000,000. The federal government is required to provide cost-share of 65% or \$1,950,000, and the non-federal sponsors (the cities of Solana Beach and Encinitas) through a grant from the State of California Department of Parks and Recreation, Division of Boating and Waterways (DBW), are to provide the 35% local share or \$1,050,000.

The DBW aids local municipalities for projects that enhance public recreation, public coastal access and improve the visitor experience and coastal tourism such as is offered through this Project. Throughout the Feasibility Phase of the Project, DBW has remained a solid partner and has continued to provide the majority of the local cost share for the Project. As with the Feasibility Phase, DBW is committed to supporting the PED phase of the Project.

On March 23, 2016, Council authorized the acceptance of a total of \$450,000 in grant funding from the State Parks, DBW to support the PED phase of the Project. The City of Encinitas was awarded an identical \$450,000 grant from State Parks for their share of the PED cost. Acceptance of the grant funds from the State reduces the cities' local share burden for PED. In August 2019, the Cities requested an extension of the grant funding for the PED phase of the Project, allowing funds to continue to be available to support the Project through June 30, 2022. The City fully intends to utilize the available DBW grant funding to support completion of the PED phase of the Project.

With the utilization of the existing DBW state grant funds totaling \$900,000, the expected local cost share portion of the PED phase will end up being approximately \$150,000 with each City contributing one half or \$75,000. The City has sufficient funding available in its Sand Replenishment Transient Occupancy Tax (TOT) fund for the required PED phase cost sharing contribution.

It is anticipated that the City will continue to optimize work in-kind contributions of Staff time, and contract staff time, to minimize the need for direct cash contributions from the City of Solana Beach. At this time, the Cities are currently in discussions with the USACE about managing the development of some of the PED phase required work products including assuming responsibility for some elements of pre-construction



monitoring. Additional information on these discussions will be provided to the Council as additional information is developed by the PED Project Delivery Team (PDT).

Concurrent with the start of the PED phase, an economic reevaluation is also underway per USACE guidelines. All assumptions and data used to calculate project costs and benefits will be updated. City Staff are currently working with USACE staff to support this economic update. The cost of the economic reevaluation is part of the PED phase total cost estimate that is cost shared 65/35.

Following the completion of the PED phase, federal and non-federal construction funding would then be utilized to begin Project construction. The City submitted a grant application to DBW in December 2019 for the construction phase under City of Solana Beach Resolution 2019-153. If the City is awarded this grant, funds for the initial beach sand placement (i.e., construction) portion of the Project will be available to Solana Beach and Encinitas.

The cost for initial construction for the project (both cities) is anticipated to be \$31,024,000. The federal share for initial construction is \$20,166,000 and the non-federal share would be \$10,858,000. The estimated non-federal share shall be funded up to 85% by state grants, such as the grant application submitted by the City of Solana Beach and Encinitas that was applied for in December 2019 (Resolution 2019-153). The amount of the grant application request was \$9,229,300 (which is equal to 85% of the Local/State cost share amount) which will be divided between the Cities of Solana Beach and Encinitas for the construction phase of the Project.

The purpose of this Staff Report is to: (1) provide an informational update to the City Council and the public regarding the initiation of the PED phase of the Project; (2) to obtain Council approval/authorization enabling the City Manager to sign the DA (Attachment 1) and any/all other related documents on behalf of the City during the PED phase; and, (3) authorize the City Manager to pay the first invoice (Attachment 2) and all subsequent PED phase invoices received from the USACE through either cash contributions or to provide work in kind contributions (non-cash contributions) to support the PED phase of the Project.

#### **CEQA COMPLIANCE STATEMENT:**

CEQA and NEPA compliance has been completed for this Project. A Final Joint Environmental Impact Statement/Environmental Impact Report (EIS/EIR) was certified in October 2015 for the Solana Beach – Encinitas Shoreline Coastal Storm Damage Reduction project (now known as the San Diego County, California Project).

#### **FISCAL IMPACT:**

The Local/State cost share match for the PED phase of the Project is 35% or \$1,050,000. The City has a committed DBW grant funds to this Project in the amount of \$450,000 which will provide 85% of the local cost share contribution. In August 2019,

the Cities of Solana Beach and Encinitas requested an extension of the DBW grant funding for the PED phase of the Project, allowing state grant funds to continue to be available to support the PED phase of Project through June 30, 2022

The proposed Design Agreement (Attachment 1) commits the City of Solana Beach to provide the Local Sponsor (non-federal) cost share for the PED phase of the Project, estimated to be \$525,000 for the City of Solana Beach. As noted above, 85% of this funding (\$450,000) will come from the DBW grant and the City's 15% contribution of \$75,000 will be either in the form of cash or work in kind contributions. If paid in cash, it is anticipated that the City's contribution will come from the Sand Replenishment TOT Fund which currently has a fund balance of approximately \$637,000. The City also retains the option to provide its cost share through non-cash, work in-kind contributions of Staff time, and contract staff time, as well as other work products or deliverables that directly support completion of the PED phase of the Project.

### **WORK PLAN:**

Initiation of the PED phase of the Project is consistent with the implementation of Community Character Priorities and the ongoing protection of beach sand replenishment projects as identified in the Work Plan Items A.2, Local Coastal Program; and A.3, Beach Sand Replenishment and Retention Program.

### **OPTIONS:**

- Approve Staff recommendation.
- Deny Staff recommendation.
- Provide other direction to Staff.

### **DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council consider adoption of Resolution 2020-120 (Attachment 2):

1. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney, to execute the Design Agreement with the USACE San Diego County Project (formerly known as the Encinitas-Solana Beach Coastal Storm Damage Reduction Project).
2. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney, to sign and execute any and all related documents and certifications as may be needed during the PED phase of the Project, provided those do not involve increases to the approved Design Agreement (DA) budget.
3. Authorizing the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney; to pay all invoices received by the

USACE either through direct cash contributions or work in kind contributions and to seek reimbursement from State Parks through the grant agreement with DBW.

4. Approving an appropriation of \$450,000 to the State Grant revenue account and the Sand Replenishment/ACOE Study project for FY 2021 both in the Department of Boating and Waterways Special Revenue fund.
5. Authorizing the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. USACE Design Agreement for the PED Phase of the Project
2. Resolution 2020-120

DESIGN AGREEMENT  
BETWEEN  
THE DEPARTMENT OF THE ARMY  
AND  
THE CITY OF ENCINITAS & CITY OF SOLANA BEACH  
FOR  
DESIGN  
FOR THE  
THE SAN DIEGO COUNTY STORM DAMAGE RISK REDUCTION PROJECT, SAN  
DIEGO COUNTY, CALIFORNIA

THIS AGREEMENT is entered into this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by and between the Department of the Army (hereinafter the “Government”), represented by the District Commander for the Los Angeles District (hereinafter the “District Commander”) and the City of Encinitas and City of Solana Beach (hereinafter the “Non-Federal Sponsors”), represented by the City Managers.

WITNESSETH, THAT:

WHEREAS, Federal funds were provided in the Energy and Water Development and Related Agencies Appropriations Act, 2020 (Public Law 116-94) to initiate design of a project for coastal storm risk management along the shorelines of the Cities of Encinitas and Solana Beach; a

WHEREAS, construction of the Project is authorized by Section 1401(3)(6) of the Water Resources Development Act of 2016 (Public Law 114-322);

WHEREAS, Section 103 of the Water Resources Development Act of 1986, as amended (33 U.S.C. 2213), specifies the cost-sharing requirements applicable to construction of the Project, and Section 105(c) of the Water Resources Development Act of 1986 (33 U.S.C. 2215), provides that the costs of design shall be shared in the same percentages as construction of the Project;

WHEREAS, based on the Project’s primary project purpose of coastal storm risk management, the parties agree that the Non-Federal Sponsors shall contribute 35 percent of the total design costs under this Agreement; and

WHEREAS, the Government and Non-Federal Sponsors have the full authority and capability to perform in accordance with the terms of this Agreement.

NOW, THEREFORE, the parties agree as follows:

## ARTICLE I - DEFINITIONS

A. The term “Project” means construction of protective beach berms along two segments of shoreline within San Diego County, California, with associated renourishment cycles, using sand from offshore borrow sites, specifically, construction of a fifty-foot-wide protective beach berm extending along 7,800 feet of shoreline in Encinitas (Segment 1) using approximately 340,000 cubic yards of compatible sediment, with renourishment on the average of every 5 years, with approximately 220,000 cubic yards of compatible sediment over a 50-year period of Federal participation, for a total of nine additional nourishments, and construction of a 150-foot-wide beach berm extending along a 7,200-foot-long stretch of shoreline in Solana Beach (Segment 2) using approximately 700,000 cubic yards of compatible sediment, with renourishment on average every 10 years, with approximately 290,000 cubic yards of compatible sediment, over a 50-year period of Federal participation, for a total of four additional nourishments, as generally described in the Final Integrated Feasibility Report/Environmental Impact Statement and Environmental Impact Report for the Encinitas-Solana Beach Coastal Storm Damage Reduction Project dated April 2015 and revised July 2016, and the Report of the Chief of Engineers, dated April 26, 2016, and approved by the Senior Official Performing the Duties of the Assistant Secretary of the Army (Civil Works) on June 22, 2017.

B. The term “Design” means performance of detailed pre-construction engineering and design, including preparation of plans and specifications for the initial construction contract for the Project

C. The term “total design costs” means the sum of all costs that are directly related to the Design and cost shared in accordance with the terms of this Agreement. Subject to the provisions of this Agreement, the term shall include, but is not necessarily limited to: the Government’s costs for engineering and design, economic and environmental analyses, and evaluation; for contract dispute settlements or awards; for supervision and administration; for Agency Technical Review and other review processes required by the Government; for response to any required Independent External Peer Review; and the Non-Federal Sponsors’ creditable costs for in-kind contributions, if any. The term does not include any costs for dispute resolution; participation by the Government and Non-Federal Sponsors in the Design Coordination Team to discuss significant issues and actions; audits; or an Independent External Peer Review panel, if required; or the Non-Federal Sponsors’ costs of negotiating this Agreement.

D. The term "in-kind contributions" means those materials or services provided by the Non-Federal Sponsors that are identified as being integral to design of the Project by the Division Commander for the South Pacific Division (hereinafter the “Division Commander”). To be integral, the material or service must be part of the work that the Government would otherwise have undertaken for design of the Project. In-kind contributions also include any investigations performed by the Non-Federal Sponsors to identify the existence and extent of any hazardous substances that may exist in, on, or under real property interests required for the Project.

E. The term “fiscal year” means one year beginning on October 1<sup>st</sup> and ending on September 30th of the following year.

## ARTICLE II - OBLIGATIONS OF THE GOVERNMENT AND THE NON-FEDERAL SPONSORS

A. In accordance with Federal laws, regulations, and policies, the Government shall conduct the Design using funds appropriated by the Congress and funds provided by the Non-Federal Sponsors. In carrying out their obligations under this Agreement, the Non-Federal Sponsors shall comply with all requirements of applicable Federal laws and implementing regulations. If the Government and non-Federal interests enter into a Project Partnership Agreement for construction of the Project, the Government shall include the total design costs in the calculation of construction costs for the Project in accordance with the terms and conditions of the Project Partnership Agreement.

B. The Non-Federal Sponsors shall contribute 35 percent of total design costs in accordance with the provisions of this paragraph and provide required funds in accordance with Article III.

1. After considering the estimated amount of credit for in-kind contributions, if any, that will be afforded in accordance with paragraph C. of this Article, the Government shall provide the Non-Federal Sponsors with a written estimate of the amount of funds required from the Non-Federal Sponsors to meet their cost share for the initial fiscal year of the Design. No later than 60 calendar days after such notification, the Non-Federal Sponsors shall provide the full amount of such funds to the Government in accordance with Article III.

2. No later than August 1<sup>st</sup> prior to each subsequent fiscal year of the Design, the Government shall provide the Non-Federal Sponsors with a written estimate of the amount of funds required from the Non-Federal Sponsors during that fiscal year to meet their cost share. No later than September 1<sup>st</sup> prior to that fiscal year, the Non-Federal Sponsors shall provide the full amount of such required funds to the Government in accordance with Article III.

C. The Government shall credit towards the Non-Federal Sponsors’ share of total design costs, the costs, documented to the satisfaction of the Government, that the Non-Federal Sponsors incur in providing or performing in-kind contributions integral to the Design, including associated supervision and administration. Such costs shall be subject to audit in accordance with Article VII to determine reasonableness, allocability, and allowability, and crediting shall be in accordance with the following procedures, requirements, and limitations:

1. As in-kind contributions are completed and no later than 60 calendar day after such completion, the Non-Federal Sponsors shall provide the Government appropriate documentation, including invoices and certification of specific payments to

contractors, suppliers, and the Non-Federal Sponsors' employees. Failure to provide such documentation in a timely manner may result in denial of credit.

2. No credit shall be afforded for interest charges, or any adjustment to reflect changes in price levels between the time the in-kind contributions are completed and credit is afforded; for the value of in-kind contributions obtained at no cost to the Non-Federal Sponsors; for any items provided or performed prior to the effective date of this Agreement unless covered by an In-Kind Memorandum of Understanding; for any items not identified as integral in the integral determination report; or for costs that exceed the Government's estimate of the cost for such item if it had been performed by the Government.

3. No reimbursement will be provided for any in-kind contributions that exceed the Non-Federal Sponsors' share of the total design costs under this Agreement. As provided in Article II.A., total design costs, including credit for in-kind contributions, shall be included in the calculation of construction costs for the Project in accordance with the terms and conditions of the Project Partnership Agreement.

D. To the extent practicable and in accordance with Federal laws, regulations, and policies, the Government shall afford the Non-Federal Sponsors the opportunity to review and comment on solicitations for contracts prior to the Government's issuance of such solicitations; proposed contract modifications, including change orders; and contract claims prior to resolution thereof. Ultimately, the contents of solicitations, award of contracts, execution of contract modifications, and resolution of contract claims shall be exclusively within the control of the Government.

E. The Non-Federal Sponsors shall not use Federal program funds to meet any of their obligations under this Agreement unless the Federal agency providing the funds verifies in writing that the funds are authorized to be used for the Project. Federal program funds are those funds provided by a Federal agency, plus any non-Federal contribution required as a matching share therefor.

F. Except as provided in paragraph C. of this Article, the Non-Federal Sponsors shall not be entitled to any credit or reimbursement for costs they incur in performing their responsibilities under this Agreement.

G. If Independent External Peer Review (IEPR) is required for the Design, the Government shall conduct such review in accordance with Federal laws, regulations, and policies. The Government's costs for an IEPR panel shall not be included in the total design costs.

H. In addition to the ongoing, regular discussions of the parties in the delivery of the Design, the Government and the Non-Federal Sponsors may establish a Design Coordination Team to discuss significant issues or actions. Neither the Government's nor the Non-Federal Sponsors' costs for participation on the Design Coordination Team shall be included in the total design costs. The Non-Federal Sponsors' costs for

participation on the Design Coordination Team shall be paid solely by the Non-Federal Sponsors without reimbursement or credit.

### ARTICLE III - METHOD OF PAYMENT

A. As of the effective date of this Agreement, total design costs are projected to be \$3,000,000, with the Government's share of such costs projected to be \$1,950,000, the Non-Federal Sponsors' share of such costs projected to be \$1,050,000, which includes creditable in-kind contributions projected to be \$0 and the amount of funds required to meet their cost share projected to be \$1,050,000. These amounts are estimates subject to adjustment by the Government, after consultation with the Non-Federal Sponsors, and are not to be construed as the total financial responsibilities of the Government and the Non-Federal Sponsors.

B. The Government shall provide the Non-Federal Sponsors with monthly reports setting forth the estimated total design costs and the Government's and Non-Federal Sponsors' estimated shares of such costs; costs incurred by the Government, using both Federal and Non-Federal Sponsor funds, to date; the amount of funds provided by the Non-Federal Sponsors to date; the estimated amount of any creditable in-kind contributions; and the estimated remaining cost of the Design.

C. The Non-Federal Sponsors shall provide to the Government required funds by delivering a check payable to "FAO, USAED, Los Angeles District (L1)" to the District Commander, or verifying to the satisfaction of the Government that the Non-Federal Sponsors have deposited such required funds in an escrow or other account acceptable to the Government, with interest accruing to the Non-Federal Sponsors, or by providing an Electronic Funds Transfer of such required funds in accordance with procedures established by the Government.

D. The Government shall draw from the funds provided by the Non-Federal Sponsors to cover the non-Federal share of the total design costs as those costs are incurred. If the Government determines at any time that additional funds are needed from the Non-Federal Sponsors to cover the Non-Federal Sponsors' required share of the total design costs, the Government shall provide the Non-Federal Sponsors with written notice of the amount of additional funds required. Within 60 calendar days of such notice, the Non-Federal Sponsors shall provide the Government with the full amount of such additional funds.

E. Upon completion of the Design and resolution of all relevant claims and appeals, the Government shall conduct a final accounting and furnish the Non-Federal Sponsors with the written results of such final accounting. Should the final accounting determine that additional funds are required from the Non-Federal Sponsors, the Non-Federal Sponsors, within 60 calendar days of written notice from the Government, shall provide the Government with the full amount of such additional funds. Should the final accounting determine that the Non-Federal Sponsors have provided funds in excess of their required amount, the Government shall refund the excess amount, subject to the



availability of funds or if requested by the Non-Federal Sponsors, apply the excess amount towards the non-Federal share of the cost of construction of the Project in the event a Project Partnership Agreement is executed for the Project. Such final accounting does not limit the Non-Federal Sponsors' responsibility to pay their share of total design costs, including contract claims or any other liability that may become known after the final accounting.

#### ARTICLE IV - TERMINATION OR SUSPENSION

A. If at any time the Non-Federal Sponsors fail to fulfill their obligations under this Agreement, the Government may suspend or terminate Design unless the Assistant Secretary of the Army (Civil Works) determines that continuation of the Design is in the interest of the United States or is necessary in order to satisfy agreements with any other non-Federal interests in connection with the Project.

B. If the Government determines at any time that the Federal funds made available for the Design are not sufficient to complete such work, the Government shall so notify the Non-Federal Sponsors in writing within 30 calendar days, and upon exhaustion of such funds, the Government shall suspend Design until there are sufficient Federal funds appropriated by the Congress and funds provided by the Non-Federal Sponsors to allow Design to resume.

C. In the event of termination, the parties shall conclude their activities relating to the Design and conduct an accounting in accordance with Article III.E. To provide for this eventuality, the Government may reserve a percentage of available funds as a contingency to pay costs of termination, including any costs of resolution of contract claims and contract modifications.

D. Any suspension or termination shall not relieve the parties of liability for any obligation incurred. Any delinquent payment owed by the Non-Federal Sponsors pursuant to this Agreement shall be charged interest at a rate, to be determined by the Secretary of the Treasury, equal to 150 per centum of the average bond equivalent rate of the 13 week Treasury bills auctioned immediately prior to the date on which such payment became delinquent, or auctioned immediately prior to the beginning of each additional 3 month period if the period of delinquency exceeds 3 months.

#### ARTICLE V – HOLD AND SAVE

The Non-Federal Sponsors shall hold and save the Government free from all damages arising from the Design, except for damages due to the fault or negligence of the Government or its contractors.

## ARTICLE VI - DISPUTE RESOLUTION

As a condition precedent to a party bringing any suit for breach of this Agreement, that party must first notify the other party in writing of the nature of the purported breach and seek in good faith to resolve the dispute through negotiation. If the parties cannot resolve the dispute through negotiation, they may agree to a mutually acceptable method of non-binding alternative dispute resolution with a qualified third party acceptable to the parties. Each party shall pay an equal share of any costs for the services provided by such a third party as such costs are incurred. The existence of a dispute shall not excuse the parties from performance pursuant to this Agreement.

## ARTICLE VII - MAINTENANCE OF RECORDS AND AUDIT

A. The parties shall develop procedures for the maintenance by the Non-Federal Sponsors of books, records, documents, or other evidence pertaining to costs and expenses for a minimum of three years after the final accounting. The Non-Federal Sponsors shall assure that such materials are reasonably available for examination, audit, or reproduction by the Government.

B. The Government may conduct, or arrange for the conduct of, audits of the Design. Government audits shall be conducted in accordance with applicable Government cost principles and regulations. The Government's costs of audits for the Design shall not be included in total design costs.

C. To the extent permitted under applicable Federal laws and regulations, the Government shall allow the Non-Federal Sponsors to inspect books, records, documents, or other evidence pertaining to costs and expenses maintained by the Government, or at the request of the Non-Federal Sponsors, provide to the Non-Federal Sponsors or independent auditors any such information necessary to enable an audit of the Non-Federal Sponsors' activities under this Agreement. The costs of non-Federal audits shall be paid solely by the Non-Federal Sponsors without reimbursement or credit by the Government.

## ARTICLE VIII - RELATIONSHIP OF PARTIES

In the exercise of their respective rights and obligations under this Agreement, the Government and the Non-Federal Sponsors each act in an independent capacity, and none is to be considered the officer, agent, or employee of the other. No party shall provide, without the consent of the other party, any contractor with a release that waives or purports to waive any rights a party may have to seek relief or redress against that contractor.

## ARTICLE IX - NOTICES

A. Any notice, request, demand, or other communication required or permitted to be given under this Agreement shall be deemed to have been duly given if in writing and delivered personally or mailed by certified mail, with return receipt, as follows:

If to the Non-Federal Sponsors:

City of Encinitas (attn.: City Manager)  
505 Vulcan Avenue  
Encinitas, CA 92024

City of Solana Beach (attn.: City Manager)  
635 Hwy 101  
Solana Beach, CA 92025

If to the Government:

USACE Los Angeles District  
District Engineer  
915 Wilshire Blvd.  
Los Angeles, CA 90017

B. A party may change the recipient or address for such communications by giving written notice to the other parties in the manner provided in this Article.

## ARTICLE X - CONFIDENTIALITY

To the extent permitted by the laws governing each party, the parties agree to maintain the confidentiality of exchanged information when requested to do so by the providing party.

## ARTICLE XI - THIRD PARTY RIGHTS, BENEFITS, OR LIABILITIES

Nothing in this Agreement is intended, nor may be construed, to create any rights, confer any benefits, or relieve any liability, of any kind whatsoever in any third person not party to this Agreement.

## ARTICLE XII – JOINT AND SEVERAL RESPONSIBILITY OF THE NON-FEDERAL SPONSORS

The obligations and responsibilities of the Non-Federal Sponsors shall be joint and several, such that each Non-Federal Sponsor shall be liable for the whole performance of the obligations and responsibilities of the Non-Federal Sponsors under the terms and provisions of this Agreement. The Government may demand the whole performance of said obligations and responsibilities from any of the entities designated herein as one of the Non-Federal Sponsors.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, which shall become effective upon the date it is signed by the District Commander.

DEPARTMENT OF THE ARMY

CITY OF ENCINITAS

BY: \_\_\_\_\_  
Julie A. Balten, PMP  
Colonel, U.S. Army  
Commander and District Engineer

BY: \_\_\_\_\_  
Jennifer Campbell  
Interim City Manager

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

CITY OF SOLANA BEACH

BY: \_\_\_\_\_  
Gregory Wade  
City Manager

DATE: \_\_\_\_\_

**NON-FEDERAL SPONSOR'S  
SELF-CERTIFICATION OF FINANCIAL CAPABILITY  
FOR AGREEMENTS**

I, Gregory Wade, do hereby certify that I am the City Manager of the City of Solana Beach, California (the "Non-Federal Sponsor"); that I am aware of the financial obligations of the Non-Federal Sponsor for the San Diego County, CA. Shore Protection Project; and that the Non-Federal Sponsor has the financial capability to satisfy the Non-Federal Sponsor's obligations under the Design Agreement and Project Management Plan for the San Diego County, CA. Shore Protection Project.

IN WITNESS WHEREOF, I have made and executed this certification this 24th day of April, 2020.

BY:  \_\_\_\_\_

TITLE: City Manager \_\_\_\_\_

DATE: April 24, 2020 \_\_\_\_\_

**NON-FEDERAL SPONSOR'S  
SELF-CERTIFICATION OF FINANCIAL CAPABILITY  
FOR AGREEMENTS**

I, Mark Delin, do hereby certify that I am the <sup>Acting</sup> City Manager of the City of Encinitas (the "Non-Federal Sponsor"); that I am aware of the financial obligations of the Non-Federal Sponsor for the San Diego County, CA project; and that the Non-Federal Sponsor has the financial capability to satisfy the Non-Federal Sponsor's obligations under the Design Agreement between the Department of the Army and the City of Encinitas and City of Solana Beach for Design for the San Diego County (formerly known as Encinitas-Solana Beach Coastal Storm Damage Reduction) Project, San Diego County, California.

IN WITNESS WHEREOF, I have made and executed this certification this 13<sup>th</sup> day of May, 2020.

BY: Mark Delin

TITLE: Acting City Manager

DATE: May 13, 2020

CERTIFICATION REGARDING LOBBYING

The undersigned certifies, to the best of his or her knowledge and belief that:

(1) No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.

(2) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

(3) The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

\_\_\_\_\_  
Gregory Wade  
City Manager  
City of Solana Beach

DATE: \_\_\_\_\_

CERTIFICATION REGARDING LOBBYING

The undersigned certifies, to the best of his or her knowledge and belief that:

(1) No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.

(2) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

(3) The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

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Jennifer Campbell  
Interim City Manager  
City of Encinitas

DATE: \_\_\_\_\_



CERTIFICATE OF AUTHORITY

I, Johanna N. Canlas, do hereby certify that I am the principal legal officer for the City of Solana Beach, that the City of Solana Beach is a legally constituted public body with full authority and legal capability to perform the terms of the Agreement, between the Department of the Army and the Cities of Encinitas and Solana Beach in connection with the San Diego County Storm Risk Reduction Project, San Diego, CA, and to pay damages, if necessary, in the event of the failure to perform in accordance with the terms of this Agreement, as required by Section 221 of Public Law 91-611, as amended (42 U.S.C. 1962d-5b), and that the person who executed this Agreement on behalf of the City of Solana Beach acted within his statutory authority.

IN WITNESS WHEREOF, I have made and executed this certification this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
Johanna N. Canlas  
City Attorney

CERTIFICATE OF AUTHORITY

I, Leslie E. Devaney, do hereby certify that I am the principal legal officer for the City of Encinitas, that the City of Encinitas is a legally constituted public body with full authority and legal capability to perform the terms of the Agreement between the Department of the Army and the Cities of Encinitas and Solana Beach in connection with the San Diego County Storm Damage Risk Reduction Project, San Diego County, CA, and to pay damages, if necessary, in the event of the failure to perform in accordance with the terms of this Agreement, as required by Section 221 of Public Law 91-611, as amended (42 U.S.C. 1962d-5b), and that the person who executed this Agreement on behalf of the City of Encinitas acted within her statutory authority.

IN WITNESS WHEREOF, I have made and executed this certification this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
Leslie E. Devaney  
City Attorney

**RESOLUTION NO. 2020-120**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA AUTHORIZING THE CITY MANAGER TO SIGN THE PRE-CONSTRUCTION ENGINEERING DESIGN (PED) PHASE DESIGN AGREEMENT (DA) FOR THE USACE SAN DIEGO COUNTY SHORE PROTECTION PROJECT IN THE CITY OF SOLANA BEACH AND TO CONTRIBUTE THE REQUIRED LOCAL SPONSOR COST SHARE CONTRIBUTIONS AND SEEK REIMBURSEMENT THROUGH THE CITY STATE PARKS GRANT AWARD**

**WHEREAS**, the City of Solana Beach proactively manages its shoreline and public beaches through comprehensive evaluations of existing conditions and identification of areas where erosion threatens public beaches and other critical public infrastructure; and

**WHEREAS**, coastal beach and bluff erosion is an existing challenge faced by the City and is anticipated to be exacerbated by rising seas in the future; and

**WHEREAS**, coastal erosion has affected critical public infrastructure in the City including public coastal access and public beaches, roadways, public utilities, parking areas, pedestrian paths and other critical public infrastructure; and

**WHEREAS**, the City desires to protect existing critical infrastructure and public beaches in place and is seeking supplemental funding to support implementation of the City's goals to these important public assets and resources; and

**WHEREAS**, in 2016, the City completed the Feasibility Phase of the U.S. Army Corps of Engineers (USACE) San Diego County Shore Protection Project (formerly the Solana Beach and Encinitas Coastal Storm Damage Reduction Project); and

**WHEREAS**, the USACE project is an important local coastal resiliency project that will promote local coastal resiliency in the City for an initial federal authorization period of 50 years (2023-2073) and will benefit approximately eight miles of shoreline in Solana Beach and Encinitas; and

**WHEREAS**, the USACE requires that the City, as the local sponsor, sign a Design Agreement (DA) which outlines costs and obligations of the PED phase of the San Diego County Shore Protection Project; and

**WHEREAS**, the cost for the PED phase of the project is \$3,000,000 with the federal share (65%) at \$1,950,000 and the non-federal share (35%) at \$1,050,000; and

**WHEREAS**, the California Legislature approved the Public Beach Restoration Program in 2001-2002 to support the mission of the State Department of Parks and

Recreation, Division of Boating and Waterways to preserve and protect the California coastline by restoring and maintaining coastal resources and minimizing beach erosion; and

**WHEREAS**, a formal resolution from the City Council is a required component of the acceptance process for the USACE PED Phase Design Agreement, indicating that the City Manager is authorized the sign the Design Agreement on behalf of the City, and contribute its portion of the local cost share and seek reimbursement from State Parks via the existing \$450,000 PED grant awarded to the City.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney, to execute the Design Agreement with the USACE San Diego County Shore Protection Project (formerly known as the Encinitas-Solana Beach Coastal Storm Damage Reduction Project).
3. That the City Council authorizes the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney; to sign and execute any and all related documents and certifications as may be needed during the PED phase of the Project, provided those do not involve increases to the approved Design Agreement (DA) budget.
4. That the City Council authorizes the City Manager to act as the representative of the City of Solana Beach, in consultation with the City Attorney; to pay all invoices received by the USACE either through direct cash contributions or work in kind contributions and to seek reimbursement from State Parks through the grant agreement with DBW.
5. Approving an appropriation of \$450,000 to the State Grant revenue account and the Sand Replenishment/ACOE Study project for 2021 both in the Department of Boating and Waterways Special Revenue fund.
6. Authorizing the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of August 2020 at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager's  
**SUBJECT:** **Council Consideration of Resolution 2020-119 to Amend the Professional Service Agreement with Bob Hoffman Video and Photography**

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## **BACKGROUND:**

Bob Hoffman Video and Photography began consulting with the City of Solana Beach (City) in May 2006. On July 13, 2016, the City signed a service agreement with Bob Hoffman for video production services to televise City Council and other important meetings. Each meeting has a qualified video producer on-hand to film the meetings and a second operator acting as a sound and lighting engineer.

This item is before City Council to consider adopting Resolution 2020-119 (Attachment 1) to amend the agreement for video production services for Fiscal Year (FY) 2019/20 through FY 2020/21.

## **DISCUSSION:**

The City desires to televise City Council and other important meetings in order to increase transparency and involvement in local government decisions. The City uses a consultant to aide in televising these meetings. The consultant's duties include operating the cameras, creating graphics, managing lighting and sound, as well as producing DVD recordings of all meetings.

Staff has relied on Bob Hoffman Video and Photography to produce quality videos and to ensure an accurate record of the meetings. Bob Hoffman Video and Photography has an in-depth understanding of the programming, configuration, and integration of the City's various audio visual systems making them unique in this manner.

Bob Hoffman Video and Photography is currently contracted to televise each Council meeting and other important meetings at a rate of \$168 an hour with a four (4) hour minimum, equating the agreement to approximately 139 hours of video production services for a total fiscal year agreement amount not to exceed \$23,500. During FY 2019/20, the City exceeded the allotted hours contracted by 5.37 hours, for a total of 144.25 hours of video production services. The agreement thus exceeded the contracted amount by \$902.

CITY COUNCIL ACTION:

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Staff anticipates future hours with Bob Hoffman to continue to exceed 139 hours. Staff attributes the increase in hours needed to the increase in the number of televised meetings, which include televising View Assessment Committee (VAC) meetings, Clean Energy Alliance (CEA) meetings, and special meetings in addition to regular Council Meetings. VAC meetings are scheduled to occur roughly once per month and CEA meetings are set to occur in Solana Beach four times a year. Additionally, the length of some Council meetings has exceeded four hours, the allotted amount when calculating the original agreement, fifty percent of the time. In reviewing the average length of all Council meetings, the average length is actually five hours. Staff has considered the increased quantity of meetings and increased length of Council meetings in analyzing the number of hours of video production services needed, and believes the number of video production service hours should be increased to 164 hours.

Staff is recommending the approval of an amendment for the Bob Hoffman Video and Photography agreement for FY 2019/20 for an additional \$902 for a total of \$24,402 and for the agreement extension for FY 2020/21 for an additional \$4,100, for a total of \$27,600, for the final fiscal year extension.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

There are sufficient funds in the Information Technology Communication Broadcast FY 2019/20 Adopted Budget to support an agreement increase for an amount not to exceed \$24,402.

Based on the Information Technology FY 2020/21 Adopted Budget, there are sufficient funds to increase the agreement amount not to exceed to \$27,600, of which CEA shall reimburse the City for the four CEA meetings the City will host. This reimbursement shall be a minimum of \$2,688.00 to the City with the balance of \$24,912 being funded by the General Fund's Information Technology Systems Department – Community TV Production account (6535).

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation
- Approve Staff recommendation with alternative amendments / modifications.
- Reject Staff recommendation and provide direction.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council Adopt Resolution 2020-119:

1. Awarding Bob Hoffman Video and Photography an increased amount not to exceed \$24,402 for FY 2019/20.
2. Authorizing the City Manager to amend the FY 2019/20 agreement and the agreement extension FY 2020/21 with Bob Hoffman Video and Photography.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Resolution 2020-119



## RESOLUTION 2020- 119

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AMENDING THE PROFESSIONAL SERVICES AGREEMENT WITH BOB HOFFMAN VIDEO AND PHOTOGRAPHY

**WHEREAS**, the City of Solana Beach wishes to televise City Council meetings in order to increase transparency and involvement in local government; and,

**WHEREAS**, the City of Solana Beach is currently contracted with Bob Hoffman Video and Photography for video production services; and,

**WHEREAS**, Bob Hoffman Video and Photography has provided video production services to the City since 2006 and has valuable knowledge of the City's existing Audio Visual systems; and,

**WHEREAS**, the City has exceeded the not to exceed amount by \$902 for Fiscal Year 2019/20; and,

**WHEREAS**, the City anticipates a continued need for increased hours of video production services due in part to the televising of View Assessment Committee meetings, Clean Energy Alliance meetings and an increase in special meetings and regular City Council meetings.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council awards Bob Hoffman Video and Photography Service an increased amount not to exceed \$24,402 for Fiscal Year 2018/19.
3. That the City Council awards Bob Hoffman Video and Photography Service an increased amount not to exceed \$27,600 beginning in Fiscal Year 2020/21.

4. That the City Council authorizes the City Manager to amend the agreement with Bob Hoffman Video and Photography Service accordingly.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of August 2020, at a regular meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

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JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA CANLAS, City Attorney

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ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Fire and Marine Safety Departments  
**SUBJECT:** **Council Consideration of Resolution 2020-118 Accepting \$12,324 in 2019 State Homeland Security Program Grant Funds for the Purchase of 800 MHz Replacement Radios**

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## **BACKGROUND:**

Activities implemented under State Homeland Security Program (SHSP) grants must support terrorism preparedness by building or enhancing capabilities that relate to the prevention of, protection from, response to and recovery from terrorism in order to be considered eligible. Many capabilities which support terrorism preparedness simultaneously support preparedness for other hazards and catastrophic incidents. The activities must also align with the national, state, and urban area strategic objectives.

Under the direction of the County of San Diego, the entire public safety communications infrastructure is being replaced in the next few years to improve regional capabilities. After 2020, all of the City's dated radio equipment will be out of compliance. The current system, Regional Communication System (RCS), will be replaced with the Next Generation Regional Communication System (NextGen RCS). Additionally, the sole vendor, Motorola, will not be able to provide replacement parts for older radios.

Due to the significant financial undertaking the replacement requires, Staff has used previous SHSP grant funds to purchase radios and will continue to do so this year. The estimated cost to replace all City radios and peripheral equipment is approximately \$97,000. All of the 2019 SHSP award will be allocated toward replacing radios in the Fire and Marine Safety Departments.

This item is before the City Council to request approval of Resolution 2020-118 (Attachment 1) accepting \$12,324 in 2019 State Homeland Security Program grant funds for the purchase of 800 MHz replacement radios.

COUNCIL ACTION:

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## **DISCUSSION:**

The City is directly receiving a total of \$12,324 awarded through the County of San Diego under SHSP for Federal Fiscal Year 2019 (Attachment 2). The funding allocated to the City will enhance its preparedness, prevention, and response capabilities. SHSP grant funds can only be expended on equipment authorized for purchase by the Department of Homeland Security. The City will apply the funds from the 2019 program to the cost of radios, which will provide improved communication and greater interoperability on incidents that require communication and coordination with multiple agencies and disciplines (i.e., Fire, Law Enforcement, Public Works, and Emergency Management).

These are reimbursement grants and require the City to expend funds prior to requesting reimbursement. Under SHSP, expenditures must be made by the grant recipient and the reimbursement requested from the County of San Diego Office of Emergency Services. Presently, the deadline to expend funds and request reimbursement is May 31, 2021.

The State of California administers the grant and requires all grant recipients to adhere to the FY 2019 State Grant Program Standard Assurances, which outlines policies and regulations pertaining to the use of federal grant funds (Attachment 3).

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

There is no negative fiscal impact associated with this action. The City is not required to provide a matching or cost share for grants under SHSP, nor is it required to fund the replacement of grant funded equipment in the future (at the end of its useful life). Staff does not anticipate incurring any significant increase in costs for maintaining the equipment during its lifespan.

An appropriation is needed in the Public Safety Special Revenue fund to record the expected grant revenue and related expenditure amount of \$12,324.

## **WORK PLAN:**

N/A

## **OPTIONS:**

- Approve Staff recommendation.
- Approve Staff recommendation with alternative amendments / modifications.
- Deny Staff recommendation.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council approve Resolution 2020-118:

1. Accepting \$12,324 in federal funds from a 2019 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of 800 MHz radios.
2. Authorizing the City Manager, or his designee, to sign and submit the required California Governor's Office of Emergency Services Fiscal Year (FY) 2019 Grant Program Standard Assurances (Attachment 3).
3. Approving an appropriation of \$12,324 to the Federal Grant revenue account and the Minor Equipment expenditure account for the Fire Department both in the Public Safety Special Revenue fund.
4. Authorizing the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2020-118
2. FY 2019 San Diego County Office of Emergency Services Award Letter to Jurisdictions, dated July 23, 2020
3. California Governor's Office of Emergency Services Grant Program Standard Assurances
4. FY 2019 State Homeland Security Program (SHSP) Grant Approved Allocation

## RESOLUTION 2020-118

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE PURCHASE OF 800 MHZ RADIOS IN THE AMOUNT OF \$12,324 AND AUTHORIZING THE CITY MANAGER OR HIS DESIGNEE TO EXECUTE THE SHSP GRANT PROGRAM STANDARD ASSURANCES DOCUMENT

**WHEREAS**, the Fire Department currently uses radios which began being phased out beginning in 2019 as they will no longer be operative with the public safety communications infrastructure; and

**WHEREAS**, the Solana Beach Fire Department received a grant through the State Homeland Security Grant Program (SHSP) in the amount of \$12,324 for the purchase of 800 MHz replacement radios; and

**WHEREAS**, Motorola Solutions is the sole source vendor for the applicable radios; and

**WHEREAS**, a Grant Program Standard Assurances document needs to be executed in order to receive these grant funds.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts \$12,324 in federal funds from a 2019 State Homeland Security Program (SHSP) grant awarded to the City of Solana Beach for the purchase of 800 MHz radios.
3. That the City Council authorizes the City Manager, or his designee, to sign and submit the required California Governor's Office of Emergency Services Fiscal Year 2019 Grant Program Standard Assurances.
4. That the City Council authorizes the appropriation of \$12,324 to the Federal Grant revenue account and Minor Equipment expenditure account for the Fire Department both in the Public Safety Special Revenue Fund.
5. That the City Council authorizes the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

**PASSED AND ADOPTED** this 26<sup>th</sup> day of August, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -  
NOES: Councilmembers -  
ABSTAIN: Councilmembers -  
ABESENT: Councilmembers -

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JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



**County of San Diego Office of Emergency Services**  
5580 Overland Ave., Suite 100  
San Diego, CA 92123 -1251  
Phone: (858) 565-3490 Fax: (858) 565-3499  
Email: [oes@sdcountry.ca.gov](mailto:oes@sdcountry.ca.gov)



July 23, 2020

City of Solana Beach  
505 S Vulcan Ave  
Encinitas, CA 92024

**SUBJECT: NOTIFICATION OF FEDERAL FUNDING AWARD**  
FY 2019 Homeland Security Grant Program (HSGP)  
Subaward #2019-0035, Cal OES ID #073-00000

The purpose of this letter is to notify you that the County of San Diego Office of Emergency Services has approved your FY2019 SHSP award in the amount of \$12,324 as listed below:

<b>Subrecipient Name:</b>	City of Solana Beach
<b>Subrecipient DUNS:</b>	078751120
<b>Federal Award ID (FAIN)</b>	EMW-2019-SS-00035-S01
<b>Federal Award Date:</b>	09/01/19 to 08/31/22
<b>Subaward Period of Performance:</b>	03/01/20 to 05/31/21
<b>Subrecipient Award Amount:</b>	\$12,324
<b>Federal Award Project Description:</b>	Implementation of homeland security management grant to support state, local, tribal and territorial efforts to prevent terrorism and other catastrophic events
<b>Federal Awarding Agency:</b>	US Department of Homeland Security
<b>CFDA Number:</b>	97.067/Homeland Security Grant Program
<b>Research &amp; Development Award (Y/N):</b>	No
<b>Indirect Cost Rate:</b>	N/A
<b>Match Requirement:</b>	N/A

This grant award is subject to all provisions of Uniform Guidance (2 CFR Part 200), which can be accessed at [www.ecfr.gov](http://www.ecfr.gov). Non-federal entities that expend \$750,000 or more annually in Federal Awards must have a single audit performed each year. Please forward a copy of your most current single audit report to the contact below.

Subrecipients are required to comply with all applicable federal, state, and local Environmental Planning and Historic Preservation (EHP) requirements. Additionally, Aviation/Watercraft requests, Establish/Enhance Emergency Operations Center projects, projects requiring EHP review, and noncompetitive procurement requests require additional approvals. Subrecipients must obtain written approval for these activities prior to incurring any costs, in order to be reimbursed for any related costs under this Grant Subaward. Subrecipients are also required to obtain a performance bond prior to the purchase of any equipment item over \$250,000, including any aviation or watercraft financed with homeland security dollars. Performance bonds must be submitted to the contact below no later than the time of reimbursement.

**Unified San Diego County Emergency Services Organization**

CARLSBAD • CHULA VISTA • CORONADO • COUNTY OF SAN DIEGO • DEL MAR • EL CAJON • ENCINITAS • ESCONDIDO • IMPERIAL BEACH • LA MESA  
LEMON GROVE • NATIONAL CITY • OCEANSIDE • POWAY • SAN DIEGO • SAN MARCOS • SANTEE • SOLANA BEACH • VISTA

**ATTACHMENT 2**



Please complete and return the attached OES Grant Management Assessment Questionnaire, 2019 Grant Assurances and Signature Authorization Form, current procurement policies and salvage guidelines. A hard copy of the Grant Assurances and Signature Authorization Forms must be mailed.

Your performance period ends May 31, 2021. Please submit your reimbursement requests in a timely manner, no later than June 30, 2021.

For further assistance, please contact Kevin Preston at (858) 715-2214 or [Kevin.Preston@sdcounty.ca.gov](mailto:Kevin.Preston@sdcounty.ca.gov)

Sincerely,

*Martin Kurian*

Martin Kurian, Principal Administrative Analyst  
County of San Diego  
Office of Emergency Services

cc: Preston, Kevin

Attachments: OES Grant Management Assessment Questionnaire  
2019 Grant Assurances  
SHSP 2019 Allocations



## State Grant Program Standard Assurances

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**As the duly authorized representative of the Applicant, I hereby certify** that the Applicant has the legal authority to apply for State assistance and the institutional, managerial and financial capability to ensure proper planning, management, and completion of the project described in this application, within prescribed timelines.

**I further acknowledge that the Applicant is responsible for reviewing and adhering to all requirements within the State programmatic and financial guidelines stipulated by Cal OES, and available in the Fiscal Year 2019 State Program Guidance, at [www.caloes.ca.gov](http://www.caloes.ca.gov).**

**State award requirements are set forth below. The Applicant hereby agrees to comply with the following:**

### **1. Proof of Authority**

The Applicant will obtain proof of authority from the city council, governing board, or authorized body in support of this project. This written authorization must specify that the Applicant and the city council, governing board, or authorized body agree:

- a) Any liability arising out of the performance of this agreement shall be the responsibility of the Applicant and the city council, governing board, or authorized body;
- b) Grant funds shall not be used to supplant expenditures controlled by the city council, governing board, or authorized body; and
- c) Applicant is authorized by the city council, governing board, or authorized body to apply for State assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-State share of project cost, if any) to ensure proper planning, management and completion of the project described in this application.
- d) Official executing this agreement is authorized by the Applicant.

This Proof of Authority must be maintained on file and readily available upon request.

### **2. Period of Performance**

The period of performance is specified in the Award. The Applicant is only authorized to perform allowable activities approved under the award, within the period of performance.



## State Grant Program Standard Assurances

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### 3. Lobbying and Political Activities

Cal OES grant funds, grant property, or grant funded positions shall not be used for any lobbying activities. Lobbying activities include, but are not limited to, paying, either directly by the undersigned or by another party on behalf of the undersigned, any person to influence or to attempt to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the making of any grant, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification.

### 4. Compliance with local, state, and federal laws

The Applicant must comply with all applicable local, state, and federal statutes, regulations, program plans, and application requirements.

### 5. Non-Discrimination and Equal Employment Opportunity

The Applicant must comply with all laws that prohibit excluding, denying or discriminating against any person based on actual or perceived race, color, national origin, disability, religion, age, sex, gender identity, and sexual orientation in both the delivery of services and employment practices. These include, but are not limited to, the following:

- a) Americans with Disabilities Act (ADA) of 1990 (42 U.S.C. §§ 12101-12213), which prohibits discrimination on the basis of disability and requires buildings and structures be accessible to those with disabilities and access and functional needs;
- b) Public Health Service Act of 1912 (42 U.S.C. § 290 dd-2), relating to confidentiality of patient records regarding substance abuse treatment;
- c) The Applicant will comply with California's Fair Employment and Housing Act (FEHA) (California Government Code §§ 12940, 12945, 12945.2). FEHA prohibits harassment and discrimination in employment because of ancestry, familial status, race, color, religious creed (including religious dress and grooming practices), sex (which includes pregnancy, childbirth, breastfeeding and medical conditions related to pregnancy, childbirth or breastfeeding), gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, mental and physical disability, genetic information, medical condition, age, pregnancy, denial of medical and family care leave, or pregnancy disability leave, military and veteran status, and/or retaliation for protesting illegal discrimination related to one of these categories, or for reporting patient abuse in tax supported institutions; and



## State Grant Program Standard Assurances

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d) The requirements of any other nondiscrimination statute(s) that may apply to this application.

### 6. Drug-Free Workplace

As required by the Drug-Free Workplace Act of 1990 (Government Code §§ 8350, et seq.), the Applicant certifies that it will maintain a drug-free workplace.

### 7. Environmental Standards

The Applicant will comply with state environmental standards, including,

- a) California Environmental Quality Act (CEQA) (California Public Resources Code §§ 21000 - 21177), to include coordination with the city or county planning agency;
- b) CEQA Guidelines (California Code of Regulations, Title 14, Division 6, Chapter 3, §§ 15000 - 15387);

The Applicant shall not be: 1) in violation of any order or resolution promulgated by the State Air Resources Board or an air pollution district; 2) subject to a cease and desist order pursuant to § 13301 of the California Water Code for violation of waste discharge requirements or discharge prohibitions; or 3) determined to be in violation of federal law relating to air or water pollution.

### 8. Access to Records

The Applicant will maintain such records, and give the State of California, through any authorized representative, access to and the right to examine those records, as the State of California deems necessary. Such records will include all paper or electronic records, books, papers, or documents related to the award, and such other records as will facilitate an effective audit. The Applicant will also establish a proper accounting system in accordance with generally accepted accounting standards.

### 9. Conflict of Interest

The Applicant will establish safeguards to prohibit the Applicant's employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.

### 10. Financial Management

Applicants will comply with false claims requirements as stipulated in the California False Claims Act (Government Code §§ 12650 – 126561), which prohibits the submission of false or fraudulent claims for payment.



## State Grant Program Standard Assurances

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### 11. Human Trafficking

The Applicant will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act of 2000, as amended (22 U.S.C. § 7104).

### 12. Labor Standards

The Applicant will comply with the following labor standards:

- a) The California Labor Code, which provides labor law requirements for the State of California; and
- b) The Federal Fair Labor Standards Act (29 U.S.C. § 201 et al.), as they apply to Federal, State, and local governments.

### 13. Worker's Compensation

The Applicant must comply with provisions which require every employer to be insured to protect workers who may be injured on the job at all times during the performance of the work of this Agreement, as per the workers compensation laws set forth in California Labor Code §§ 3700 et seq.



## State Grant Program Standard Assurances

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### **IMPORTANT**

The purpose of the assurance is to obtain state financial assistance, including any and all state grants, loans, reimbursement, contracts, etc. The Applicant recognizes and agrees that state financial assistance will be extended based on the representations made in this assurance. This assurance is binding on the Applicant, its successors, transferees, assignees, etc. Failure to comply with any of the above assurances may result in suspension, termination, or reduction of grant funds.

All appropriate documentation, as outlined above, must be maintained on file by the Applicant and available for Cal OES or public scrutiny upon request. Failure to comply with these requirements may result in suspension of payments under the grant or termination of the grant or both and the recipient may be ineligible for award of any future grants if Cal OES determines that any of the following has occurred: (1) the recipient has made false certification, or (2) violates the certification by failing to carry out the requirements as noted above.

All of the language contained within this document **must** be included in the award documents for all subawards at all tiers.

**The undersigned represents that he/she is authorized to enter into this agreement for and on behalf of the Applicant.**

Recipient: \_\_\_\_\_

Signature of Authorized Agent: \_\_\_\_\_

Printed Name of Authorized Agent: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**FY 2019 STATE HOMELAND SECURITY PROGRAM (SHSP) GRANT ALLOCATION PROPOSAL**

JURISDICTION	FY2018 - ALLOCATION			FY2019 - PROPOSAL						
	CITIES	LE - 25% of FY18 Allocation	Non-LE Allocation	TOTAL	Sworn LE Personnel Figures (2018)	LE - 25% of FY18 Allocation	Non-LE Population (2018)	Non-LE Allocation	TOTAL	% Change from FY2018 to FY2019
CARLSBAD	16,835	64,997	81,832	115	17,212	114,622	65,233	82,445	0.75%	
CHULA VISTA	33,369	146,343	179,712	224	33,525	267,503	145,572	179,097	-0.34%	
CORONADO	6,614	17,948	24,562	45	6,735	21,683	16,394	23,129	-5.83%	
DEL MAR	-	7,267	7,267	-	-	4,322	7,271	7,271	0.06%	
EL CAJON	18,338	59,235	77,573	124	18,559	105,557	60,470	79,029	1.88%	
ENCINITAS	-	37,861	37,861	-	-	63,158	38,189	38,189	0.87%	
ESCONDIDO	23,448	84,921	108,369	158	23,647	151,478	84,601	108,248	-0.11%	
ESCONDIDO RINCON DEL DIABLO	-	8,147	8,147	-	-	14,199	7,462	7,462	-8.41%	
IMPERIAL BEACH	-	19,513	19,513	-	-	28,163	19,800	19,800	1.47%	
LA MESA	10,221	36,804	47,025	69	10,327	61,261	37,192	47,519	1.05%	
LEMON GROVE	-	19,136	19,136	-	-	26,834	19,101	19,101	-0.18%	
NATIONAL CITY	12,927	37,292	50,219	94	14,069	62,257	37,716	51,785	3.12%	
NATIONAL CITY - LINCOLN ACRES	-	829	829	-	-	1,591	836	836	0.84%	
OCEANSIDE	32,918	98,093	131,011	225	33,675	177,362	98,203	131,878	0.66%	
POWAY	-	31,511	31,511	-	-	50,207	31,384	31,384	-0.40%	
SAN DIEGO	279,729	-	279,729	2,040	305,321	-	-	305,321	9.15%	
SAN MARCOS	-	54,613	54,613	-	-	95,768	55,326	55,326	1.31%	
SAN MARCOS FPD	-	7,661	7,661	-	-	14,280	7,504	7,504	-2.05%	
SANTEE	-	35,124	35,124	-	-	56,994	34,950	34,950	-0.50%	
SOLANA BEACH	-	12,136	12,136	-	-	13,938	12,324	12,324	1.55%	
VISTA	-	58,704	58,704	-	-	103,381	59,326	59,326	1.06%	
VISTA FPD	-	11,552	11,552	-	-	20,068	10,546	10,546	-8.71%	
<b>TOTAL CITIES</b>	<b>434,399</b>	<b>849,687</b>	<b>1,284,086</b>	<b>3,094</b>	<b>463,070</b>	<b>1,454,626</b>	<b>849,400</b>	<b>1,312,470</b>	<b>2.21%</b>	
<b>FIRE DISTRICTS/OTHER</b>										
ALPINE FPD	-	13,261	13,261	-	-	15,658	13,228	13,228	-0.25%	
DEER SPRINGS FPD	-	11,720	11,720	-	-	12,737	11,693	11,693	-0.23%	
JULIAN-CUYAMACA FPD	-	7,153	7,153	-	-	4,081	7,145	7,145	-0.11%	
LAKESIDE FPD	-	38,069	38,069	-	-	62,684	37,940	37,940	-0.34%	
NORTH COUNTY FPD	-	32,115	32,115	-	-	51,397	32,009	32,009	-0.33%	
PORT OF SAN DIEGO	19,991	-	19,991	133	19,906	-	-	19,906	-0.43%	
RANCHO SANTA FE FPD	-	22,953	22,953	-	-	34,031	22,883	22,883	-0.30%	
SAN MIGUEL FPD	-	71,103	71,103	-	-	125,300	70,845	70,845	-0.36%	
VALLEY CENTER FPD	-	13,772	13,772	-	-	16,628	13,738	13,738	-0.25%	
<b>TOTAL FIRE DISTRICTS/OTHER</b>	<b>19,991</b>	<b>210,146</b>	<b>230,137</b>	<b>133</b>	<b>19,906</b>	<b>322,516</b>	<b>209,481</b>	<b>229,387</b>	<b>-0.33%</b>	
<b>2-1-1 SAN DIEGO CONTRACT</b>		<b>70,000</b>	<b>70,000</b>				<b>70,000</b>	<b>70,000</b>	<b>0.00%</b>	
<b>COUNTY DEPTS</b>										
UDC SHARE	-	102,357	102,357	-	-	-	102,357	102,357	0.00%	
M&A (5%)	-	169,430	169,430	-	-	-	169,294	169,294	-0.08%	
HHSA-EMS	-	80,000	80,000	-	-	-	80,000	80,000	0.00%	
OES	-	1,059,833	1,059,833	-	-	-	1,151,059	1,151,059	8.61%	
SHERIFF	392,764	-	392,764	2,634	394,225	-	-	394,225	0.37%	
<b>TOTAL COUNTY DEPTS</b>	<b>392,764</b>	<b>1,411,620</b>	<b>1,804,384</b>	<b>2,634</b>	<b>394,225</b>	<b>-</b>	<b>1,502,710</b>	<b>1,896,935</b>	<b>5.13%</b>	
<b>TOTAL ALLOCATIONS</b>	<b>847,154</b>	<b>2,541,453</b>	<b>3,388,607</b>	<b>5,861</b>	<b>877,201</b>	<b>1,777,142</b>	<b>2,631,591</b>	<b>3,508,792</b>	<b>3.55%</b>	

**Notes:**

\*Personnel Cap: Each jurisdiction's allocation has a personnel cap of 50%.

\*San Diego Sheriff includes: Unincorporated San Diego County and the contracted cities of Del Mar, Encinitas, Imperial Beach, Lemon Grove, Poway, San Marcos, Santee, Solana Beach and Vista.



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager's Office/City Attorney's Office  
**SUBJECT:** **Council Consideration of Resolution 2020-123  
Reinstating the 6:00 P.M. Start Time for Regular City  
Council Meetings**

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## **BACKGROUND:**

Solana Beach Municipal Code section 2.04.070 provides that the City Council shall hold regular meetings in the council chambers of City Hall, 635 South Highway 101, in the city or at such other place as may be determined by the council on the day and time set by the City Council by resolution.

On March 4, 2020, Governor Gavin Newsom proclaimed a State of Emergency to exist in California as a result of the threat of COVID-19. Subsequently, the City of Solana Beach declared a local emergency on March 16, 2020. On March 19, 2020, a statewide public health order to "stay-at-home" was issued. On April 9, 2020, the County of San Diego Public Health Officer issued an Amended Health Order prohibiting all public or private gatherings.

On March 17, 2020, Governor Newsom issued Executive Order N-29-20 waiving certain provisions of the Brown Act including the physical presence requirements of members of the City Council, the clerk or other personnel of the City and the public. It superseded the requirement of Executive Order N-25-20 to have at least one publicly accessible location during the meeting. Consequently, City Council meetings are being held virtually via teleconference for the duration of the public health emergency to help prevent the spread of COVID-19.

On April 22, 2020, the City Council adopted Resolution 2020-043 establishing City Council meetings start time at 4:00 p.m. on a temporary basis.

The item is before the Council to consider returning the meeting start time to 6:00 p.m. for its regular meetings which occur on the second and fourth Wednesdays of the month.

COUNCIL ACTION:

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**DISCUSSION:**

Historically, the City Council regular meetings on the second and fourth Wednesdays of the month have started at 6 p.m. On April 22, 2020, when City Council adopted Resolution 2020-043 temporarily changing meeting start time from 6:00 p.m. to 4:00 p.m., it was anticipated that the Council would reinstitute the 6:00 p.m. start time for meetings when the stay-at-home order and restrictions on public gatherings were lifted; however, given the fluidity and ongoing nature of the pandemic, it is unclear when that will be.

Previously, the Public Health Orders mandated California and San Diego County residents to stay at home and not to conduct non-essential travel, so the earlier start time did not impact public participation in the Council meetings. However, some businesses have opened with restrictions and some residents have returned to work virtually, so it is recommended to return meetings to 6:00 p.m. to allow more public participation in meetings. Public participation options are stated on the posted agenda for each meeting. Since the orders have not been lifted, meetings will continue to be held virtually.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined in CEQA.

**FISCAL IMPACT:**

There is no fiscal impact as a result of this item.

**OPTIONS:**

- Approve Department recommendation and Adopt Resolution 2020-0123.
- Do not approve Department recommendation and maintain 4:00 p.m. start time for Council meetings temporarily.
- Provide alternative direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council adopt Resolution 2020-0123 to reinstitute a 6:00 p.m. start time for the regular City Council meetings.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



\_\_\_\_\_  
Gregory Wade, City Manager

Attachment:

1. Resolution 2020-123

## RESOLUTION 2020-123

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, REINSTITUTING THE 6:00 P.M. START TIME FOR REGULAR CITY COUNCIL MEETINGS

**WHEREAS**, section 2.04.070 of the Solana Beach Municipal Code provides that the city council shall hold regular meetings in the council chambers of City Hall, 635 South Highway 101, in the city or at such other place as may be determined by the council on the day and time set by the council by resolution; and

**WHEREAS**, as of February 14, 2020, the County of San Diego declared the existence of a county-wide local emergency within the unincorporated and incorporated areas of San Diego County; and

**WHEREAS**, Governor Gavin Newsom proclaimed a State of Emergency to exist in California as a result of the threat of COVID-19 on March 4, 2020; and

**WHEREAS**, the City Manager acting as the Director of Emergency Services proclaimed the existence of a local emergency conditions within the City of Solana Beach on March 16, 2020; and

**WHEREAS**, on March 19, 2020, the City Council confirmed the declaration of the local emergency; and

**WHEREAS**, a statewide public health order to “stay-at-home” was issued on March 19, 2020; and

**WHEREAS**, on April 9, 2020, the County of San Diego Public Health Officer issued an Amended Health Order prohibiting all public or private gatherings; and

**WHEREAS**, Governor Newsom issued Executive Order N-29-20 waiving certain provisions of the Brown Act including the physical presence requirements of members of the City Council, the clerk or other personnel of the City and the public superseding the requirement of Executive Order N-25-20 to have at least one publicly accessible location during the meeting. Consequently, City Council meetings are being held virtually via teleconference for the duration of the public health emergency declared on March 17, 2020; and

**WHEREAS**, the start time for regular City Council meetings was temporarily changed with an earlier 4: 00 p.m. start time.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Solana Beach that the 6:00 p.m. start time for regular City Council meetings on the second and fourth Wednesdays of the month shall be reinstated effective at the next regularly scheduled City Council meeting.

**PASSED, ADOPTED AND APPROVED** by the City Council of the City of Solana Beach at a regular meeting this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

AYES: Councilmembers –

NOES: Councilmembers –

ABSTAIN: Councilmembers –

ABSENT: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager  
**SUBJECT:** **Ratification of Emergency Order Relaxing Outdoor Use Regulations for Gym & Fitness Centers, Personal Care Services, Salons and Barber Shops through a Temporary Use Permit (TUP)**

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## **BACKGROUND:**

On June 10, 2020, the City Council (Council) adopted Resolution 2020-087 approving, among other actions, a Temporary Use Permit (TUP) Policy to allow restaurant and café uses provide outdoor dining. The Policy was adopted and an administrative application and review process was established by Staff to implement this Policy. This Policy facilitates the review and issuance of a TUP allowing restaurants to operate outdoors on adjacent sidewalks, parking lots or other outdoor areas while also complying with traffic, safety, liability and Americans with Disabilities Act (ADA) compliance requirements.

Following adoption of Resolution 2020-087 and implementation of the TUP Policy for restaurant and café uses, and based on a surge in coronavirus transmissions, Governor Newsom directed 29 counties on the State's Watch List, including the County of San Diego, to close gyms, churches, offices, hair & nail salons, and other indoor businesses to closes. Shortly thereafter, the County of San Diego was allowed to modify its Public Health Order (PHO) allowing all restaurants, gyms and fitness centers, hair salons and nail salon to operate outdoors only.

Because Resolution 2020-087 applied only to restaurants and cafes and in response to the revised PHO, on July 31, 2020, the City Manager, operating as the Director of Emergency Services, issued an Emergency Order (Attachment 1) expanding the TUP process for outdoor use to be applied also to gyms and fitness centers and personal care services such as hair salons, barber shops and nail salons. This Order was also based on Council's previous actions to assist local businesses during the COVID-19 pandemic

This item is before the Council to ratify the Emergency Order issued on July 29, 2020.

CITY COUNCIL ACTION:

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## **DISCUSSION:**

The business community has been hit especially hard during this pandemic and as restrictions restaurants are slowly eased, as such Council has taken several actions to support the business community including formation of a small business grant program, suspending and/or delaying the collection of Business Certificate fees, and establishing TUP Policy under Resolution 2020-087 to allow outdoor seating in adjacent privately-owned areas such as landscaped areas and parking lots, sidewalks, and in adjacent public areas such as sidewalks within the public right-of-way and on-street parking areas.

Following modification of the San Diego County PHO to restrict certain uses to outdoor activity only, and given the Council's past actions to support the business community during the COVID-19 pandemic, the City Manager, acting as Director of Emergency Services, issued an Emergency Order on July 29, 2020, to expand the scope of the TUP Policy to allow gyms and fitness centers and other personal care services such as hair, nail salons and barber shops to operate outdoors under the same TUP requirements.

Staff had already modified its TUP application to streamline the process for local restaurants, microbreweries and any other establishment that Council desires to include in such a program. The revised TUP, which is also being made available to gyms and fitness centers, hair salons, nail salons, barber shops and other personal care businesses, is intended to assist these businesses while maintaining the necessary protections for the City to ensure it is protected from any potential liabilities from the expanded temporary use. Such uses must also comply with all applicable sanitation, social distancing and other guidance as mandated by the PHO and State guidance.

## **CEQA COMPLIANCE STATEMENT:**

This project is necessary to mitigate an emergency and is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15269(c) of the State CEQA Guidelines.

## **FISCAL IMPACT:**

The only costs not covered would be the waiver of the TUP fee, but that would be handled administratively by Staff so there would be no impacts to the General Fund.

## **WORK PLAN:**

N/A

## **OPTIONS:**

- Approve Department recommendation.

- Do not approve Department recommendation.
- Provide alternative direction.

**DEPARTMENT RECOMMENDATION:**

It is recommended that City Council consider ratifying the Emergency Order made by the City Manager, acting as the Director of Emergency Services, and issued on July 29, 2020.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Emergency Order for TUPs

**AN ORDER OF THE DIRECTOR OF EMERGENCY SERVICES  
FOR THE CITY OF SOLANA BEACH RELAXING CERTAIN  
REGULATIONS RELATED TO OUTDOOR USE BY GYM AND  
FITNESS CENTERS, PERSONAL CARE SERVICES PROVIDERS,  
SALONS AND BARBER SHOPS DUE TO THE COVID-19  
PANDEMIC**

**The Director of Emergency Services does hereby find and order as follows:**

**1. Findings.**

A. Section 2.28.060(A)(1) of the Solana Beach Municipal Code empowers the Director of Emergency Services/City Manager to proclaim the existence or threatened existence of a local emergency when said City is affected or likely to be affected by a public calamity and the City Council is not in session; and

B. Such proclamation entitles the Director of Emergency Services, and the emergency organization of this City, to all the powers, functions, and duties prescribed by state law, ordinances, and resolutions of this jurisdiction and by the Operational Area Emergency Plan during the existence of said Local Emergency; and

C. On February 14, 2020, the County of San Diego declared the existence of a county-wide local emergency within the unincorporated and incorporated areas of San Diego County; and

D. On March 4, 2020, Governor Newsom proclaimed a State of Emergency to exist in the State of California as a direct result of the threat presented by COVID-19; and

E. On March 16, 2020 the City of Solana Beach ("City") Director of Emergency Services declared a local emergency as a result of the continued spread of COVID-19. The City Council ratified the declaration of local emergency on March 19, 2020.

F. On March 19, 2020, Governor Newsom issued Executive Order N-33-20. This order required all individuals living in the State of California to stay home or at their place of residence except as needed to maintain the continuity of operations of the federal critical infrastructure sections.

G. On May 4, 2020, Governor Newsom issued Executive Order N-60-20 which allowed non-essential businesses to reopen in phases and in compliance with criteria set by the California Public Health Officer, and based on certain public health criteria being met on a county-by-county basis.

H. On May 27, 2020, salons and barber shops in the City of Solana Beach were allowed to reopen for business.

I. On June 12, 2020, fitness centers in the City of Solana Beach were allowed to reopen for business.

J. On June 19, 2020, spas, nail salons, massage and tattoo parlors were allowed to reopen for business.

K. On July 13, 2020, the State of California issued a Public Health Order and on July 14, 2020, the County of San Diego County issued a Public Health Order (collectively, "Public Health Orders") which required businesses engaged in personal care services, including nail salons, massage parlors, and tattoo parlors, and hair salons and barber shop services, and gym and fitness services (hereinafter collectively referred to as "personal care services businesses") to cease all indoor operations.

L. As a result of the Public Health Orders, as of July 15, 2020, a vast majority of personal care service businesses in the City of Solana Beach will be forced to cease all indoor operations for a potentially prolonged period of time. These businesses are important to the physical and mental wellbeing of the residents of Solana Beach and surrounding communities, and these closures will result in a significant loss of business for personal care service businesses located in the City of Solana Beach.

M. It is in the public interest to take steps to ensure local businesses survive during this public health emergency, and this Order temporarily relaxes certain regulations to provide important services to local residents, support local businesses, promote economic stability, and to promote a stable business and job market for employers and employees to return to once the local emergency is abated.

N. Adopting this Order is necessary and appropriate to address the immediate threats to the public health, safety, and welfare of residents and local businesses related to the significant economic impacts of the COVID-19 pandemic, to support businesses to be successful in their reopening in compliance with public health criteria, and to support compliance with the Public Health Orders and criteria related to COVID-19 to continue to mitigate the spread of COVID-19 in the City.

## **2. Order Text**

Pursuant to the powers granted to the Director of Emergency Services pursuant to Solana Beach Municipal Code section 2.28.060(A)(6), I hereby order as follows:

**SECTION 1.** Notwithstanding the requirements of Solana Beach Municipal Code Title 17 and space permitting, personal care services businesses may temporarily relocate some or all of their existing business operations to an adjacent outdoor area with a valid Temporary Use Permit (TUP) and the following conditions:



**A. Outdoor Layout Review and Site Inspection.** An Outdoor Layout Review and Site Inspection is required to relocate some or all of a personal care services business to an adjacent privately-owned outdoor area that was not originally permitted for said outdoor use, such as landscaped areas and parking lots, and in adjacent public or private areas such as sidewalks and on-street parking spaces within the public right-of-way. The Outdoor Layout Review and Site Inspection shall be conducted by the City of Solana Beach's Community Development Department, Public Works Department, and/or Fire Department who will review and either approve or require modifications to the proposed outdoor layout based on the following criteria:

- i. Outdoor use layout does not create a safety risk and adequate pedestrian and vehicular separation is maintained, including with movable barriers as appropriate.
- ii. The outdoor layout must accompany appropriate vehicle and pedestrian circulation and maintain adequate paths of travel and compliance with accessibility requirements of the Americans with Disabilities Act.
- iii. Any canopies, pop-ups, overhead shelters (collectively, "canopies") and the like must comply with fire codes, the Public Health Orders and safety standards set forth by the National Fire Protection Association and must include an affixed manufacturer's label stating the canopies meets NFPA requirements. A State Fire Marshal seal on the canopies or a certificate is needed to prove treatment.
- iv. Any placement or installation of temporary improvements, including but not limited to chairs and tables; pedestrian safety lights; heat lamps, fans, or other temperature control devices; canopies or other overhead shelter; posted signage; and other items that support table service or outdoor dining are subject to all applicable provisions of the California Building Code.
- v. No discharge of any types of solids or liquids, including water, can be made or caused to be made into any storm water drain.

**B. No Fee.** No fee will be charged for conducting an Outdoor Layout Review and Site Inspection and/or issuance of a TUP for these purposes.

**C. Occupancy.** Total occupancy of any outdoor space by a personal care services business shall not exceed that business's existing allowed indoor customer/patron capacity and/or occupancy.

**D. Trash and Debris Removal.** Temporary outdoor use areas, including any adjacent landscaped areas, sidewalks, and parking areas, shall be kept free of trash and debris at all times. Each personal care services business shall ensure the cleanup and removal of any trash and debris at the conclusion of its operation on each and every day of operation.

**E. Indemnification and Hold Harmless.** As a condition of approving an outdoor use on City-owned property, including on-street parking spaces and sidewalks within the public right-of-way, the personal care services business owner is required to indemnify, defend, and hold harmless the City, its officers, officials, employees, agents, and volunteers from any liability for any and all claims, demands, actions, losses, damages, and injuries, direct or indirect (including any and all costs in connection therein), which may arise from a personal care services business operations on City-owned property, except for any such claims arising out of the active negligence or willful misconduct of the City.

**F. Insurance Required.** At the time of the Outdoor Layout Review and Site Inspection that includes a request to use City-owned property including on-street parking spaces and sidewalks within the public right-of-way, the applicant shall submit proof of insurance including certificates of insurance with original endorsements as follows:

- i. Commercial General Liability Coverage to be maintained no less broad than ISO form GC 00 01 in an amount not less than one million dollars (\$1,000,000) per occurrence for bodily injury, personal and advertising injury, and property damage. If a general aggregate limit applies, either the general aggregate limit shall apply separately to the personal care services business's use of outdoor space or the general aggregate limit shall be twice the required occurrence limit. If the personal care services business maintains higher limits than the minimums shown above, the City requires and shall be entitled to coverage for the higher limits maintained by the personal care services business. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.
- ii. Any deductibles and self-insured retentions must be declared approved by the City. At the option of the City, either: the owner shall cause the insurer to reduce or

eliminate such deductibles or self-insured retentions with respect to the City, its officers, officials, employees, and volunteers or the owner shall provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration, and defense expenses.

- iii. The City, its officers, officials, employees, and volunteers are to be covered as additional insureds on the CGL policy with respect to liability arising out of the use of any outdoor space as authorized herein, including work or operations performed by or on behalf of the Owner involving such use of outdoor space, including materials, parts, or equipment furnished in connection with such work. General liability coverage can be provided in the form of an endorsement to the personal care services business' insurance (at least as broad as ISO Form CG 20 10, CG 11 85 or both CG 20 10 and CG 20 37 forms if later revisions used), unless otherwise approved in advance by City.
- iv. For any claims related to a personal care services business' use of outdoor space as authorized herein, the personal care services business' insurance coverage shall be primary insurance as respects the City, its officers, officials, employees, and volunteers. Any insurance or self-insurance maintained by the City, its officers, officials, employees, or volunteers shall be excess of the personal care services business' insurance and shall not contribute with it.
- v. Each insurance policy required by this order shall provide that coverage shall not be canceled, except with reasonable advance notice to the City.
- vi. Insurance is to be placed with insurers with a current A.M. Best rating of no less than A: VII, unless otherwise acceptable to the City.

**G. Other Regulations and Approvals.** Personal care services businesses requesting an Outdoor Layout Review and Site Inspection from the City are responsible for maintaining compliance with all other applicable regulations, in general and for their industry, and obtaining any approvals required from other agencies, including, but not limited to, the San Diego County Department of Environmental Health, the San Diego.

**SECTION 2.** Upon the expiration or termination of this Order, the relaxation of regulations related to outdoor use contained herein shall be of no further force and effect. Regulations relating to outdoor use shall revert back to the regulations as


written and/or codified in the Solana Beach Municipal Code. All improvements used for temporary outdoor use shall be removed immediately at the expense of the personal care services businesses. All outdoor spaces utilized pursuant to this Order shall be returned to the condition they were in just prior to their use for outdoor business purposes.

**SECTION 3. Effective Date.** This Order shall take immediately and shall remain in effect for the duration of the local emergency or until revoked by the Director of Emergency Services.

**SECTION 4. California Environmental Quality Act.** This action is statutorily exempt under California Environmental Quality Act (CEQA) section 20180(b)(4) (specific actions necessary to prevent or mitigate an emergency) and is categorically exempt from CEQA under CEQA Guidelines 15301 (existing facilities), 15304(e) (minor temporary use of land having negligible or no permanent effects on the environment).

**SECTION 5. Severability.** If any provision of this Order is held invalid by a court of competent jurisdiction, such provision shall be considered a separate, distinct, and independent provision and such holding shall not affect the validity and enforceability of the other provisions of this Order.

IT IS **SO ORDERED**.



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Gregory Wade, Director of Emergency Services

Date: July 29, 2020



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager's Department  
**SUBJECT:** **Solana Energy Alliance – 2019 Power Content Label and Attestation**

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## **BACKGROUND:**

Community Choice Aggregation (“CCA”), authorized by Assembly Bill 117, is a state law that allows cities, counties and other authorized entities to aggregate electricity demand within their jurisdictions in order to purchase and/or generate alternative energy supplies for residents and businesses within their jurisdiction while maintaining the existing electricity provider for transmission and distribution services. The goal of a CCA is to provide a higher percentage of renewable energy electricity at competitive and potentially cheaper rates than existing Investor Owned Utilities (“IOU”s), while giving consumers local choices and promoting the development of renewable power sources and programs and local job growth.

The City of Solana Beach’s (“City”) CCA, Solana Energy Alliance (“SEA”), was established by the City Council through adoption of Ordinance 483 on December 13, 2017 and began serving customers in June 2018. SEA is the first CCA to launch in San Diego Gas & Electric territory and remains the only CCA operating in San Diego County.

This item is before Council to comply with the California Energy Commission’s (CEC) Power Source Disclosure Program.

## **DISCUSSION:**

California Public Utilities Code requires all retail sellers of electric energy, including SEA, to disclose “accurate, reliable, and simple-to-understand information on sources of energy” that are delivered to their respective customers. Applicable regulations direct retail sellers to provide such communications prior to October 1st of each year. The format for requisite communications is highly prescriptive, offering little flexibility to retail

CITY COUNCIL ACTION:

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sellers when presenting such information to customers. This format has been termed the Power Content Label, or PCL, by the CEC. The PCLs (SEA Choice and SEA Green) before the Council is for the 2019 calendar year.

Information presented in the PCL includes the share of total energy supply related to various resource types, including both renewable and conventional fuel sources. If a retail seller meets a certain percentage of its supply obligation from unspecified resources, the report must identify such purchases as “unspecified sources of power”. Unspecified sources of power refer to electricity that cannot be traced back to a specific generator, such as energy purchased from the market at large or from broadly defined portfolios of generating resources.

During the 2019 calendar year, SEA delivered a substantial portion of its electric energy supply from renewable energy sources, including geothermal and wind. For SEA Choice customers, 50.3% of total energy supply was sourced from renewable energy resources and 49.7% from carbon free sources. For SEA Green customers, 100% of energy deliveries were sourced from renewable energy resources, specifically solar sources. So, in essence, all energy provided by SEA in calendar year 2019 was from carbon free sources. Large hydroelectric power does not technically qualify as a renewable energy source, but is carbon free. The PCL form is a CEC template, which each retail seller is expected to complete. A copy of SEA’s PCLs are attached for reference.

Consistent with applicable regulations, SEA will complete required customer communications on or before October 1st. All customers currently enrolled in the SEA program will receive the PCL via U.S. mail.

To fulfill its Power Source Disclosure Program reporting obligations for 2019, SEA must also provide the CEC with its Council’s attestation regarding the accuracy of information included in the PCL. Current Power Source Disclosure Program regulations allow public agencies, including SEA, to provide a self-attestation with regard to the accuracy of information reported for its retail electric service offerings.

It is recommended, based on reviews previously completed by Staff and external technical consultants, that City Council attest to the accuracy of information included in the 2019 PCL related to the SEA Choice and SEA Green supply portfolios.

Upon approval, a copy of this Staff Report and related meeting minutes will be forwarded to the CEC, thereby completing SEA’s PCL reporting obligation for the 2019 calendar year.

**CEQA COMPLIANCE STATEMENT:**

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section 15378(b)(5) of CEQA Guidelines.

**FISCAL IMPACT:**

This action does not result in any fiscal impact. The costs of mailing of the Power Content Label was included in the approved Fiscal Year 2020/21 budget.

**WORK PLAN:**

Environmental Sustainability – Policy Development – Implement Solana Energy Alliance

**OPTIONS:**


- Approve Staff recommendations
- Do not approve Staff recommendations
- Provide further direction to Staff

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council attest to the accuracy of information provided in Solana Energy Alliance's 2019 Power Content Labels.

**CITY MANAGER RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. SEA 2019 SEA Power Content Label

<b>2019 POWER CONTENT LABEL</b>			
<b>City of Solana Beach / Solana Energy Alliance</b>			
<b><a href="https://solanaenergyalliance.org/about/PowerSources">https://solanaenergyalliance.org/about/PowerSources</a></b>			
<b>ENERGY RESOURCES</b>	<b>SEA Choice</b>	<b>SEA Green</b>	<b>2018 CA Power Mix**</b>
<b>Eligible Renewable</b>	<b>50%</b>	<b>100%</b>	<b>31%</b>
Biomass & Biowaste	0%	0%	2%
Geothermal	4%	0%	5%
Eligible Hydroelectric	0%	0%	2%
Solar	21%	100%	11%
Wind	25%	0%	11%
<b>Coal</b>	<b>0%</b>	<b>0%</b>	<b>3%</b>
<b>Large Hydroelectric</b>	<b>50%</b>	<b>0%</b>	<b>11%</b>
<b>Natural Gas</b>	<b>0%</b>	<b>0%</b>	<b>35%</b>
<b>Nuclear</b>	<b>0%</b>	<b>0%</b>	<b>9%</b>
<b>Other</b>	<b>0%</b>	<b>0%</b>	<b>&lt;1%</b>
<b>Unspecified sources of power*</b>	<b>0%</b>	<b>0%</b>	<b>11%</b>
<b>TOTAL</b>	<b>100%</b>	<b>100%</b>	<b>100%</b>
* "Unspecified sources of power" means electricity from transactions that are not traceable to specific generation sources.			
** Percentages are estimated annually by the California Energy Commission based on the electricity generated in California and net imports as reported to the Quarterly Fuel and Energy Report database and the Power Source Disclosure program.			
For specific information about this electricity product, contact:	<b>City of Solana Beach / Solana Energy Alliance</b> <b>(858) 720-4422</b>		
For general information about the Power Content Label, please visit:	<a href="http://www.energy.ca.gov/pcl/">http://www.energy.ca.gov/pcl/</a>		
For additional questions, please contact the California Energy Commission at:	Toll-free in California: 844-454-2906 Outside California: 916-653-0237		





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Request for a DRP and SDP to Remodel an Existing Residence and Construct a New Two-Story Addition, Including a Roof Top Deck and a Walk Out Deck Off the East Side of the Proposed Addition, and Convert an Existing Detached Accessory Structure to an ADU at 201 Ocean Street. (Case # 17-18-02 Applicant: Asli Carome; APN: 263-042-06; Resolution 2020-077)**

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## **BACKGROUND:**

The Applicant, Asli Carome, is requesting City Council (Council) approval of a Development Review Permit (DRP) and a Structure Development Permit (SDP) for an interior remodel and square footage addition to the existing single-family residence at 201 Ocean Street.

The original project design was presented to the Council on June 10, 2020, and the Council was unable to make the required findings to approve the project. The Council asked the Applicant if they would be willing to continue the project to a date certain so that they could address the concerns that were expressed during the Public Hearing by citizens and by the Council members. The Applicant indicated that they were willing to continue the project. The Council voted 5/0 to continue the project to the August 26, 2020 City Council Public Hearing.

The revised project before the Council has the same project description, however, the existing nonconforming bedroom in the northeast corner of the residence would be removed which would reduce the main floor by 133 square feet and the square footage addition for the new den/study would be increased by 83 square feet. The project meets two thresholds for the requirement of a DRP, including: 1) construction in excess of 60 percent of the maximum allowable floor area; and 2) a second story that exceeds 40 percent of the first story floor area. The project requires a SDP because the proposed development exceeds 16 feet in height above the existing grade.

CITY COUNCIL ACTION:

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The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2020-077 (Attachment 1).

**DISCUSSION:**

At the June 10, 2020 Council meeting, the Applicant indicated that they were willing to address comments and concerns raised during the Public Hearing. Therefore, the Public Hearing was continued to a date certain on August 26, 2020.

The following concerns and suggested revisions were discussed during the Public Hearing:

- The project proposes reconstruction of a nonconforming structure.
- To reduce the size of the nonconformity by eliminating the existing nonconforming bedroom within the front yard setback.
- Removal of the proposed roof deck.
- Use of the Accessory Dwelling Unit (ADU) as a low income dwelling unit.

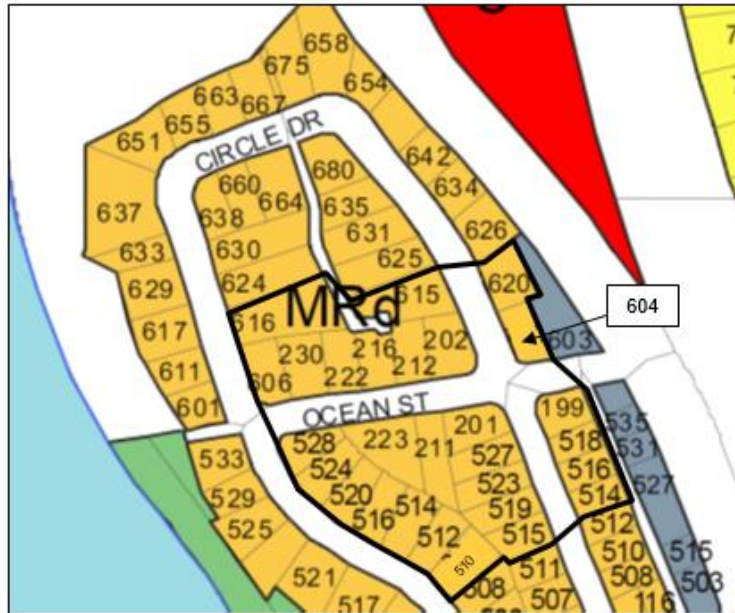
The Applicant submitted revised plans to the Community Development Department on July 20, 2020. The plans were reviewed by the Planning, Engineering, and Fire Departments. The revised plans have been provided in Attachment 2. The June 10, 2020 Staff Report is included in Attachment 3 for reference.

The revised project plans include the removal of the existing nonconforming bedroom in the northeast corner of the main floor. In addition, the proposed addition of the den/study would be extended into the buildable area behind the existing home.

The project information for the revised design, including a comparison of the Floor Area Ratio of the original project design, are provided in the following Table 1:

<b>Table 1</b>			
<b>LOT INFORMATION</b>			
<b>Property Address:</b>	201 Ocean Street	<b>Zoning Designation:</b>	MR (5-7 du/ac)
<b>Lot Size (Net):</b>	7,817 ft <sup>2</sup>	<b># of Units Allowed:</b>	1 Dwelling Unit, 1 ADU
<b>Max. Allowable Floor Area:</b>	3,318 ft <sup>2</sup>	<b># of Units Requested:</b>	1 Dwelling Unit, 1 ADU
<b>Proposed Floor Area:</b>	3,262 ft <sup>2</sup>	<b>Setbacks:</b>	<b>Required</b> <b>Proposed</b>
<b>Below Max. Floor Area by:</b>	56 ft <sup>2</sup>	Front (E)	25 ft.      32.3* ft.
<b>Max. Allowable Height:</b>	25 ft.	Exterior Side (N)	10 ft.      10.3 ft.
<b>Max. Proposed Height:</b>	24.96 ft.	Interior Side (S)	5 ft.      14 ft.
<b>Highest Point/Ridge:</b>	90.6 MSL	Rear (W)	25 ft.      37.3* ft.
<b>Overlay Zone(s):</b>	SROZ	*This is the distance to the proposed construction. Existing nonconforming home encroaches into front and rear yard setbacks.	
<b>PROPOSED PROJECT INFORMATION</b>			
<b>FAR Original Project Design</b>		<b>FAR Revised Project Design</b>	
<b>Existing Main Floor</b>	<b>1,855 ft<sup>2</sup></b>	<b>Existing Main Floor</b>	<b>1,855 ft<sup>2</sup></b>
<b>Existing Garage</b>	<b>445<sup>2</sup></b>	<b>Proposed Bedroom Removal</b>	<b>- 133 ft<sup>2</sup></b>
<b>Existing Detached ADU</b>	<b>360 ft<sup>2</sup></b>	<b>Existing Garage</b>	<b>445 ft<sup>2</sup></b>
<b>Proposed 1<sup>st</sup> Floor Addition</b>	<b>332 ft<sup>2</sup></b>	<b>Existing Detached ADU</b>	<b>360 ft<sup>2</sup></b>
<b><u>Proposed 2<sup>nd</sup> Floor Addition</u></b>	<b><u>720 ft<sup>2</sup></u></b>	<b>Proposed 1<sup>st</sup> Floor Addition</b>	<b>415 ft<sup>2</sup></b>
		<b><u>Proposed 2<sup>nd</sup> Floor Addition</u></b>	<b><u>720 ft<sup>2</sup></u></b>
<b>Subtotal:</b>	<b>3,712 ft<sup>2</sup></b>	<b>Subtotal:</b>	<b>3,662 ft<sup>2</sup></b>
<b><u>Parking Exemption</u></b>	<b><u>-400 ft<sup>2</sup></u></b>	<b><u>Parking Exemption</u></b>	<b><u>- 400 ft<sup>2</sup></u></b>
<b>Total FAR Proposed</b>	<b>3,312 ft<sup>2</sup></b>	<b>Total FAR Proposed</b>	<b>3,262 ft<sup>2</sup></b>
<b>Proposed Grading:</b> 10 cubic yards of cut for footing and 10 cubic yards of removal and re-compaction			
<b>Proposed Parking:</b> Existing Attached 2-Car Garage		<b>Existing Development:</b> Single-story, single-family residence with an attached garage and a detached accessory structure	
<b>Proposed Fences and Walls:</b> Yes			
<b>Proposed Accessory Dwelling Unit:</b> Yes			
<b>Proposed Accessory Structure:</b> Yes			

It should be noted that in the June 10, 2020 Staff Report, Table 2, which provides the neighborhood comparison had incorrect lot information for the subject property. The table indicated that the lot area was 6,600 square feet and that it would allow for a maximum of 3,105 square feet of floor area. The neighborhood comparison has been updated to provide the correct lot area of 7,817 square feet, the actual FAR allowed for the lot of 3,318 as well as the revised FAR for the proposed project. Staff compared the proposed project to 27 other properties within the surrounding area. This area includes properties along Pacific Avenue, Ocean Street and Circle Drive as shown on the following map:



The properties evaluated in this comparison are located in the MR Zone. The existing homes range in size from 561 square feet to 5,000 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered patio area, or accessory building area in the total square footage. However, the County Assessor does include finished basements, which the City does not. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the existing and proposed garages as follows:

Project Gross Building Area:	3,662 ft <sup>2</sup>
Delete Garage:	- 445 ft <sup>2</sup>
Project Area for Comparison to Assessor's Data:	3,217 ft <sup>2</sup>

<b>Table 2</b>						
#	Property Address	Lot Size in ft <sup>2</sup> (GIS)	Existing ft <sup>2</sup> Onsite (Assessor's)	Proposed / Recently Approved ft <sup>2</sup>	Max. Allowable ft <sup>2</sup>	Zone
1	620 E CIRCLE DR	8,000	1,602		3,350	MR
2	604 E CIRCLE DR	6,500	1,498		3,088	MR
3	616 W CIRCLE DR	14,900	2,409		4,558	MR
4	606 W CIRCLE DR	7,100	2,924		3,193	MR
5	230 OCEAN ST	7,100	3,161		3,193	MR
6	222 OCEAN ST	6,700	3,141		3,123	MR
7	216 OCEAN ST	5,800	1,548		2,900	MR
8	212 OCEAN ST	6,600	1,452		3,105	MR
9	202 OCEAN ST	10,900	2,016		3,858	MR

10	615 E CIRCLE DR	12,000	2,913		4,050	MR
11	528 PACIFIC AVE	12,400	4,076		4,120	MR
12	524 PACIFIC AVE	6,800	4,897		3,140	MR
13	520 PACIFIC AVE	6,800	3,774		3,140	MR
14	223 OCEAN ST	5,900	2,647		2,983	MR
15	211 OCEAN ST	8,300	1,259		3,403	MR
16	<b>201 OCEAN ST</b>	<b>7,817</b>	<b>1,855</b>	<b>3,217</b>	<b>3,318</b>	<b>MR</b>
17	527 N ACACIA AVE	6,700	884		3,123	MR
18	523 N ACACIA AVE	6,750	1,016		3,131	MR
19	519 N ACACIA AVE	6,400	2,145		3,070	MR
20	515 N ACACIA AVE	6,200	3,866		3,035	MR
21	510 PACIFIC AVE	6,600	2,447		3,105	MR
22	512 PACIFIC AVE	6,700	1,414		3,123	MR
23	514 PACIFIC AVE	6,600	1,542		3,105	MR
24	516 PACIFIC AVE	6,700	1,827		3,123	MR
25	199 OCEAN ST	6,700	2,733		3,123	MR
26	514 N ACACIA AVE	5,000	3,046		2,500	MR
27	516 N ACACIA AVE	4,900	1,230		2,450	MR
28	518 N ACACIA AVE	4,900	2,730		2,450	MR

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Should the Council determine that the findings can be made to approve the project, the SDP will be approved concurrently with the DRP. Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the updated Resolution of Approval (Attachment 1).

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. Class 3 consists of the construction and location of limited numbers of new, small facilities or structures, installation of small equipment and facilities in small structures and the conversion of small structures from one use to another where only minor modification are made in the exterior of the structure. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the project as designed by adopting the attached Resolution 2020-77.
- Approve the project subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP and SDP cannot be made.

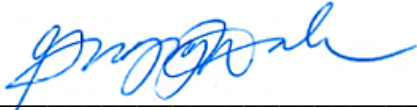
**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing; Report Council disclosures; Receive Public Testimony; Close the Public Hearing;
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15303 of the State CEQA Guidelines;
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-077 conditionally approving a DRP and SDP to remodel the existing residence and construct a new two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert an existing detached accessory structure to an accessory dwelling unit (ADU) at 201 Ocean Street, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager  
Attachments:

1. Resolution 2020-77
2. Revised Project Plans
3. June 10, 2020 Staff Report Package

**RESOLUTION NO. 2020-077**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO PERFORM AN INTERIOR REMODEL AND CONSTRUCT A SQUARE FOOTAGE ADDITION ON AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE AND CONVERT AN EXISTING DETACHED ACCESSORY STRUCTURE INTO AN ACCESSORY DWELLING UNIT AT 201 OCEAN STREET, SOLANA BEACH**

**APPLICANTS: ASLI CAROME  
APPLICATION: 17-18-02 DRP/SDP**

**WHEREAS**, Asli Carome (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on June 10, 2020, the City Council received and considered evidence concerning the proposed application and continued the project to a date certain on August 26, 2020; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on August 26, 2020, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to remodel the 1,855 square foot existing residence with a 445 square foot attached garage, remove the 133 square foot bedroom within the front yard setback, and construct a new 415 square foot addition to the main floor and a 720 square foot second story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. The

**ATTACHMENT 1**

Applicant is also proposing to convert a 360 square foot existing detached accessory structure to an accessory dwelling unit (ADU). The 7,817 square foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The project, located at 201 Ocean Street, Solana Beach, is conditionally approved based upon the following Findings and subject to the following Conditions:

### III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for a maximum of five to seven dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor area (FAR), maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*



*The property is located within the MR Zone. The surrounding neighborhood consists of a mix of properties that are one- and two-story, single-family residences. The project site is currently developed with a one -story, single-family residence.*

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020, which permits one single-family residence and one ADU per lot. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The property is located on the corner of Ocean Street and Acacia Avenue and is currently developed with a single-story, single-family residence with an attached two-car garage and a detached accessory structure. Driveway and pedestrian access to the main entrance are taken from Ocean Street. The Solana Beach Municipal Code (SBMC) defines the front lot line as, *"the line separating the parcel from the street or private road easement. On a corner lot, the shorter lot line abutting a street or the line designated as the front lot line by a subdivision or parcel map."* The MR Zone requires 25-foot front and rear yard setbacks, 10-foot street side yard setbacks, and 5-foot interior side yard setbacks. The existing residence is nonconforming as the existing residence encroaches into the required front yard setback and the attached garage encroaches into the required rear yard setback. The original residence and garage were constructed with the required permits prior to the City's incorporation. With the revised design, the Applicant is proposing to remove the existing non-conforming bedroom that is located in the northeast corner of the residence and in the front

yard setback. Otherwise, the portions of the other nonconforming portions of the house will remain.

The Applicant proposes to maintain the remainder of the existing residence and garage, construct a 415 square foot addition to the main floor within the buildable area of the lot, construct a new 720 square foot second floor, and convert the existing detached 360 square foot accessory structure to an ADU.

According to the residential building record, the existing detached accessory structure was constructed as a “gym” in the early 1980’s prior to the City’s incorporation. At some time, a bathroom was added to the detached structure and there is no record of a permit to allow this addition. In order to maintain the existing detached structure as it currently exists, the Applicant is proposing to convert it to a detached Accessory Dwelling Unit (ADU). No additional work is proposed on the ADU.

The existing attached 445 square foot garage provides two 9 ft. X 19 ft. parking spaces, however, one is obstructed by a door that provides exterior access to the garage. A condition of project approval would require the Applicant to modify the existing door in order to change the door swing so that it no longer obstructs the dimensions of a required parking space. Therefore, the two required parking spaces (200 square feet per space) are exempt from the floor area calculations as they were constructed with required permits. Therefore, 400 square feet would be exempt from the calculation of floor area.

The proposed main floor would be 2,137 square-feet. The first floor of the residence would consist of a kitchen, dining room, great room, study, powder room, a master bedroom suite, one additional bedroom and a bathroom. The 720 square-foot second story would consist of a new master suite with a walk out deck off of the north eastern corner of the new master suite. A roof deck is proposed on top of the second floor accessed by an exterior staircase off of the northwest corner of the master suite. The existing 360 square foot detached accessory dwelling unit would consist of a sleeping area, a bathroom and a multi-purpose kitchen/living room.

The total proposed floor area would be 3,262 square feet, which is 56 square feet below the maximum allowable floor area for the 7,817 square-foot lot. The maximum floor area calculation for this project is as follows:

0.500 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,001 to 15,000 ft <sup>2</sup>	318 ft <sup>2</sup>
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Total Allowable Floor Area: 3,318 ft<sup>2</sup>

The proposed additions, as designed, meet the minimum required setbacks and are 56 square feet below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified irrigated landscape areas that exceed 500 square feet. The Applicant is not proposing to modify the existing landscaped area.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. ADU's are not required to provide an additional parking space if the site is located within one-half mile of a transit stop. The subject site is within one-half mile of multiple bus stops on Highway 101; therefore, an additional parking space is not required. The existing principal residence has an attached two-car garage that encroaches into the required rear yard setback area that was constructed with required permits prior to the City's incorporation. As conditioned, the Applicant would be required to reverse the door swing of the exterior access door in order to maintain two unobstructed parking spaces that are 9 ft. X 19 ft. in area. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage are exempt from the floor area calculation. Two spaces are required for the principal residence, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations*

*in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project would include grading in the amounts of 10 yd<sup>3</sup> of cut for footings and 10 yd<sup>3</sup> of removal and recompaction for the proposed additions. The remainder of the lot would remain as is.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of an interior remodel and a square footage addition including a new second story and the conversion of a detached accessory structure to an ADU on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor on January 22, 2019 showing a maximum building height of 25 feet (91.3 MSL) above the existing grade. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by March 18, 2019. The City received one application for View Assessment. The project was presented to the View Assessment Commission (VAC) on July 16, 2019 and the VAC was not able to make the required findings and made a recommendation for denial. The notice of recommendation is provided in Attachment 3.

Instead of moving forward with the recommendation for denial, the Applicant decided to redesign the project to address the view impairment concerns presented at the VAC meeting. Revised plans were submitted to the City that proposed to move the second floor square footage to the opposite side of the second floor that was previously proposed. Because the proposed design incorporated square footage outside of the originally story poled three-dimensional building envelope, an additional 30-day public notice period was required. The story poles were modified and recertified on February 18, 2020. The maximum building height of the redesigned project was certified at 24.96 feet or 90.6 MSL. Notices were mailed out to all property owners and residents within 300 feet of the property and a second 30 day deadline to file for View Assessment was established on April 23, 2020. No additional applications for View Assessment were submitted and the original application was withdrawn. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.96 feet above the existing grade or 90.6 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on August 26, 2020, and located in the project file with a submittal date of July 20, 2020.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.95 feet above the proposed grade on the west elevation and the highest point of the structure will not exceed 90.6 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on August 26, 2020.
- IV. The Applicant shall reverse the door swing of the door providing exterior access to the garage in order to remove the obstruction to the required parking space.
- V. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- VI. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.

- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.

B. Fire Department Conditions:

- I. Please ensure all trees/vegetation will be properly maintained next to the structure.
- II. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- III. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- IV. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 1/2" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 1/2" inch NST outlets.
- V. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a 1/2" inch stroke width for residential buildings, 8" high with a 1/2" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- VI. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire

sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation. Sprinklers are required due to the additions being more than 50% of the existing structure and due to significant modifications to the interior of the dwelling.

- VII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 prior to any work being done in the public right-of-way. These include, but are not limited to:
  - a. Demolition of existing driveway approach where G-14A is proposed.
  - b. Construction of G-14A driveway approach.
  - c. All lifted, cracked or broken sidewalk panels shall be replaced as noted on the proposed site plan.
  - d. Removal of the existing CMU walls.
  - e. Construction of the new entry steps/walk.
  - f. Removal and reconstruction of the existing drain pipes discharging to Acacia Ave.
  
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all improvements in the public right-of-way including, but not limited to:
  - a. New entry steps/walk.
  - b. Sidewalk underdrains.
  - c. Landscaping.
  - d. Rocks.
  - e. Irrigation.
  - f. Slopes.



- III. The Applicant shall underground all new utility services including, but not limited to, electrical and telephone.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

#### I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are

hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 26<sup>th</sup> day of August, 2020, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, MAYOR

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

# CAROME REMODEL

201 OCEAN STREET

SOLANA BEACH CALIFORNIA

## OWNER

ASLI CAROME  
201 OCEAN STREET  
SOLANA BEACH, CALIF. 92075  
TEL: 703.731.3584

## SITE ADDRESS

201 OCEAN STREET  
SOLANA BEACH, CALIFORNIA

NOTE: THERE IS NO SITE GRADING PROPOSED:  
CONSTRUCTION IS ON EXISTING FLAT AREAS.

## LEGAL DESCRIPTION

APN: 263 . 042 . 06 . 00  
LOT OF , IN THE CITY OF SOLANA  
BEACH, COUNTY OF SAN DIEGO,  
STATE OF CALIFORNIA, ACCORDING TO MAP  
THEREOF No. , FILED IN THE OFFICE OF  
THE COUNTY RECORDER OF SAN DIEGO  
COUNTY,

## SITE INFO

APN: 263 . 042 . 06 . 00  
LOT AREA: +/- 7817 S.F. (0.18 ACRE)  
PAD AREA: +/- 7000 S.F. (0.16 ACRE)  
PAD ELEV.: +/- 66' ELEV.

## FLOOR AREA RATIO (FAR) CALCULATION

LOT AREA X 0.5 (first 6000sf) 3000 sf  
LOT AREA x 0.175 (for 1817sf) 318 sf  
**TOTAL ALLOW. FLOOR AREA 3318 sf**  
PROPOSED FLOOR AREA 3262 sf

## ARCHITECT

STUDIO ONE . ARCHITECTS DOUG FESS  
2456 LA COSTA AVENUE LIC. No. C22258  
CARLSBAD, CALIF. 92009  
TEL: 760.496.8101 FAX: 760.635.3618

## SURVEYOR

SPENCER-LUEY SURVEYING  
220 LINDA MAR DRIVE  
SOLANA BEACH, CALIF. 92075  
TEL: 858.792.9242 MOB: 858.756.8083

## FIRE DEPARTMENT NOTE

THIS PROJECT SHALL COMPLY W/ THE MIN.  
REQ'TS. OF THE CALIFORNIA FIRE CODE  
(CURRENT EDITION) & LOCAL AMENDM'TS.

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

## SETBACKS

FRONT: 25'-0" REQ'D./ 32'-4" PROPOSED  
STREETSIDE: 10'-0" REQ'D./ 10'-3" PROPOSED  
INT. SIDE: 5'-0" REQ'D./ 14'-0" PROPOSED  
REAR: 25'-0" REQ'D./ 37'-4" PROPOSED

## FLOOR AREA

EXIST. MAIN LEVEL- To Remain: 1722 S.F.  
EXIST. UPPER LEVEL- To Remain: 0 S.F.

**TOTAL EXIST. LIVING- To Remain: 1722 S.F.**

EXIST. GARAGE- To Remain: 445 S.F.  
EXIST. DET. STRUCT.- To Remain: 360 S.F.

PROP. MAIN LIVING ADD'N.: +415 S.F.  
PROP. UPPER LIVING ADD'N.: +720 S.F.

**GROSS LIVING ADD'N. AREA: +1002 S.F.**

**GROSS TOTAL LIVING AREA: 3217 S.F.**

**PROP. GARAGE ADD'N.: +0 S.F.**

**F.A.R. AREA (Gross -400sf Gar.): 3262 S.F.**

PROP. UNCOV. DECK ADD'N.: +535 S.F.

## APPLICATION FOR THE FOLLOWING:

DEVELOPMENT REVIEW PERMIT (DRP)  
STRUCTURE DEVELOPMENT PERMIT (SDP)

## CITY OF SOLANA BEACH

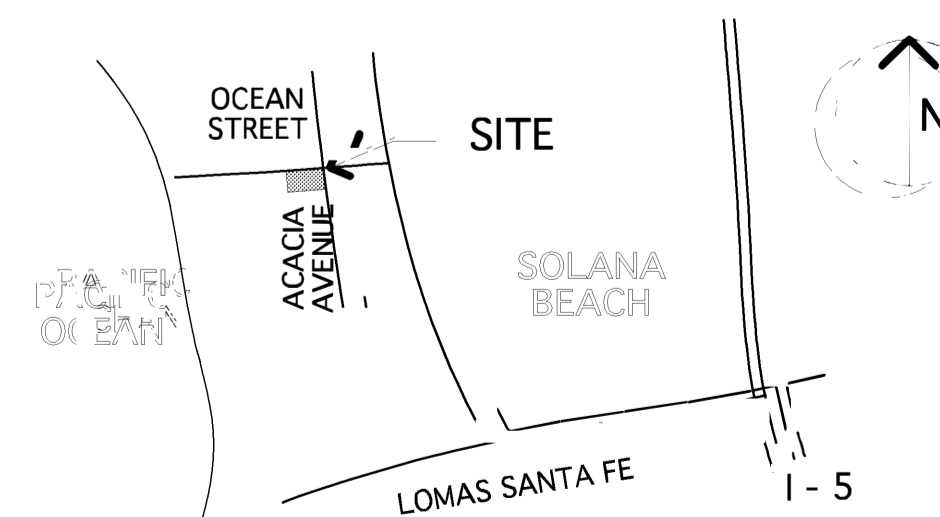
PROJECT No: DRP/SDP CASE No. 17-18-02  
ZONING: MRd  
GENERAL PLAN  
LAND USE:

## LOT COVERAGE

BLDG. COVERAGE (exist.): 2675 S.F./ 34.2 %  
BLDG. COVERAGE (prop.): + 267 S.F./ 3.4 %  
HARDSCAPE (exist.): 1695 S.F./ +21.7 %  
HARDSCAPE (prop.): + 0 S.F./ +0.0 %  
LANDSCAPE (exist./prop.): 3180 S.F./ 40.7 %

**TOTAL AREA: 7817 S.F./ 100.0 %**

## VICINITY MAP



**ATTACHMENT 2**

## SHEET INDEX

T TITLE SHEET  
1 PROPOSED SITE PLAN & SITE SECTION  
1a PROPOSED SITE DIAGRAM PLAN  
1b EXIST. & PROP. IMPERVIOUS SURFACES  
1c PROPOSED SITE VIEWS  
2 PROPOSED OVERALL MAIN PLAN  
2a PROPOSED MAIN FLOOR PLAN  
3 PROPOSED UPPER FLOOR PLANS  
4 PROPOSED ROOF PLANS  
4a FLOOR AREA PLANS  
4b STORYPOLE PLANS & DETAILS  
5 PROPOSED DESIGN ELEVATIONS  
5a PROPOSED EXTERIOR ELEVATIONS 1  
5b PROPOSED EXTERIOR ELEVATIONS 2  
6 PROPOSED SITE & BLDG. SECTIONS  
6a PROPOSED BUILDING SECTIONS  
EX.1 EXISTING SITE PLAN  
EX.2 EXISTING OVERALL MAIN PLAN  
EX.2a EXISTING MAIN FLOOR PLAN  
EX.3 EXISTING UPPER FLOOR PLANS  
L.1 LANDSCAPE MASTER PLAN  
L.2 LANDSCAPE PLANTING NOTES

## PROJECT DESCRIPTION

ADDITION & REMODEL TO EXISTING SINGLE-  
STORY RESIDENCE INCL. 2- STORY ADDITION,  
GARAGE CONVERSION & OPEN PATIOS.  
LIMITED SITE IMPROVEMENTS INCL. NEW  
FRONT YARD LANDSCAPING & PATIO WALLS.

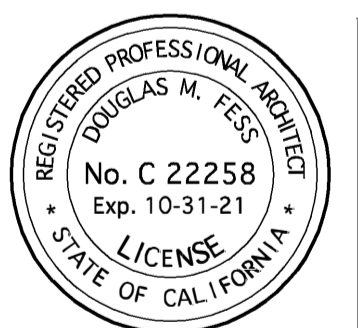
**CAROME REMODEL**  
201 OCEAN STREET  
SOLANA BEACH CALIF.

**studio  
one  
architects**

2456 La Costa Avenue  
Carlsbad, Calif.  
92009  
Tel: 760.496.8101  
Fax: 760.635.3618

**Douglas Fess**  
Principal Architect

architecture · planning · landscape · interiors



All ideas, designs, arrangements, and plans indicated or represented by this drawing are created by and are the property of STUDIO ONE . ARCHITECTS and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of STUDIO ONE . ARCHITECTS.

DATE: 31 JAN '18 S.B. PLANG. SUB'L.  
21 JUNE '18 S.B. PLANG. RESUB'L. 1  
13 DEC. '18 S.B. PLANG. RESUB'L. 2  
15 OCT. '19 S.B. PLANG. RESUB'L. 3  
10 DEC. '19 S.B. PLANG. RESUB'L. 4  
16 JULY 20 S.B. PLANG. RESUB'L. 5

TITLE SHEET

SCALE:

T

**LOT COVERAGE**

BLDG. COVERAGE (exist.):	2675 S.F./ 34.2 %
BLDG. COVERAGE (prop.):	+ 267 S.F./ 3.4 %
HARDSCAPE (exist.):	1695 S.F./ +21.7 %
HARDSCAPE (prop.):	+ 0 S.F./ +0.0 %
LANDSCAPE (exist./prop.):	3180 S.F./ 40.7 %

**TOTAL AREA: 7817 S.F./ 100.0 %**

**FLOOR AREA RATIO (FAR) CALCULATION**

LOT AREA X 0.5 (first 6000sf)	3000 sf
LOT AREA x 0.175 (for 1817sf)	318 sf
<b>TOTAL ALLOW. FLOOR AREA</b>	<b>3318 sf</b>
PROPOSED FLOOR AREA	3262 sf

**FLOOR AREA**

EXIST. MAIN LEVEL- To Remain:	1722 S.F.
EXIST. UPPER LEVEL- To Remain:	0 S.F.

**TOTAL EXIST. LIVING- To Remain: 1722 S.F.**

EXIST. GARAGE- To Remain:	445 S.F.
EXIST. DET. STRUCT.- To Remain:	360 S.F.

PROP. MAIN LIVING ADD'N.:	+415 S.F.
PROP. UPPER LIVING ADD'N.:	+720 S.F.

**GROSS LIVING ADD'N. AREA: +1002 S.F.**

**GROSS TOTAL LIVING AREA: 3217 S.F.**

**PROP. GARAGE ADD'N.: +0 S.F.**

**F.A.R. AREA (Gross -400sf Gar.): 3262 S.F.**

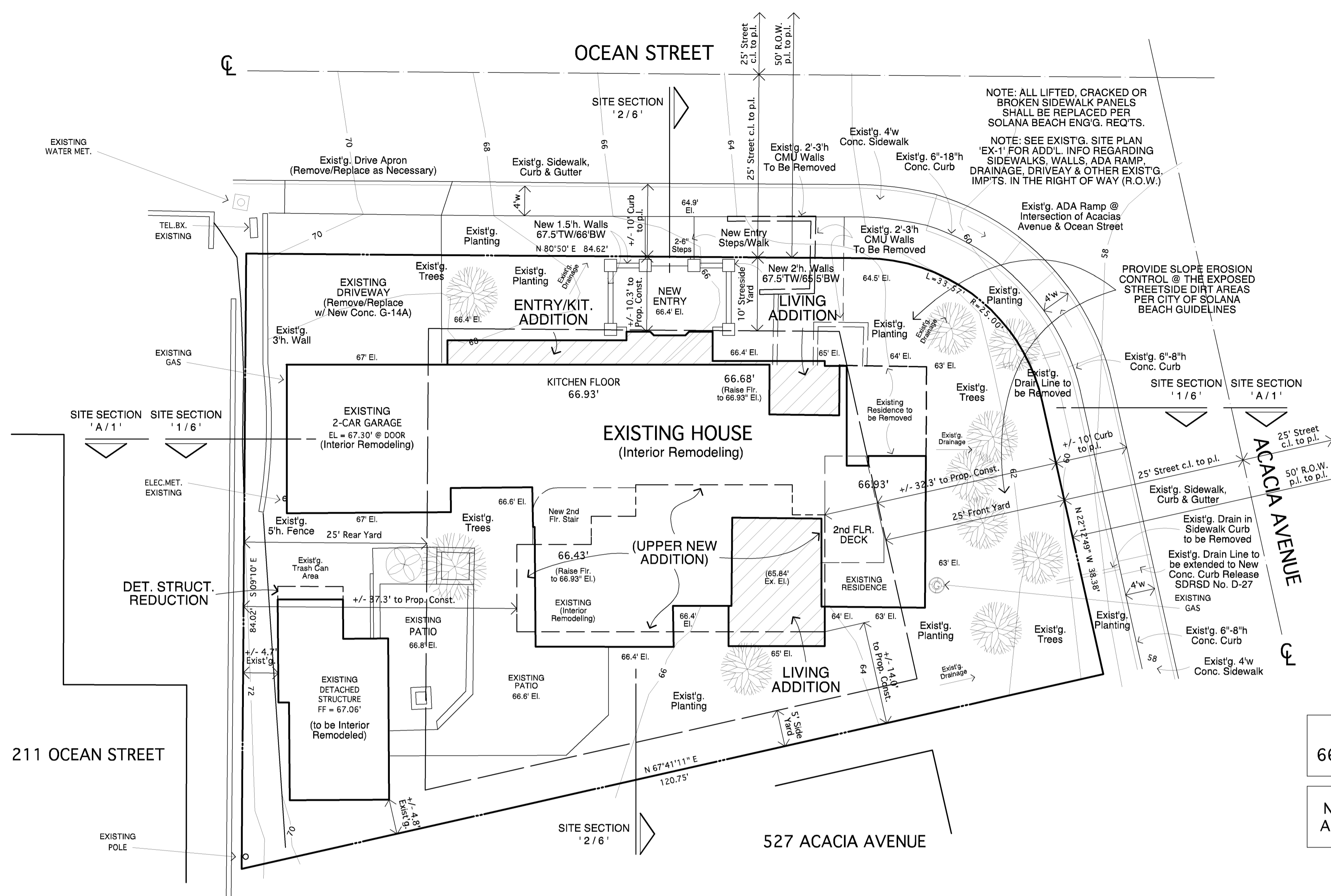
PROP. UNCOV. DECK ADD'N.: +535 S.F.

**OFF - STREET PARKING**

REQUIRED SPACES	02
PROVIDED SPACES (In Garage)	02

**PROPOSED GRADING**

SITE GRADING PROPOSED	0 cy
VOLUME OF EXC. FOR FTG'S.	10 cy
VOLUME OF EXC. FOR RE-COMP.	10 cy
<b>TOTAL GRADING</b>	<b>20 cy</b>



**RIGHT-OF-WAY (R.O.W.) WORK**

APPLICANT TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO DEMOLITION & CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHT-OF-WAY (R.O.W.) INCLUDING THE FOLLOWING:

- A. DEMOLITION OF EXISTING DRIVEWAY APPROACH WHERE G-14A IS PROPOSED.
- B. CONSTRUCTION OF G-14A DRIVEWAY APPROACH.
- C. ALL LIFTED, CRACKED OR BROKEN SIDEWALK PANELS SHALL BE REPLACED AS NOTED ON THE PROPOSED SITE PLAN.
- D. REMOVAL OF EXISTING ENTRY STEPS/WALK.
- E. CONSTRUCTION OF PROPOSED STEPS & LOW WALLS AS SHOWN ON PROPOSED SITE PLAN.

**ENCROACHMENT MAINTENANCE**

AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) SHALL BE REQUIRED FOR THE PROPOSED STEPS & LOW WALLS IN THE PUBLIC RIGHT-OF-WAY (R.O.W.).

**CONSTRUCTION DEMOLITION MATERIALS**

ALL CONSTRUCTION DEMOLITION MATERIALS SHALL BE RECYCLED ACCORDING TO THE CITY'S CONSTRUCTION & DEMOLITION RECYCLING PROGRAM & AN APPROVED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED.

**CONSTRUCTION FENCING**

CONSTRUCTION FENCING SHALL BE LOCATED ON THE SUBJECT PROPERTY UNLESS THE APPLICANT HAS OBTAINED AN ENCROACHMENT PERMIT IN ACCORDANCE WITH CHAPTER 11.20 OF THE SOLANA BEACH MUNICIPAL CODE WHICH ALLOWS OTHERWISE.

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

**FIRE DEPARTMENT NOTE (See Sht. '2')**

THIS PROJECT SHALL COMPLY W/ THE MIN. REQ'TS. OF THE CALIFORNIA FIRE CODE (CURRENT EDITION) & LOCAL AMENDM'TS.

**IMPERVIOUS AREA TABLE (See Shts. '2' & '1b')**

STRUCTURE ADDITION- Living:	267 S.F.
STRUCTURE ADDITION- Garage:	0 S.F.
COVERED LOGGIA ADDITION:	0 S.F.
HARDSCAPE ADDITION:	0 S.F.
<b>TOTAL AREA:</b>	<b>267 S.F.</b>

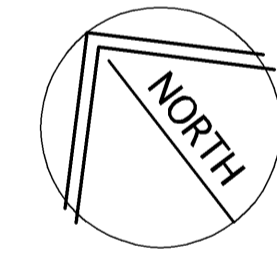
**PROPOSED GRADING**

CUT:	10 YD.
FILL:	10 YD.

NOTE: ANY DIRT MOVEMENT TO BE BY SMALL EQUIPMENT FOR FLATWORK & DRAINAGE PURPOSES.

**PROPOSED SITE PLAN**

SC: 1/10" = 1'-0"



**LANDSCAPE AREA SUMMARY**

	EXIST'G. To Remain	PROP.
NON-LANDSCAPE AREA:	2675 S.F.	2942 S.F. (+267 S.F.)
NON-IRRIGATED LANDSCAPE:	0 S.F.	0 S.F.
IRRIGATED LANDSCAPE:	3447 S.F.	3180 S.F. (-267 S.F.)
WATER FEATURES:	0 S.F.	0 S.F.
DECORATIVE HARDSCAPE:	1695 S.F.	1695 S.F. (+0 S.F.)
<b>TOTAL LOT AREA:</b>	<b>7817 S.F.</b>	<b>7817 S.F.</b>

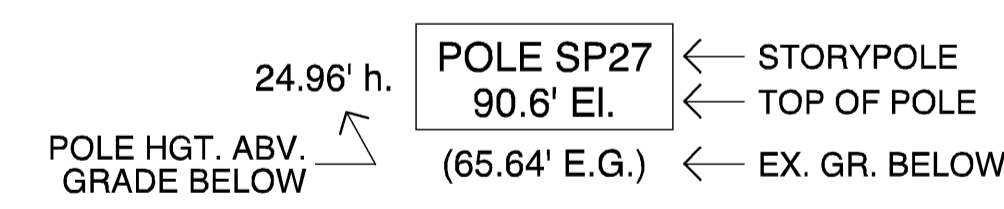
**AREA OF WORK**

IRRIGATED LANDSCAPE:	-267 S.F.
WATER FEATURES:	0 S.F.
DECORATIVE HARDSCAPE:	40 S.F.
<b>AGGREGATE LANDSCAPE AREA:</b>	<b>-267 S.F.</b>

'THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE AND ALL APPLICABLE CITY OF SOLANA BEACH CODES AND ORDINANCES AND STATE COASTAL REQ'TS.'

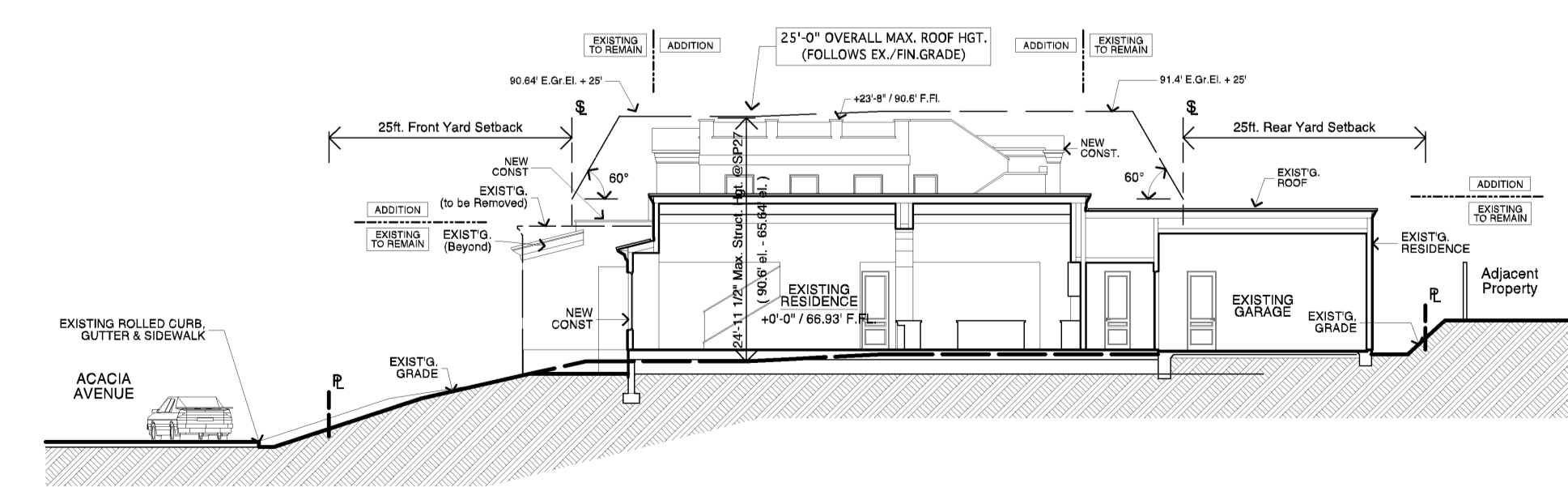
NOTE: CONTRACTOR TO FIELD VERIFY WITH LICENSED SURVEYOR/CIVIL ENGINEER ALL PROPERTY LINES, ELEVATIONS & EASEMENTS. ARCHITECT MAKES NO REPRESENTATION FOR ACCURACY

**STORYPOLE KEY**



**DIMENSIONAL NOTE**

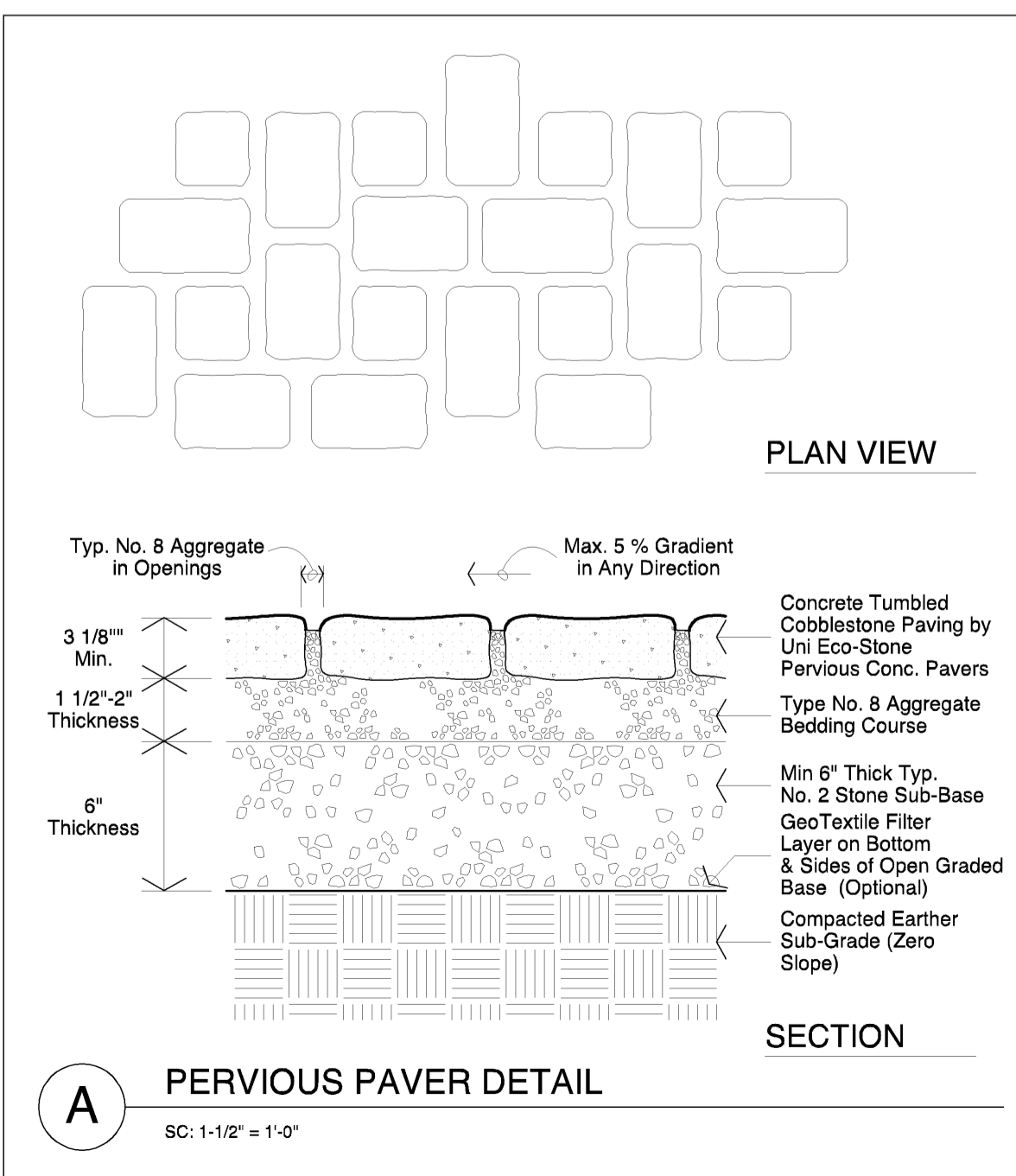
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.



**SITE SECTION A**

**PROPOSED SITE SECTION**

SC: 1/16" = 1'-0"



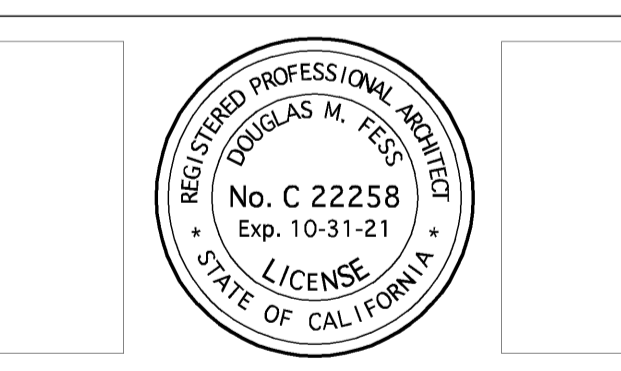
**PERVIOUS PAVER DETAIL**

**CAROME REMODEL**  
201 OCEAN STREET  
SOLANA BEACH CALIF.

**studio one architects**

2456 La Costa Avenue  
Carlsbad, Calif. 92009  
Tel: 760.496.8101  
Fax: 760.635.3618

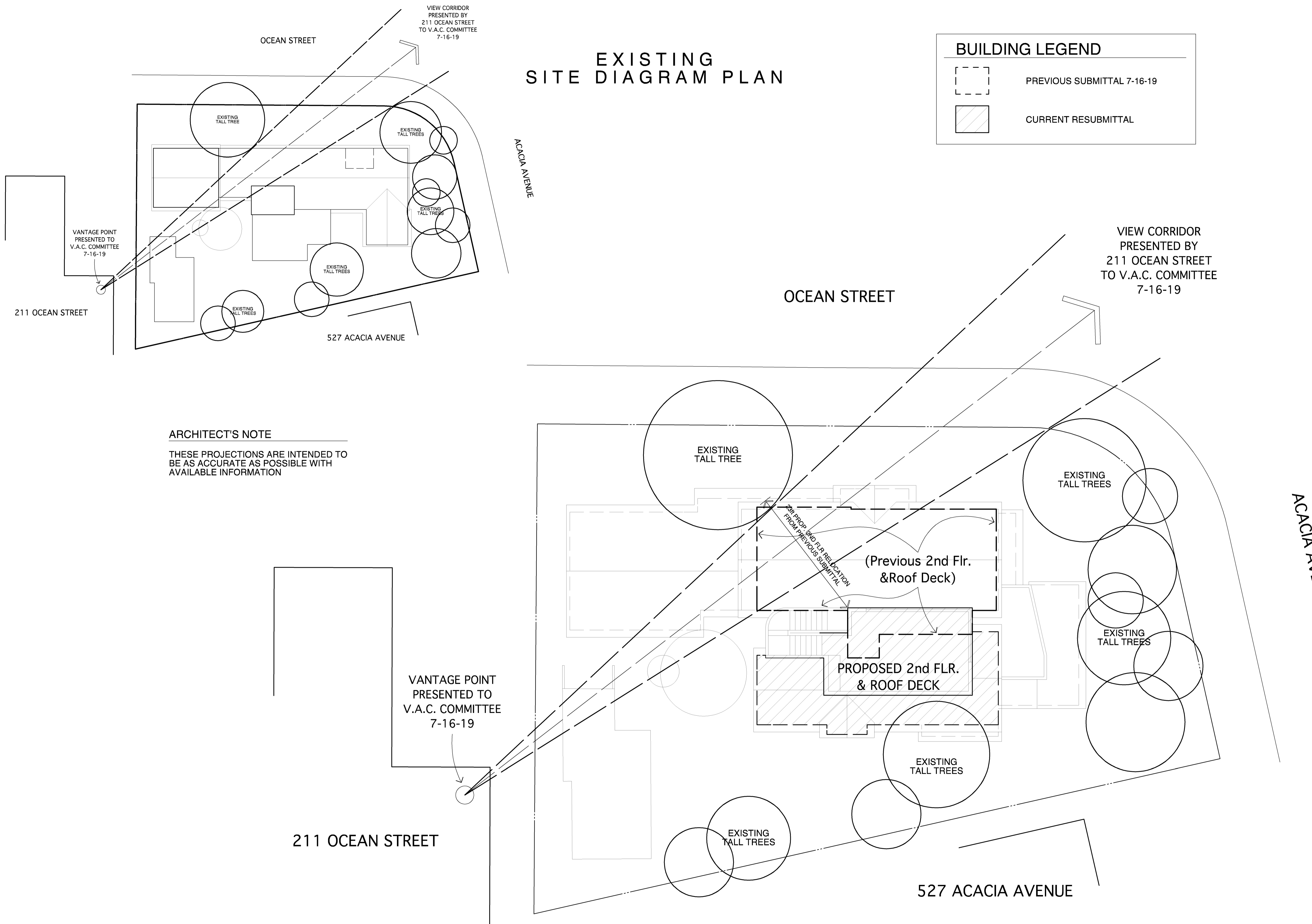
**Douglas Fess**  
Principal Architect



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21 JUNE '18 S.B. PLANG. RESUB'L. 1  
13 DEC. '18 S.B. PLANG. RESUB'L. 2  
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10 DEC. '19 S.B. PLANG. RESUB'L. 4  
16 JULY 20 S.B. PLANG. RESUB'L. 5

**PROPOSED SITE PLAN / NOTES & SITE SECTION**

SCALE:



EXISTING  
SITE DIAGRAM PLAN

**BUILDING LEGEND**

PREVIOUS SUBMITTAL 7-16-19  
 CURRENT RESUBMITTAL

**ARCHITECT'S NOTE**  
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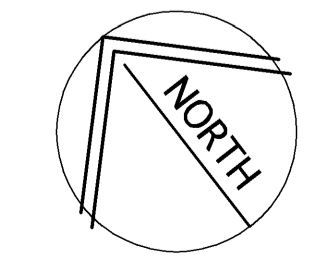
**PROPOSED SITE  
DIAGRAM COMPARISON**

SCALE:

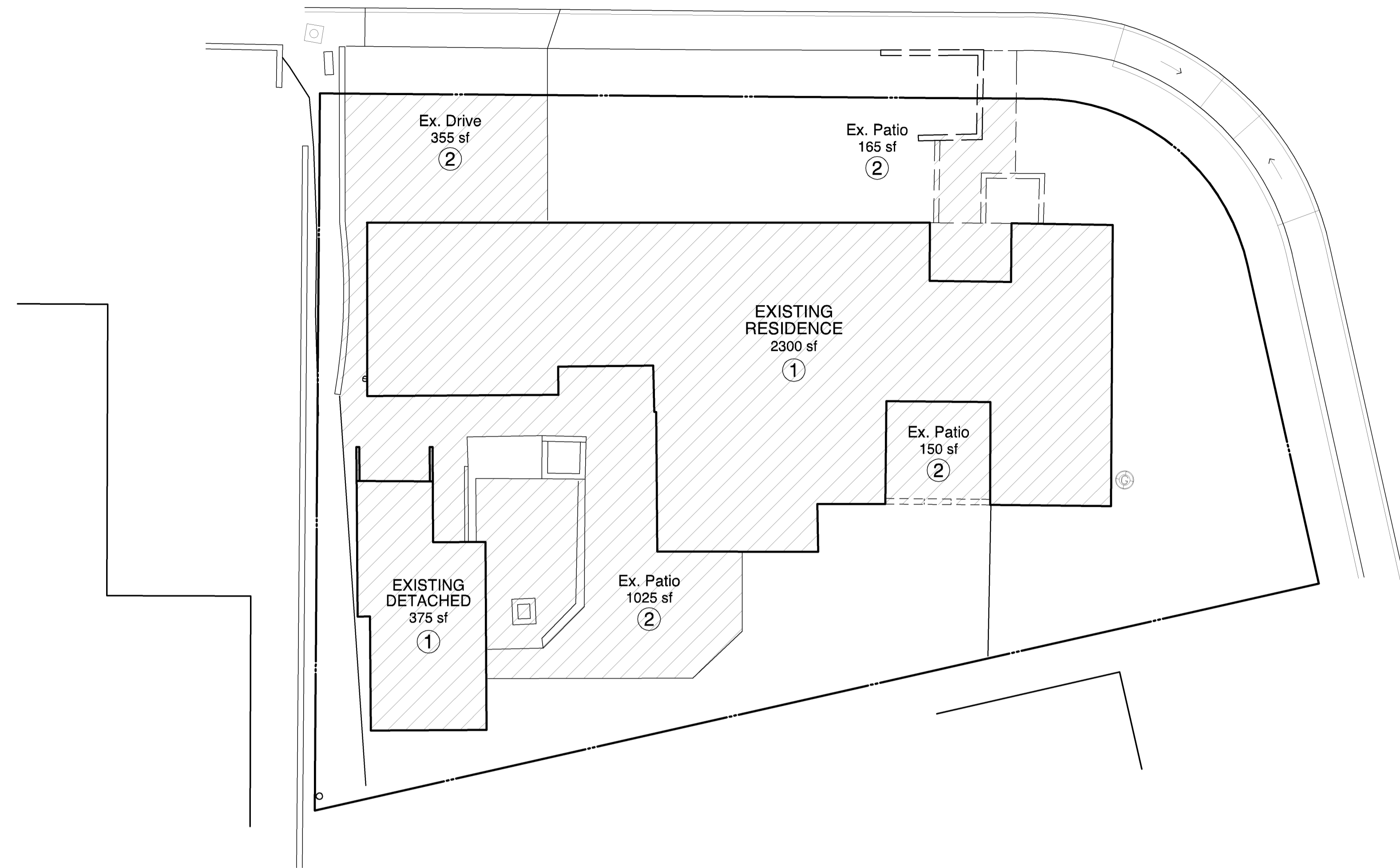
1a

**SITE DIAGRAM PLAN**

SC: 1/8" = 1'-0"



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)



## EXISTING IMPERVIOUS PLAN

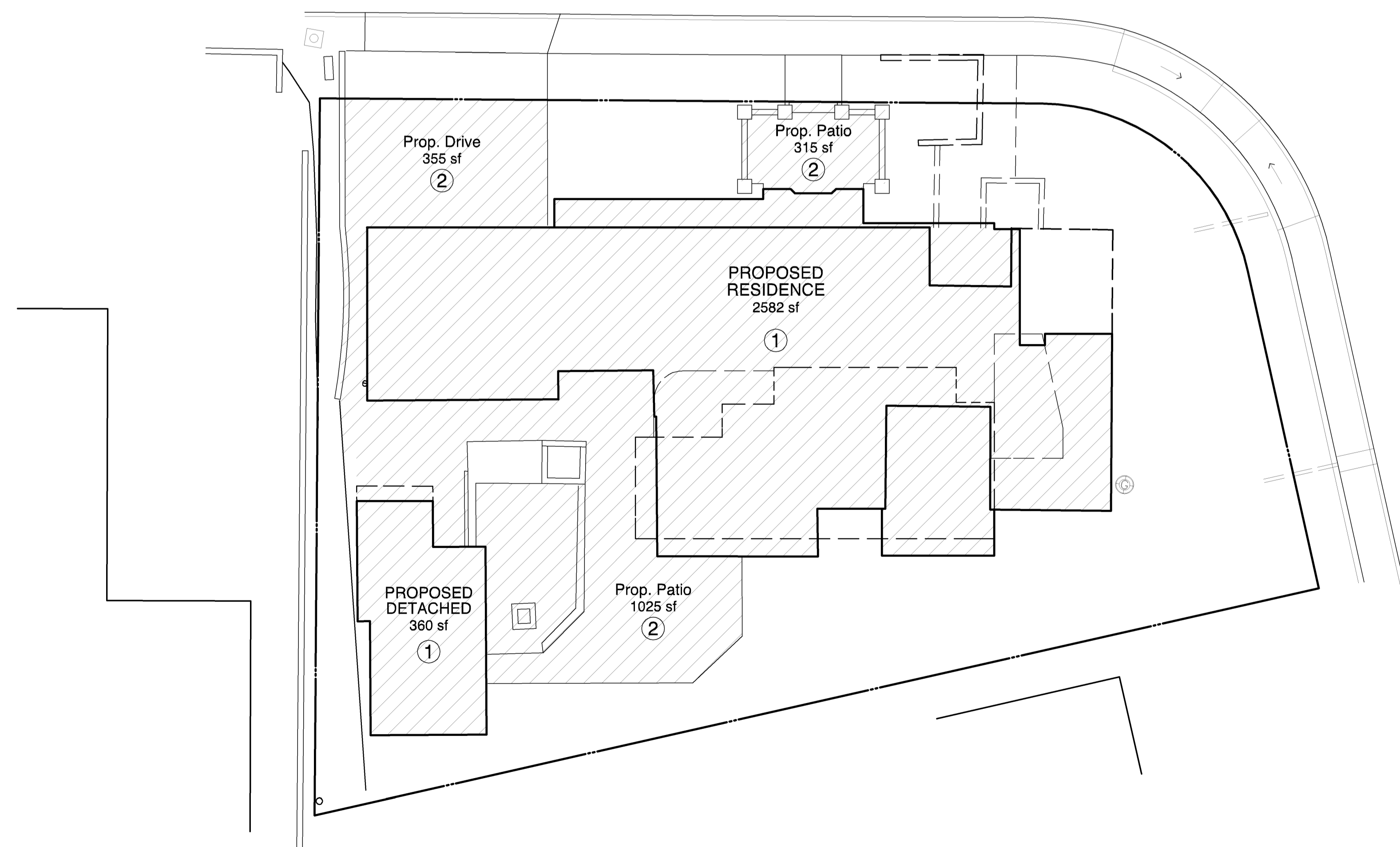
SC: 1/10" = 1'-0"

### EXISTING IMPERVIOUS SURFACE AREA TABLE

SITE ID #	IMPERVIOUS ITEM	DIM'S.	SURFACE AREA
①	(E) RESIDENCE / DET. STRUCTURE (All Impervious Surface)	PER PLAN	2675 sf
②	(E) PATIOS / WALKS / DRIVE (All Impervious Surface)	PER PLAN	1695 sf
<b>TOTAL EXISTING IMPERVIOUS SURFACE AREA</b>			<b>4370 sf</b>

### IMPERVIOUS AREA TABLE (See Shts. '2' & '1b')

STRUCTURE ADDITION- Living:	267 S.F.
STRUCTURE ADDITION- Garage:	0 S.F.
COVERED LOGGIA ADDITION:	0 S.F.
HARDSCAPE ADDITION:	0 S.F.
<b>TOTAL AREA:</b>	<b>267 S.F.</b>



## PROPOSED IMPERVIOUS PLAN

SC: 1/10" = 1'-0"

### PROPOSED IMPERVIOUS SURFACE AREA TABLE

SITE ID #	IMPERVIOUS ITEM	DIM'S.	SURFACE AREA
①	(N) RESIDENCE / DET. STRUCTURE (All Impervious Surface)	PER PLAN	2942 sf
②	(N) PATIOS / WALKS / DRIVE (All Impervious Surface)	PER PLAN	1695 sf
<b>TOTAL NEW IMPERVIOUS SURFACE AREA</b>			<b>4637 sf</b>

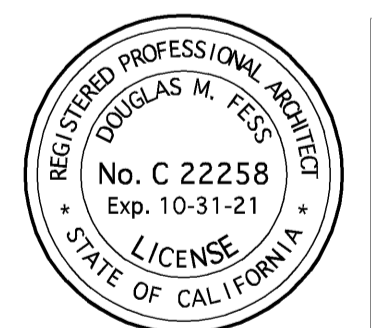
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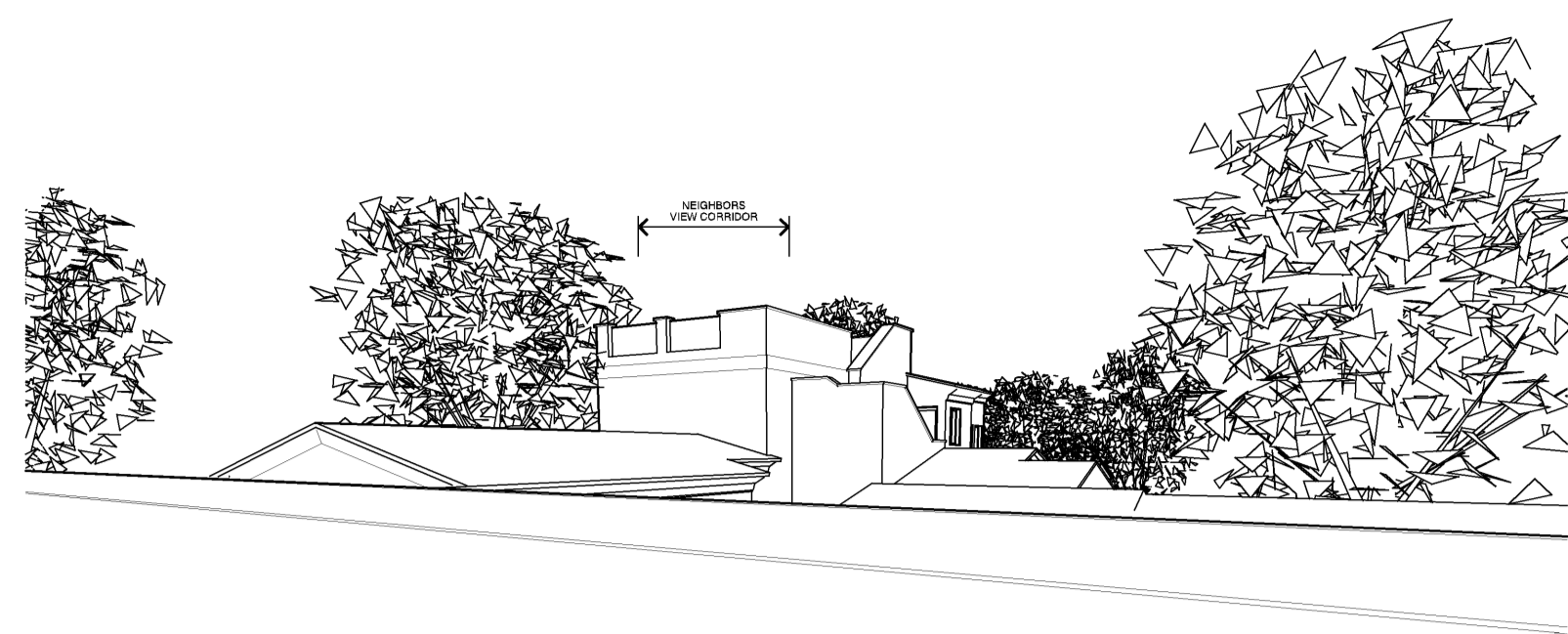
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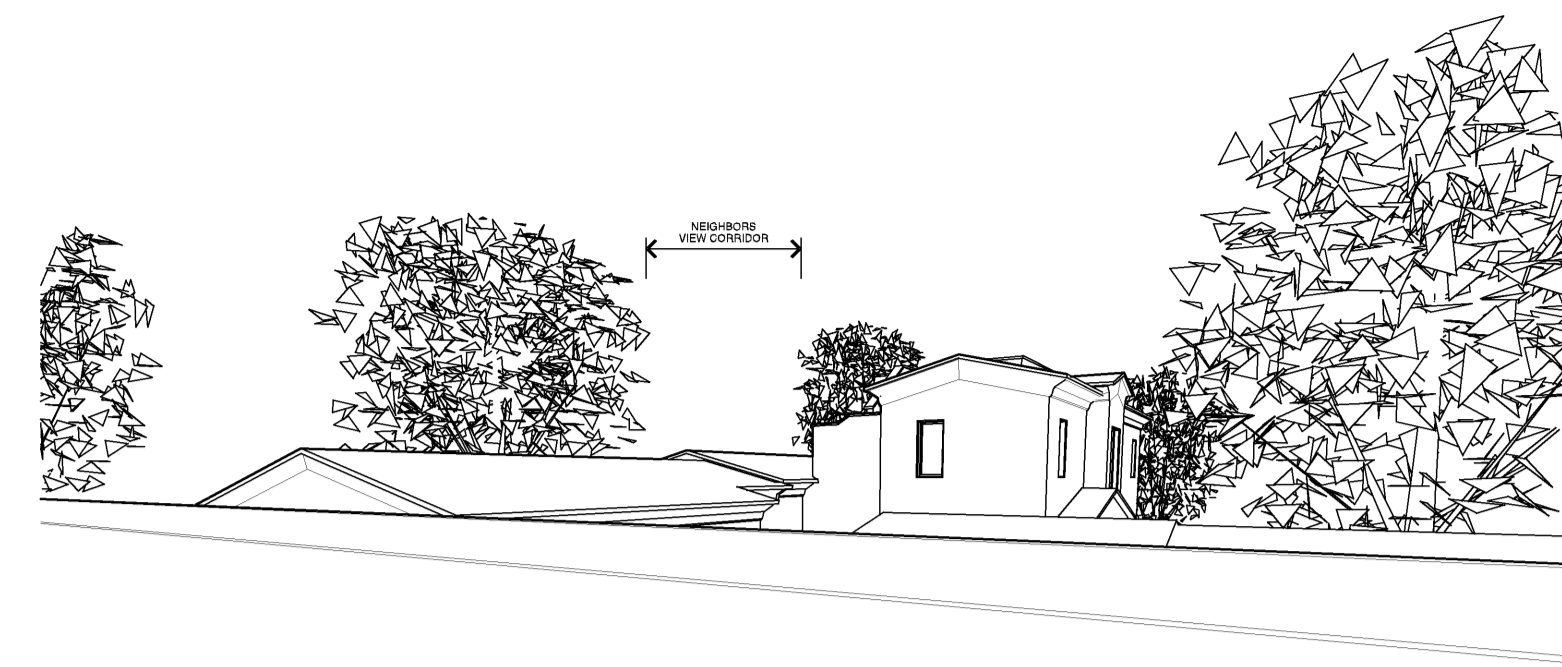
**EXISTING & PROPOSED IMPERVIOUS SURFACES**

SCALE:

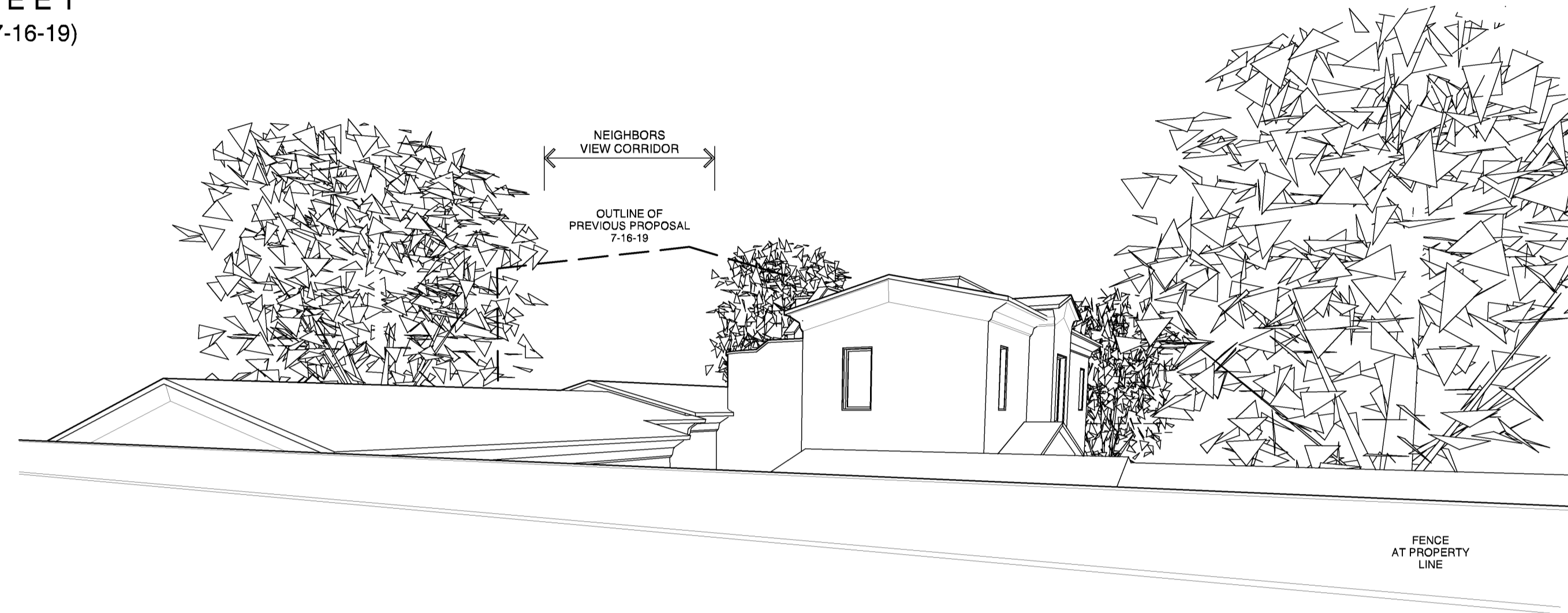
1b



PREVIOUS VIEW FROM  
211 OCEAN STREET  
(Similar to Photo by Neighbor 7-16-19)



PROPOSED VIEW FROM  
211 OCEAN STREET



COMBINED VIEW FROM  
211 OCEAN STREET



PREVIOUS VIEW FROM  
OCEAN STREET / ACACIAS AVENUE



PROPOSED VIEW FROM  
OCEAN STREET / ACACIAS AVENUE



COMBINED VIEW FROM  
OCEAN STREET / ACACIAS AVENUE

ARCHITECT'S NOTE

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EXTERIOR VIEWS

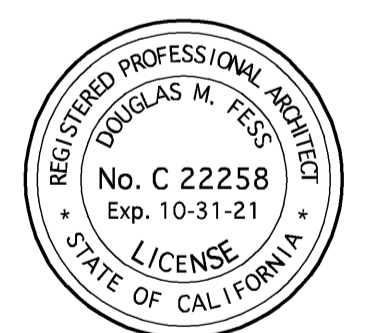
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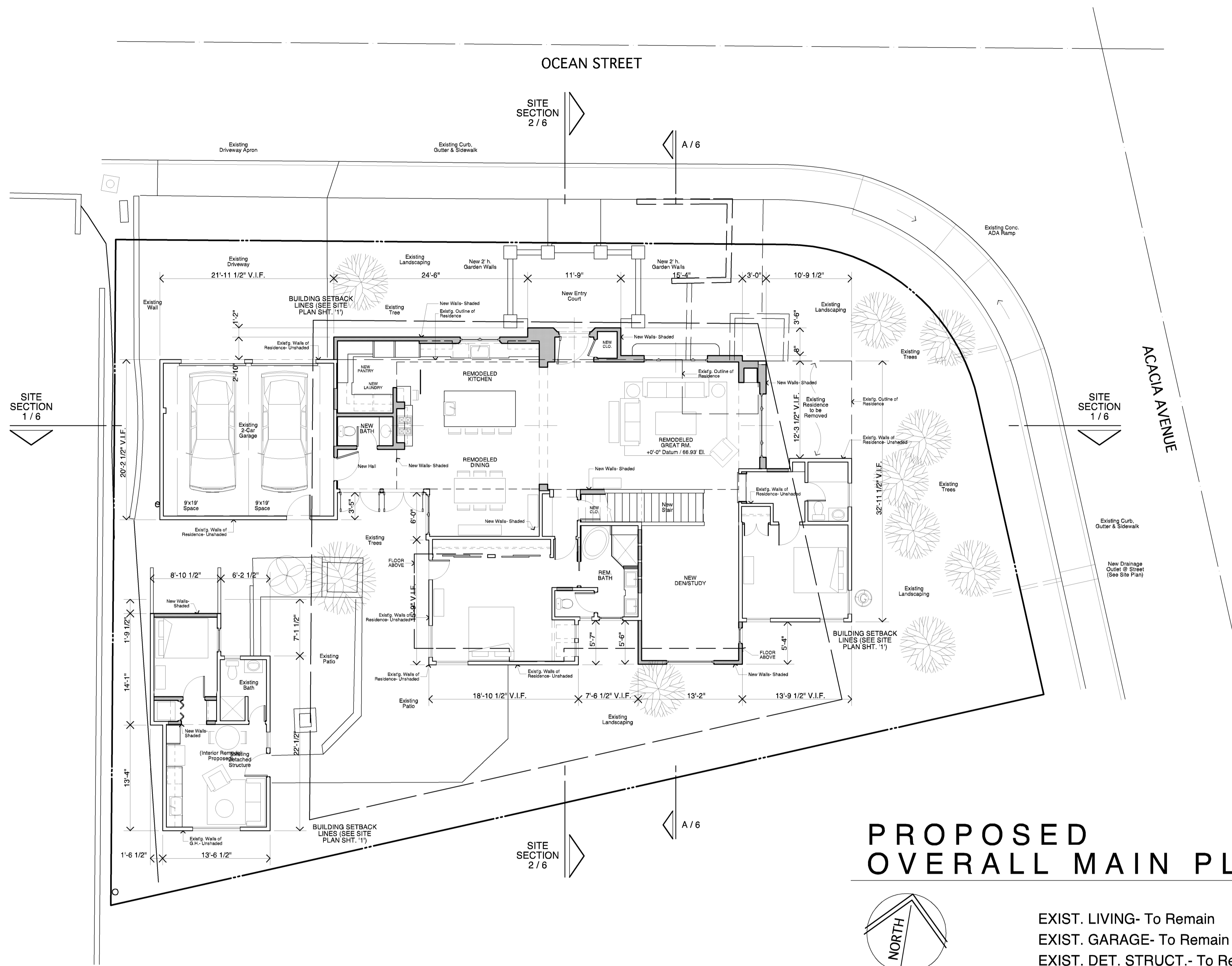
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PREVIOUS &  
PROPOSED VIEWS

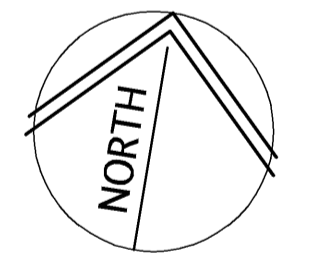
SCALE:

1c



## PROPOSED OVERALL MAIN PLAN

SC: 1/8" = 1'-0"



EXIST. LIVING- To Remain	1722 S.F.
EXIST. GARAGE- To Remain	445 S.F.
EXIST. DET. STRUCT.- To Remain	360 S.F.
PROP. LIVING	+1135 S.F.
PROP. GARAGE	0 S.F.
(GAR. F.A.R. DEDUCTION	-400 S.F.)

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

### WALL LEGEND

	EXISTING WALL
	EXISTING WALL TO BE REMOVED
	PROPOSED WALL

### DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

### SOLANA BEACH FIRE DEPT. STANDARD CONDITIONS

- ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new & existing buildings & at appropriate additional locations as to be plainly visible & legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, & shall meet the following minimum standards as to size: 4" h. with a 1/2" stroke width for residential buildings, 12" h. with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshall, such as rear access doors, building corners, & entrances to commercial centers.
- CLASS 'A' ROOF:** All structures shall be provided with a Class 'A' Roof covering to the satisfaction of the Solana Beach Fire Dept.
- AUTOMATIC FIRE SPRINKLER SYSTEM-ONE & TWO FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed & installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.

# CAROME REMODEL

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SOLANA BEACH CALIF.

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92009  
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**Douglas Fess**  
Principal Architect  
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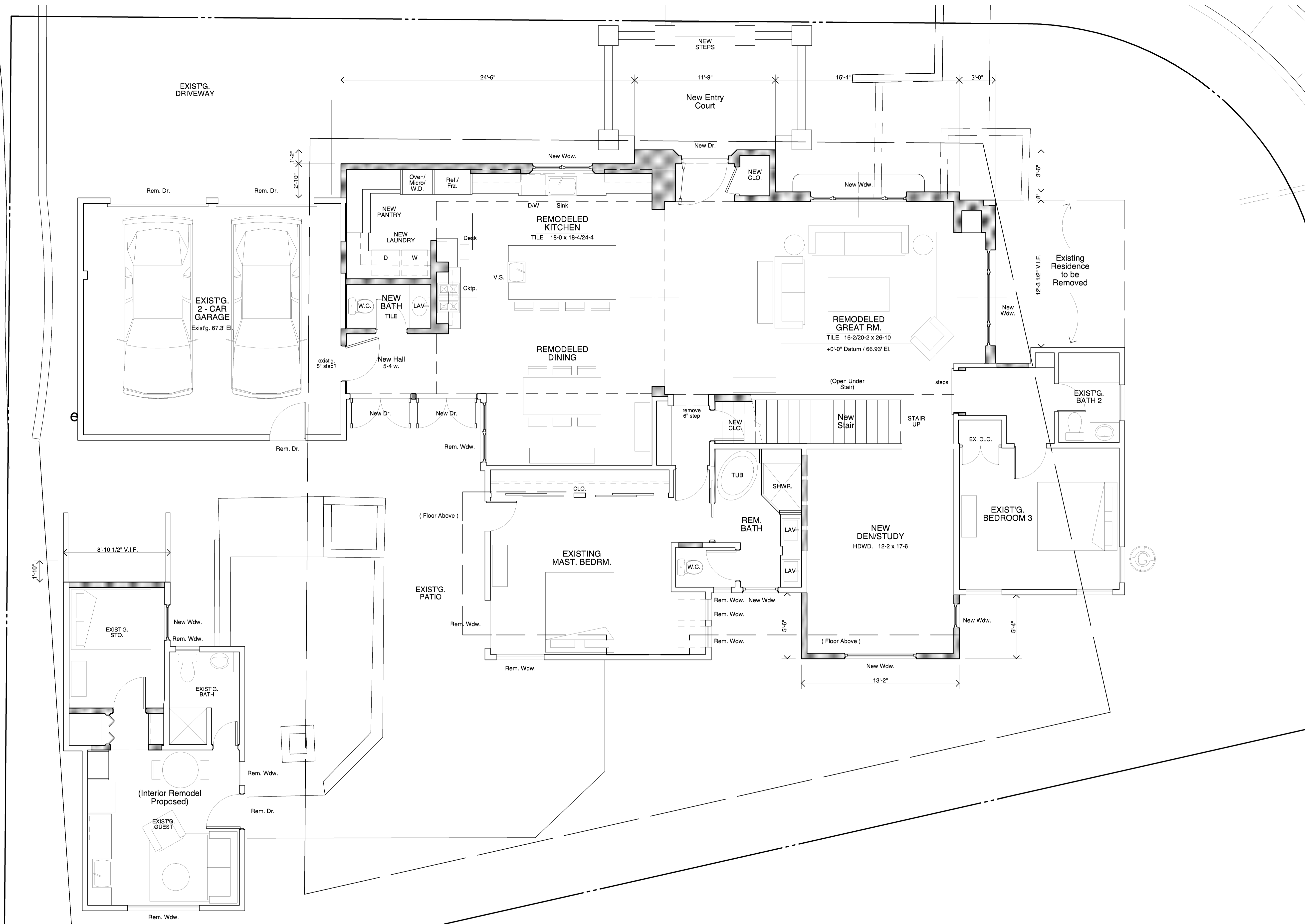
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	16 JULY 20	S.B. PLANG. RESUB'L. 5

## PROPOSED OVERALL MAIN PLAN

SCALE:



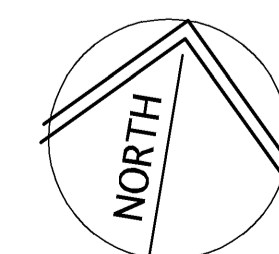


WALL LEGEND	
	EXISTING WALL
	EXISTING WALL TO BE REMOVED
	PROPOSED WALL

**DIMENSIONAL NOTE**  
 ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

## PROPOSED MAIN FLOOR PLAN

SC: 1/4" = 1'-0"



+ 0 DATUM EQUAL TO:  
 66.93' MSL-ELEVATION (@ KITCHEN)

# CAROME REMODEL

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 SOLANA BEACH CALIF.

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 16 JULY '20 S.B. PLANG. RESUB'L. 5

## PROPOSED MAIN FLOOR PLAN

SCALE:




2a

# PROPOSED OVERALL UPPER PLAN

SC: 1/8" = 1'-0"

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

## WALL LEGEND

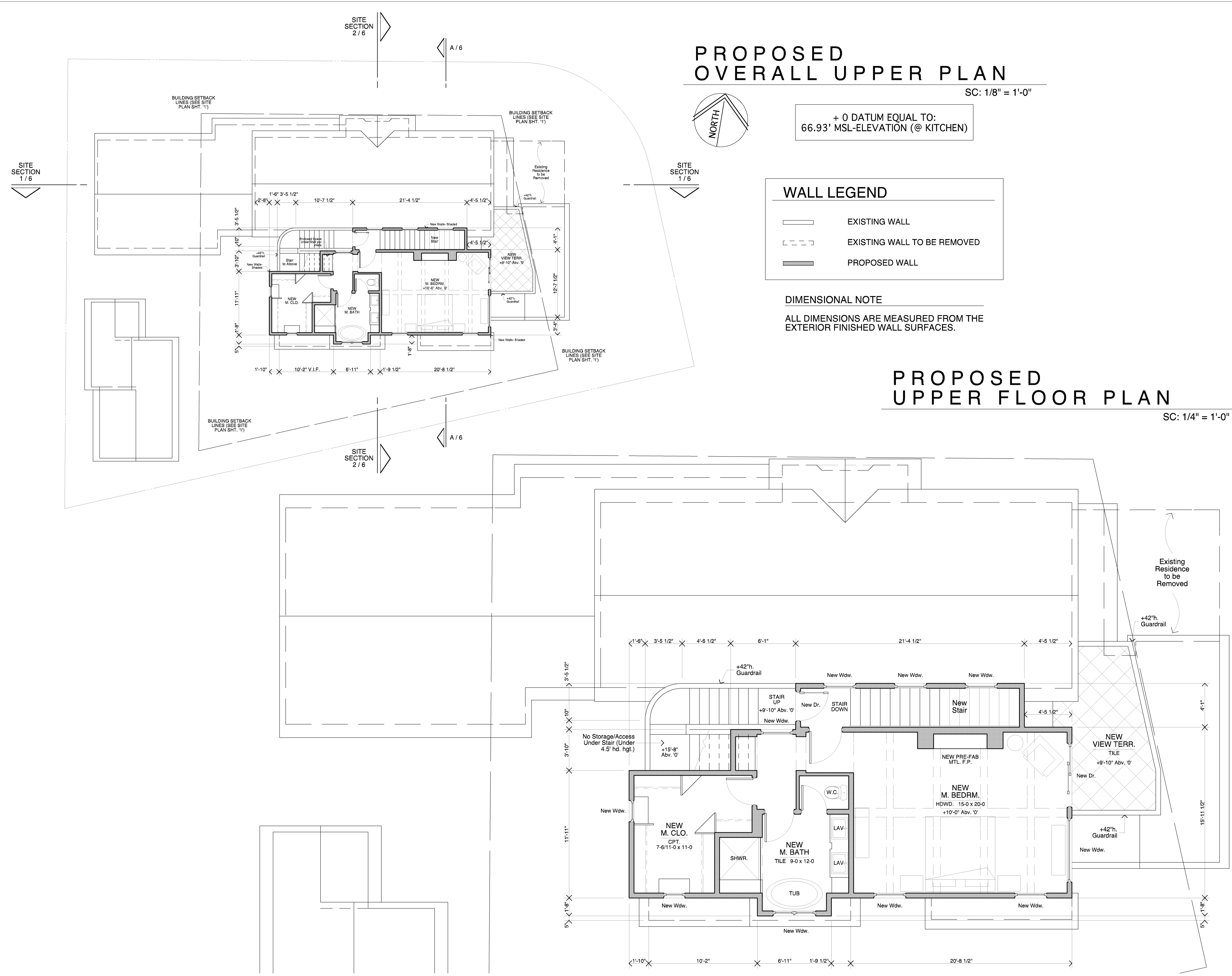
-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  PROPOSED WALL

## DIMENSIONAL NOTE

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# PROPOSED UPPER FLOOR PLAN

SC: 1/4" = 1'-0"



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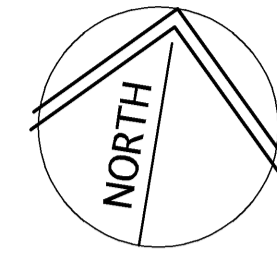
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## PROPOSED OVERALL UPPER PLANS

SCALE:

# PROPOSED OVERALL ROOF PLAN

SC: 1/8" = 1'-0"



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

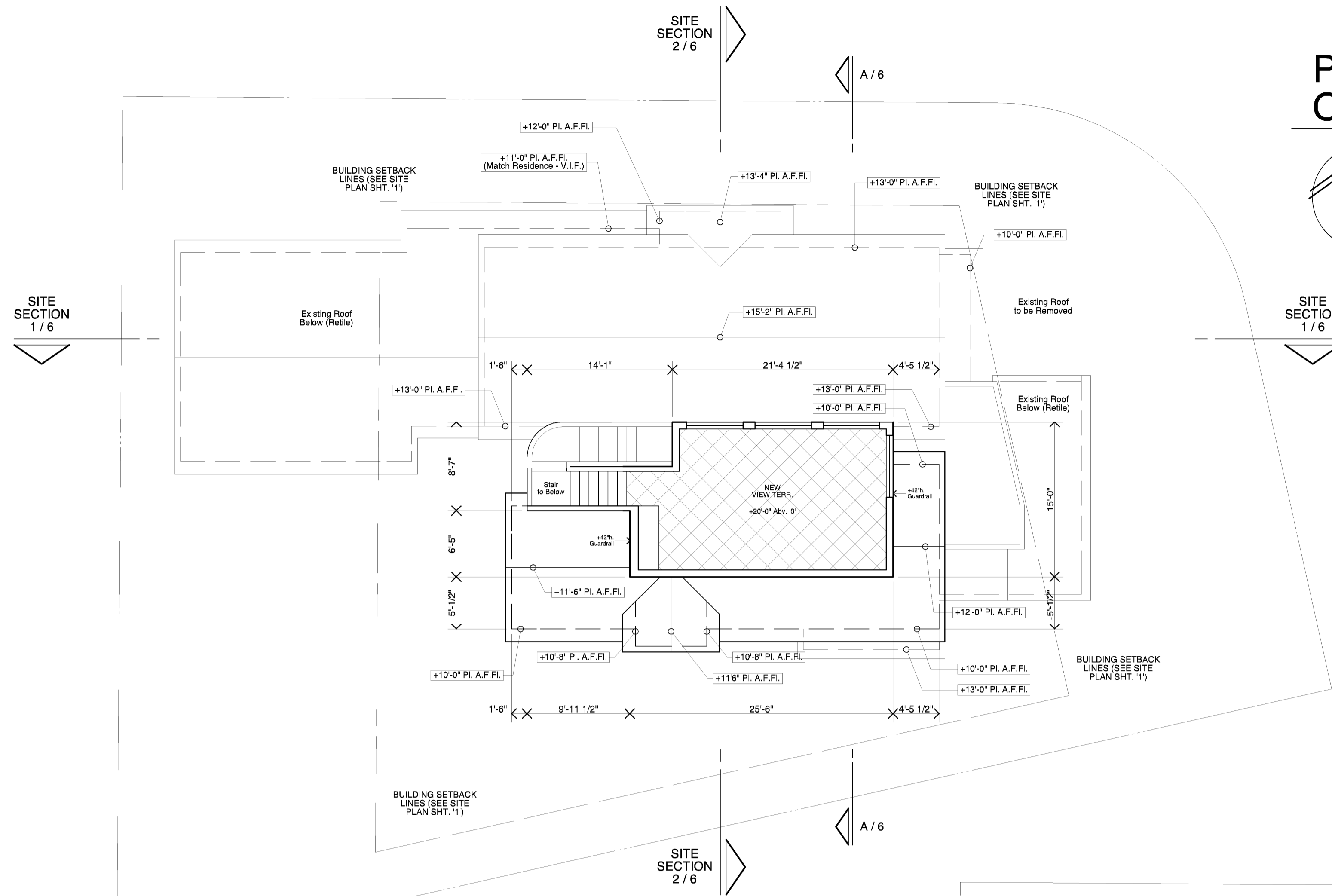
NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

## WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL

# PROPOSED ROOF FLOOR PLAN

SC: 1/4" = 1'-0"

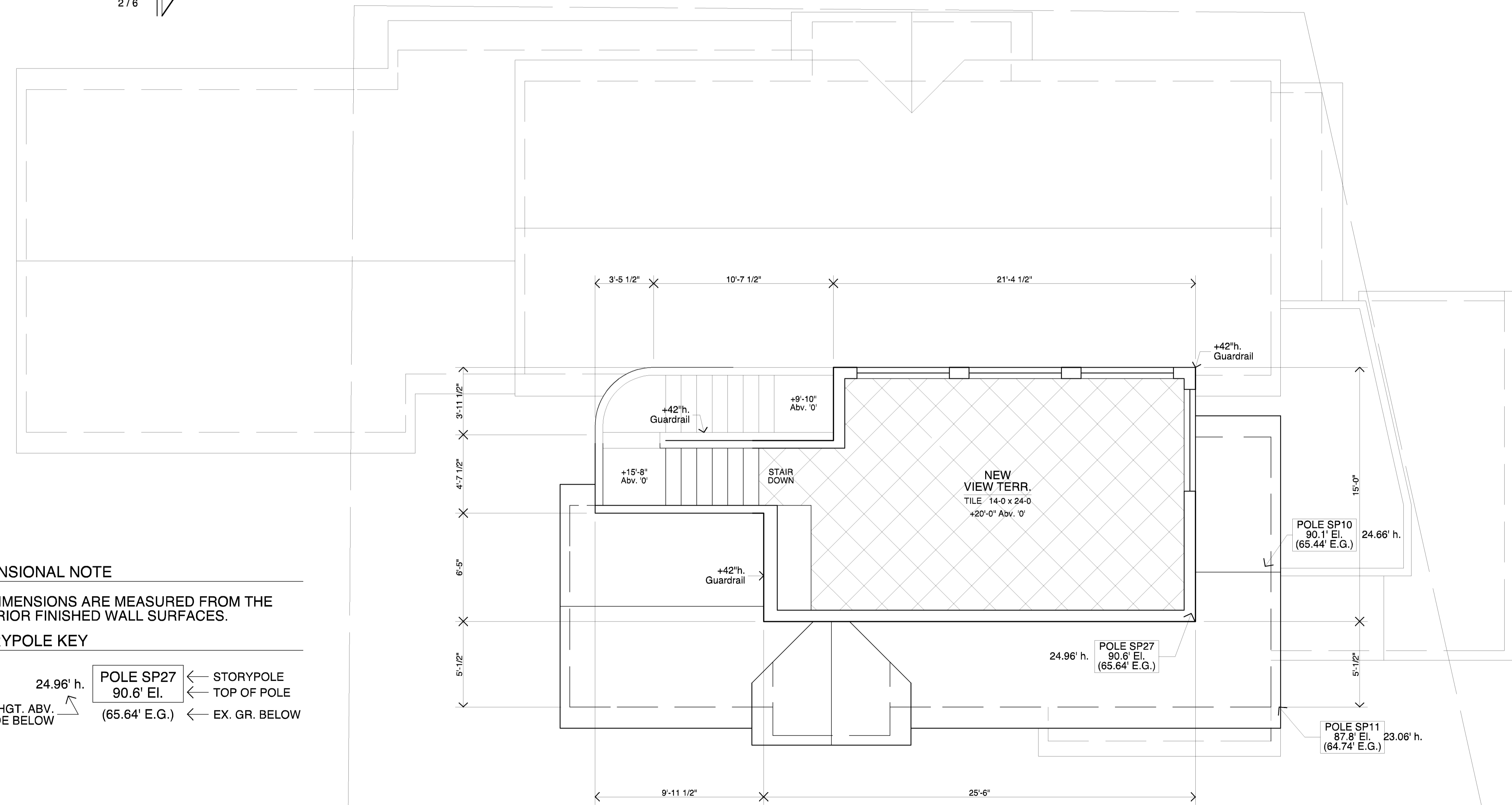


### DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

### STORYPOLE KEY

- 24.96' h. POLE SP27 90.6' El. ← STORYPOLE
- POLE HGT. ABV. GRADE BELOW ← TOP OF POLE
- (65.64' E.G.) ← EX. GR. BELOW



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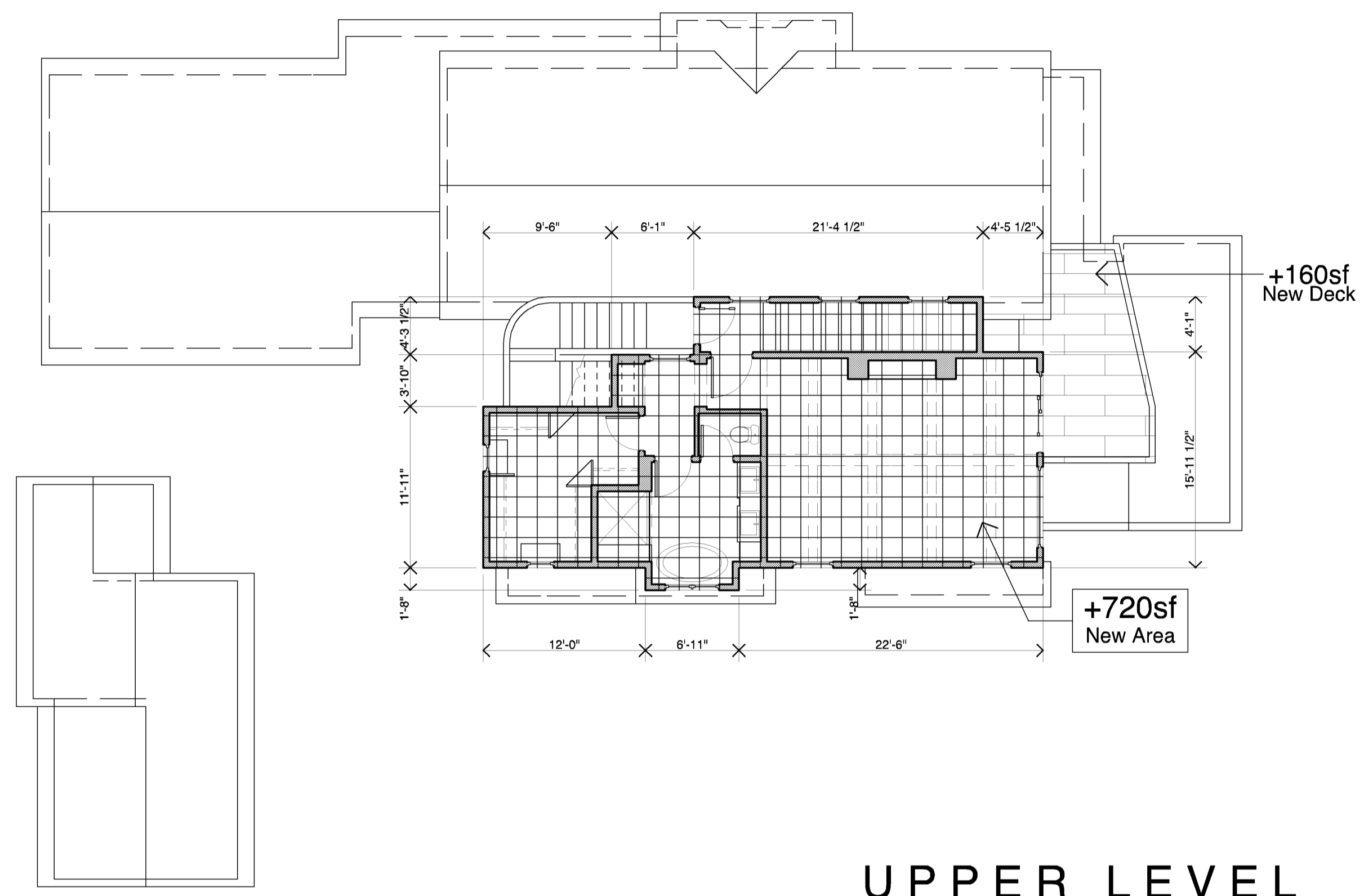


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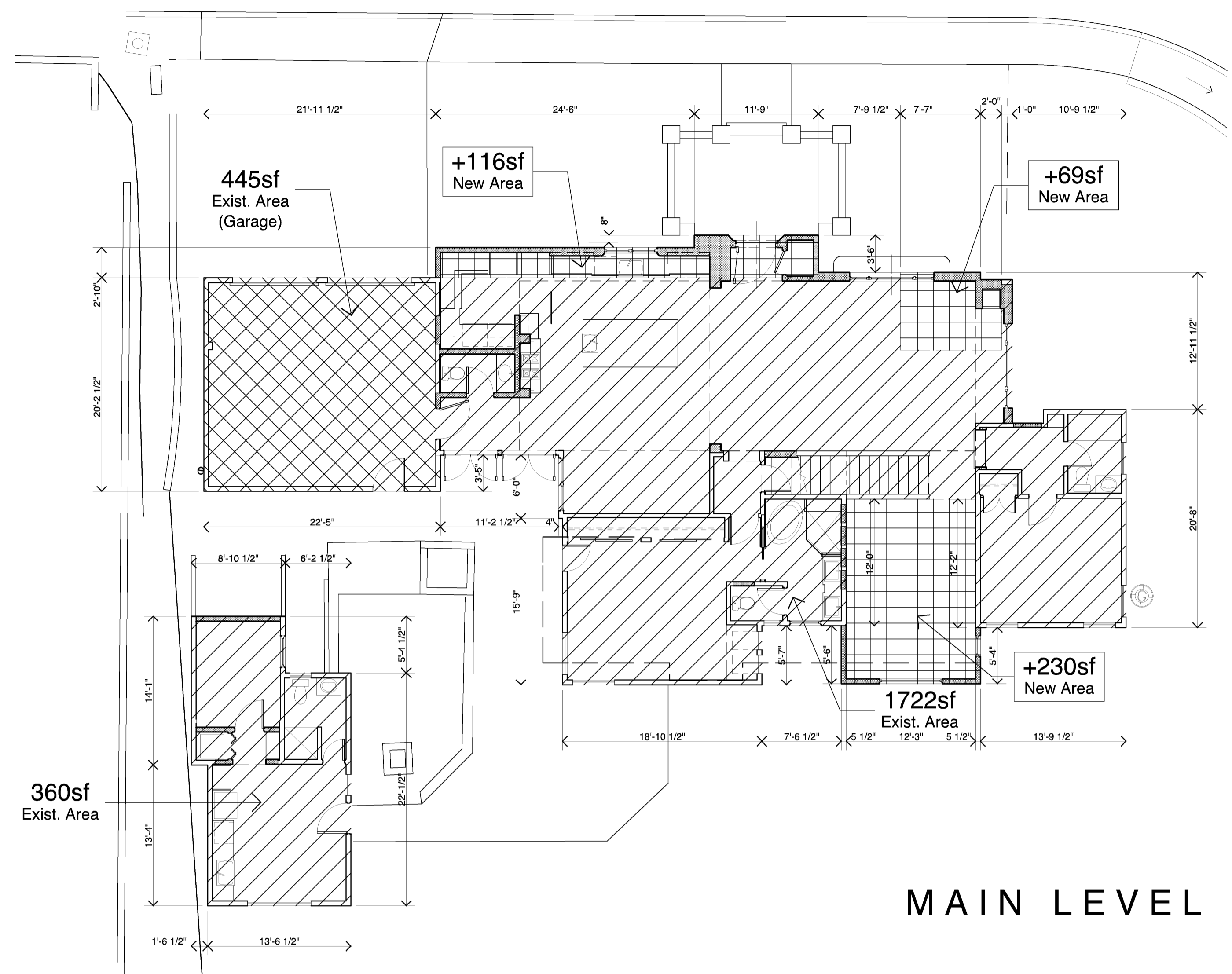
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## PROPOSED OVERALL ROOF PLANS

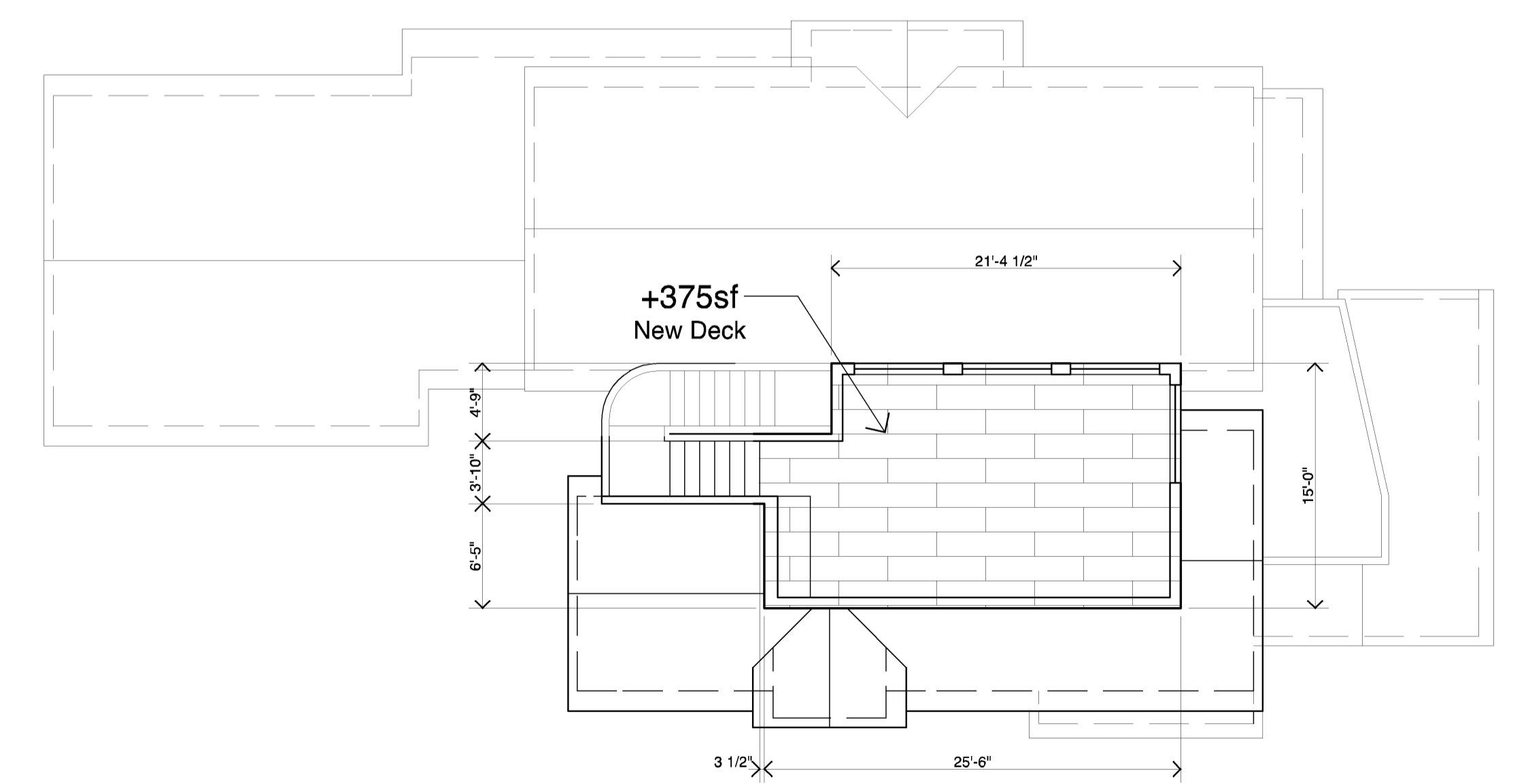
SCALE:



UPPER LEVEL



MAIN LEVEL



ROOF LEVEL

FLOOR AREA RATIO (FAR) CALCULATION

LOT AREA X 0.5 (first 6000sf)	3000 sf
LOT AREA x 0.175 (for 1817sf)	318 sf
<b>TOTAL ALLOW. FLOOR AREA</b>	<b>3318 sf</b>
PROPOSED FLOOR AREA	3262 sf

FLOOR AREA

EXIST. MAIN LEVEL- To Remain:	1722 S.F.
EXIST. UPPER LEVEL- To Remain:	0 S.F.

**TOTAL EXIST. LIVING- To Remain: 1722 S.F.**

EXIST. GARAGE- To Remain:	445 S.F.
EXIST. DET. STRUCT.- To Remain:	360 S.F.

PROP. MAIN LIVING ADD'N.:	+415 S.F.
PROP. UPPER LIVING ADD'N.:	+720 S.F.

**GROSS LIVING ADD'N. AREA: +1002 S.F.**

**GROSS TOTAL LIVING AREA: 3217 S.F.**

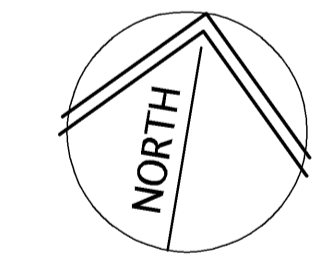
**PROP. GARAGE ADD'N.: +0 S.F.**

**F.A.R. AREA (Gross -400sf Gar.): 3262 S.F.**

**PROP. UNCOV. DECK ADD'N.: +535 S.F.**

PROPOSED FLOOR AREA PLANS

SC: 1/8" = 1'-0"



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL

DIMENSIONAL NOTE

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PROPOSED FLOOR AREA PLANS

SCALE:

4a

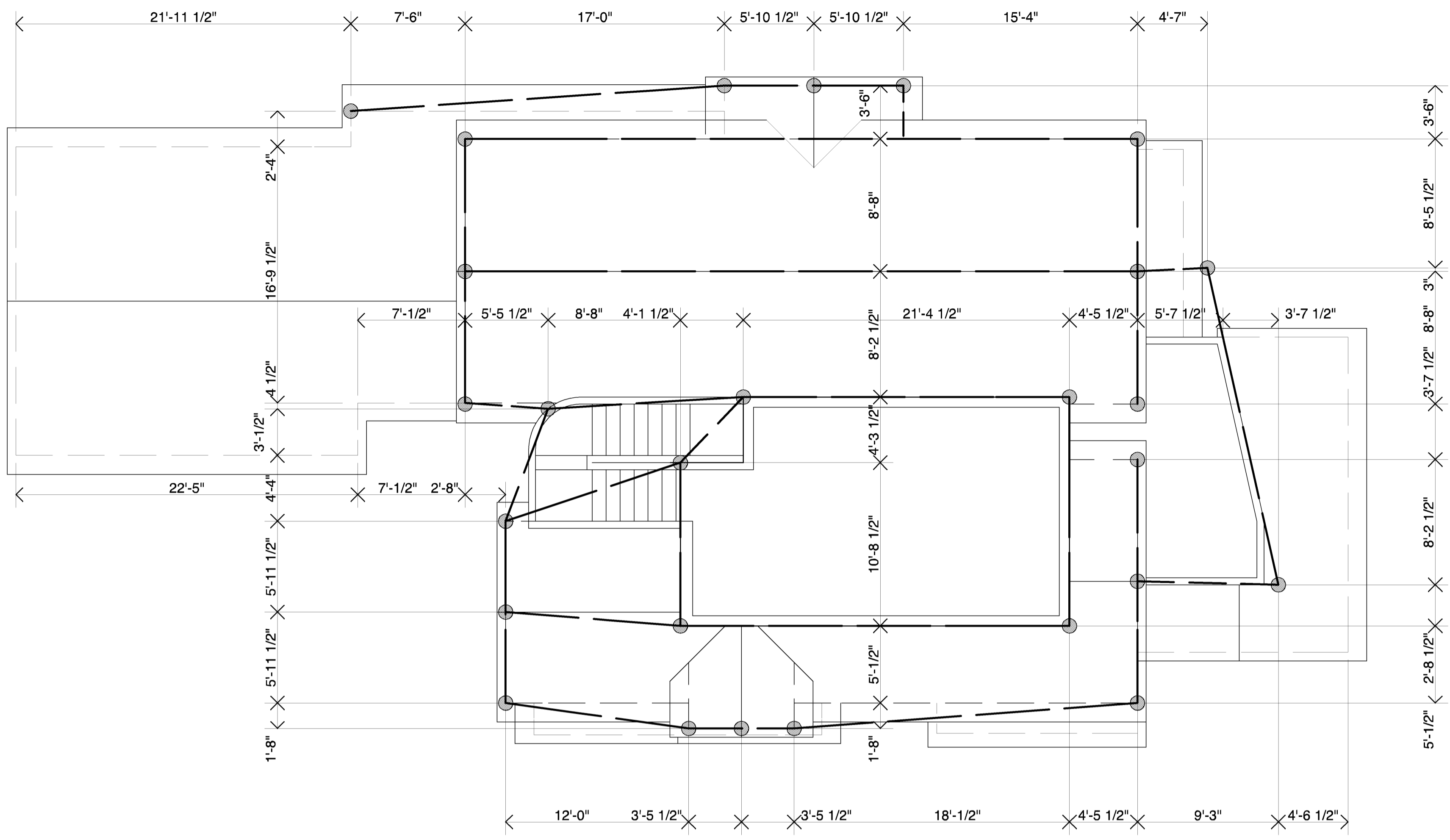


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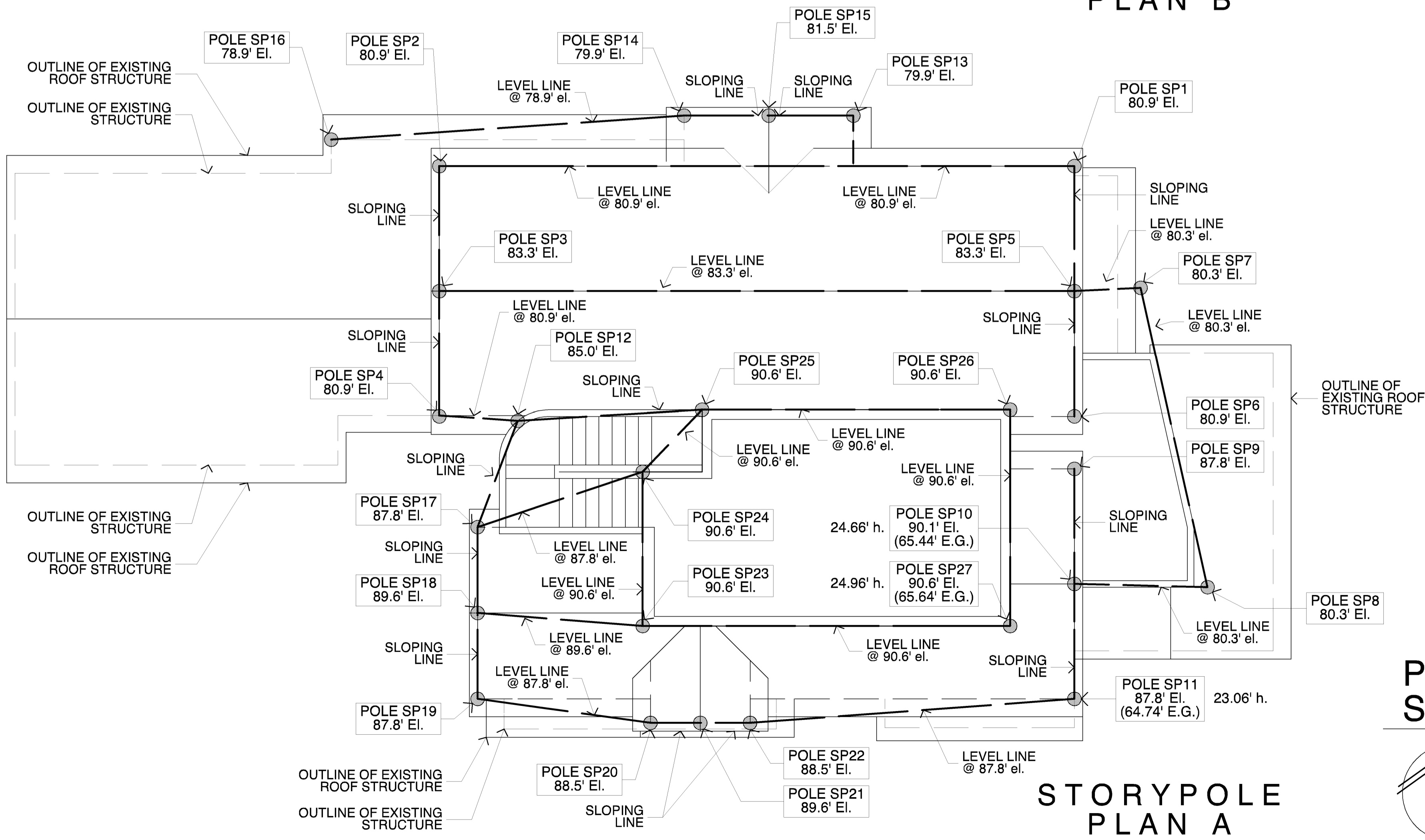
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**STORYPOLE PLANS & DETAILS**

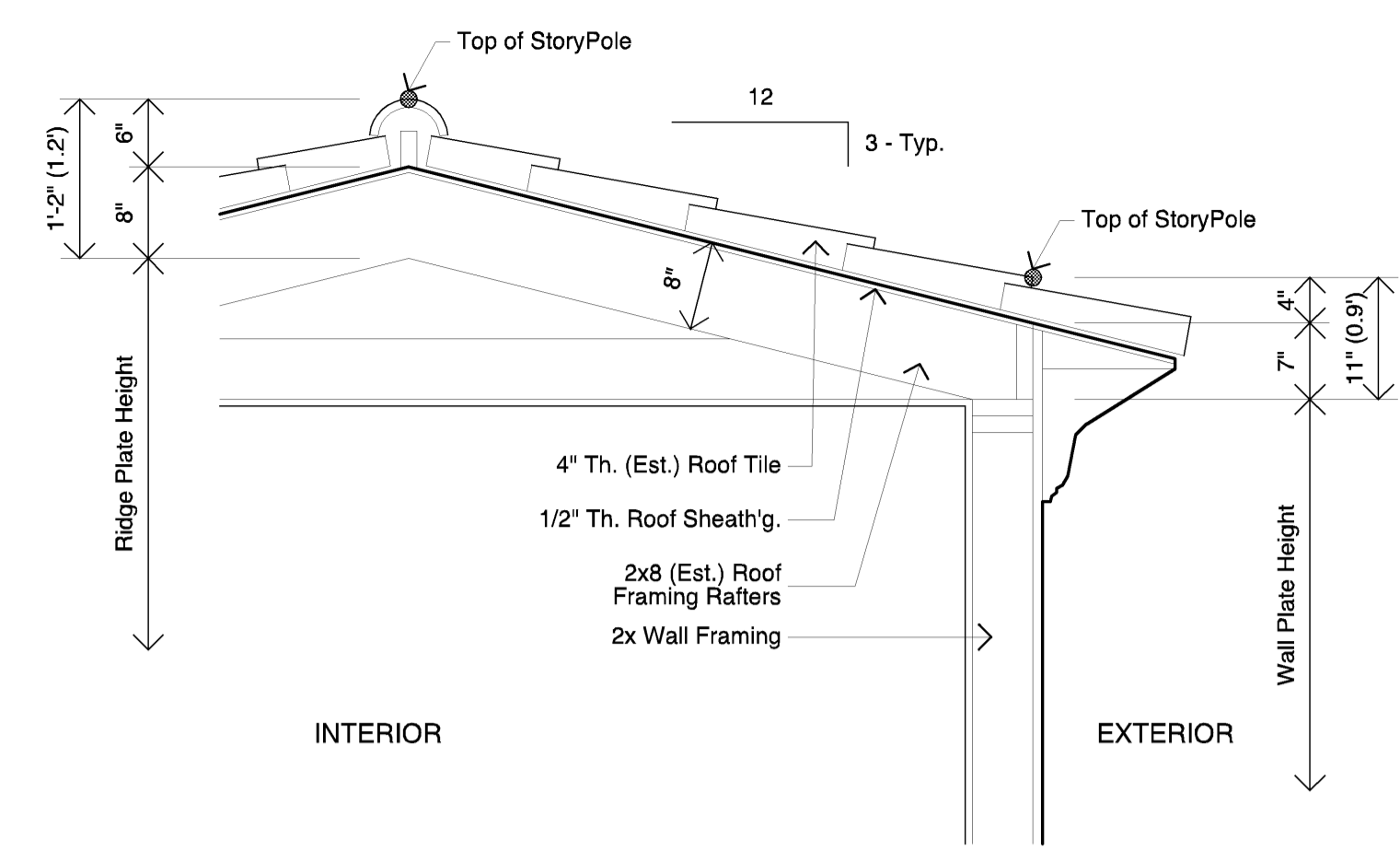
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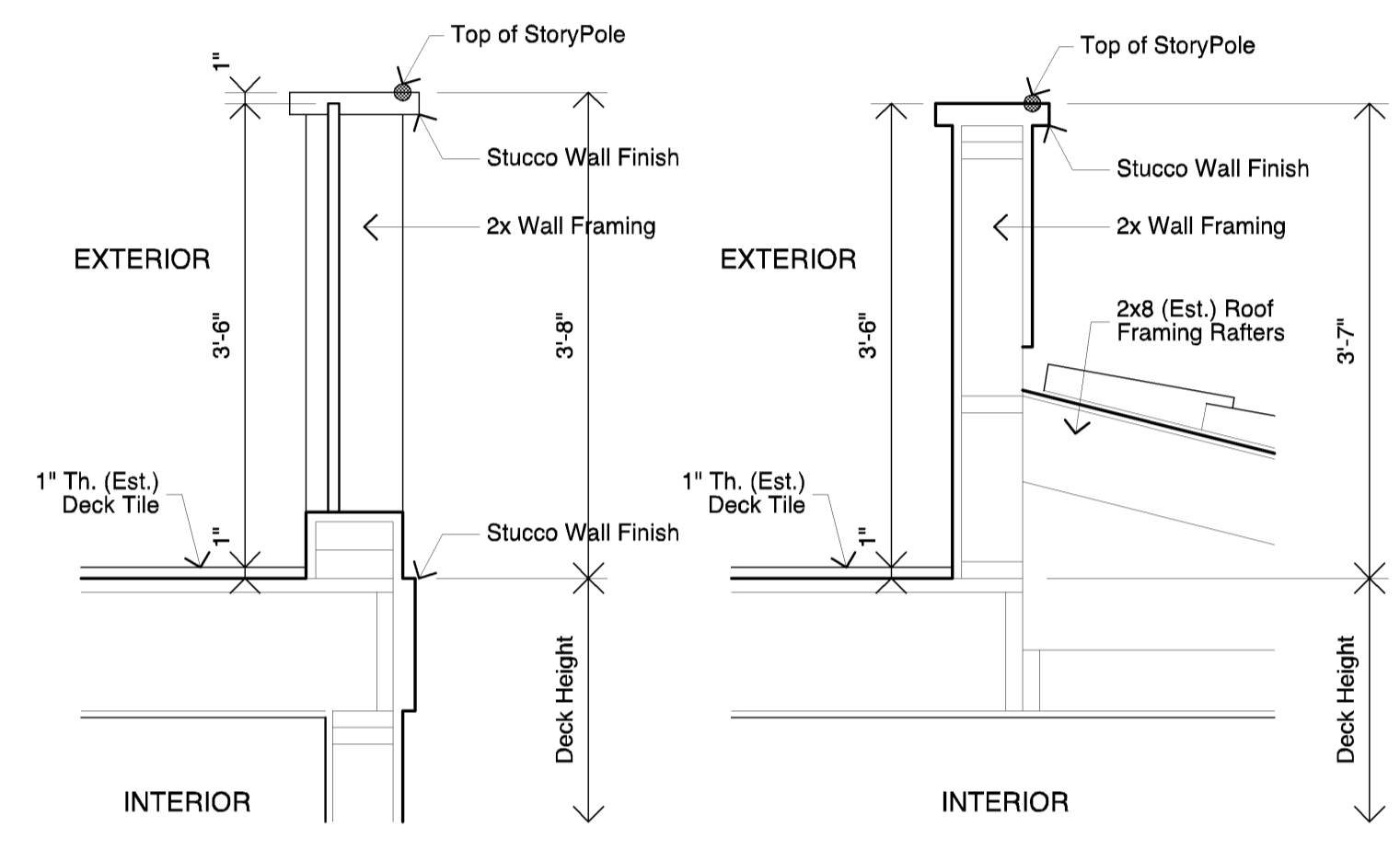
**STORYPOLE PLAN B**



**STORYPOLE PLAN A**



**A STORYPOLES @ SLOPED ROOF**  
 SC: 3/4" = 12"



**B STORYPOLES @ UPPER DECKS**  
 SC: 3/4" = 12"

**STORYPOLE SECTIONS**  
 SC: 3/4" = 1'-0"

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

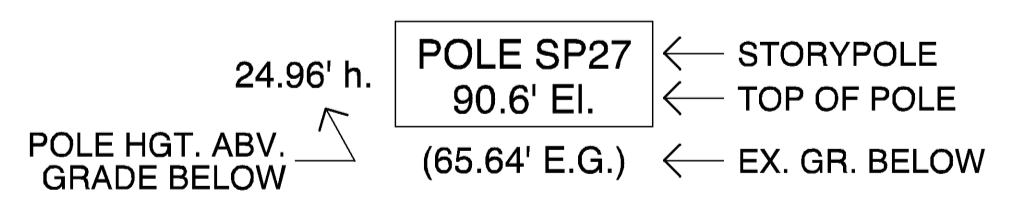
**WALL LEGEND**

	EXISTING WALL
	EXISTING WALL TO BE REMOVED
	PROPOSED WALL

**DIMENSIONAL NOTE**

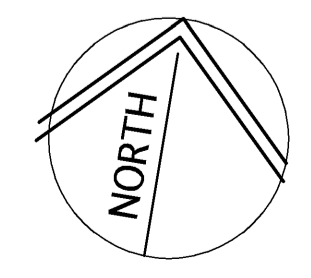
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**STORYPOLE KEY**



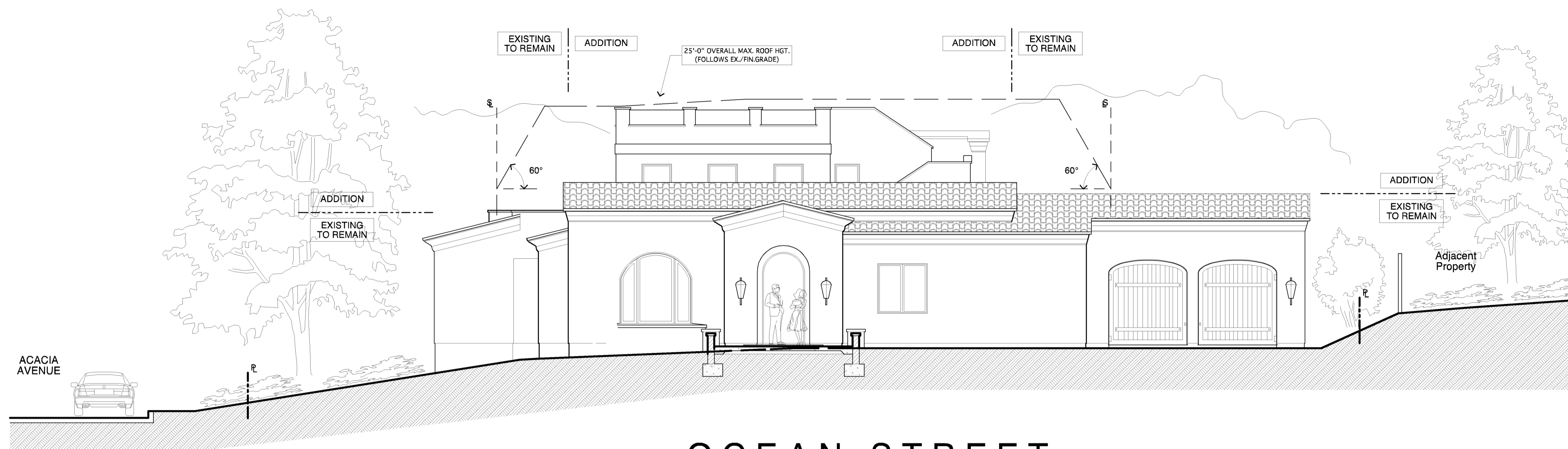
**PROPOSED STORYPOLE PLANS**  
 SC: 3/16" = 1'-0"

+ 0 DATUM EQUAL TO:  
 66.93' MSL-ELEVATION (@ KITCHEN)



**EXTERIOR MATERIALS :**

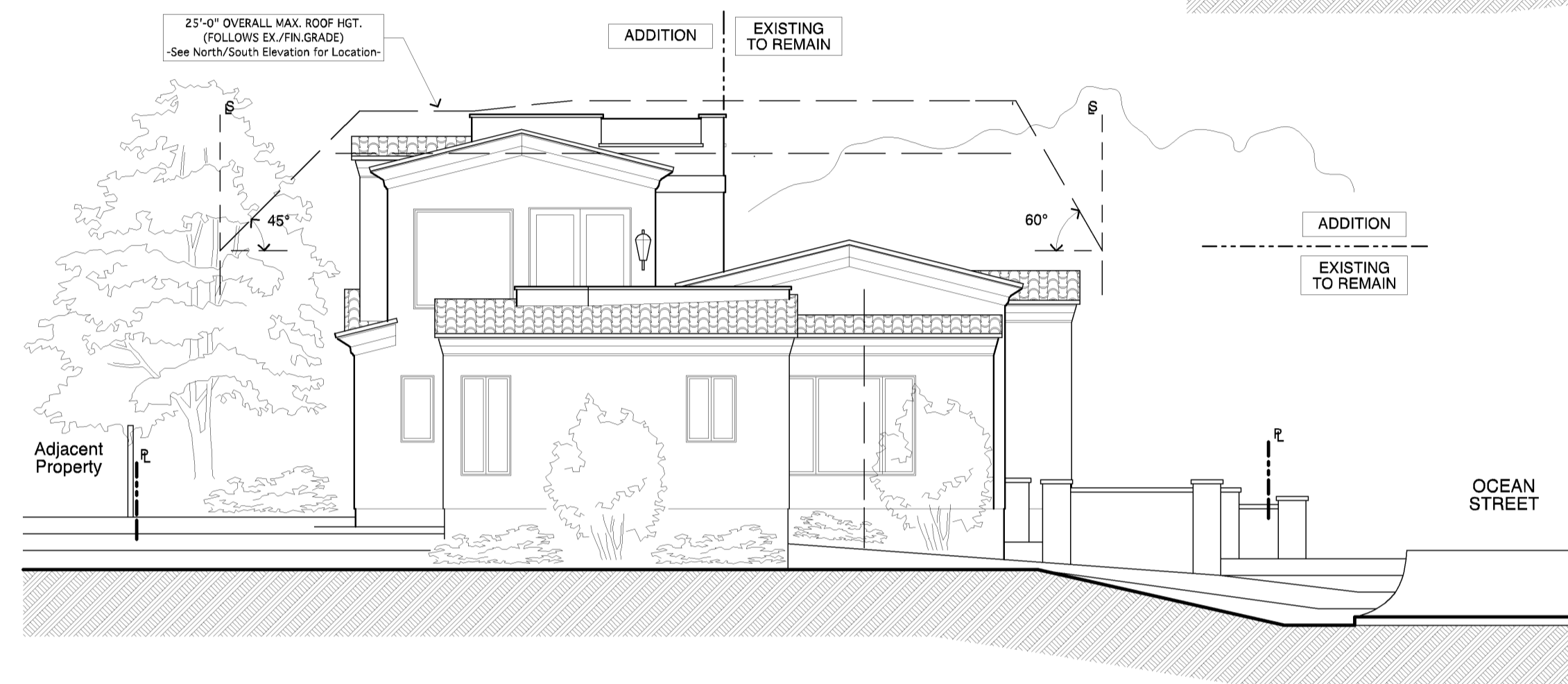
- ROOF - TWO-PIECE CLAY TILE W/BARREL TILE HIPS & RIDGES W/ 25% BOOSTING BY U. S. TILE, 'OLD WORLD' BLEND(ICBO 4300)
- WINDOWS/DOORS - ALUM. CLAD EXTERIOR, STD. D. FIR INTERIOR, WINDOWS & FRENCH DRs. BY 'SOUTHLAND', OR SIM. (DUAL PER SCHEDULE)
- STUCCO WALLS/EAVES - INTEGRAL-COLOR 'SANTA BARBARA' FINISH STUCCO WALL FINISH & TRIM DETAIL AS SHOWN ON ELEVATIONS
- GUTTERS/DWNSPTS. - PTD. MTL. HALF-ROUND GUTTERS W/ PTD. MTL. DOWNSPOUTS TO TIE TO SUBSURFACE DRAINAGE LINES
- TRELLIS - STAINED D. FIR WOOD TRELLIS/BEAMS W/ SANDBLASTED FINISH AS SHOWN ON ELEVATIONS
- CHIMNEYS - STUCCO FINISH (MATCH RESIDENCE) W/CLAY TILE ROOFS AS SHOWN ON ELEV'NS(PROVIDE SPARK ARRESTORS PER CODE)
- WINDOW SILLS - STUCCO-SHAPED DEEPENED SILLS W/STUCCO LEDGE- TYP.
- GARAGE DOORS - STD. WD. FINISH 4-PIECE SECTIONAL GARAGE DOOR(S) W/PTD. WROUGHT IRON HARDWARE (PER ELEV'S.)
- EXTERIOR DOORS - STAINED D. FIR RECESSED PANEL EXTERIOR DOOR(S) W/ WROUGHT IRON HARDWARE AS SHOWN ON ELEVATIONS



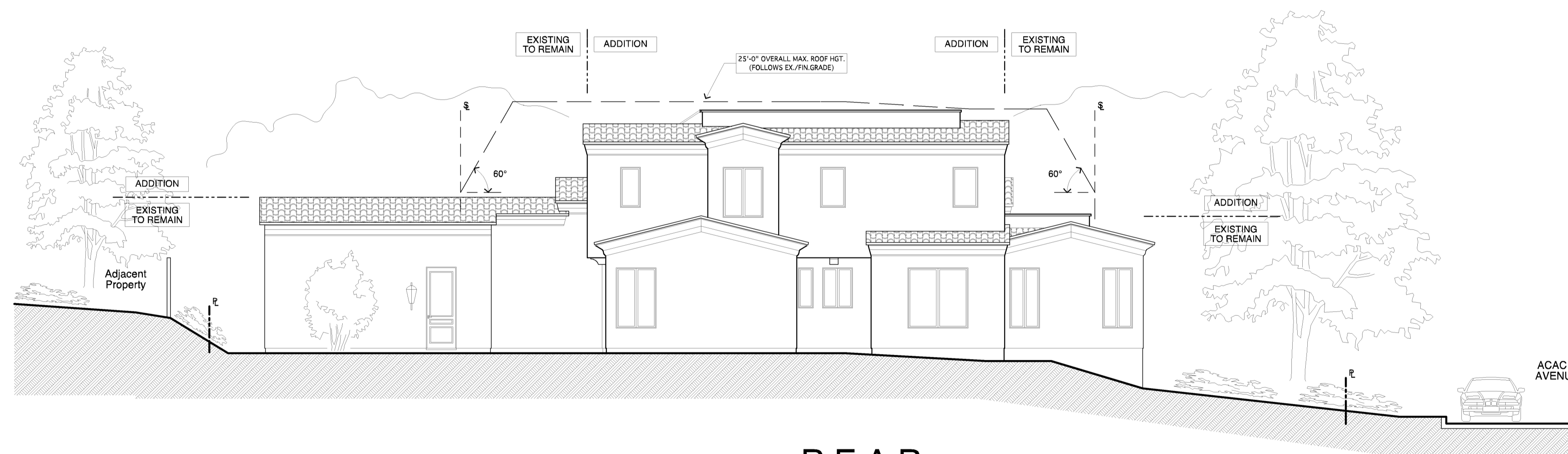
**OCEAN STREET  
NORTH VIEW**

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)



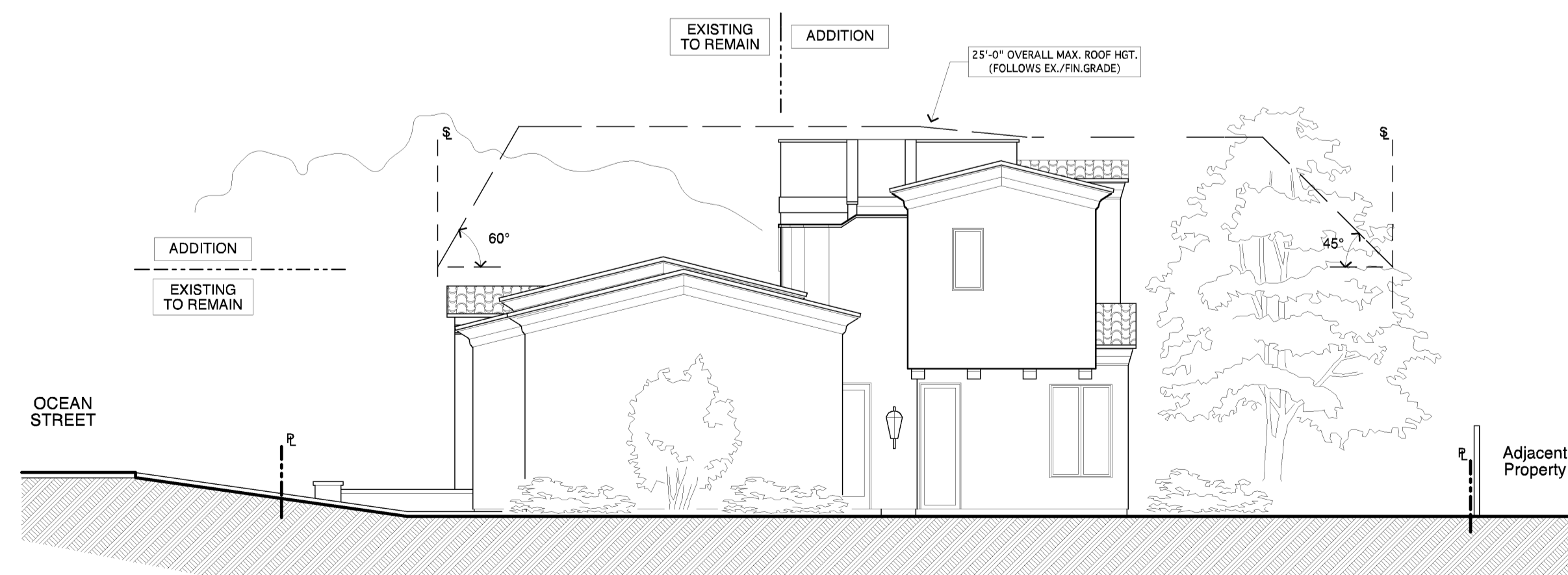
**ACACIA AVENUE  
EAST VIEW**



**REAR  
SOUTH VIEW**

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.



**RIGHT SIDE  
WEST VIEW**

**DESIGN ELEVATIONS**

SC: 1/8" = 1'-0"

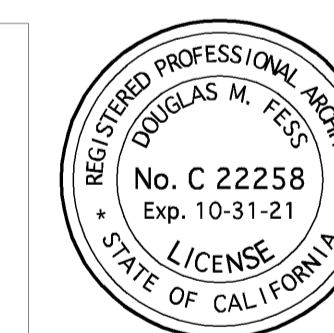
**CAROME REMODEL**  
201 OCEAN STREET  
SOLANA BEACH CALIF.

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architects**

2456 La Costa Avenue  
Carlsbad, Calif.  
92009  
Tel: 760.496.8101  
Fax: 760.635.3618

**Douglas Fess**  
Principal Architect

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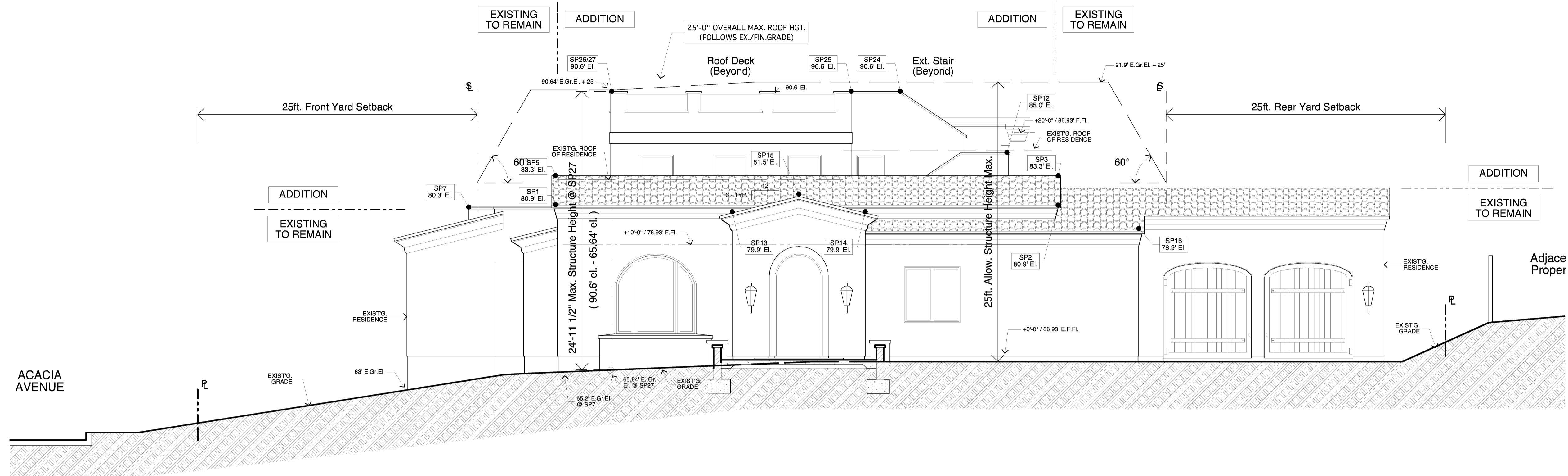


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10 DEC. '19 S.B. PLANG. RESUB'L. 4  
16 JULY 20 S.B. PLANG. RESUB'L. 5

**DESIGN  
ELEVATIONS**

SCALE:



OCEAN STREET  
NORTH VIEW

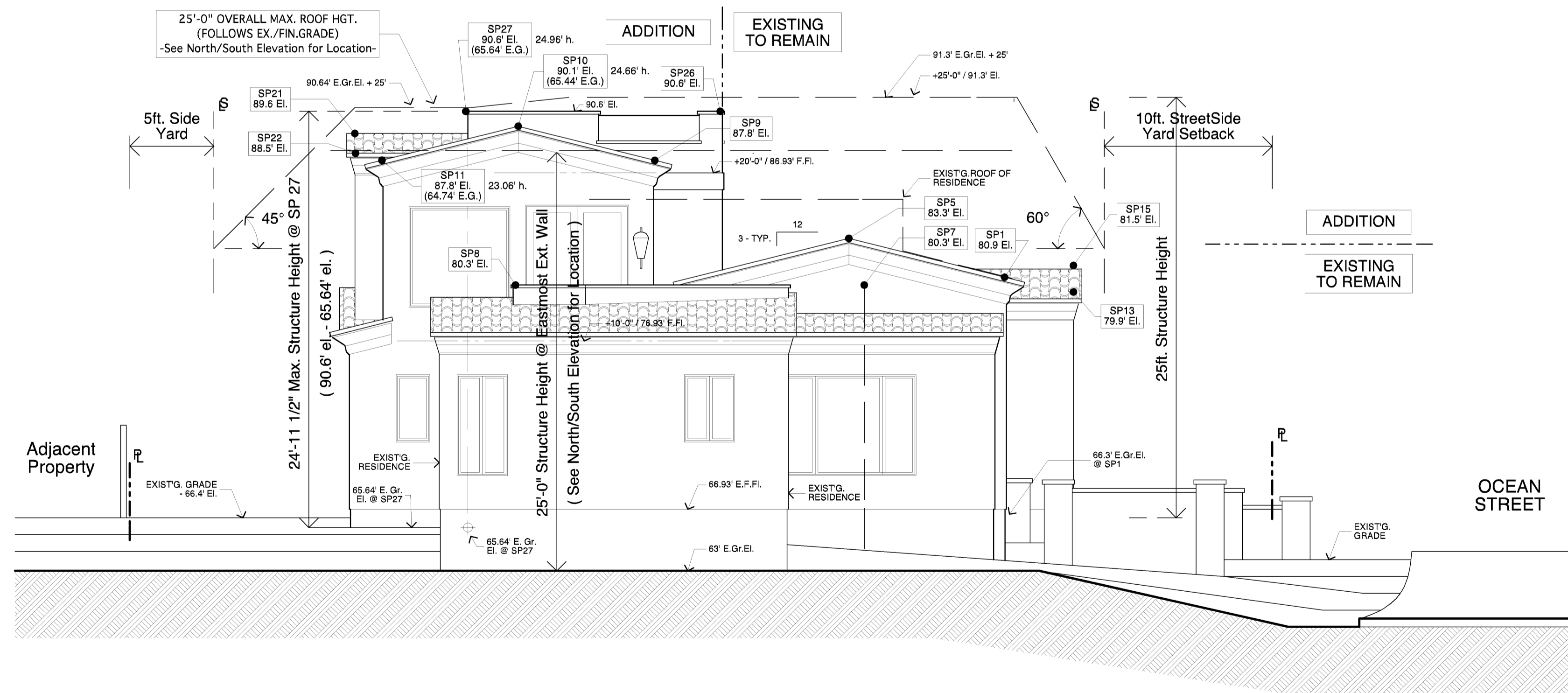
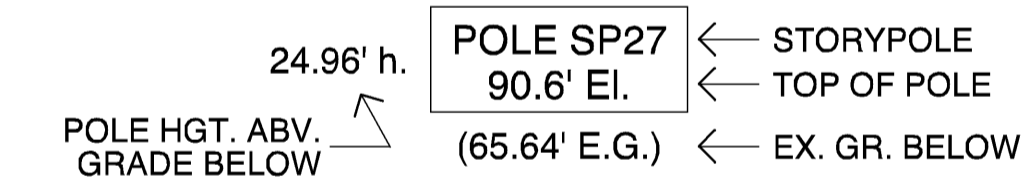
+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

STORYPOLE KEY



ACACIA AVENUE  
EAST VIEW

EXTERIOR MATERIALS :

- ROOF - TWO-PIECE CLAY TILE W/BARREL TILE HIPS & RIDGES W/ 25% BOOSTING BY U. S. TILE, 'OLD WORLD' BLEND(ICBO 4300)
- WINDOWS/DOORS - ALUM. CLAD EXTERIOR/STD. D. FIR INTERIOR, WINDOWS & FRENCH DRs. BY 'SOUTHLAND', OR SIM. (DUAL PER SCHEDULE)
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- EXTERIOR DOORS - STAINED D. FIR RECESSED PANEL EXTERIOR DOOR(S) W/ WROUGHT IRON HARDWARE AS SHOWN ON ELEVATIONS

PROPOSED ELEVATIONS

SC: 3/16" = 1'-0"

CAROME REMODEL

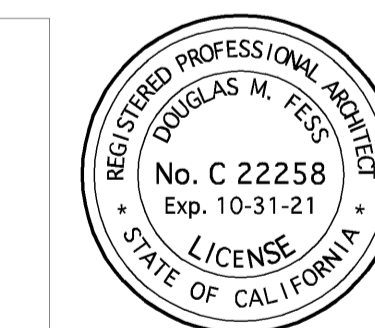
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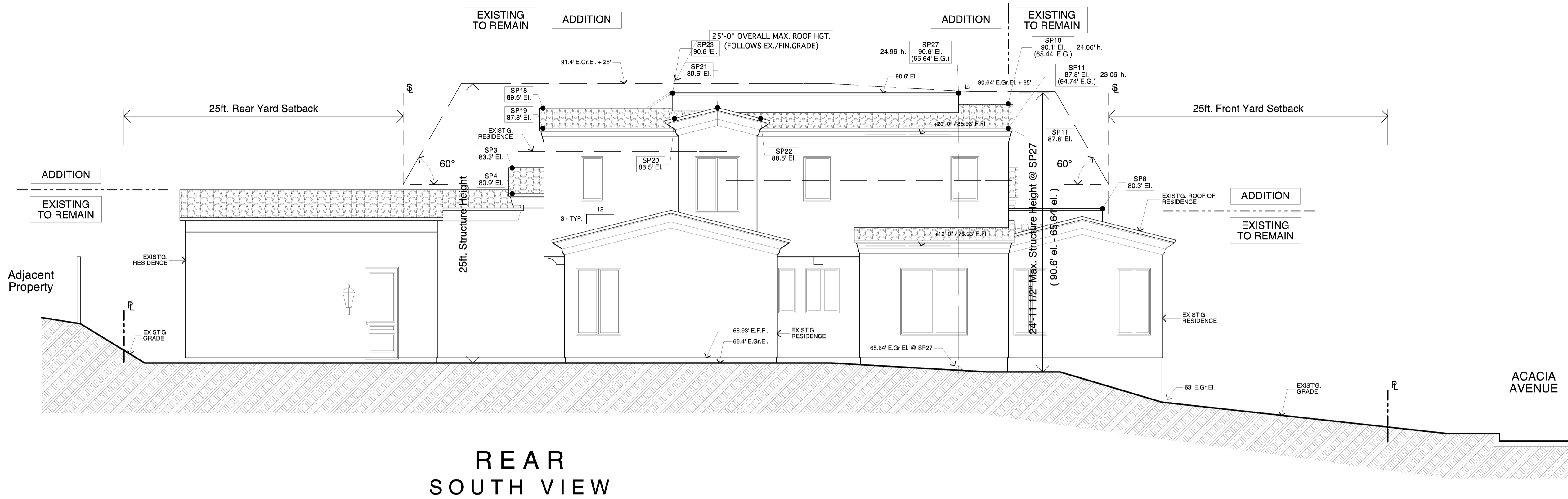
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16 JULY 20 S.B. PLANG. RESUB'L. 5

PROPOSED  
ELEVATIONS 1

SCALE:

5a



REAR SOUTH VIEW

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**DIMENSIONAL NOTE**

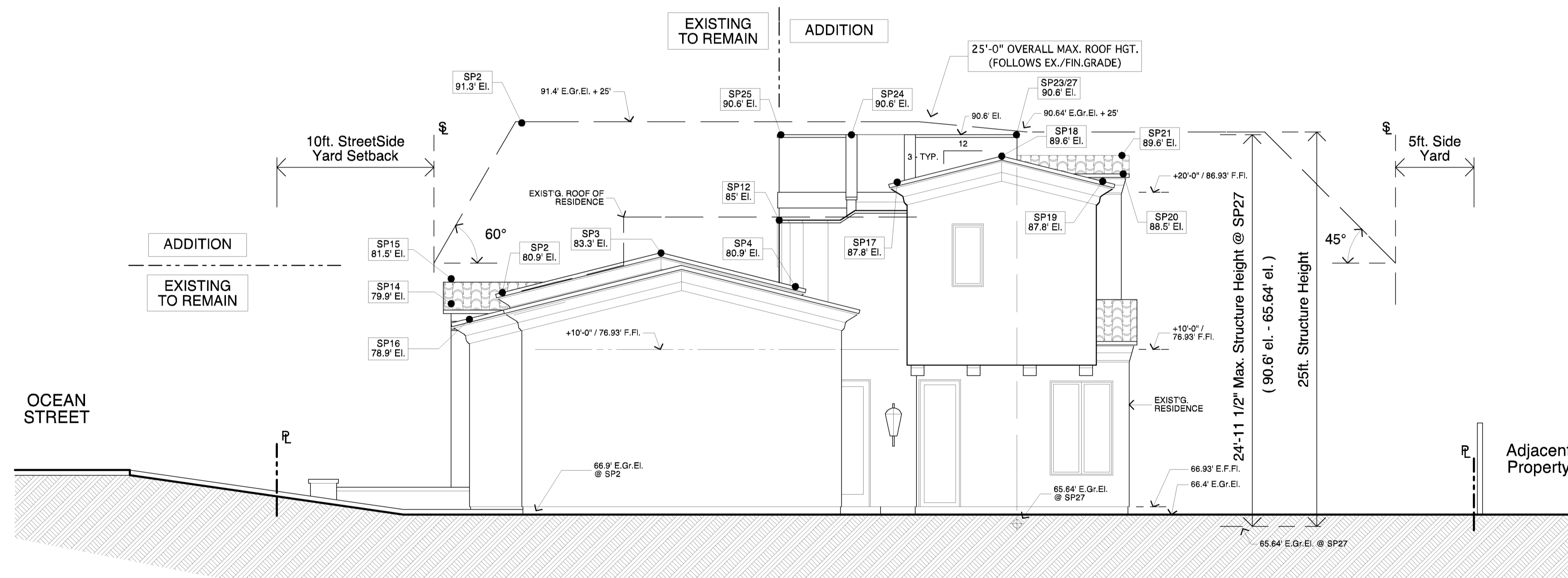
ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

**STORYPOLE KEY**

24.96' h. POLE SP27 ← STORYPOLE  
90.6' EL. ← TOP OF POLE  
65.64' E.G. ← EX. GR. BELOW

**EXTERIOR MATERIALS :**

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- EXTERIOR DOORS - STAINED D. FIR RECESSED PANEL EXTERIOR DOOR(S) W/ WROUGHT IRON HARDWARE AS SHOWN ON ELEVATIONS



RIGHT SIDE WEST VIEW

PROPOSED ELEVATIONS

SC: 3/16" = 1'-0"

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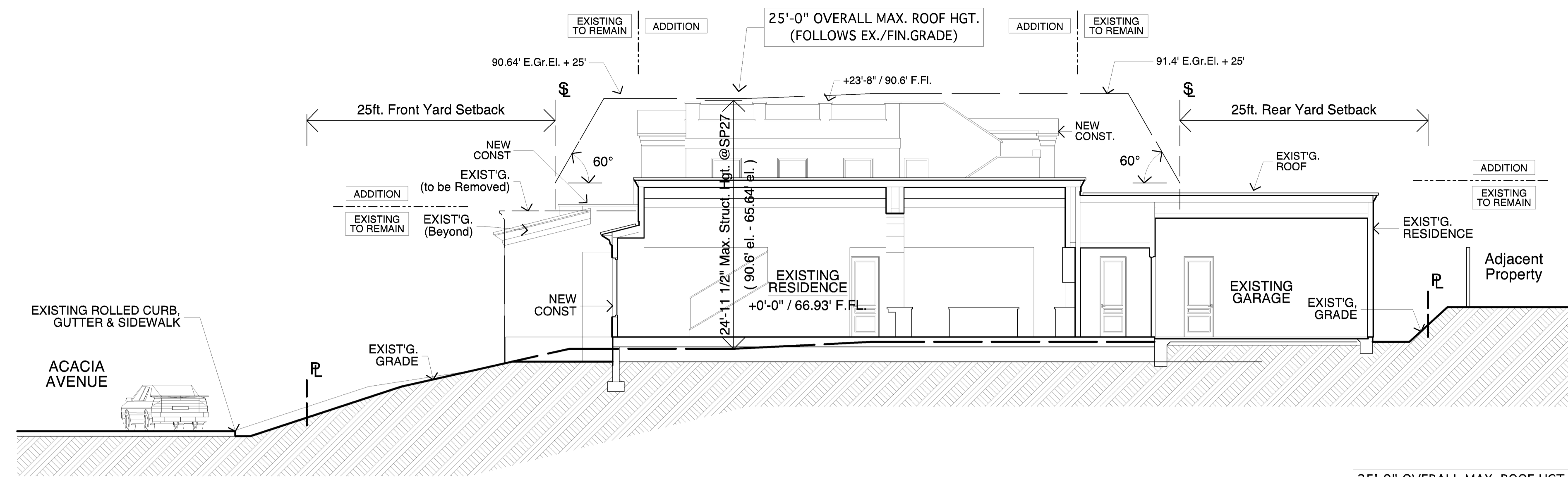
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16 JULY 20 S.B. PLAN'G. RESUB'L. 5

PROPOSED  
ELEVATIONS 2

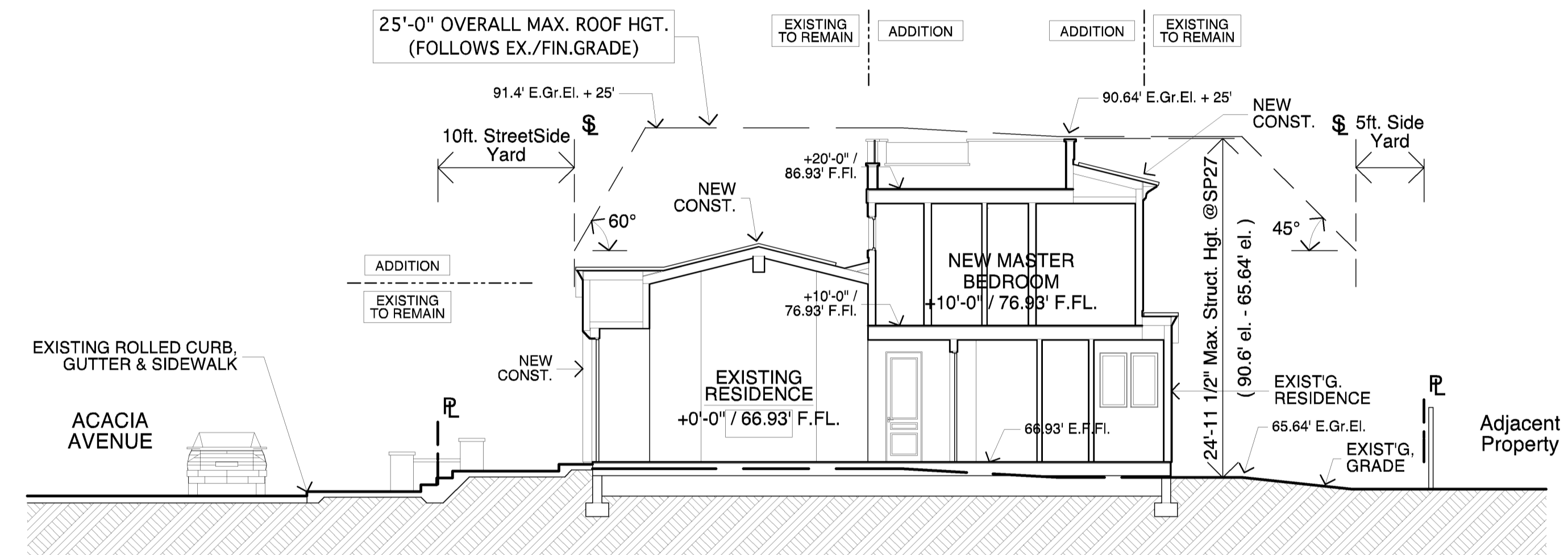
SCALE:

5b





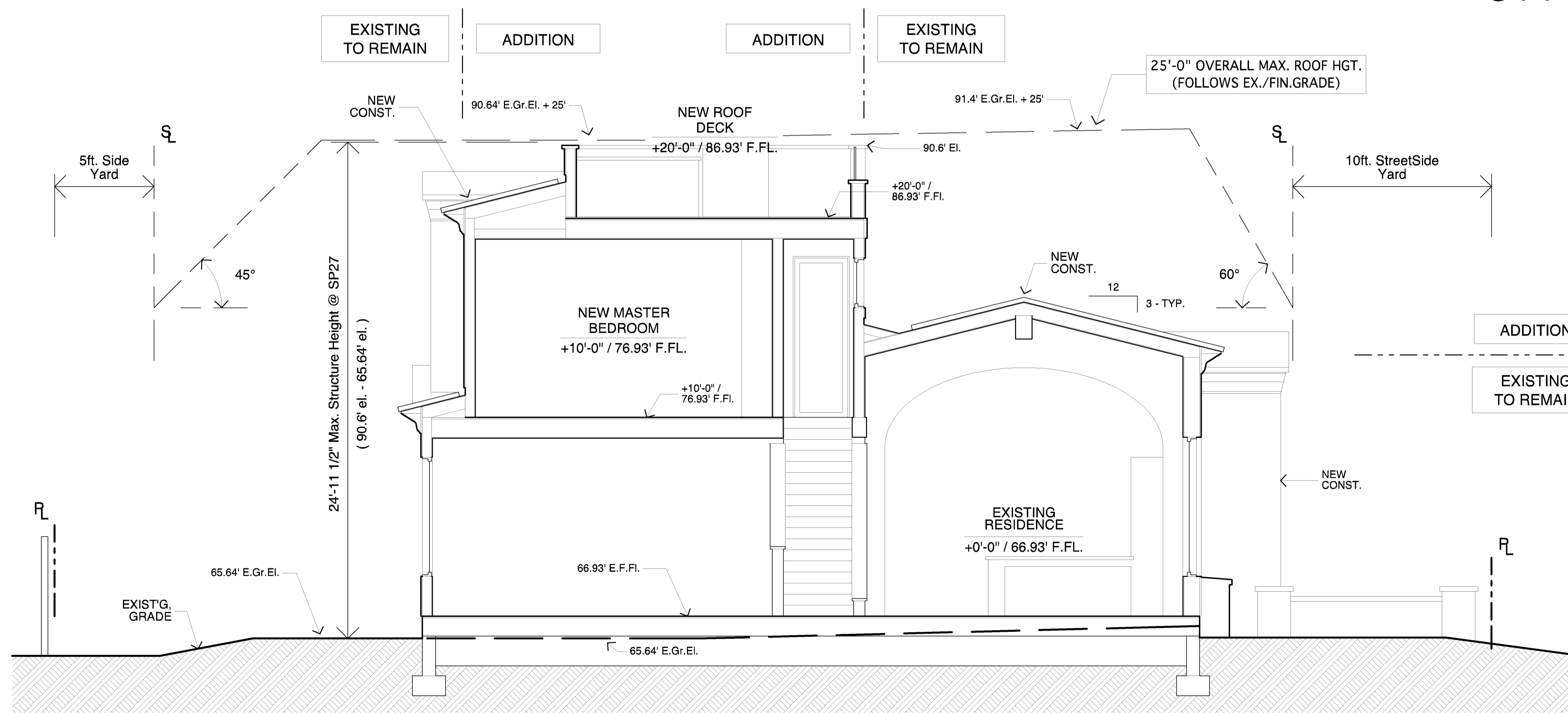
SITE SECTION 1



SITE SECTION 2

SITE SECTIONS

SC: 1/8" = 1'-0"



SECTION A

BUILDING SECTION

SC: 1/4" = 1'-0"

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

STORYPOLE KEY

- 24.96' h. POLE SP27 ← STORYPOLE
- POLE HGT. ABV. 90.6' EI. ← TOP OF POLE
- GRADE BELOW (65.64' E.G.) ← EX. GR. BELOW

**CAROME REMODEL**  
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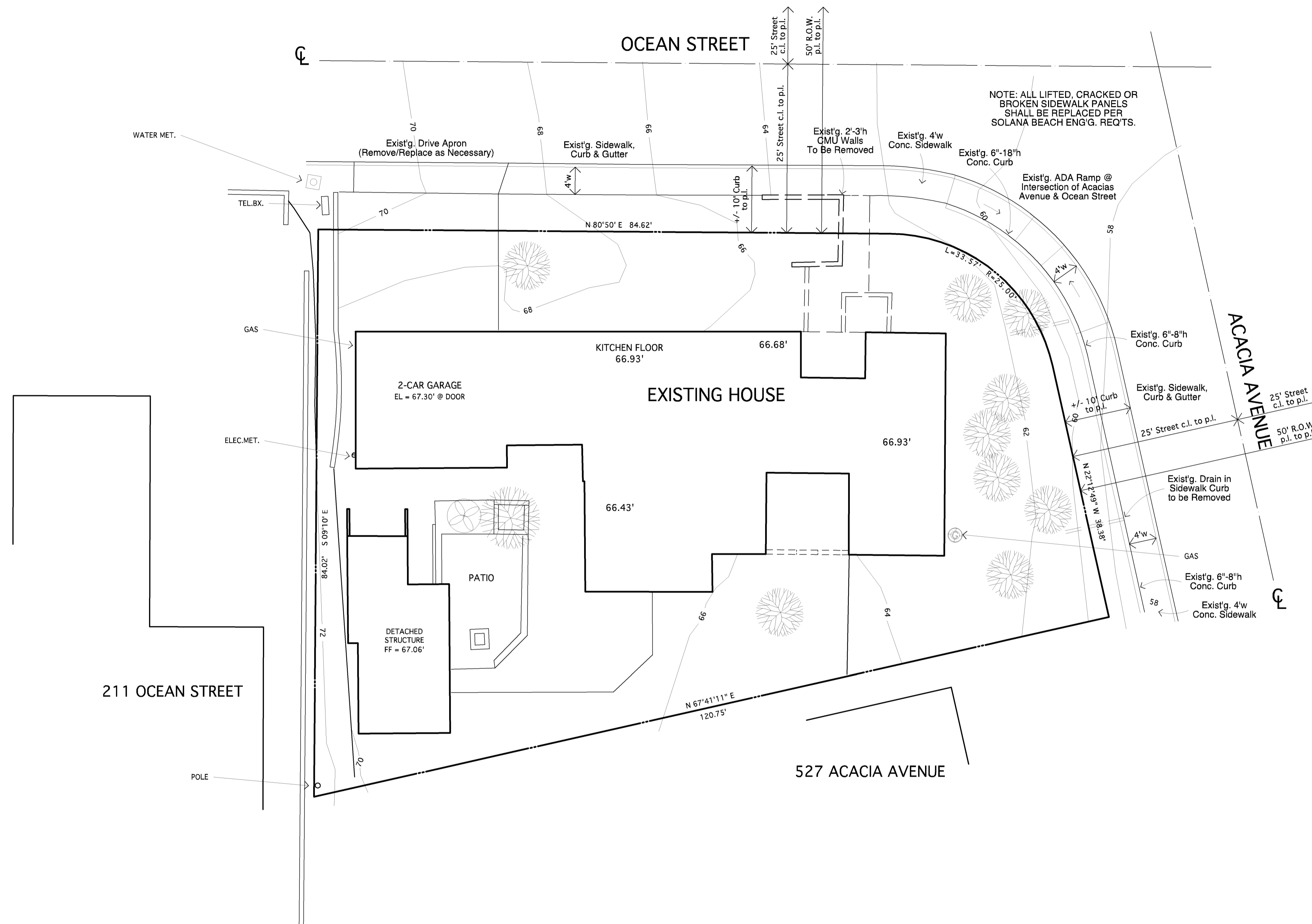
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16 JULY 20 S.B. PLAN'G. RESUB'L. 5

**PROPOSED SITE & BLDG. SECTIONS**

SCALE:

SURVEYOR:  
 SPENCER-LUEY SURVEYING  
 TIMOTHY LUEY  
 220 LINDA MAR DRIVE  
 SOLANA BCH., CALIF. 92075  
 TEL: 858.792.9242  
 FAX: 858.792.9242



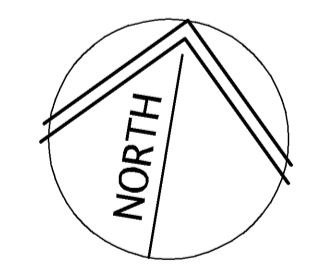
NOTE: ALL LIFTED, CRACKED OR BROKEN SIDEWALK PANELS SHALL BE REPLACED PER SOLANA BEACH ENGG. REQ'TS.

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**EXISTING SITE PLAN**

SCALE: 1/10" = 1'-0"



MAIN LIVING	1855 S.F.
GARAGE	445 S.F.
DET. STRUCTURE	375 S.F.
LOT AREA	7817 S.F.

+ 0 DATUM EQUAL TO:  
 66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

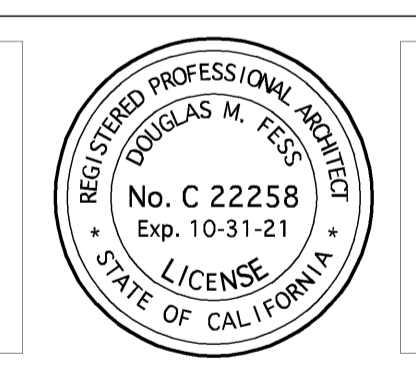
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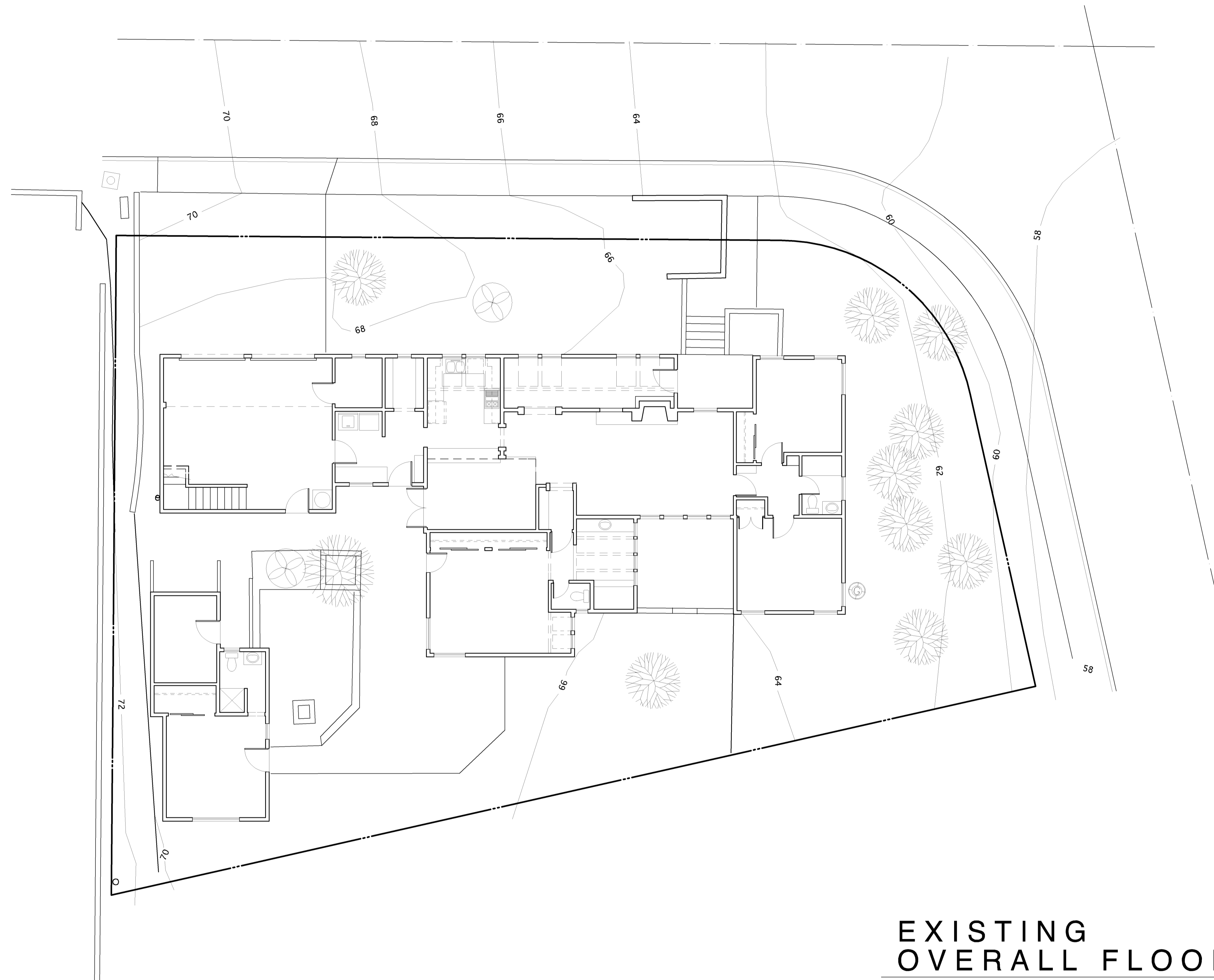
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 16 JULY '20 S.B. PLANG. RESUB'L. 5

**EXISTING SITE PLAN**

SCALE:

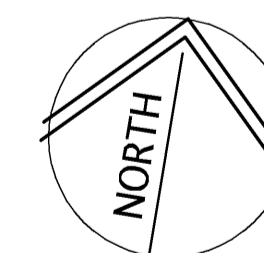
EX.1



## EXISTING OVERALL FLOOR PLAN

SC: 1/8" = 1'-0"

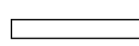
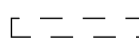

LIVING	1855 S.F.
GARAGE	445 S.F.
DET. STRUCTURE	375 S.F.
LOT SIZE	7817 S.F.



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

### WALL LEGEND

	EXISTING WALL
	EXISTING WALL TO BE REMOVED
	PROPOSED WALL

### DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

# CAROME REMODEL

201 OCEAN STREET  
SOLANA BEACH CALIF.

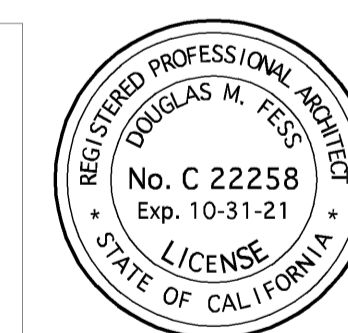
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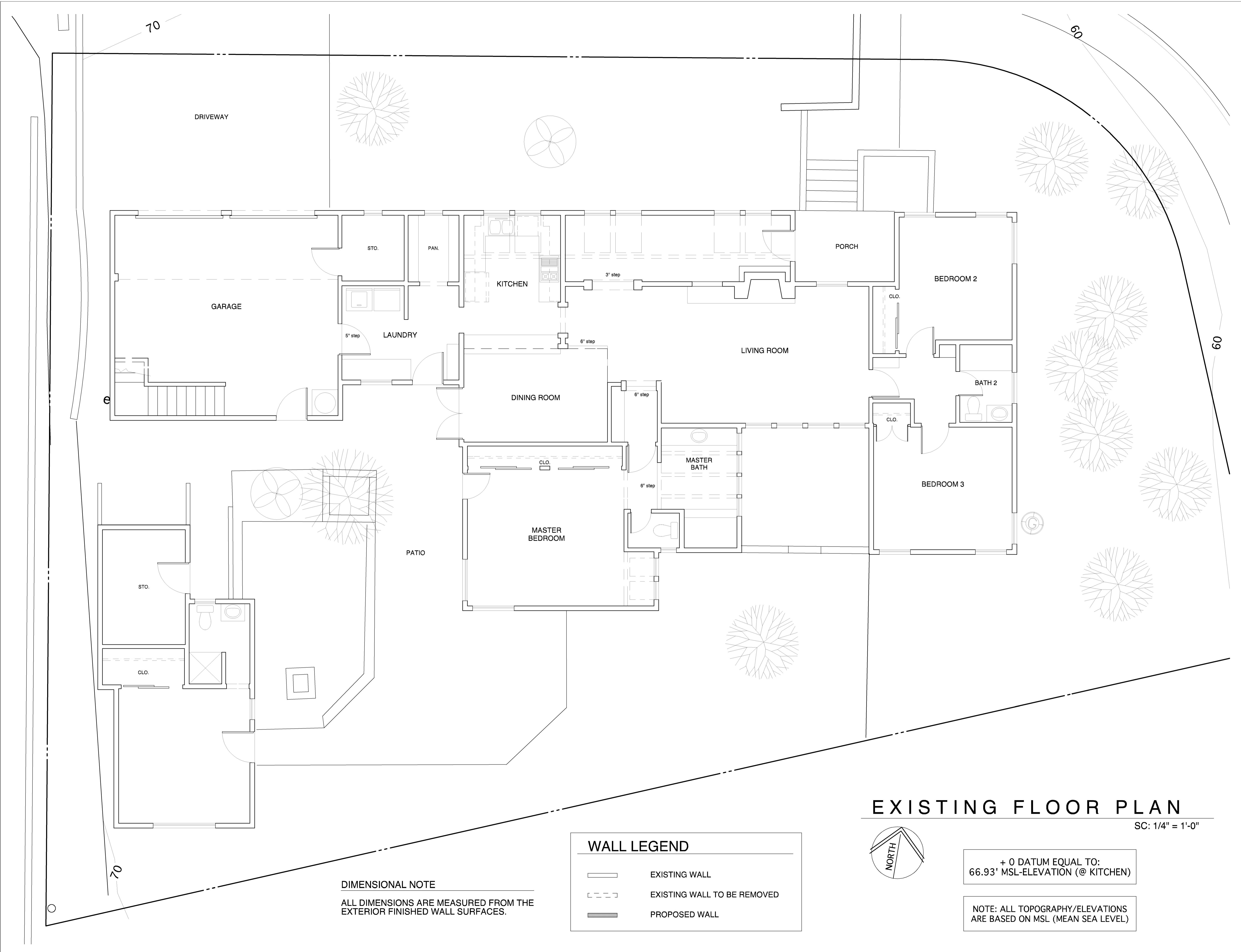
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### EXISTING OVERALL FLOOR PLAN

SCALE:

EX.2



DRIVEWAY

GARAGE

STO.

PAN.

KITCHEN

LAUNDRY

PORCH

BEDROOM 2

LIVING ROOM

BATH 2

DINING ROOM

MASTER BATH

BEDROOM 3

MASTER BEDROOM

PATIO


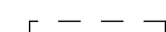

STO.

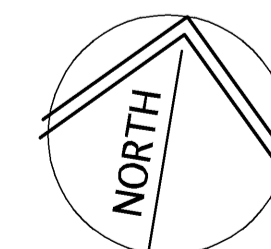
CLO.

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**WALL LEGEND**

-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  PROPOSED WALL



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**EXISTING FLOOR PLAN**

SC: 1/4" = 1'-0"

**CAROME REMODEL**

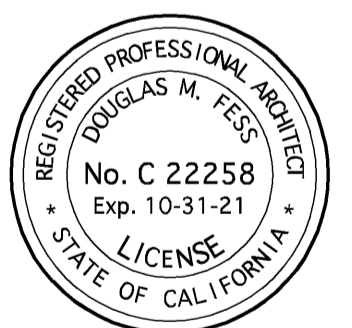
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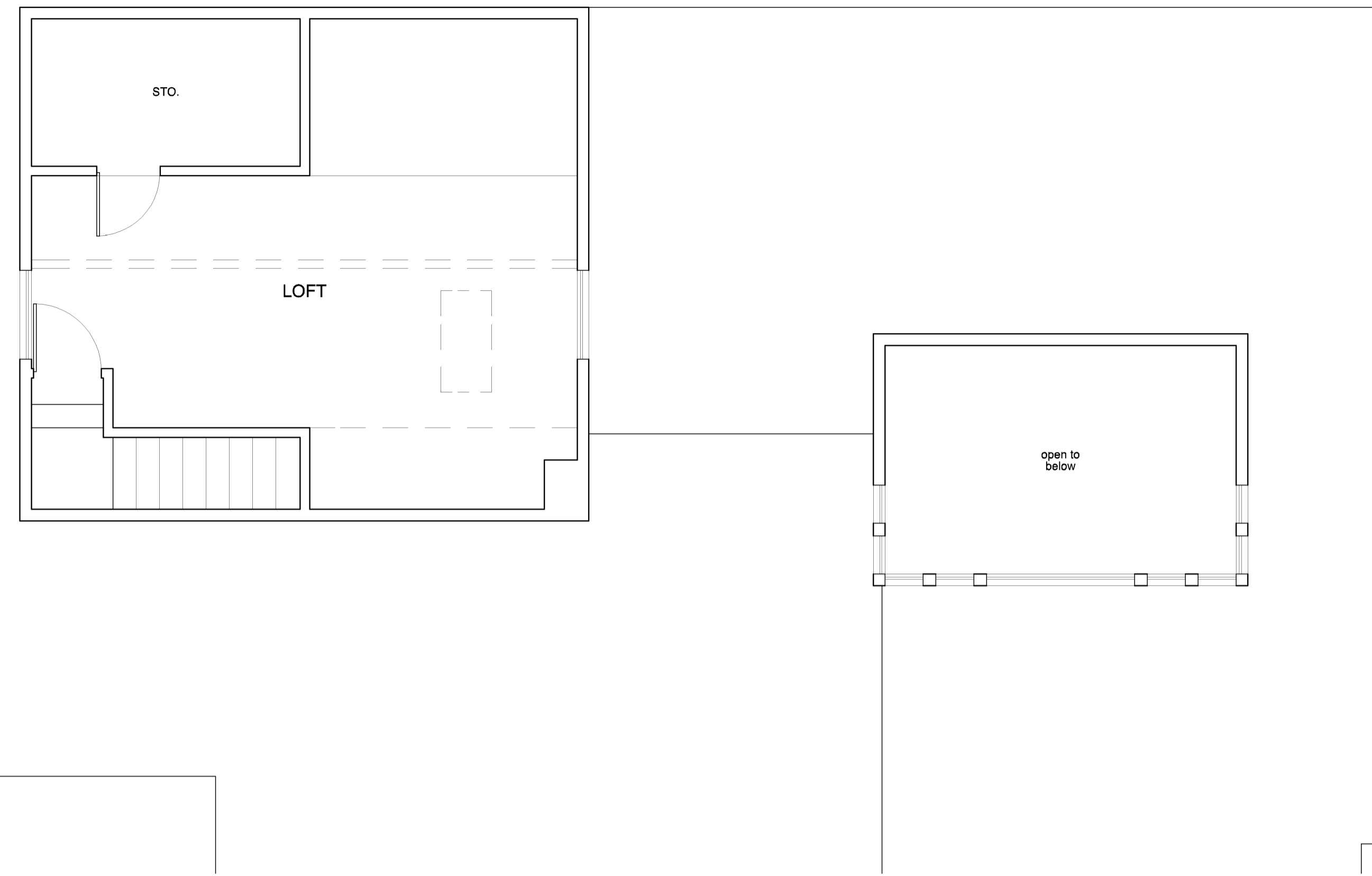
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16 JULY '20 S.B. PLANG. RESUB'L. 5

**EXISTING  
FLOOR PLAN**

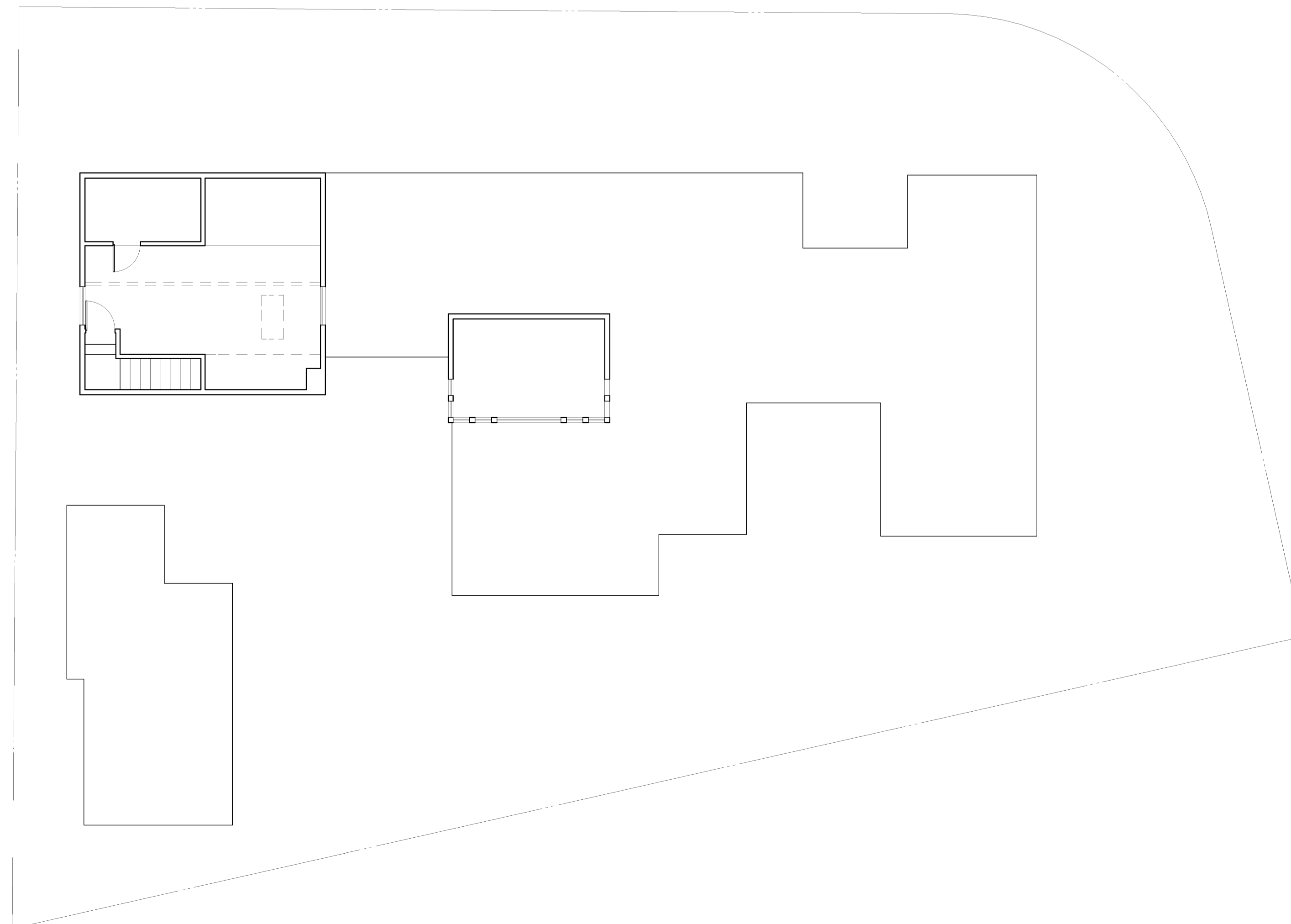
SCALE:

**EX.2a**



**EXISTING  
UPPER FLOOR PLAN**




SC: 1/4" = 1'-0"



**EXISTING  
OVERALL UPPER PLAN**

SC: 1/8" = 1'-0"

**WALL LEGEND**

-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  PROPOSED WALL

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**CAROME REMODEL**  
201 OCEAN STREET  
SOLANA BEACH CALIF.

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architecture · planning · landscape · interiors



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DATE: 31 JAN. '18 S.B. PLANG. SUB'L. 1  
21 JUNE '18 S.B. PLANG. RESUB'L. 1  
13 DEC. '18 S.B. PLANG. RESUB'L. 2  
15 OCT. '19 S.B. PLANG. RESUB'L. 3  
10 DEC. '19 S.B. PLANG. RESUB'L. 4  
16 JULY '20 S.B. PLANG. RESUB'L. 5

**EXISTING UPPER  
FLOOR PLANS**

SCALE:

**EX.3**



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** June 10, 2020  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Request for a DRP and SDP to Remodel the Existing Residence and Construct a New Two-Story Addition, Including a Roof Top Deck and a Walk Out Deck Off the East Side of the Proposed Addition, and Convert an Existing Detached Accessory Structure to an ADU at 201 Ocean Street. (Case # 17-18-02 Applicant: Asli Carome; APN: 263-042-06; Resolution 2020-077)**

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## **BACKGROUND:**

The Applicant, Asli Carome, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to remodel the existing residence and construct a new two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert an existing detached accessory structure to an accessory dwelling unit (ADU). The 7,817 square foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The project proposes grading in the amounts of 10 cubic yards of cut for footings and 10 cubic yards of removal and re-compaction. The maximum building height is proposed at 24.96 feet above the existing grade with the highest pole at 90.6 MSL. The project meets two thresholds for the requirement of a DRP, including: 1) construction in excess of 60 percent of the maximum allowable floor area and 2) construction of a second story that exceeds 35% of the floor area of the first floor. The project requires a SDP because the proposed development exceeds 16 feet in height above the existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2020-077 (Attachment 1).

## **DISCUSSION:**

The subject property is located on the southwest corner of the intersection of Acacia

CITY COUNCIL ACTION:

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AGENDA ITEM #B.2.

**ATTACHMENT 3**

Avenue and Ocean Street. The project site fronts on Acacia Avenue and slopes generally upwards from the east to the west from an elevation of approximately 60 feet MSL to a minimum elevation of approximately 72 feet MSL, with an overall change in elevation of approximately 12 feet.

The subject lot is surrounded on all sides by residential properties that are located within the Medium Residential (MR) Zone that are developed with one and two story homes. The lot is currently developed with a single-story, single-family residence with an attached garage and a detached accessory structure. The Applicant proposes to maintain the existing nonconforming main floor and attached garage, construct a 1,052 square footage addition which includes a new second story and convert the existing accessory structure to a detached 360 square foot accessory dwelling unit (ADU) on the 7,817 square foot lot.

The project plans are provided in Attachment 2. Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant's proposed design.

<b>Table 1</b>			
<b>LOT INFORMATION</b>			
<b>Property Address:</b>	201 Ocean Street	<b>Zoning Designation:</b>	MR (5-7 du/ac)
<b>Lot Size (Net):</b>	7,817 ft <sup>2</sup>	<b># of Units Allowed:</b>	1 Dwelling Unit, 1 ADU
<b>Max. Allowable Floor Area:</b>	3,318 ft <sup>2</sup>	<b># of Units Requested:</b>	1 Dwelling Unit, 1 ADU
<b>Proposed Floor Area:</b>	3,312 ft <sup>2</sup>	<b>Below Max. Floor Area by:</b>	6 ft <sup>2</sup>
<b>Max. Allowable Height:</b>	25 ft.	<b>Setbacks:</b>	<b>Required</b> <b>Proposed</b>
<b>Max. Proposed Height:</b>	24.96 ft.	Front (E)	25 ft.      32.3* ft.
<b>Highest Point/Ridge:</b>	90.6 MSL	Exterior Side (N)	10 ft.      10.3 ft.
<b>Overlay Zone(s):</b>	SROZ	Interior Side (S)	5 ft.      14 ft.
		Rear (W)	25 ft.      37.3* ft.
*This is the distance to the proposed construction. Existing nonconforming home encroaches into front and rear yard setbacks.			
<b>PROPOSED PROJECT INFORMATION</b>			
<b>Floor Area Breakdown:</b>		<b>Required Permits:</b>	
Existing First Floor:	1,855 ft <sup>2</sup>	<b>DRP:</b> A DRP is required for a structure that exceeds 60% of the maximum allowable floor area and a second story that exceeds 40% of the first floor.	
Existing Garage:	445 ft <sup>2</sup>		
Existing Detached Structure/ADU:	360 ft <sup>2</sup>	<b>SDP:</b> A SDP is required for a new structure that exceeds 16 feet in height from the existing grade.	
Proposed First Floor Addition:	332 ft <sup>2</sup>		
Proposed Second Floor Addition:	720 ft <sup>2</sup>		
Subtotal:	3,712 ft <sup>2</sup>		
Required Parking Exemption:	- 400 ft <sup>2</sup>		
<b>Total Floor Area:</b>	<b>3,312 ft<sup>2</sup></b>		
<b>Proposed Grading:</b> 10 cubic yards of cut for footing and 10 cubic yards of removal and re-compaction			
<b>Proposed Parking:</b>	Existing Attached 2-Car Garage	<b>Existing Development:</b>	Single-story, single-family residence with an attached garage and a detached accessory structure
<b>Proposed Fences and Walls:</b>	Yes		
<b>Proposed Accessory Dwelling Unit:</b>	Yes		
<b>Proposed Accessory Structure:</b>	Yes		

Development Review Permit Compliance (SBMC Section 17.68.40):

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2020-077. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made:

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

**Relationship with Adjacent Land Uses:**

The property is located within the MR Zone. The surrounding neighborhood consists of a mix of properties that are one- and two-story, single-family residences. The project site is currently developed with a single-story, single-family residence with an attached garage and a detached accessory structure.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020, which permits one single-family residence and one ADU per lot. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ.



## **Building and Structure Placement:**

The property is located on the southwest corner of Ocean Street and Acacia Avenue and is currently developed with a single-story, single-family residence with an attached two-car garage and a detached accessory structure. Driveway and pedestrian access to the main entrance are taken from Ocean Street. The Solana Beach Municipal Code (SBMC) defines the front lot line as, *“the line separating the parcel from the street or private road easement. On a corner lot, the shorter lot line abutting a street or the line designated as the front lot line by a subdivision or parcel map.”* The MR Zone requires 25-foot front and rear yard setbacks, 10-foot street side yard setbacks, and 5-foot interior side yard setbacks. The existing residence is nonconforming as the existing residence encroaches into the required front yard setback and the attached garage encroaches into the required rear yard setback. The original residence and garage were constructed with the required permits prior to the City's incorporation. The Applicant is not proposing to modify the existing non-conforming portions of the house, therefore, they are allowed to remain.

The Applicant proposes to maintain the existing residence and garage, construct a 332 square foot addition to the main floor within the buildable area of the lot, construct a new 720 square foot second floor, and convert the existing detached 360 square foot accessory structure to an ADU. This project was submitted in February of 2018 and is subject to the ADU regulations that were effective at the time the project was deemed complete in March of 2019. The previous ADU regulations required the ADU square footage to be included in the calculation of FAR.

According to the residential building record, the existing detached accessory structure was constructed as a “gym” in the early 1980's prior to the City's incorporation. At some time, a bathroom was added to the detached structure and there is no record of a permit to allow this addition. In order to maintain the existing detached structure as it currently exists, the Applicant is proposing to convert it to a detached Accessory Dwelling Unit (ADU). No additional work is proposed on the ADU.

The existing attached 445 square foot garage provides two 9 ft. X 19 ft. parking spaces, however, one is obstructed by a door that provides exterior access to the garage. A condition of project approval would require the Applicant to modify the existing door in order to change the door swing so that it no longer obstructs the dimensions of a required parking space. Therefore, the two required parking spaces (200 square feet per space) are exempt from the floor area calculations as they were constructed with required permits. Therefore, 400 square feet would be exempt from the calculation of floor area.

The proposed main floor would be 2,187 square-foot first floor of the residence would consist of a kitchen, dining room, great room, study, powder room, a master bedroom suite, two additional bedrooms and a bathroom. The 720 square foot second story would consist of a new master suite with a walk-out deck off of the north eastern corner of the new master suite. A roof deck is proposed on top of the second floor accessed by an exterior staircase off of the northwest corner of the master suite. The existing 360 square foot detached accessory dwelling unit would consist of a sleeping area, a bathroom and a multi-purpose kitchen/living room.

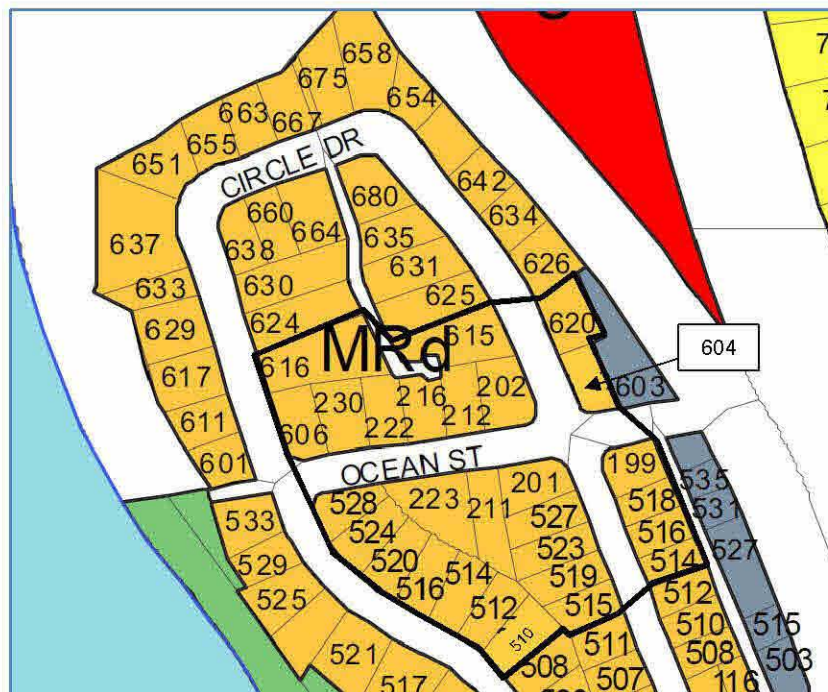
The total proposed floor area would be 3,312 square feet, which is 6 square feet below the maximum allowable floor area for the 7,817 square-foot lot. The maximum floor area calculation for this project is as follows:

0.500 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,001 to 15,000 ft <sup>2</sup>	318 ft <sup>2</sup>
<b>Total Allowable Floor Area:</b>	<b>3,318 ft<sup>2</sup></b>

The proposed additions, as designed, meet the minimum required setbacks and are 6 square feet below the maximum allowable floor area for the property.

**Neighborhood Comparison:**

Staff compared the proposed project to 27 other properties within the surrounding area. This area includes properties along Pacific Avenue, Ocean Street and Circle Drive as shown on the following map:



The properties evaluated in this comparison are located in the MR Zone. The existing homes range in size from 561 square feet to 5,000 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered patio area, or accessory building area in the total square footage. However, the County Assessor does include finished basements, which the City does not. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the existing and proposed garages as follows:

Project Gross Building Area:	3,312 ft <sup>2</sup>
Delete Garage:	- 445 ft <sup>2</sup>
<b>Project Area for Comparison to Assessor's Data:</b>	<b>2,867 ft<sup>2</sup></b>

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

<b>Table 2</b>						
#	Property Address	Lot Size in ft <sup>2</sup> (GIS)	Existing ft <sup>2</sup> Onsite (Assessor's)	Proposed / Recently Approved ft <sup>2</sup>	Max. Allowable ft <sup>2</sup>	Zone
1	620 E CIRCLE DR	8,000	1,602		3,350	MR
2	604 E CIRCLE DR	6,500	1,498		3,088	MR
3	616 W CIRCLE DR	14,900	2,409		4,558	MR
4	606 W CIRCLE DR	7,100	2,924		3,193	MR
5	230 OCEAN ST	7,100	3,161		3,193	MR
6	222 OCEAN ST	6,700	3,141		3,123	MR
7	216 OCEAN ST	5,800	1,548		2,900	MR
8	212 OCEAN ST	6,600	1,452		3,105	MR
9	202 OCEAN ST	10,900	2,016		3,858	MR
10	615 E CIRCLE DR	12,000	2,913		4,050	MR
11	528 PACIFIC AVE	12,400	4,076		4,120	MR
12	524 PACIFIC AVE	6,800	4,897		3,140	MR
13	520 PACIFIC AVE	6,800	3,774		3,140	MR
14	223 OCEAN ST	5,900	2,647		2,983	MR
15	211 OCEAN ST	8,300	1,259		3,403	MR
16	<b>201 OCEAN ST</b>	<b>6,600</b>	<b>1,897</b>	<b>2,895</b>	<b>3,105</b>	<b>MR</b>
17	527 N ACACIA AVE	6,700	884		3,123	MR
18	523 N ACACIA AVE	6,750	1,016		3,131	MR
19	519 N ACACIA AVE	6,400	2,145		3,070	MR
20	515 N ACACIA AVE	6,200	3,866		3,035	MR
21	510 PACIFIC AVE	6,600	2,447		3,105	MR
22	512 PACIFIC AVE	6,700	1,414		3,123	MR
23	514 PACIFIC AVE	6,600	1,542		3,105	MR
24	516 PACIFIC AVE	6,700	1,827		3,123	MR
25	199 OCEAN ST	6,700	2,733		3,123	MR
26	514 N ACACIA AVE	5,000	3,046		2,500	MR
27	516 N ACACIA AVE	4,900	1,230		2,450	MR
28	518 N ACACIA AVE	4,900	2,730		2,450	MR

### **Fences, Walls and Retaining Walls:**

Within the front yard setback area, SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light.

However, one walkway feature up to a maximum height of 6 feet provided 50% of the area is open to light and air and one driveway architectural feature up to a maximum height of 10 feet provided at least 50% of the area is open to light and air are permitted for each lot. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 2 feet that is 50% open to light and air.

The property currently has existing block walls within the public right of way that will be removed as a condition of project approval. The Applicant is proposing to construct new three foot high walls around the proposed pedestrian access. There are existing walls that will remain along the western property line and around an existing patio area next to the detached ADU.

Currently, the plans show existing fences and walls to remain and proposed walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

### **Landscape:**

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified irrigated landscape areas that exceed 500 square feet. The Applicant is not proposing to modify the existing landscaped area.

### **Parking:**

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. ADU's are not required to provide an additional parking space if the site is located within one-half mile of a transit stop. The subject site is within one-half mile of multiple bus stops on Highway 101; therefore, an additional parking space is not required. As previously mentioned, the existing principal residence has an attached two-car garage that encroaches into the required rear yard setback area that was constructed with required permits prior to the City's incorporation. As conditioned, the Applicant would be required to reverse the door swing of the exterior access door in order to maintain two unobstructed parking spaces that are 9 ft. X 19 ft. in area. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage are exempt from the floor area calculation. Two spaces are required for the principal residence, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

### **Grading:**

The project would include grading in the amounts of 10 yd<sup>3</sup> of cut for footings and 10 yd<sup>3</sup> of removal and recompaction for the proposed additions. The remainder of the lot would remain as is.

### **Lighting:**

A condition of project approval is that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

### **Usable Open Space:**

The project consists of an interior remodel and a square footage addition therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

### **Structure Development Permit Compliance:**

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor on January 22, 2019 showing a maximum building height of 25 feet (91.3 MSL) above the existing grade. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by March 18, 2019. The City received one application for View Assessment. The project was presented to the View Assessment Commission (VAC) on July 16, 2019 and the VAC was not able to make the required findings and made a recommendation for denial. The notice of recommendation is provided in attachment 3.

Instead of moving forward with the recommendation for denial, the Applicant decided to redesign the project to address the view impairment concerns presented at the VAC meeting. Revised plans (provided in Attachment 2) were submitted to the City that proposed to move the second floor square footage to the opposite side of the second floor that was previously proposed. Because the proposed design incorporated square footage outside of the originally story poled three-dimensional building envelope, an additional 30-day public notice period was required. The story poles were modified and recertified on February 18, 2020. The maximum building height of the redesigned project was certified at 24.96 feet or 90.6 MSL. Notices were mailed out to all property owners and residents within 300 feet of the property and a second 30 day deadline to file for View Assessment was established on April 23, 2020. No additional applications for View Assessment were submitted. Staff contacted the original View Assessment Applicant to confirm that their view impairment concerns had been resolved. They submitted an email requesting to withdraw their application for View Assessment. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.96 feet above the existing grade or 90.6 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2020-077 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the public hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**PUBLIC HEARING NOTICE:**

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on May 28, 2020. As of the date of preparation of this Staff Report, Staff has not received any formal correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2020-077.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a SDP and DRP.
- Deny the project if all required findings for the DRP and SDP.


**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-077 conditionally approving a DRP and SDP to remodel the existing residence and construct a new two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert an existing detached accessory structure to an accessory dwelling unit (ADU) at 201 Ocean Street, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

**Attachments:**

1. Resolution 2020-077
2. Project Plans
3. NOR from July 16, 2019 VAC meeting

**RESOLUTION NO. 2020-077**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO PERFORM AN INTERIOR REMODEL AND CONSTRUCT A SQUARE FOOTAGE ADDITION ON AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE AND CONVERT AN EXISTING DETACHED ACCESSORY STRUCTURE INTO AN ACCESSORY DWELLING UNIT AT 201 OCEAN STREET, SOLANA BEACH**

**APPLICANTS: ASLI CAROME  
APPLICATION: 17-18-02 DRP/SDP**

**WHEREAS**, Asli Carome (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on June 10, 2020, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to remodel the 1,855 square foot existing residence with a 445 square foot attached garage and construct a new 1,052 square foot two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert a 360 square foot existing detached accessory structure to an accessory dwelling unit (ADU). The 7,817 square foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). at 201 Ocean Street, Solana Beach., is conditionally approved based upon the following Findings and subject to the following Conditions:



### III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

*I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for a maximum of five to seven dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor area (FAR), maximum building height, and parking requirements.

*II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

*a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

*The property is located within the MR Zone. The surrounding neighborhood consists of a mix of properties that are one- and two-story, single-family residences. The project site is currently developed with a one -story, single-family residence.*

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020, which permits one single-family residence and one ADU per lot. The property is designated Medium Density Residential in the General Plan and intended for single- and multi-family residential development with a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The property is located on the corner of Ocean Street and Acacia Avenue and is currently developed with a single-story, single-family residence with an attached two-car garage and a detached accessory structure. Driveway and pedestrian access to the main entrance are taken from Ocean Street. The Solana Beach Municipal Code (SBMC) defines the front lot line as, "the line separating the parcel from the street or private road easement. On a corner lot, the shorter lot line abutting a street or the line designated as the front lot line by a subdivision or parcel map." The MR Zone requires 25-foot front and rear yard setbacks, 10-foot street side yard setbacks, and 5-foot interior side yard setbacks. The existing residence is nonconforming as the existing residence encroaches into the required front yard setback and the attached garage encroaches into the required rear yard setback. The original residence and garage were constructed with the required permits in prior to the City's incorporation. The Applicant is not proposing to modify the existing non-conforming portions of the house, therefore, they are allowed to remain.

The Applicant proposes to maintain the existing residence and garage, construct a 332 square foot addition to the main floor within the buildable area of the lot, construct a new 720 square foot second floor, and convert the existing detached 360 square foot accessory structure to an ADU.

According to the residential building record, the existing detached accessory structure was constructed as a “gym” in the early 1980’s prior to the City’s incorporation. At some time, a bathroom was added to the detached structure and there is no record of a permit to allow this addition. In order to maintain the existing detached structure as it currently exists, the Applicant is proposing to convert it to a detached Accessory Dwelling Unit (ADU). No additional work is proposed on the ADU.

The existing attached 445 square foot garage provides two 9 ft. X 19 ft. parking spaces, however, one is obstructed by a door that provides exterior access to the garage. A condition of project approval would require the Applicant to modify the existing door in order to change the door swing so that it no longer obstructs the dimensions of a required parking space. Therefore, the two required parking spaces (200 square feet per space) are exempt from the floor area calculations as they were constructed with required permits. Therefore, 400 square feet would be exempt from the calculation of floor area.

The proposed main floor would be 2,187 square-foot first floor of the residence would consist of a kitchen, dining room, great room, study, powder room, a master bedroom suite, two additional bedrooms and a bathroom. The 720 square foot square-foot second story would consist of a new master suite with a walk out deck off of the north eastern corner of the new master suite. A roof deck is proposed on top of the second floor accessed by an exterior staircase off of the northwest corner of the master suite. The existing 360 square foot detached accessory dwelling unit would consist of a sleeping area, a bathroom and a multi-purpose kitchen/living room.

The total proposed floor area would be 3,312 square feet, which is 6 square feet below the maximum allowable floor area for the 7,817 square-foot lot. The maximum floor area calculation for this project is as follows:

0.500 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,001 to 15,000 ft <sup>2</sup>	318 ft <sup>2</sup>
<u>Total Allowable Floor Area:</u>	<u>3,318 ft<sup>2</sup></u>

The proposed additions, as designed, meet the minimum required setbacks and are 6 square feet below the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be*

*compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is not subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified irrigated landscape areas that exceed 500 square feet. The Applicants are not proposing to modify the existing landscaped area.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. ADU's are not required to provide an additional parking space if the site is located within one-half mile of a transit stop. The subject site is within one-half mile of multiple bus stops on Highway 101; therefore, an additional parking space is not required. The existing principal residence has an attached two-car garage that encroaches into the required rear yard setback area that was constructed with required permits prior to the City's incorporation. As conditioned, the Applicant would be required to reverse the door swing of the exterior access door in order to maintain two unobstructed parking spaces that are 9 ft. X 19 ft. in area. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage are exempt from the floor area calculation. Two spaces are required for the principal residence, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project would include grading in the amounts of 10 yd<sup>3</sup> of cut for footings and 10 yd<sup>3</sup> of removal and recompaction for the proposed additions. The remainder of the lot would remain as is.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of an interior remodel and a square footage addition including a new second story and the conversion of a detached accessory structure to an ADU on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor on January 22, 2019 showing a maximum building height of 25 feet (91.3 MSL) above the existing grade. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by March 18, 2019. The City received one application for View Assessment. The project was presented to the View Assessment Commission (VAC) on July 16, 2019 and the VAC was not able to make the required findings and made a recommendation for denial. The notice of recommendation is provided in attachment 3.

Instead of moving forward with the recommendation for denial, the Applicant decided to redesign the project to address the view impairment concerns presented at the VAC meeting. Revised plans (provided in attachment 2) were submitted to the City that proposed to move the second floor square footage to the opposite side of the second floor that was previously proposed. Because the proposed design incorporated square footage outside of the originally story poled three-dimensional building envelope, an additional 30-day public notice period was required. The story poles were modified and recertified on February 18, 2020. The maximum building height of the redesigned project was certified at 24.96 feet or 90.6 MSL. Notices were mailed out to all property owners and residents within 300 feet of the property and a second 30 day deadline to file for View Assessment was established on April 23, 2020. No additional applications for View Assessment were submitted and the original application was withdrawn. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum height of the proposed addition will not exceed 24.96 feet above the existing grade or 90.6 feet above MSL, which is the maximum proposed structure height reflected on the project plans.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.

- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on June 10, 2020, and located in the project file with a submittal date of April 1, 2020.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.95 feet above the proposed grade on the west elevation and the highest point of the structure will not exceed 90.6 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on June 10, 2020.
- IV. The Applicant shall reverse the door swing of the door providing exterior access to the garage in order to remove the obstruction to the required parking space.
- V. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- VI. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.

B. Fire Department Conditions:

- I. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- II. **CLASS "A" ROOF:** All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.
- III. **AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 prior to any work being done in the public right-of-way. These include, but are not limited to:
  - a. Demolition of existing driveway approach where G-14A is proposed.
  - b. Construction of G-14A driveway approach.
  - c. All lifted, cracked or broken sidewalk panels shall be replaced as noted on the proposed site plan.
  - d. Removal of the existing CMU walls.
  - e. Construction of the new entry steps/walk.
  - f. Removal and reconstruction of the existing drain pipes discharging to Acacia Ave.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to Final Inspection of the Building Permit. The EMRA shall be recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:



- a. New entry steps/walk.
  - b. Sidewalk underdrains.
  - c. Landscaping.
  - d. Rocks.
  - e. Irrigation.
  - f. Slopes.
- III. The Applicant shall underground all new utility services, including but not limited to electrical and telephone.
  - IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
  - V. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

#### I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may

elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 10<sup>th</sup> day of June, 2020, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, MAYOR

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk

# CAROME REMODEL

201 OCEAN STREET  
SOLANA BEACH CALIF.

## CAROME REMODEL

201 OCEAN STREET SOLANA BEACH CALIFORNIA

**OWNER**  
ASLI CAROME  
201 OCEAN STREET  
SOLANA BEACH, CALIF. 92075  
TEL: 703.731.3584

**SITE ADDRESS**  
201 OCEAN STREET  
SOLANA BEACH, CALIFORNIA

**NOTE: THERE IS NO SITE GRADING PROPOSED. CONSTRUCTION IS ON EXISTING FLAT AREAS.**

**LEGAL DESCRIPTION**  
APN: 263 042 06 00  
LOT OF IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF No. FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

**SITE INFO**  
APN: 263 042 06 00  
LOT AREA: +/- 7817 S.F. (0.18 ACRE)  
PAD AREA: +/- 7000 S.F. (0.16 ACRE)  
PAD ELEV.: +/- 66' ELEV.

**FLOOR AREA RATIO (FAR) CALCULATION**  
LOT AREA X 0.5 (first 8000sf) 3000 sf  
LOT AREA x 0.175 (for 1729sf) 318 sf  
**TOTAL ALLOW. FLOOR AREA 3318 sf**  
PROPOSED FLOOR AREA 3312 sf

**ARCHITECT**  
STUDIO ONE ARCHITECTS DOUG FESS  
2456 LA COSTA AVENUE LIC. No. C22258  
CARLSBAD, CALIF. 92009  
TEL: 760.496.8101 FAX: 760.635.3618

**SURVEYOR**  
SPENCER-LUEY SURVEYING  
220 LINDA MAR DRIVE  
SOLANA BEACH, CALIF. 92075  
TEL: 858.792.9242 MOB: 858.756.8083

**FIRE DEPARTMENT NOTE**  
THIS PROJECT SHALL COMPLY W/ THE MIN. REQ'TS. OF THE CALIFORNIA FIRE CODE (CURRENT EDITION) & LOCAL AMENDM'TS.  
+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

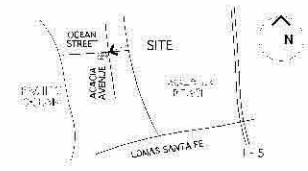
**NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)**

**SETBACKS**  
FRONT: 25'-0" REQ'D./ 32'-4" PROPOSED  
STREETSIDE: 10'-0" REQ'D./ 10'-3" PROPOSED  
INT. SIDE: 5'-0" REQ'D./ 14'-0" PROPOSED  
REAR: 25'-0" REQ'D./ 37'-4" PROPOSED

**FLOOR AREA**  
EXIST. MAIN LEVEL- To Remain: 1855 S.F.  
EXIST. UPPER LEVEL- To Remain: 0 S.F.  
**TOTAL EXIST. LIVING- To Remain: 1855 S.F.**  
EXIST. GARAGE- To Remain: 445 S.F.  
EXIST. DET. STRUCT.- To Remain: 360 S.F.  
PROP. MAIN LIVING ADD'N.: +332 S.F.  
PROP. UPPER LIVING ADD'N.: +720 S.F.  
**GROSS LIVING ADD'N. AREA: +1052 S.F.**  
**GROSS TOTAL LIVING AREA: 3267 S.F.**  
PROP. GARAGE ADD'N.: +0 S.F.  
**F.A.R. AREA (Gross -400sf Gar.): 3312 S.F.**  
PROP. UNCOV. DECK ADD'N.: +535 S.F.

**APPLICATION FOR THE FOLLOWING:**  
DEVELOPMENT REVIEW PERMIT (DRP)  
STRUCTURE DEVELOPMENT PERMIT (SDP)

**CITY OF SOLANA BEACH**  
PROJECT No: DRP/SDP CASE No. 17-18-02  
ZONING: MRd  
GENERAL PLAN LAND USE:  
LOT COVERAGE  
BLDG. COVERAGE (exist.): 2675 S.F./ 34.2 %  
BLDG. COVERAGE (proposed): +317 S.F./ 4.0 %  
HARDSCAPE (existing): 700 S.F./ +9.0 %  
HARDSCAPE (proposed): +100 S.F./ +1.3 %  
LANDSCAPE (exist/proposed): 4025 S.F./ 51.5 %  
**TOTAL AREA: 7817 S.F./ 100.0%**  
VICINITY MAP



**SHEET INDEX**

T	TITLE SHEET
1	PROPOSED SITE PLAN & SITE SECTION
1a	PROPOSED SITE DIAGRAM PLAN
1b	PROPOSED SITE VIEWS
2	PROPOSED OVERALL MAIN PLAN
2a	PROPOSED MAIN FLOOR PLAN
3	PROPOSED UPPER FLOOR PLANS
4	PROPOSED ROOF PLANS
4a	FLOOR AREA PLANS
4b	STORYPOLE PLANS & DETAILS
5	PROPOSED DESIGN ELEVATIONS
5a	PROPOSED EXTERIOR ELEVATIONS 1
5b	PROPOSED EXTERIOR ELEVATIONS 2
6	PROPOSED SITE & BLDG. SECTIONS
6a	PROPOSED BUILDING SECTIONS
EX.1	EXISTING SITE PLAN
EX.2	EXISTING OVERALL MAIN PLAN
EX.2a	EXISTING MAIN FLOOR PLAN
EX.3	EXISTING UPPER FLOOR PLANS
L.1	LANDSCAPE MASTER PLAN
L.2	LANDSCAPE PLANTING NOTES

**PROJECT DESCRIPTION**  
ADDITION & REMODEL TO EXISTING SINGLE-STORY RESIDENCE INCL. 2- STORY ADDITION, GARAGE CONVERSION & OPEN PATIOS, LIMITED SITE IMPROVEMENTS INCL. NEW FRONT YARD LANDSCAPING & PATIO WALLS.

**studio one architects**

2456 La Costa Avenue  
Carlsbad, Calif. 92009  
Tel: 760.496.8101  
Fax: 760.635.3618

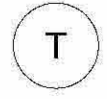
Douglas Fess  
Principal Architect



DATE: 31 JAN '15 S.B. PLANG. SUBP. 1  
21 JUNE '15 S.B. PLANG. RESUB. 1  
15 DEC. 18 S.B. PLANG. RESUB. 2  
18 OCT. 19 S.B. PLANG. RESUB. 3

TITLE SHEET

SCALE:



**LOT COVERAGE**

BLDG. COVERAGE (exist.):	2675 S.F. / 34.2 %
BLDG. COVERAGE (prop.):	+317 S.F. / 4.0 %
HARDSCAPE (exist.):	1695 S.F. / +21.7 %
HARDSCAPE (prop.):	+40 S.F. / +0.5 %
LANDSCAPE (exist./prop.):	3090 S.F. / 39.6 %
<b>TOTAL AREA:</b>	<b>7817 S.F. / 100.0 %</b>

**FLOOR AREA RATIO (FAR) CALCULATION**

LOT AREA X 0.5 (first 6000sf)	3000 sf
LOT AREA x 0.175 (for 1817sf)	318 sf
<b>TOTAL ALLOW. FLOOR AREA</b>	<b>3318 sf</b>
PROPOSED FLOOR AREA	3312 sf

**FLOOR AREA**

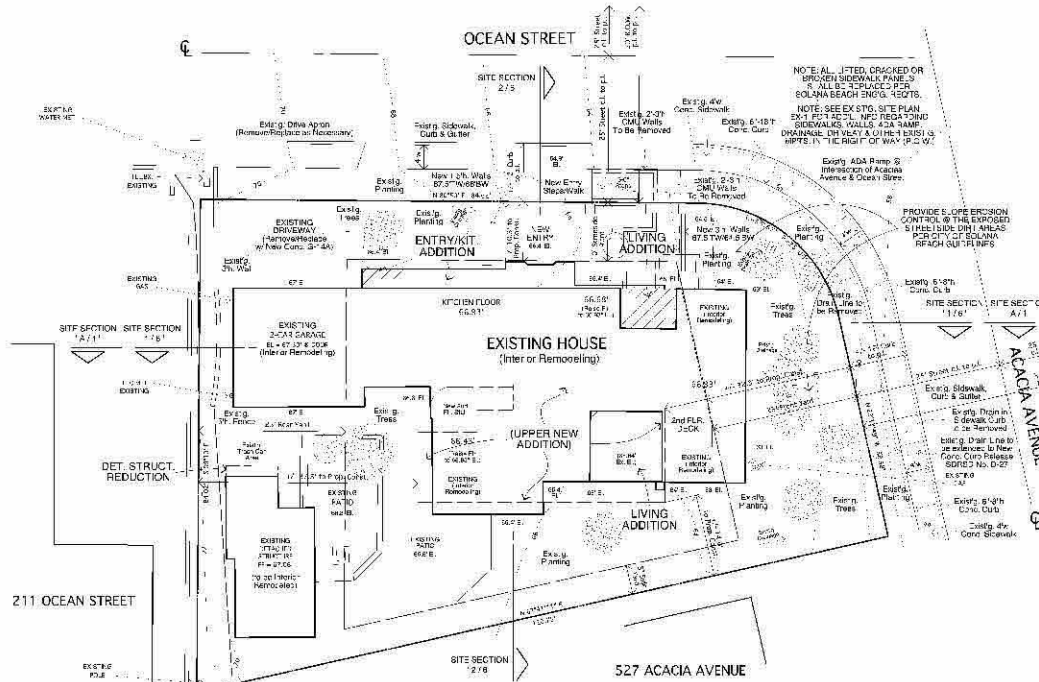
EXIST. MAIN LEVEL- To Remain:	1855 S.F.
EXIST. UPPER LEVEL- To Remain:	0 S.F.
<b>TOTAL EXIST. LIVING- To Remain:</b>	<b>1855 S.F.</b>
EXIST. GARAGE- To Remain:	445 S.F.
EXIST. DET. STRUCT.- To Remain:	360 S.F.
PROP. MAIN LIVING ADD'N.:	+332 S.F.
PROP. UPPER LIVING ADD'N.:	+720 S.F.
<b>GROSS LIVING ADD'N. AREA:</b>	<b>+1052 S.F.</b>
<b>GROSS TOTAL LIVING AREA:</b>	<b>3267 S.F.</b>
PROP. GARAGE ADD'N.:	+0 S.F.
<b>F.A.R. AREA (Gross -400sf Gar.):</b>	<b>3312 S.F.</b>
PROP. UNCOV. DECK ADD'N.:	+535 S.F.

**OFF - STREET PARKING**

REQUIRED SPACES	02
PROVIDED SPACES (In Garage)	02

**PROPOSED GRADING**

SITE GRADING PROPOSED	0 cy
VOLUME OF EXC. FOR FTG'S	10 cy
VOLUME OF EXC. FOR RE-COMP.	10 cy
<b>TOTAL GRADING</b>	<b>20 cy</b>



**RIGHT-OF-WAY (R.O.W.) WORK**

- APPLICANT TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO DEMOLITION & CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE RIGHT-OF-WAY (R.O.W.) INCLUDING THE FOLLOWING:
- DEMOLITION OF EXISTING DRIVEWAY APPROACH WHERE 9-14A IS PROPOSED.
  - CONSTRUCTION NO. 9-14A DRIVEWAY APPROACH.
  - ALL LIFTED, CRACKED OR BROKEN SIDEWALK PANELS SHALL BE REPLACED AS NOTED ON THE PROPOSED SITE PLAN.
  - REMOVAL OF EXISTING ENTRY STEPS/WALK.
  - CONSTRUCTION OF PROPOSED STEPS & LOW WALLS AS SHOWN ON PROPOSED SITE PLAN.

**ENCROACHMENT MAINTENANCE**

AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA) SHALL BE REQUIRED FOR THE PROPOSED STEPS & LOW WALLS IN THE PUBLIC RIGHT-OF-WAY (R.O.W.).

**CONSTRUCTION DEMOLITION MATERIALS**

ALL CONSTRUCTION DEMOLITION MATERIALS SHALL BE RECYCLED ACCORDING TO THE CITY'S CONST. N. & DEMOLITION RECYCLING PROGRAM & AN APPROVED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED.

**CONSTRUCTION FENCING**

CONSTRUCTION FENCING SHALL BE LOCATED ON THE SUBJECT PROPERTY UNLESS THE APPLICANT HAS OBTAINED AN ENCROACHMENT PERMIT IN ACCORDANCE WITH CHAPTER 11 20 OF THE SOLANA BEACH MUNICIPAL CODE WHICH ALLOWS OTHERWISE.

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

**FIRE DEPARTMENT NOTE (See Sht. '12')**

THIS PROJECT SHALL COMPLY W/ THE MIN. REQ'TS. OF THE CALIFORNIA FIRE CODE (CURRENT EDITION) & LOCAL AMENDM'TS.

**IMPERVIOUS AREA TABLE (See Shts. '2' & '1b')**

STRUCTURE ADDITION- Living:	317 S.F.
STRUCTURE ADDITION- Garage:	0 S.F.
COVERED LOGGIA ADDITION:	0 S.F.
HARDSCAPE ADDITION:	40 S.F.
<b>TOTAL AREA:</b>	<b>357 S.F.</b>

**PROPOSED GRADING**

CUT:	10 YD.
FILL:	10 YD.

NOTE: ANY DIRT MOVEMENT TO BE BY SMALL EQUIPMENT FOR FLATWORK & DRAINAGE PURPOSES.

**STORYPOLE KEY**



**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**PROPOSED SITE PLAN**

SC: 1/10" = 1'-0"



**LANDSCAPE AREA SUMMARY**

	EXIST'G. To Remain	PROP.
NON-LANDSCAPE AREA:	2675 S.F.	2992 S.F. (+317 S.F.)
NON-IRRIGATED LANDSCAPE:	0 S.F.	0 S.F.
IRRIGATED LANDSCAPE:	3447 S.F.	3090 S.F. (-357 S.F.)
WATER FEATURES:	0 S.F.	0 S.F.
DECORATIVE HARDSCAPE:	1695 S.F.	1735 S.F. (+40 S.F.)
<b>TOTAL LOT AREA:</b>	<b>7817 S.F.</b>	<b>7817 S.F.</b>

**AREA OF WORK**

IRRIGATED LANDSCAPE:	-367 S.F.
WATER FEATURES:	0 S.F.
DECORATIVE HARDSCAPE:	40 S.F.
<b>AGGREGATE LANDSCAPE AREA:</b>	<b>-317 S.F.</b>

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE AND ALL APPLICABLE CITY OF SOLANA BEACH CODES AND ORDINANCES AND STATE COASTAL REQ'TS.

NOTE: CONTRACTOR TO FIELD VERIFY WITH LICENSED SURVEYOR/CIVIL ENGINEER ALL PROPERTY LINES, ELEVATIONS & EASEMENTS. ARCHITECT MAKES NO REPRESENTATION FOR ACCURACY.

**studio one architects**

2456 La Costa Avenue  
Carlsbad, Calif.  
92009  
Tel: 760.466.8101  
Fax: 760.635.3619

Douglas Fess  
Principal Architect

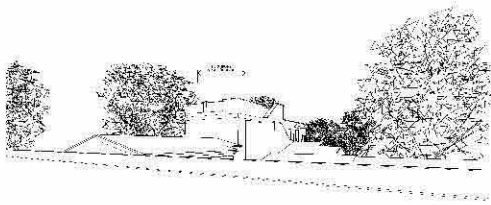


DATE: 01 JAN 18 SUB PLAN G SUB 1  
21 JUN 18 SUB PLAN G REVISION 1  
15 OCT 19 SUB PLAN G REVISION 2  
10 DEC 19 SUB PLAN G REVISION 3  
14 FEB 20 SUB PLAN G REVISION 4

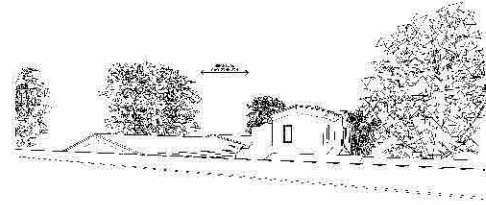
**PROPOSED SITE PLAN / NOTES & SITE SECTION**

SCALE:

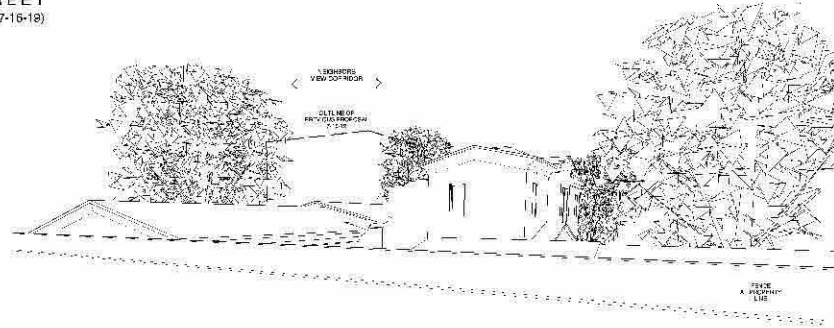




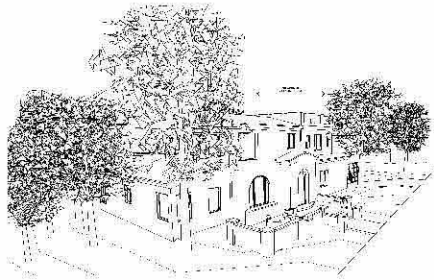
PREVIOUS VIEW FROM  
211 OCEAN STREET  
(Similar to Photo by Neighbor 7-16-19)



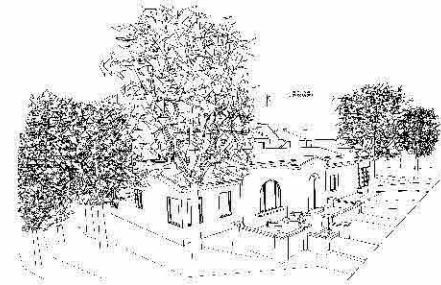
PROPOSED VIEW FROM  
211 OCEAN STREET



COMBINED VIEW FROM  
211 OCEAN STREET



PREVIOUS VIEW FROM  
OCEAN STREET / ACACIAS AVENUE



PROPOSED VIEW FROM  
OCEAN STREET / ACACIAS AVENUE



COMBINED VIEW FROM  
OCEAN STREET / ACACIAS AVENUE

**ARCHITECT'S NOTE**

THESE PROJECTIONS ARE INTENDED TO  
BE AS ACCURATE AS POSSIBLE WITH  
AVAILABLE INFORMATION.

**EXTERIOR VIEWS**

**CAROME REMODEL**

201 OCEAN STREET  
SOLANA BEACH CALIF.

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one  
architects**

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Carlsbad, Calif.  
92009  
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Fax: 760.635.3618

**Douglas Fees**  
Principal Architect

architects • planning • landscape • interior

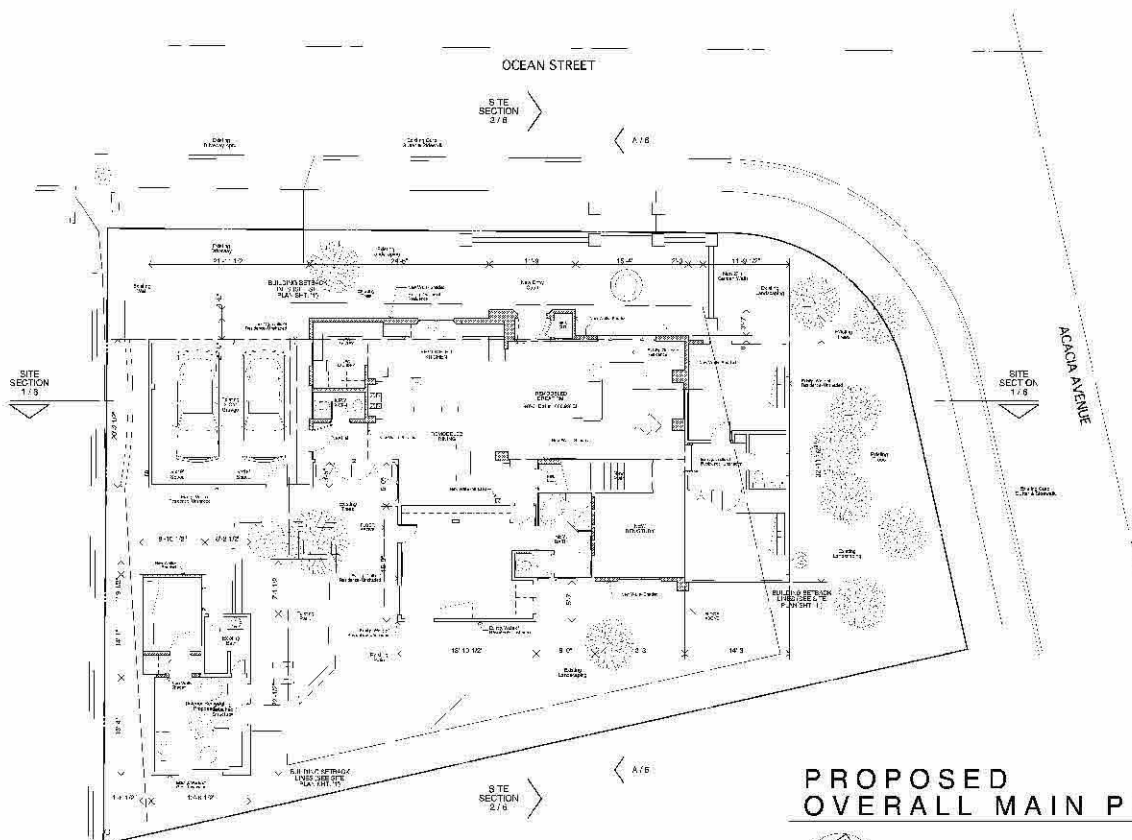


DATE: 31 JAN. 14 S.B. PLANG. SUB'L  
21 JUNE '16 S.B. PLANG. RESUB'L 1  
10 DEC. 18 S.B. PLANG. RESUB'L 2  
18 OCT. 19 S.B. PLANG. RESUB'L 3

PREVIOUS &  
PROPOSED VIEWS

SCALE:

1b



**PROPOSED OVERALL MAIN PLAN**

SC: 1/8" = 1'-0"

EXIST. LIVING- To Remain	1855 S.F.
EXIST. GARAGE- To Remain	445 S.F.
EXIST. DET. STRUCT.- To Remain	360 S.F.
PROP. LIVING	+1052 S.F.
PROP. GARAGE	0 S.F.
(GAR. F.A.R. DEDUCTION	-400 S.F.)

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

**WALL LEGEND**

	EXISTING WALL
	EXISTING WALL TO BE REMOVED
	PROPOSED WALL

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**SOLANA BEACH FIRE DEPT. STANDARD CONDITIONS**

- 1. ADDRESS NUMBERS; STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new & existing buildings & at appropriate additional locations as to be plainly visible & legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, & shall meet the following minimum standards as to size: 4" h. with a 1/2" stroke width for residential buildings, 12" h. with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshall, such as rear access doors, building corners, & entrances to commercial centers.
- 2. CLASS 'A' ROOF:** All structures shall be provided with a Class 'A' Roof covering to the satisfaction of the Solana Beach Fire Dept.
- 3. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE & TWO FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed & installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.

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Douglas Fees  
Principal Architect

architects • planners • landscapers • interior



DATE: 31 JAN '14 S.B. PLANG. SUBPL  
21 JUNE '16 S.B. PLANG. RESUB 1  
10 DEC 18 S.B. PLANG. RESUB 2  
18 OCT. 19 S.B. PLANG. RESUB 3

**PROPOSED OVERALL MAIN PLAN**

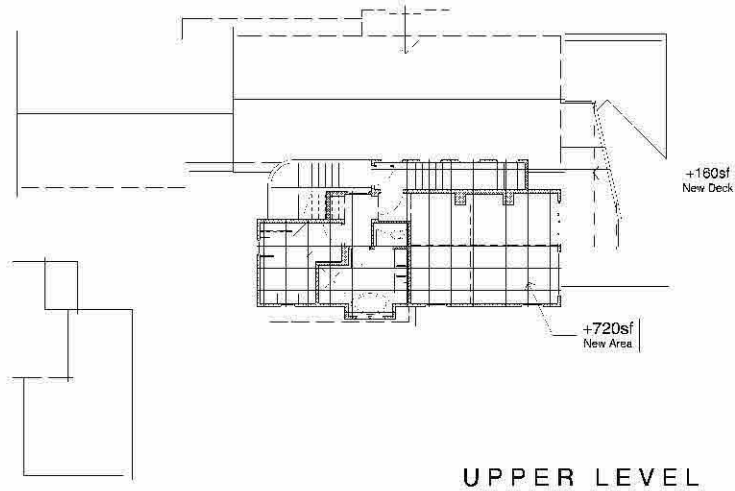
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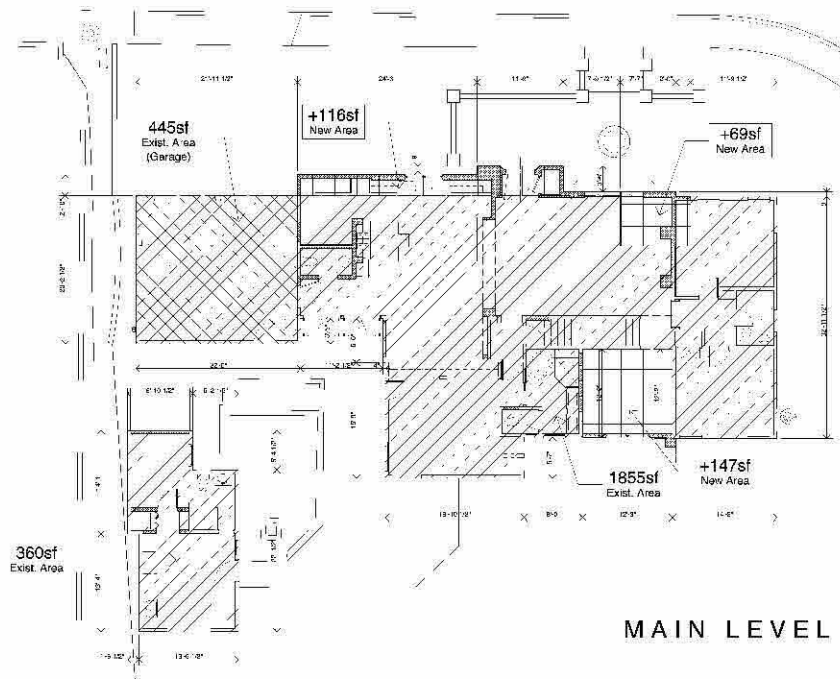




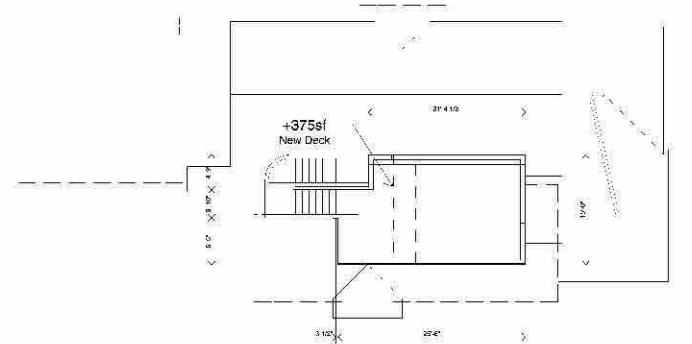




UPPER LEVEL



MAIN LEVEL



ROOF LEVEL

PROPOSED FLOOR AREA PLANS

SC: 1/8" = 1'-0"



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

FLOOR AREA

EXIST. MAIN LEVEL- To Remain:	1855 S.F.
EXIST. UPPER LEVEL- To Remain:	0 S.F.
<b>TOTAL EXISTING LIVING AREA:</b>	<b>1855 S.F.</b>
EXIS. GARAGE- To Remain:	445 S.F.
EXIST. DET. STRUCT.- To Remain:	360 S.F.
PROP. MAIN LIVING ADD'N.:	+332 S.F.
PROP. UPPER LIVING ADD'N.:	+720 S.F.
<b>GROSS LIVING ADD'N. AREA:</b>	<b>+1052 S.F.</b>
<b>GROSS TOTAL LIVING AREA:</b>	<b>3267 S.F.</b>
PROP. GARAGE ADD'N.:	+0 S.F.
<b>F.A.R. AREA (Gross -400sf Gar.):</b>	<b>3312 S.F.</b>
PROP. UNCOV. DECK ADD'N.:	+535 S.F.

WALL LEGEND

- EXISTING WALL
- - - EXISTING WALL TO BE REMOVED
- PROPOSED WALL

DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

CAROME REMODEL

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92009  
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Douglas Fees  
Principal Architect

architect • planning • landscape • interior



DATE: 31 JAN '14 S.B. PLANG. SUB'L  
21 JUNE '16 S.B. PLANG. RESUB'L 1  
10 DEC '18 S.B. PLANG. RESUB'L 2  
18 OCT. '19 S.B. PLANG. RESUB'L 3

PROPOSED FLOOR AREA PLANS

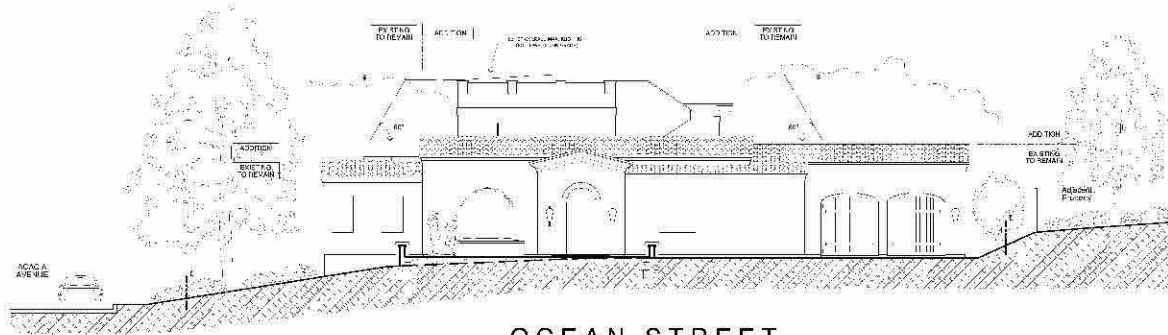
SCALE:

4a



**EXTERIOR MATERIALS :**

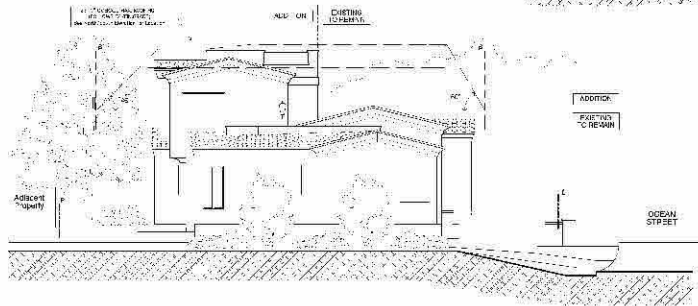
- ROOF - TWO-PIECE CLAY TILE W/BARREL TILE HIPS & RIDGES W/ 23% BOOSTING BY U.S. TILE, "OLD WORLD BLEND"(C80 4300)
- WINDOWS/ DOORS - ALUM. CLAD EXTERIOR, STD. D. FR. INTERIOR, W/DOORS & FRENCH DR. BY "SOUTHLAND", OR SIM. (DIAL PER SCHEDULE)
- STUCCO WALLS/EAVES - INTEGRAL-COLOR "SAA" A BARDANA FINISH STUCCO WALL FINISH & TRIM DETAIL AS SHOWN ON ELEVATIONS
- GUTTERS/DWNSPOUTS - P/C. W/IL. HALF ROUND GUTTERS W/ P/D. M. L. DOWNSPOUTS TO "I.C. TO SUBSURFACE DRAINAGE LINES
- TRELLIS - STAINED D. FR. WOOD TRELLIS/BEAMS W/ SANDBLASTED FINISH AS SHOWN ON ELEVATIONS
- CHIMNEYS - STUCCO FINISH (MATCH RESIDENCE) W/C CLAY TILE ROOFS AS SHOWN ON ELEVATIONS/PROVIDE SPARK ARRESTORS PER CODE
- WINDOW SILLS - STUCCO-SHAPED DEEPEDED SILLS W/STUCCO LEDGE-TYP.
- GARAGE DOORS - STD. W/D. FINISH 4 PIECE SECTIONAL GARAGE DOOR(S) W/PTD. W/40UG-HI IRON HARDWARE (FLR LLLY'S.)
- EXTERIOR DOORS - STAINED D. FR. RECESSED PANEL EXTERIOR DOOR(S) W/ W/40UG-HI IRON HARDWARE AS SHOWN ON ELEVATIONS



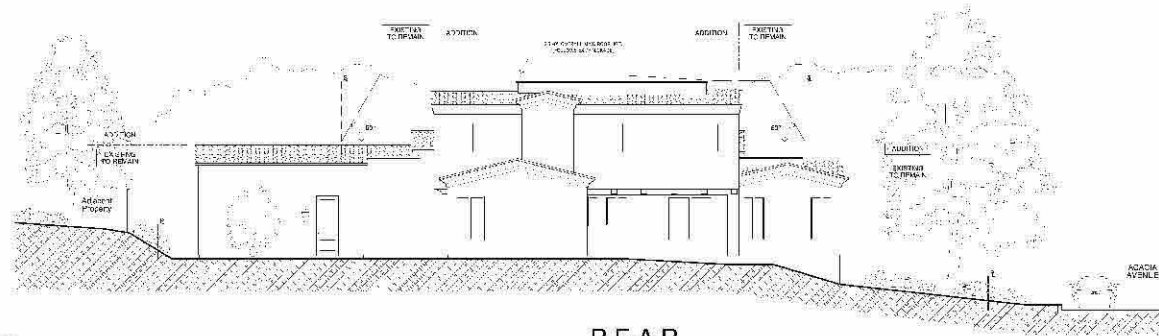
**OCEAN STREET  
NORTH VIEW**

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)



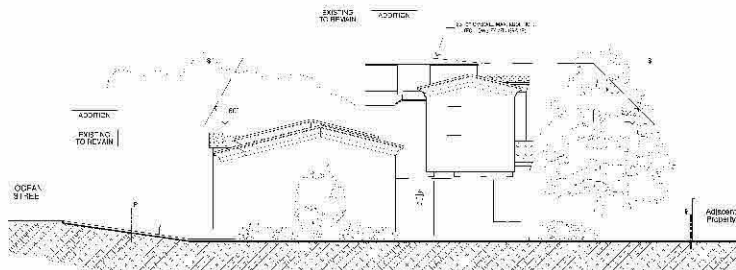
**ACACIA AVENUE  
EAST VIEW**



**REAR  
SOUTH VIEW**

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.



**RIGHT SIDE  
WEST VIEW**

**DESIGN ELEVATIONS**

SC: 1/8" = 1'-0"

**CAROME REMODEL**

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SOLANA BEACH CALIF.

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Douglas Fees  
Principal Architect

architect • planning • landscape • interiors



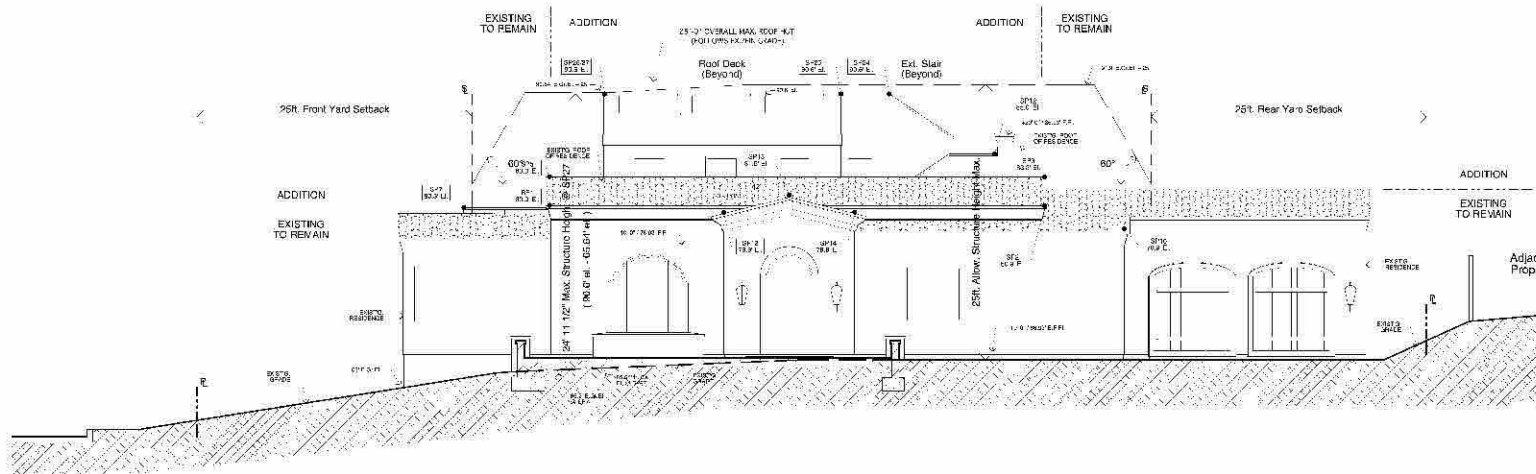
I hereby certify that I am a duly licensed architect in the State of California, and that I am the author of the design shown on the above drawings, or that I am a duly licensed architect in the State of California, and that I am the author of the design shown on the above drawings, or that I am a duly licensed architect in the State of California, and that I am the author of the design shown on the above drawings.

- 31 JAN '18 NIS PLAN G, N.S.L.
- 27 JUNE '18 S.B. PLAN G, RESULT 1
- 15 JUL '18 S.B. PLAN G, RESULT 2
- 15 OCT '18 S.B. PLAN G, RESULT 3
- 10 DEC '18 S.B. PLAN G, RESULT 4

**DESIGN  
ELEVATIONS**

SCALE:

5



OCEAN STREET  
NORTH VIEW

- 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**DIMENSIONAL NOTE**

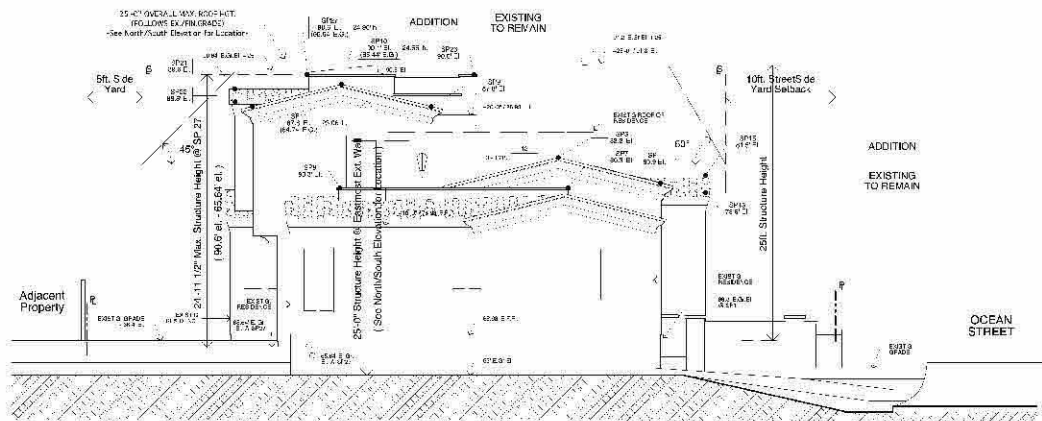
ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

**STORYPOLE KEY**

24.36' h.	POLE SP27	<	STORYPOLE
	90.6 EL.	<	TOP OF POLE
POLE HGT. ABV. GRADE BELOW	(66.64 E.G.)	<	EX. GR. BELOW

**EXTERIOR MATERIALS :**

- ROOF - TWO-PIECE CLAY TILE W/BARREL TILE HIPS & RIDGES W/ 25% BOOTING BY U. S. TILE, "OLD WORLD" BLEND (IC30 4300)
- WINDOWS/DOORS - ALUM. CLAD EXTERIOR; STD. D. FIR INTERIOR, WINDOWS & FRENCH-DRS. BY "SOUTHLAND", CR SIM. (DUAL PER SCHEDULE)
- STUCCO WALLS/EAVES - INTEGRAL-COLOR "SANTA BARBARA" FINISH STUCCO WALL FISH & TRIM DETAIL AS SHOWN ON ELEVATION'S
- GUTTERS/DWNSPTS. - PTD. MTL. HALF-ROUND GUTTERS W/ PTD. MTL. DOWNSPCTS TO THE TO SUBSURFACE DRAINAGE LINES
- TRELLIS - STAINED D. FIR WOOD TRELLIS/BEAMS W/ SANDBLASTED FINISH AS SHOWN ON ELEVATIONS
- CHIMNEYS - STUCCO FINISH (MATCH RESIDENCE) W/CLAY TILE ROOFS AS SHOWN ON ELEVATIONS/PROVIDE SPARK ARRESTORS PER CODE
- WINDOW SILLS - STUCCO-SHAPED DEEPEMED SILLS W/STUCCO LEDGE- TYP.
- GARAGE DOORS - STD. W/D. FINISH 4-PIECE SECTIONAL GARAGE DOOR(S) W/PTD. WROUGHT IRON V HARDWARE (PPR F.P.V.'S)
- EXTERIOR DOORS - STAINED D. FIR RECESSED PANEL EXTERIOR DOOR(S) W/ WROUGHT IRON V HARDWARE AS SHOWN ON ELEVATIONS



ACACIA AVENUE  
EAST VIEW

PROPOSED ELEVATIONS

SC: 3/16" = 1'-0"

**CAROME REMODEL**  
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SOLANA BEACH CALIF.

**studio one architects**

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Tel: 760.486.8101  
Fax: 760.635.3619

Douglas Fess  
Principal Architect

architect • planning • landscape • interiors

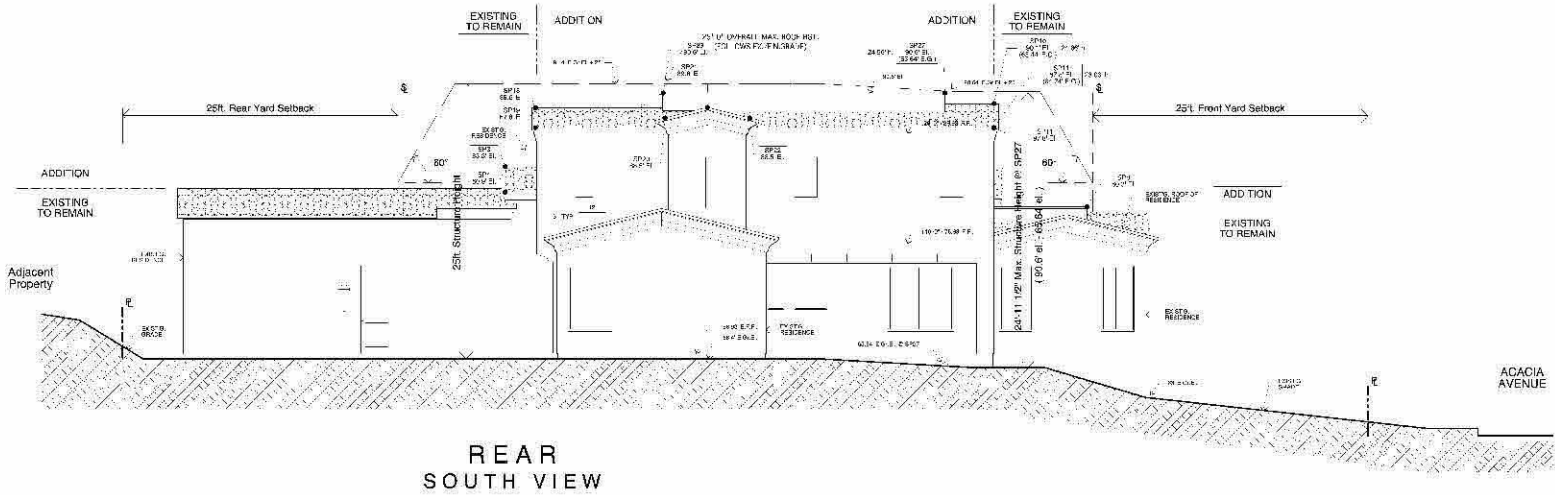


DATE: 01.14.15  
NO. PLAN: G\_NLSL  
2. JUNE 15 S.B. PLAND. RESUBM. 1  
15. JUNE 15 S.B. PLAND. RESUBM. 2  
15. OCT. 15 S.B. PLAND. RESUBM. 3  
15. DEC. 15 S.B. PLAND. RESUBM. 4  
14. FEB. 20 S. CHARTER UPGRADE

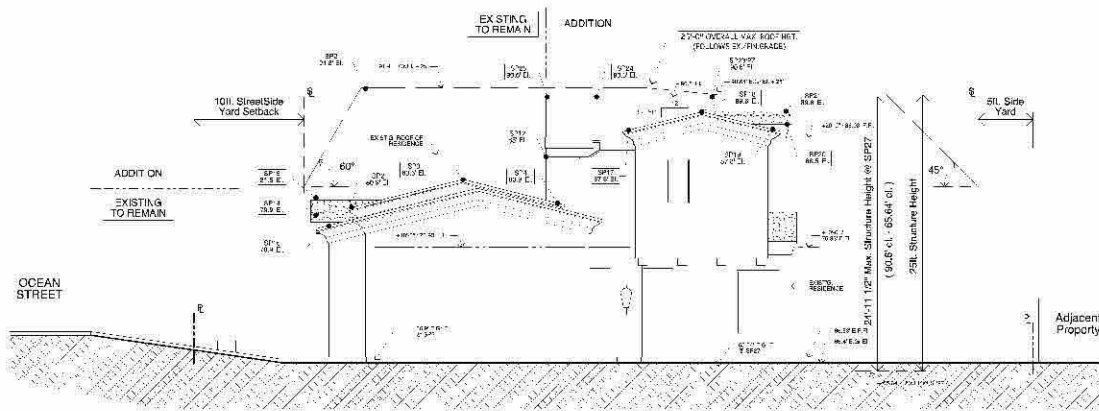
PROPOSED  
ELEVATIONS 1

SCALE:

5a



REAR SOUTH VIEW



RIGHT SIDE WEST VIEW

- 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**DIMENSIONAL NOTE**  
ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

**STORYPOLE KEY**

24.96' h.	POLE SP27	← STORYPOLE
	90.6 EI.	← TOP OF POLE
	POLE HGT. ABV. GRADE BELOW	← EX. GR. BELOW
	(66.64 E.G.)	

- EXTERIOR MATERIALS :**
- ROOF - TWO-PIECE CLAY TILE W/BARREL TILE HIPS & RIDGES W/ 25% BOOSTING BY U. S. TILE, "OLD WORLD" BLEND (C30 4300)
  - WINDOWS/DOORS - ALUM. CLAD EXTERIOR STD. D. FIR INTERIOR, WINDOWS & FRENCH-DRS. BY "SOUTHLAND", CR SIM. (DUAL PER SCHEDULE)
  - STUCCO - INTEGRAL-COLOR "SANTA BARBARA" FINISH STUCCO WALL FISH & TRIM DETAIL AS SHOWN ON ELEVATION
  - GUTTERS/DWNSPTS. - PTD. MTL. 1/2" HALF-ROUND GUTTERS W/ PTD. MTL. DOWNSPCTS TO THE TO SUBSURFACE DRAINAGE LINES
  - TRELLIS - STAINED D. F.R. WOOD TRELLIS/BEAMS W/ SANDBLASTED FINISH AS SHOWN ON ELEVATIONS
  - CHIMNEYS - STUCCO FINISH (MATCH RESIDENCE) W/CLAY TILE ROOFS AS SHOWN ON ELEVATIONS (PROVIDE SPARK ARRESTORS PER CODE)
  - WINDOW SILLS - STUCCO-SHAPED DEEPENED SILLS W/STUCCO LEDGE - TYP.
  - GARAGE DOORS - STD. WD. FINISH 4-PIECE SECTIONAL GARAGE DOOR(S) W/PTD. WROUGHT IRON V. HARDWARE (PPR F.P.V.'S)
  - EXTERIOR DOORS - STAINED D. FIR RECESSED PANEL EXTERIOR DOOR(S) W/ WROUGHT IRON V. HARDWARE AS SHOWN ON ELEVATIONS

PROPOSED ELEVATIONS  
SC: 3/16" = 1'-0"

CAROME REMODEL  
201 OCEAN STREET  
SOLANA BEACH CALIF.

studio one architects

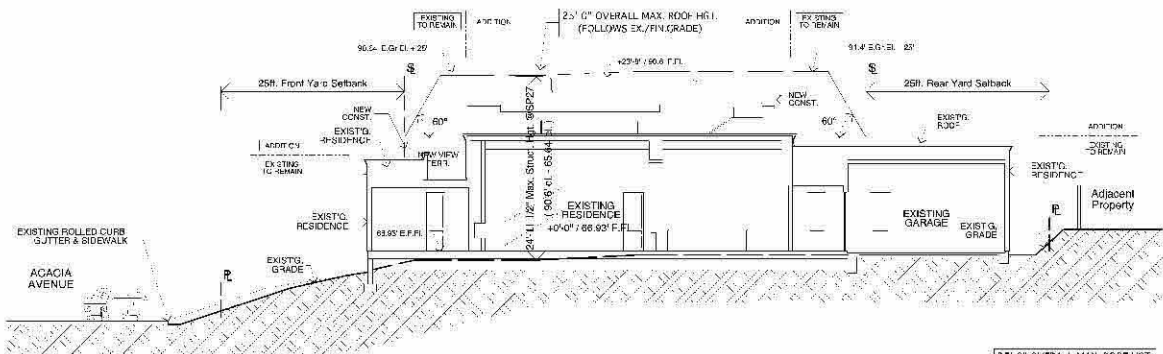
2456 La Costa Avenue  
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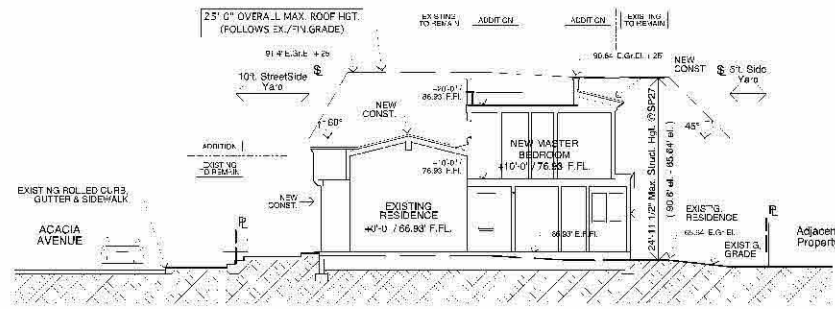
DATE: 31 JAN 15 NIS PLAN G NLSL  
21 JUN 15 S-B PLAN G RESUB 1  
15 JUL 15 S-B PLAN G RESUB 2  
15 OCT 15 S-B PLAN G RESUB 3  
15 DEC 15 S-B PLAN G RESUB 4  
14 FEB 20 S-COMPILE UPDATE

PROPOSED ELEVATIONS 2

5b



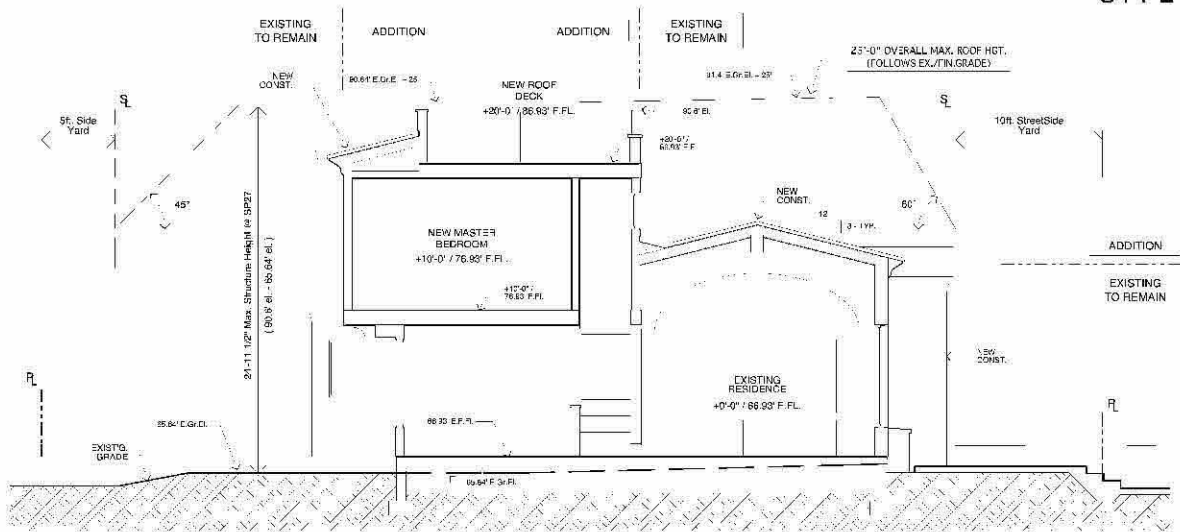
SITE SECTION 1



SITE SECTION 2

SITE SECTIONS

SC: 1/8" = 1'-0"



SECTION A

- 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE  
EXTERIOR FINISHED WALL SURFACES.

**STORYPOLE KEY**

24.96' h.	POLE SP27	← STORYPOLE
	90.6' EL.	← TOP OF POI =
	86.64' E.G.	← EX. GR. BELOW

BUILDING SECTION

SC: 1/4" = 1'-0"

**CAROME REMODEL**  
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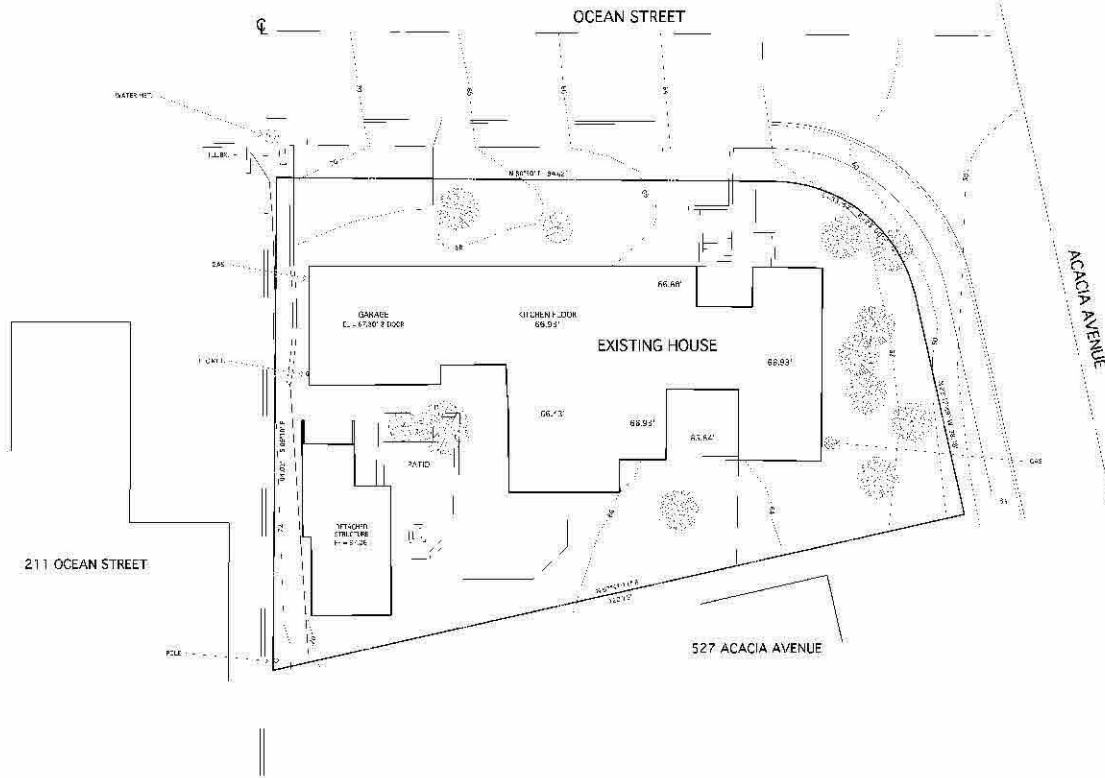
DATE: 01.11.18  
18 JAN 18 SUB PLAN G, S, S.L.  
19 JAN 18 SUB PLAN G, RESULT 1  
19 DEC 18 SUB PLAN G, RESULT 2  
19 DEC 18 SUB PLAN G, RESULT 3  
19 DEC 18 SUB PLAN G, RESULT 4  
14 FEB 20 STORYPOLE UPDATE

**PROPOSED SITE  
& BLDG. SECTIONS**

SCALE:



SURVEYOR:  
 SPENCER-LUEY SURVEYING  
 TIMOTHY LUEY  
 250 LINDA MAR DRIVE  
 SOLANA BCH., CALIF. 92075  
 TEL: 858.792.9242  
 FAX: 858.792.9242



**DIMENSIONAL NOTE**  
 ALL DIMENSIONS ARE MEASURED FROM THE  
 EXTERIOR FINISHED WALL SURFACES.

## EXISTING SITE PLAN

SC: 1/10" = 1'-0"



MAIN LIVING	1855 S.F.
GARAGE	445 S.F.
DET. STRUCTURE	375 S.F.
LOT AREA	7817 S.F.

+ 0 DATUM EQUAL TO:  
 66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
 ARE BASED ON MSL (MEAN SEA LEVEL)

# CAROME REMODEL

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 SOLANA BEACH CALIF.

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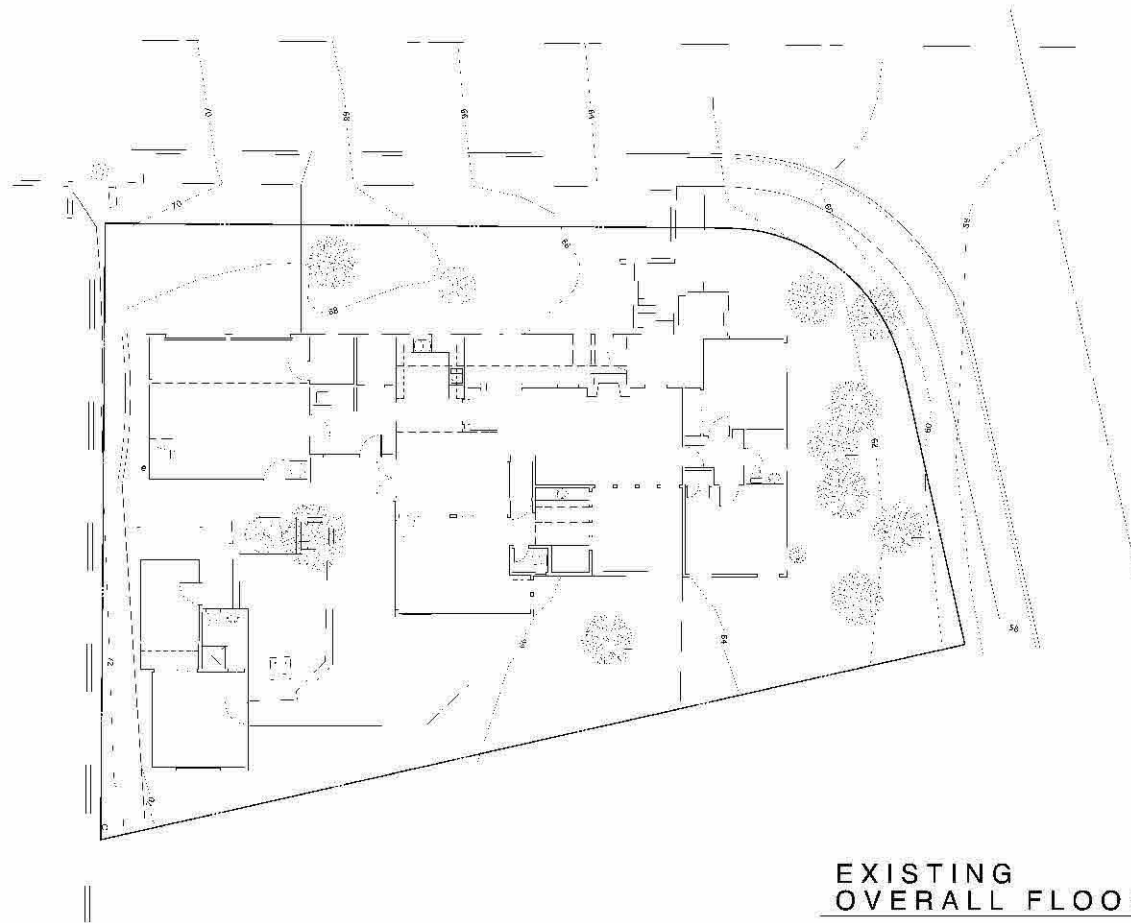


DATE: 31 JAN '16 S.B. PLANG. SUBL.  
 21 JUNE '16 S.B. PLANG. RESUB'L 1  
 10 DEC '18 S.B. PLANG. RESUB'L 2  
 18 OCT. 19 S.B. PLANG. RESUB'L 3

EXISTING  
 SITE PLAN

SCALE:

EX. 1



**WALL LEGEND**

- EXISTING WALL
- - - EXISTING WALL TO BE REMOVED
- PROPOSED WALL

**DIMENSIONAL NOTE**

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**EXISTING OVERALL FLOOR PLAN**

SC: 1/8" = 1'-0"



LIVING	1855 S.F.
GARAGE	445 S.F.
DET. STRUCTURE	375 S.F.
LOT SIZE	7817 S.F.

+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

**CAROME REMODEL**

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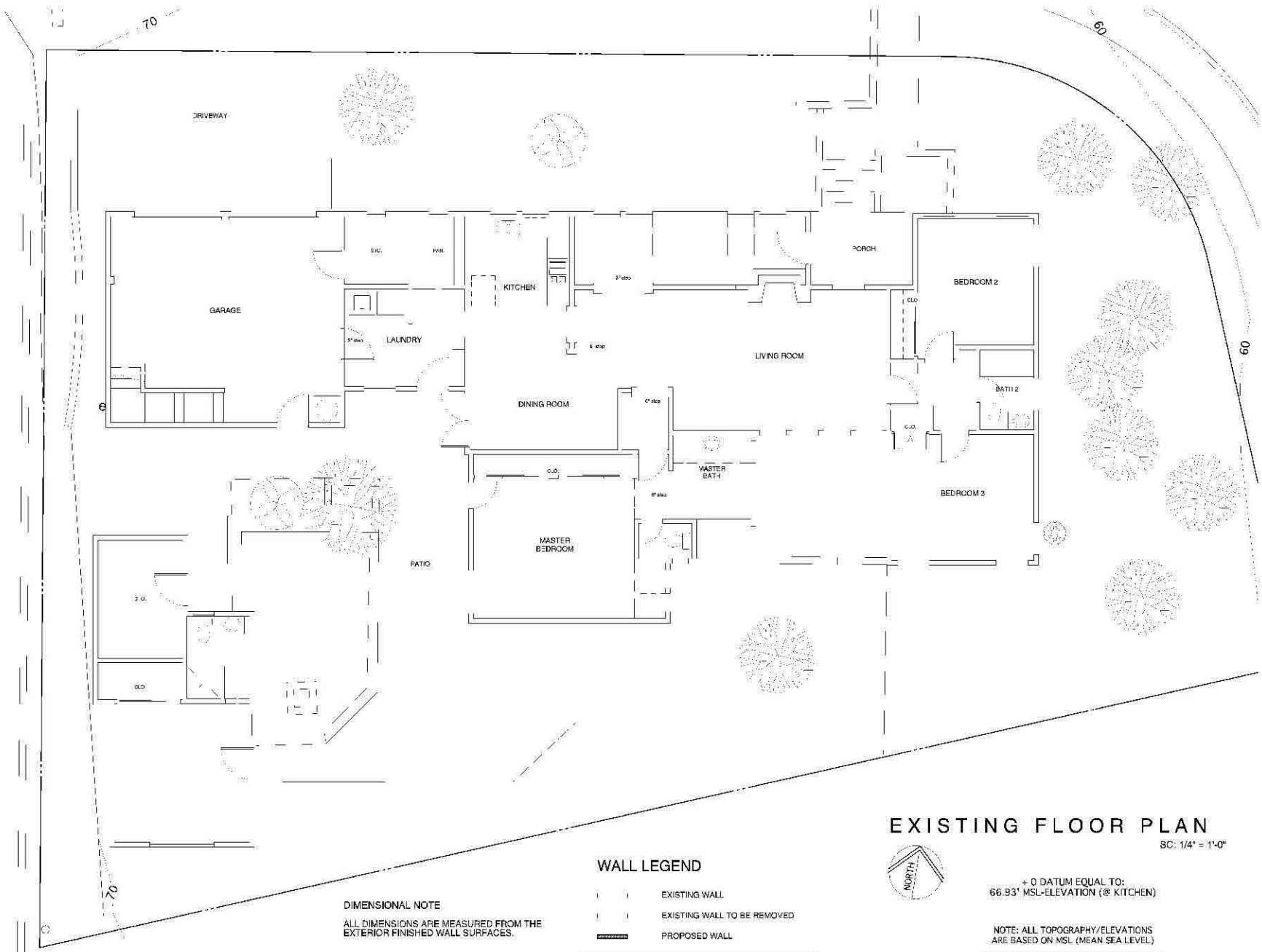


DATE: 31 JAN '14 S.B. PLANG. SUBL.  
21 JUNE '16 S.B. PLANG. RESUB'L 1  
10 DEC. 18 S.B. PLANG. RESUB'L 2  
18 OCT. 19 S.B. PLANG. RESUB'L 3

**EXISTING OVERALL FLOOR PLAN**

SCALE:

EX.2



**DIMENSIONAL NOTE**  
 ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

**WALL LEGEND**

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- PROPOSED WALL

**EXISTING FLOOR PLAN**

SC: 1/4" = 1'-0"



+ 0 DATUM EQUAL TO:  
 66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS ARE BASED ON MSL (MEAN SEA LEVEL)

**CAROME REMODEL**

201 OCEAN STREET  
 SOLANA BEACH CALIF.

**studio one architects**

2456 La Costa Avenue  
 Carlsbad, Calif. 92009  
 Tel: 760 456 8101  
 Fax: 760 635 3618

**Douglas Fees**  
 Principal Architect

architects • planning • landscape • interior

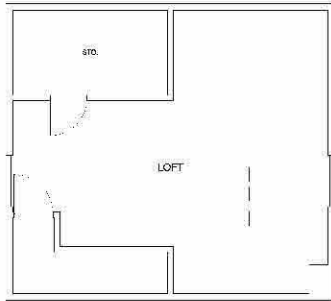


DATE: 31 JAN '14 S.B. PLANG. SUBP. 1  
 21 JUNE '16 S.B. PLANG. RESUBP. 1  
 10 DEC. 18 S.B. PLANG. RESUBP. 2  
 18 OCT. 19 S.B. PLANG. RESUBP. 3

**EXISTING FLOOR PLAN**

SCALE:




EX.2a



### EXISTING UPPER FLOOR PLAN

SC: 1/4" = 1'-0"

#### WALL LEGEND

-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED
-  PROPOSED WALL

#### DIMENSIONAL NOTE

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR FINISHED WALL SURFACES.

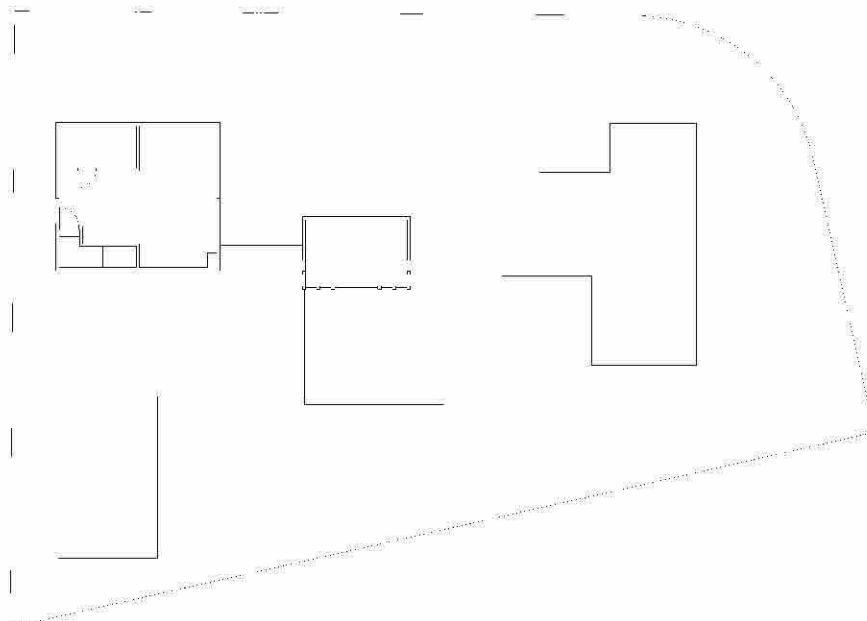
### EXISTING OVERALL UPPER PLAN

SC: 1/8" = 1'-0"



+ 0 DATUM EQUAL TO:  
66.93' MSL-ELEVATION (@ KITCHEN)

NOTE: ALL TOPOGRAPHY/ELEVATIONS  
ARE BASED ON MSL (MEAN SEA LEVEL)



# CAROME REMODEL

201 OCEAN STREET  
SOLANA BEACH CALIF.

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Fax: 760.635.3618

**Douglas Fess**  
Principal Architect

architects • planning • landscape • interior



It shall be the responsibility of the architect to ensure that all drawings are prepared in accordance with the requirements of the California Building Code and the California State Board of Architecture. The architect shall be responsible for the accuracy and completeness of the drawings and shall not be held liable for any errors or omissions.

DATE: 31 JAN '14 S.B. PLANG. SUBL  
21 JUNE '16 S.B. PLANG. RESUB'L 1  
13 DEC '18 S.B. PLANG. RESUB'L 2  
18 OCT. 19 S.B. PLANG. RESUB'L 3

### EXISTING UPPER FLOOR PLANS

SCALE:

EX.3



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**CITY OF SOLANA BEACH**[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)635 SOUTH HIGHWAY 101 • SOLANA BEACH, CA 92075 • (858) 720-2400 • Fax (858) 720-2455

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**CITY OF SOLANA BEACH****View Assessment Commission Notice of Recommendation****Tuesday, July 16, 2019 - 6:00 P.M. Regular Mtg.**

**PROJECT CASE NO:** DRP/SDP 17-18-02 Carome Residence

**PROJECT LOCATION:** 201 Ocean Street, Solana Beach

**APPLICANT NAME:** Asli Carome

**APPLCIANT CONTACT:** Douglas M. Fess

**PRESENT VAC MEMBERS:** Paul Bishop, Molly Fleming, Pat Coad, Matthew Cohen, and Jill Morris,

**STAFF MEMBERS:** Joseph Lim, Community Development Director, Corey Andrews, Principal Planner, Elizabeth Mitchell, Deputy City Attorney, Mikki Eggum, Administrative Assistant

**ABSENT:** Gary Garber, Dean Pasko

**ASSESSMENT FILED BY:**

Name: John Ford Blakely  
Address: 211 Ocean Street

**PROJECT DESCRIPTION:**

The Applicant is requesting the approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to remodel the existing residence and construct a new two-story addition, including a roof top deck and a walk out deck off the east side of the proposed addition. In addition, the Applicant is proposing to convert an existing detached accessory structure to an accessory dwelling unit (ADU). The 7,817 square foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The project would include grading in the amounts of 10 yd<sup>3</sup> of cut for footings and 10 yd<sup>3</sup> of removal and recompaction.

Existing First Floor:	1,855 SF
Existing Garage:	445 SF
Existing Detached Structure/ADU:	375 SF
Proposed First Floor Addition:	185 SF
Proposed Second Floor Addition:	855 SF
Subtotal:	3,715 SF

Garage F.A.R. Deduction:	- 400 SF
<b>Total Floor Area Proposed:</b>	<b>3,315 SF</b>
(Maximum Floor Area Allowed:	3,318 SF)

The maximum building height is proposed at 25 feet above the existing grade with the highest pole at 91.3 feet above mean sea level (MSL).

**DATE OF VAC MEETING:**

The project was heard at the July 16, 2019 meeting. After discussion between the Commission, the Applicants and the Claimants, Matthew Cohen made a motion to recommend denial of the project, seconded by Pat Coad. Motion passed 3/2/2 (Cohen, Coad, and Morris: Yes/ Fleming and Bishop: No / Garber and Pasco: Absent).

**VAC RECOMMENDATION:**

At the July 16, 2019 meeting, the VAC members made a recommendation to deny the project.

**FINDINGS:**

1. The Applicants for the Structure Development Permit have made a reasonable attempt to resolve the view impairment issues with the Claimants requesting view assessment. Written evidence of a good faith voluntary effort to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve view impairment issues.

**Written accounts and oral testimony at the public meeting showed that there had been communication between the Applicants and the Claimants.**

2. The proposed structure does not significantly impair any view from public property (parks, major thoroughfares, bikeways, walkways, equestrian trails), which has been identified in the City's General Plan or City designated viewing areas.

**The subject property is not located within designated public viewing areas; therefore, the proposed structure does not significantly impair views from public property.**

3. The proposed structure is not designed and situated in such a manner as to minimize impairment of views.

**The VAC members present at the meeting found that the proposed residence was not designed or situated to minimize impairment of views. The VAC members found that the proposed addition would block the only view from the Blakely Residence**

4. There is significant cumulative view impairment caused by granting the application as proposed.



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Request for a Development Review Permit Time Extension to Repair/Replace Less than 50% of an Existing Private Beach Access Stairway at Seascape Shores Condominiums located at 325 South Sierra Avenue, Solana Beach. Case No: TE20-001; Applicant: Vince Amela, President of the Seascape Shores Condominiums HOA, Resolution 2020-121**

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## **BACKGROUND:**

The Applicant, Seascape Shores, is requesting a 12-month time extension to the Development Review Permit (DRP) originally approved on May 23, 2018 for the repair, maintenance and reconstruction of less than 50% of the existing private beach access staircase at 325 S. Sierra Avenue. The original project design did not receive approval from the California Coastal Commission (CCC) prior to the DRP expiration date. The Applicant submitted a timely request for a Time Extension with the City of Solana Beach 60 days prior to the expiration date of May 23, 2020. The permit expiration is considered to be on hold until the City Council is able to make a determination on the project.

Since the original hearing in May of 2018, the Applicant has reduced the scope of the project. After discussions with the CCC, the Applicant was able to determine a scope of work that would allow for repairs to be made while still maintaining the private use of the staircase.

The issue before the Council is to consider adoption of Resolution 2020-121 (Attachment 1) approving the Applicant's request to formally extend the project approvals as provided under the Solana Beach Municipal Code (SBMC) 17.72.110 for 12 months.

COUNCIL ACTION:

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**AGENDA ITEM B.2.**

## **DISCUSSION:**

The project site is the Seascape Shores Condominium community. This community contains 51 residences and was constructed in approximately 1972. Beach access from this residential community extends from within the Seascape Shores complex, over the bluff edge, and down a 5-foot-wide elevated stairway to the beach. The existing stairway consists of timber treads/stairs supported on eight landings. However, the lowest landing foundation supports and set of treads/stairs were destroyed by winter storms in 2016-17 and are proposed to be replaced by the project as allowed by the City's Land Use Plan (LUP) and supported by Coastal Act §30610 (replacement of structures destroyed by disaster).

In 2018, the City Council approved the reconstruction of the lower 85 linear feet of an existing 214 foot-long beach access stairway down to the lowest landing and the installation of a concrete stairway to shore platform. The total area of the staircase to be repaired/replaced consists of 472.4 square feet (312.7 sf + 159.7 sf) which represented 40% of the existing stairway and a replacement of 26.5% of the structural components for maintenance. The structural components were to include the stringers, treads, and handrails south of landing 5 (but did not include landing 5) as well as the replacement of the existing timber pilings with 48-inch diameter concrete caissons with fluted tops. The project also included the reconstruction of landings 6 and 7 and the replacement of landing 8. The previous City Council agenda packet has been provided for reference in Attachment 2.

After the Applicant received City Council approval, they submitted the project to the CCC for approval. The CCC did not approve the project because it was considered to be an improvement to a private beach access. The CCC did indicate that they would support the reconstruction in kind with a fiberglass wrap to slow storm related damage. The Applicant has submitted a reduced project scope for "like for like" reconstruction to the CCC and the project is anticipated to be heard at the August CCC meeting.

The reduced scope of work would include the new construction of the staircase framing from the 7<sup>th</sup> landing down to the 8<sup>th</sup> landing using the same construction materials as the existing staircase. The existing timber pilings would be maintained and fibwrap (product name) would be applied to the framing of the entire staircase. Plans have been provided in Attachment 3.

With this Time Extension request, the Applicant is requesting that the City Council find the reduced scope of work in substantial conformance with the original project approval of 2018.

The approval under Resolution 2018-048 was set to expire on May 23, 2020 (Attachment 2). The Applicant contacted the City prior to 60 days before the expiration date, however, the City was closed due to the COVID-19 pandemic. Therefore, Staff acknowledged this communication as initiating the extension process and the Applicant submitted a formal application once the City was accepting new applications again. In accordance with



SBMC Section 17.72.110, the Applicant applied for the extension prior to March 23, 2020. SBMC Section 17.72.110(B)(1) indicates that:

*One or more (but not more than a total of four) extensions may be granted not exceeding a cumulative total of 24 months after the date the original approval of the project expires. The duration of an extension shall be in an increment of 30 days. The minimum duration of an extension shall be six months. The maximum duration of an extension shall not be more than 12 months. The duration of an extension shall be determined at the discretion of the issuing authority.*

The Applicant is requesting to extend the expiration by 12 months to May 23, 2021. The extension would allow the Applicant sufficient time to meet the conditions of the approval, including obtaining authorization from the CCC, and obtain the associated grading and building permits required by the City. The project extension application completed by the Applicant's representative, which provides the request for a DRP extension as well as the Applicant's proposed timeline summarizing how they will use the 12-month extension period to obtain the required permits and commence construction, is included in Attachment 4.

SBMC Section 17.72.110 establishes that Council action is required to review and act on a request for an extension of a DRP when Council was the original approving body. The Council may extend the approval of a project if they are able to make the seven (7) required findings, which are as follows:

- 1. The applicant has presented facts which establish that the applicant has timely and diligently pursued issuance of a building permit during the 24 month period following the issuance of the original approval for the project (or the different period set forth as a condition of approval of the project) or during the then current extension period;*
- 2. Circumstances beyond the applicant's control have intervened and prevented the applicant from obtaining the issuance of a building permit for the project prior to expiration of the 24 month period (or the expiration date established as a condition of the approval) or during the then current extension period;*
- 3. The application for the extension sets forth a reasonable and substantial factual basis for issuance of the extension;*
- 4. There is a substantial factual basis to determine that the applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*
- 5. The duration of the extension requested by the applicant is not longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*

6. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*
7. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

If the Council can make the required findings to approve a time extension, the Applicant will complete all of the City of Solana Beach conditions required to obtain CCC authorization and begin construction.

There have not been any substantial changes to the General Plan, Zoning Ordinance or character of the area that would make the previously approved project incompatible or nonconforming. There is also no indication that the project would be detrimental to the public health, safety or welfare of the properties within the surrounding area. The delay in this matter is the result of the project denial by the CCC.

Staff had the City's third-party geotechnical engineer, James Knowlton of GeoPacifica, have reviewed the revised scope to ensure that it is in compliance with the City's LCP-LUP and his review has been provided in Attachment 5.

Should the Council approve the extension, the Applicant will be required to comply with the conditions of the project approval from Resolution 2018-048 (Attachment 3) and commence construction no later than May 2021. Should the request for an extension of the project be denied, a new application would then be required for the project.

The draft Resolution of Approval has been prepared by Staff for the consideration of the Council. The draft Resolution is based upon the information provided in this report. The Council may direct Staff to modify Resolution 2020-121 to reflect the findings and conditions it deems appropriate as a part of the public hearing process. In the alternative, if Council determines the request is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent Council meeting.

Notices of a public hearing for this project were mailed to property owners and occupants within 300 feet of the project site more than 10 days prior to the Council date. As of the date of preparation of this Staff Report, no phone calls, letters, or emails have been received by Staff in regard to the extension request.

**CEQA COMPLIANCE STATEMENT:**

Time Extensions are not a project as defined by CEQA. The original project was found exempt pursuant to the 2015 State of California CEQA Guidelines Sections 15301(d) and 15304(c).

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve the requested time extension and minor modifications.
- Deny the request for a time extension and minor modifications.
- Provide direction to Staff.


**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. If the Council can make the required findings, adopt Resolution 2020-121, approving the request for a Time Extension for approvals and entitlements in Case No. 17-17-39 and setting the expiration date on May 23, 2021.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Resolution 2020-121
2. City Council Packet from 5.23.2018
3. Project Plans
4. Applicant's Project Extension Application
5. GeoPacifica Review

## RESOLUTION 2020-121

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A TIME EXTENSION AND MINOR MODIFICATIONS TO A PREVIOUSLY APPROVED DEVELOPMENT REVIEW PERMIT TO ALLOW FOR REPAIRS TO THE EXISTING PRIVATE SEASCAPE SHORES BEACH ACCESS STAIRCASE LOCATED AT 325 SOUTH SIERRA AVENUE IN SOLANA BEACH

**APPLICANT: SEASCAPE SHORES HOA**  
**CASE NO.: TE20-001**

**WHEREAS**, the Applicant, Vince Amela, on behalf of the Seascape Shores Community Homeowners Association (HOA) (hereinafter referred to as “Applicant”) has submitted a request for a time extension of the original approved Development Review Permit (DRP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Applicant received approval of the original project at the regularly scheduled May 23, 2018 City Council meeting; and

**WHEREAS**, the Applicant proposed a reduced scope of work to replace the staircase like in kind with a fiberglass wrap in order to receive approval from the California Coastal Commission and Staff requests that the Council consider whether the changes can be found in substantial conformance with the original project approval; and

**WHEREAS**, on August 26, 2020, the City Council held a duly noticed Public Hearing to consider the time extension request and minor modifications; and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of SBMC 17.72.030 of the Solana Beach Zoning Ordinance; and

**WHEREAS**, at the Public Hearing, the City Council received and considered evidence concerning the request for a Time Extension and proposal for minor modification in substantial conformance with the original approval; and

**WHEREAS**, the City Council of the City of Solana Beach found that a Time Extension Request is not a project according to the State California Environmental Quality Act (CEQA) Guidelines, however, the City Council found that the original project application request for a DRP/SDP was exempt from the CEQA Guidelines pursuant to Class 1 and Class 2 Sections 15301 and 15302 of the State CEQA Guidelines, which exempts existing facilities and replacement and reconstruction; and

**WHEREAS**, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

**ATTACHMENT 1**

1. That the foregoing recitations are true and correct.
2. That the proposed minor modifications are in substantial conformance with the original approval, and that the request for a time extension of the approved Development Review Permit (DRP), for the repairs and maintenance of the private Seascape Shores beach access staircase at 325 S. Sierra Avenue, setting the expiration date to May 23, 2021, is conditionally approved based on the following Findings, and all terms and conditions of Resolution 2018-048 are in effect along with the Time Extension and minor modifications:
3. FINDINGS:
  - A. In accordance with Section 17.72.110 (Lapse of Approval and Extensions) of the City of Solana Beach Municipal Code, the City Council finds the following:
    - I. *The Applicant has presented facts which establish that the Applicant has timely and diligently pursued issuance of a building permit during the current extension period;*
    - II. *Circumstances beyond the Applicant's control have intervened and prevented the Applicant from obtaining the issuance of a building permit for the project prior to expiration of the current extension period;*
    - III. *The application for the extension sets forth a reasonable and substantial factual basis for issuance of the time extension;*
    - IV. *There is a substantial factual basis to determine that the Applicant will be able to perform the actions necessary to obtain issuance of a building permit prior to expiration of the requested extension;*
    - V. *The duration of the time extension requested by the Applicant is not longer than is reasonably necessary to perform the actions necessary to obtain the issuance of a building permit;*
    - VI. *There have not been any significant changes in the general plan, applicable specific plan, if any, zoning, or character of the area within which the project is located that would cause the approved project to become inconsistent, incompatible, or nonconforming therewith; and*
    - VII. *The granting of an extension shall not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*
  - B. The City Council finds that the requested minor modifications to reduce the project scope to like for like replacement with a fiberglass wrap are in substantial conformance with the original approval and that in accordance with Section 17.68.040 (Development Review Permits) of the City of Solana

Beach Municipal Code, the Council can make the required findings to approve a Development Review Permit set forth in Solana Beach Municipal Code Section 17.68.040.H.

#### 4. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the conditions of the original project approval of Resolution 2018-48.

##### FIRE DEPARTMENT CONDITIONS:

- I. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
  - II. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a 1/2" inch stroke width for residential buildings, 8" high with a 1/2" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
5. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
  6. EXPIRATION: The Development Review Permit for the project will expire on May 23, 2021, unless the Applicant has obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council.

INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own

defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney’s fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this Resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this Resolution you must comply with the provisions of Government Code Section 66020. Generally the Resolution is effective upon expiration of the tenth day following the date of adoption of this Resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 26<sup>th</sup> day of August, by the following vote:

- AYES: Councilmembers –
- NOES: Councilmembers –
- ABSENT: Councilmembers –
- ABSTAIN: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** May 23, 2018  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** Request for a Development Review Permit to Repair/Replace Less than 50% of an Existing Private Beach Access Stairway at Seascape Shores Condominiums located at 325 South Sierra Avenue, Solana Beach. Case No: CUP 17-17-39; Applicant: Vince Amela, President of the Seascape Shores Condominiums HOA, Resolution 2018-048

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## BACKGROUND:

The Applicant, Vincent Amela on behalf of the Seascape Shores Condominium Homeowners Association (HOA), in his capacity as HOA President, is requesting approval of a Development Review Permit (DRP) to replace less than 50% of the existing private beach access stairway at the Seascape Shores Condominium community located at 325 South Sierra Avenue. The Seascape Shores community is an existing gated residential community and access to the stairway is provided from within the center of the community. The existing stairway was constructed under a County of San Diego permit issued in 1973 prior to the California Coastal Act effective date of January 1, 1977.

The issue before the City Council is whether to approve, approve with conditions or deny the Applicant's request for a DRP as contained in Resolution 2018-048 (Attachment 1).

## DISCUSSION:

The project site is the Seascape Shores Condominium community. This community contains 51 residences and was constructed in approximately 1972. The distance of the City's existing public beach access stairways from the project site are as follows (Attachment 2):

- Seascape Sur public beach access is approximately 650 feet south of the site;
- Del Mar Shores public beach access is approximately 1,900 feet south of the site; and,
- Fletcher Cove public beach access is approximately 1,450 feet north of the site.

CITY COUNCIL ACTION:

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**AGENDA ITEM B.2.**

**ATTACHMENT 2**



The proposed project consists of the reconstruction of the lower 85 linear feet of an existing 214 foot long beach access stairway down to the lowest landing then installation of a concrete stairway to shore platform as detailed in the table below and in Attachment 3.

Existing Stairway Total Length (Linear Feet)	Proposed Repair & Maintenance (Lin. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Lin. Ft.)	% Replacement for Maintenance
214	47.3	37.7	22.1%

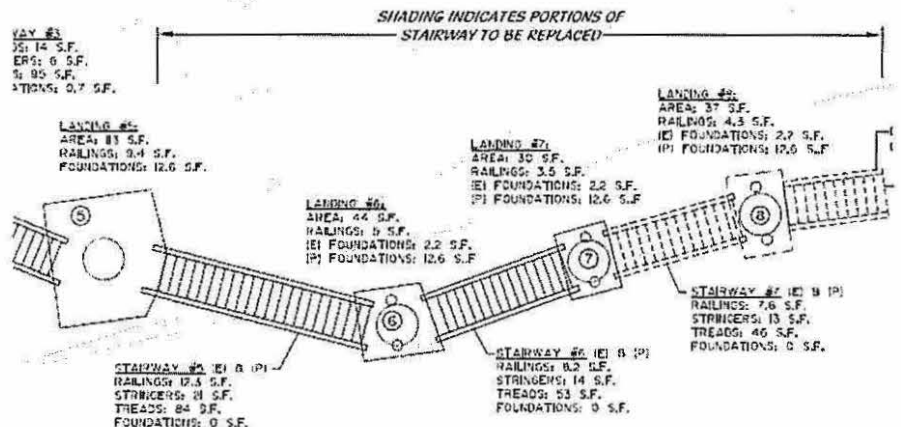
The existing upper (landward) 129 linear feet of the existing stairway is in good condition and would not be modified by the proposed project. The Applicant has also provided a breakdown of the proposed repair and maintenance of the structural components of the stairway, which are as follows:

Stairway Structural Component	Existing (Sq. Ft.)	Proposed Repair & Maintenance (Sq. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Sq. Ft.)	% Replacement for Maintenance
LANDINGS & FOUNDATIONS	391.4	111.7	37	28.5%
STAIRWAY FOUNDATIONS	2.9	0	0	0%
STAIR TREADS	562	137	82	24.4%
STRINGERS	96.7	35	23	36.2%
HAND RAILS	125.5	29	17.7	23.1%
<b>TOTALS</b>	<b>1,178.50</b>	<b>312.7</b>	<b>159.70</b>	<b>26.5%</b>

Note: Six existing timber piles will be replaced with three concrete piles at Landings 6, 7 & 8.

As shown above and in Attachment 3, the total area of the staircase to be repaired/replaced consists of 472.4 square feet (312.7 sf + 159.7 sf) which represents 40% of the existing stairway with a total of 26.5% of the structural components will be replaced for maintenance. The structural components include the stringers, treads, handrails south of landing 5 but does not include landing 5. The proposed project includes reconstruction of landings 6 and 7 and a replacement of landing 8. The stairs and landing south of landing 7 would consist of replacement of elements of the stairway that were destroyed by coastal storms in the winter of 2016 / 2017 and would incorporate a more resilient engineering design anticipated to better withstand coastal storms.

Previous repairs and maintenance to the stairway were completed in 2006 and 2010 under exemptions issued by the California Coastal



Commission (CCC) for repair and maintenance activities involving no mechanized equipment on the beach. A copy of the 2010 CCC exemption letter is included in Attachment 4. Due to the nature of the proposed project which would involve equipment on the beach as well as new footings on the beach, it is anticipated that a Coastal Development Permit (CDP) from the CCC would be required for the proposed project.

Beach access from this residential community extends from within the Seascape Shores complex, over the bluff edge, and down a 5-foot-wide elevated stairway to the beach level. The existing stairway consists of timber treads/stairs supported on eight landings. However, the lowest landing, foundation supports and set of treads/stairs were destroyed by winter storms in 2016-17 and are proposed to be replaced by the project as allowed by the City's Land Use Plan (LUP) and supported by Coastal Act §30610 (replacement of structures destroyed by disaster).

Currently, Landing 5 is supported on a 48-inch-diameter reinforced concrete pier, while Landings 6 and 7 are each currently supported by two timber piles. Landing 8 was destroyed by coastal storms following repairs completed in 2006 and again in 2010. The proposed repair to the existing stairway would replace in-kind the wooden treads and stringers from south of (but excluding) Landing 5 to Landing 8; and then construct a concrete set of stairs from Landing 8 down to the bedrock shore platform. The dual timber pile foundations supporting landings 6, 7 and 8 would be replaced with single concrete piles (48 inch in diameter) similar to the existing support for landing 5. Under most sand levels, the lower concrete stairway would be buried by beach sand but would be exposed when beach sand levels are at their lowest, typically during winter.

The concrete pillars would be used to support timber treads and stringers along the same general alignment as the existing stairway. The bottom landing is proposed to utilize a cast-in-place concrete foundation supporting concrete stairs with sidewalls installed two feet into the sandstone shore platform.

The proposed project design is similar to that used recently at the City's Del Mar Shores beach access stairway utilizing a foundation design intended to be more resilient to coastal storms than the previous wood foundation partially destroyed in 2006, 2010 and 2016/2017. Use of a more resilient design would also reduce the need for future maintenance and/or construction activity on the beach as well as the potential for storm-related debris on the beach.

An alternatives analysis was conducted on behalf of the Applicant and is described in detail in Attachment 4 (See letter from Terra Costa dated December 6, 2017). Five alternatives were evaluated and are summarized below:

- Alternative 1 - Replacement in-kind. Repairs to the stairway in 2006 and in 2010 were completed with no mechanized equipment, which streamlines the permit process, with the Coastal Commission typically exempting any non-mechanized equipment work on the beach. All materials would be hand-carried down the existing stairway, lowered to the beach, and then entirely erected with hand tools to take advantage of the likely exempt

permit status. Like the 2006 and 2010 repairs, this alternative would be susceptible to any future storms and would likely fail during the next severe El Nino storm season.

- **Alternative 2: Lower Landing Replacement.** Alternative 2 would replace the lower landing with a monolithic concrete column, 48 inches in diameter, with a fluted top supporting a new concrete platform designed to eliminate high wave-induced uplift forces. This lower concrete landing (as well as Alternatives 3, 4, and 5), would be constructed with mechanized equipment and would require a more lengthy permit process, including approval from the Coastal Commission.
- **Alternative 3: Lower Landing Replacement with Monolithic Concrete Stair.** While Alternative 2 includes a wooden stairway down to bedrock from the new concrete landing that would be buried most of the time in sand, and when exposed would likely be damaged during any large storms, Alternative 3 replaces the more fragile lower timber stairway with a monolithic concrete stairway extending down to, and embedded into, the underlying bedrock shore platform similar to the City's recently constructed public access stairway just north of Del Mar Shores. This lower concrete stairway would be buried most of the time.
- **Alternative 4: Replacement of Lower Two Stairway Landings.** Alternative 4 would replace the lower two stairway landings with monolithic concrete columns 48 inches in diameter, again with the fluted top supporting new concrete platforms designed to eliminate high wave-induced uplift forces. This alternative would also include all new stringers, treads, and handrails, extending up to the mid-bluff stairway landing above the existing seawall.
- **Alternative 5: Replacement of All Stairway Landings.** Alternative 5 differs from Alternative 4 in that all three stairway landings would be supported with monolithic concrete columns 48 inches in diameter, with fluted tops supporting new concrete platforms designed to eliminate high wave induced uplift forces. Like Alternative 4, this alternative would also include all new stringers, treads, and handrails extending up to the mid-bluff stairway landing above the existing seawall.

All of the alternatives described above would restore access to the beach below. The proposed project was selected by the Applicant as the preferred design as it would be a more resilient design with respect to coastal storm damage avoidance and would keep the project below the 50% replacement threshold contained in LUP Policy 2.60.

A sea level rise (SLR) and wave run-up analysis was also conducted (see Attachment 4, Geotechnical Report) for the proposed project design through the year 2100 based on a mid-range 3 foot increase in sea levels using the CCC 2015 SLR Guidance document and based on National Research Council (NRC 2012) SLR scenarios. The proposed project is designed to support vertical loads from the stairways, lateral loads from seismic events, and lateral loads from breaking waves. In addition, the proposed project would be designed to resist uplift forces associated with waves impacting the adjacent coastal bluff face and forces due to waves impacting the stairway platforms under future sea level rise conditions.

The proposed project would involve construction with limited heavy construction equipment such as a man lift, concrete trucks, and rubber-tired excavators required for form work, excavation, and the construction of concrete piles, landings, and monolithic stair to shore platform. Construction of the project is anticipated to take approximately ten weeks, with work occurring during periods of low tides only. During construction, disturbance to sand and intertidal areas shall be minimized to the maximum extent feasible. All excavated beach sand shall be re-deposited on the beach. A 30-foot-wide construction work zone will be established with barriers during work hours to separate the work zone from open public beach. City lifeguards and a supervising engineer will be present during construction, as required.

Construction access would occur from the Fletcher Cove beach access ramp. No overnight storage of equipment or materials would be allowed to occur on the sandy beach or within the Fletcher Cove public parking lot. No machinery would be allowed to be placed, stored, or otherwise located in the intertidal zone at any time, except for the minimum necessary to complete the project. During construction, no storage of construction materials or waste where it will be or could be potentially subject to waves, erosion, and dispersion, will be allowed.

#### Solana Beach Certified Local Coastal Program

A consistency finding with the City's Certified Local Coastal Program (LCP) Land Use Plan (LUP) is required for the proposed project. The City's LUP policies were certified to be consistent with the policies of the California Coastal Act.

Applicable City policies from the City's Certified LUP (as amended) are listed below followed by a discussion of how the project complies or has been conditioned to comply with the City's applicable and relevant LUP policies which are cited below.

***LUP Policy 2.60:*** *No new private beach stairways shall be constructed, and private beach stairways shall be phased out at the end of the economic life of the stairways. Existing permitted or private beach stairways constructed prior to the Coastal Act may be maintained in good condition with a CDP where required, but shall not be expanded in size or function. Routine repair and maintenance shall not include the replacement of the stairway or any significant portion of greater than 50% of the stairway cumulatively over time from the date of LUP certification.*

***LUP Policy 2.60.5:*** *Upon application for a coastal development permit for the replacement of a private beach stairway or replacement of greater than 50% thereof, private beach access ways shall be converted to public access ways where feasible and where public access can reasonably be provided. The condition to convert the private stairway to a public stairway shall only be applied where all or a portion of the stairway utilizes public land, private land subject to a public access deed restriction or private land subject to a public access easement.*

- Project Compliance with Policy 2.60: As currently designed, the proposed project is to replace less than 50% of the existing stairway. The existing stairway was constructed prior to the Coastal Act effective date of January 1, 1977 based on a review of historic

photographs from 1972. The CCC has previously approved/exempted repairs and maintenance of the existing stairway in 2006 and in 2010. The proposed project consists of a 40% replacement of the linear extent of the stairway (i.e., 85 feet of the 214 foot long stairway) or a 26.5% replacement of the structural components. As designed the project is consistent with this LUP policy. Portions of the stairway will be replaced in kind (treads, stringers, handrails and landings) while the foundation design/type for landings 6, 7 and 8 will be changed from a design utilizing two wood pillars per landing to a single concrete pillar per landing to improve resiliency of the structure to coastal storm wave energy. The overall length, alignment and footprint of the stairway would be generally the same as that which existed prior to destruction by coastal storms in the previous winter storm season.

- Applicability of Policy 2.60.5: Compliance with this policy is not triggered because the proposed project has been designed such that less than 50% of the stairway is being repaired / replaced.

***LUP Policy 4.26:*** *With respect to bluff properties only, the City will require the removal or capping of any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, or shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC if the project is appealed, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).*

- **Project Compliance with Policy 4.26:** The project has been conditioned to require the removal or capping of any permanent irrigation system within 100 feet of the bluff edge.

***LUP Policy 4.28:*** *All storm water drain systems that currently drain or previously drained towards the west over the bluff shall be capped. These systems should be redesigned to drain directly, or through a sump system, and then pumped to the street in compliance with SWP 2007-0001 and consistent with SUSMP requirements. This policy shall be implemented as a condition of approval for all discretionary permits issued for bluff properties or within 5 years of adoption of the LCP, whichever is sooner.*

- **Project Compliance with Policy 4.28:** The project has been conditioned to require that all storm water drain systems that currently drain towards the west over the bluff be capped.

***LUP Policy 4.39:*** *Provide for reasonable and feasible mitigation for the impacts of all bluff retention devices which consist of the payment of Sand Mitigation Fees and Public Recreation Fees to the City or other assessing agency.*

- **Project Compliance with Policy 4.39:** Although the project is not a bluff protection device, the project would physically occupy a small portion of the public beach thereby making that area unavailable for public recreation. Therefore, the project has been

conditioned to mitigate for all impacts related to public recreation through the payment of an impact mitigation fee deposit.

***LUP Policy 4.50:*** *The bluff property owner shall pay for the cost of the coastal structure or Infill and pay a Sand Mitigation Fee and a Public Recreation Fee per LUP Policy 4.39. These mitigation fees are not intended to be duplicative with fees assessed by other agencies. It is anticipated the fees assessed as required by this LCP will be in conjunction with, and not duplicative of, the mitigation fees typically assessed by the CCC and the CSLC for impacts to coastal resources from shoreline protective devices.*

- **Project Compliance with Policy 4.50:** Although the project is not a bluff protection device, the proposed project would physically occupy a small portion of the public beach thereby making that area unavailable for public recreation. Therefore, the project has been conditioned to mitigate for all impacts related to public recreation through the payment of an impact mitigation fee deposit. The Applicant will also be required to renew the land lease from the California State Lands Commission for the area of the beach occupied by the replacement structure.

***LUP Policy 4.58:*** *Development on the bluffs, including the construction of a bluff retention device, shall include measures to ensure that:*

- *No stockpiling of dirt or construction materials shall occur on the beach;*
- *All grading shall be properly covered and sandbags and/or ditches shall be used to prevent runoff and siltation;*
- *Measures to control erosion shall be implemented at the end of each day's work;*
- *No machinery shall be allowed in the intertidal zone at any time to the extent feasible;*
- *All construction debris shall be properly collected and removed from the beach. Shotcrete/concrete shall be contained through the use of tarps or similar barriers that completely enclose the application area and that prevent shotcrete/concrete contact with beach sands and/or coastal waters.*
- **Project Compliance with Policy 4.58:** Compliance with the requirements of this policy have been included as engineering conditions of approval.

Resolution No. 2018-048 (Attachment 1) for the proposed project contains citations to relevant policies of the City's LUP as conditions of approval.

### **Public Recreation Impact Mitigation Fee Deposit**

The City imposes a Public Recreation Impact Mitigation (PRIM) fee deposit in the amount of \$1,000 per linear foot of structure located on the public beach which will be applied to the future fee. Three four-foot diameter footings and an eight foot long concrete stairway would be located on the public beach for a total of 20 linear feet. The PRIM deposit for the proposed project is assessed at \$20,000

A condition of approval has been added to the confirming resolution for this proposed project which states that a fee deposit will be required to be paid by the Applicant at the time of permit issuance and that appropriate future fees will be applied under the formula ultimately adopted by the City Council. The Applicant will be required to pay the actual costs, which are not known at this time, and which may be greater than or less than the PRIM fee deposit paid to the City.

### **Compliance with Solana Beach Certified LUP Policies**

Staff has evaluated the DRP application, taking into account the following factors: (1) the relevant policies of the City's Certified LUP; (2) the conclusions drawn by the (a) City of Solana Beach's independent third-party geotechnical consultant Geopacifica regarding the proposed project design and (b) the City of Solana Beach City Engineer conditions of approval; and (3) the Applicant's geotechnical report, alternatives and sea level rise analyses (Attachment 4 and 5).

After evaluating the project plans and geotechnical report prepared by Terra Costa Consulting Group (Attachments 3 and 4) as well as the supplemental documentation provided in response to City comments and the third-party review findings provided by the City's geotechnical engineering consultant (Attachment 5), Geopacifica, and the City Engineer, Staff concurs that the proposed project is consistent with the LUP.

Based on the above, City Staff finds that the proposed project could be found consistent with applicable LUP policies referenced above.

In addition to the required LUP findings above, compliance with the Solana Beach Municipal Code is required to support issuance of a Development Review Permit.

The Applicant is requesting that the Council consider the approval of a DRP. Resolution 2018-048 (Attachment 1) provides the full text of the pertinent DRP regulations. Staff has prepared draft findings for approval of the project for Council's consideration based upon the information in this report and Staff's analysis of the proposed project. It provides the applicable LUP and SBMC sections in italicized text. Conditions from the Planning and Engineering Departments have been incorporated into the Resolution of Approval.

The following is a discussion of the findings for a DRP as they apply to the proposed project, as well as a discussion of the proposed project plans and recommended conditions as contained in the attached Resolution.

### **Compliance with Development Review Permit Requirements (SBMC 17.68.040 F):**

A DRP is required for the any development on a coastal bluff top property or on the face or toe of a bluff for which a coastal development permit issued by the California Coastal Commission is presently required.

In addition to meeting the zoning requirements, the project must also be found in compliance with the development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the Council conditionally approves the proposed project, Resolution 2018-048 (Attachment 1) provides the full discussion of the following findings:

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

#### Relationship with Adjacent Land Uses:

The property is located within the High Residential (HR) Zone on the west side of S. Sierra Avenue, south of Fletcher Cove along the City's coastal bluffs. The properties immediately adjacent to the north, south, and east are also located within the HR Zone. Surrounding properties are developed with two and three story multi-family residential structures. The project, as designed, is consistent with the LUP and the permitted uses for the HR Zone as described in SBMC Sections 17.20.010 and 17.12.020, and is also consistent with the General Plan, which designates the property as High Density Residential. The proposed development is consistent with the objectives of the General Plan as it encourages the



development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

#### Building and Structure Placement:

The replacement of the portion of the existing beach access stairway will occur in the same general location as the portion of the stairway being replaced and will not be visible from South Sierra Avenue and will be visible from the public beach. The proposed project, as designed, is consistent with applicable LUP policies pertaining to beach access stairways.

The proposed project is consistent with LUP Policy 2.60 and is less than 50% of the existing structure; therefore LUP Policy 2.60.5 is not triggered. There are three existing City owned and maintained public beach access ways in close proximity to the project site including those at Seascape Sur, Del Mar Shores and Fletcher Cove. The distance of these existing public beach access stairways from the project site are as follows:

- Seascape Sur is located approximately 650 to the south of the site;
- Del Mar Shores public beach access is located approximately 1,900 feet south of the site; and,
- Fletcher Cove public beach access is located approximately 1,450 feet north of the site.

#### Landscape:

The proposed project does not include any new landscaping. The project has been conditioned, however, to comply with LUP Policy 4.26 which requires the removal or capping of any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, or shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).

#### Parking:

Due to the nature of the proposed project, this criterion is not directly applicable to the proposed project as no changes to parking are proposed or required.

#### Grading:

Depending on beach sand levels at the time of construction, some excavation of materials on the beach will be required in order to remove the existing remaining footings and to install new footings and stairs on the beach as shown on the project plans contained in Attachment 3.

#### Lighting:

Due to the nature of the proposed project, this criterion is not directly applicable to the proposed project as no lighting is proposed as part of the project.

**Useable Open Space:**

The project consists of the replacement of a portion of an existing beach access stairway. Therefore, usable open space and recreational facilities are not required according to SBMC 17.20.040.

Notice of the City Council Public Hearing for this project was published in the San Diego Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on May 11, 2018.

In conclusion, the proposed project, as conditioned, meets the requirements of the LUP and the SBMC and could be found to meet the findings required to approve a DRP.

**CEQA COMPLIANCE STATEMENT:**

The proposed project qualifies under two categorical exemptions pursuant to the California Environmental Quality Act (CEQA) per 2018 State CEQA Guidelines §15301 (existing structures) and §15302 (replacement and reconstruction).

CEQA Class 1 exemptions consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The Proposed Project is the repair/replace of the existing stairs in the same location. Portions of the stairway infrastructure will remain in place and other portions will be replaced. The portions that will remain in place are those landward of landing 5. All components of the stairway from south of landing 5 through landing 8 will be repaired or replaced. The project has no new function or additional benefits, or independent utility and is only proposed to maintain and restore the original function of stairs which is to provide access to the public beach below.

Relative to the Class 2 categorical exemption under CEQA Guidelines Section 15302, the Proposed Project consists of the replacement/reconstruction of the existing stairway and related structures and would be for the same use as the existing stairway which is to provide access to the public beach below. Implementation of the Proposed Project would not involve an expansion of use beyond that which historically existed from the 1970s until the 2016/2017 due to the destruction of the lower portion of the stairway by disaster (coastal storm damage).

The stairway replacement project would be located in the same location as the existing stairways. Less than 50% of the existing beach access stairway system will be replaced. The purpose of the proposed project is identical to the purpose of the existing stairs being replaced and is intended to provide residents with access to the public beach below.

The replacement of the stairway south of landing 5 to the beach would provide the same capacity for beach access as the existing beach access way and would be approximately the same width and length and occupy the same area as the existing stairway. Current building code requirements mandate structural engineering enhancements to the concrete, rebar, landings, and handrails. These design improvements are intended to improve the structural integrity of the stairway given its location in an exposed marine environment but would not expand the capacity, size or function of the stairway in any way.

**FISCAL IMPACT:**

Payment of PRIM fee deposit in the amount of \$20,000 is a required condition of approval for the proposed project as a portion of the project would physically occupy the public beach.

**WORK PLAN:**

N/A

**OPTIONS:**

- Approve the Proposed Project and Adopt Resolution 2018-048.
- Deny the Proposed Project.
- Provide alternative direction.

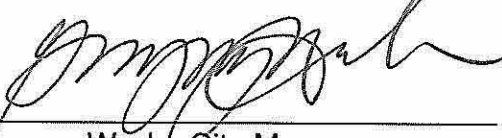
**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, receive public testimony, and close the public hearing.
2. Find the Proposed Project exempt from the requirements of CEQA pursuant to 2018 State California CEQA Guidelines §15301 (existing structures) and §15302 (replacement and reconstruction).
3. Adopt Resolution 2018-048 conditionally approving a Development Review Permit to replace less than 50% of the existing private beach access stairway below 325 South Sierra Avenue, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



\_\_\_\_\_  
Gregory Wade, City Manager

Attachments:

- 1: Resolution 2018-048
- 2: Beach Access Stairway Exhibit
3. Beach Access Stairway Project Plans, Terra Costa Consulting Group, May 2018
4. Geotechnical Investigation, Terra Costa Consulting Group, March 30, 2018 and Terra Costa Consulting Group, Response to City Letters dated December 6, 2017 and April 2, 2018
- 5: Geopacifica, third Party review by Jim Knowlton, comment letters dated January 10, 2018 and April 12, 2018

**RESOLUTION NO. 2018-048**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A DEVELOPMENT REVIEW PERMIT TO ALLOW REPAIRS TO THE EXISTING PRIVATE SEASCAPE SHORES BEACH ACCESS STAIRWAY AT 325 SOUTH SIERRA AVENUE IN SOLANA BEACH.**

**APPLICANT: Seascape Shores HOA**  
**CASE NO.: 17-17-39 CUP**

**WHEREAS**, the Applicant, Vince Amela, on behalf of the Seascape Shores Community Homeowners Association (HOA) (herein after referred to as "Applicant") has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the City Council adopted the Amended Local Coastal Program (LCP) Land Use Plan (LUP) in June 2014 with Certified LUP Policy 2.60 allowing for the repair, maintenance and replacement of existing private beach access stairways in the City and the project does not trigger LUP Policy 2.60.5 as less than 50% of the stairway is proposed to be replaced at this time; and

**WHEREAS**, Project Plans and a Geotechnical Report including an alternatives analysis and a sea level rise analysis were prepared for the project by Terra Costa Consulting Group have been reviewed and confirmed by Geopacifica Geotechnical Consultants (Geopacifica), the City's third party independent geotechnical consultant, indicating the proposed project is required and has been designed consistent with all City requirements; and

**WHEREAS**, at the duly noticed public hearing held on May 23, 2018, the City Council received and considered evidence concerning the proposed application as received; and

**WHEREAS**, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, the City Council of the City of Solana Beach found the proposed project exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines § Section 15301 (Class 1 - Existing Facilities) and CEQA Guidelines §Section 15302 (Class 2-Replacement & Reconstruction); and

**WHEREAS**, this decision is based upon the evidence contained in the subject application, testimony of Geopacifica, evidence presented at the hearing and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the project is categorically exempt from the requirements of CEQA pursuant to 2018 State California CEQA Guidelines Sections 15301 and 15302.
- II. That the request for a Development Review Permit for a beach access stairway replacement project at the Seascape Shores community is conditionally approved based upon the following Findings and subject to the following Conditions:
- III. FINDINGS

A. Compliance with Solana Beach Certified LCP LUP Policy Requirements: A consistency finding with the City's Certified Local Coastal Program (LCP) Land Use Plan (LUP) is required for the proposed project. The City's LUP policies were certified to be consistent with the California Coastal Act.

Applicable City policies from the City's Certified LUP (as amended) are listed below. The project complies or has been conditioned to comply with all applicable and relevant City LUP policies including:

- Certified LUP Policy 2.60 (private stairway repairs/replacement)
- Certified LUP Policy 4.26 (irrigation controls for bluff properties);
- Certified LUP Policy 4.28 (stormwater runoff);
- Certified LUP Policy 4.39 (payment of mitigation fees);
- Certified LUP Policy 4.49 (findings);
- Certified LUP Policy 4.50 (impact mitigation fees);
- Certified LUP Policy 4.55 (coordination among neighbors); and
- Certified LUP Policy 4.58 (development on the bluff).

B. In accordance with Section 17.68.040 (Development Review Permit) of the Solana Beach Municipal Code (SBMC), the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of High Density Residential, which allows for multi-family residential development with a maximum density range of thirteen to twenty dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) which provides for uses of the property for multi-family residences. Further, the

project adheres to all property development regulations established for the High Residential (HR) Zone and cited by SBMC Section 17.020.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The subject site is located within the High Residential (HR) Zone. The properties surrounding the site are also within the HR Zone. The surrounding properties are developed primarily with multi-family residences. The project site is currently developed with 51 residences.

The project, as designed, is consistent with permitted uses for the HR Zone. The property is designated High Density Residential in the General Plan and intended for multi-family residential development within a density range of thirteen to twenty units per acre. The proposed development is consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Coastal Zone. The project has been evaluated, and as a condition of project approval, the Applicant is required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The site is currently developed with 51 multifamily residences. The proposed addition will not modify any setbacks, building heights, floor area ratios or building locations.

The replacement of the portion of the existing beach access stairway will occur in the same general location as the portion of the stairway being replaced and will not be visible from South Sierra Avenue and will be visible from the public beach. The proposed project, as designed, is consistent with applicable LUP policies pertaining to beach access stairways.

The proposed project is consistent with LUP Policy 2.60 and is less than 50% of the existing structure; therefore LUP Policy 2.60.5 is not triggered. There are three existing City owned and maintained public beach access ways in close proximity to the project site including those at Seascape Sur, Del Mar Shores and Fletcher Cove. The distance of these existing public beach access stairways from the project site are as follows:

- Seascape Sur is located approximately 1,000 to the south of the site;
- Del Mar Shores public beach access is located approximately 2,000 feet south of the site; and
- Fletcher Cove public beach access is located approximately 1,500 feet north of the site.

c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The proposed project does not propose any new landscaping. The project has been conditioned, however, to comply with LUP Policy 4.26 which requires the removal or capping of any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the



satisfaction of the Public Works Director, or the CCC, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

Due the nature of the proposed project, this criterion is not directly applicable to the proposed project as no changes to roads, pedestrian walkways, parking or storage areas are proposed by the project.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

No grading is proposed as part of this project. Depending on beach sand levels at the time of construction, some excavation of materials on the beach will be required in order to remove the existing footings and to install new footings on the beach as shown on the project plans.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures shall comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. No changes to lighting are proposed as part of this project.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of a partial replacement of an existing private beach access stairway. Therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

No other discretionary permits are required due to the nature of the proposed project. As a condition of project approval, the Applicant shall obtain approval of a Coastal Development Permit from the California Coastal Commission prior to issuance of Building Permits.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicant shall obtain approval from the California Coastal Commission and the California State Lands Commission (CSLC) prior to issuance of Building Permits.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. Building Permit plans must be in substantial conformance with the plans presented to the City Council on May 23, 2018 and located in the project file with a submittal date of April 3, 2018.
- II. The Applicant will pay a Public Recreation Impact Mitigation (PRIM) fee deposit in the amount of \$1,000 per linear foot of the project located on the public beach which will be applied to the future fee. The PRIM deposit for the proposed project for this project is \$20,000 subject to any credits for previously paid impact mitigation fees.
- III. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, waiver or

exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit as well as a land lease from the CSLC.

- IV. The Applicant shall remove or cap any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC if the project is appealed, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).
- V. All storm water drain systems that currently drain or previously drained towards the west over the bluff shall be capped. These systems should be redesigned to drain directly, or through a sump system, and then pumped to the street in compliance with the current RWQCB SUSMP requirements.
- VI. Any existing bluff retention devices shall be reasonably maintained and repaired by the bluff property owner on an "as needed" basis, at the bluff property owner's expense, in accordance with the implementing ordinances and any permit issued by the City. Any authorized assessing entity in which the project lies shall ensure such payments are reimbursed to the City if the bluff property owner fails to perform such work and the City elects to do so, subject to mandatory reimbursement. However, in all cases, after inspection, it is apparent that repair and maintenance is necessary, including maintenance of the color of the structures to ensure a continued match with the surrounding native bluffs, the bluff property owner or assessing entity shall contact the City or CCC office to determine whether permits are necessary, and, if necessary, shall subsequently apply for a coastal development permit for the required maintenance.
- VII. No stockpiling of dirt or construction materials shall occur on the beach.
- VIII. All grading shall be properly covered and sandbags and/or ditches shall be used to prevent runoff and siltation.
- IX. Measures to control erosion shall be implemented at the end of each day's work.
- X. No machinery shall be allowed in the intertidal zone at any time to the extent feasible.
- XI. All construction debris shall be properly collected and removed from

the beach. Shotcrete/concrete shall be contained through the use of tarps or similar barriers that completely enclose the application area and that prevent shotcrete/concrete contact with beach sands and/or coastal waters.

B. Engineering Department Conditions:

Prior to obtaining any building or grading permits pursuant to this stairway maintenance project, the Applicant shall:

- I. Prepare, execute and record a declaration of restrictions on real property approved by the City Attorney whereby the Applicant or the Applicant's successors in interest to the property will construct and maintain the structure in accordance with Conditions of this approval.
- II. The declaration of restrictions shall include an agreement by the Applicant to defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to any claim for damages from any injury to person or property caused by the shoreline defense structure or by its failure.
- III. Said declaration of restrictions shall be acknowledged and recorded in the office of the County Recorder.
- IV. Obtain required California Coastal Commission permits prior to the issuance of any structure and grading permits or present evidence that an emergency waiver has been granted.
- V. Obtain any other permits or emergency waivers, which may be required from State and Federal agencies including the State Lands Commission and the U.S. Army Corps of Engineers.
- VI. The project shall be designed and shall provide appropriate data to confirm the submitted design to the satisfaction of the City Engineer. This shall include, but is not limited to, a geotechnical report.
- VII. The property owners shall post securities to guarantee proper care and use of the Fletcher Cove Beach Access Ramp. No construction materials to be off-loaded on the ramp, at the end of the ramp or any public property including streets and Fletcher Cove Park. No washing of equipment shall occur unless a containment system is properly utilized.
- VIII. For all projects on which equipment is driven on the Fletcher Cove Beach Access Ramp, the access ramp and adjacent parking lot must be swept daily to remove sand that has been tracked onto the ramp

and into the parking lot. At least once a week, the access ramp and parking lot must be swept with a street sweeper that is capable of cleaning the streets and parking lots of paper, glass, dirt, silt, sand, rocks, litter and miscellaneous debris. The street sweeper shall be equipped with dual gutter brooms, and vacuum equipment may be used. If any sand is tracked outside the parking lot, these areas (including city streets) must also be cleaned weekly with a street sweeper.

- IX. The Applicant shall pay all inspection and plan check fees as required by the City.
- X. Plans and specifications for the project shall be approved by the City Engineer in addition to approvals from the Director of Community Development as may be required, and shall substantially conform to the plans submitted by the Applicant.
- XI. A grading/drainage plan shall be prepared by a registered civil engineer in accordance with the current Grading Ordinance and be submitted to the City Engineer for approval and permit issuance.
- XII. The Applicant, or their representatives, shall post with the City a Performance Bond equal to the full amount of the work to be completed to guarantee that once started, construction will be completed per approved plans.
- XIII. The Applicant shall submit a Certificate of Insurance naming the City of Solana Beach as an additional insured in the amount of \$2,000,000 on a policy of general liability insurance issued by an insurance company licensed to do business in California, and meeting the requirements established by City Council resolution for insurance companies doing business with the City, covering injuries to persons and property during the construction period.
- XIV. The Applicant shall obtain a Special Use (Marine Safety) Permit specifying the conditions governing use of vehicles, use of the Fletcher Cove Beach Access Ramp, and entry upon and use of areas of the public beach for construction equipment and vehicles. Evidence of permit issuance shall be submitted to the City Engineer before issuance of the permit for the project.
- XV. The Applicant shall have on file evidence from the Marine Safety Department and City Engineer that arrangements have been made to satisfy the following criteria:
  - a. Prior to usage of the Solana Beach Fletcher Cove Beach Access Ramp or parking lot, a cash deposit, bond or other secured agreement to cover the following impact charges shall be deposited:

- i. A five-dollar and thirty-cents (\$5.30) per round trip vehicle charge for all construction related vehicles using the ramp.
  - ii. A two-dollar and seventy cents (\$2.70) per ton fee, or less if approved by the City Council, based on the estimated weight of the vehicle and load for all vehicles in excess of  $\frac{3}{4}$  ton capacity, excluding any vehicles solely transporting beach grade replenishment sand.
  - iii. A twenty-seven dollar (\$27) per day charge for the first 30 days escalating to fifty-three dollars (\$53) per day for the 31<sup>st</sup> and subsequent days charge shall be collected to encourage a timely completion of all projects, unless otherwise modified for good cause by the City Council or City Manager.
  - iv. Any damage caused to the Solana Beach Fletcher Cove ramp and parking lot.
- b. At least one City of Solana Beach Lifeguard shall be contracted, at the Applicant's expense, through the Marine Safety Captain, to monitor all activities in order to insure full compliance with the conditions of this permit. The lifeguard(s) shall be on duty at all times when any construction activity takes place. Additional lifeguards may be required at the discretion of the Marine Safety Captain. In addition to the lifeguard staffing cost, the Applicant shall also pay a Marine Safety equipment use fee of four-dollar and sixty-four cents (\$4.64) per hour, based on the number of the number of hours the lifeguards are contracted for the project.
- c. If construction access is from Fletcher Cove Park, precautions shall be taken to avoid damage to the beach access ramp during construction and repairs. If damage to the ramp occurs, it shall be repaired to a condition equivalent to the condition at the start of construction activity to the satisfaction of the City of Solana Beach City Engineer. All City owned work areas including Fletcher Cove Park and access ramp shall be videotaped prior to the commencement of the project. The videotape shall establish the "as-is" condition. In any areas missed by the videotape, the City Engineer will determine "as-is" condition.

If access is from the State Park at the north end of Solana Beach, precautions shall be taken to avoid damage to the hard layer of fossiliferous sandstone that forms the beach surface at the north end of the coastal bluffs. Such access may necessitate State approval. Proof of State approval shall be provided to the City Engineer before construction begins.

- XVI. Beach quality sand from the excavation for the proposed project shall be deposited and spread on the beach in front of this site unless unique and/or inappropriate conditions are encountered. The Applicant should reference this condition to other permitting agencies.
- XVII. An encroachment permit from the Engineering Department is required if a crane, construction materials, etc. are envisioned to be stationed in the public right of way. The City does not guarantee that an encroachment permit will be approved.
- XVIII. A qualified, licensed and insured contractor shall perform all required work as outlined by certified/registered engineering geologist or Registered Civil Engineer on the construction plans. Special and general notes on said plans shall be followed to the satisfaction of the City Engineer or his designee.
- XIX. Lateral pedestrian and Marine Safety vehicular access through the construction area shall be provided past the site at all times, subject to high tides and safety issues. A 30-foot wide safety/construction work zone shall be provided during work hours to separate the work zone from the open public beach.
- XX. No construction activities may occur on the beach during the busier recreational season, which is defined as the period between Memorial Day and Labor Day of any year. The contractor shall obtain approval from the City of Solana Beach Engineering and Marine Safety Departments regarding the use and timing of the Fletcher Cove parking lot and beach access ramp for all construction related access, staging and parking issues if such use becomes required.
- XXI. Pursuant to SBMC Section 7.34.100, Construction hours are limited to 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 7:00 p.m. on Saturday. No work is allowed on Sunday or holidays unless specifically approved pursuant to SBMC Section 7.34.100.B. Engines shall not be started, no construction-related materials shall be moved, or any other construction-related activities occur outside these hours. Work is not permitted on the beach on Saturdays without the written approval of the City Manager.

Prior to Final Inspection of the project, the Applicant shall:

- I. Submit certification to the City Engineer from the Geotechnical Engineer and the Civil Engineer of Record for the project that they have inspected the project and certify that it was constructed per the approved plan, specifying the date of the plan.
- II. The Applicant and/or contractor shall repair any damage caused to the Solana Beach property and facilities including, but not limited to,

Fletcher Cove ramp and parking lot to the satisfaction of the City Engineer.

The Applicant shall provide for and adhere to the following Conditions:

- I. All development on the site shall substantially conform to the final Conditional Use Permit Plan approved by the City Council.
  - II. The property owner shall be responsible to immediately remove, in perpetuity, any graffiti or other markings should they appear on the project exterior face. If erosion exposes the steel rebar, the Applicant or their successor in interest shall arrange to apply a sculptor-coat of concrete over the exposed steel to match the natural bluff. The property owner shall be responsible for the removal of the structure or any portion thereof.
  - III. If requested by the City Manager or his designee, the property owner or their successor in interest shall install and maintain signage about unstable bluffs fronting their property.
  - IV. The Applicant shall provide "As-Built" plans and all certifications required to the City, before the City will release the performance bond.
- V. **ENFORCEMENT:** Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.
- VI. **EXPIRATION:** The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant has obtained building/grading permits and commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.
- VII. **INDEMNIFICATION AGREEMENT:** The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control



the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.

VIII. NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 23rd day of May, 2018, by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSENT: Councilmembers –

ABSTAIN: Councilmembers –

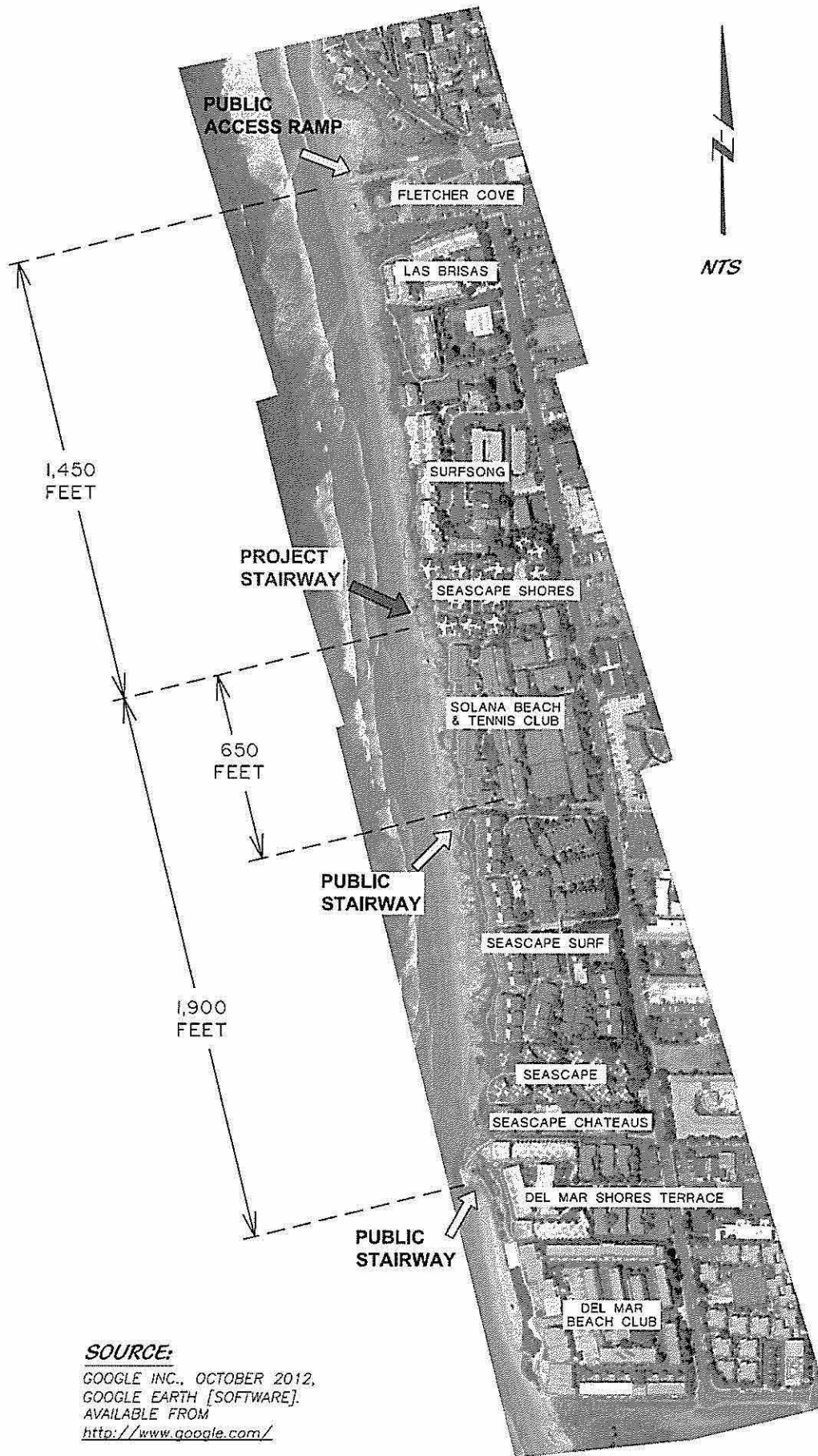
\_\_\_\_\_  
David A. Zito, Deputy Mayor

APPROVED AS TO FORM:

ATTEST:

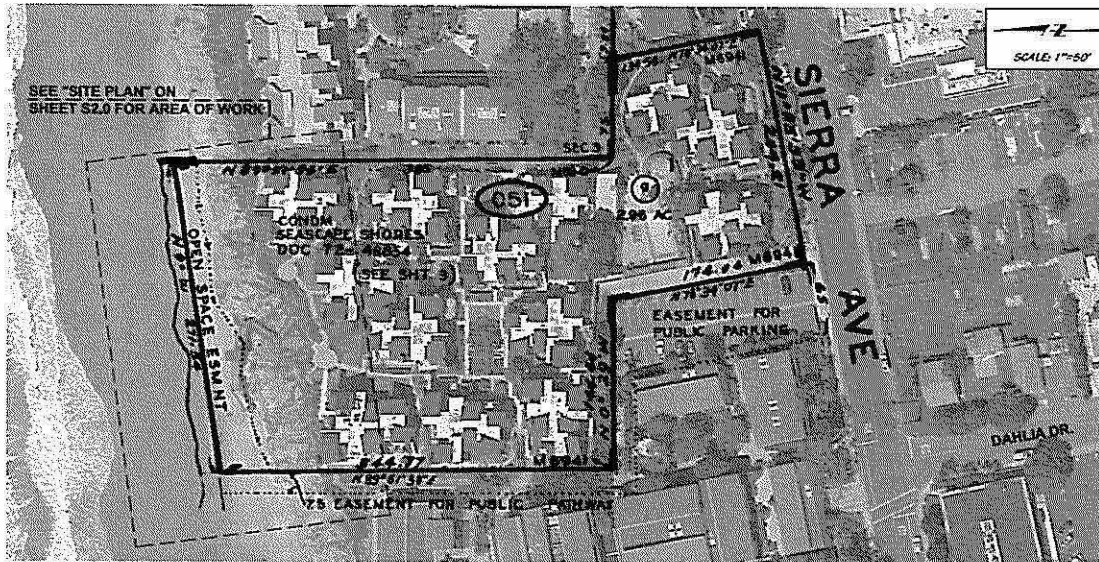
\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



**GOOGLE EARTH PHOTO SHOWING AVAILABLE PUBLIC ACCESS NEAR PROJECT LOCATION**

# SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE



**OVERALL SITE PLAN**  
SCALE: 1"=50'

SOURCE: GOOGLE EARTH & SAN DIEGO COUNTY ASSESSOR'S  
MAP BOOK PAGE 293, PAGE 5, SHEET 1 OF 6

### STANDARD REQUIREMENTS

1. ALL WORK, UNLESS OTHERWISE SPECIFIED, SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," SAN DIEGO REGIONAL STANDARD DRAWINGS AND CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS.

### APPLICANT

SEASCAPE SHORES HOMEOWNERS ASSOCIATION  
TOM RYAN, REPRESENTATIVE  
(858) 755-7497

### PROJECT ADDRESS

325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CA. 92075

### ASSESSOR PARCEL NUMBERS

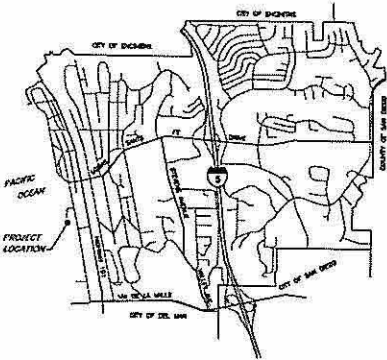
298-051-09-01 THROUGH -51

### ZONING

HR4 (HIGH RESIDENTIAL)

### OVERLAY ZONES

HR, OSR/SP



**VICINITY MAP**  
NOT TO SCALE

**TERRACOSTA CONSULTING GROUP**  
ENGINEERS & GEOLOGISTS  
3050 BURNETT CANYON ROAD, SUITE 200  
SAN DIEGO, CALIFORNIA 92121  
(619) 573-5200

### STAIRWAY REPLACEMENT TABLE

Stairway Structural Component	Existing (Sq. Ft.)	Proposed Repair & Maintenance (Sq. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Sq. Ft.)	% Replacement for Maintenance
LANDINGS & FERRISATIONS	391.4	111.7	37	28.5%
STAIRWAY FOUNDATIONS	2.6	0	0	0%
STAIR TREADS	16.8	137	22	24.4%
STRINGERS	46.7	35	23	35.2%
HANDRAILS	129.5	29	37.2	33.1%
<b>TOTALS</b>	<b>1,178.00</b>	<b>327.7</b>	<b>139.28</b>	<b>28.5%</b>

Note: Six existing timber stairs will be replaced with three concrete piles at landings 6, 7 & 8

Existing Stairway Total Length (Linear Feet)	Proposed Repair & Maintenance (Sq. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Sq. Ft.)	% Replacement for Maintenance
224	473	57.7	22.9%

### STAIRWAY REPLACEMENT NOTES:

1. Solana Beach LUP Policy 2.60 is not intended to conflict with Coastal Act Section 30610 (see provision below). If a structure was destroyed by disaster, the parts destroyed would be able to be replaced.

Policy 2.50 rather pertains to repair and maintenance-related improvements.

These tables provide a breakdown of the components of the stairway as follows: Existing, Proposed Repair & Maintenance, and Proposed Replacement due to destruction by disaster (coastal storms.)

The 50% rule pertains only to those activities related to repair and maintenance and specifically excludes portions of the structure destroyed by disaster.

Coastal Act Section 30610 (a)(1): Notwithstanding any other provision of this division, no coastal development permit shall be required pursuant to this chapter for the following types of development and in the following areas: (g)(1) The replacement of any structure, other than a public works facility, destroyed by a disaster. The replacement structure shall conform to applicable existing zoning requirements, shall be for the same use as the destroyed structure, shall not exceed either the floor area, height, or bulk of the destroyed structure by more than 10 percent, and shall be sited in the same location on the affected property as the destroyed structure.

### SHEET INDEX

SHEET NO.	DESCRIPTION
T.01	TITLE SHEET
S.01	GENERAL STRUCTURAL NOTES & DRAWING INDEX
S.02	GENERAL STRUCTURAL NOTES CONT.
S.03	SYMBOLS & ABBREVIATIONS
S.04	TYPICAL DETAILS
S2.0	SITE PLAN
S2.1	STAIRWAY REPLACEMENT - PARTIAL PLAN
S3.1	ELEVATIONS

COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

SOLANA BEACH FIRE DEPARTMENT	SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
By: _____ Fire Chief	By: _____ District Engineer	By: <b>WALTER F. CHARTON</b> , Date: 05-11-18 R.C.E.: 23792 Exp: 12-31-19			By: _____ Date: _____	By: <b>Mohammad Samrak</b> , City Engineer R.C.E.: 37145 Exp: 05-30-18	SEE SHEET S2.0 FOR BENCH MARK DATA 1983 SURVEY 1983 TRANSFER FROM US AND COUNTY OF SAN DIEGO ELEVATION PROVIDED IN THE TOP OF CURB AT POINT OF CORNER OF 1/4" IS 14.14 AND POINT TYPICAL ELEV: 11.447 11.526 11.5	<b>SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE</b>		<b>T.01</b> SHEET 1 OF 8

# General Structural Notes

## I. GENERAL

- MATERIALS AND WORKMANSHIP TO CONFORM WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE, WITH CITY OF SOLANA BEACH AMENDMENTS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- REFERENCE TO CODES, RULES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS OR REQUIREMENTS OF REGULATORY AGENCIES IS TO THE LATEST PRINTED EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BID UNLESS THE DOCUMENT DATE IS SHOWN.
- DRAWINGS INCLUDE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONCRETE IS NOT SPECIFICALLY NOTED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN. USE SIMILAR DETAILS OF CONSTRUCTION, SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- DETAILS ON SHEETS TITLED "TYPICAL DETAILS" APPLY TO SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED. SUCH DETAILS ARE NOT NOTED AT EACH LOCATION THAT THEY OCCUR.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND FOR CHECKING DIMENSIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES AND RESOLVE BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS.
- PREPARE MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES INCLUDE, BUT MAY NOT BE LIMITED TO, BRACING AND SHORING FOR LOADS DURING CONSTRUCTION. RETAIN A REGISTERED CIVIL ENGINEER WHO IS PROPERLY QUALIFIED TO DESIGN BRACING, SHORING, ETC. NOTS TO THE SITE BY THE OWNER'S REPRESENTATIVE WILL NOT INCLUDE OBSERVATION OF THE ABOVE NOTED ITEMS.
- INFORMATION SHOWN ON THE DRAWINGS RELATED TO EXISTING CONDITIONS REPRESENTS THE PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. REPORT CONDITIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS TO THE OWNER'S REPRESENTATIVE. DO NOT DEVIATE FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING A SAFE PLACE TO WORK AND MEETING THE REQUIREMENTS OF ALL APPLICABLE JURISDICTIONS. DEDICATE WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY FILING DEBRIS AND OTHER HAZARDS IN CONVICTION WITH THIS WORK.

## II. FOUNDATION AND SITEWORK

- THE DESIGN OF THE FOUNDATION SYSTEM IS BASED UPON THE GEOTECHNICAL AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT ENTITLED "PREPARED BY TERRACOSTA CONSULTING GROUP, DATED \_\_\_\_\_ REVISIONS ARE AVAILABLE FOR REVIEW."
- GROUNDWATER ELEVATION IS ESTIMATED AT APPROXIMATELY ELEVATION 0 FEET. PROVIDE SITE DE-WATERING AS SPECIFIED BY THE PROJECT GEOTECHNICAL ENGINEER.
- LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION.
- REMOVE ADJACENT FOUNDATIONS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- NOTIFY THE OWNER'S REPRESENTATIVE IF ANY BURIED STRUCTURES WERE FORGOTTEN, SUCH AS GAS PIPES, CEMENT FOUNDATIONS, ETC. ARE FOUND.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LACING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
- REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
- EXCAVATIONS FOR FOUNDATIONS WILL BE ACCEPTED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING REINFORCING AND CONCRETE. NOTIFY THE GEOTECHNICAL ENGINEER WHEN EXCAVATIONS ARE READY FOR INSPECTION.
- PLACE BACKFILL BEHIND RETAINING WALLS AFTER CONCRETE OR MASONRY HAS ATTAINED FULL DESIGN STRENGTH. GRADE BUILDING AND PIT WALLS BELOW GRADE FROM LATERAL LOADS UNTIL ATTACHED FLOORS AND SLABS ON GRADE ARE COMPLETE AND HAVE ATTAINED FULL DESIGN STRENGTH.
- MECHANICALLY CONTACT EXISTING BACKFILL IN LAYERS, PROVIDE THE FOLLOWING MINIMUM COMPACTION IN ACCORDANCE WITH THE ASTM D1557 TEST METHOD:

MINIMUM DRY DENSITY	LOCATIONS
SIZE	TRENCH AND WALL BACKFILL
SIZE	LAYER 4" OF SOIL BEHIND FILL
SIZE	FILL BEHIND SLAB ON GRADE
SIZE	FILL BEHIND FOOTINGS
SIZE	FILL

## III. FORMWORK

- PROVIDE FOUR POCKETS IN FORMS AND UNDER EXISTING STRUCTURAL MEMBERS AS REQUIRED TO PREVENT AIR POCKETS AND/OR "HONEYCOMB" UNDER OR AROUND THE EXISTING MEMBERS. CONCRETE CAST WITH AIR POCKETS AND/OR "HONEYCOMB" UNDER OR AROUND THE MEMBERS IS NOT ACCEPTABLE.
- REMOVE FORMS AND CHORES IN ACCORDANCE WITH THE FOLLOWING:

LOCATION	REMOVE FORMS AND CHORES NO SOONER THAN
BOTTOM FORMS AND SHORES FOR FULLY REINFORCED CONCRETE	7 DAYS, AND FC = 3500 PSI MINIMUM
FORMS FOR BEAMS AND GIRDERS	77 HOURS
COLUMNS AND WALLS	72 HOURS
FOOTINGS, PILECAPS, AND GRADE BEAMS	48 HOURS

- PROVIDE CURING WHERE FORMS ARE REMOVED IN LESS THAN 7 DAYS, INCLUDING BUT NOT LIMITED TO WALLS, COLUMNS, AND UNDERSIDE OF ELEVATED SLABS.

## IV. REINFORCING STEEL

- ALL REINFORCING TO CONFORM TO ASTM A601, 60 KSI UNLESS OTHERWISE NOTED. ALL REINFORCING SHALL BE EPOXY-COATED, UNLESS OTHERWISE NOTED.
- ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT FROM EXCAVATIONS AND FORMS DURING CONSTRUCTION. OR CONCRETE PLACEMENT OPERATIONS. LOCATE AND SUPPORT REINFORCING BY WELLS, CHAIRS, BARRERS, BOLTERS, SPACERS, AND HANGERS AT A MAXIMUM 2-FOOT SPACING.
- MECHANICAL CONNECTIONS: LENTON WIREBOND OR INTERLOCK COMPLEYS BY ERCO (PARTS-ES-49-0129 / PART 24507), OR WIREBOND BY HERMES REINFORCING CORPORATION (ES-458 276 / PART 25477). CONNECTIONS FOR BEAM AND SLAB BARS AT FORMED CONSTRUCTION JOINTS MAY BE LENTON FLOW SAEVERS BY ERCO (PARTS-ES-DR-0129 / PART 24507).
- WELD REINFORCING STEEL IN ACCORDANCE WITH AWS D1.4 USING QUALIFIED WELDERS.
- TEMPORARY REINFORCING STEEL IN STANDARD HOOPS, UNLESS OTHERWISE SHOWN.
- PROVIDE REINFORCING SHOWN OR NOTED CONTINUOUS IN LENGTHS AS LONG AS PRACTICAL.

## V. CAST-IN-PLACE CONCRETE

- CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- REMOVE CONCRETE SURFACES OF CONSTRUCTION JOINTS TO 1/4 INCH AMPLITUDE AND CLEAN OF LANTINE, FOREIGN MATTER, AND LOOSE PARTICLES. LOCATE CONSTRUCTION JOINTS AS SHOWN ON THE DRAWINGS. SUBMIT ALTERNATE JOINT LOCATIONS OR JOINTS NOT SHOWN TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- AT LOCATIONS WHERE CONCRETE IS CAST AGAINST EXISTING CONCRETE, REMOVE CONTACT SURFACES TO 1/4 INCH AMPLITUDE AND CLEAN OF LANTINE, FOREIGN MATTER, AND LOOSE PARTICLES.
- CONCRETE CLEAR COVER TO REINFORCING BARS IS AS FOLLOWS, UNLESS OTHERWISE NOTED:

LOCATION	CLEAR COVER
CONCRETE PLACED AGAINST EARTH	3 INCHES
DOWNED SURFACES EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:	
#5 BARS AND LARGER	2 INCHES
#3 BARS AND SMALLER	1 1/2 INCHES
SLABS ON GRADE (TOP CLEARANCE)	1 1/2 INCHES
BEAMS, GIRDERS AND COLLARS NOT EXPOSED TO WEATHER OR EARTH	1 1/2 INCHES
WALL OR SLAB SURFACES NOT EXPOSED TO WEATHER OR EARTH:	
#5 & SMALLER	3/4 INCH
#6, #8, #10 & #11	1 1/2 INCHES
#14 & #16	2 1/2 INCHES

## VI. CONCRETE TYPES

CLASS	28-DAY STRENGTH	TYPE	LOCATION
A	5000 PSI	NORMAL WEIGHT	ALL LOCATIONS

- NON-SHRINK GROUT, 7000 PSI "EPOX-45" BY EXCELSIOR CHEMICAL COMPANY (PART 20221).

## VII. STRUCTURAL STEEL

- STRUCTURAL STEEL TO CONFORM TO THE FOLLOWING UNLESS OTHERWISE NOTED:

SECTIONS	TYPE
ROLLED SHAPES	ASTM A992 (50 KSI)
WELDED CHANNELS, ANGLES, & OTHER	ASTM A36
ALL PLATES	ASTM A572, GR 50
STEEL PIPE	ASTM A53 GRADE B
COIL FORMED HOLLOW STRUCTURAL SECTION (HSS)	ASTM A1085
STAINLESS STEEL SHAPES, PLATES AND BARS	ASTM A276, TYPE 304
STAINLESS STEEL PIPES	ASTM A312, GR TP304
STAINLESS STEEL BOLTS	ASTM F253
BOLTS	ASTM A325X
MACHINE BOLTS	ASTM A307
ANCHOR BOLTS AND ROSS	ASTM F1554, GR 55
BRACED AND HANGER ROD	ASTM A572, GR 50
WELDED SHEAR CONNECTORS HOLLOW/TWO PER FOOT REPORT (EQUIVALENT APPROVED EQUIVALENT)	ASTM A 108, GRADE 1015, MINIMUM 1000 (AS PER ULTIMATE)
WELDED THREADED STUDS NUTS/ROV TYPE "UL" OR APPROVED EQUIVALENT	S&E GRADE 5 (57 KSI YIELD)
NUTS FOR BOLTS AND MACHINE BOLTS	ASTM A563
HARDENED WASHERS	ASTM F435
UNHARDENED WASHERS	ASTM F84
FLAT WASHERS	ANSI B18.22.1
BEVELED WASHERS	ANSI B18.23.1

- WELD TO BE CALIBRATED IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STRUCTURAL STEEL AND FACTORIES THAT ARE PERMANENTLY EXPOSED TO THE WEATHER. REPAIR CALIBRATING AFTER WELDING IN ACCORDANCE WITH ASTM A109.
- HOT-ROLLED SHAPES WITH FLANGE THICKNESS EXCEEDING 2 INCHES THAT ARE SPURD OR CONNECTED TO OTHER MEMBERS USING COMPLETE JOINT PENETRATION DOUBLE WELDS SHALL BE SUPPLIED WITH CHAMFY V-NOTCH (CON) TESTING IN ACCORDANCE WITH ASTM A8 SUPPLEMENTARY REQUIREMENT S18. AS INDICATED BY ACC 350-10 SECTION A3.10, THE IMPACT TEST SHALL MEET A MINIMUM AVERAGE VALUE OF 20 FT-LEF AT -40 DEGREES FARENHEIT.
- FOR STRUCTURAL STEEL IN THE SEISMIC FORCE RESISTING SYSTEM, HOT ROLLED SHAPES WITH FLANGES 1.5 INCH THICK AND THICKER SHALL HAVE A MINIMUM CHAMFY V-NOTCH TOUGHNESS OF 20 FT-LEF AT -40 DEGREES FARENHEIT. PLATES 2 INCH THICK AND THICKER SHALL HAVE A MINIMUM CHAMFY V-NOTCH TOUGHNESS OF F 20 FT-LEF AT -40 DEGREES FARENHEIT IN ACCORDANCE WITH ASTM A8 SUPPLEMENTARY REQUIREMENT S18.
- ARC-WELDED ELECTRODES/TIGER METALS TO BE LOW HYDROGEN TYPES EXACT, EXACTLY, OR EXACTLY MINIMUM AS APPLICABLE. FOR STAINLESS STEEL APPLICATIONS, USE CODES OR ERW-MIL, ER-109 KSI. STAINLESS STEEL WELDING SHALL CONFORM TO THE LATEST EDITION OF AWS D1.6. ELECTRODES WITH CHAMFY V-NOTCH (CON) TESTS VALUES OF A MINIMUM 20 FT-POUNDS AT -20 DEGREES FARENHEIT ARE TO BE USED AT THE FOLLOWING LOCATIONS:

- COMPLETE JOINT PENETRATION WELDS
  - WELDS TO COLLAR MEMBER CONNECTIONS INCLUDING FLANGE, WEB, AND CORNARY PLATE FILLET AND PARTIAL JOINT PENETRATION WELDS
  - WELDS CONNECTIONS INCLUDING BRACE, CORNER, GUSSET PLATES, LEAN STEEPER PLATES, AND CORNARY PLATE FILLET AND PARTIAL JOINT PENETRATION WELDS
  - WELDS NOTED "CON" ON THE DRAWINGS
- FABRICATORS AND WELDERS TO BE CERTIFIED BY AWS AND THE GOVERNING JURISDICTION.
  - WELDE FIELD WELDING IS NOTED, THE DESIGNATION IS GIVEN AS A SUGGESTED IDENTIFICATION PROCEDURE ONLY.
  - PROTECT WAREHOUSE DAMPER UP UNLESS NOTED OTHERWISE EXCEPT AT CASTLETTES. AT CASTLETTES PREPARE DAMPER SUCH THAT TOP OF DAMPER IS ABOVE FINIAL ELEVATION.
  - SPACE MEMBERS ONLY WHERE INDICATED.

## VIII. ROUGH CARPENTRY

- FRAMING LINGER: DOUBLE END (COAST REGION) GRADED AND MARKED IN ACCORDANCE WITH THE STANDARD GRADING RULES NO. 17 OF THE WEST COAST LAMBER INSPECTION BUREAU (WCLIB) OR WESTERN LAMBER GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION (W.W.P.A.). USE LAMBER OF THE FOLLOWING GRADES:
- | MEMBER                          | MINIMUM GRADE | WOOD/GRADE                               |
|---------------------------------|---------------|--|
| SHAPES                          | 19X           | D.F. #1 PRESSURE OR PRESERVATIVE TREATED |
| STAIRS                          | 11X           | D.F. #2                                  |
| JOIST, PLANKS AND PLATES        | 11X           | D.F. #1                                  |
| SCAFF, 5" AND WIDER             | GREEN         | D.F. SELECT STRUCTURAL                   |
| SCAFF, 4" AND WIDER             | GREEN         | D.F. #1                                  |
| POSTS, 4-6 AND LARGER           | GREEN         | D.F. SELECT STRUCTURAL                   |
| POSTS, 4-6 AND SMALLER          | 19X           | D.F. #1                                  |
| FRAMING SLOTTING & BRACING      | 11X           | D.F. #2                                  |
| PLYWOOD SLOTTING                | 19X           | D.F. #1                                  |
| SHAPING, STOPPING AND FINISHING | 19X           | CONSTRUCTION                             |
- PANEL SHEATHING: IDENTIFY WOOD STRUCTURAL PANELS WITH THE APPROPRIATE TRADEMARK OF THE ENGINEERED WOOD ASSOCIATION AND MEET THE REQUIREMENTS OF THE VOLUNTARY PRODUCT STANDARDS PS-1, OR PS-2, AND APA PRF-108 PERFORMANCE STANDARD.
  - PANEL SHEATHING TO BE EXPOSURE 1.
  - PLYWOOD PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM.
  - PLYWOOD TO BE CC GRADE AT LOCATIONS EXPOSED TO WEATHER; CC GRADE UNLESS OTHERWISE NOTED.
  - PROVIDE THE FOLLOWING GRADE AND SPAN RATINGS:

PANEL THICKNESS	MINIMUM GRADE	ROOF/FLOOR RATING
3/8"	STRUCTURAL 1	24/30
7/16"	STRUCTURAL 1	24/18
15/32"	STRUCTURAL 1	32/18
15/32" AND 5/8"	CD/CC	48/20
5/8"	CD/CC	48/24
7/8" AND 1"	CD/CC	54/25
1 1/8"	CD/CC	60/43

## IX. ROUGH HARDWARE

- WALDS: COMMON WIRE NAILS, FEDERAL SPECIFICATION FT-N-1029, STANDARD LENGTH 0.00. USE HOT-DIPPED (ZINC-COATED) GALVANIZED NAILS FOR EXTERIOR INSTALLATIONS AND WHEN PENETRATING PRESERVE TREATED OR FIRE-RETARDANT LUMBER.
- BOLTS AND THREADED RODS: ASTM A307, SQUARE OR HEXAGONAL HEAD MACHINE BOLTS WITH ASTM A563 NUTS. USE MALLEABLE IRON WASHERS UNDER HEAD AND NUT WHEN IN CONTACT WITH WOOD. USE HOT-DIPPED GALVANIZED PRODUCTS.
- LAG SCREWS: ASTM A307, ANSI/AIAA STANDARD B18.2.1. USE ANSI B18.22.1 WASHERS UNDER HEAD WHEN IN CONTACT WITH WOOD.

- SCREWS: ASTM A307, ANSI/AIAA STANDARD B18.2.1. USE CROWN-PLATED PAN OR ROUND HEADED SCREWS AT STEEL TO WOOD AND WOOD-TO-WOOD CONNECTIONS.
- MISCELLANEOUS STEEL: ASTM A36.
- BELTS, NUTS, WASHERS, STRAPS AND OTHER HARDWARE EXPOSED TO THE WEATHER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- FRAMING CLIPS, SHEET METAL STRAPS, ETC TO BE SIMON WITH 2-WAY GALVANIZED FINISH FOR ALL PIECES EXPOSED TO THE WEATHER. DESIGNATIONS ON DRAWINGS ARE BASED ON SIMON CATALOGUE NUMBERS.
- HANGING:
  - DRIVE NAILS PERPENDICULAR TO THE GRAIN, U.O.M.
  - PREDRILL NAILS TO 3/4 OF NAIL DIAMETER WHERE SPECIFIED AND WHEN WOOD TENDS TO SPLIT.
  - AIR-DRIVEN NAILS TO BE FULL-HEADED NAILS. DO NOT OVERDRIVE NAILS.
- PANEL SHEATHING:
  - AT FLOOR AND ROOF SHEATHING, USE FINI SHANK NAILS. USE SMOOTH SHANK NAILS AT WALLS.
  - USE OF MACHINE NAILING IS SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR EACH PROJECT AND APPROVAL BY THE OWNER'S REPRESENTATIVE. NAIL HEADS SHALL PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND NAIL OR IF THE MINIMUM ALLOWABLE EDGE DISTANCES ARE NOT MAINTAINED THE INSTALLATION IS UNSATISFACTORY. MACHINE NAILING IS NOT APPROVED IN 5/16" OR LESS SHEATHING.
  - CLUE FLOOR SHEATHING AT ALL POINTS OF CONTACT.

## Drawing Index

- S0.1 GENERAL STRUCTURAL NOTES AND DRAWING INDEX
- S0.2 GENERAL STRUCTURAL NOTES CONT
- S0.3 SYMBOLS AND ABBREVIATIONS
- S0.4 TYPICAL DETAILS
- S0.5 SITE PLAN
- S2.1 STARWAY REPLACEMENT - PARTIAL PLAN
- S2.1 ELEVATIONS

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insight Project No. 17003



COASTAL COMMISSION PERMIT NO. _____		ENGINEER OF WORK		CITY APPROVED CHANGES		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT		DRAWING NO.	
SOLANA BEACH FIRE DEPARTMENT		SANTA FE ROSSIGNOL DISTRICT		By: _____ Date: _____		By: _____ Date: _____		By: _____ Date: _____		SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STARWAY MAINTENANCE		DRAWING DEPARTMENT		S0.1	
By: _____ Date: _____		By: _____ Date: _____		By: _____ Date: _____		By: _____ Date: _____		By: _____ Date: _____		SHEET 2 OF 8					

# General Structural Notes

## VII. ROUGH CARPENTRY

- E. MINIMUM NAILING TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
- 2x JOISTS OR RAFTERS TO SIDES OF STUDS:  
FOR EACH ADDITIONAL 4 INCH IN DEPTH OF JOIST: 3-16d
  - JOISTS OR RAFTERS AT ALL BEARING TENDALS: 2-5d EACH SIDE
  - STUDS TO BEARING TENDALS:  
D/D NAIL @ 24" 2-16d  
D/D NAIL @ 36" 2-20d
  - BLDG STUDS, JOISTS OR RAFTERS TO WALLS, EACH END: 3-8d EACH SIDE
  - CROSS-BRIDGING BETWEEN JOISTS OR RAFTERS:  
TENDALS EACH END: 2-8d  
NEARINGSIDE ENDING: 2-10d
  - DOUBLE TOP PLATES:  
LOWER PLATE TO TOP OF STUD UPVED PLATE TO LOWER PLATE-STACKED: 16d @ 16" O.C.
  - DOUBLE 2x JOISTS STAGGERED 2 FLOORS: 16d @ 12" O.C.
  - CONTINUOUS CONTACTS:  
ALL OTHER WOOD CONTACTS: 16d MIN @ 12" O.C.  
2-16d @ 1" INTERVAL  
2-10d @ 2" INTERVAL  
2-10d @ 3" INTERVAL
  - WHERE SPOKED APART, AT EACH BLOCK: 2-16d
  - BUILT-UP STUDS, GIRDERS AND BEAMS:  
GIRDERS STUDS:  
GIRDERS A BEAMS: 16d @ 24" O.C.  
20d @ 32" O.C.  
TOP & BOTTOM AND STAGGERED 2-10d @ EACH SPACE & END

## VIII. BOLT AND SCREW INSTALLATION

- A. DRILL BOLT HOLES A MAXIMUM OF 1/16 INCH LARGER IN DIAMETER THAN THE BOLT NOMINAL DIAMETER.
- B. DRILL PRE-BORED LEAD HOLES FOR WOOD SCREWS AS FOLLOWS:
1. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT 7/8 THE DIAMETER OF THE WOOD SCREW.
  2. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE SCREW WITH A DRILL BIT WHICSE DIAMETER IS 7/8 THE DIAMETER OF THE SCREW AT THE FOOT OF THE THREAD.
  3. INSERT THE SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.
  4. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.
- C. DRILL PRE-BORED LEAD HOLES FOR LAG SCREWS AS FOLLOWS:
1. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT OF THE SAME DIAMETER AS THE LAG SCREW.
  2. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE LAG SCREW WITH A DRILL BIT WHICSE DIAMETER IS 50 PERCENT OF THE NOMINAL LAG SCREW DIAMETER.
  3. INSERT LAG SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.
  4. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.
- D. INSTALL SOLID BLOCKING BETWEEN JOISTS AT ENDS AND OVER SUPPORTS. PROVIDE 2 INCH BY 3 INCH CROSS BRIDGING, METAL BRIDGING, OR SOLID BLOCKING BETWEEN JOISTS IN SPANS EQUALLY SPACED 8 FEET ON CENTER MAXIMUM AND WHERE INDICATED.
- E. DO NOT USE WOOD SHINGLE ENDS UNDER STUDS, JOISTS, BEAMS, OR POSTS.
- F. PRESERVATIVE TREATMENT
- A. PRESERVE FROM MATERIALS WITH CALSOLINE OR WATERBORNE PRESERVATIVE ACCORDING TO ANFA 311. USE CATIONIC PRES. WOOD EXPOSED TO SALT AND BRACKISH WATER. COMPANY SPECIFICATION SECTION D - MARINE (SALT WATER) APPLICATIONS.
- B. TREATMENT SHALL BE PG CHROMIATED COPPER ARGENTATE PIPE C (CCA) WATERBORNE ACID BASED PRESERVATIVE OR PZ3 ARMOXICAL COPPER ZINC ARSEDATE (ACZA) WATERBORNE ALUMINUM-BASED (MAYE/ARMONIA) PRESERVATIVE FOR DOUGLAS FIR-LARCH.

- C. ALL EXPOSED TIMBER SHALL BE TREATED, UNLESS OTHERWISE INDICATED:
- D. PROVIDE STAINLESS-STEEL BOLTS, UNLESS OTHERWISE INDICATED, COMPLYING WITH ASTM F 593, ALLOY GROUP 1 OR 2 (ASTM F 755A, GRADE A1 OR A1), PROVIDE NUTS COMPLYING WITH ASTM F 594, ALLOY GROUP 1 OR 2 (ASTM F 755A, GRADE A1 OR A1), AND, WHERE INDICATED, PROVIDE FLAT WASHERS, 2-MIL (0.05-MM) DRY FILM THICKNESS.
- E. FINISH STEEL ASSEMBLIES AND FASTENERS WITH RUST-INHIBITIVE PRIMER, 2-MIL (0.05-MM) DRY FILM THICKNESS.
- F. WHERE PRESERVATIVE-TREATED MEMBERS ARE INDICATED, FABRICATE (CUT, DRILL, SURFACE, AND SAW) BEFORE TREATMENT TO GREATEST EXTENT POSSIBLE. WHERE FABRICATION MUST BE DONE AFTER TREATMENT, APPLY A FIELD-TREATMENT PRESERVATIVE TO COMPLY WITH ANFA M4.
- G. COAT CROSSCUTS WITH DDO SEALER.

## VIII. STRUCTURAL TESTS, INSPECTIONS, AND OBSERVATIONS

1. AN INDEPENDENT TESTING AGENCY AND SPECIAL INSPECTORS WILL BE RETAINED BY THE OWNER TO PERFORM THE FOLLOWING TESTS AND INSPECTION. PROVIDE ACCESS AND FURNISH SAMPLES TO THE AGENCY AS REQUIRED BY THE CONTRACT DOCUMENTS.
2. IF FINAL TESTS OR INSPECTIONS MADE BY THE OWNER'S TESTING AGENCY REVEAL THAT ANY PORTION OF THE WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, ADDITIONAL TESTS, INSPECTIONS, AND NECESSARY REPAIRS WILL BE MADE AT THE CONTRACTOR'S EXPENSE.
3. THE FOLLOWING ITEMS REQUIRE TESTS AND INSPECTIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND INSPECTION OF THE CODE OF THE GOVERNING JURISDICTION AS NOTED IN THE GENERAL SECTION OF THESE GENERAL NOTES.

STRUCTURAL STEEL			
<input checked="" type="checkbox"/>	Review All Certificates & Test Reports		
<input checked="" type="checkbox"/>	Review Building Approval Specifications & Other Certifications		
<input checked="" type="checkbox"/>	Sample & Test Sections	As Specified	As Required
<input checked="" type="checkbox"/>	Sample & Test High-Strength Bolts & Washers		
<input checked="" type="checkbox"/>	Shop Material Inspection		
<input checked="" type="checkbox"/>	Field Erection Inspection		
<input checked="" type="checkbox"/>	Alignment Inspection	<input checked="" type="checkbox"/>	Shop <input checked="" type="checkbox"/> Field <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Vertical Erection	<input checked="" type="checkbox"/>	Shop <input checked="" type="checkbox"/> Field <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Non-Destructive Weld Test	<input checked="" type="checkbox"/>	Shop <input checked="" type="checkbox"/> Field <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Bolting Inspection	<input checked="" type="checkbox"/>	Shop <input checked="" type="checkbox"/> Field <input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Composite Steel Inspection & Testing		
<input checked="" type="checkbox"/>	Steel Plate Load Test		
REINFORCING STEEL			
<input checked="" type="checkbox"/>	Review All Certificates & Test Reports		
<input checked="" type="checkbox"/>	Sample & Test	Reinforcing Bars	Welded Wire Fabric
<input checked="" type="checkbox"/>	Placement Inspection		
<input checked="" type="checkbox"/>	Welding Inspection		
<input checked="" type="checkbox"/>	Test Erection Reinforcement for Crackability		
EARTHWORK/RETAINMENTS			
<input checked="" type="checkbox"/>	Review & Import Material Test Reports		
<input checked="" type="checkbox"/>	Acceptance Tests of Materials		
<input checked="" type="checkbox"/>	Placement Erection Inspection	Chairs/Spacers	No Obstacles
<input checked="" type="checkbox"/>	Compaction Test		
<input checked="" type="checkbox"/>	Shrinkage Capacity Test		
<input checked="" type="checkbox"/>	Pre-Strained Inspection		
<input checked="" type="checkbox"/>	Flow & Colours Drilling Inspection		
MISCELLANEOUS			
<input checked="" type="checkbox"/>	Revised Hubbing		
<input checked="" type="checkbox"/>	Drainage Electric Anchors		
<input checked="" type="checkbox"/>	Empty or Grouted Details		
<input checked="" type="checkbox"/>	Barb Coat & Concrete		
<input checked="" type="checkbox"/>	Cold Churner & Trussing Wires		
<input checked="" type="checkbox"/>	Cast Form Walls (Special Method)		
<input checked="" type="checkbox"/>	Concrete Substrate	Crack	Moisture
<input checked="" type="checkbox"/>		Acceptance Tests	
<input checked="" type="checkbox"/>		Compact Test	
<input checked="" type="checkbox"/>		Pre Design Review	
<input checked="" type="checkbox"/>		Continuous Batch Plant Inspection	
<input checked="" type="checkbox"/>		Batch Plant Inspection	
<input checked="" type="checkbox"/>		Cor. Tests, and Compressive Test Samples	
<input checked="" type="checkbox"/>		Slump, Embedded Air, & Temperature Test	
<input checked="" type="checkbox"/>		Load Report Test	Wet <input type="checkbox"/> Dry <input type="checkbox"/>
<input checked="" type="checkbox"/>		Shrinkage Test	
<input checked="" type="checkbox"/>		Placement Inspection	
<input checked="" type="checkbox"/>		Load & Test	

4. NOTIFY THE ENGINEER AT SCHEDULED CONSTRUCTION STAGES 72 HOURS IN ADVANCE AND PROVIDE ACCESS FOR THE FOLLOWING STRUCTURAL OBSERVATIONS:
- A. FOUNDATIONS
    1. REINFORCEMENT
    - B. STEEL FRAMING
      1. GENERAL

## IX. SUBMITTALS

1. SHOP DRAWINGS, CALCULATIONS, SAMPLES, ETC. FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW A MINIMUM OF 15 WORKING DAYS PRIOR TO FABRICATION OF WORK:
  - A. CONCRETE MIX DESIGN SHALL BE STAMPED AND SIGNED BY SUITABLES PROFESSIONAL ENGINEER.
  - B. STEEL REINFORCEMENT
  - C. STRUCTURAL STEEL AND MISCELLANEOUS FROM
  - D. MILL CERTIFICATES FOR ALL STEEL MATERIALS CERTIFYING THAT THEY MEET OR EXCEED SPECIFIED REQUIREMENTS.
  - E. CONCRETE CURING METHODS
  - F. WELDING PROCEDURES SPECIFICATIONS AND WELDING ELECTRODE
  - G. ANY SUBSTITUTIONS TO THE PRODUCTS SPECIFIED.
2. STRUCTURAL STEEL SHOP DRAWINGS SHALL INDICATE THE ASTM MATERIAL (REINFORCING, MEMBERS, CONNECTIONS, AND DIMENSIONS).
3. REVIEW OF SHOP DRAWINGS DOES NOT CONSIDER CHANGES OR DEVIATIONS TO THE CONTRACT DOCUMENTS AND SHOULD NOT BE CONSTRUED AS APPROVAL OF ANY SUCH ITEM.
4. REINFORCING DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION (ADDITIONAL INFORMATION SHALL BE INCLUDED AS REQUIRED BY CONSTRUCTION SPECIFICATIONS OR OTHER SPECIAL CONSTRUCTION CONDITIONS):
  - A. PLANS OF COVERED FOOTINGS
  - B. DRAWINGS SHALL INCLUDE LAYOUT DIMENSIONS, SIZE AND LOCATION OF STUDS (INCLUDING PROXIMITY CORREL BAR SPACERS), SIZE AND LOCATION OF ACCESSORIES.
  - C. THE GENERAL CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE STRUCTURAL ENGINEER FOR CONSTRUCTION SEQUENCE AND SHALL COORDINATE SAME WITH REINFORCING BEFORE SUBMITTAL OF SHOP DRAWINGS.

## X. DESIGN CRITERIA

1. APPLICABLE CODE: 2016 CALIFORNIA BUILDING CODE WITH CITY OF SOLANA BEACH AMENDMENTS.
2. DRILLED, CAST-IN-PLACE CONCRETE FOUNDATIONS HAVE BEEN DESIGNED WITH THE FOLLOWING CRITERIA: [X] PSF IN TORREY SANDSTONE
  - A. LEAD LOADS - VARY BASED ON ACTUAL BUILDING AND EQUIPMENT OPERATING WEIGHTS.
  - B. LIVE LOADS: STAIRS AND LANDINGS: 100 PSF
  - C. SEISMIC DESIGN: EQUIPMENT LATERAL FORCE PROCEEDURE: SECOND DESIGN CATEGORY D SITE CLASS D BASE SHEAR:  $V = 0.65 * W$  (ALTERNATE)
 

WHERE:  
 $I = 1.0$  FOR RISK CATEGORY II  
 $R = 1.25$  FOR NON-BUILDING STRUCTURE NOT SIMILAR TO BUILDING  
 $S_0 = 1.208$   
 $S_1 = 0.418$   
 $S_2 = 0.819$   
 $S_01 = 0.479$
3. WIND LOADS: PRESSURE: DESIGN TEAM: WILSON EM - PROJECT MANAGER

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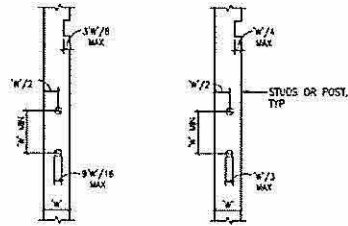
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SOLANA BEACH RIVER CROSSING PROJECT - 17-00181 - 17002 - SHEET 3 OF 8 - PER SUBJECT PERMITS AND RECORDS

SOLANA BEACH FIRE DEPARTMENT		SANTA FE IRRIGATION DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		APPT. DATE		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT		DRAWING NO.	
By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____	By: _____	Date: _____
Per Chief	District Engineer	District Engineer	District Engineer	Drawn By	R.C.E. -	Exp. -															
DESIGNATION: EQUIPMENT #27 BY 8' OFF IN THE PERIOD 11:45 AM TO 12:00 PM. TWO TRACKS FIVE (5) AND COUNTY OF SAN DIEGO. LOCATION: MOUNTAIN VIEW ROAD AND COUNTY ROAD 56. SEE SHEET 17-00181-17002-S01.																SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE		S0.2			
																				SHEET 3 OF 8	

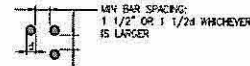




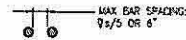
NON-LOAD BEARING      LOAD BEARING

NOTES:  
 1. NOTCHING OF MEMBER OR OVERSIZE HOLES IN MEMBER NOT PERMITTED WITHOUT WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.  
 2. DO NOT PLACE HOLES IN MEMBERS WITH HOLD-DOWN ANCHORS.

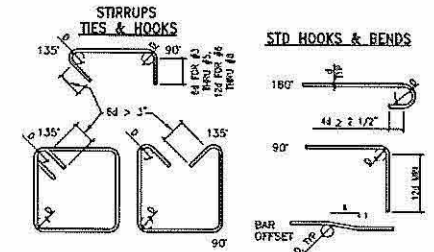
**5 HOLES & NOTCHES IN STUDS OR POSTS**  
 N.T.S.



**A - BAR SPACING FOR NON-SPLICED BARS**



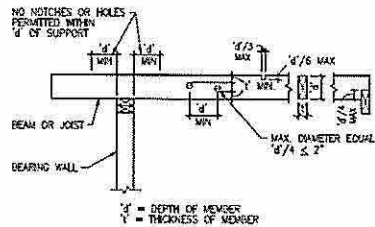
**B - BAR SPACING FOR BARS SPLICED w/ NON-CONTACT LAP**



NOTE:  
 DO NOT FIELD BEND REINFORCEMENT PARTIALLY ENCASED BY CONCRETE.

BEND DIAMETER, D		
BAR SIZE	STD HOOKS & BENDS	STIRRUPS TIES & HOOKS
#3 REB #3	6d	4d
#4 REB #4	6d	6d
#5 REB #5	6d	NA
#6 REB #6	10d	NA

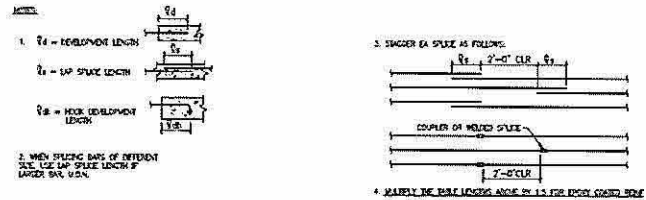
**1 HOOKS AND BENDS**  
 N.T.S.



NOTES:  
 1. HOLES & NOTCHES NOT PERMITTED FOR 2x4\"/>

**6 HOLES & NOTCHES IN BEAMS OR JOISTS**  
 N.T.S.

BAR LOCATION		CONCRETE																															
		TYPE	SPACING	#1	#2	#3	#4	#5	#6	#7	#8	#9	#10	#11	#12	#13	#14	#15															
ALL CONCRETE	MIN	FC > 2,500	25	32	9	33	42	12	41	53	15	42	43	16	59	89	21	78	122	24	83	115	29	100	128	31	119	143	31	131	11	177	55



**4 REINFORCING DEVELOPMENT & SPLICE LENGTHS**  
 N.T.S.

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 ENGINEERS & GEOLOGISTS  
 3050 NORTHERN CALIFORN ROAD, SUITE 200  
 SAN DIEGO, CALIFORNIA 92113  
 (619) 573-6500



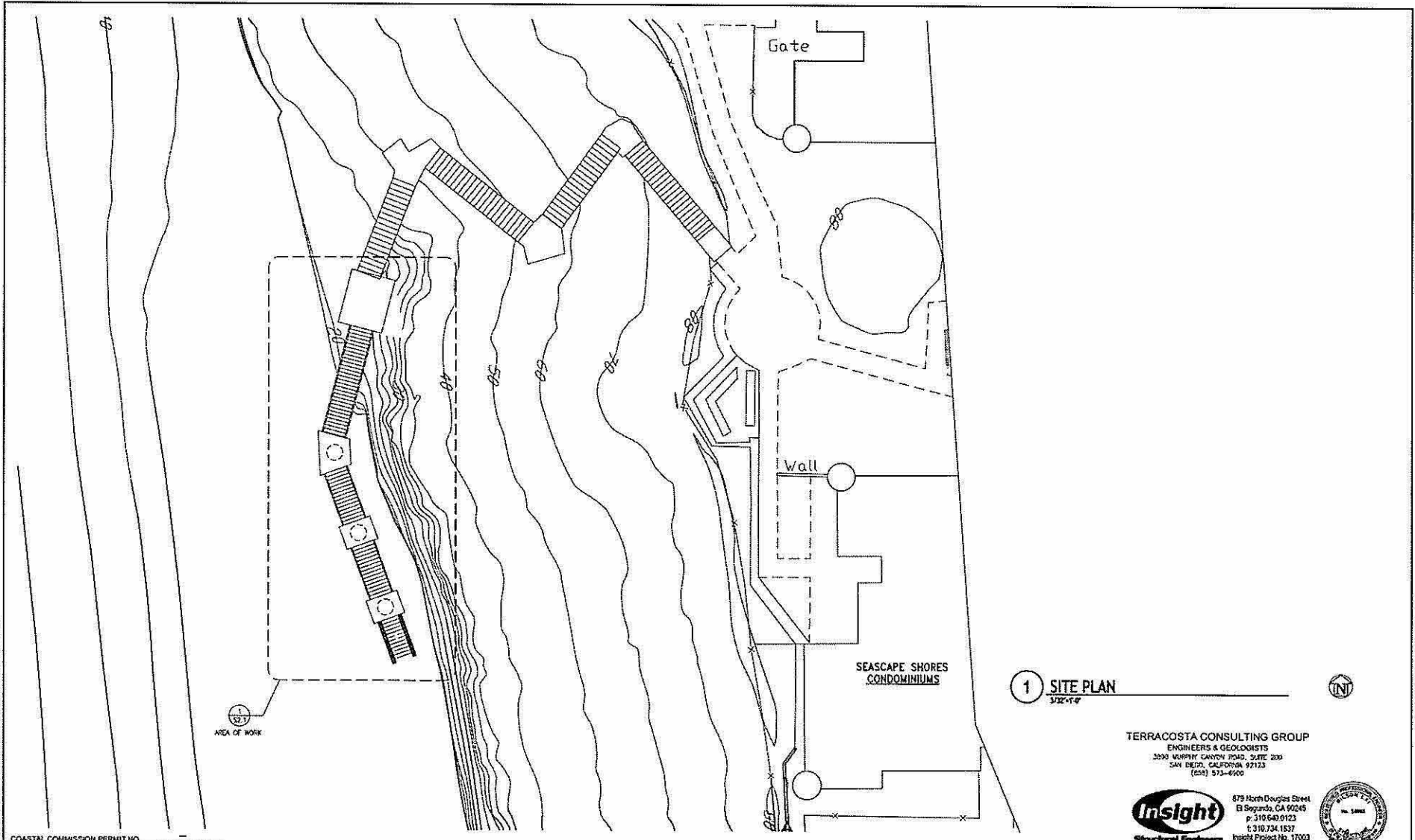
879 North Douglas Street  
 El Segundo, CA 90245  
 p: 310 640 0123  
 f: 310 734 1537  
 insight Project No. 17003



COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

SOLANA BEACH FIRE DEPARTMENT	SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APPLY DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
By: Fire Chief Date: _____	By: District Engineer Date: _____	By: _____ Date: _____			By: _____ Date: _____	By: Mohammed Samarah, City Engineer R.C.E. 37148 Exp. 05-30-18	SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE			<b>S0.4</b> SHEET 5 OF 8

68 COLUMBIA RIVER, CAD 17-038-17003, MAP 5, PART OF THE SHERMAN HILL, CA 92563



1 SITE PLAN  
3/32"=1'-0"

TERRACOSTA CONSULTING GROUP  
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SAN DIEGO, CALIFORNIA 92123  
(619) 573-6500



679 North Douglas Street  
El Segundo, CA 90245  
p. 310.640.0123  
f. 310.734.1537  
Insight Project No. 17003

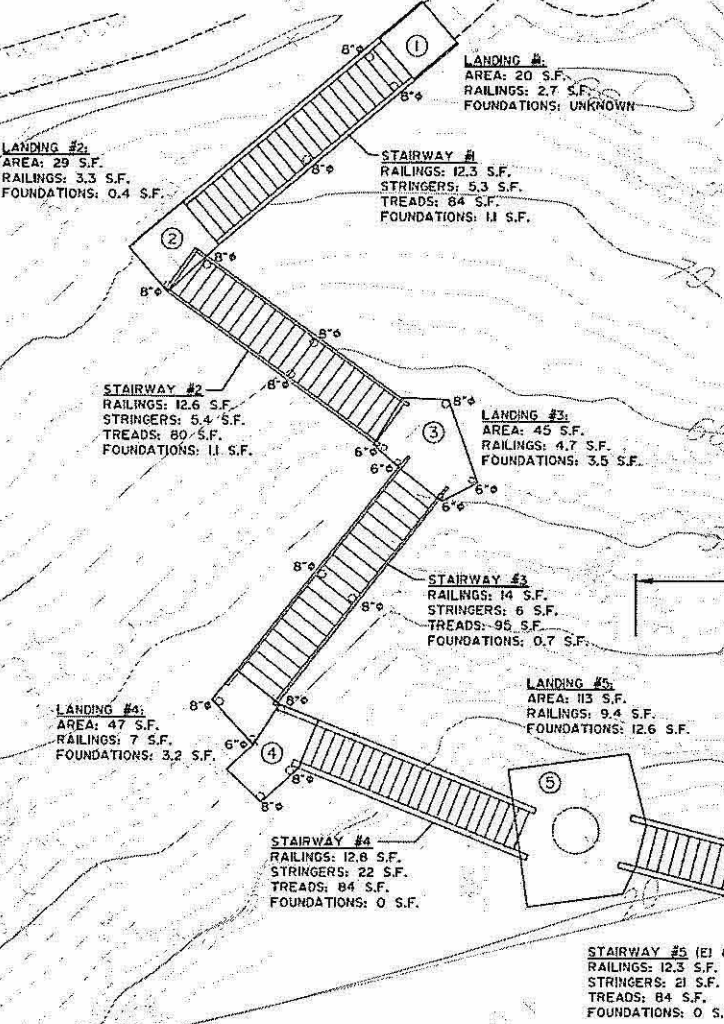
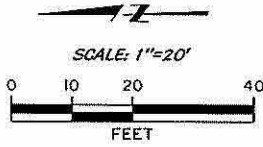


SOLANA BEACH FIRE DEPARTMENT		SANTA FE IRRIGATION DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		APPT. DATE	RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT	DRAWING NO.	
By: _____ Fire Chief	Date: _____	By: _____ District Engineer	Date: _____	Drawn By: _____	By: _____ R.C.E. -	Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____	By: _____ Date: _____
<small>           COASTAL COMMISSION PERMIT NO. _____            SOLANA BEACH FIRE DEPARTMENT: 17-0318-17003            SANTA FE IRRIGATION DISTRICT: 17-0318-17003            ENGINEER OF WORK: _____            CITY APPROVED CHANGES: _____            APPT. DATE: _____            RECOMMENDED FOR APPROVAL: _____            APPROVED FOR CONSTRUCTION: _____            BENCH MARK: _____            CITY OF SOLANA BEACH: _____            ENGINEERING DEPARTMENT: _____            DRAWING NO.: _____            SHEET 6 OF 8         </small>														SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE		S2.0 SHEET 6 OF 8			









Stairway Structural Component	Existing (Sq. Ft.)	Proposed Repair & Maintenance (Sq. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Sq. Ft.)	% Replacement for Maintenance
LANDINGS & FOUNDATIONS	391.4	111.7	37	28.5%
STAIRWAY FOUNDATIONS	2.9	0	0	0%
STAIR TREADS	562	137	82	24.4%
STRINGERS	96.7	35	23	35.2%
HAND RAILS	125.5	29	17.7	23.1%
<b>TOTALS</b>	<b>1,178.50</b>	<b>312.7</b>	<b>159.70</b>	<b>26.5%</b>

Note: Six existing timber piles will be replaced with three concrete piles at Landings 6, 7 & 8.

Existing Stairway Total Length (Linear Feet)	Proposed Repair & Maintenance (Lin. Ft.)	Proposed Replacement Due to Destruction by Disaster (Coastal Storms) (Lin. Ft.)	% Replacement for Maintenance
214	47.3	37.7	22.1%

**NOTES:**  
1. Solana Beach LUP Policy 2.60 is not intended to conflict with Coastal Act Section 30610 (see provision below). If a structure was destroyed by disaster, the parts destroyed would be able to be fully replaced.

Policy 2.60 rather pertains to repair and maintenance-related improvements.

These tables provide a breakdown of the components of the stairway as follows: Existing, Proposed Repair & Maintenance, and Proposed Replacement due to destruction by disaster (coastal storms.)

The 50% rule pertains only to those activities related to repair and maintenance and specifically excludes portions of the structure destroyed by disaster.

2. Proposed stairway design is consistent with the design used in the City's recently completed Del Mar Shores project.

3. (P) = Proposed (E) = Existing

**Coastal Act Section 30610 (g)(1):** Notwithstanding any other provision of this division, no coastal development permit shall be required pursuant to this chapter for the following types of development and in the following areas: (g)(1) The replacement of any structure, other than a public works facility, destroyed by a disaster. The replacement structure shall conform to applicable existing zoning requirements, shall be for the same use as the destroyed structure, shall not exceed either the floor area, height, or bulk of the destroyed structure by more than 10 percent, and shall be sited in the same location on the affected property as the destroyed structure.

SHADING INDICATES PORTIONS OF STAIRWAY TO BE REPLACED

DASHED LINES INDICATE PORTIONS OF STAIRWAYS DESTROYED BY STORMS (SEE NOTE #1)

	<b>TERRACOSTA CONSULTING GROUP</b> ENGINEERS AND GEOLOGISTS 3824 NEBRARY GARDEN ROAD, SUITE 205 SAN DIEGO, CA 92122 619-573-6920	FIGURE NUMBER <b>1</b>
	PROJECT NAME <b>SEASCAPE SHORES STAIRWAY</b>	PROJECT NUMBER <b>2699A</b>
<b>STAIRWAY SITE PLAN</b>		

LIMITED GEOTECHNICAL INVESTIGATION  
**BEACH ACCESS STAIRWAY**  
**SEASCAPE SHORES CONDOMINIUMS**  
325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA

Prepared for  
**SEASCAPE SHORES HOA**  
Solana Beach, California



Prepared by  
**TERRACOSTA CONSULTING GROUP, INC.**  
San Diego, California

Project No. 2099A  
October 9, 2017  
Revised: March 30, 2018



Geotechnical Engineering  
Coastal Engineering  
Maritime Engineering

Project No. 2099A  
October 9, 2017  
Revised: March 30, 2018

**SEASCAPE SHORES HOMEOWNERS ASSOCIATION**  
325 South Sierra Avenue  
Solana Beach, California 92075

Attention: Mr. Vince Amela

**LIMITED GEOTECHNICAL INVESTIGATION  
BEACH ACCESS STAIRWAY  
SEASCAPE SHORES CONDOMINIUMS  
325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA**

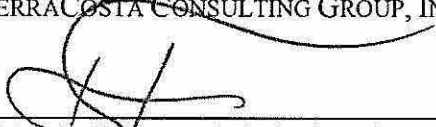
Gentlemen:


In accordance with your request, TerraCosta Consulting Group, Inc. (TerraCosta) is providing this report of limited geotechnical investigation addressing the proposed replacement of the lower portion of the Seascape Shores Condominiums Beach Access Stairway. In the accompanying report, we have included our geotechnical findings, conclusions, and recommendations pertaining to reconstruction of the stairway.

This report has been revised in response to the City of Solana Beach's third-party geotechnical review comments, requesting that the report address sea level rise and its effect on wave runup affecting the CIDH shafts. Accordingly, this revised report provides a discussion on sea level rise in general conformance with the California Coastal Commission's Sea Level Rise Policy Guidance Document adopted August 2015.

We appreciate the opportunity to be of service and trust this information meets your needs. If you have any questions or require additional information, please give us a call.

Very truly yours,  
TERRACOSTA CONSULTING GROUP, INC.

  
Walter F. Crampton, Principal Engineer  
R.C.E. 23792, R.G.E. 245

  
Braven R. Smillie, Principal Geologist  
P.G. 402, C.E.G. 207

WFC/BRS/jg  
Attachments

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APPENDIX A – NAVFAC DESIGN MANUAL 7.02, CHAPTER 5, SECTION 7



LIMITED GEOTECHNICAL INVESTIGATION  
BEACH ACCESS STAIRWAY  
SEASCAPE SHORES CONDOMINIUMS  
325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA

## 1 INTRODUCTION AND PROJECT DESCRIPTION

### 1.1 Introduction

TerraCosta Consulting Group, Inc. (TerraCosta) has prepared the following limited geotechnical investigation report for the replacement of the lower portion of the Seascape Shores Condominiums Beach Access Stairway. Specifically, the project consists of replacing the stairs from the fifth landing from the top of the bluff to the eighth landing, as well as the stairs from the eighth landing to the beach, both of which have been destroyed.

The project vicinity is shown as Figure 1. A project site plan is presented as Figure 2, a cross-section of the project site is presented as Figure 3, and a photograph showing the project site is presented as Figure 4.

### 1.2 Project Description

The Seascape Shores Condominiums property is located at 325 South Sierra Avenue in the City of Solana Beach, California (Figure 1). The condominium buildings are situated at the seaward edge of the coastal bluff at approximate elevation 79 feet NAVD 88. A stairway leads from the bluff-top properties and provides access to the beach below. Steep coastal bluffs and a near-vertical sea cliff extend down to the beach. Review of historical photos shows that the beach elevations vary over time. We estimate that the beach levels range from approximately +13 feet to 2.5 feet NAVD 88. At the time of our investigation, the beach elevation at the bluff edge was approximately 12 feet NAVD 88.

The coastal bluff abutting the development has been affected by coastal erosion during the entirety of its existence. Concrete infills and a concrete seawall installed in 1980 to repair erosional notches and sea caves at the base of the bluff have been battered by years of marine erosion, which has led to repairs to the seawall and additional infills in 2006.



Beach access extends from within the Seascape Shores complex, over the bluff edge, and down a 5-foot-wide elevated stairway to the beach level. The existing stairway consists of timber stairs supported on eight landings. However, the lowest landing and set of stairs have been destroyed by storms.

Given that the stairway repair involves Landings 5 through 8, this report will focus on the characteristics of the stairway over that portion of the stairway. The lowest three remaining landings (Landings 5, 6, and 7) are at approximate elevations +35.4, +21.3, and +14.6 feet NAVD 88. The destroyed landing (Landing 8) had an estimated elevation of +7.5 feet. The lowest landing provided access to the beach via stairs to approximate elevation +3 feet NAVD 88. These landings are founded into the existing cliff-forming and shore platform materials. More specifically, Landing 5 is supported on a 4-foot-diameter reinforced concrete pier, while Landings 6 and 7 are each supported by two timber piles.

## 2 PHYSIOGRAPHY AND GEOLOGY

The Solana Beach coastline is approximately 1.4 miles long, and extends from the south side of San Elijo Lagoon to the projection of Via De La Valle (the southerly City limits). The coastal bluffs continue southerly an additional 0.3 mile to the northerly part of the San Dieguito River valley. This reach of coastline consists of steep coastal bluffs ranging in height from approximately 65 to 90 feet, with the seaward edge of the coastal bluff in the site vicinity at approximate elevation 79 feet NAVD 88.

Geologic units present in the vicinity of Seascape Shores include an older Eocene “bedrock” geologic unit that forms the lower cliffed portion of the bluff, the late Pleistocene marine terrace deposits that form the upper portion of the sloping coastal bluffs above the sea cliff (Kennedy and Peterson, 1975), and recent beach deposits.

### 2.1 Geologic Units

The Eocene-age bedrock unit consists of the Torrey Sandstone. The Torrey Sandstone is a well-indurated (cemented), light gray to light yellow-brown, medium- to coarse-grained sandstone. The lower portions of the Torrey Sandstone contain bioturbated beds and



concretions, while the upper portions exhibit high-angle cross-bedding (Kennedy and Peterson, 1975).

The sloping, upper portion of the Solana Beach coastal bluffs is comprised of late Pleistocene, moderately-consolidated, poorly-indurated, light reddish-brown, silty fine sands that include both nearshore marine and beach sands lithologically similar to the Bay Point Formation (approximately 120,000 years old). The terrace deposits are typically capped by an iron oxide-cemented "beach ridge" type residual clayey sand deposit. This erosion-resistant capping material, formed by the concentration of clayey weathering products, secondary oxides of iron and aluminum, and leached and reprecipitated salts, is the result of long exposure to the elements during a period of tropical to temperate climate.

The marine terrace deposits overlie a wave-cut abrasion platform formed on the Eocene bedrock approximately 120,000 years ago when sea level was about 20 feet higher (Lajoie and others, 1992). At the time, the sea was at a high eustatic level due to substantial melting of the ice caps during an interglacial period. Today, the abrasion platform is approximately elevation 31 feet at the site. The difference in elevation is a result of variable regional uplift associated with gentle tectonic folding during the last 120,000 years.

The beach deposits that overlie the shore platform are generally comprised of clean sands. These deposits are likely underlain by a cobble shingle layer, which is in turn underlain by the Torrey Sandstone. The top of the shore platform is estimated to be near elevation 2.5 feet NAVD 88, or approximately near mean sea level. The top elevation of the beach deposits at the bluff face varies over time and has been estimated to range between +13 feet and +2.5 feet NAVD 88.

## 2.2 Groundwater

Unlike the other Eocene formations further north (the Ardath and Delmar Formations), the Torrey Sandstone does not create an impermeable perching horizon, which would encourage groundwater to exit the bluff face along the contact between the coastal terrace deposits and the underlying cliff-forming Eocene-age formation. Although groundwater surfacing at the face of the bluff, causing sloughing and spring sapping, is often a problem within other North County coastal areas, the Solana Beach coastline appears to be relatively immune to this subaerial process and no groundwater seepage was observed during our recent site visit.

### 2.3 Geologic Structure

The geologic structure of the Solana Beach coastline is the result of faulting and folding in the current tectonic regime, which began approximately 5,000,000 years ago when the Gulf of California began to open in association with renewed movement on the San Andreas fault system (Fisher and Mills, 1991). The nearest member of the fault system is the Rose Canyon fault zone, running approximately parallel to the coast, 2 to 3 miles offshore. Movement along the fault appears to have caused gentle folding on the coastal side of the fault. The gentle folding has caused a small southeast dip in the Eocene-age formations, thus exposing progressively older formations northerly along the coast. In more recent times, the 120,000-year-old wave-cut abrasion platform has been tilted to the northwest at about 0.1 degree.

## 3 COASTAL ENVIRONMENT

The site is located within the southern portion of the Oceanside Littoral Cell. The littoral cell is an area of sand movement along the coast bounded by the Dana Point Headland to the north and the La Jolla Submarine Canyon to the south, a distance of approximately 52 miles. Under natural conditions, a littoral cell is supplied with sediment by rivers and streams that empty into the ocean within its limits. The sandy material brought to the coast by fluvial action is then incorporated into the beach sands and transported south (in most areas) along the coast by wave action. This longshore transport of sand is ultimately intercepted by a submarine canyon or other sink, where it is diverted offshore and lost to the nearshore environment.

The Oceanside Littoral Cell is supplied with sediment by San Juan Creek in Orange County, the Santa Margarita, San Luis Rey and San Dieguito Rivers, and the San Onofre, Las Pulgas, Buena Vista, Agua Hedionda, San Marcos, Escondido and Los Penasquitos Creeks in San Diego County. Presently, over 40 percent of these rivers are controlled by dams and flood control facilities. However, more importantly, significant sand mining activities within the upland watershed has robbed the majority of this beach building material before it can reach the coastline. The sediment budget within the entire Oceanside Littoral Cell and in Solana Beach is presently in a significant deficit, with sand loss exceeding supply. Consequently, the shoreline is gradually retreating at a rate of up to 1 foot per year (USACE, 1991; SANDAG, 1993).

The loss of Solana Beach's sand beach in recent years is a primary factor causing the current accelerated erosion of the coastal bluffs. The sea cliff is now more frequently subject to direct wave attack, including cobble abrasion, the dynamic effects of turbulent water, and the compression of trapped air, which act upon the jointed and fractured bedrock.

One major factor that influences coastal erosion, bluff stability, and the design of the stairway repair is the wave environment within the project area. Estimates of the corresponding deep-water wave heights and periods for 100, 50, 25, and 10 year return periods are approximately 25 feet with a period of 18 seconds, 22 feet with a period of 17.5 seconds, 18 feet with a period of 16 seconds, and 14 feet with a period of 16 seconds.

### 3.1 Sea Level Rise

Past and possible future changes in mean sea level (MSL) are of interest in design and planning for all coastal cities, as well as for any engineering activities on the coast. Figure 5 shows the time history of maximum monthly sea level observed at the La Jolla tide gauge from 1924 to 2011. These data are routinely tabulated by the National Oceanic and Atmospheric Administration (NOAA) as part of their national tide gaging program (Flick *et al.*, 2003). Peak observed values (relative to NGVD) are 5.36 feet (January 2005) and 5.35 feet (November 1997), or 7.48 feet and 7.47 feet NAVD 88.

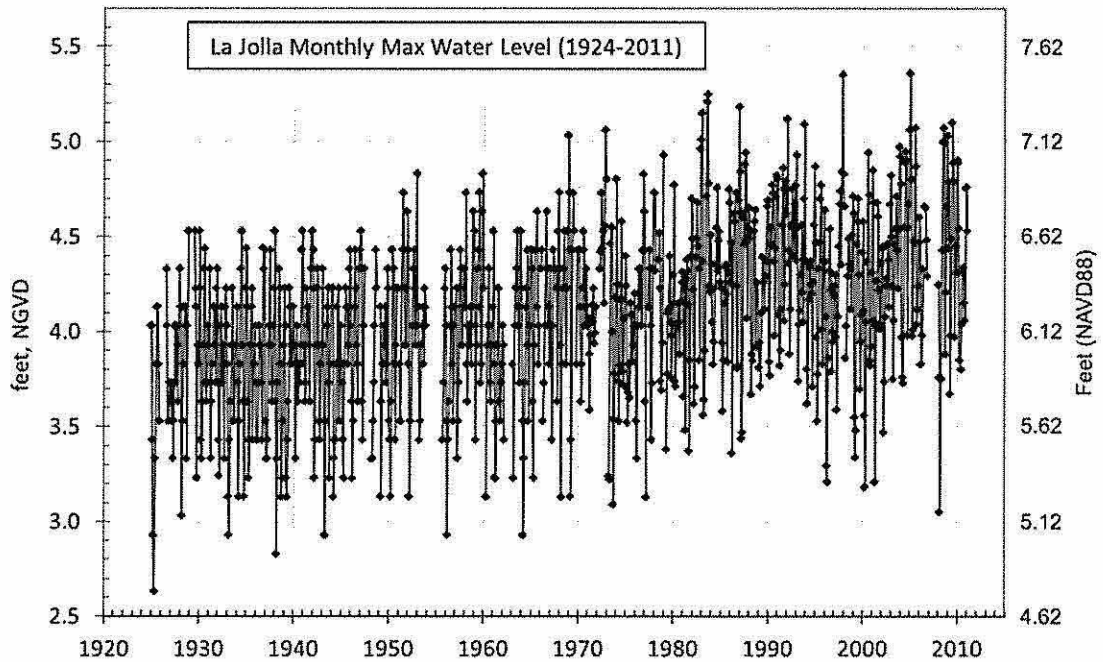


Figure 5. Time history of maximum monthly sea level observed at the La Jolla tide gauge 1924-2011.

Global mean sea level rose at least 300 feet, and perhaps as much as 400 feet, during the past 18,000 years or so (CLIMAP, 1976). Sea level, both globally and along California, rose approximately 0.7 foot over the past century, as shown in Figure 6. Furthermore, evidence suggests that the rate of global mean sea level rise has accelerated since the mid-1800s, or even earlier (Church and White, 2006; Jevrejeva, et al., 2008), and that it has now reached a rate of about 1 foot per century over the past decade or so (Nerem, et al., 2006).



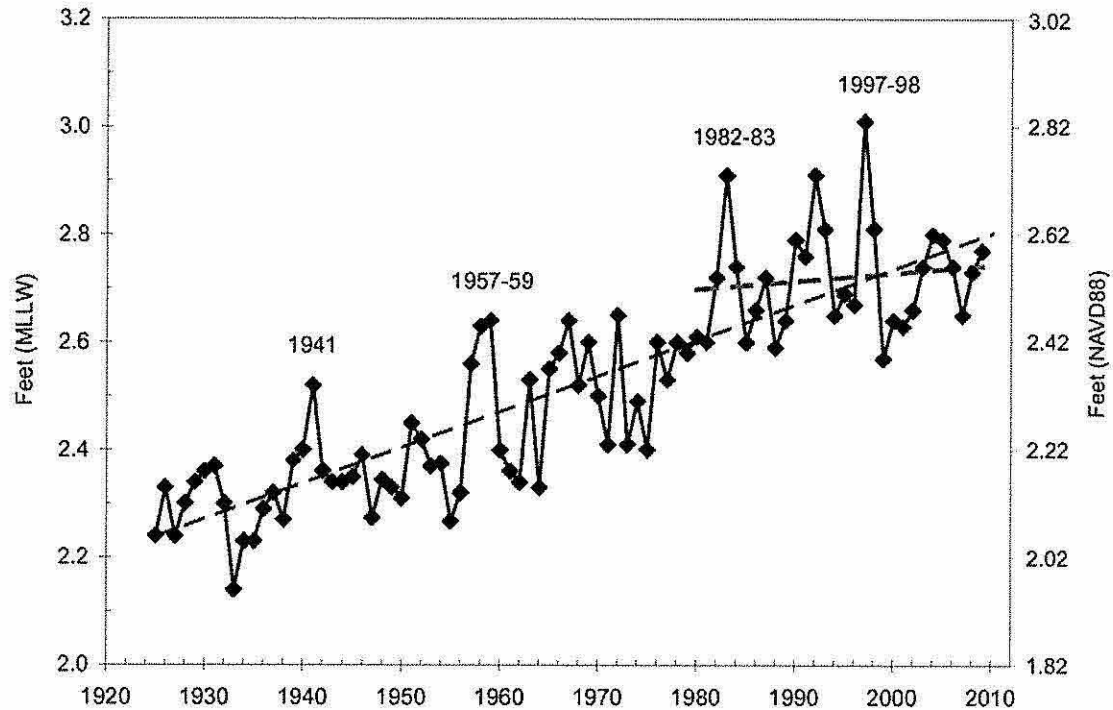


Figure 6. Annual average sea level history at La Jolla, 1925-2007. Broken line shows linear trend of 0.7 feet/century rise.

Figure 6 is a plot of the annual mean sea levels measured at the La Jolla tide gauge starting in 1925. The linear trend indicates the approximate 0.7 foot per century sea level rise. Also noticeable are the enhanced sea levels during the El Niño episodes of 1941, 1957-59, 1982-83, and 1997-98 (respectively labeled).

A notable feature of the sea level history at La Jolla is the leveling-off of sea level rise since about 1980 (Figure 6). The green broken line shows a much reduced trend of about 0.15 foot per century between 1980 and 2009, or about 4.5 times smaller than the overall trend of 0.67 foot per century. A similar reduction in the rate of sea level rise has been noted at San Francisco, which has a similar overall appearance as the La Jolla record, but is a much longer record extending back to 1856.

Figure 7 shows the global distribution of the rate of sea level change for the period of 1993-2006 (Cabanes, et al, 2001). Note that warm colors (yellow-orange-red) show areas of sea level rise (positive rates), while cool colors (green- blue) indicate falling sea level (negative

rates) over the record. Inspection of the North Pacific reveals that sea levels in the western Pacific, especially in the lower latitudes, have risen at a rate of 3-9 mm/year (equivalent to 30-90 cm per century, or about 1-3 feet per century). Conversely, sea levels in the eastern Pacific, extending from Central America north to Washington State, have fallen at a rate of 0-3 mm per year (0-30 cm per century, or 0-1 foot per century). This may explain the coastal tide gauge observations (La Jolla sea level history; Figure 6) described above.

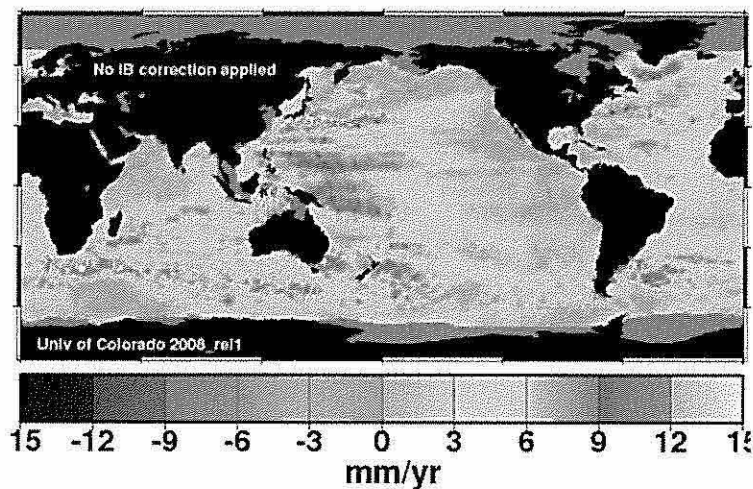
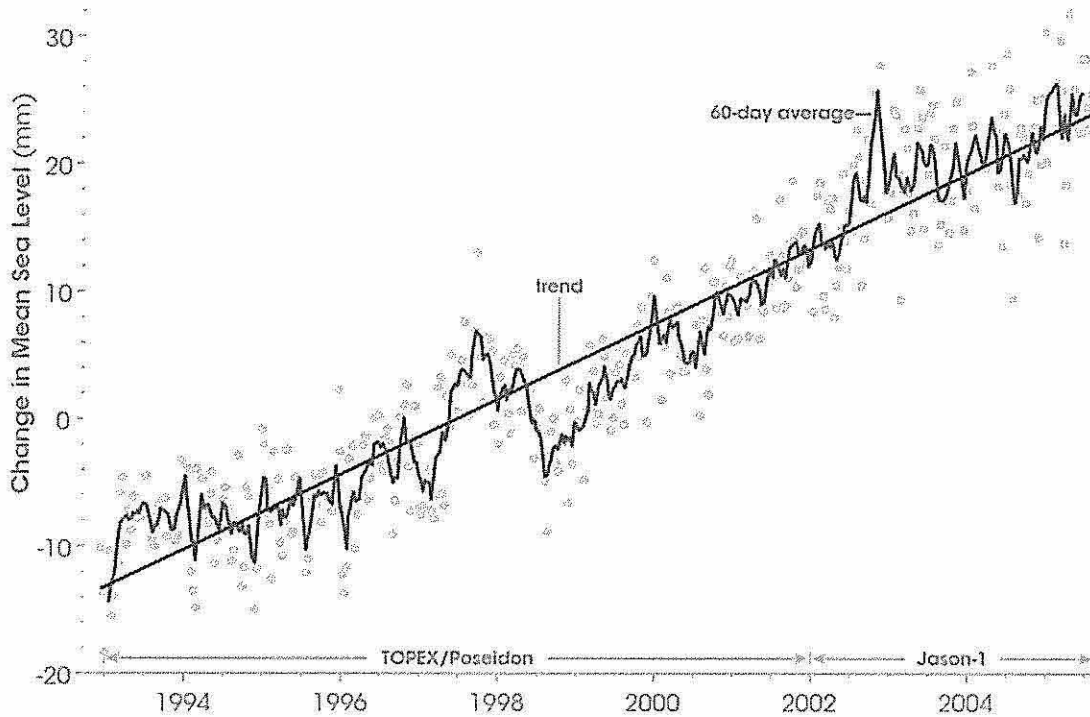


Figure 7. Global sea level change rates 1993-2006 as derived from satellite altimetry measurements, following Nerem (2006).

Bromirski, et al. (2011) determined that increases in wind stress over large parts of the Pacific Basin are largely responsible for a “dynamical suppression” of MSLR as part of a major regime-shift that occurred in the late 1970s. Any flooding or beach erosion that has occurred on this coast since about 1980 has not been affected by MSLR as future events are expected to be. In fact, it is reasonable to conclude that MSLR will resume and likely accelerate along the California coast over the next few decades (Bromirski, et al., 2012).

In sharp contrast to the recent decrease in sea level rise rates along the California coast, including La Jolla, the global mean sea level rise rate over the past two decades has increased over the rate observed for the past century, and has reached about 1 foot per century (32 cm per century). This is indicated from satellite data reporting and trend analysis shown in Figure 8 (Nerem, 2005). The exhibit illustrates how sea level change trends may vary globally and that the impacts of sea level rise may affect regions differently.



*Satellite-derived global sea level elevation change from 1993-2005 after Nerem (2005). Slope of the trend line is about 1 foot per century (32 cm per century).*

**FIGURE 8**

Figure 9 presents historical elevation return periods based on the La Jolla tide gauge data for the tide, and tide plus NTR, which includes storm surges and other sea level effects such as El Niño, but excludes wave-driven runoff. Note that a maximum possible (past) joint tide plus NTR water level of 5.82 feet (7.94 feet NAVD 88) would have required an extremely unlikely (but not impossible) coincidence of the maximum tide of 4.87 feet (6.99 feet NAVD 88) and the highest (1924-2004) observed NTR (0.95 foot). Return periods as a function of elevation or vice-versa can be read directly from this graph. For example, under current MSL conditions, a joint occurrence of tide and NTR of 4.95 feet (7.07 feet NAVD 88) would be expected annually, while 5.3 feet (7.42 feet NAVD 88) would occur approximately once per decade, and about 5.6 feet (7.72 feet NAVD 88) once per century, on average.

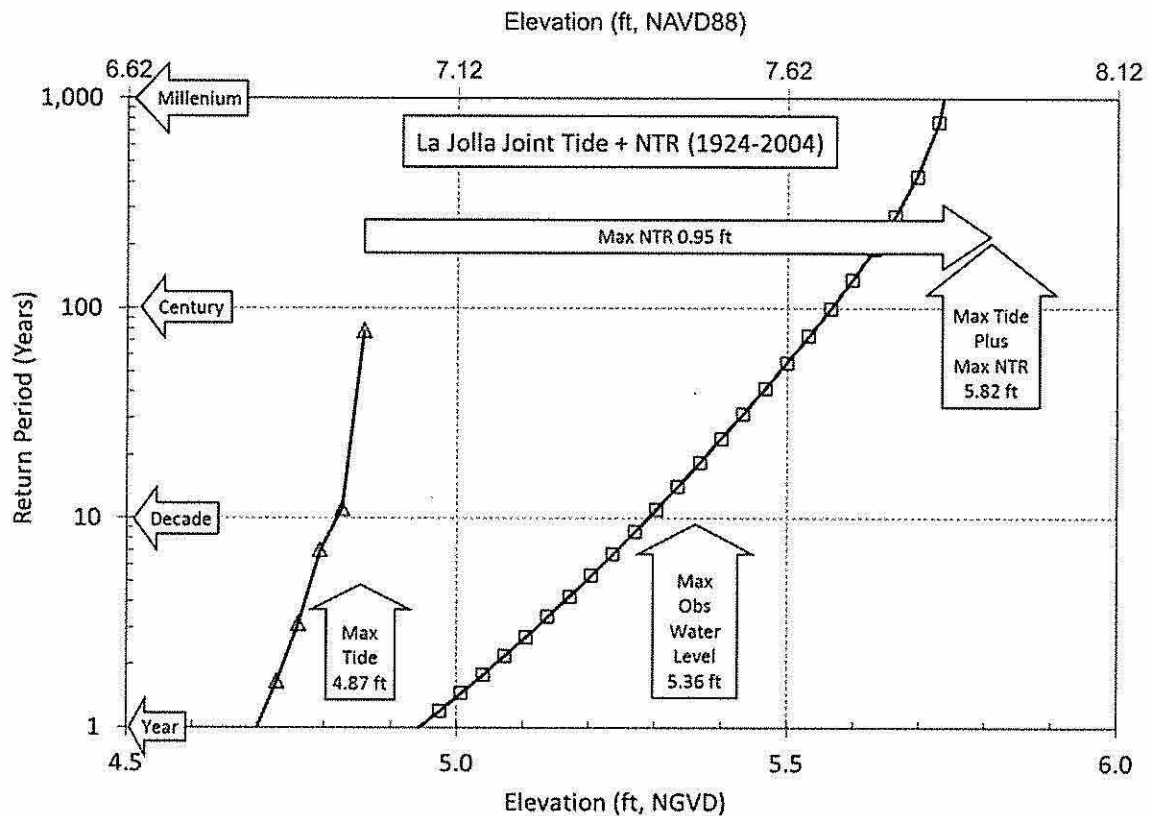


Figure 9. Historical elevation return-period curves based on La Jolla tide gauge data for tide (triangles, left) and joint occurrence of tide plus NTR (squares, right).

While many sea-level rise scenarios have been published, the California Coastal Commission, on August 12, 2015, adopted their Sea Level Rise Policy Guidance document, which provides contemporary best available science and sea level rise projections from the Third National Climate Assessment (NCA; Melillo, et al.), released in 2014, providing a set of four global sea level rise scenarios ranging from 8 inches to 7 feet by the year 2100, reflecting different amounts of future greenhouse gas emissions, ocean warming, and ice sheet loss. While the Coastal Commission’s Sea Level Rise Policy Guidance document does not provide direction on the selection of a sea level rise, they do require that studies at least address the impacts of the four NCA scenarios, and then ultimately choose a sea level rise scenario as a basis for design and provide justification for that design scenario. Accordingly, and while we have evaluated the four NCA scenarios, we have selected a 75-year design life extending out to the year 2093 corresponding to an MSLR of 3 feet by 2100 consistent with





the midpoint of the 2012 NAS data, as shown on Figure 10. Figure 10 summarizes future MSLR scenarios developed in a 2012 new National Research Council (NRC 2012) study providing guidance for state and local agencies. Moreover, since the 2014 National Climate Assessment suggests future sea level rise estimates ranging from 1 to 4 feet, or 0.3 to 1.2 meters, this seems consistent with the Coastal Commission’s suggested MSLR scenarios ranging from Lowest to Intermediate-High.

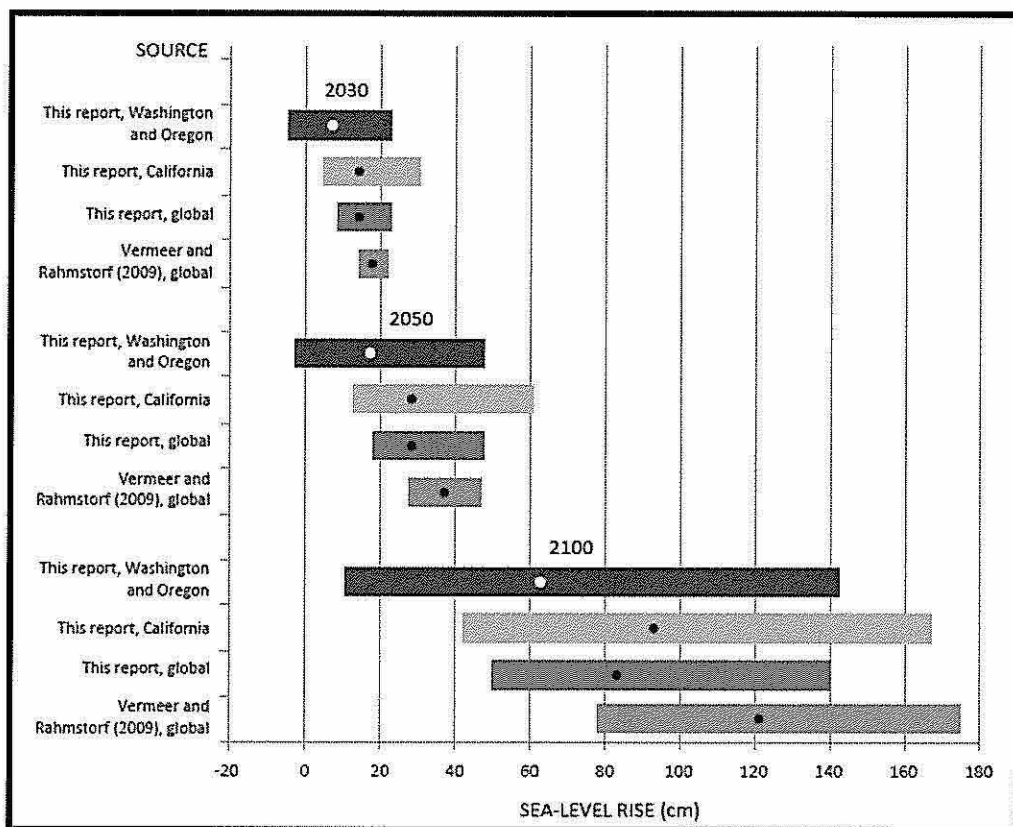


Figure 10. NAS (2012) summary of global, Washington, Oregon, and California (south of Cape Mendocino) MSLR projections for 2030, 2050, and 2100 relative to 2000.

### 3.2 Design MSLR Scenario

As indicated previously, the California Coastal Commission’s Sea Level Policy Guidance document requires acknowledging the Coastal Commission’s current range in suggested sea level rise scenarios, and then the selection of a design sea level rise scenario for the proposed project. We have reproduced as Figure 11 the Coastal Commission’s four suggested sea



level rise scenarios through the year 2100, ranging from the Lowest at 0.2 meter, to the Highest at 2.0 meters, measured from the 1992 baseline. Global mean sea level rise scenarios used in the 2014 U.S. National Climate Assessment (Melillo, et al., 2014) concluded that “global sea level has risen by about 8 inches since reliable recordkeeping began in 1880. It is projected to rise another 1 to 4 feet by the year 2100.” Based on recent discussions with Dr. Reinhard Flick, the State Oceanographer with the California Department of Boating and Waterways and a Research Scientist at Scripps Institution of Oceanography, global sea level has risen from 1993 through 2015 at a relatively uniform rate of 32 centimeters per century, or at the same trajectory as previously reported by Nerem (2005) and illustrated above in Figure 8. While Nerem’s data extended from 1993 to 2005, the more recent recorded global sea level elevation change from 1993 to 2015 provides essentially the same data. This information is also shown on Figure 11, which from 1992 through 2015 has resulted in 7.36 centimeters of relatively uniform sea level rise in the past 23 years. If this uniform rate of sea level rise (consistent with that shown on Figure 11) were to extend out to the year 2100, this would be equivalent to a future mean sea level of 0.35 meter above the 1992 datum, and slightly above the Coastal Commission’s suggested Lowest MSLR scenario.

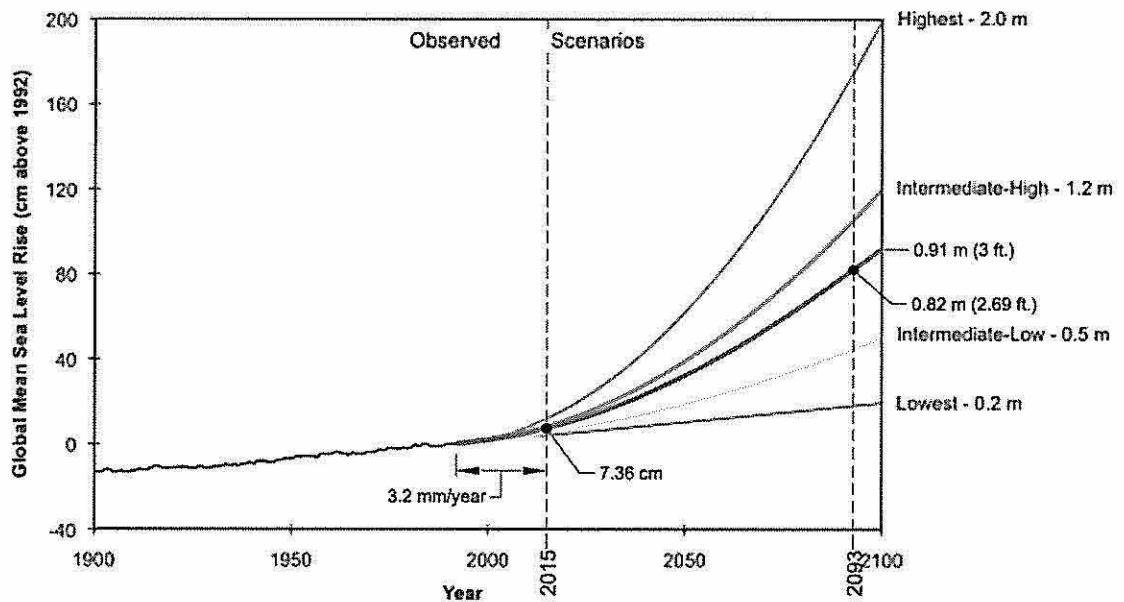


Figure 11. Modified from Figure 5 of the California Coastal Commission Sea Level Rise Policy Guidance document adopted August 12, 2015.

The real significance of the various MSLR scenarios is the design breaking wave height and the impact on the CIDH shafts supporting the beach access stairway.

Recognizing that the 2014 National Climate Assessment suggests future sea level rise estimates ranging from 1 to 4 feet, or 0.3 to 1.2 meters, this seems consistent with the Coastal Commission's suggested MSLR scenarios ranging from Lowest to Intermediate-High. As a reasonable upper bound, we have chosen a design MSLR of 0.91 meter, or 3 feet, in the year 2100, which amounts to 2.69 feet in 75 years.

### 3.3 Design Stillwater

The maximum design still-water level (SWL) is critical to any wave analyses, as it determines the wave energy that can be propagated into the shoreline, eventually impacting structures. It is the deep-water wave height superimposed upon the extreme SWL that defines the joint probability of the design storm condition, creating the largest wave forces on structures. In addition to tidal fluctuation, water levels at the shoreline are influenced by storm surge, wave setup, and surf beat. These influences, combined with the astronomical high tide, allow offshore storm waves to run up the elevated back beach and impact coastal structures. For the Solana Beach area, excluding sea level rise, the likely maximum 100-year design stillwater level would be 8.92 feet NAVD 88 determined from Figure 9, as described previously, plus 1.2 feet to account for storm-induced wave runup. To account for sea level rise, we have used the criteria provided in Figure 11, assuming an MSLR scenario of 3 feet (91.4 cm) by the year 2100, or 2.69 feet for the 75-year project design life. In compliance with the California Coastal Commission, we have also evaluated the most critical MSLR of 2m.

### 3.4 Design Wave Height

Our evaluation of the maximum design wave for the CIDH shafts is based on criteria set forth in the U.S. Army Corps of Engineers Shore Protection Manual (1984 Edition). As indicated above, we have used a design stillwater level of 8.92 feet NAVD 88, plus 2.69 feet for the design SLR condition. For purposes of computing the maximum wave height, we have also assumed a design scour elevation in front of the structure of +2 feet NAVD 88, and a foreshore slope of 1 to 50. The design scour elevation of +2 feet assumes that the bedrock



shore platform elevation, currently estimated to be around elevation +2.5 feet NAVD 88, might experience upwards of 1/2 foot of additional scour during its design life.

The maximum wave height that can reach the structure occurs during the period when the maximum depth of standing water exists in front of the structure, which includes both the maximum SWL combined with the maximum scour at the base of the structure. The maximum water depth at the base of the structure,  $d_s$ , for the various design scenarios are tabulated below. The resultant maximum breaking wave height occurs when a specific deep-water wave is allowed to shoal and break directly upon the CIDH shaft. Using the design criteria set forth in the Army Corps of Engineers Shore Protection Manual, the design breaking wave height,  $H_b$ , is slightly less than  $d_s$ , also tabulated in Table 1 below.

**Table 1**

Design Loading Condition	Assumed MSLR	Design SWL (ft, NAVD 88)	$d_s$ , ft	$H_b$ , ft	Design Condition
Case 1	0	8.92	6.42	5.01	Design w/no MSLR
Case 2	0.82m	11.61	9.61	7.50	Project design w/3 ft MSLR in 2100
Case 3	2m	15.48	13.48	10.51	Design w/2m MSLR in 2100

#### 4 DESIGN CONSIDERATIONS

The proposed repair to the existing stairway is to replace in kind the wooden treads and stringers from Landing 5 to Landing 8; and then construct a monolithic set of stairs from Landing 8 down to the bedrock shore platform near elevation 2.5 feet. Thus, under most sand levels, the lower concrete stairway would be entirely buried. In addition, the existing timber pile foundations will be replaced at each of the new platforms, and are to be supported by single 48-inch-diameter cast-in-drilled-hole (CIDH) shafts installed into the formational materials of the underlying shore platform. These CIDH shafts would then support new timber treads and stringers along the same general alignment as the existing stairway. The bottom landing is proposed to utilize a conventional cast-in-place concrete foundation supporting concrete stairs with sidewalls founded into the Torrey Sandstone Formation shore platform materials.

The new CIDH shafts will need to be designed to support vertical loads from the stairways, lateral loads from seismic events, and lateral loads from breaking waves. In addition, the stairway landings and stairways would need to be designed to resist uplift forces associated



with waves impacting the adjacent coastal bluff face. The landings and the stairways themselves will need to be designed to mitigate horizontal drag forces due to waves impacting the stairway platforms.

#### 4.1 Wave Forces Acting on Access Stairway

The proposed new access stairway is exposed to three types of wave-induced forces: breaking wave forces on the CIDH shafts, uplift forces due to waves impacting the coastal bluff, and horizontal drag forces due to the passage of wave. Design parameters for each of these wave forces are presented below.

##### 4.1.1 *Breaking Wave Forces on CIDH Shafts*

We estimated breaking wave forces on the proposed 48-inch-diameter CIDH shafts using procedures outlined in Chapter 8 of the Coastal Construction Manual (FEMA P-55, 2011).

According to Chapter 8, the breaking wave force on a pile is a function of the depth of water at the pile and the diameter of the pile. For design, we have assumed an eroded beach profile with an estimated elevation of the shore platform at +2.0 feet NAVD 88 and a design still water elevation and water depth at the structure,  $d_s$ , as shown in Table 1. For these design loading conditions and for a CIDH shaft diameter of 4 feet, the computed breaking wave force and elevation of load application are summarized in Table 2, below.

##### 4.1.2 *Uplift Pressures*

The uplift pressures acting on the bottom of the landings and other horizontal surfaces is equal to the elevation difference of the landing or horizontal surface and the maximum estimated height of vertical runup times the unit weight of sea water.

For Case 1, we estimate that the maximum vertical height of runup is 11.5 feet above the design still water elevation for a maximum elevation of +22 feet NAVD 88. We recommend using a unit weight of sea water equal to 64 pcf.

To illustrate the estimated uplift pressure for Case 1, assume that the bottom of the landing is located at elevation +14 feet. The uplift pressure on the landing would be equal to 20 minus

14 times 64 pcf, or 384 psf. These uplift pressures would be substantially mitigated by the incorporation of fluted bases for the stairway landings.

**Table 2**

Design Loading Condition	Breaking Wave Force (lbs)	Elevation of Load Application (ft, NAVD 88)	Elevation of Wave Runup (ft, NAVD 88)
Case 1	5,600	9	20
Case 2	11,300	12	28
Case 3	23,000	16	39

#### 4.1.3 *Drag Forces*

Drag forces on objects due to flow past that object is a function of the density of water, the velocity of the water, the drag coefficient, and the surface area of the object.

For design, we recommend using a mass density of 1.99 slugs per cubic foot for salt water. In addition, we estimate the velocity of the water to be approximately 16 feet per second.

#### 4.2 **Access Stairway Foundations**

The proposed new access stairway is to be founded on isolated concrete CIDH shafts supporting each landing, descending down from the face of the coastal bluff. These isolated concrete shafts will develop both axial and lateral capacity from sufficient embedment into the underlying Eocene bedrock materials of the shore platform. Geotechnical design criteria for both vertical and lateral load capacity are provided in the following sections.

##### 4.2.1 *Vertical Loads on Drilled Shaft Foundations*

We recommend that drilled shaft foundations supporting the access stairway derive their support from skin friction in the dense Eocene bedrock materials. We recommend an allowable shaft friction of 1,000 psf for the Torrey Sandstone for resistance to both dead loads and live loads. No increase should be used for transient wind or seismic loads. It should be noted that this design precludes the need for cleaning the bottoms of drilled excavations, and thus does not rely on any end bearing for vertical support. We anticipate that lateral loads will likely control all design embedment depths, and hence additional end-bearing capacity is not required.

#### 4.2.2 *Lateral Loads on CIDH Shaft Foundations*

Resistance to lateral loads applied to the drilled shaft is developed through deflection of the shaft, which mobilizes the reaction of the materials into which the drilled shaft is embedded. The resisting pressure applied by the soil to a shaft depends upon the relative stiffness of the shaft and materials the shaft is embedded, as well as depth of embedment.

Failure of a laterally-loaded shaft takes place either when the maximum bending moment in the loaded shaft reaches the ultimate or yield resistance of the shaft section, or when the lateral earth pressures reach the ultimate lateral resistance of the soil along the total length of the shaft. For purposes of definition, failure of shafts with relatively "short embedment" takes place when the shaft rotates as a unit with respect to a point located close to its toe. Failures of shafts with relatively "long embedment" occur when the maximum bending moment applied to the shaft exceeds the yield resistance of the shaft section, and a plastic hinge forms at the section of maximum bending moment.

Investigators have suggested that shafts be grouped relative to their dimensionless depth of embedment  $L/T$  where:

$L$  = embedment length of the shaft in feet, and

$$T = \left(\frac{EI}{f}\right)^{\frac{1}{5}} \text{ (divided by 12 to convert inches to feet)}$$

Short shafts are generally defined as  $L/T$  being less than 2.0, and long shafts are generally defined as  $L/T$  being larger than 4.0.

The quantity  $EI$  is the stiffness of the shaft section, and  $f$  (coefficient of variation of soil modulus) would be on the order of 50 pounds per cubic inch for the Eocene bedrock materials.

In order to determine the structural requirements and load deformation characteristics of the proposed concrete CIDH shafts, we suggest using the elastic theory approach developed by Matlock and Reese (1962). A condensed version of this approach is outlined in the NAVFAC Design Manual DM-7.2, Chapter 5, Section 7 (copy attached). When using the

Matlock and Reese solution, in order to minimize shaft deflections and account for variabilities in subsurface soil conditions, we recommend a minimum embedment depth of  $3T$ , or  $3(EI/f^{1/5})$ . This would suggest minimum required shaft depths on the order of 30 feet for shafts embedded into the Torrey Sandstone.

#### 4.2.3 *Monolithic Stairway Foundation*

The base of the proposed stairway is to be constructed as a monolithic unit founded on, and embedded into, the Torrey Sandstone bedrock shore platform. In this regard, we recommend a minimum embedment depth of 2 feet to eliminate undermining of the concrete foundation. The monolithic foundation should also be of sufficient mass to preclude its displacement during a design storm event.

## 5 LIMITATIONS

Coastal engineering and the earth sciences are characterized by uncertainty. Professional judgments presented herein are based partly on our evaluation of the technical information gathered, partly on our understanding of the proposed construction, and partly on our general experience. Our engineering work and judgments rendered meet current professional standards; we do not guarantee the performance of the project in any respect. This warranty is in lieu of all other warranties, express or implied.

We have observed only a small portion of the pertinent soil and groundwater conditions along the coastal bluffs in this area. Site-specific geotechnical information has been limited to geologic mapping of visible exposures on the coastal bluffs and limited information obtained from previous reports in our files. The recommendations made herein are based primarily on visual interpretations made during our field reconnaissance and previous studies. If the plans for site development are changed, or if variations or undesirable geotechnical conditions are encountered during construction, TerraCosta Consulting Group, Inc. should be consulted for further recommendations.



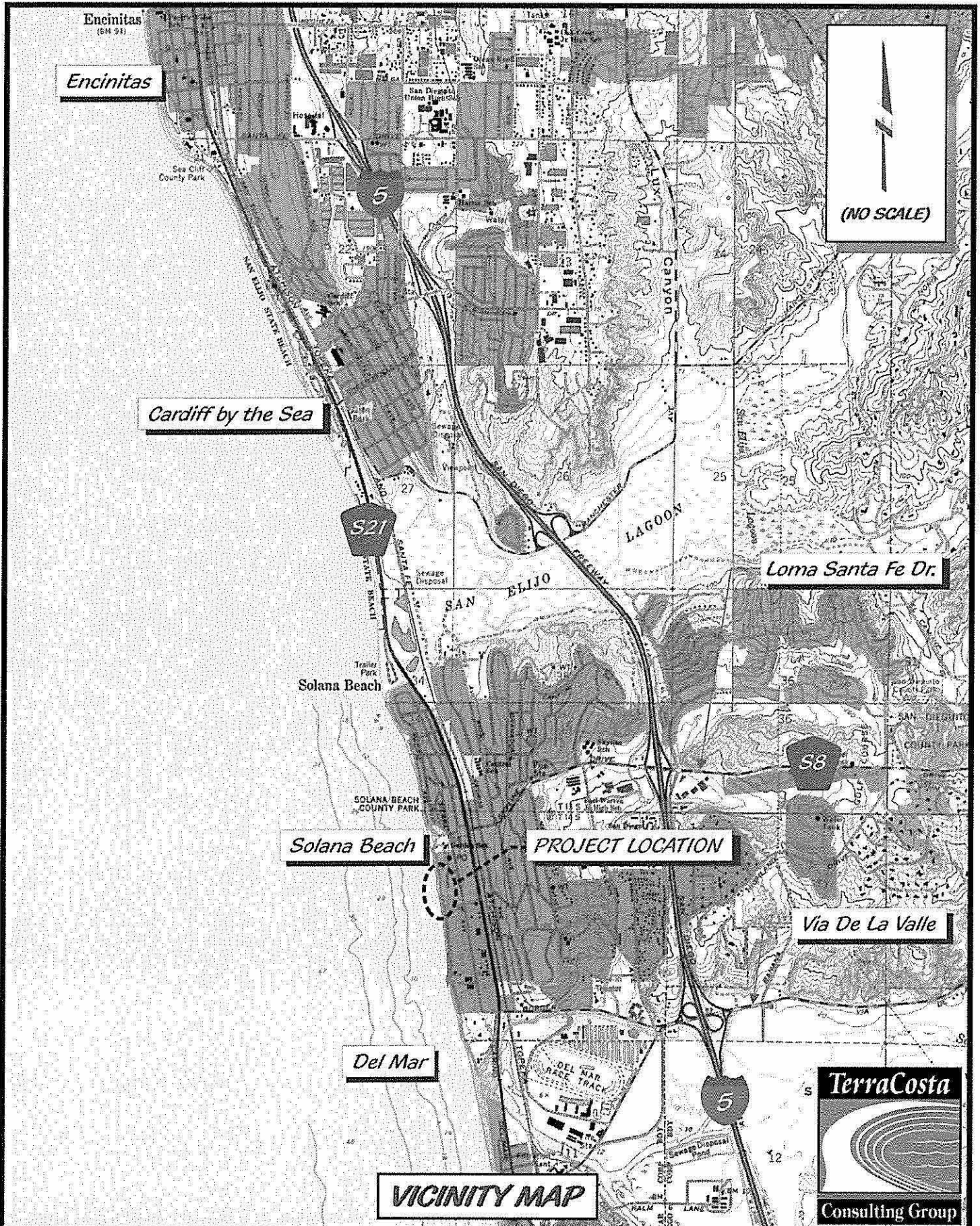


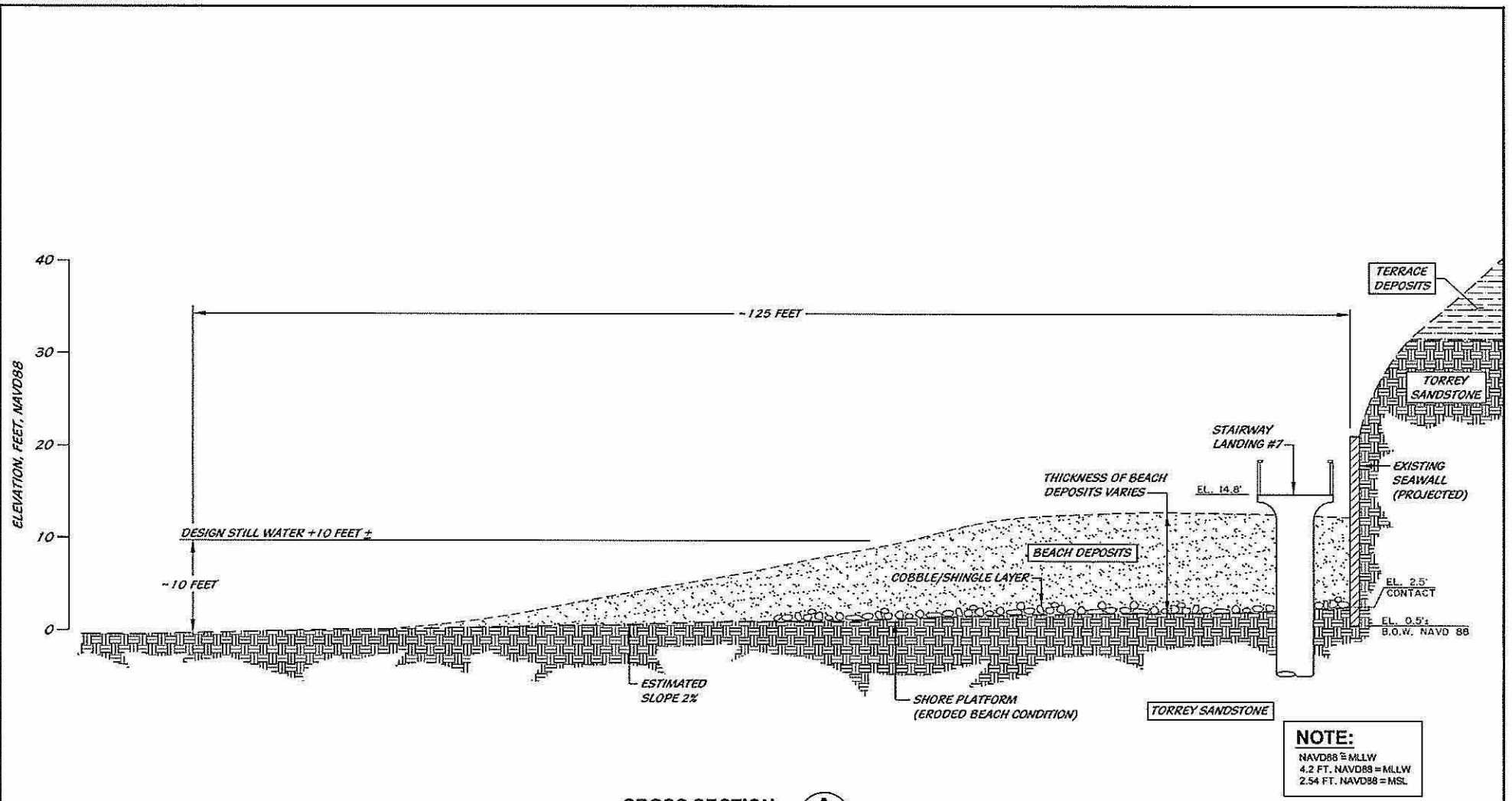
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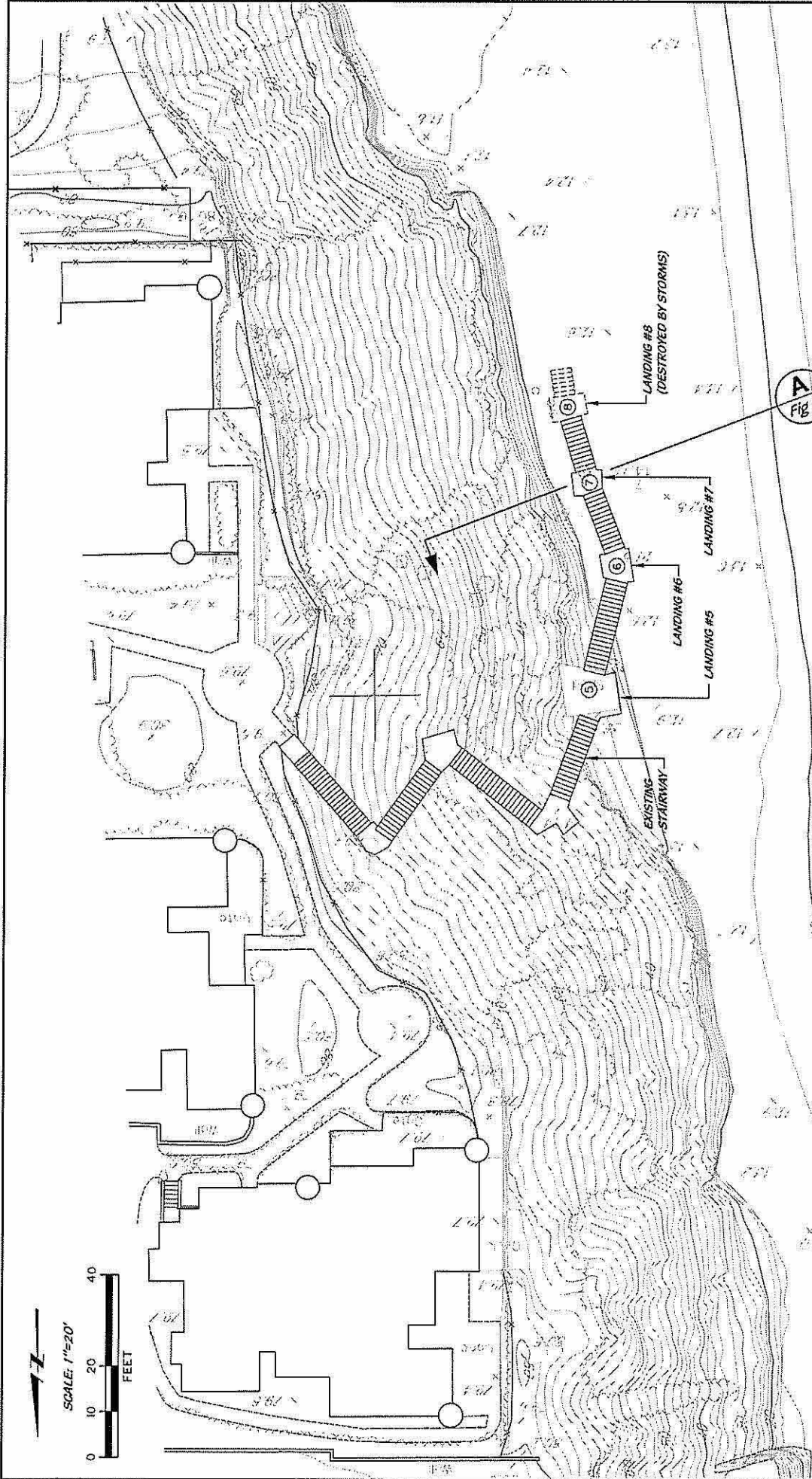




**NOTE:**  
 NAVD88 = MLLW  
 4.2 FT. NAVD88 = MLLW  
 2.54 FT. NAVD88 = MSL

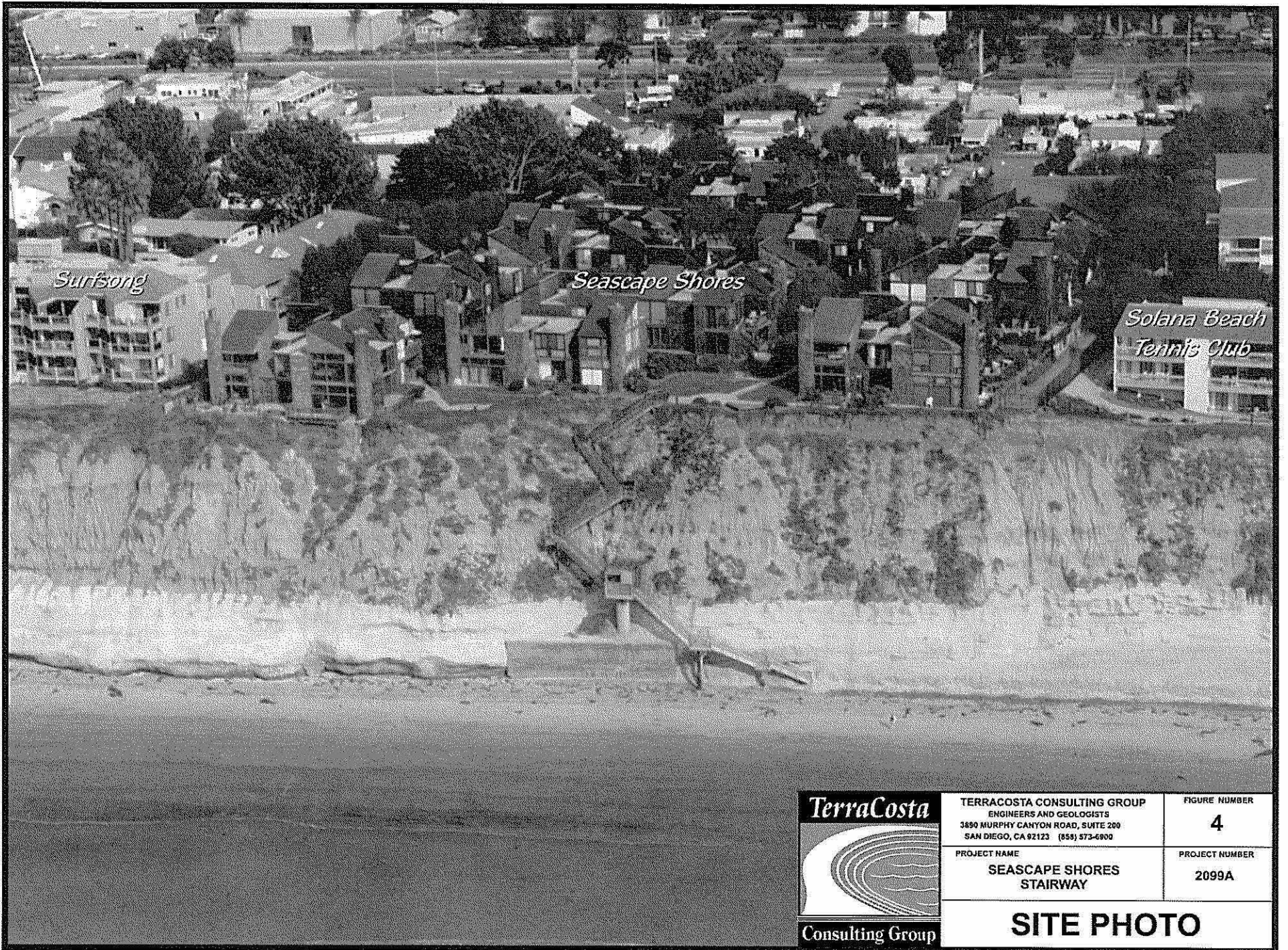
**CROSS SECTION** **A**  
 SCALE: 1"=10' (HORIZ. & VERT.)

	TERRACOSTA CONSULTING GROUP ENGINEERS AND GEOLOGISTS 2400 NUPHRY CANYON ROAD, SUITE 300 SAN DIEGO, CA 92123 (619) 572-6650	FIGURE NUMBER <b>3</b>
	PROJECT NAME <b>SEASCAPE SHORES STAIRWAY</b>	PROJECT NUMBER <b>2099A</b>
<b>CROSS SECTION</b>		



	TERRACOSTA CONSULTING GROUP 3530 BURNING CANYON ROAD, SUITE 200 SAN DIEGO, CA 92121 (619) 573-9900	FIGURE NUMBER <b>2</b>
	PROJECT NAME SEASCAPE SHORES STAIRWAY	PROJECT NUMBER 2059A

**SITE PLAN**



TERRACOSTA CONSULTING GROUP  
ENGINEERS AND GEOLOGISTS  
3890 MURPHY CANYON ROAD, SUITE 200  
SAN DIEGO, CA 92123 (858) 573-6900

PROJECT NAME  
**SEASCAPE SHORES  
STAIRWAY**

FIGURE NUMBER

**4**

PROJECT NUMBER

**2099A**

**SITE PHOTO**

APPENDIX A

NAVFAC DESIGN MANUAL 7.02  
CHAPTER 5, SECTION 7

# Naval Facilities Engineering Command

200 Stovall Street  
Alexandria, Virginia 22332-2300

APPROVED FOR PUBLIC RELEASE



# Foundations & Earth Structures

DESIGN MANUAL 7.02  
REVALIDATED BY CHANGE 1 SEPTEMBER 1986

## Section 7. LATERAL LOAD CAPACITY

1. **DESIGN CONCEPTS.** A pile loaded by lateral thrust and/or moment at its top, resists the load by deflecting to mobilize the reaction of the surrounding soil. The magnitude and distribution of the resisting pressures are a function of the relative stiffness of pile and soil.

Design criteria is based on maximum combined stress in the piling, allowable deflection at the top or permissible bearing on the surrounding soil. Although 1/4-inch at the pile top is often used as a limit, the allowable lateral deflection should be based on the specific requirements of the structure.



## 2. DEFORMATION ANALYSIS - SINGLE PILE.

a. General. Methods are available (e.g., Reference 9 and Reference 31, Non-Dimensional Solutions for Laterally Loaded Piles, with Soil Modulus Assumed Proportional to Depth, by Reese and Matlock) for computing lateral pile load-deformation based on complex soil conditions and/or non-linear soil stress-strain relationships. The COM 622 computer program (Reference 32, Laterally Loaded Piles: Program Documentation, by Reese) has been documented and is widely used. Use of these methods should only be considered when the soil stress-strain properties are well understood.

File deformation and stress can be approximated through application of several simplified procedures based on idealized assumptions. The two basic approaches presented below depend on utilizing the concept of coefficient of lateral subgrade reaction. It is assumed that the lateral load does not exceed about 1/3 of the ultimate lateral load capacity.

b. Granular Soil and Normally to Slightly Overconsolidated Cohesive Soils. Pile deformation can be estimated assuming that the coefficient of subgrade reaction,  $K_h$ , increases linearly with depth in accordance with:

$$K_h = \frac{fz}{D}$$

where:  $K_h$  = coefficient of lateral subgrade reaction (tons/ft<sup>3</sup>)

$f$  = coefficient of variation of lateral subgrade reaction (tons/ft<sup>3</sup>)

$z$  = depth (feet)

$D$  = width/diameter of loaded area (feet)

Guidance for selection of  $f$  is given in Figure 9 for fine-grained and coarse-grained soils.

c. Heavily Overconsolidated Cohesive Soils. For heavily overconsolidated hard cohesive soils, the coefficient of lateral subgrade reaction can be assumed to be constant with depth. The methods presented in Chapter 4 can be used for the analysis;  $K_h$  varies between  $35c$  and  $70c$  (units of force/length<sup>3</sup>) where  $c$  is the undrained shear strength.

d. Loading Conditions. Three principal loading conditions are illustrated with the design procedures in Figure 10, using the influence diagrams of Figure 11, 12 and 13 (all from Reference 31). Loading may be limited by allowable deflection of pile top or by pile stresses.

Case I. Pile with flexible cap or hinged end condition. Thrust and moment are applied at the top, which is free to rotate. Obtain total deflection, moment, and shear in the pile by algebraic sum of the effects of thrust and moment, given in Figure 11.

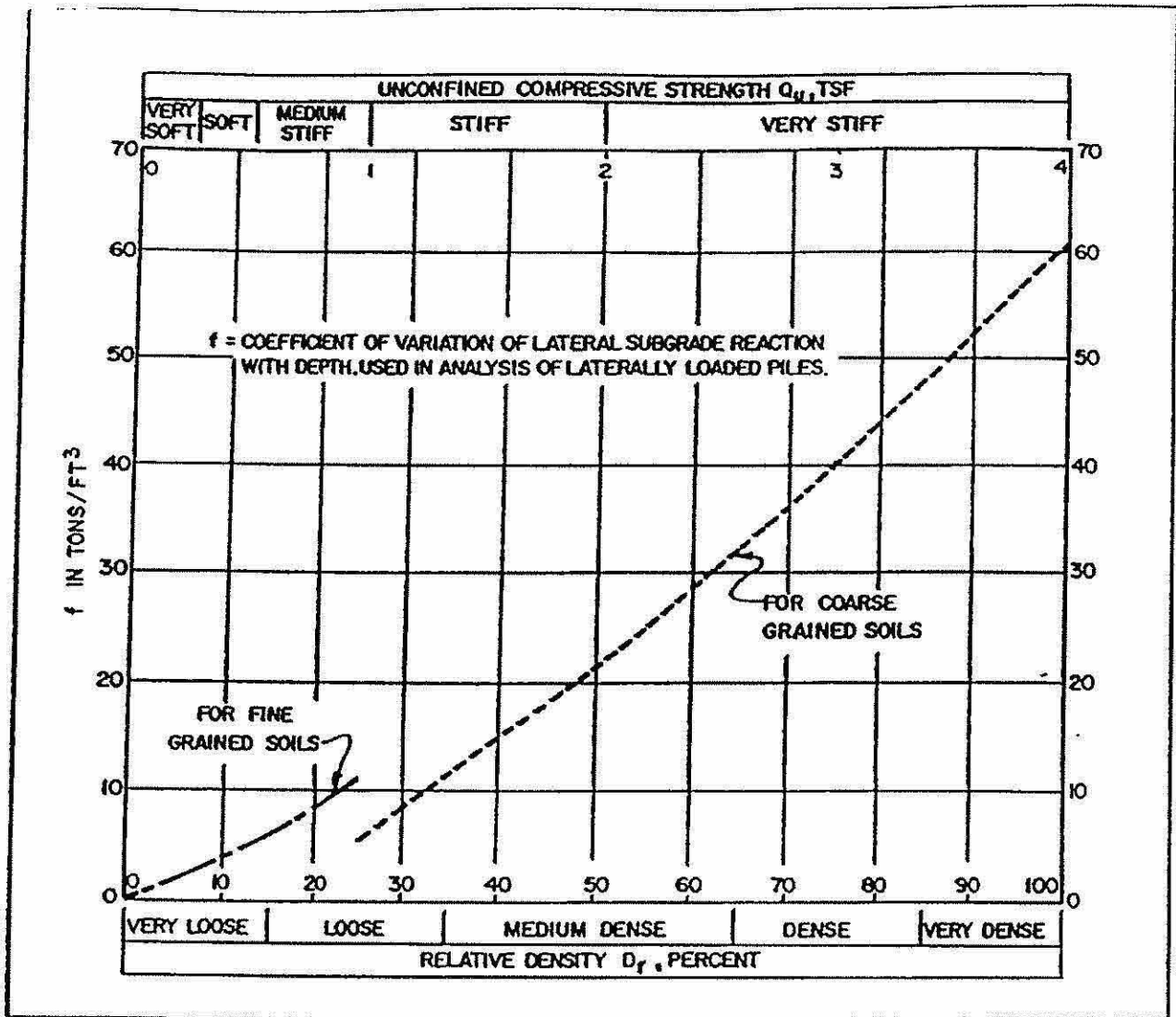


FIGURE 9  
Coefficient of Variation of Subgrade Reaction

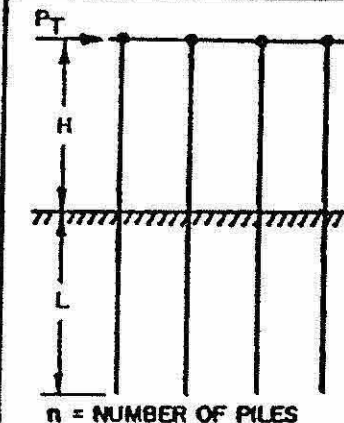
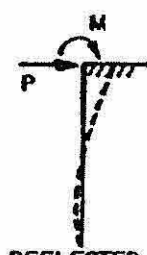
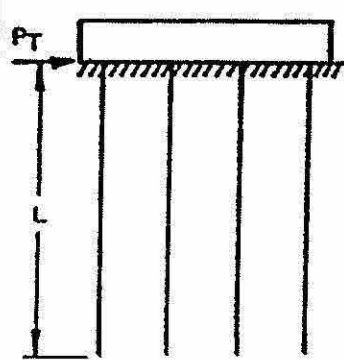

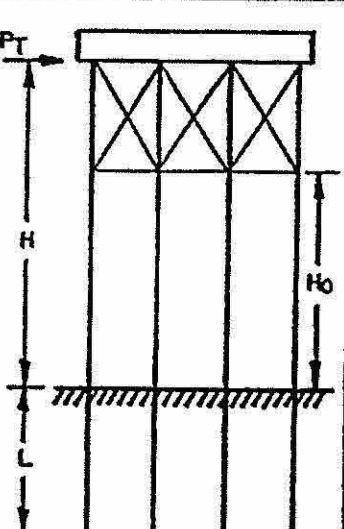
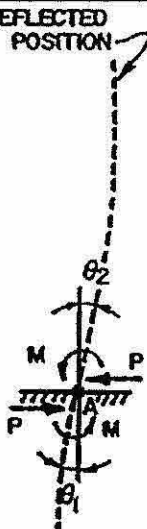
CASE I. FLEXIBLE CAP, ELEVATED POSITION		
CONDITION	LOAD AT GROUND LINE	DESIGN PROCEDURE
 <p><math>n = \text{NUMBER OF PILES}</math></p>	<p>FOR EACH PILE:</p> $P = \frac{P_T}{n}$ $M = PH$  <p>DEFLECTED POSITION</p>	<p>FOR DEFINITION OF PARAMETERS SEE FIGURE 12</p> <ol style="list-style-type: none"> <li>1. COMPUTE RELATIVE STIFFNESS FACTOR.  <math display="block">T = \left(\frac{EI}{\gamma}\right)^{1/5}</math> </li> <li>2. SELECT CURVE FOR PROPER <math>\frac{L}{T}</math> IN FIGURE 11.</li> <li>3. OBTAIN COEFFICIENTS <math>F_\delta, F_M, F_V</math> AT DEPTHS DESIRED.</li> <li>4. COMPUTE DEFLECTION, MOMENT AND SHEAR AT DESIRED DEPTHS USING FORMULAS OF FIGURE 11.</li> </ol> <p>NOTE: "<math>\gamma</math>" VALUES FROM FIGURE 9 AND CONVERT TO LB/IN<sup>3</sup>.</p>
CASE II. PILES WITH RIGID CAP AT GROUND SURFACE		
		<ol style="list-style-type: none"> <li>1. PROCEED AS IN STEP 1, CASE I.</li> <li>2. COMPUTE DEFLECTION AND MOMENT AT DESIRED DEPTHS USING COEFFICIENTS <math>F_\delta, F_M</math> AND FORMULAS OF FIGURE 12.</li> <li>3. MAXIMUM SHEAR OCCURS AT TOP OF PILE AND EQUALS <math>P = \frac{P_T}{n}</math> IN EACH PILE.</li> </ol>
CASE III. RIGID CAP, ELEVATED POSITION		
	<p>DEFLECTED POSITION</p> 	<ol style="list-style-type: none"> <li>1. ASSUME A HINGE AT POINT A WITH A BALANCING MOMENT M APPLIED AT POINT A.</li> <li>2. COMPUTE SLOPE <math>\theta_2</math> ABOVE GROUND AS A FUNCTION OF M FROM CHARACTERISTICS OF SUPERSTRUCTURE.</li> <li>3. COMPUTE SLOPE <math>\theta_1</math> FROM SLOPE COEFFICIENTS OF FIGURE 13 AS FOLLOWS:  <math display="block">\theta_1 = F_\theta \left(\frac{PT^2}{EI}\right) + F_\theta \left(\frac{MT}{EI}\right)</math> </li> <li>4. EQUATE <math>\theta_1 = \theta_2</math> AND SOLVE FOR VALUE OF M.</li> <li>5. KNOWING VALUES OF P AND M, SOLVE FOR DEFLECTION, SHEAR, AND MOMENT AS IN CASE I.</li> </ol> <p>NOTE: IF GROUND SURFACE AT PILE LOCATION IS INCLINED, LOAD P TAKEN BY EACH PILE IS PROPORTIONAL TO <math>I/H_0^3</math>.</p>

FIGURE 10  
Design Procedure for Laterally Loaded Piles

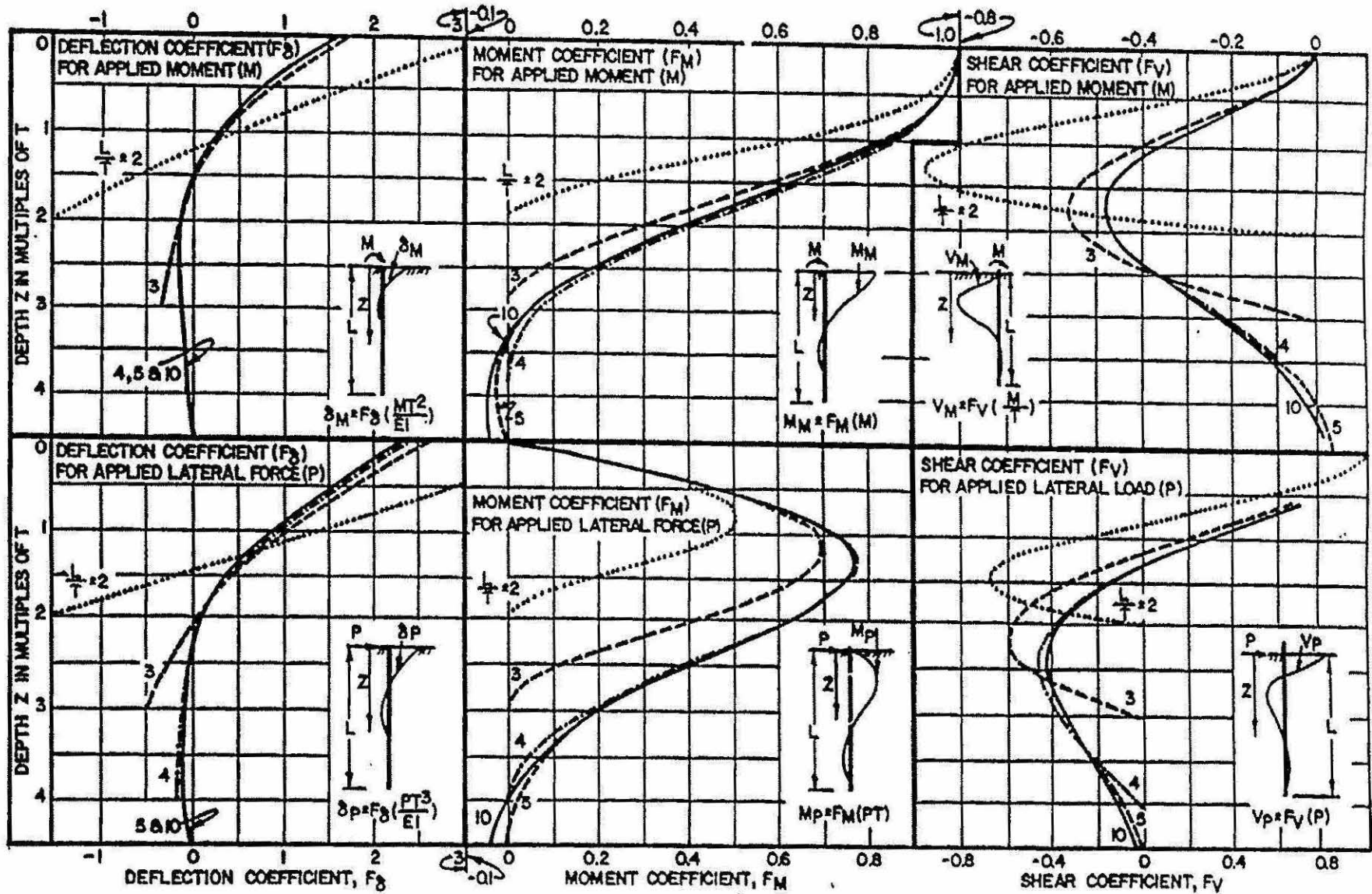


FIGURE 11  
 Influence Values for Pile with Applied Lateral Load and Moment  
 (Case I. Flexible Cap or Hinged End Condition)

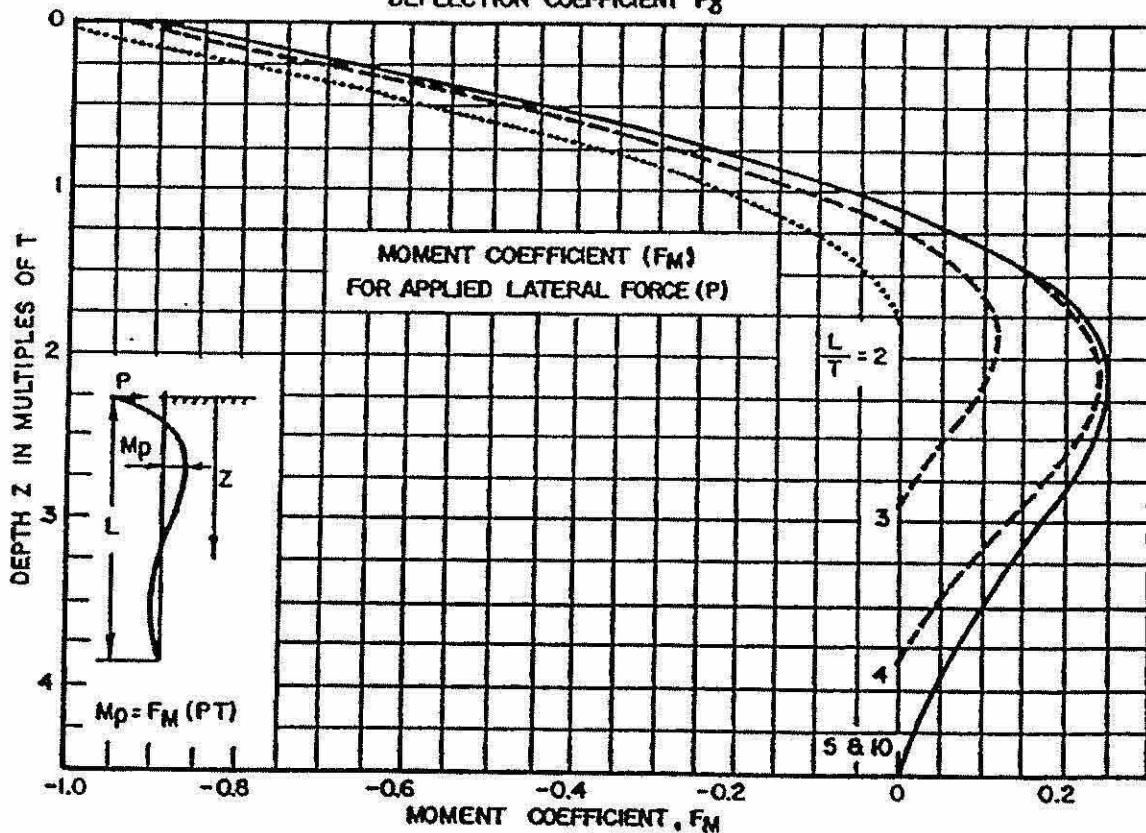
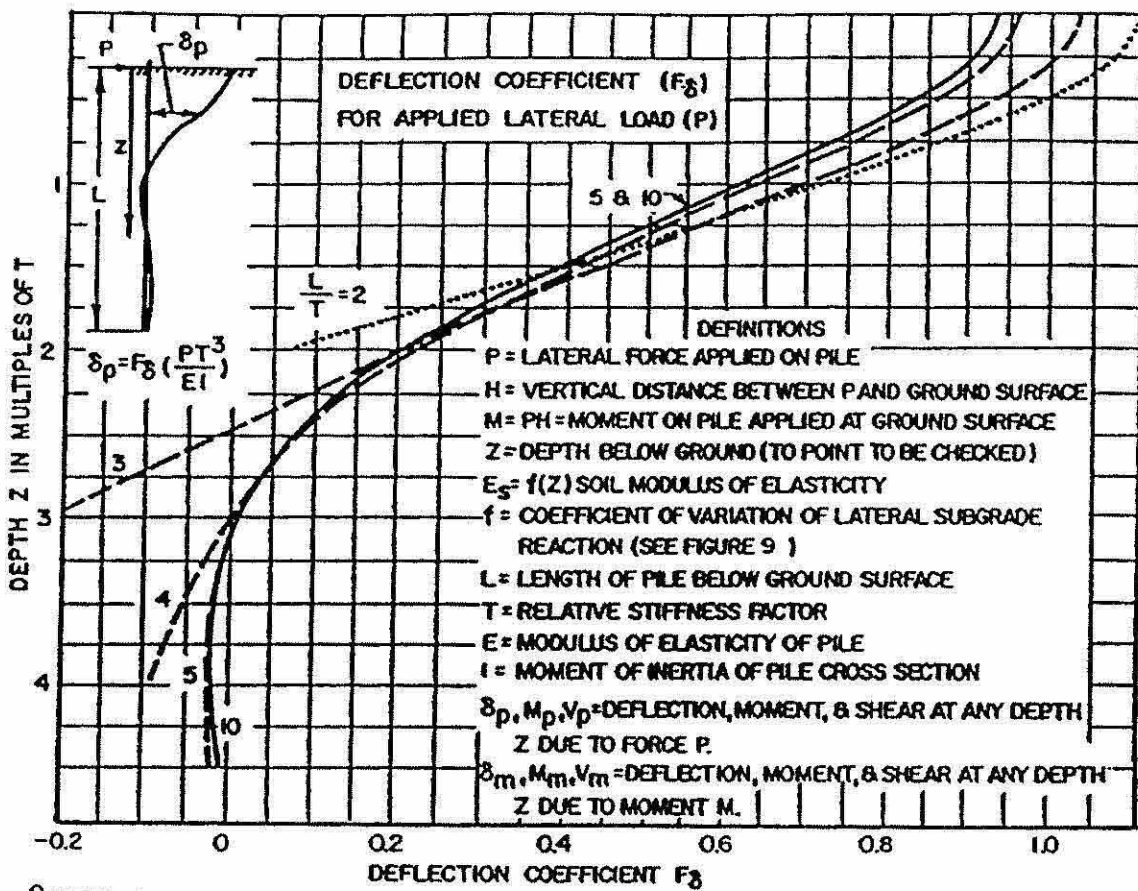


FIGURE 12  
 Influence Values for Laterally Loaded Pile  
 (Case II. Fixed Against Rotation at Ground Surface)  
 7.2-239

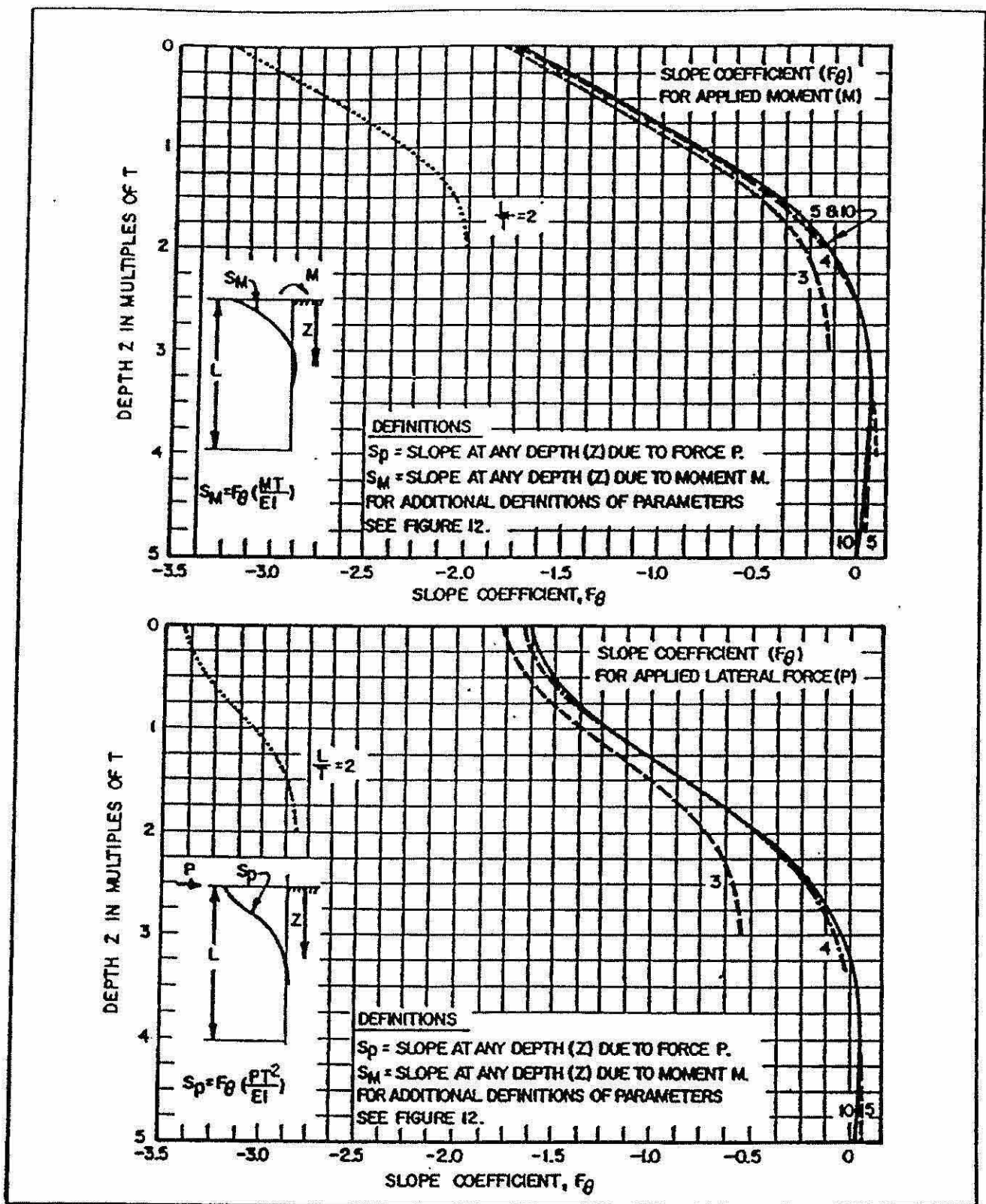


FIGURE 13  
Slope Coefficient for Pile with Lateral Load or Moment

Case II. Pile with rigid cap fixed against rotation at ground surface. Thrust is applied at the top, which must maintain a vertical tangent. Obtain deflection and moment from influence values of Figure 12.

Case III. Pile with rigid cap above ground surface. Rotation of pile top depends on combined effect of superstructure and resistance below ground. Express rotation as a function of the influence values of Figure 13 and determine moment at pile top. Knowing thrust and moment applied at pile top, obtain total deflection, moment and shear in the pile by algebraic sum of the separate effects from Figure 11.

### 3. CYCLIC LOADS.

Lateral subgrade coefficient values decrease to about 25% the initial value due to cyclic loading for soft/loose soils and to about 50% the initial value for stiff/dense soils.

4. LONG-TERM LOADING. Long-term loading will increase pile deflection corresponding to a decrease in lateral subgrade reaction. To approximate this condition reduce the subgrade reaction values to 25% to 50% of their initial value for stiff clays, to 20% to 30% for soft clays, and to 80% to 90% for sands.

5. ULTIMATE LOAD CAPACITY - SINGLE PILES. A laterally loaded pile can fail by exceeding the strength of the surrounding soil or by exceeding the bending moment capacity of the pile resulting in a structural failure. Several methods are available for estimating the ultimate load capacity.

The method presented in Reference 33, Lateral Resistance of Piles in Cohesive Soils, by Broms, provides a simple procedure for estimating ultimate lateral capacity of piles.

6. GROUP ACTION. Group action should be considered when the pile spacing in the direction of loading is less than 6 to 8 pile diameters. Group action can be evaluated by reducing the effective coefficient of lateral subgrade reaction in the direction of loading by a reduction factor R (Reference 9) as follows:

File Spacing in Direction of Loading <u>D = Pile Diameter</u>	Subgrade Reaction Reduction Factor <u>R</u>
8D	1.00
6D	0.70
4D	0.40
3D	0.25

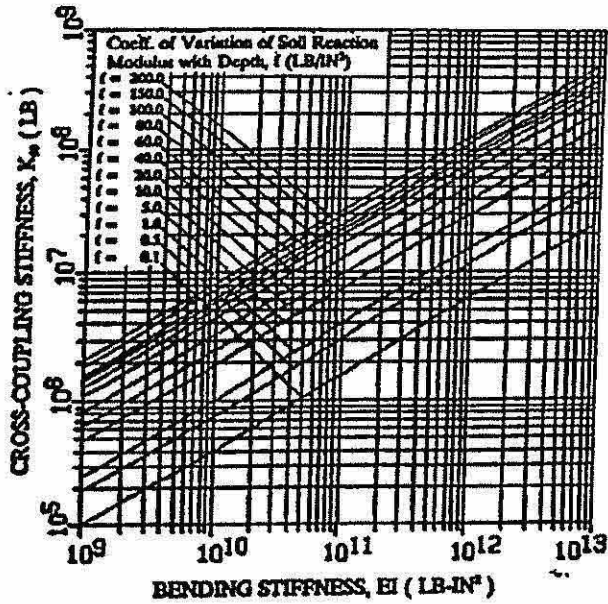


Figure 9. Pile Cross-Coupling Stiffness,  $K_{xx}$

he authors. This recommendation and results of the correlation for clay are shown in Figure 11. Only the upper five lameters of soils (soil type and ground star) need to be considered in usage of the presented design charts.

**Limitations of Approach.** There are several simplifying assumptions in the presented approach. The coefficient  $f$  is not an intrinsic soil parameter. The recommendations for  $f$  presented in Figures 9 and 11 are appropriate for piles in typical highway bridge foundations (i.e. smaller piles). Furthermore, the embedment effect has not been taken into account in the procedure. Therefore the recommendations are conservative and appropriate for shallow embedment conditions (say less than 5 feet or 1.5 m).

Although correlations for the coefficient  $f$  can be conducted for other conditions (e.g. larger piles and bigger embedment depths), the additional complexity negates the merits of the use of simplified linear elastic solutions. For such cases, computer solutions, which can readily accommodate nonlinear effects and more general boundary conditions, are recommended.

**Comparison to Caltrans Practice.** The above procedure can be compared to the practice adopted by Caltrans. In Caltrans

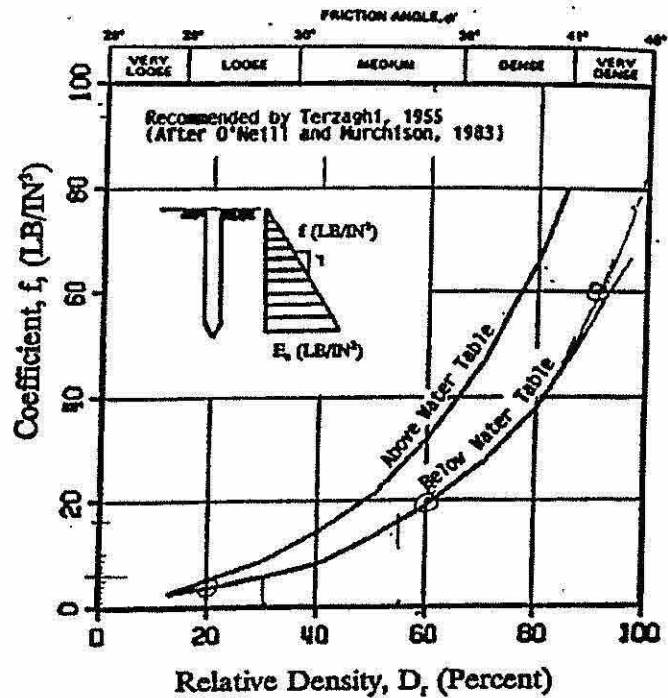


Figure 10. Recommendations for Coefficient  $f$  for Sands (Note: 1 LB/IN<sup>3</sup> = 0.27 N/cm<sup>3</sup>)

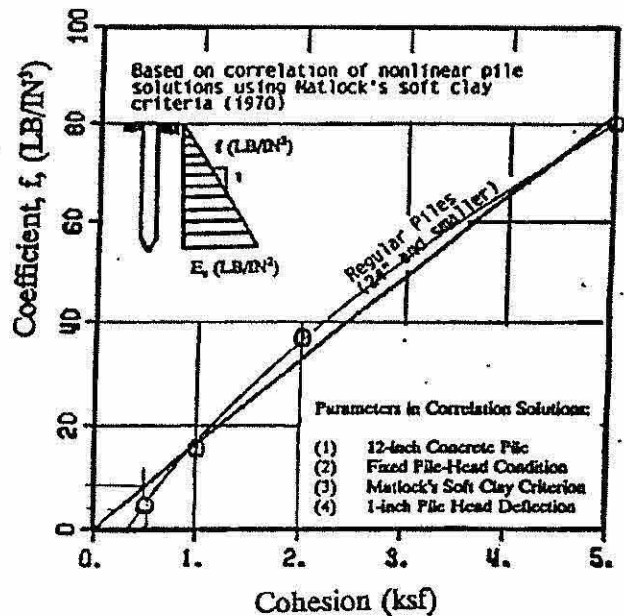


Figure 11. Recommendations of Coefficient  $f$  for Clays (Note: 1 LB/IN<sup>3</sup> = 0.27 N/cm<sup>3</sup>)





Geotechnical Engineering

Coastal Engineering

Maritime Engineering

Project No. 2099A  
December 6, 2017

Ms. Leslea Meyerhoff, Project Planner  
**CITY OF SOLANA BEACH**  
635 South Highway 101  
Solana Beach, California 92075

RESPONSE TO CITY REVIEW COMMENTS  
BEACH ACCESS STAIRWAY MAINTENANCE  
**SEASCAPE SHORES CONDOMINIUMS**  
325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA

DEVELOPMENT REVIEW PERMIT NO. 17-17-39

Dear Ms. Meyerhoff:

TerraCosta Consulting Group, Inc. (TerraCosta) is responding to the City of Solana Beach's review comments contained in your November 20, 2017, letter. For completeness of the record, we have restated the original comments in italics, followed by our response. Only those items requiring responses have been included.

**Planning Department Comments**

- 1) Please explain how this project has been designed to be stable given future sea level rise conditions along the beach.*

Sea level rise can influence coastal erosion, and when using relatively coarse time scales, that is, hundreds to thousands of years, the rate of cliff erosion over a given time is equal to the rate of sea level rise divided by the shore platform slope.

This sea level model takes the following form (Marine Board, 1987)<sup>1</sup>:

$$dx/dt = (L + E) / \text{platform gradient} \quad (1)$$

where,  $dx/dt$  is the horizontal rate of erosion,  $L$  is the local tectonic rate of subsidence or uplift, and  $E$  is the eustatic sea level rise.

One of the most contemporary efforts at evaluating the effects of sea level rise on future bluff retreat has been developed by Young, et al. (2014)<sup>2</sup>, in their paper titled, “Estimating Cliff Retreat in Southern California Considering Sea Level Rise Using a Sand Balance Approach.”

As indicated in Dr. Young’s paper, hydrodynamic wave forces on the proposed improvements are a function of the water depth at the base of the structure. Twenty years ago, when there was an abundance of transient beach sand, the elevation of the back beach was near +12 feet (NAVD88) and under that condition, 93 centimeters (the midpoint of the 2012 National Research Council Sea Level Rise Study) of sea level rise by the year 2100 would, at most, result in a maximum water depth of about 1 to 2 feet, which results in very low hydrodynamic wall pressures.

In the past 20 years, primarily as a result of upland urbanization, there has been a significant loss of the transient sand beach, at times exposing the bedrock shore platform near elevation +2 feet (NAVD88). Under this condition, hydrodynamic wave forces are considerably higher; although the stairway design, with 48-inch-diameter monopiles will be designed to accommodate these hydrodynamic wave forces and easily accommodate the increase in hydrodynamic wave forces, even with a 93 centimeter to as much as 167 centimeter rise in sea level.

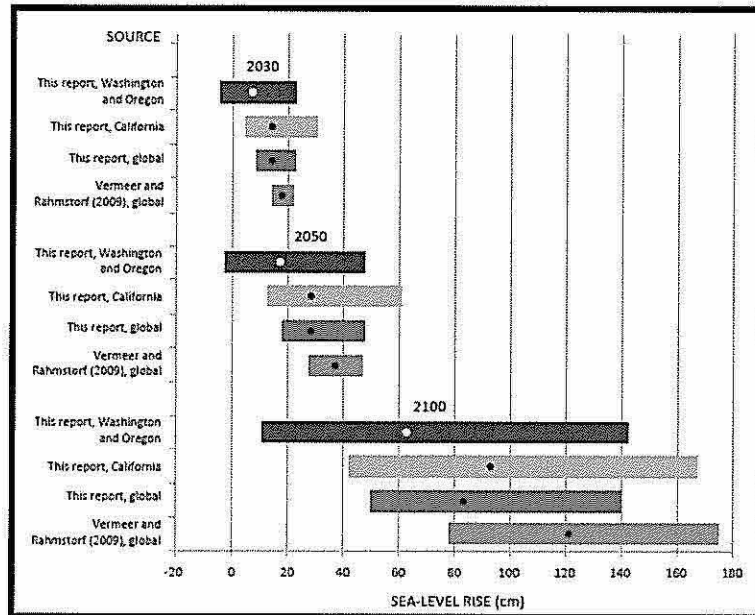
The figure below summarizes future mean sea level rise scenarios developed in the National Research Council (NRC, 2012) study used by the California Ocean Protection Council. The California Coastal Commission has also adopted this NRC study in its Sea Level Rise Guidance documents.

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<sup>1</sup> Marine Board, National Research Council, 1987, Responding to changes in sea level: engineering implications. National Academy Press, Washington, D.C.

<sup>2</sup> Young, A.P., R.E. Flick, W.C. O’Reilly, D.B. Chadwick, W.F. Crampton, J.J. Helly, 2014, Estimating Cliff Retreat in Southern California Considering Sea Level Rise Using a Sand Balance Approach. Marine Geology, 348, p. 5-26.





Modified from NRC (2012), Sea Level Rise for the Coasts of California, Oregon, and Washington.

Recognizing that the littoral sand supply in Southern California is already insufficient to maintain adequate width to satisfy recreational desires and shore protection needs, the City of Solana Beach, in its recently adopted Local Coastal Plan, states, “The City will continue to aggressively pursue implementation of a comprehensive beach sand replenishment and retention program as the best approach to buffer bluffs from wave attack and reduce the need for bluff retention devices. Environmentally sound local, regional, state and federal beach sand replenishment and retention programs that the City is actively advancing include:

- Sand Compatibility and Opportunistic Use Program (SCOUP)
- Future beach nourishment program similar to Regional Beach Sand Project #2
- Regional Coastal Sediment Management Master Plan
- U.S. Army Corps Shoreline Protection Project for Solana Beach and Encinitas
- Southern California Reef Technology Project at Fletcher Cove”

Section 4 of Chapter 4 of the City’s LUP, specifically Policy Nos. 4.61 through 4.70, provide additional detail on the City’s efforts to develop adaptive strategies for sea level rise.



2) *Please describe any alternatives that have been considered and any that have been rejected.*

The Seascape Shores development and stairway were constructed under a County of San Diego permit in 1973 prior to the California Coastal Act, and therefore the stairway status is legal non-conforming. Repairs and maintenance were performed on the stairway in 2006 and 2010 following storm damage. Each time, maintenance on this structure was declared to be exempt from requiring a Coastal Development Permit (CDP) by the California Coastal Commission (CCC) because there was no change to the footings proposed and no mechanized equipment was required to be on the beach to perform the repairs.

The stairway failed again during the severe El Nino storms during the winter of 2015-16 and TerraCosta was again retained to investigate repairs to the stairway and at least address the possibility of a more robust repair than the simple replacement in like-kind as previously performed in 2006 and 2010. At the Homeowners Association's (HOA) request, we investigated a total of five alternatives for the rehabilitation of the stairway, and met with City Staff on February 16, 2016, to discuss the five alternatives, which are summarized in the following paragraphs.

#### **Alternative 1: Replacement in Like Kind**

Repairs to the stairway in 2006 and in 2010 were completed with no mechanized equipment, which streamlines the permit process, with the Coastal Commission typically exempting any non-mechanized equipment work on the beach. All materials would be hand-carried down the existing stairway, lowered to the beach, and then entirely erected with hand tools to take advantage of the likely exempt permit status.

Like the 2006 and 2010 repairs, this alternative would be susceptible to any future storms and would likely fail during the next severe El Nino storm season.

#### **Alternative 2: Lower Landing Replacement**

Alternative 2 would replace the lower landing with a monolithic concrete column, 48 inches in diameter, with a fluted top supporting a new concrete platform designed to eliminate high wave-induced uplift forces. This lower concrete landing (as well as



Alternatives 3, 4, and 5, for that matter), would be constructed with mechanized equipment and require a more lengthy permit process, including approval from the Coastal Commission.

### **Alternative 3: Lower Landing Replacement with Monolithic Concrete Stair**

While Alternative 2 includes a wooden stairway down to bedrock from the new concrete landing that would be buried most of the time in sand, and when exposed would likely be damaged during any large storms, Alternative 3 replaces the more fragile lower timber stairway with a monolithic concrete stairway extending down to, and embedded into, the underlying bedrock shore platform similar to the City's recently constructed public access stairway just north of Del Mar Shores. This lower concrete stairway would be buried most of the time.

### **Alternative 4: Replacement of Lower Two Stairway Landings**

Alternative 4 would replace the lower two stairway landings with monolithic concrete columns 48 inches in diameter, again with the fluted top supporting new concrete platforms designed to eliminate high wave-induced uplift forces. This alternative would also include all new stringers, treads, and handrails, extending up to the mid-bluff stairway landing above the existing seawall.

### **Alternative 5: Replacement of All Stairway Landings**

Alternative 5 differs from Alternative 4 in that all three stairway landings would be supported with monolithic concrete columns 48 inches in diameter, with fluted tops supporting new concrete platforms designed to eliminate high wave induced uplift forces. Like Alternative 4, this alternative would also include all new stringers, treads, and handrails extending up to the mid-bluff stairway landing above the existing seawall.

3) *Please explain how the project complies with Solana Beach LUP Policy 2.60 and Policy 2.60.5.*

Policy 2.60 allows existing permitted or private beach stairways constructed prior to the Coastal Act to be maintained in good condition with a CDP where required, but shall not be expanded in size or function. Routine repair and maintenance shall not include the



replacement of the stairway or any significant portion of greater than 50 percent of the stairway cumulatively over time from the time from the date of LUP certification. This stairway was constructed prior to the Coastal Act, and the proposed project is for the maintenance of this existing pre-Coastal Act stairway. The footprint of the proposed repairs has not in any way changed from the original stairway construction, and unlike the non-mechanized maintenance performed in 2006 and 2010, this project simply improves the integrity of the stairway foundations, minimizing the potential for future failures, and importantly minimizing the attendant debris on the City beach associated with a stairway failure. The proposed project complies with LUP Policy 2.60.

Policy 2.60.5 is not applicable, since the entire existing stairway is on private property defined by a metes and bounds ownership, the approximate limits of which are shown on Sheet 1 of the 8-sheet set of beach access stairway maintenance drawings submitted with the DRP application. That said, and as indicated in our response to Comment 4 (below), the proposed stairway maintenance only affects approximately 40 percent of the existing beach access stairway, and thus complies with the 50 percent rule defined in both Policies 2.60 and 2.60.5.

*4) Please describe the total length of the existing staircase and what percentage is proposed to be modified, repaired or replaced by the proposed project.*

The total length of the existing staircase prior to the failure was approximately 214 lineal feet. The currently proposed beach access stairway maintenance work includes the replacement of the lower three stairway landings, stringers, treads and handrails for a total of 85 lineal feet, which comprises a little less than 40 percent of the total existing staircase.

*5) Please provide a copy of the Coastal Commission exemption letter referenced in the application.*

A copy of the Coastal Commission exemption letter referenced in the application is attached.



*6) Please describe the construction process and the expected direction of construction.*

This project involves construction with limited heavy construction equipment, such as a manlift, concrete trucks, and rubber-tired excavator required for form work, excavation, and the construction of concrete piles, landings, and monolithic stair to shore platform. Construction of the project is anticipated to take approximately ten weeks, with work occurring during periods of low tides only. During construction, disturbance to sand and intertidal areas shall be minimized to the maximum extent feasible. All excavated beach sand shall be re-deposited on the beach. Local sand, cobbles, or shoreline rocks shall not be used for backfill or for any other purpose as construction material. A 30-foot-wide construction work zone will be established with barriers during work hours to separate the work zone from open public beach. City lifeguards and a supervising engineer will be present during construction, as required.

Construction access will be from the Fletcher Cove beach access ramp. No overnight storage of equipment or materials shall occur on the sandy beach or within the Fletcher Cove public parking spaces. No machinery shall be placed, stored, or otherwise located in the intertidal zone at any time, except for the minimum necessary to complete the project. During construction, no storage of construction materials or waste where it will be or could be potentially subject to waves, erosion, and dispersion, will be allowed. Construction equipment shall not be washed on the beach or in the Fletcher Cove parking lot. Upon completion of the work, the entire site shall be cleared of equipment, unused materials, and rubbish.

*7) Please be advised that any permanent irrigation located within 100 feet of the bluff edge will need to be removed or capped as part of this project.*

Comment noted.



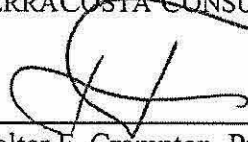
Ms. Leslea Meyerhoff  
CITY OF SOLANA BEACH  
Project No. 2099A

December 6, 2017  
Page 8

We trust these responses satisfactorily address the reviewer's comments. If you have any questions, please give us a call.

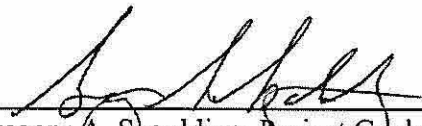
Very truly yours,

TERRACOSTA CONSULTING GROUP, INC.



---

Walter F. Crampton, Principal Engineer  
R.C.E. 23792, R.G.E. 245



---

Gregory A. Spaulding, Project Geologist  
C.E.G. 1863, C.H.G. 351, R.G. 5892

WFC/GAS/jg  
Attachments





**CALIFORNIA COASTAL COMMISSION**

SAN DIEGO AREA  
7575 METROPOLITAN DRIVE, SUITE 103  
SAN DIEGO, CA 92108-4402  
(619) 767-2370

EXEMPTION LETTERDATE: April 30, 2010NAME: Rob Hawk  
TerraCosta Consulting Group  
4455 Murphy Canyon Road, Suite 100  
San Diego, CA 92123LOCATION: Beach access stairway on bluff and beach below 325 South Sierra  
(Seascape Shores Condominiums), Solana Beach

PROJECT: Repairs to a storm damaged section of the stairway involving replacement of all stairway elements between the last two existing beach level stair landings including new lumber stringers, railings, handrail, and treads using the same, like kind materials and without the use of any mechanized equipment on the beach. No changes to existing footings are proposed or authorized. (Ref. plans by TerraCosta Consulting Group dated received April 4, 2006)

This is to certify that this location and/or proposed project has been reviewed by the staff of the Coastal Commission. A coastal development permit is not necessary for the reasons checked below.

- The site is not located within the coastal zone as established by the California Coastal Act of 1976, as amended.
- The proposed development is included in Categorical Exclusion No. \_\_\_\_\_ adopted by the California Coastal Commission.
- The proposed development is judged to be repair or maintenance activity not resulting in an addition to or enlargement or expansion of the object of such activities (Section 30610(d) of the Coastal Act).
- The proposed development is an improvement to an existing single-family residence (Section 30610(a) of the Coastal Act) and not located in the area between the sea and the first public road or within 300 feet of the inland extent of any beach (whichever is greater) (Section 13250(b)(4) of the 14 Cal. Admin. Code).

(over)

- The proposed development is an improvement to an existing single-family residence and is located in the area between the sea and the first public road or within 300 feet of the inland extent of any beach (whichever is greater) but is not a) an increase of 10% or more of internal floor area, b) an increase in height over 10%, or c) a significant non-attached structure (Sections 30610(a) of the Coastal Act and Section 13250(b)(4) of Administrative Regulations).
- The proposed development is an interior modification to an existing use with no change in the density or intensity of use (Section 30106 of the Coastal Act).
- The proposed development involves the installation, testing and placement in service of a necessary utility connection between an existing service facility and development approved in accordance with coastal development permit requirements, pursuant to Coastal Act Section 30610(f).
- The proposed development is an improvement to a structure other than a single-family residence or public works facility and is not subject to a permit requirement (Section 13253 of Administrative Regulations).
- The proposed development is the rebuilding of a structure, other than a public works facility, destroyed by natural disaster. The replacement conforms to all of the requirements of Coastal Act Section 30610(g).
- Other:

Please be advised that only the project described above is exempt from the permit requirements of the Coastal Act. Any change in the above project may cause it to lose its exempt status. This certification is based on information provided by the recipient of this letter. If, at a later date, this information is found to be incorrect or incomplete, this letter will become invalid, and any development occurring at that time must cease until a coastal development permit is obtained.

Sincerely,

By: Melissa Ahrens

Title: Coastal Planner



Geotechnical Engineering  
Coastal Engineering  
Maritime Engineering

Project No. 2099A  
April 2, 2018

Mr. Vince Amela  
**SEASCAPE SHORES HOA**  
325 South Sierra Avenue, #4  
Solana Beach, California 92075

RESPONSE TO CITY REVIEW COMMENTS  
GEOTECHNICAL INVESTIGATION  
AND BEACH ACCESS STAIRWAY  
**SEASCAPE SHORES CONDOMINIUMS**  
325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CALIFORNIA

DEVELOPMENT REVIEW PERMIT NO. 17-17-39

Dear Mr. Amela:

TerraCosta Consulting Group, Inc. (TerraCosta) is responding to the City of Solana Beach's review comments contained in GeoPacifica's January 10, 2018, geotechnical review letter for the subject project. For completeness of the record, we have restated the original comments in italics, followed by our response.

*Item 1. Please address sea level rise in the wave run-up and design calculations, along with the wave action affecting the CIDH shafts.*

Our October 9, 2017, geotechnical report was of a limited nature, addressing specifically the beach access stairway. Although our report was of a limited nature, we used a design still water elevation of +10 feet NAVD 88, which is 1.08 feet above the 100-year design still water level today, and when assuming 3 feet of sea level rise by the year 2100, the design still water level of +10 feet NAVD 88 occurs in the year 2052, or 34 years in the future. All of the design wave forces presented in our October 9, 2017, report are still conservative, although not entirely in keeping with the recently adopted California Coastal Commission Sea Level Rise Policy Guidance Document. At the City's request, we have revised our report to address sea level rise and wave runup, along with the wave action affecting the CIDH shafts from an assumed 3 feet of sea level rise by the year

2100, in compliance with the Coastal Commission's Sea Level Rise Policy Guidance Document.

*Item 2. The geotechnical investigation addressed the geology of the environment only partially. Please address the bedrock fracturing that is present parallel to the shoreline and the effects of the CIDH shafts drilled into the bedrock.*

As indicated in our response to Item 1, our October 9, 2017, Limited Geotechnical Investigation was prepared specifically to address the beach access stairway for Seascape Shores Condominiums, the entirety of which is to be supported on three monopiles, each of which is located a minimum of 15 feet from the face of the coastal bluff, embedded into the underlying bedrock shore platform and deriving all lateral capacity from embedment deep into the underlying Torrey Sandstone bedrock formation. While bedrock fracturing is often noted paralleling the shore face associated with stress-relief fracturing, and often visible in sea caves and other geologic anomalies, the bluff-parallel fracturing is much less prevalent within the bedrock shore platform seaward of the bluff, since the bluff-parallel fractures result from stress relief associated with landward erosion of the sea cliff, which the underlying bedrock shore platform does not experience. Specific to the CIDH shafts, all lateral load capacities are derived from passive resistance within and below the surface of the bedrock shore platform, which we believe to be conservatively designed.

*3. Please document and verify that the subject stairs were present or approved prior to the implementation of the California Coastal Commission Act.*

As indicated on the California Coastal Records Project website ([www.californiacoastline.org](http://www.californiacoastline.org)), specifically Image No. 7241048, Seascape Shores was under construction in 1972, prior to the statewide voter-approved Proposition A, which authorized the formation of the California Coastal Commission. Seascape Shores, along with the beach access stairway, was approved by the County of San Diego in 1971, prior to implementation of the California Coastal Act.



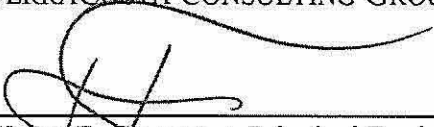
Mr. Vince Amela  
SEASCAPE SHORES HOA  
Project No. 2099A

April 2, 2018  
Page 3

We trust these responses satisfactorily address the reviewer's comments. If you have any questions, please give us a call.


Very truly yours,

TERRACOSTA CONSULTING GROUP, INC.



---

Walter F. Crampton, Principal Engineer  
R.C.E. 23792, R.G.E. 245



---

Gregory A. Spaulding, Project Geologist  
C.E.G. 1863, C.H.G. 351, R.G. 5892

WFC/GAS/jg  
Attachments





January 10, 2018

Ms. Leslea Meyerhoff  
City of Solana Beach  
635 South Highway 101  
Solana Beach, California 92075-2215

Subject: Geotechnical Review of Proposed Project  
Seascape Shores  
325 South Sierra Avenue  
Solana Beach, California

References:

1. "Geotechnical Investigation and Beach Access Stairway, Seascape Shores Condominium, 325 South Sierra Avenue, Solana Beach, CA", by TerraCosta Consulting Group, dated October 9, 2017
2. "Site Plans and Construction Plans for the Beach Access Stairway Maintenance, Seascape Shores Condominiums, Prepared by TerraCosta Consulting Group, dated October 19, 2017

Dear Ms. Meyerhoff:

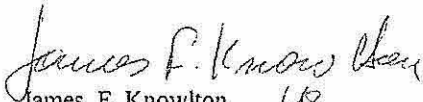
In accordance with your request I have reviewed the referenced document for conformance to the requirements of the City of Solana Beach Municipal Code (SBMC), the recently adopted City of Solana Beach LCP/LUP and generally accepted standards of care for the preparation of geotechnical reports for shoreline stabilization projects in the State of California, County of San Diego and the City of Solana Beach. I have also visited the subject site several times and have had meetings with Solana Beach staff regarding my findings.

Based upon our review, from a geotechnical viewpoint, it appears that the geotechnical report(s) and site plan have not adequately addressed and therefore do not meet all of the requirements of the City of Solana Beach Municipal Code and the requirements of the City of Solana Beach LCP/LUP.

The following items need to be addressed:

1. Please address sea level rise in the wave run-up and design calculations, along with the wave action affecting the CIDH shafts.
2. The geotechnical investigation addressed the geology of the environment only partially. Please address the bedrock fracturing that is present parallel to the shoreline and the effects of the CIDH shafts drilled into the bedrock.
3. Please document and verify that the subject stairs were present or approved prior to the implementation of the California Coastal Commission Act.

If you have any questions, please do not hesitate to call,

  
James F. Knowlton  
RCE 55754 CEG 1045

3 0 6 0  
INDUSTRY ST  
SUITE 105  
OCEANSIDE  
CA 92054  
TEL: 760.721.5488  
FAX: 760.721.5539



April 12, 2018

Ms. Leslea Meyerhoff  
City of Solana Beach  
635 South Highway 101  
Solana Beach, California 92075-2215

Subject: Geotechnical Review of Proposed Project  
Seascape Shores  
325 South Sierra Avenue  
Solana Beach, California

References:

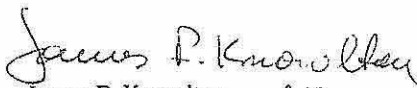
1. "Geotechnical Investigation and Beach Access Stairway, Seascape Shores Condominium, 325 South Sierra Avenue, Solana Beach, CA", by TerraCosta Consulting Group, dated October 9, 2017
2. "Site Plans and Construction Plans for the Beach Access Stairway Maintenance, Seascape Shores Condominiums ,Prepared by TerraCosta Consulting Group , dated October 19, 2017
3. Geotechnical Review of Proposed Project, Seascape Shores, 325 South Sierra Avenue, Solana Beach, CA, dated January 10, 2018, DR#17-17-39
4. Response to Review Comments, Geotechnical Investigation and Beach Access Stairway, Seascape Shores Condominiums, 325 South Sierra Avenue, Solana Beach, California, by TerraCosta Consulting Group, dated April 2, 2018, DR# 17-17-39

Dear Ms. Meyerhoff:

In accordance with your request I have reviewed the referenced document for conformance to the requirements of the City of Solana Beach Municipal Code (SBMC), the recently adopted City of Solana Beach LCP/LUP and generally accepted standards of care for the preparation of geotechnical reports for shoreline stabilization projects in the State of California, County of San Diego and the City of Solana Beach. I have also visited the subject site several times and have had meetings with Solana Beach staff regarding my findings and have had discussions with the geotechnical engineer for the project, Mr. Walt Crampton, of TerraCosta Consulting Group.

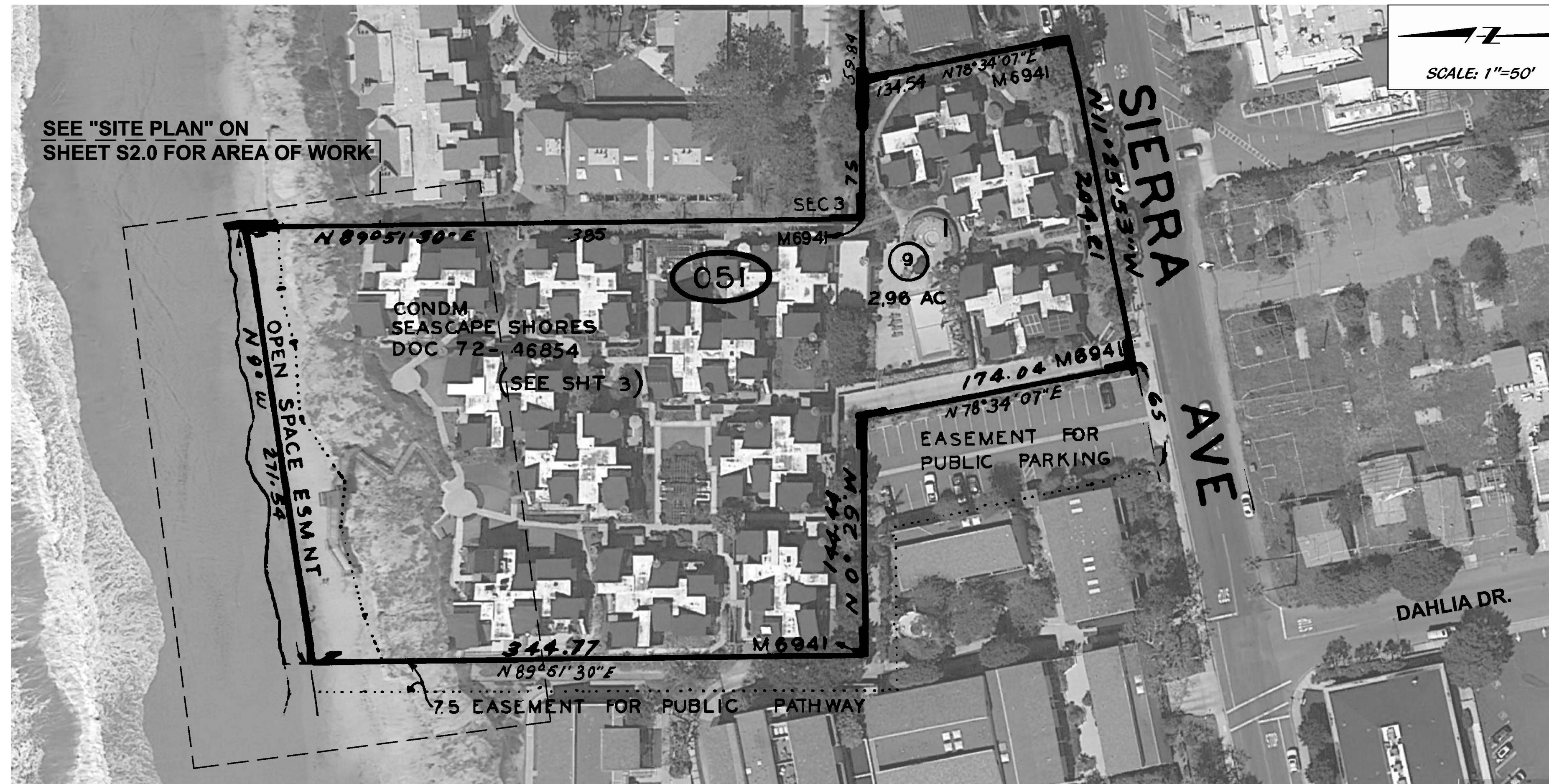
Based upon our review, from a geotechnical viewpoint, it appears that the geotechnical report(s) and site plan have adequately addressed and therefore meet all of the requirements of the City of Solana Beach Municipal Code and the requirements of the City of Solana Beach LCP/LUP. Reference #4 has addressed all of my comments contained in Reference #3 and the proposed project is approved.

If you have any questions, please do not hesitate to call,

  
James F. Knowlton *as*  
RCE 55754 CEG 1045

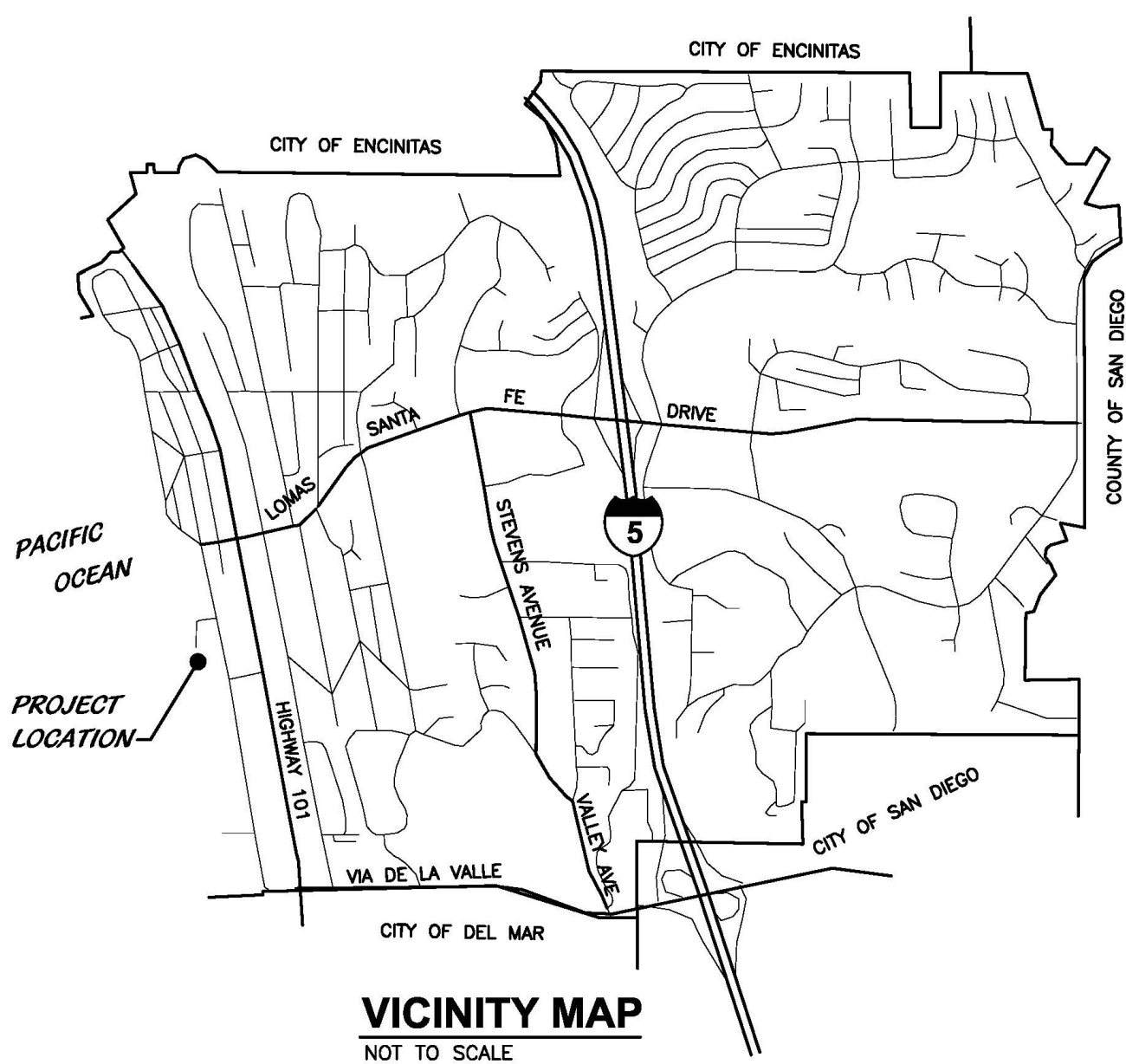
3 0 6 0  
INDUSTRY ST  
SUITE 105  
OCEANSIDE  
CA 92054  
TEL: 760.721.5488  
FAX: 760.721.5539

# SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE



**OVERALL SITE PLAN**  
SCALE: 1"=50'

SOURCE: GOOGLE EARTH & SAN DIEGO COUNTY ASSESSOR'S MAP BOOK PAGE 298, PAGE 5, SHEET 1 OF 6



### SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	T-1	TITLE SHEET
2	S-1	PHASE I - STAIRWAY REHABILITATION
3	S-2	LANDING SAFETY GRATING DETAILS
4	S-3	NOTES
5	S-4	PHASE II - FIBERWRAP OF STAIRWAY
6	S-5	DETAILS, PHASE I & PHASE II
7	S-6	DETAILS, PHASE II

### STANDARD REQUIREMENTS

- ALL WORK, UNLESS OTHERWISE SPECIFIED, SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," SAN DIEGO REGIONAL STANDARD DRAWINGS AND CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS.

### GENERAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- NEITHER THE OWNERS, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE ON THE JOB SITE COPIES OF APPLICABLE STANDARDS SHOWN ON THESE PLANS, AND BE FAMILIAR WITH THEIR REQUIREMENTS.
- ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, RESTRICTIONS AND OSHA REQUIREMENTS.
- NOTES AND DETAILS ON THE PLANS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES IN CASE OF CONFLICT.
- UPON COMPLETION OF EACH DAY'S WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE WORK AREA FREE OF HAZARDS, AND SHALL PROVIDE ALL NECESSARY TEMPORARY SIGNS, WARNING DEVICES, AND BARRICADES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK, AND HE SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT (858) 573-6900 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ACCURATE AND LEGIBLE RECORDS ON A SET OF PROJECT BLUELINE PRINTS OF ALL CHANGES OF WORK WHICH OCCUR DURING PROJECT CONSTRUCTION. PRIOR TO FIELD ACCEPTANCE, THE CONTRACTOR SHALL DELIVER THIS "AS BUILT" INFORMATION TO THE ENGINEER.
- A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A VALID PERMIT HAS BEEN ISSUED.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH AT (858) 720-2470, 24 HOURS BEFORE CONSTRUCTION OPERATIONS BEGIN.

### SITE SAFETY

- THE CONTRACTOR IS ADVISED THAT THE BLUFFS IN THE SITE VICINITY ARE HIGHLY UNSTABLE AND SUBJECT TO PROGRESSIVE FAILURES, WITH THE POTENTIAL FOR TENS TO HUNDREDS OF YARDS OF BLUFF-TOP MATERIALS TO COLLAPSE WITH LITTLE, IF ANY, WARNING. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WHATEVER SAFETY PRECAUTIONS HE DEEMS NECESSARY TO MINIMIZE THIS HAZARD.

### SITE ACCESS & STAGING AREA NOTES

- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ALLEYS, SIDEWALKS, PRIVATE DRIVEWAYS, AND PUBLIC STREETS AT ALL TIMES.
- CONSTRUCTION EQUIPMENT AND ACTIVITIES PERFORMED ON THE SANDY BEACH AREA SHALL NOT RESTRICT LATERAL PUBLIC ACCESS.
- ACCESS CORRIDORS SHALL BE LOCATED IN A MANNER THAT HAS THE LEAST IMPACT ON PUBLIC ACCESS TO AND ALONG THE SHORELINE.
- CONSTRUCTION SCHEDULE: NO WORK SHALL OCCUR ON THE BEACH ON WEEKENDS, HOLIDAYS OR BETWEEN MEMORIAL DAY WEEKEND AND LABOR DAY OF ANY YEAR.
- NO OVERNIGHT STORAGE OF EQUIPMENT OR MATERIALS SHALL OCCUR ON SANDY BEACH OR PUBLIC PARKING SPACES AT FLETCHER COVE. DURING THE CONSTRUCTION STAGES OF THE PROJECT, THE PERMITTEE SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR WASTE WHERE IT WILL BE OR COULD POTENTIALLY BE SUBJECT TO WAVE EROSION AND DISPERSION.

### APPLICANT

SEASCAPE SHORES HOMEOWNERS ASSOCIATION  
TOM RYAN, REPRESENTATIVE  
(858) 755-7497

### ZONING

HRd (HIGH RESIDENTIAL)

### PROJECT ADDRESS

325 SOUTH SIERRA AVENUE  
SOLANA BEACH, CA. 92075

### OVERLAY ZONES

HR, OSR/SP

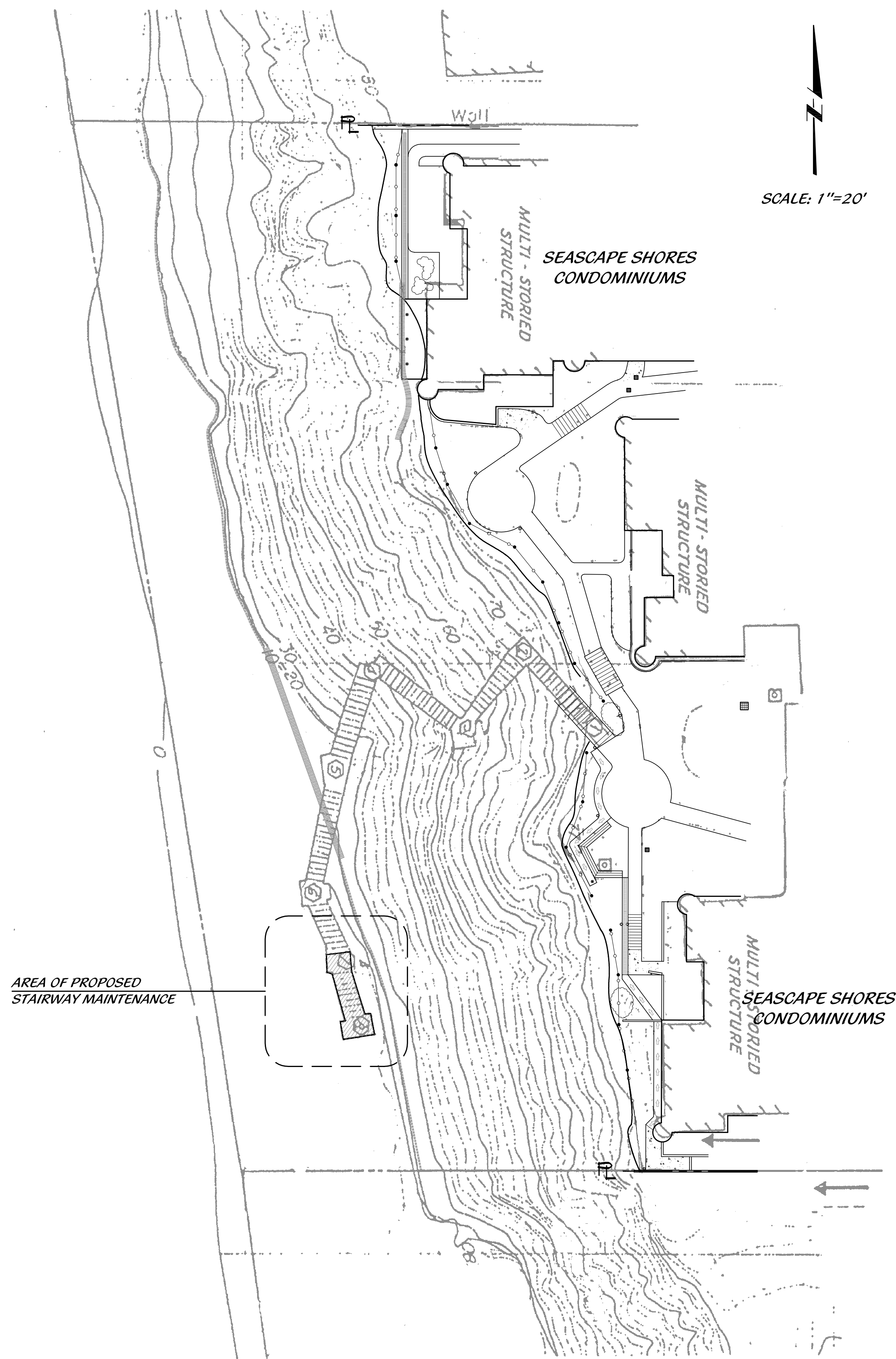
### ASSESSOR PARCEL NUMBERS

298-051-09-01 THROUGH -51

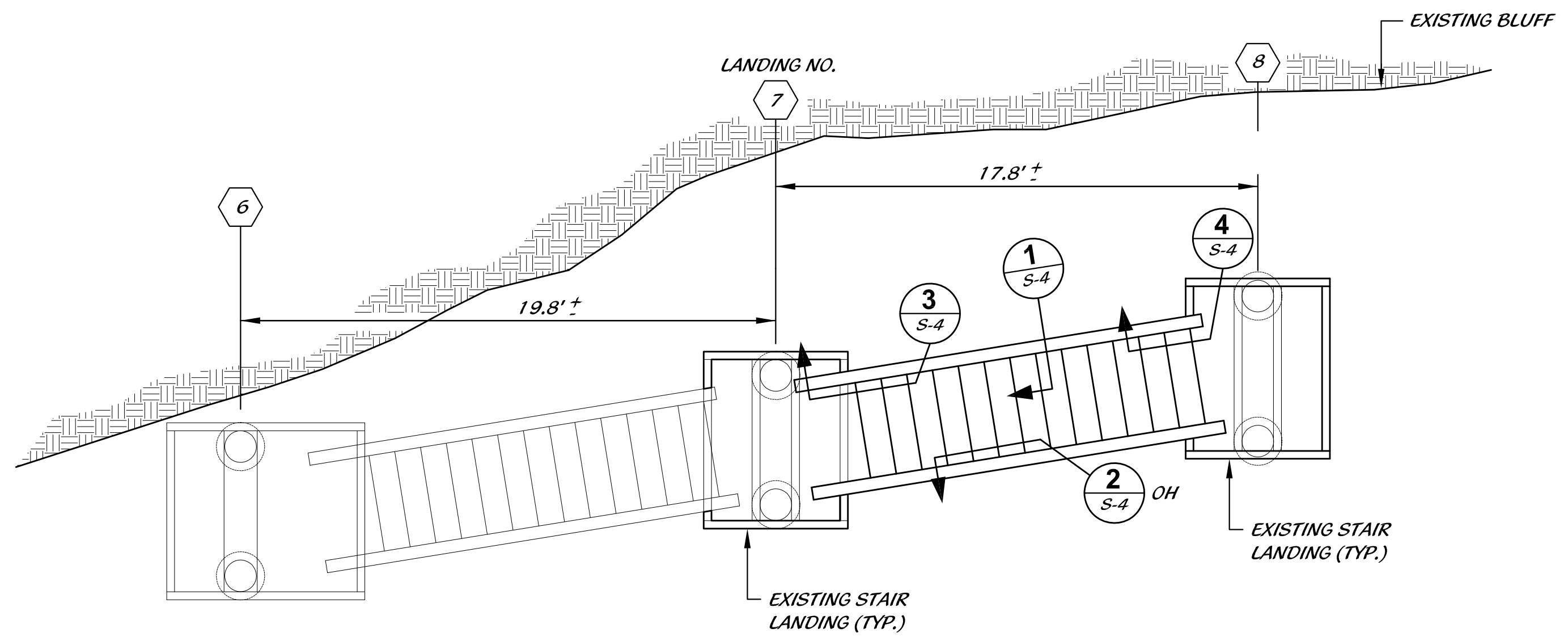
**TERRACOSTA CONSULTING GROUP**  
ENGINEERS & GEOLOGISTS  
3890 MURPHY CANYON ROAD, SUITE 200  
SAN DIEGO, CALIFORNIA 92123  
(858) 573-6900

SOLANA BEACH FIRE DEPARTMENT		SANTA FE IRRIGATION DISTRICT		ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D DATE		RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT		DRAWING NO.	
By: _____ Fire Chief		By: _____ District Engineer		RF Drawn By		By: WALTER F. CRAMPTON Date: 03-06-20 R.C.E.: 23792 Exp: 12-31-21				By: _____ Date: _____		By: _____ Date: _____		DESCRIPTION: SDGPS-446 FD 2" BR. DISK IN TC PER ROS 14492 1488718 1980 TRAVERSE POINT LS 4300 COUNTY OF SAN DIEGO LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTHWEST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE ELEV: 62.647 DATUM: M.S.L.		SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE		T-1		SHEET 1 OF 7	

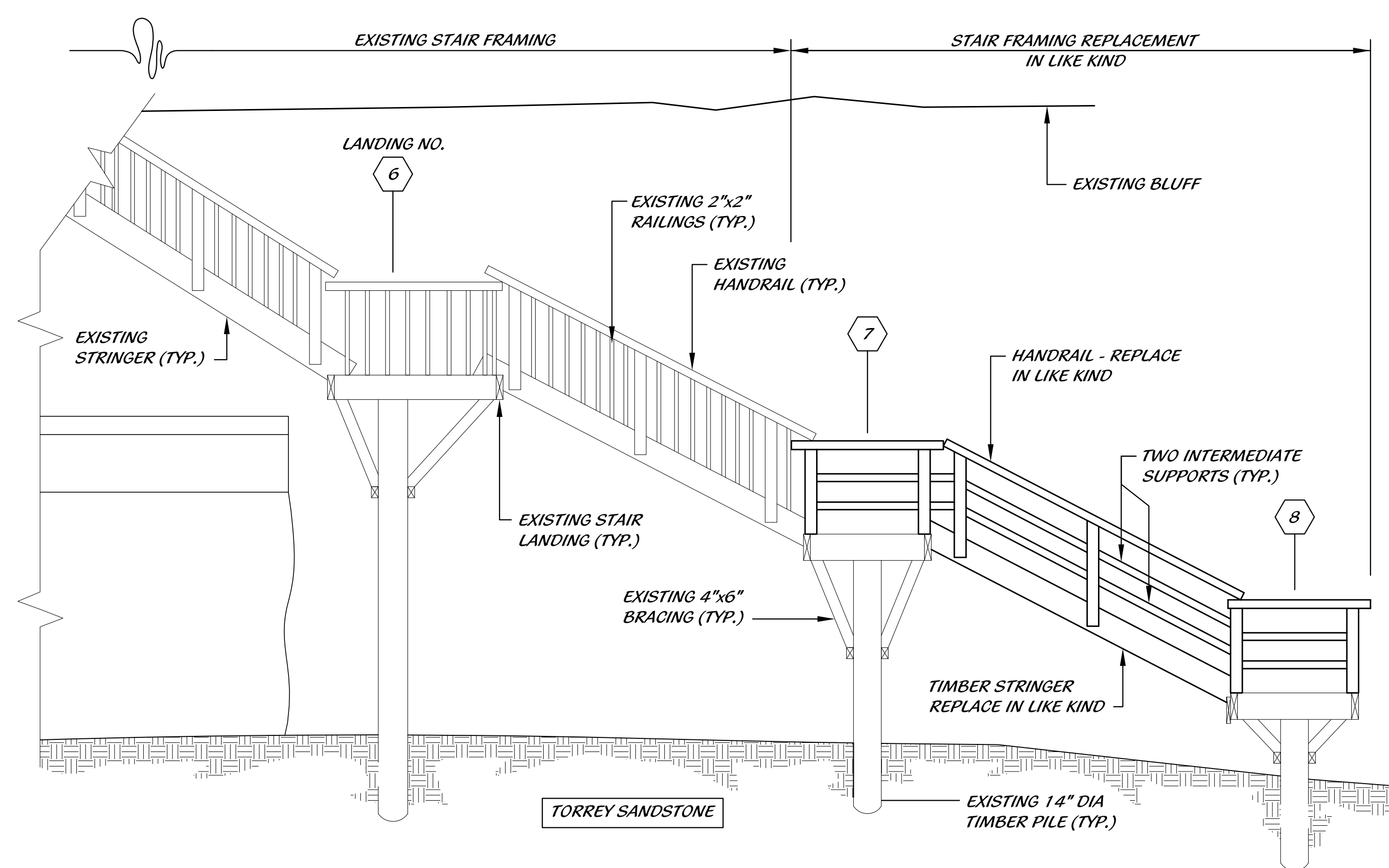




SCALE: 1"=20'



**REHABILITATION OF STAIRWAY - PLAN VIEW**  
SCALE: 3/4"=1'-0"

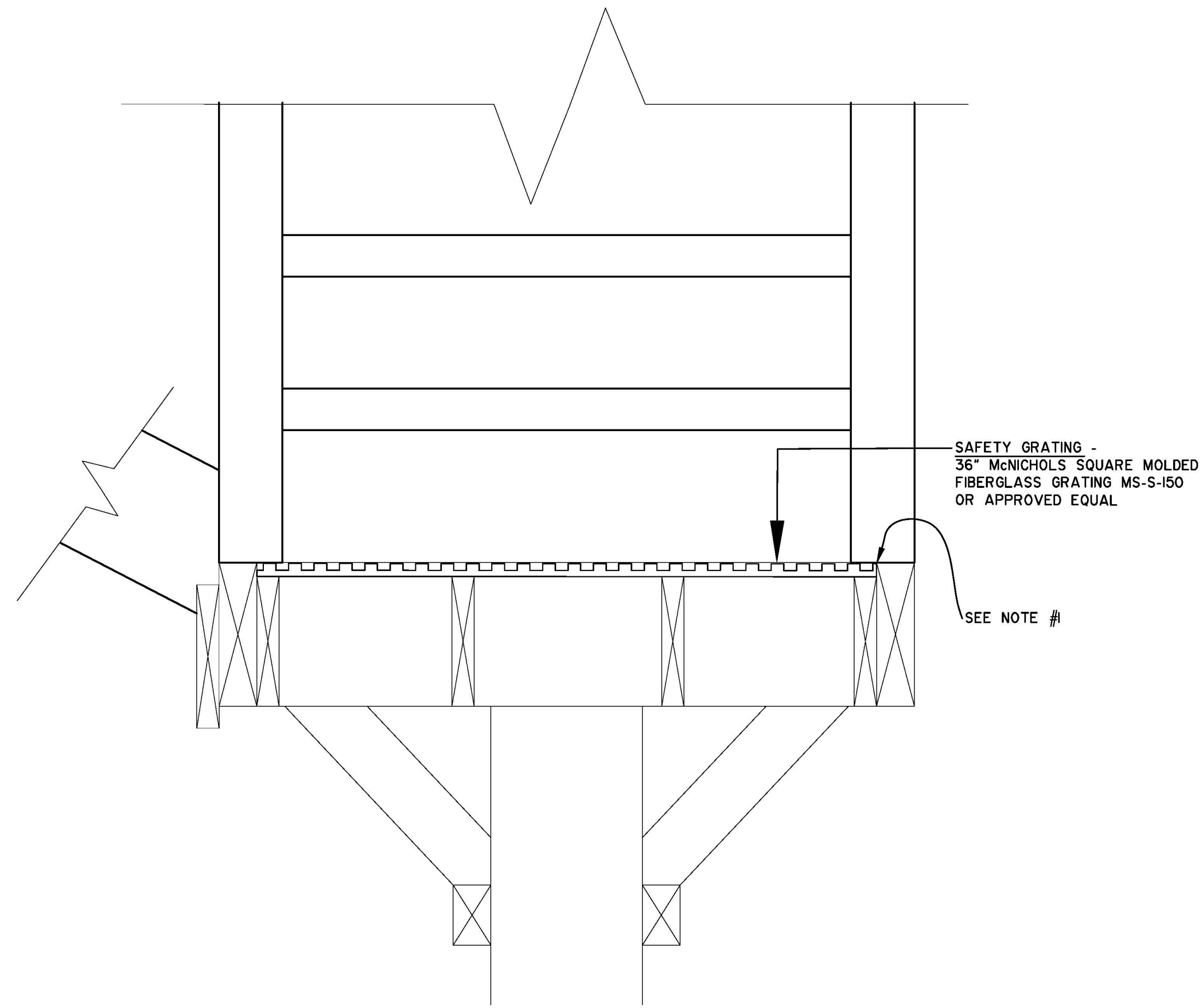


**REHABILITATION OF STAIRWAY - PROFILE**  
SCALE: 3/4"=1'-0"

**TERRACOSTA CONSULTING GROUP**  
ENGINEERS & GEOLOGISTS  
3890 MURPHY CANYON ROAD, SUITE 200  
SAN DIEGO, CALIFORNIA 92123  
(858) 573-6900

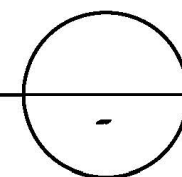
COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

SOLANA BEACH FIRE DEPARTMENT	SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
By: _____ Fire Chief Date: _____	By: _____ District Engineer Date: _____	RF Drawn By By: WALTER F. CRAMPTON Date: 03-06-20 R.C.E.: 23792 Exp: 12-31-21			By: _____ Date: _____	By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 06-30-20	DESCRIPTION: SDGPS-446 FD 2" BR. DISK IN TC PER ROS 14492 7.458118 1980 TRAVERSE POINT LS 4300 COUNTY OF SAN DIEGO LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTHEAST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE ELEV.: 62.647 DATUM: M.S.L.	<b>SEASCAPE SHORES CONDOMINIUMS</b> <b>BEACH ACCESS STAIRWAY MAINTENANCE</b>		<b>S-1</b>



**GRATING INSTALLATION**

NOT TO SCALE



1. 1" MAXIMUM CLEARANCE BETWEEN EDGE OF SAFETY GRATING AND EDGE OF LANDING FRAME..
2. GRATING WIDTH WILL NEED TO BE TRIMMED TO FIT. IT IS ANTICIPATED THAT 36" WIDE PANELS CAN BE USED AS LONG AS 1" MAXIMUM CLEARANCE IS ACHIEVED AS IN NOTE #1 ABOVE.

**SAFETY GRATING SPECIFICATIONS**

**McNICHOLS® FIBERGLASS GRATING**

**MOLDED**

MS-S-150 | 1-1/2" GRID HEIGHT | 1-1/2" x 1-1/2" SQUARE GRID

FIBERGLASS LOAD TABLE

CLEAR SPAN	LOAD TYPE	LBS./SF - DEFLECTION IN INCHES								SAFE LOAD FACTOR 5:1	DEFLECTION
		50	100	150	200	250	300	400	500		
12"	U	<0.010	<0.010	<0.010	<0.010	<0.010	0.011	0.014	0.018	3120	0.111
	C	<0.010	<0.010	<0.010	0.011	0.014	0.017	0.023	0.028	1560	0.089
18"	U	<0.010	0.014	0.021	0.028	0.036	0.043	0.057	0.071	1386	0.197
	C	<0.010	0.015	0.023	0.030	0.038	0.046	0.061	0.076	1040	0.158
24"	U	0.021	0.042	0.063	0.084	0.104	0.125	0.167	0.209	780	0.286
	C	0.017	0.033	0.050	0.067	0.084	0.100	0.134	0.167	780	0.261
30"	U	0.047	0.094	0.141	0.188	0.235	0.283	0.377	0.471	496	0.467
	C	0.030	0.060	0.090	0.121	0.151	0.181	0.241	0.301	620	0.374
36"	U	0.096	0.192	0.288	0.384	0.480	0.576	--	--	347	0.666
	C	0.051	0.102	0.154	0.205	0.256	0.307	0.410	0.512	520	0.533
42"	U	0.175	0.350	0.525	--	--	--	--	--	251	0.881
	C	0.080	0.160	0.240	0.320	0.400	0.480	0.641	0.801	440	0.705
48"	U	0.287	0.573	--	--	--	--	--	--	170	0.975
	C	0.115	0.229	0.344	0.459	0.573	0.688	--	--	340	0.780

U - Uniform Load - Lbs. per Square Foot  
 C - Concentrated Load - Lbs. per Square Foot of Width at Mid Span

Safe load values have a safety factor of 5:1.  
 Technical information provided is theoretical and for evaluation by technically skilled persons only, with any use thereof to be at their independent discretion and risk. McNICHOLS shall have no responsibility or liability for results obtained or damages resulting from improper evaluation or use of Fiberglass Grating.

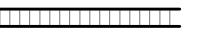
COASTAL COMMISSION PERMIT NO. \_\_\_\_\_

SOLANA BEACH FIRE DEPARTMENT	SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
By: _____ Fire Chief Date: _____	By: _____ District Engineer Date: _____	RF Drawn By: _____ By: WALTER F. CRAMPTON Date: 03-06-20 R.C.E.: 23792 Exp: 12-31-21			By: _____ Date: _____	By: _____ Date: _____ Mohammad Sammak, City Engineer R.C.E.: 37146 Exp: 06-30-20	DESCRIPTION: SDGPS-446 FD 2" BR. DISK IN TC PER ROS 14492 1488718 1980 TRAVERSE POINT LS 4300 COUNTY OF SAN DIEGO LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTHWEST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE ELEV.: 82.647 DATUM: M.S.L.	SEASCAPE SHORES CONDOMINIUMS BEACH ACCESS STAIRWAY MAINTENANCE		S-2

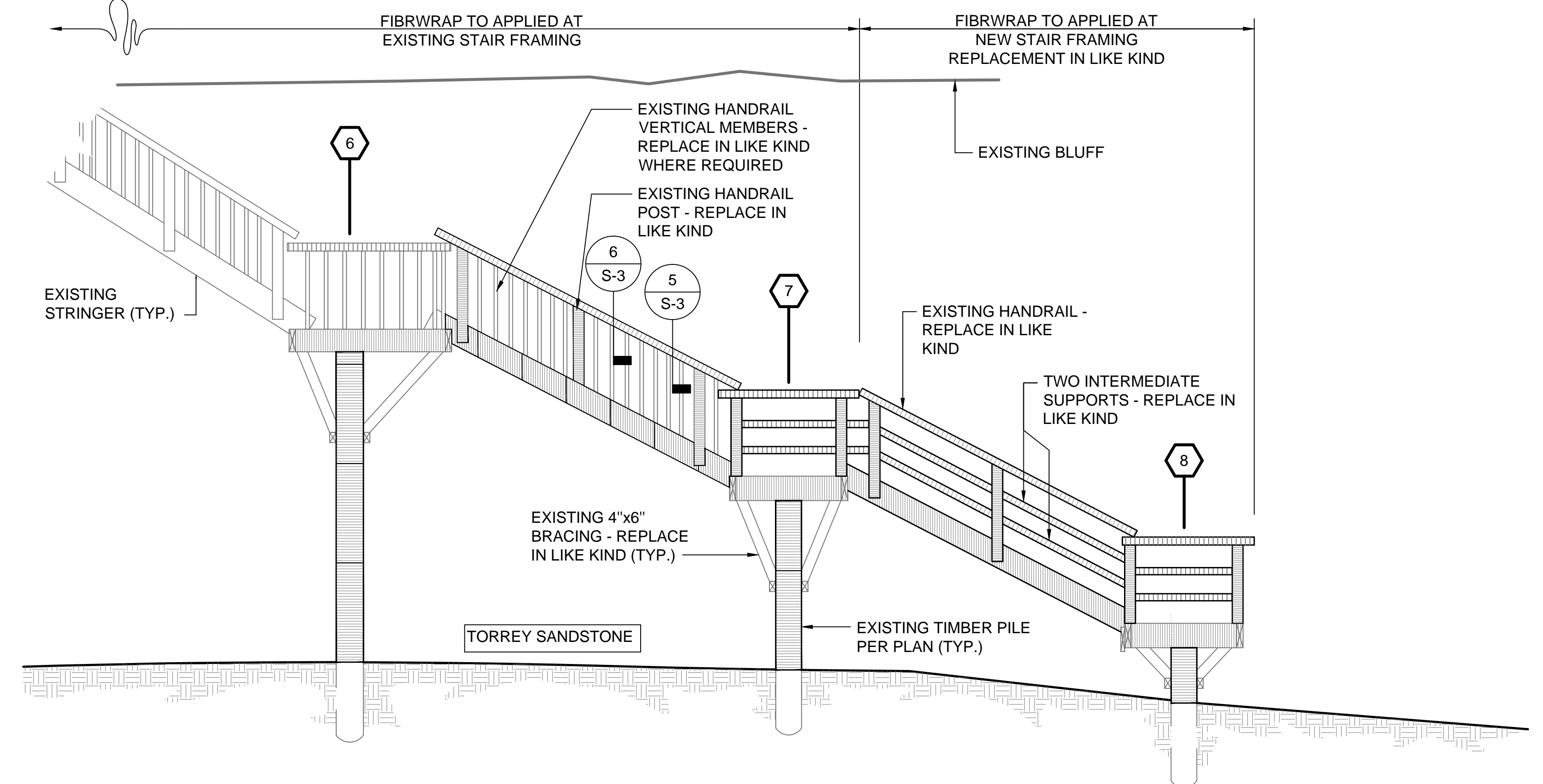
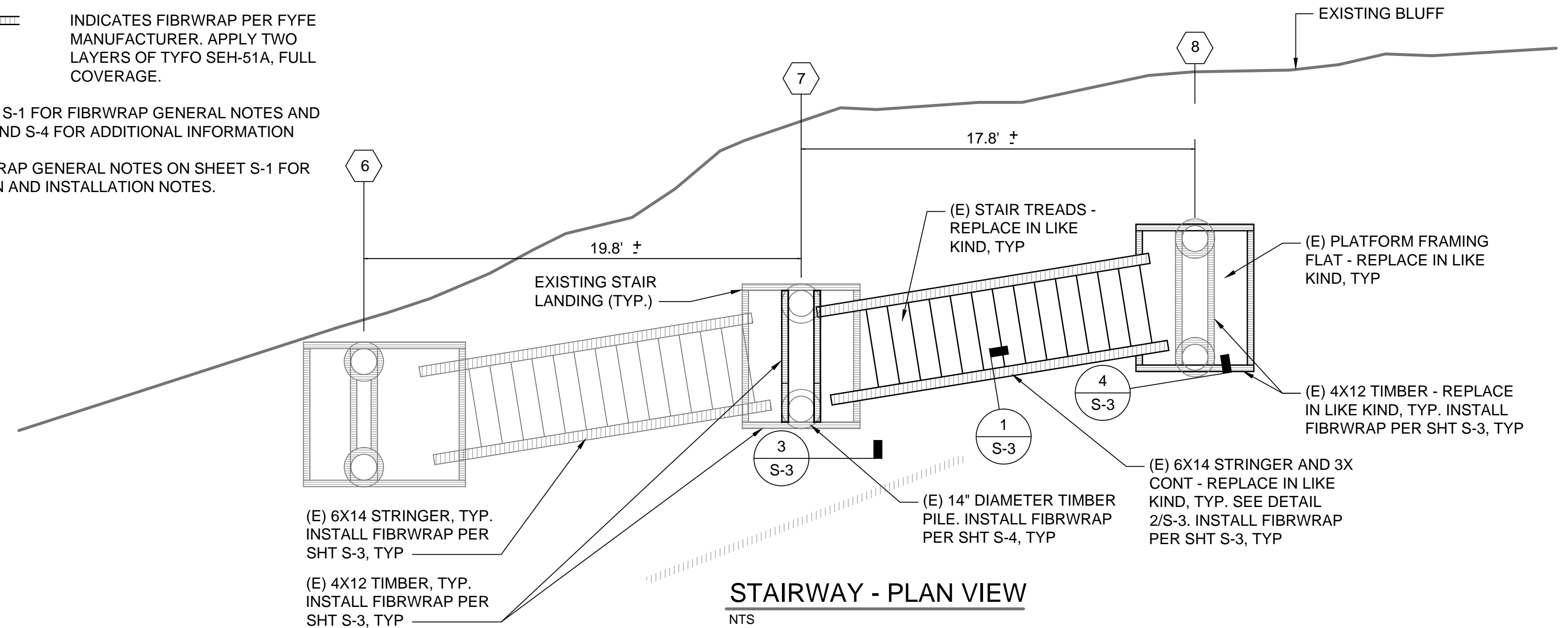
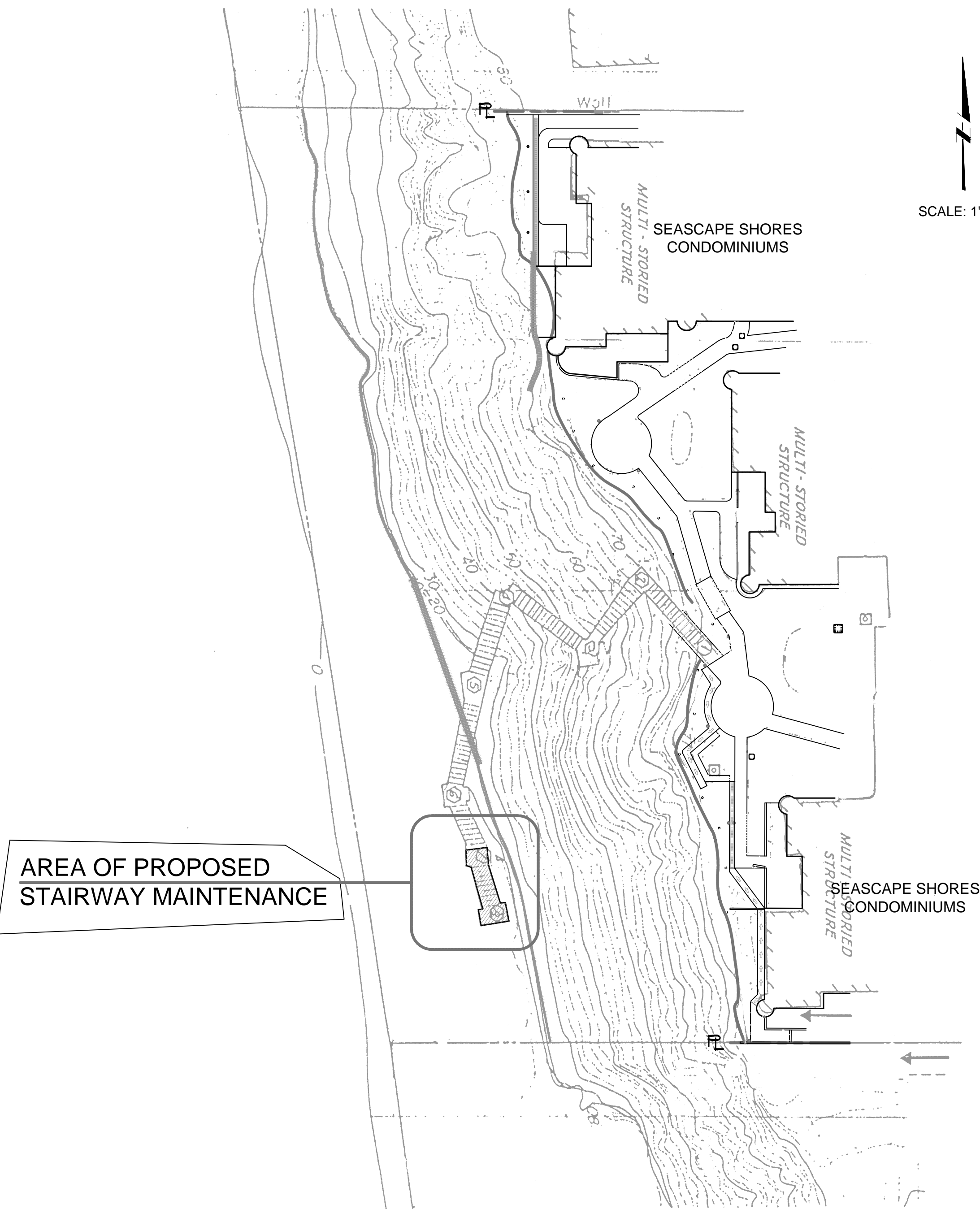
**TERRACOSTA CONSULTING GROUP**  
**ENGINEERS & GEOLOGISTS**  
 3890 MURPHY CANYON ROAD, SUITE 200  
 SAN DIEGO, CALIFORNIA 92123  
 (858) 573-6900



**FIBRWRAP LEGEND/NOTES:**

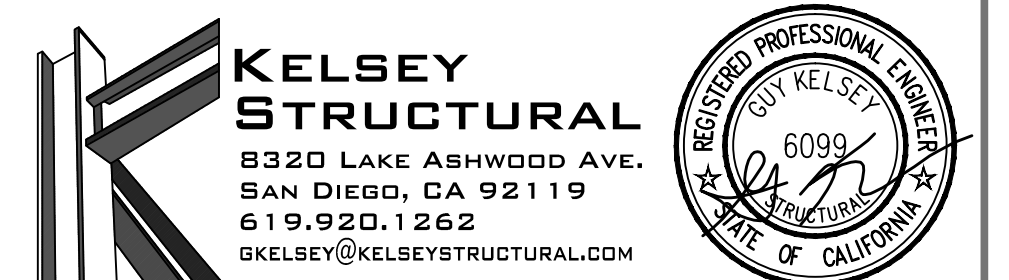
1.  INDICATES FIBRWRAP PER FYFE MANUFACTURER. APPLY TWO LAYERS OF TYFO SEH-51A, FULL COVERAGE.
2. SEE SHEET S-1 FOR FIBRWRAP GENERAL NOTES AND SHEETS S-3 AND S-4 FOR ADDITIONAL INFORMATION
3. SEE FIBRWRAP GENERAL NOTES ON SHEET S-1 FOR PREPARATION AND INSTALLATION NOTES.

SCALE: 1"=20'

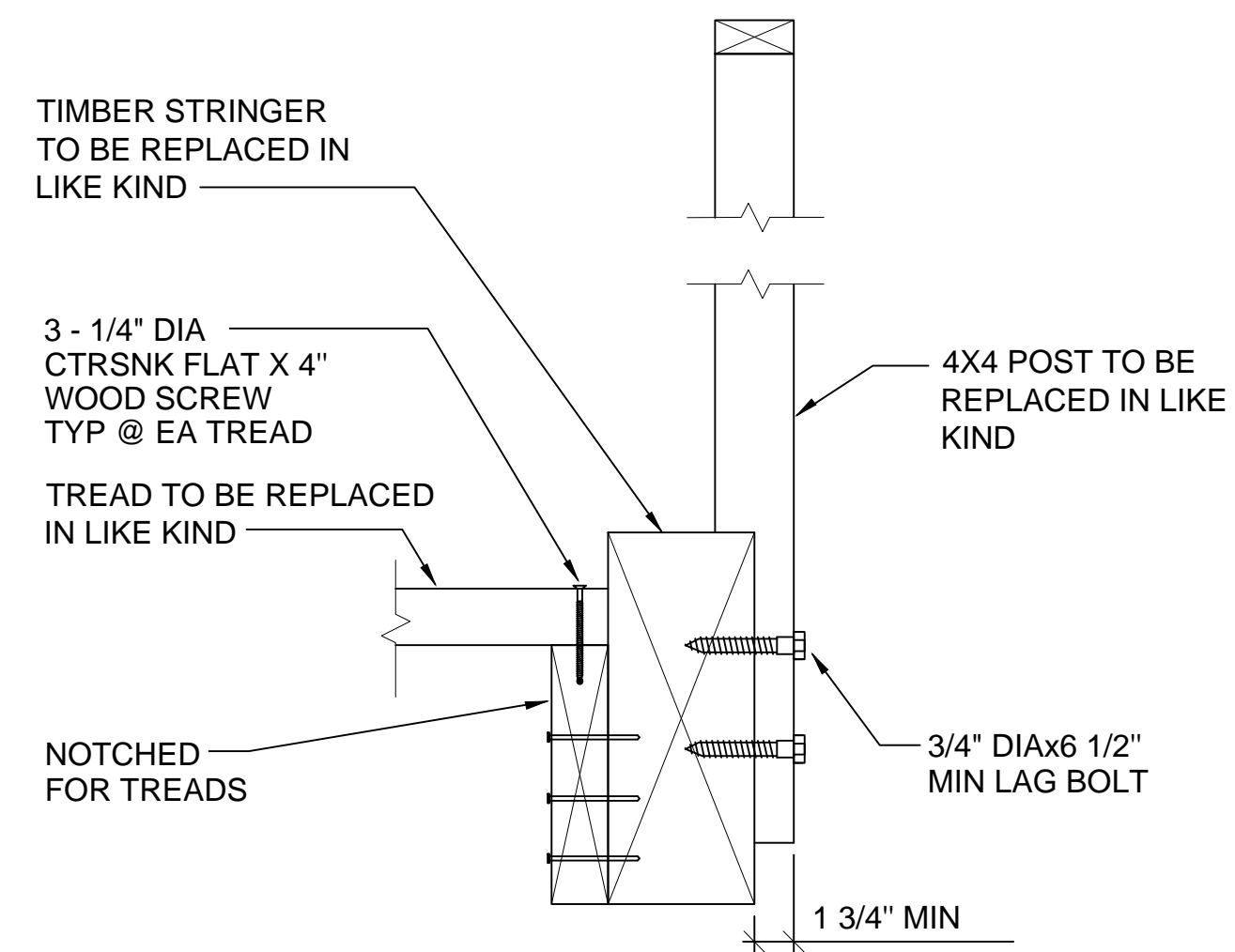


**GENERAL:**

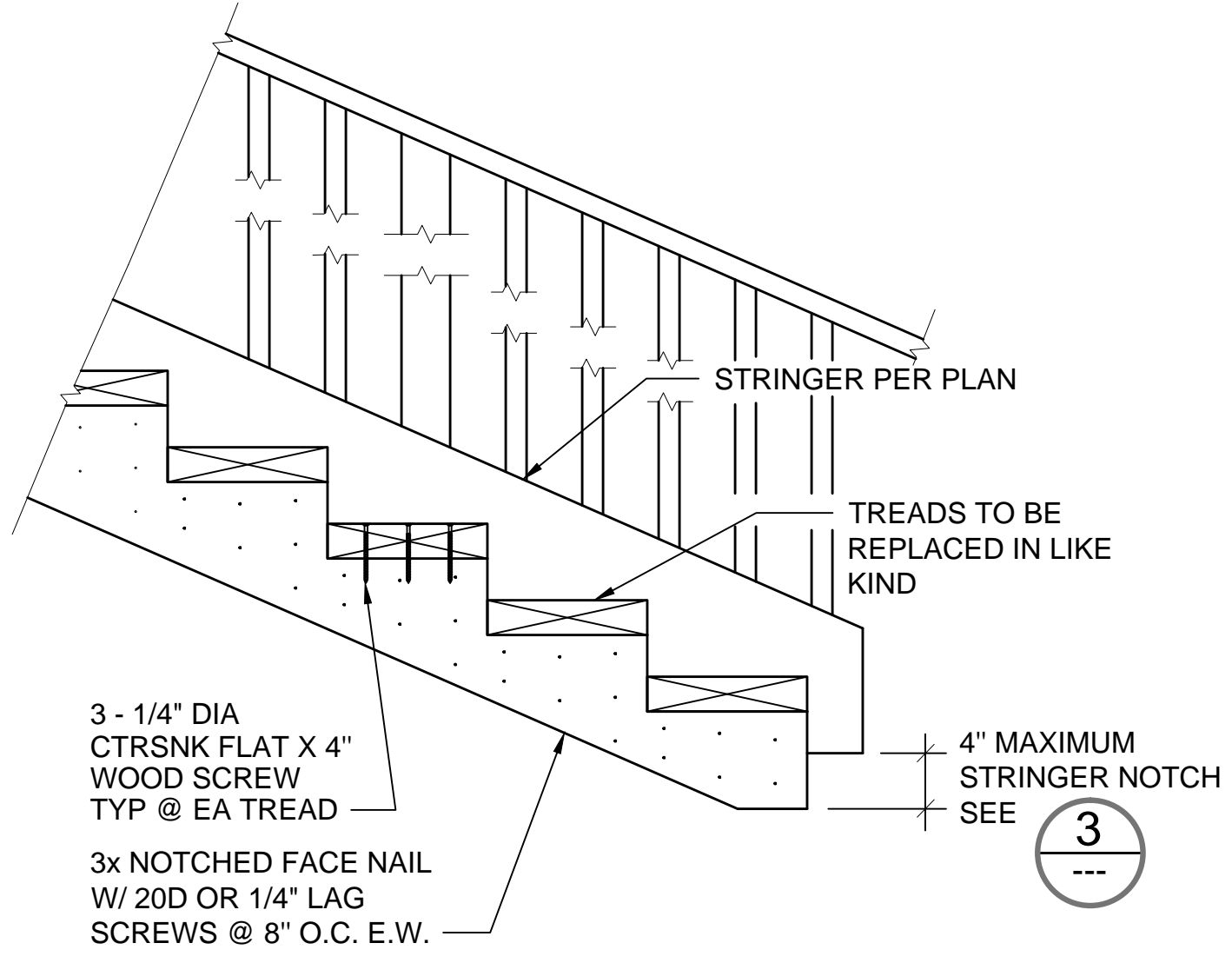
1. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND PRIOR TO PROCEEDING
2. PLANS AND DETAILS SHOWN IN THESE DRAWINGS OF THE EXISTING CONDITIONS ARE FROM FIELD INVESTIGATIONS (AS OF MARCH 2006) THE CONTRACTOR SHALL VERIFY AND MATCH THE EXISTING CONSTRUCTION. FOR ALL NEW WORK, UNLESS NOTE OTHERWISE
3. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS OTHER SIMILAR WORK



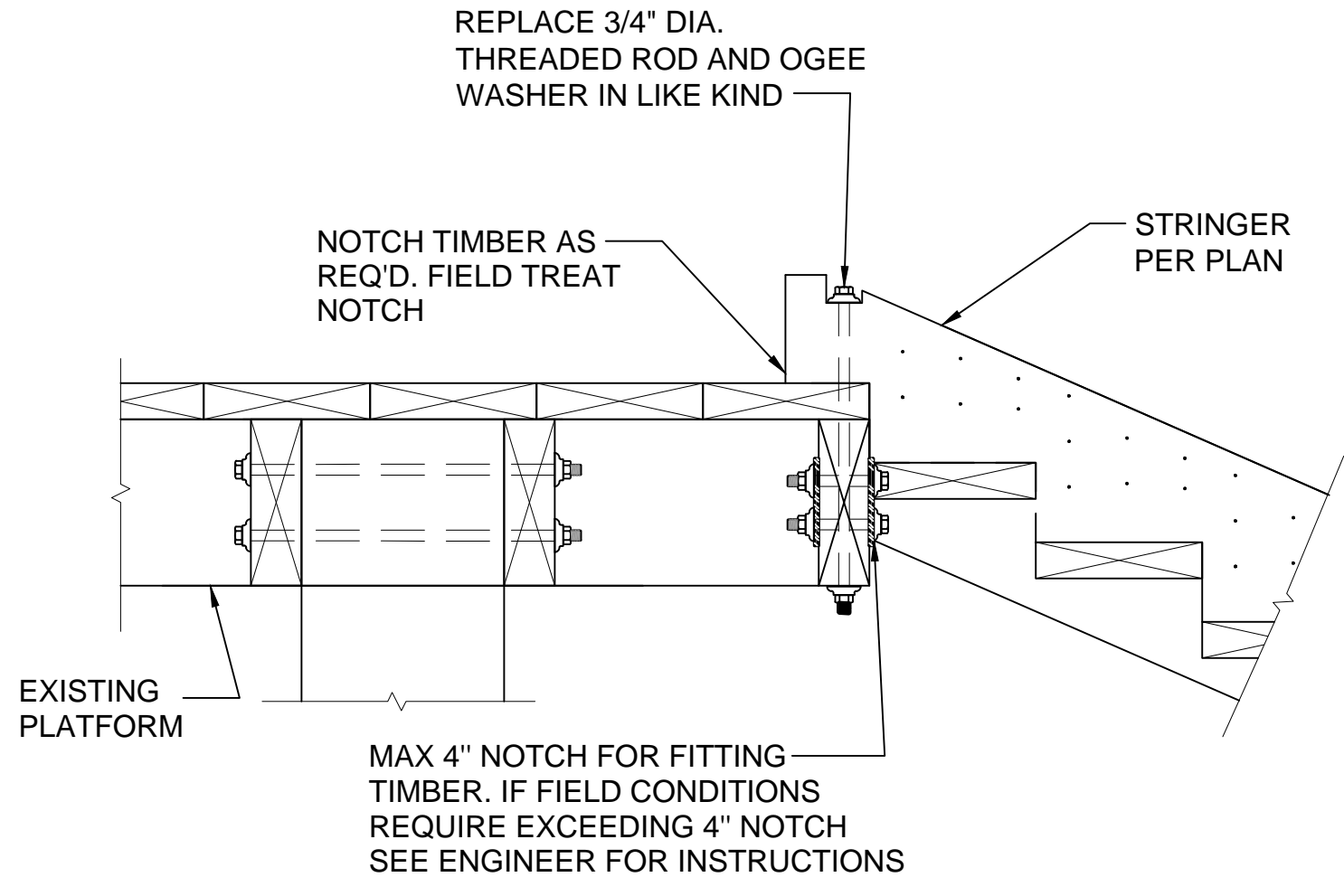
ENGINEER OF WORK		CITY APPROVED CHANGES	APP'D DATE	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
PC	By: GUY KELSEY Date: 2-11-20			LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTH-EAST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE DESCRIPTION: SDGPS-446 FD 2\"/> <td>SEASCAPE SHORES CONDOMINIUMS - BEACH ACCESS STAIRWAY MAINTENANCE</td> <td></td> <td><b>S-4</b></td>	SEASCAPE SHORES CONDOMINIUMS - BEACH ACCESS STAIRWAY MAINTENANCE		<b>S-4</b>
Drawn By	R.S.E.: 6099			COUNTY OF SAN DIEGO ELEV.: 62.647 DATUM: M.S.L.			SHEET 5 OF 7



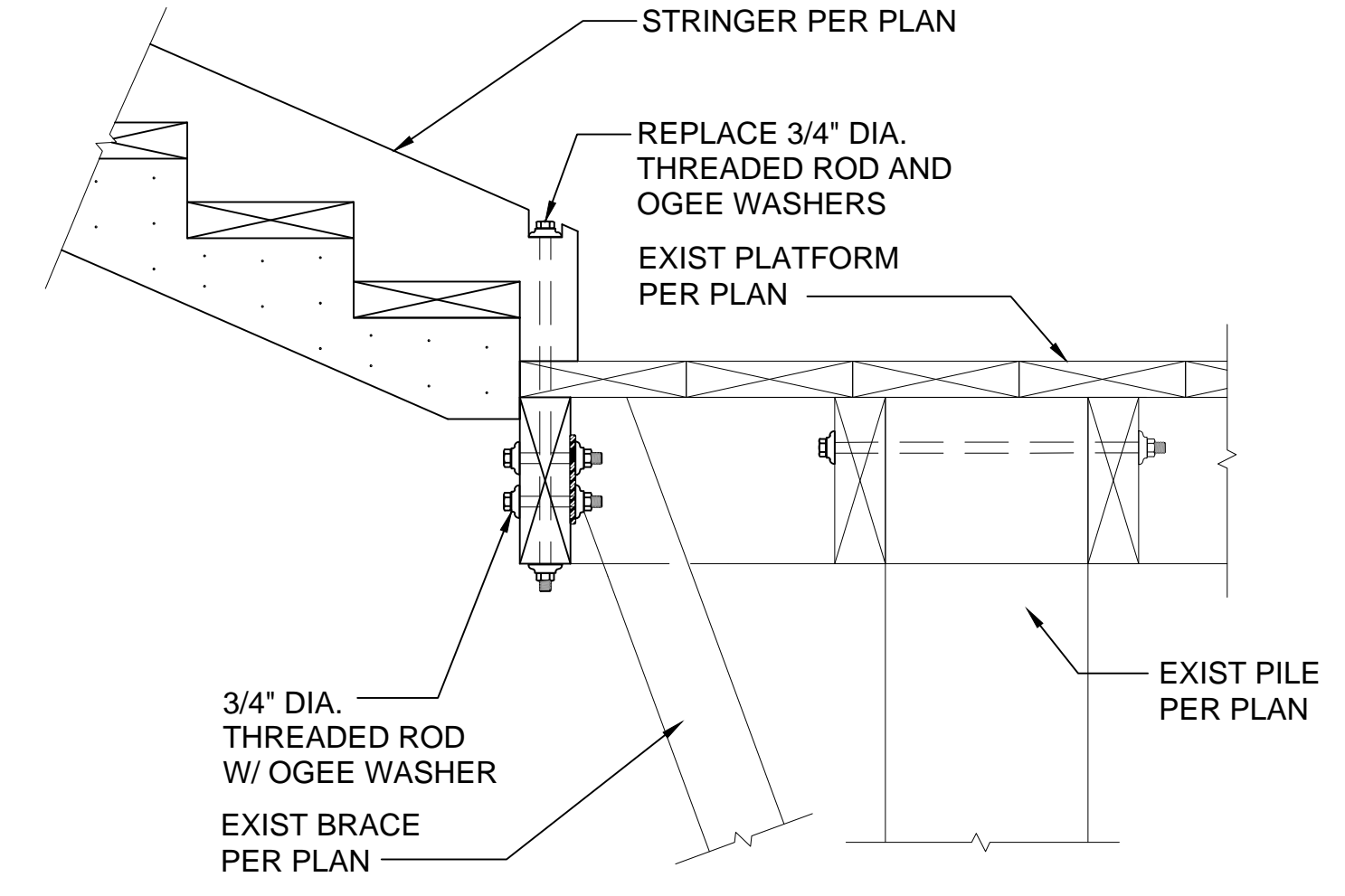
**1 RAILING POST CONNECTION**  
SCALE: NTS



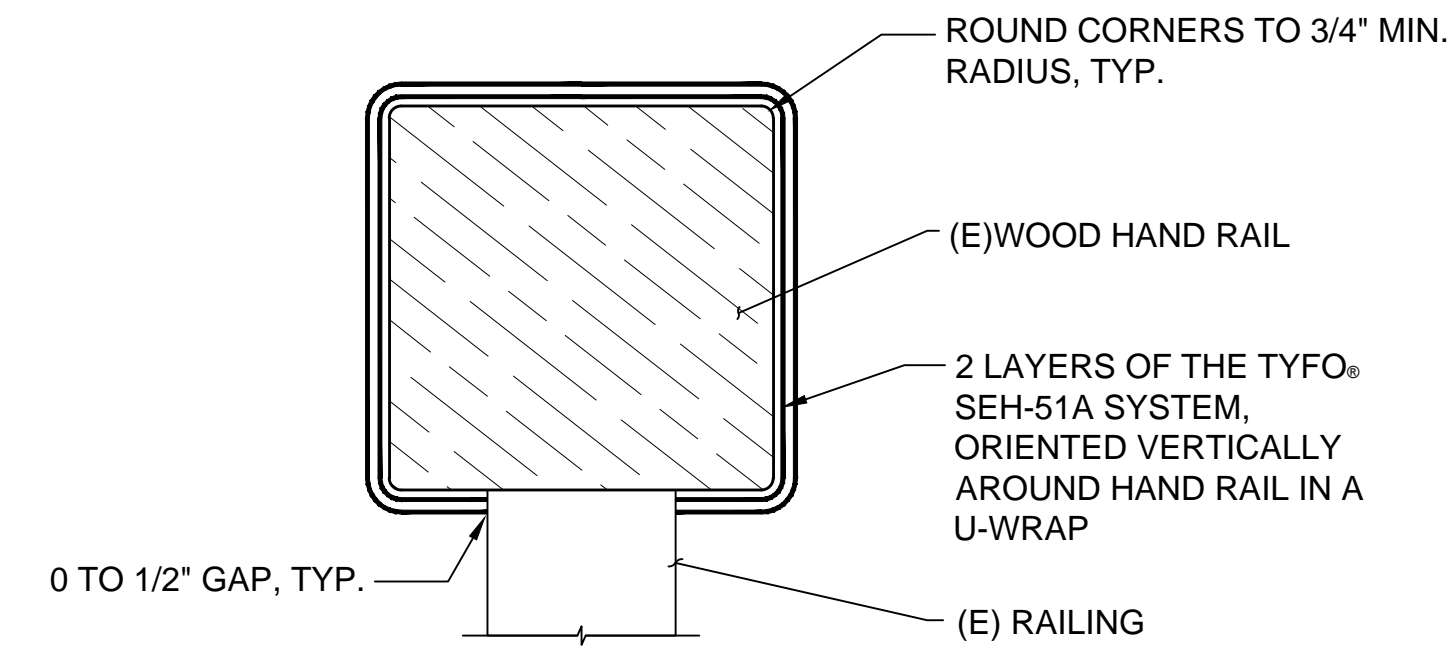
**2 STRINGER ELEVATION**  
SCALE: NTS



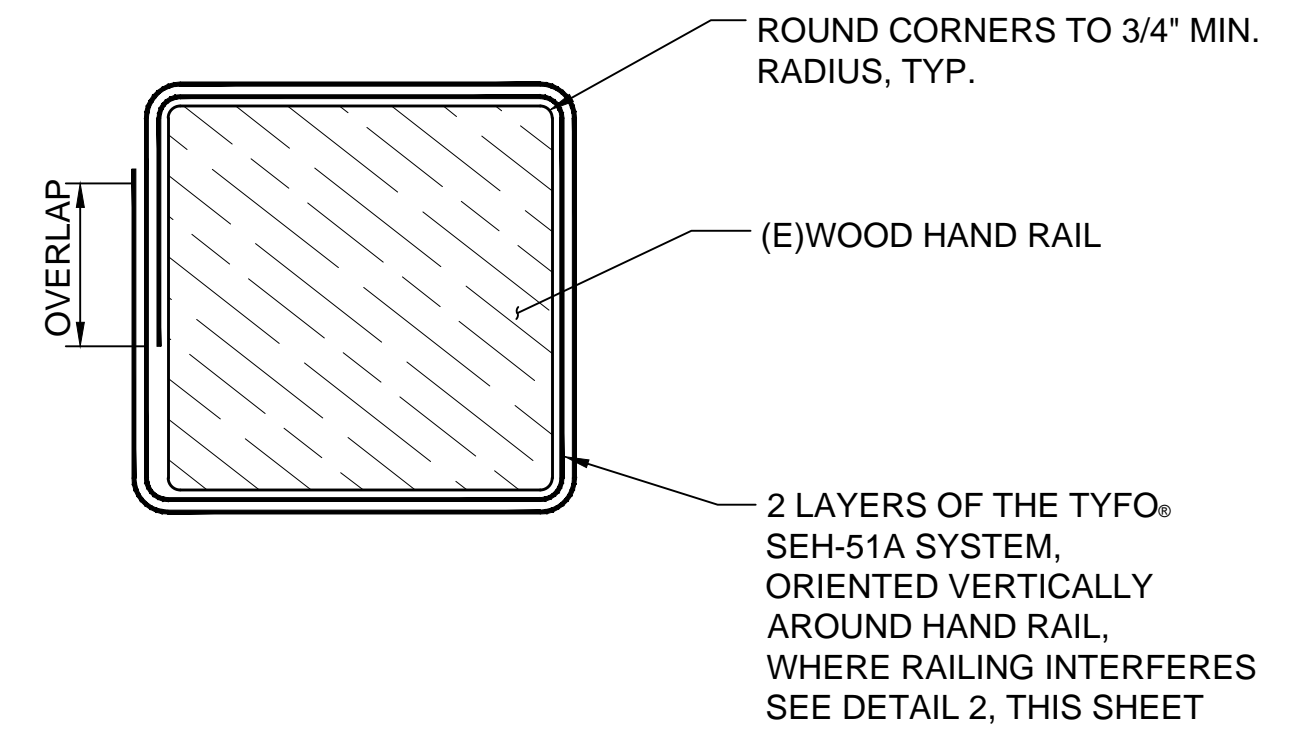
**3 TOP OF STRINGER TO PLATFORM CONNECTION**  
SCALE: NTS



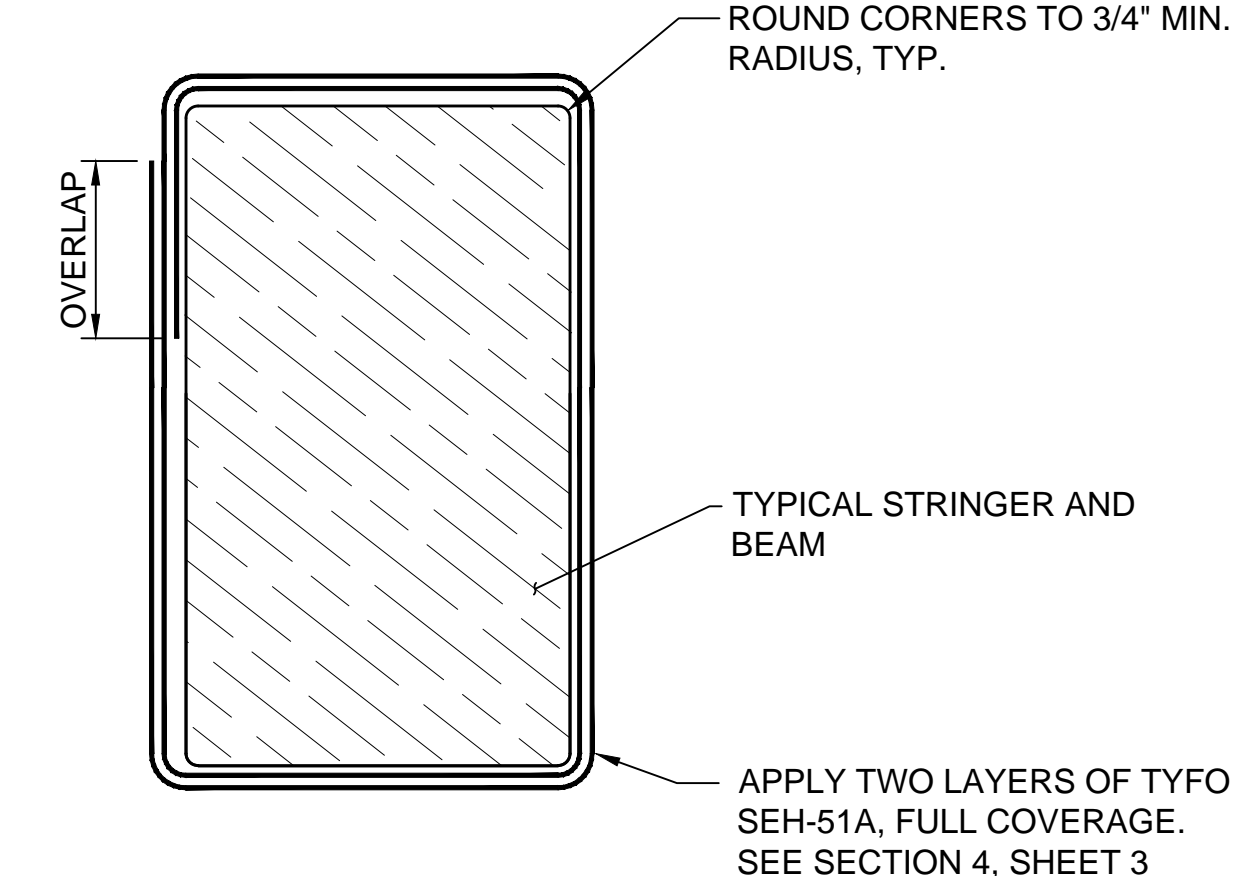
**4 BOTTOM OF STRINGER TO PLATFORM CONNECTION**  
SCALE: NTS



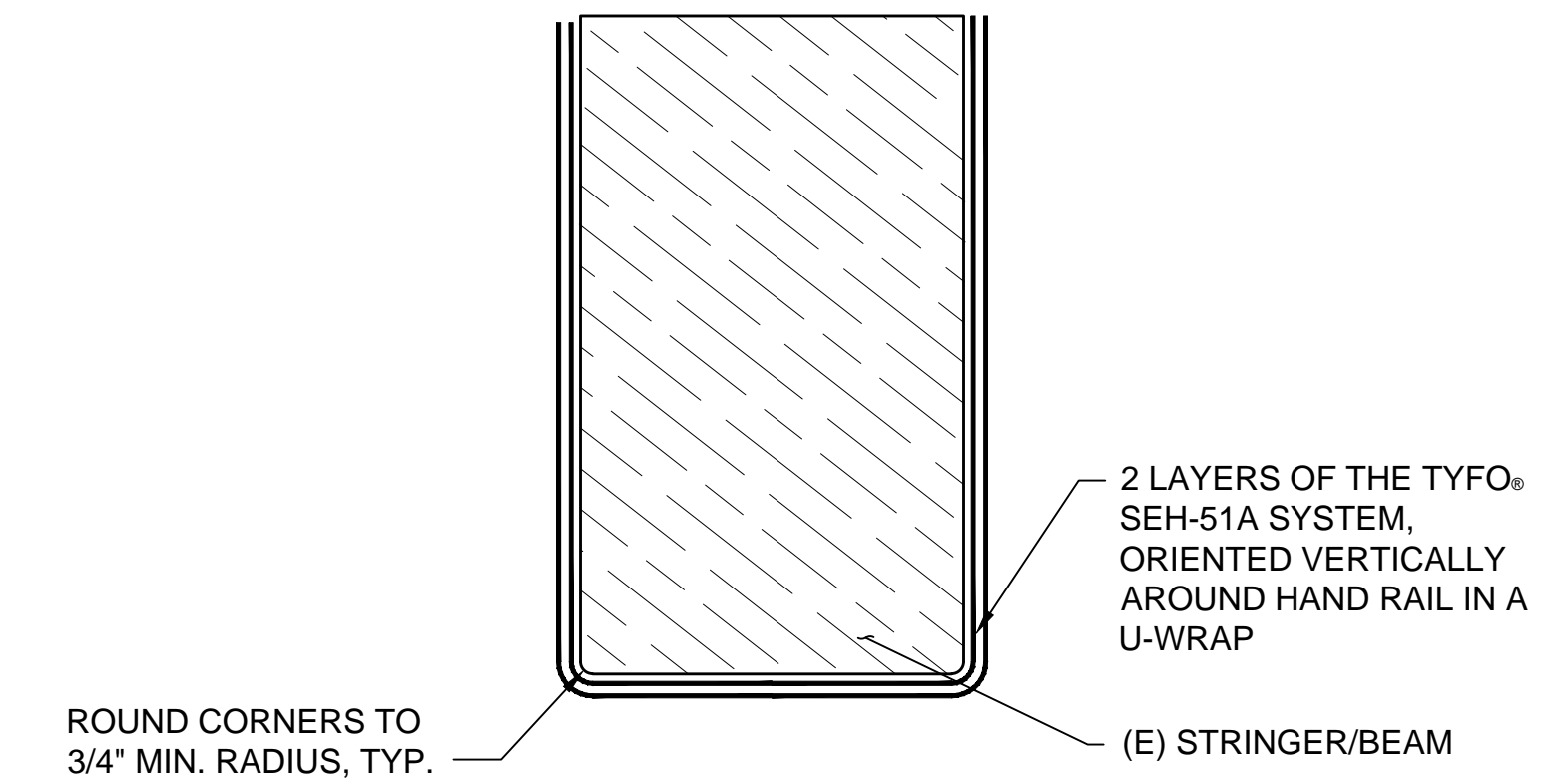
**5 TYPICAL HANDRAIL SECTION @ RAILING**  
SCALE: NTS



**6 TYPICAL HANDRAIL SECTION**  
SCALE: NTS



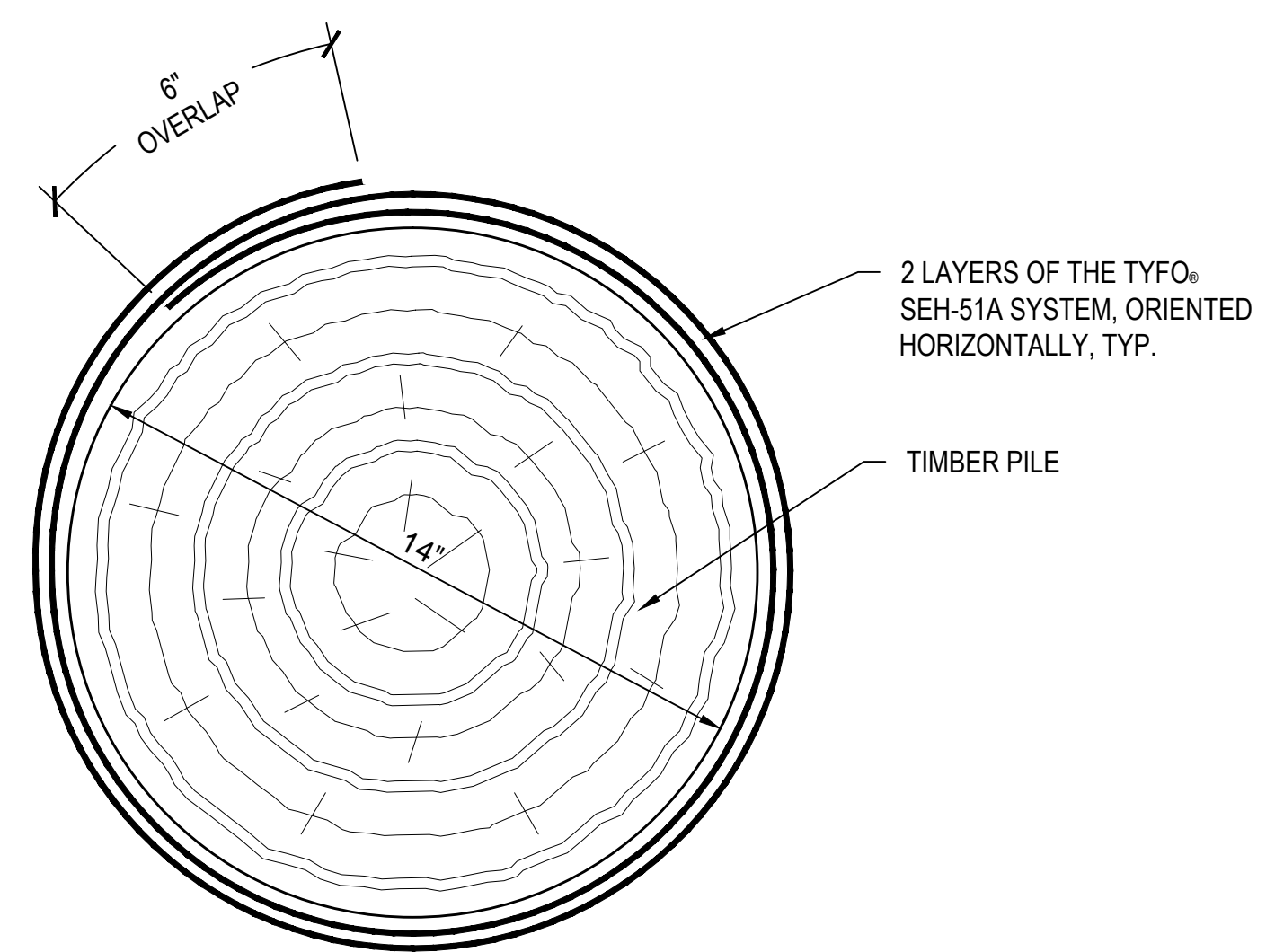
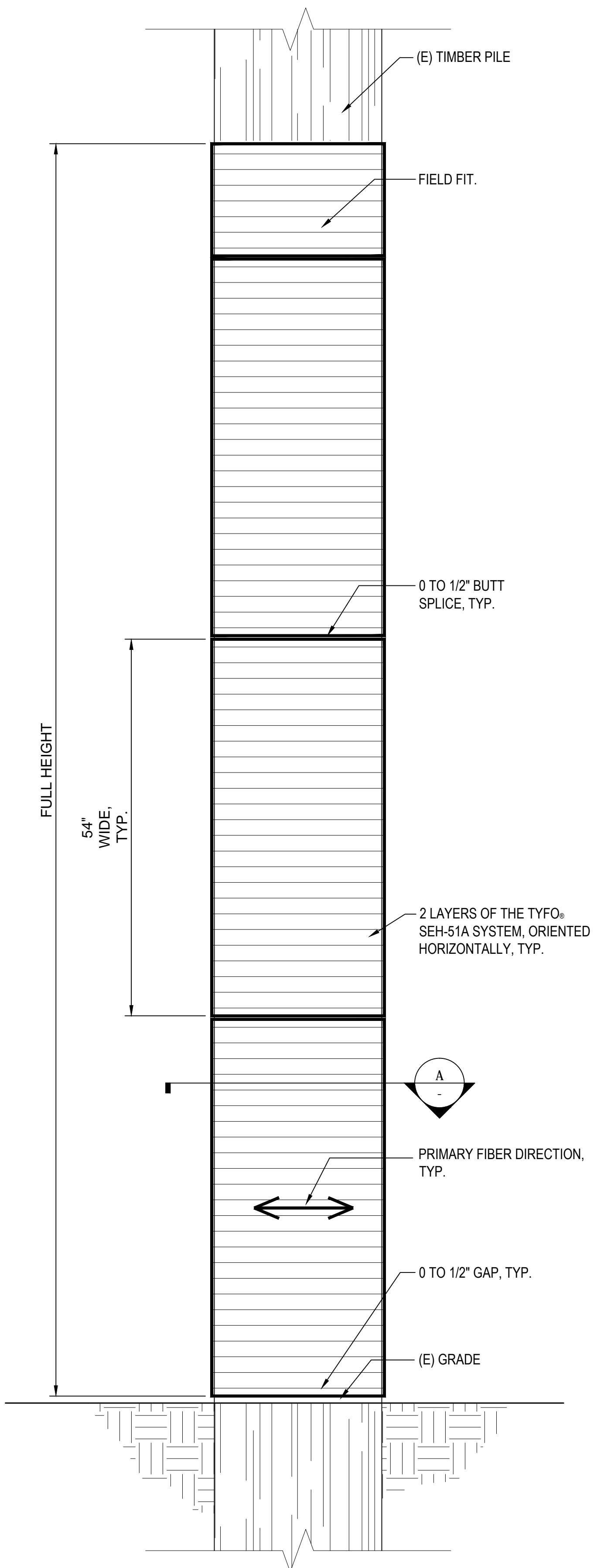
**7 TYPICAL STRINGER & BEAM SECTION**  
SCALE: NTS



**8 TYPICAL U-WRAP FOR STRINGER & BM @ OBSTRUCTIONS**  
SCALE: NTS

**KELSEY STRUCTURAL**  
8320 LAKE ASHWOOD AVE.  
SAN DIEGO, CA 92119  
619.920.1262  
GKELSEY@KELSEYSTRUCTURAL.COM

ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D DATE	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
PC	By: GUY KELSEY Date: 2-11-20							S-5
Drawn By	R.S.E.: 6099				LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTH-EAST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE DESCRIPTION: SDGPS-446 FD 2" BR. DISK IN TO PER ROS 14492 "L48BT18 1980 TRAVERSE POINT LS 4300 COUNTY OF SAN DIEGO" ELEV.: 62.647 DATUM: M.S.L.	SEASCAPE SHORES CONDOMINIUMS - BEACH ACCESS STAIRWAY MAINTENANCE		SHEET 6 OF 7



**A SECTION**  
SCALE: NTS

**FIBRWRAP GENERAL NOTES:**

1. FIBRWRAP SHALL BE MANUFACTURED PER FYFE
2. PREPARE ALL SURFACES TO RECEIVE COMPOSITE STRENGTHENING BY REMOVING DUST AND DEBRIS FROM SURFACES USING COMPRESSED AIR, BROOMS OR VACUUM.
3. CLEARLY MARK ALL LOCATIONS TO RECEIVE COMPOSITE.
4. APPLY ONE PRIME COAT OF TYFO® SW-1S EPOXY TO ALL AREAS TO RECEIVE COMPOSITE STRENGTHENING (EPOXY MAY BE THICKENED WITH CAB-O-SIL BASED ON THE SITE CONDITIONS AS DETERMINED BY THE ON-SITE FIBRWRAP® TECHNICIAN).
5. IMMEDIATELY APPLY THE PRE-CUT AND PRE-SATURATED TYFO® FIBRWRAP® SYSTEM TO THE REQUIRED LOCATIONS AS DETAILED.
6. FINISH ALL SEAMS AND EDGES WITH THICKENED TYFO® S EPOXY.
7. ALLOW APPROXIMATELY 12-HOURS (TIME MAY BE ADJUSTED BY THE ON-SITE FIBRWRAP® TECHNICIAN) OF CURE TIME PRIOR TO FINISH COATING.
8. FINISH WITH TYFO® SW-1S.

**1 ELEVATION**  
SCALE: NTS

**KELSEY STRUCTURAL**  
8320 LAKE ASHWOOD AVE.  
SAN DIEGO, CA 92119  
619.920.1262  
GKELSEY@KELSEYSTRUCTURAL.COM

ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D	DATE	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
PC By: GUY KELSEY Date: 2-11-20 Drawn By: R.S.E.: 6099				LOCATION: BRASSPLUG IN THE TOP OF CURB AT SOUTH-EAST CORNER OF VIA DE LA VALLE AND SOLANA CIRCLE DESCRIPTION: SDGPS-446 FD 2" BR. DISK IN TO PER ROS 14492 "L48BT18 1980 TRAVERSE POINT LS 4300 COUNTY OF SAN DIEGO" ELEV.: 62.647 DATUM: M.S.L.	SEASCAPE SHORES CONDOMINIUMS - BEACH ACCESS STAIRWAY MAINTENANCE		<b>S-6</b> SHEET 7 OF 7

MAY 11 2020



# CITY OF SOLANA BEACH

Planning-Comm: Dev Dept

635 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-1782

## PROJECT EXTENSION APPLICATION

(Extension applying for: Conditional Use , Variance , Minor Exception ,  
Development Review Permit , Director's Use Permit , Structure Development Permit )  
(√ one or more that apply)

### A. APPLICANT INFORMATION:

1. Project Address: 325 S. Sierra Avenue
2. Applicant's Name: Seascape Shores Homeowners Association (Vince Amela, President)  
(Last, First & Middle Initial or Company Name)
3. Applicant's Address: 325 S. Sierra Ave. #4, Solana Beach, CA 92075  
(Street, City, State & ZIP Code)
4. Applicant's Telephone: 858-345-1882 Fax: \_\_\_\_\_
5. Applicant's Email Address: vince.amela@cox.net Cell Phone: \_\_\_\_\_

### B. PLEASE COMPLETE THE FOLLOWING:

1. Provide a detailed factual description and explanation of the reasons why a building permit was not issued prior to the expiration of the original approval or preceding extension and the specific reason(s) the extension is necessary; the applicant's request for a specific time period for the extension.

As the Engineer for Seascape Shores, TerraCosta Consulting Group has judiciously pursued obtaining a Coastal Development Permit (CDP) from the California Coastal Commission (CCC) for the Beach Access Stairway project, which was approved at the May 23, 2018, Solana Beach City Council Hearing, per Resolution 2018\_048. The project was then submitted to the CCC on July 30, 2018. The project approved by the City in late May 2018 was for improvements to the lower stairway to the beach, consisting of 48-inch-diameter concrete caissons with fluted tops to minimize any future potential for storm-related damage to this relatively old stairway. Although approved by the City, the CCC denied the project, stating that they could not accept the betterment of a private beach access stairway. They did, however, indicate that they would support reconstruction in like kind with a fiberglass wrap similar to that done at Seascape Condos (675 South Sierra Ave) approved by the Solana Beach City Council on December 6, 2013 (City Resolution No. 98-101). It took some time to get the same fiberglass company to provide a design for Seascape Shores, and that design is now completed and we resubmitted our application to the CCC on April 2, 2020. Given the CCC's schedule, it is unlikely that the project will be under construction within the two-year time frame noted in the Resolution 2018\_048. Accordingly, we are requesting an extension of the application, per SMBC 17.72.110, as noted under Item 6 of the attached Resolution. A copy of our resubmittal package to the CCC can be downloaded from

<https://drive.google.com/file/d/1J35R6njsd4hw37TcYDe22iRww268t27t/view?usp=sharing>

The Applicant has diligently pursued this permit, and after initial CCC denial, have had meetings with both City and CCC Staff in an attempt to reach a resolution, ultimately now going forward with the reconstruction in like kind with a fiberglass wrap, as described above.

<b>ATTACHMENT 4</b>
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2. A detailed description of the actions that will be taken during the specific requested extension period that justify the requested time period of the extension and that will result in the timely issuance of a building permit for the project before the extension expires.

As indicated in response to Question 1, we are still working with CCC Staff but believe that we have now complied with their requirements and are optimistic that we will receive CCC approval within the new few months. Assuming the CDP is issued by the CCC in the next few months, we anticipate no more than two months to obtain the final ministerial City Engineering and Public Safety Permits, then enabling construction of the project.

3. A detailed timeline for the actions that will be taken during the requested extension period.

May-July 2020 - CCC Staff review and approval of current CDP application

July 2020 - CCC Hearing approving project

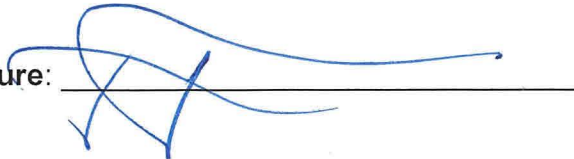
August-September 2020 - CCC Staff review and approval of required prior to issuance items outlined in the CCC's NOI

September-October 2020 - Obtain necessary final permits from City of Solana Beach

November-December 2020 - Start construction

(Please attach any additional relevant information supporting the extension)

**Applicant Signature:**

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke, is written over a solid black horizontal line.

**Date:** April 29, 2020



GEOPACIFICA, INC.  
2255 Fire Mountain Drive  
Oceanside, California, 92054  
(760)721-5488

July 24, 2020

Ms. Corey Andrews  
City of Solana Beach  
635 South Highway 101  
Solana Beach, California 92075-2215

Subject: Geotechnical Review of Proposed Project  
Beach Access Stairway  
Seascape Shores Condominiums  
325 South Sierra Avenue  
Solana Beach, California  
Project No. 2099A  
Development Review Permit No. 17-17-39 Extension

References:

1. Limited Geotechnical Investigation, Beach Access Stairway, Seascape Shores Condominiums, 325 South Sierra Avenue, Solana Beach, California, by TerraCosta Consulting Group, Inc., dated March 30, 2018
2. Addendum to Limited Geotechnical Investigation, Beach Access Stairway, Seascape Shores Condominiums, 325 South Sierra Avenue, Solana Beach, California, by TerraCosta Consulting Group, dated May 13, 2020
3. Seascape Shores Condominiums, Beach Access Stairway Maintenance Plans (Sheets 1-7), by TerraCosta Consulting Group, dated March 6, 2020.

Dear Ms. Andrews:

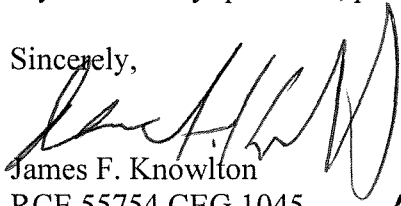
In accordance with your request I have reviewed the referenced documents and Stairway Maintenance Plans for conformance to the requirements of the City of Solana Beach Municipal Code and generally accepted standards of care for the preparation of geotechnical reports in the State of California, County of San Diego and the City of Solana Beach. I have also visited the subject site once. I have previously reviewed and approved a similar project in May of 2018.

Based upon my review, from a geotechnical viewpoint, it appears that the geotechnical report has addressed the requirements of the City of Solana Beach Municipal Code. The geotechnical reports (References 1 & 2), along with the proposed maintenance plan are approved. This work is considered exempt work by the Coastal Commission and is in accordance with the City's LCP/LUP.

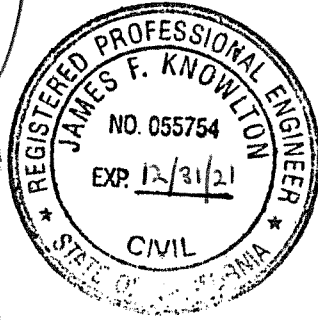
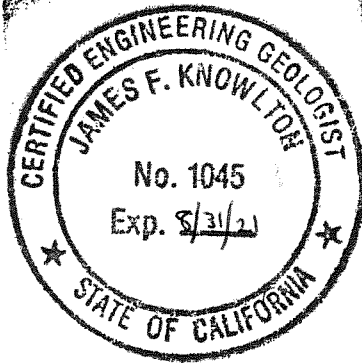
**ATTACHMENT 5**

If you have any questions, please do not hesitate to call.

Sincerely,



James F. Knowlton  
RCE 55754 CEG 1045





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager  
**SUBJECT:** **Small Business Grant Program Update**

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## **BACKGROUND:**

On May 19, 2020, the San Diego County Board of Supervisors voted to allocate a total of \$25 million of its Coronavirus Aid, Relief, and Economic Security (CARES) Act Coronavirus Relief Funds (CRF) to the 17 cities in the County that did not receive a direct allocation from the federal government. This funding allocation is made available provided that local cities who elect to receive this funding use it for expenditures that comply with the CARES Act CRF criteria. Among other requirements, this necessitates the expenditures be necessary due to the public health emergency presented by COVID-19. The County directed \$238,506 to the City of Solana Beach (City) for this purpose.

On June 10, 2020, the City Council directed Staff to allocate \$200,000 of the County's allocation toward a Small Business Financial Assistance Grant program to aid Solana Beach small businesses affected by the COVID-19 pandemic. Staff developed draft guidelines and an application for such a program for Council consideration at the July 1, 2020 Special Council meeting. Based on Council direction at that meeting, Staff opened up the application process to small businesses in Solana Beach on July 6, 2020.

This item is before the City Council to provide an update of the application process and a summary of the grant award recipients.

## **DISCUSSION:**

At the July 1, 2020 Special Council meeting, Council directed Staff to distribute \$200,000 of CARES Act CRF funds to small businesses in Solana Beach affected by the COVID-19 pandemic. Council gave direction that "brick-and-mortar" businesses with storefronts in Solana Beach should get priority. Professional services offices such as law, real estate or medical offices and businesses for which working from home was an option were not to be prioritized to receive grants at this time.

CITY COUNCIL ACTION:

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**AGENDA ITEM C.1.**

With \$200,000 available, grants of up to \$4,000 per business could be awarded if only 50 Solana Beach businesses applied for the grant. If more qualified applicants applied, then Council directed that grant awards be reduced to a minimum of \$2,000 in order to distribute more grants to a greater number of businesses. The City received a total of 105 applications, which were evaluated by the Council-designated Subcommittee and Staff. The Council Subcommittee was comprised of Mayor Edson and Councilmember Zito, as they are the Council Members who sit on the City's Business Liaison Committee.

Of the 105 applicants, one was eliminated because it did not hold a valid Business Certificate in the City. Twenty of the applicants were deemed to have a lower priority based on the priorities and criteria previously identified by Council for a variety of reasons. For example, of the twenty applicants not prioritized to receive grant funding at this time, one was a professional services law firm where telecommuting would be an option. Another was a preschool and schools were not called out as a funding priority. Some were part of a larger chain store, which was also identified as a lower priority by Council. Some were professional services firms, like real estate professional businesses, that Council also assigned a lower priority. Subsequent to applying for the grant, one business ceased operating in Solana Beach. A list of applicants who were not prioritized to receive grant funding at this time is included as Attachment 2.

Of the 84 businesses remaining on the list, the following is a breakdown of the business sectors or categories in which they fall:

- 38 in the Salon / Esthetician / Other Personal Services category
- 17 in the Restaurant / Bar / Winery category
- 14 in the Retail category
- 10 in the Gym / Dance / Exercise category
- 1 is a co-working office
- 1 is a theater
- 3 fall into a Services category (shoe repair, music lessons, photography and video services)

The businesses in the salon and gym categories were especially economically impacted since they were asked to shut down twice throughout the course of the pandemic. These businesses comprise a majority of the grant award recipients. A list of the proposed grant recipients is included as Attachment 1.

In order for the remaining 84 businesses to receive a grant, the award amount was reduced to \$2,390.24 for most of the businesses. However, there were two businesses that requested \$2,000 exactly and they were awarded the requested amount. Should the Council authorize the disbursement, the Finance Department would issue the grant award checks as soon thereafter as possible as the CRF money must be disbursed along with a final report to the County by the end of September 2020.

The City is holding all applications on file with the City if Council decides to allocate additional funds toward the program in the future.

**Additional Application Discussion**

Most applications were submitted online using Google forms which allowed for all the data to automatically compile into a master spreadsheet for easier review and analysis. Eight businesses had trouble with the online submittal feature and chose to print all or portions of the application to fill out manually and send back via email. Staff then manually inputted the data into the master spreadsheet. During this process, seven applications were inputted manually, but one was missed and not added to the master spreadsheet for the Council subcommittee to review. The business is a salon that meets all the same criteria as the other salons who were awarded a grant.

Staff is seeking direction from Council regarding this application and whether it should be included with those applications approved for funding. If so, Council can either include this award in the original \$200,000 allocation, which would decrease all other approved applications from \$2,390.24 to \$2,361.44 or increase the \$200,000 allocation to \$202,390.24.

**CEQA COMPLIANCE STATEMENT:**

The discussion and/or expenditure of CARES Act CRF Funds is not a project as defined by the California Environmental Quality Act (CEQA).

**FISCAL IMPACT:**

The City received \$238,506 from the County for this purpose. Any funds remaining after disbursement to the business applicants will be available for City expenditures related to qualifying CARES Act expenditures. The City will disburse either \$200,000 or \$202,390.24 of CARES Act CRF funds as directed by Council.

**WORK PLAN:**

N/A

**OPTIONS:**

- Receive report on the grant recipients.
- Provide further direction, if necessary.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report on the grant recipients and provide additional direction to Staff on the Small Business Financial Assistance Grant Program, as necessary.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Small Business Grant Award Recipients
2. Small Business Applicants Not Awarded Grants

## Solana Beach Small Businesses Grant Recipients FY21

### **Salon / Esthetician / Other Personal Services**

About You Day Spa  
All About Me Beauty  
Big Fish Tattoo  
Choukri Salon  
Deco Hair Studio  
Designer Nails  
Doris Dean Skin Boutique  
Do's & Lipstick  
Dr. Fred Seyfried/Vitality Massage and Wellness  
Essentia by Maria Marcos  
Estetica Romantos  
Fabric Hair  
Float North County  
Grotto Spa  
Hair by Kayla Stone  
Healthy Life Natural Wellness  
Honey Comb Salon  
Jule Salon  
Kika Skin Care  
Majestic Nails  
Massage by Susan Holmes  
MB Massage and Bodywork  
Permanent Makeup by Ann  
Radici Hair Studio  
Salon by the Cove  
Salon Mirror Mirror  
Sarah's Healing Massage  
Siam Royal Thai Massage  
Simply Natural Skincare  
Solana Beach Barbershop  
Solana Spa  
Spa Pelle  
Steven Beasley Fitness & Wellness DBA  
Body Design  
StretchLab Solana Beach  
Suite B Salon  
Svava Kristinsdottir @ Deco Hairstudio  
Top Nails & Spa  
Whiteraven

### **Retail**

Double Take  
Junebug  
Kites by Carla Manuel  
Mail Mania

Music Mart  
Nativa Interiors  
Native Poppy  
Pink Lagoon, Inc  
St. James Thrift Store  
Solana Beach Art & Frame  
Strut Hair Solutions  
Town and Country Mens Wear  
Tucci Boutique, Inc.  
Wax and Whimsy

### **Restaurant / Bar / Winery**

Bangkok Bay Thai Restaurant  
Barefoot Coffee Roasters  
Bottlecraft Solana Beach  
Crust Pizzeria  
Culture Brewing Co  
Homestead Solana Beach  
Local Greens  
Lofty Coffee Co  
Naked Cafe  
Pill Box Tavern  
Ranch 45  
Saddle Bar  
Solana Beach Coffee Co  
Solana Beach Fish House  
Subway  
Tidewater Tavern  
Yogurt 101

### **Gym / Dance / Exercise**

Fusion Dance Solana Beach  
Hyun Kang Taekwondo  
NoCo Bar Inc.  
North County Aikikai  
Physical Process, Inc. (Pilates Movement)  
Pilates Andrea Inc.  
Row House Solana Beach  
SCEND Fitness  
Stratum Fitness LLC  
Studio 540, Inc.

### **Other Categories**

Anthony's Shoe Repair  
BLOC Coworking  
North Coast Repertory Theatre  
The Rockademy  
Total Photo

## **Small Business Applicants Not Awarded Grants**

1. Annona Company
2. Aran Cucine
3. Brian Hall Properties
4. Cassidy Interiors
5. Dr. Michael Foyle Optometrist
6. Dr. Sandler A Professional Dental Corporation DBA Solana Family Dental
7. Grounded - Landscape Architecture
8. International Bath and Tile of San Diego, Inc.
9. Kingstruction
10. Law Office of J E Driscoll
11. Mitchell's Floor Coverings
12. Pacific Coastal Properties
13. Paul and Eva Dickstein Tutoring
14. Premiere Cleaners
15. Robert A. Rosenfeld DDS APDC
16. Sarah Belderes DDS
17. Seaside Holistic Billing Services
18. Solana Beach Community Pre School
19. Thai Food Handler Training
20. Theo
21. Vacation Rentals by Kimberly, LLC





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager  
**SUBJECT:** **Council Consideration of Resolution 2020-124 Declaring a Climate Emergency and the Need for Accelerated Action to Address the Climate Crisis**

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## **BACKGROUND:**

Declaring a climate emergency is an action taken by governments or institutions to acknowledge humanity is in a climate emergency. The first such declaration was made in December 2016 in Australia. Since then, over 1,400 local governments in 28 countries have made climate emergency declarations.

In declaring a climate emergency, the City acknowledges that global warming exists and that the measures taken globally up to this point are not enough to limit the changes created by it. The decision stresses the need to develop and implement measures that try to stop human-caused global warming. At their meeting on March 11, 2020, the Climate Action Commission (CAC), voted in favor of a motion recommending that Council consider declaring a climate emergency. Due in part to the City's focus on issues related to the COVID-19 pandemic, the measure was not brought before Council by the time the CAC met again on June 17, 2020. At this meeting, the CAC brought forth a draft Resolution and passed a motion to present this version of the Resolution to the City Manager for consideration of placing it on a future Council meeting agenda. The draft Resolution was reviewed by Staff to ensure consistency with previously adopted policies such as those contained in the City's adopted Climate Action Plan (CAP). The CAC draft Resolution was revised to align with current adopted City policy and this version is now before the City Council for consideration.

This item is before Council to consider adopting Resolution 2020-124 (Attachment 1) declaring a climate emergency and the need for accelerated action to address the climate crisis.

COUNCIL ACTION:

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**AGENDA ITEM C.2.**

## **DISCUSSION**

The City has long been a leader on environmental issues. On March 14, 2007, the City became an early signatory to the US Mayor's Agreement on Climate Protection. At about the same time, the Clean & Green Committee, made up of community volunteers, came together to assist the City with its environmental sustainability programs and to reduce its greenhouse gas (GHG) emissions. This Committee subsequently crafted a Vision for Environmental Sustainability. The Vision for Environmental Sustainability, which includes Zero Waste, Zero Emissions, and Water-Wise objectives, was adopted by the City in 2011. On November 18, 2015, the City became a signatory to the global Compact of Mayors – now part of the Global Covenant of Mayors for Climate and Energy, the world's largest cooperative effort among mayors and city officials pledging to reduce greenhouse gas emissions, track progress and prepare for the impacts of climate change. On June 1, 2017, President Donald Trump announced that the USA would withdraw from the worldwide Paris Climate Agreement. A few days later, then Mayor Nichols, signed the "We Are Still In" letter, reaffirming the City's commitment set forth in that Agreement.

The City has also demonstrated its leadership in environmental sustainability via additional accomplishments. The City's CAP was adopted in 2017, which outlines a course of action to mitigate and adapt to climate change. In it, transportation, electricity and natural gas were identified as the three major GHG emission sectors in the City. To address its electricity usage, Solana Beach became the first city in San Diego County to establish a Community Choice Energy program in 2017. The City was also the first in the County to impose restrictions on the sale or provision of single use plastic bags in 2012, the use of polystyrene food containers and packing "peanuts" in 2015 and more recently, the City implemented extensive restrictions on the use and sale of plastic utensils, beverage bottles and other products. These plastics restrictions have become increasingly important as plastic production based on fossil fuels are rapidly being identified as a major contributor to climate change.

There is an urgency to continue to address climate change as the latest United Nation's Intergovernmental Panel on Climate Change (IPCC) reports there is only 10 years left to mitigate the severest climate change impacts. Solana Beach would directly experience many of these impacts that include warming temperatures, increased wildfires, sea level rise and variable water supply. Many cities are signing a Climate Emergency Resolution as an act of solidarity and leadership to address climate change in the next 10 years.

On March 11, 2020, the members of the CAC voted unanimously to recommend that our City Council consider declaring a climate emergency. Declaring a climate emergency pledges substantive actions, elevates local urgency and awareness and sends a clear message of commitment to the community and the world that the City will combat the climate crisis. On June 17, 2020, the CAC brought forth a draft resolution for consideration, which Staff has reviewed and modified to ensure consistency with previously adopted policies including those of the City's adopted CAP.

The attached resolution aligns with the current strategies and goals in the CAP, and provides similar goals for the City to aspire to in implementing the plan. It does not require any additional financial or time commitment from the City. The strategies outlined in the

attached Resolution would need City Council approval before implementation. This is the same process for how strategies in the CAP are approved that involve behavior, policy or infrastructure changes.

The Resolution:

1. Declares a climate emergency exists that threatens the economic and social well-being, health and safety, and security of the City of Solana Beach.
2. Commits that the City will consider decisions through the lens of climate change and will consider updating existing plans, policies, and distribution of resources to recognize the climate situation.
3. Reaffirms the goals set forth in its CAP, including that of reaching 100 percent renewable electricity by 2035 or earlier and that it will work immediately and aggressively towards its 2011 Vision for Environmental Sustainability which includes Zero Waste, Zero Emissions, and Water-Wise.
4. Commits the City to increase attention, as resources allow, on its CAP, updating it with new strategies, and goals when timely and propitious, and prioritizing the implementation of its strategies.
5. Commits the City will advance strategies to achieve net-zero emissions.
6. Commits that the City to reduce automobile dependency by actively working with regional, state, and federal organizations to increase the viability of alternative transportation.
7. Commits that the City's actions will remain in alignment with the most current scientific findings regarding climate change and that it will continue to rely on and solicit the advice and guidance of scientific experts.
8. That the City of Solana Beach shall work with larger jurisdictions (e.g. county, state, federal, global) to increase concern about the severity of the climate crisis.
9. That the City will call upon the State of California, the United States of America, and all governments and peoples worldwide to initiate a just transition and a climate emergency mobilization effort that reverses global warming by restoring near pre-industrial global average temperatures and greenhouse gas concentrations, halts the development of new fossil fuel infrastructure, rapidly phases out all fossil fuels and the technologies which rely upon them, transitions to regenerative agriculture, works to end the sixth mass extinction of species, creates high-quality, well-paying jobs with comprehensive benefits, mitigates the potentially adverse impacts to those who will be most impacted by this transition, and results in an equitable, inclusive and resilient community for all.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

There is no anticipated fiscal impact to the City as a result of this Resolution. Any actions recommended to implement in response to this Resolution will be brought before Council

for direction or to be included in the Council Work Plan. The fiscal impacts will be considered at these times.

**WORK PLAN:**

Consistent with Environmental Sustainability Priorities of the FY 2019/20 Work Plan.

**OPTIONS:**

- Approve Staff recommendation..
- Provide direction or propose revisions to the Resolution.
- Do not approve Staff recommendations.
- Provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2020-124 declaring a climate emergency and the need for accelerated action to address the climate crisis .

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



---

Gregory Wade, City Manager

Attachments:

1. Resolution 2020-124

## RESOLUTION 2020-124

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, DECLARING A CLIMATE EMERGENCY AND THE NEED FOR ACCELERATED ACTION TO ADDRESS THE CLIMATE CRISIS.

**WHEREAS**, our local San Diego region already suffers from the impacts of the climate crisis in the form of drought, air pollution, extreme heat, species stress, negative health effects, wildfires and landslides and that sea level rise will exacerbate coastal flooding of low-lying areas and beaches, already sand starved due to river damming and cliff stabilization and that these disasters will become more severe as global GHG emissions continue; and

**WHEREAS**, the coronavirus has demonstrated that the foundations of the economy are precarious and the damage from climate change will be more massive and longer-lasting; and

**WHEREAS**, efforts to control climate change will have many benefits, such as cleaner air and water, improved health, local employment, cost savings for households, businesses, and the City, and the creation of a stronger and more resilient community; and

**WHEREAS**, in 2007 the City of Solana Beach signed the US Mayor's Agreement on Climate Protection which commits cities to take measures which reduce the emission of greenhouse gases, save energy and help sustain the environment, and the City has a long history of environmental stewardship and sustainable practices, establishing the region's first Community Choice Energy; and

**WHEREAS** the City of Solana Beach has a Climate Action Plan to mitigate climate change with a goal of reaching 50% below 2010 GHG levels and 100% net renewable electricity citywide by 2035, which Plan provides actions to reduce climate change contributions from buildings, transportation, energy and water use and advocates for zero waste and carbon sequestration; and

**WHEREAS**, on April 22, 2016, world leaders from 175 countries recognized the threat of climate change and the urgent need to combat it by signing the Paris Agreement, agreeing to keep warming "well below 2°C above pre-industrial levels" and to "pursue efforts to limit the temperature increase to 1.5°C," which in itself will already cause many devastating effects to the planet; and

**WHEREAS**, in 2018, the United States' Fourth National Climate Assessment made it clear that climate change will wreak havoc across the United States of America, and that the current pace and scale of climate action is not sufficient to avoid more

substantial damage to the economy, the natural environment, and to human health over the coming decades; and

**WHEREAS**, in recognition of the commitments necessary to address the scale and scope of the climate crisis, in 2018 Governor Jerry Brown issued Executive Order B-55-18 ordering the State of California to achieve net-zero emissions as soon as possible, and no later than 2045, and achieve and maintain net-negative emissions thereafter; and

**WHEREAS**, over 13,000 scientists from 156 countries have signed a *World Scientist Warning of a Climate Emergency* declaring that the climate crisis has arrived and is accelerating faster than many scientists expected, is more severe than anticipated, and is threatening natural ecosystems and the fate of humanity; and

**WHEREAS**, climate change fueled droughts, famines, and diseases have already killed millions of people in the Global southern hemisphere, displaced millions more and the World Bank estimates that by 2050, there could be 143 million climate refugees from sub-Saharan Africa, South Asia, and Latin America; and

**WHEREAS** national security experts agree that the climate crisis is a “threat multiplier” and a “top homeland security risk” and that increased temperatures drive water and food insecurity fueling a Syrian civil war, ongoing conflicts in East Africa and increasing risk of conflicts in Egypt, Ethiopia, Iraq, and Jordan; and

**WHEREAS** wildfires in Australia which occurred over a few months’ time in early 2020, burned over forty-six million acres, a size similar to the State of Washington and that along with 34 people, over a billion animals, including a third of the koala population perished and brought 113 species closer to risk for extinction; and

**WHEREAS** the 2019 UN Intergovernmental Science-Policy Platform on Biodiversity and Ecosystem Services (IPBES) has identified climate change as a driver for the extinction of one million species in the coming decades and has shown that biodiversity loss is not only an environmental issue, but also a developmental, economic, security, social and moral issue; and

**WHEREAS**, low-income communities, communities of color, the young, the disabled, the elderly and indigenous communities in the US and abroad have suffered the gravest consequences of climate change; and

**WHEREAS**, it is an act of unspeakable injustice and cruelty to knowingly subject our fellow humans now and in the future to societal disintegration, food and clean water shortages, economic collapse, disease and early death on an increasingly uninhabitable planet; and

**WHEREAS**, the World Health Organization and more than 100 national public health groups, including the American Medical Association and the American Academy of Pediatrics agree that the climate crisis is a health emergency; and

**WHEREAS** scientists have warned for decades of human contributions to the disastrous effects of climate change and that human encroachment on wildlife habitats, rapid urbanization, and global interconnectedness were setting the stage for a pandemic catastrophe; and

**WHEREAS**, responding to the challenges of climate, like emergency mobilization efforts to stem global pandemics, can and must be performed quickly and decisively, in service of the common good and will require structural transformations, serious technological advances, and significant changes in collective behavior; and

**WHEREAS** restoring a safe and stable climate will require leadership and mobilization at all levels of government and society on a scale, scope, and speed not seen since World War II; and

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City of Solana Beach hereby declares that a climate and ecological emergency poses an existential threat to our city, our region, our state, our nation, all of humanity, and the natural world; and
3. That as the climate crisis facing our environment and the lives of future generations the City of Solana Beach commits to considering decisions through the lens of climate change and to consider updating existing plans, policies, and distribution of resources to recognize the climate situation.
4. That the City of Solana Beach reaffirms the goals set forth in its Climate Action Plan, including that of reaching 100 percent net renewable electricity by 2035 or earlier and that it will work aggressively towards its 2011 Vision for Environmental Sustainability which includes Zero Waste, Zero Emissions, and Water-Wise.
5. That the City of Solana Beach commits to increased attention, as resources allow, on its Climate Action Plan, updating it with new strategies, and goals

when timely and propitious, and prioritizing the implementation of its strategies.

6. That the City of Solana Beach further commits to advance strategies to attain net-zero GHG emissions.
7. That the City commits to reducing automobile dependency by actively working with regional, state, and federal organizations such as SANDAG, NCTD, MTS, Amtrak, CARB, EPA, and bike and pedestrian groups to increase the viability of alternative transportation.
8. That the City of Solana Beach commits to ensuring that the City's actions remain in alignment with the most current scientific findings regarding climate change and that it will continue to rely on and solicit the advice and guidance of scientific experts.
9. That the City of Solana Beach shall work with larger jurisdictions (e.g. county, state, federal, global) to increase concern about the severity of the climate crisis.
10. That the City of Solana Beach calls upon the State of California, the United States of America, and all governments and peoples worldwide to initiate a just transition and a climate emergency mobilization effort that reverses global warming by restoring near pre-industrial global average temperatures and greenhouse gas concentrations, halts the development of new fossil fuel infrastructure, rapidly phases out all fossil fuels and the technologies which rely upon them, transitions to regenerative agriculture, works to end the sixth mass extinction of species, creates high-quality, well-paying jobs with comprehensive benefits, mitigates the potentially adverse impacts to those who will be most impacted by this transition, and results in an equitable, inclusive and resilient community for all.



11. That the members of the Solana Beach City Council ask the City Manager to send a copy of this resolution to the City's state and federal legislative delegations, to the Governor of California, and to the President of the United States.

**PASSED AND ADOPTED** this 26th day of August, 2020, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Manager's  
**SUBJECT:** **State Allocation of Coronavirus Aid, Relief, and Economic Security (CARES) Act Coronavirus Relief Fund (CRF)**

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## **BACKGROUND:**

On March 27, 2020, the Coronavirus Aid, Relief, and Economic Security (CARES) Act was signed into place. Included in the CARES Act is the Coronavirus Relief Fund (CRF) that provided \$150 billion dollars directly to states, counties, and local municipalities with populations over 500,000. The CRF was created to provide relief from the economic impacts caused by the Coronavirus (COVID-19) pandemic. The State of California (State) received \$9.5 billion dollars from the CRF and has allocated \$500 million to California cities with populations less than 500,000, of which \$170,860 has been apportioned to the City of Solana Beach (City).

Restrictions on the use of the funds are limited to the recovery of costs incurred due to the COVID-19 pandemic, and support of businesses, individuals and families that have struggled due to the public health emergency. Eligible expenditures include certain medical expenses, public health related expenses, payroll expenses, costs related to aiding compliance with COVID-19 related public health measures, and funding to provide economic support of local businesses.

This is the City's second allotment of CARES Act funding. On May 20, 2020, the City received notice of its first allocation of \$238,506 which was provided by the County of San Diego as part of its CRF allocation to local jurisdictions with populations of 500,000 or less. At the June 10, 2020 Council Meeting, Council acted to allocate \$200,000 of this funding towards small business assistance grants, with the remaining \$38,506 going to reimburse the City for eligible COVID-19 costs.

This item is before the City Council to provide direction on the desired use of the State's CRF allocation of \$170,860 to the City, which could include reimbursing the General Fund for allowable COVID-19 expenditures.

CITY COUNCIL ACTION:

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## **DISCUSSION:**

The State has allocated \$500 million of its CRF monies to California cities that did not receive direct CRF allocations with the requirement that these cities' expenditures comply with the CARES Act CRF criteria. This criteria allows the City's General Fund to be reimbursed for necessary COVID-19 related expenditures to include:

- Medical Expenses
- Public Health Expenses
  - Communication / enforcement of public health orders
  - Personal Protective Equipment (PPE) and Sanitation supplies
  - Disinfection of public areas and other facilities
  - Technical assistance on mitigation
  - Public Safety measures in response to COVID-19
    - Increased law enforcement for COVID-19 public safety enforcement
- Substantially Dedicated Payroll Benefits and Expenses
  - Public Health and Public Safety are presumed “substantially dedicated” for “administrative convenience” and full payroll and benefits can be paid by CRF
  - Other Staff's overtime outside of normal/historical duties for duties related to COVID-19
- Compliance with Public Health Measures and Mitigation of COVID-19 Effects
  - Telework Enhancement / Infrastructure Capabilities for public employees
  - Providing paid sick, paid family and medical leave to public employees
  - Facility Enhancements
- Economic Support
  - Grants to Small Businesses for COVID-19 interruption
  - Grant or Financial Assistance for overdue rent/mortgage to avoid eviction
  - Payroll Support
- Other reasonably necessary expenses

CRF may not be used to compensate a city for revenue loss.

The \$170,860 in funding will be distributed to the City in 4 installments. Based on the information provided, the City would receive 3 payments of \$28,476.67 and a fourth payment of \$85,430. The first payment of \$28,476.67 was received by the City on July 30, 2020. Governor Newsom has indicated that continued receipt of these funds is contingent upon each community's ability to maintain public safety within the guidelines of public health orders put in place to fight the spread of COVID-19.

Council has previously been informed that there is another source of funding in which some of the City's COVID-19 expenses could be reimbursed. The resource previously discussed is the Request for Public Assistance (RFPA) provided through the Federal Emergency Management Agency (FEMA). The RFPA program is subject to a cost share. The federal share is no less than 75 percent of eligible costs and may be increased in limited circumstances if warranted. FEMA may provide funding assistance to eligible

applicants for reasonable costs related to Category B - emergency protective measures conducted as a direct result of the COVID-19 pandemic. Emergency protective measures are activities conducted to address immediate threats to life, public health and safety. Emergency protective measures that may be reimbursable through FEMA's RFP program include, but are not limited to:

- Labor Force
  - Staff Overtime
  - Regular time for out of season callbacks, but only for the out of season period
- Medical costs and supplies
- Emergency Operation Center related expenses
- Increase sanitation of eligible public facilities
- Communications of general health and safety information to the public
- Security and law enforcement as a direct response to COVID-19
- Purchase and distribution of PPE
- Training of Staff related COVID-19

FEMA will not reimburse for costs related to the continuity of operations. FEMA will evaluate each request to determine the reasonable and necessary costs eligible for reimbursement and may decide not to pay for certain costs incurred by the City. FEMA will make payment disbursements after the event period closes, and FEMA has determined the costs to be reimbursed based on documentation provided by the City and FEMA's assessment of the reasonableness of each cost incurred.

The chart below is a comparison of costs that are eligible for reimbursement using the CRF funds and the costs that may be eligible for reimbursement through FEMA.

<b>Accounts</b>	<b>FEMA RFP</b>	<b>CRF</b>	<b>Comments</b>
Regular Salary	N/A	\$300,000.00	
Part-time seasonal	\$ 25,000.00	\$ 80,000.00	
OT	\$ 5,757.24	\$ 5,757.24	
Benefits	\$ 3,600.00	\$ 32,070.68	
Training	\$ 295.00	\$ 295.00	
Minor Equipment	\$ 0.00	\$ 11,472.24	Zoom and Temperature Kiosks
Special Supplies	\$ 29,500.00	\$ 29,500.00	Face coverings, Sanitation supplies, Thermometers
Maintenance of Buildings	\$ 3,600.00	\$ 12,600.00	Additional Janitorial/Cleaning, Facility upgrades including plexiglass dividers, signage, etc.

Professional Services	\$ 23,117.10	\$ 38,612.23	Legal, Communications, Increased Law Enforcement education/outreach
<b>Total</b>	\$ 90,869.34	\$510,307.39	
FEMA 75% Cost Share	\$ 68,152.01		
City 25% Cost Share	\$ 33,717.33		
		\$ 38,506.00	County CRF remaining
		\$170,860.00	State CRF receiving
		<b>\$209,366.00</b>	<b>Total CRF</b>

As noted above, the CARES Act CRF has provided broader terms for the use of funds and provides the funds now unlike FEMA who has more restrictive criteria and provides funds after the incident. The RFPA process requires much greater Staff time to track the recovery efforts, from March until the end of the incident period, and requires significantly more detailed documentation. The CARES Act has provided “administrative conveniences” to lessen the burden on Staff time and requires a lower threshold for justification for use of funds. Additionally, other cities, such as Encinitas, have chosen to only utilize CARES Act monies for reimbursement to their General Fund for COVID-19 related expenditures and not to expend additional staff time on the RFPA process.

The allocation provided by the State of California will increase the City’s CARES Grant Fund by \$170,860. Staff is requesting direction from Council on how to use these State-allocated funds. Options include reimbursing the General Fund for COVID-19 costs incurred, allocating additional monies to the small business grant program, development of an emergency rent/eviction relief fund or other COVID-19 assistance programs. Staff is also seeking any further direction Council might have on the use of the \$38,506 of undesignated funds received from the County of San Diego’s CARES Act CRF disbursement. It is Staff’s intention to use these funds for COVID-19-related capital costs incurred by the City and, potentially, for Staff support to implement a proactive face covering outreach, education and enforcement program. Some of the State CARES Act CRF allocation could also be used for this purpose if directed by Council.

**CEQA COMPLIANCE STATEMENT:**

This is not a project as defined by the California Environmental Quality Act (CEQA).

**FISCAL IMPACT:**

Through the CARES Act, the City will receive \$170,860 from the State of California’s federal allocation. These funds are eligible to reimburse the General Fund for allowable expenditures. These funds are in addition to the CARES Act funds received from the County of San Diego’s federal allocation, of which \$38,506 is still eligible to reimburse the General Fund.

**WORK PLAN:**

N/A

**OPTIONS:**

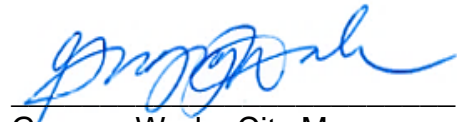
- Approve Department recommendation.
- Do not approve Department recommendation.
- Provide alternative direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council provide direction to Staff on the use of the \$209,366.00 county and state allocations of CARES Act CRF funds including its use for eligible reimbursement to the General Fund.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Certification for Relief Funds
2. State CRF Allocations to Cities Table

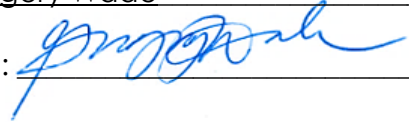
CERTIFICATION FOR RECEIPT OF FUNDS PURSUANT TO PARAGRAPHS (2) OR (3) OF  
SUBDIVISION (d) OF CONTROL SECTION 11.90 OF THE BUDGET ACT OF 2020

I, Gregory Wade, am the chief executive or authorized designee of the City of Solana Beach, and I certify that:

1. I have the authority on behalf of the City of Solana Beach to request payment from the State of California ('State') pursuant to the applicable provisions of subdivision (d) of Control Section 11.90 of the Budget Act of 2020.
2. I understand the State will rely on this certification as a material representation in making a direct payment to the City of Solana Beach.
3. The City of Solana Beach's proposed uses of the funds provided as direct payment under the applicable provisions of subdivision (d) of Control Section 11.90 of the Budget Act of 2020 will be used only for costs that:
  - a. Are necessary expenditures incurred due to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19)
  - b. Were not accounted for in the budget most recently approved as of March 27, 2020, for the City of Solana Beach
  - c. Were incurred during the period that begins on March 1, 2020, and ends on December 30, 2020.
4. The City of Solana Beach agrees to do all of the following as a condition of receipt of funds:
  - a. Adhere to federal guidance and the state's stay-at-home requirements and other health requirements as directed in gubernatorial Executive Order N-33-20, any subsequent Executive Orders or statutes, and all California Department of Public Health orders, directives, and guidance in response to COVID-19 emergency.
  - b. Use the funds in accordance with all applicable provisions of subdivision (d) of Control Section 11.90 of the Budget Act of 2020.
  - c. Report on expenditures and summarize regional collaboration and non-duplication of efforts within the region by September 1, 2020, and return any funds that are unspent by October 30, 2020 (unless extended by the Department of Finance based on reported expenditures to date), and repay the state for any cost disallowed after federal review.
  - d. Retain records to support reported COVID-19 eligible expenditures and participate in audits as outlined by the federal government and State.

CERTIFICATION FOR RECEIPT OF FUNDS PURSUANT TO PARAGRAPHS (2) OR (3) OF  
SUBDIVISION (d) OF CONTROL SECTION 11.90 OF THE BUDGET ACT OF 2020

By: Gregory Wade

Signature: 

Title: City Manager

Date: July 2, 2020

The completed certification must be submitted by email to:

[CRFApplications@dof.ca.gov](mailto:CRFApplications@dof.ca.gov)

Certifications must be received by no later than 11:59 p.m. Pacific Daylight Time on July 10, 2020. Certifications received after that time may be disallowed. The subject line of the email shall only contain the name of the local government entity (i.e. City of xxx or County of xxx).



## \$500 Million Coronavirus Relief Fund Allocations to Cities

(Whole dollars)

Cities	Allocations <sup>1</sup>	Cities	Allocations <sup>1</sup>	Cities	Allocations <sup>1</sup>
Adelanto	\$ 440,336	Capitola	\$ 124,805	El Cerrito	\$ 308,098
Agoura Hills	\$ 253,931	Carlsbad	\$ 1,413,290	El Monte	\$ 1,440,602
Alameda	\$ 1,003,970	Carmel-by-the-Sea	\$ 50,000	El Paso de Robles	\$ 385,490
Albany	\$ 233,818	Carpinteria	\$ 164,649	El Segundo	\$ 207,148
Alhambra	\$ 1,071,632	Carson	\$ 1,149,617	Elk Grove	\$ 2,174,997
Aliso Viejo	\$ 617,900	Cathedral City	\$ 661,559	Emeryville	\$ 151,845
Alturas	\$ 50,000	Ceres	\$ 597,972	Encinitas	\$ 767,782
Amador	\$ 50,000	Cerritos	\$ 617,283	Escalon	\$ 92,332
American Canyon	\$ 257,277	Chico	\$ 1,362,210	Escondido	\$ 1,889,210
Anaheim	\$ 30,480,113	Chino	\$ 1,100,241	Etna	\$ 50,000
Anderson	\$ 131,756	Chino Hills	\$ 1,017,515	Eureka	\$ 329,656
Angels City	\$ 50,907	Chowchilla	\$ 224,668	Exeter	\$ 136,189
Antioch	\$ 1,389,299	Chula Vista	\$ 3,360,914	Fairfax	\$ 91,356
Apple Valley	\$ 918,553	Citrus Heights	\$ 1,084,214	Fairfield	\$ 1,444,380
Arcadia	\$ 706,404	Claremont	\$ 442,114	Farmersville	\$ 140,745
Arcata	\$ 221,792	Clayton	\$ 139,979	Ferndale	\$ 50,000
Arroyo Grande	\$ 218,384	Clearlake	\$ 176,527	Fillmore	\$ 192,195
Artesia	\$ 203,604	Cloverdale	\$ 113,754	Firebaugh	\$ 98,542
Arvin	\$ 267,649	Clovis	\$ 1,471,470	Folsom	\$ 1,007,649
Atascadero	\$ 371,118	Coachella	\$ 582,612	Fontana	\$ 2,629,939
Atherton	\$ 86,813	Coalinga	\$ 212,358	Fort Bragg	\$ 91,702
Atwater	\$ 387,428	Colfax	\$ 50,000	Fort Jones	\$ 50,000
Auburn	\$ 180,194	Colma	\$ 50,000	Fortuna	\$ 149,684
Avalon	\$ 50,000	Colton	\$ 668,202	Foster City	\$ 407,863
Avenal	\$ 162,846	Colusa	\$ 76,244	Fountain Valley	\$ 689,933
Azusa	\$ 613,134	Commerce	\$ 158,883	Fowler	\$ 79,688
Bakersfield	\$ 33,502,406	Compton	\$ 1,210,414	Fremont	\$ 2,891,945
Baldwin Park	\$ 941,494	Concord	\$ 1,606,893	Fullerton	\$ 1,751,601
Banning	\$ 384,304	Corcoran	\$ 263,019	Galt	\$ 319,161
Barstow	\$ 299,640	Corning	\$ 94,085	Garden Grove	\$ 2,158,291
Beaumont	\$ 635,569	Corona	\$ 2,077,380	Gardena	\$ 752,397
Bell	\$ 451,053	Coronado	\$ 263,994	Gilroy	\$ 704,824
Bell Gardens	\$ 524,123	Corte Madera	\$ 124,879	Glendale	\$ 2,535,249
Bellflower	\$ 964,435	Costa Mesa	\$ 1,417,179	Glendora	\$ 642,878
Belmont	\$ 331,064	Cotati	\$ 93,011	Goleta	\$ 397,862
Belvedere	\$ 50,000	Covina	\$ 603,108	Gonzales	\$ 105,025
Benicia	\$ 335,533	Crescent City	\$ 82,392	Grand Terrace	\$ 153,425
Berkeley	\$ 1,513,511	Cudahy	\$ 298,455	Grass Valley	\$ 158,846
Beverly Hills	\$ 417,024	Culver City	\$ 490,243	Greenfield	\$ 225,755
Big Bear Lake	\$ 64,279	Cupertino	\$ 735,259	Gridley	\$ 79,046
Biggs	\$ 50,000	Cypress	\$ 608,368	Grover Beach	\$ 163,155
Bishop	\$ 50,000	Daly City	\$ 1,347,591	Guadalupe	\$ 99,777
Blue Lake	\$ 50,000	Dana Point	\$ 409,258	Gustine	\$ 72,539
Blythe	\$ 237,744	Danville	\$ 541,743	Half Moon Bay	\$ 153,487
Bradbury	\$ 50,000	Davis	\$ 854,212	Hanford	\$ 732,790
Brawley	\$ 337,682	Del Mar	\$ 52,698	Hawaiian Gardens	\$ 180,873
Brea	\$ 563,387	Del Rey Oaks	\$ 50,000	Hawthorne	\$ 1,073,003
Brentwood	\$ 804,021	Delano	\$ 654,793	Hayward	\$ 1,979,381
Brisbane	\$ 57,204	Desert Hot Springs	\$ 366,216	Healdsburg	\$ 149,264
Buellton	\$ 67,465	Diamond Bar	\$ 705,972	Hemet	\$ 1,051,667
Buena Park	\$ 1,012,440	Dinuba	\$ 320,951	Hercules	\$ 315,222
Burbank	\$ 1,307,080	Dixon	\$ 246,597	Hermosa Beach	\$ 242,177
Burlingame	\$ 371,871	Dorris	\$ 50,000	Hesperia	\$ 1,190,177
Calabasas	\$ 298,714	Dos Palos	\$ 68,477	Hidden Hills	\$ 50,000
Calexico	\$ 504,948	Downey	\$ 1,401,758	Highland	\$ 683,080
California City	\$ 174,848	Duarte	\$ 267,599	Hillsborough	\$ 140,980
Calimesa	\$ 115,186	Dublin	\$ 811,404	Hollister	\$ 501,862
Calipatria	\$ 84,491	Dunsmuir	\$ 50,000	Holtville	\$ 78,515
Calistoga	\$ 66,032	East Palo Alto	\$ 380,218	Hughson	\$ 90,109
Camarillo	\$ 867,522	Eastvale	\$ 820,010	Huntington Beach	\$ 2,485,243
Campbell	\$ 522,136	El Cajon	\$ 1,288,954	Huntington Park	\$ 734,840
Canyon Lake	\$ 135,818	El Centro	\$ 563,733	Huron	\$ 90,122

<sup>1</sup>Excludes cities that received direct federal allocation through the CARES Act (6 cities). Allocations use May 2020 Population Estimates.

## \$500 Million Coronavirus Relief Fund Allocations to Cities

(Whole dollars)

Cities	Allocations <sup>1</sup>	Cities	Allocations <sup>1</sup>	Cities	Allocations <sup>1</sup>
Imperial	\$ 245,794	Maricopa	\$ 50,000	Pasadena	\$ 1,788,383
Imperial Beach	\$ 346,399	Marina	\$ 275,600	Patterson	\$ 284,898
Indian Wells	\$ 66,712	Martinez	\$ 458,153	Perris	\$ 990,252
Indio	\$ 1,120,515	Marysville	\$ 153,401	Petaluma	\$ 763,954
Industry	\$ 50,000	Maywood	\$ 344,534	Pico Rivera	\$ 782,487
Inglewood	\$ 1,382,521	McFarland	\$ 177,651	Piedmont	\$ 141,412
Ione	\$ 98,876	Mendota	\$ 154,512	Pinole	\$ 240,831
Irvine	\$ 3,478,274	Menifee	\$ 1,198,820	Pismo Beach	\$ 100,493
Irwindale	\$ 50,000	Menlo Park	\$ 435,286	Pittsburg	\$ 917,651
Isleton	\$ 50,000	Merced	\$ 1,088,029	Placentia	\$ 635,803
Jackson	\$ 60,007	Mill Valley	\$ 181,182	Placerville	\$ 135,572
Jurupa Valley	\$ 1,322,168	Millbrae	\$ 281,910	Pleasant Hill	\$ 423,099
Kerman	\$ 196,937	Milpitas	\$ 962,595	Pleasanton	\$ 981,153
King City	\$ 182,701	Mission Viejo	\$ 1,163,927	Plymouth	\$ 50,000
Kingsburg	\$ 159,068	Modesto	\$ 2,745,200	Point Arena	\$ 50,000
La Canada Flintridge	\$ 252,635	Monrovia	\$ 468,388	Pomona	\$ 1,911,546
La Habra	\$ 782,450	Montague	\$ 50,000	Port Hueneme	\$ 291,479
La Habra Heights	\$ 67,428	Montclair	\$ 487,588	Porterville	\$ 736,568
La Mesa	\$ 740,408	Monte Sereno	\$ 50,000	Portola	\$ 50,000
La Mirada	\$ 603,491	Montebello	\$ 784,586	Portola Valley	\$ 56,883
La Palma	\$ 191,282	Monterey	\$ 347,819	Poway	\$ 609,183
La Puente	\$ 500,898	Monterey Park	\$ 749,891	Rancho Cordova	\$ 967,781
La Quinta	\$ 502,034	Moorpark	\$ 447,929	Rancho Cucamonga	\$ 2,167,193
La Verne	\$ 411,160	Moraga	\$ 209,235	Rancho Mirage	\$ 236,003
Lafayette	\$ 316,136	Moreno Valley	\$ 2,578,550	Rancho Palos Verdes	\$ 515,258
Laguna Beach	\$ 275,872	Morgan Hill	\$ 573,574	Rancho Santa Margarita	\$ 602,454
Laguna Hills	\$ 389,033	Morro Bay	\$ 125,793	Red Bluff	\$ 175,885
Laguna Niguel	\$ 806,465	Mount Shasta	\$ 50,000	Redding	\$ 1,132,763
Laguna Woods	\$ 200,554	Mountain View	\$ 1,015,823	Redlands	\$ 876,054
Lake Elsinore	\$ 783,463	Murrieta	\$ 1,426,847	Redondo Beach	\$ 827,184
Lake Forest	\$ 1,045,938	Napa	\$ 978,856	Redwood City	\$ 1,071,163
Lakeport	\$ 57,748	National City	\$ 766,745	Reedley	\$ 320,001
Lakewood	\$ 986,770	Needles	\$ 64,798	Rialto	\$ 1,290,930
Lancaster	\$ 1,996,519	Nevada City	\$ 50,000	Richmond	\$ 1,373,211
Larkspur	\$ 151,289	Newark	\$ 604,590	Ridgecrest	\$ 362,388
Lathrop	\$ 331,311	Newman	\$ 147,079	Rio Dell	\$ 50,000
Lawndale	\$ 404,974	Newport Beach	\$ 1,059,137	Rio Vista	\$ 123,311
Lemon Grove	\$ 327,520	Norco	\$ 340,336	Ripon	\$ 196,690
Lemoore	\$ 327,310	Norwalk	\$ 1,305,302	Riverbank	\$ 309,049
Lincoln	\$ 608,924	Novato	\$ 663,066	Riverside	\$ 27,991,888
Lindsay	\$ 162,414	Oakdale	\$ 283,947	Rocklin	\$ 868,621
Live Oak	\$ 113,594	Oakland	\$ 36,994,706	Rohnert Park	\$ 531,779
Livermore	\$ 1,134,220	Oakley	\$ 524,272	Rolling Hills	\$ 50,000
Livingston	\$ 185,849	Oceanside	\$ 2,189,579	Rolling Hills Estates	\$ 99,592
Lodi	\$ 838,741	Ojai	\$ 93,307	Rosemead	\$ 671,227
Loma Linda	\$ 302,937	Ontario	\$ 2,257,932	Roseville	\$ 1,792,347
Lomita	\$ 253,721	Orange	\$ 1,729,401	Ross	\$ 50,000
Lompoc	\$ 540,632	Orange Cove	\$ 116,754	Salinas	\$ 2,002,977
Long Beach	\$ 40,280,494	Orinda	\$ 234,707	San Anselmo	\$ 157,512
Loomis	\$ 85,047	Orland	\$ 102,765	San Bernardino	\$ 2,691,008
Los Alamitos	\$ 142,819	Oroville	\$ 240,028	San Bruno	\$ 561,227
Los Altos	\$ 381,230	Oxnard	\$ 2,547,855	San Buenaventura	\$ 1,312,204
Los Altos Hills	\$ 103,876	Pacific Grove	\$ 188,479	San Carlos	\$ 372,204
Los Banos	\$ 517,629	Pacifica	\$ 473,278	San Clemente	\$ 797,390
Los Gatos	\$ 388,181	Palm Desert	\$ 654,225	San Dimas	\$ 419,123
Loyalton	\$ 50,000	Palm Springs	\$ 585,587	San Fernando	\$ 311,234
Lynwood	\$ 879,968	Palmdale	\$ 1,935,252	San Gabriel	\$ 495,169
Madera	\$ 807,688	Palo Alto	\$ 854,743	San Jacinto	\$ 630,049
Malibu	\$ 144,708	Palos Verdes Estates	\$ 162,859	San Joaquin	\$ 51,142
Mammoth Lakes	\$ 97,036	Paradise	\$ 57,180	San Juan Bautista	\$ 50,000
Manhattan Beach	\$ 435,236	Paramount	\$ 684,784	San Juan Capistrano	\$ 448,423
Manteca	\$ 1,047,037	Parlier	\$ 196,196	San Leandro	\$ 1,085,683

<sup>1</sup>Excludes cities that received direct federal allocation through the CARES Act (6 cities). Allocations use May 2020 Population Estimates.

**\$500 Million Coronavirus Relief Fund Allocations to Cities**

(Whole dollars)

Cities	Allocations <sup>1</sup>	Cities	Allocations <sup>1</sup>
San Luis Obispo	\$ 566,980	Tracy	\$ 1,184,473
San Marcos	\$ 1,200,252	Trinidad	\$ 50,000
San Marino	\$ 161,587	Truckee	\$ 200,369
San Mateo	\$ 1,272,829	Tulare	\$ 837,555
San Pablo	\$ 387,860	Tulelake	\$ 50,000
San Rafael	\$ 738,445	Turlock	\$ 917,355
San Ramon	\$ 1,026,269	Tustin	\$ 992,487
Sand City	\$ 50,000	Twentynine Palms	\$ 361,252
Sanger	\$ 335,657	Ukiah	\$ 198,307
Santa Ana	\$ 28,580,208	Union City	\$ 909,206
Santa Barbara	\$ 1,154,593	Upland	\$ 973,127
Santa Clara	\$ 1,594,064	Vacaville	\$ 1,220,576
Santa Clarita	\$ 2,740,224	Vallejo	\$ 1,470,087
Santa Cruz	\$ 795,452	Vernon	\$ 50,000
Santa Fe Springs	\$ 225,891	Victorville	\$ 1,561,073
Santa Maria	\$ 1,326,168	Villa Park	\$ 71,194
Santa Monica	\$ 1,140,344	Visalia	\$ 1,711,918
Santa Paula	\$ 375,217	Vista	\$ 1,270,866
Santa Rosa	\$ 2,143,808	Walnut	\$ 369,537
Santee	\$ 716,121	Walnut Creek	\$ 874,918
Saratoga	\$ 383,132	Wasco	\$ 356,635
Sausalito	\$ 89,541	Waterford	\$ 109,815
Scotts Valley	\$ 144,375	Watsonville	\$ 636,063
Seal Beach	\$ 308,580	Weed	\$ 50,000
Seaside	\$ 414,086	West Covina	\$ 1,308,784
Sebastopol	\$ 95,629	West Hollywood	\$ 447,003
Selma	\$ 301,715	West Sacramento	\$ 670,795
Shafter	\$ 252,388	Westlake Village	\$ 101,395
Shasta Lake	\$ 131,583	Westminster	\$ 1,141,134
Sierra Madre	\$ 133,547	Westmorland	\$ 50,000
Signal Hill	\$ 144,610	Wheatland	\$ 50,000
Simi Valley	\$ 1,544,811	Whittier	\$ 1,071,743
Solana Beach	\$ 170,860	Wildomar	\$ 459,103
Soledad	\$ 312,395	Williams	\$ 66,996
Solvang	\$ 68,675	Willits	\$ 62,625
Sonoma	\$ 136,436	Willows	\$ 76,651
Sonora	\$ 58,241	Windsor	\$ 348,782
South El Monte	\$ 261,809	Winters	\$ 89,875
South Gate	\$ 1,197,709	Woodlake	\$ 95,974
South Lake Tahoe	\$ 278,119	Woodland	\$ 749,990
South Pasadena	\$ 314,333	Woodside	\$ 70,082
South San Francisco	\$ 838,111	Yorba Linda	\$ 847,631
St Helena	\$ 74,984	Yountville	\$ 50,000
Stanton	\$ 482,489	Yreka	\$ 96,135
Stockton	\$ 27,170,185	Yuba City	\$ 869,954
Suisun City	\$ 359,536	Yucaipa	\$ 687,883
Sunnyvale	\$ 1,932,363	Yucca Valley	\$ 274,551
Susanville	\$ 169,366		
Sutter Creek	\$ 50,000		
Taft	\$ 107,173		
Tehachapi	\$ 157,525		
Tehama	\$ 50,000		
Temecula	\$ 1,382,508		
Temple City	\$ 446,349		
Thousand Oaks	\$ 1,561,715		
Tiburon	\$ 117,792		
Torrance	\$ 1,797,076		

<sup>1</sup>Excludes cities that received direct federal allocation through the CARES Act (6 cities). Allocations use May 2020 Population Estimates.



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** August 26, 2020  
**ORIGINATING DEPT:** City Clerk's Office  
**SUBJECT:** **Citizen Commission Vacancies: Parks & Recreation Commission Appointment and Climate Action Commission Extension**

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## **BACKGROUND:**

Pursuant to California Government Code section 54974(a), when an unexpected vacancy occurs on a Council Appointed Citizen Commission, a Notice of Vacancy is required to be posted no earlier than 20 days prior to the resignation and no later than 20 days after the vacancy occurs.

There were two resignations from two Citizen Commissions, which are appointed by the City Council. There is one vacancy on the Climate Action Commission (CAC) and one vacancy on the Parks & Recreation Commission (PRC). Rachel McHale resigned from the CAC on July 31, 2020, leaving a resident position vacant and Steven Felger resigned from the PRC on June 19, 2020, leaving a vacancy. Both vacancies have a term ending January 2021, when these positions will expire and be open for appointment or re-appointment.

This item is before Council to review three applications received for the PRC vacancy. The CAC vacancy notice has been posted for two weeks, however no applications were received so the deadline for receipt of applications will be extended and posted.

## **DISCUSSION:**

Appointments to City Commissions and Committees are conducted in accordance with Council Policy No. 5 - *Appointment of Private Citizens to Committees, Boards, Task Forces* (Attachment 1). Per Solana Beach Municipal Code section 2.64.020, members of the PRD are all appointed by the Council-at-large. Therefore, the nomination may be made by any Councilmember and a majority vote of the City Council is required for appointment.

### *Noticing*

On June 24, 2020, the City Clerk posted a Notice of Vacancy for the PRC in an effort to refill the position and bring the Commission to full membership as quickly as possible with

CITY COUNCIL ACTION:

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a deadline of July 20, 2020. Since no applications were received, the deadline to receive applications was extended to August 17, 2020, and a Notice of Vacancy Extension was posted on July 21, 2020. (Attachment 2).

On August 4, 2020, the City Clerk posted a Notice of Vacancy for the CAC (Attachment 3) with an application deadline of August 17<sup>th</sup> in an effort to refill the position and bring the Commission to full membership as quickly as possible.

Recruitment notices were posted on the City's Official bulletin board, the City's website, and e-blast notices sent.

#### *Applicant Submittals*

As of the preparation of this report, and by the August 17<sup>th</sup> 5:30 p.m. deadline, three applications were received for the PRC (Attachment 4). If applications are received after the deadline they will be not be forwarded to Council for consideration, as Council determined in January 2019 to no longer consider late applications.

There were no applications received for the CAC, therefore an extended deadline notice has been posted.

#### *Applications*

An applicant status list (Attachment 5) is provided with this report. Applications were not posted online, but were submitted to Council for review and are available for public access by contacting the City Clerk's Office.

#### *Appointment at Mid or Late Term*

If an appointment is made to a vacancy with a nearing term, the applicant will be made aware that when the term expires, they can re-apply utilizing the re-submittal short application form, making this process less cumbersome.

**CEQA COMPLIANCE STATEMENT:** Not a project as defined by CEQA.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

#### **OPTIONS:**

- Make an appointment to the Parks and Recreation Commission.
- Provide alternative direction.

#### **DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council consider the application(s) submitted and make an appointment to the vacancy on the Parks and Recreation Commission with a term until January 2021.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department recommendation.



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Gregory Wade, City Manager

Attachments:

1. Council Policy No. 5
2. Vacancy Notice Parks & Recreation Commission Notices
3. Vacancy Notice Climate Action Commission
4. List of Applicants
5. Applications

<b>CITY OF SOLANA BEACH</b>	<b>Policy No. 5</b>
<b>COUNCIL POLICY</b>	Adopted: May 15, 1989 Revised: January 23, 2008 by Resolution 2008-23
<b>GENERAL SUBJECT:</b> Citizen Boards, Commissions & Committees	
<b>SPECIFIC SUBJECT:</b> Appointments of Citizens to Boards, Commissions, Committees and Task Forces.	

**PURPOSE:**

The purpose of this policy is to establish a consistent process and procedure for appointments to City sponsored Citizen Boards, Commissions, Committees and Task Forces.

**POLICY STATEMENT:**

Appointments to Citizen Boards, Commissions, Committees and Task Forces are made in accordance with the municipal code and/or specific guideline, as provided, to provide consistency.

**POLICY PROCEDURES:**

1. All private citizens interested in serving on any Board, Commission, Committee or Task Force or similar group must complete and file with the City Clerk a Citizen Interest Form (application) which may be obtained from the City Clerk's office.
2. Nominations  
Councilmembers may nominate private citizens for appointment subject to ratification by a majority of the City Council. Such ratification shall take place at a regular City Council meeting and a duly docketed agenda item.
3. Appointment Protocol
  - a. Appointments will be made in accordance with municipal code requirements. For example, the municipal code may require that a Commission have five positions appointed by individual Councilmembers.
  - b. Appointments that are not outlined in the municipal code and are at-large appointment positions may be nominated by any Councilmember. In the event of multiple appointments, appointments may be divided among individual Councilmembers to share the appointment responsibilities. If the appointments are

shared, it will be for that one time and will not be construed as official individual appointments that would carry forward.

- c. The decision to proceed with an individual appointment alternative for at-large positions will be subject to majority vote of the City Council with such vote taking place at a regular City Council Meeting.

4. Appointments to Outside Agencies

When the City is asked by an outside agency to recommend a private citizen to serve on a Board, Commission, Committee or Task Force or similar group, such recommendation shall be made by the Council and approved by a majority vote of the City Council.





## PUBLIC NOTICE CITIZEN COMMISSION POSITION VACANCY

**CITY OF SOLANA BEACH VOLUNTEERS SERVING ON BEHALF OF THE CITY COUNCIL**

Applications are currently being accepted through **Monday, July 20, 2020 by 5:30 p.m.** City Council is scheduled to make appointments at the August 26, 2020 City Council Meeting, or earlier if a Special Meeting occurs.

### PARKS & RECREATION COMMISSION

*One vacancy – term will expire January 2021*



Regular Meetings: 2<sup>nd</sup> Thursday of each month at 4:00 p.m.

Requirements: At least 18 yrs. old • Resident of the City.

Composition: 7 members who are all appointed by the Council At-large.

Staff Liaison: Kirk Wenger 858-720-2453 [kwenger@cosb.org](mailto:kwenger@cosb.org)

**The Parks and Recreation Commission is directly responsible for planning, implementing, and working special events hosted by the Commission and/or the City.**

Sponsored events may include:

- Annual Spring Egg Hunt
- Beach Blanket Movie Night
- Dia de los Muertos
- Holiday Tree Lighting Ceremony

The Parks and Recreation Commission makes recommendations to the City Council and brings matters to Staff pertaining to the creation, operation, maintenance, use, management and control of community recreational programs and activities, parks, beaches and other indoor and outdoor recreational facilities and areas.

The Commission may also advise the City Manager, through the Recreation Manager, regarding recreational programs or activities provided or proposed to be provided by the City, including such matters as types of programs and activities, fees and charges for participants, scheduling and other similar matters.



- ❖ **Attend a Citizen Commission public meeting.** It is recommended that new applicants attend a Commission meeting prior to being considered for an appointment. *Agendas are posted on the City's website. See the City's website for members, expiring positions, and further information.*
- ❖ [Agenda Posting page](#)

[Citizen Interest Forms](#) (Applications) and additional information on the Commissions can be found on the City's website at [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) (Left tabs: City Government, City Clerk, Citizen Committees) OR at City Hall, 635 S. Highway 101, Solana Beach, (858) 720-2400. Please contact the City Clerk with any questions regarding the recruitment/appointment process.

*For specific questions about the Commission, contact the Commission Staff Liaison above.*



## PUBLIC NOTICE CITIZEN COMMISSION POSITION VACANCY

**CITY OF SOLANA BEACH VOLUNTEERS SERVING ON BEHALF OF THE CITY COUNCIL**

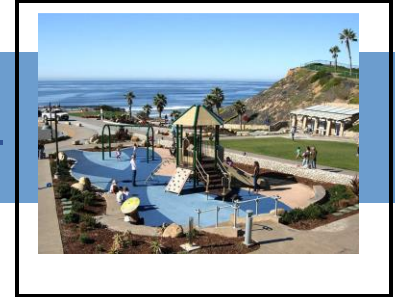
Applications are currently being accepted through **Monday, August 17th, 2020 by 5:30 p.m.**

City Council is scheduled to make appointments at the August 26, 2020

City Council Meeting, or earlier if a Special Meeting occurs.

### **PARKS & RECREATION COMMISSION**

*One vacancy – term will expire January 2021*



Regular Meetings: 2<sup>nd</sup> Thursday of each month at 4:00 p.m.

Requirements: At least 18 yrs. old • Resident of the City.

Composition: 7 members who are all appointed by the Council At-large.

Staff Liaison: Kirk Wenger 858-720-2453 [kwenger@cosb.org](mailto:kwenger@cosb.org)

**The Parks and Recreation Commission is directly responsible for planning, implementing, and working special events hosted by the Commission and/or the City.**

Sponsored events may include:

- Memorial Day Celebration
- Veteran's Day Celebration
- Dia de los Muertos
- Holiday Tree Lighting Ceremony
- Beach Blanket Movie Night

The Parks and Recreation Commission makes recommendations to the City Council and brings matters to Staff pertaining to the creation, operation, maintenance, use, management and control of community recreational programs and activities, parks, beaches and other indoor and outdoor recreational facilities and areas.

The Commission may also advise the City Manager, through the Recreation Manager, regarding recreational programs or activities provided or proposed to be provided by the City, including such matters as types of programs and activities, fees and charges for participants, scheduling and other similar matters.



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*For specific questions about the Commission, contact the Commission Staff Liaison above.*



## PUBLIC NOTICE City of Solana Beach CITIZEN COMMISSION POSITION VACANCY

**CITY OF SOLANA BEACH VOLUNTEERS SERVING ON BEHALF OF THE CITY COUNCIL**

**Applications are currently being accepted through Monday, August 17, 2020, 5:30 p.m.**

### CLIMATE ACTION COMMISSION

ONE Citizen/Resident Position Vacancy  
term will expire January 2021

At the expiration of this term, the appointed member may submit the short form resubmittal application, for consideration by Council to be re-appointed.



Regular Meetings: 3<sup>rd</sup> Wednesday of each month at 5:30 p.m.

Position Requirement: **This vacancy must be filled with a Citizen/Resident at least 18 years old and a city resident within the City of Solana Beach.**

Current Composition:

- 5 Members - Citizen / Resident: Must be at least 18 years old and a city resident within the City of Solana Beach.
- 2 Members - Scientific/Environmental Community Professionals Must be from the environmental or scientific community. Resident or Non-resident.
- 2 Councilmembers

Staff Liaison: Rimga Viskanta 858-720-2467

**The Climate Action Commission participates in reviewing certain matters regarding reducing the City's greenhouse gas (GHG) emissions and implementing the Climate Action Plan.**

Under Council's direction, the Climate Action Commission will focus on specific issues surrounding the implementation of a Climate Action Plan including updating the City's Greenhouse Gas Emissions Inventory, setting reduction targets, implementing mitigation measures and performing periodic monitoring, verification and evaluations.

- ❖ *Attend a Citizen Commission public meeting.* It is recommended that new applicants attend a Commission meeting prior to being considered for an appointment. *Agendas are posted on the City's website. See the City's website for members, expiring positions, and further information.*

[Citizen Interest Forms](#) (Applications) and additional information on the Commissions can be found on the City's website at [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) (Left tabs: City Government, City Clerk, Citizen Committees) OR at City Hall, 635 S. Highway 101, Solana Beach, (858) 720-2400. Please contact the City Clerk with any questions regarding the recruitment/appointment process.

8-4-20 Angela Ivey, City Clerk

**ATTACHMENT 3**

**City of Solana Beach  
Citizen Commission Member  
Appointment by City Council**

**List of Applicants**

<b>Applicant</b>	<b>Application Received</b>	<b>Application Status</b>
Meredith Hanrahan	8-17-2020 1:00 p.m.	
Arlene Simon	8-17-2020 3:00 p.m.	
Danielle King	8-17-2020 5:30 p.m.	Emailed. Awaiting hard copy.

## **APPLICATIONS**

***This Attachment is not posted online  
but is available by contacting the  
City Clerk's Office.***