



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting

Wednesday, March 9, 2022 * 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

This meeting will be conducted in accordance with California Government Code sections 54953(e) and 54954.3 and other applicable law.

MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC

Be advised that due to the COVID-19 pandemic in-person participation will not be allowed, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under provided below.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online www.cityofsolanabeach.org Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

PUBLIC COMMENTS

- Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.
- Correspondence received after the official posting of the agenda, but before 3:00 p.m. (or 3 hrs. prior to the meeting start time) on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.
- The designated location for viewing supplemental documents is on the City's website www.cityofsolanabeach.org on the posted Agenda under the relative Agenda Item.

OR

Verbal Comment Participation: If you wish to provide a live verbal comment during the meeting, attend the virtual meeting via your computer or call in.

Before Meeting

- Alert Clerk's Office. We ask that you alert us that you will joining the meeting to speak. Please email us at clerkoffice@cosb.org to let us know which item you will speak on. This allows our Staff to manage speakers more efficiently.
- Watch the Meeting and Make a Public Comment
You can watch the meeting on the Live Meeting button on the Public Meetings page OR on TV at the stations provided above OR on the zoom event:

Link: <https://cosb-org.zoom.us/j/86813892979>

Webinar ID: 896 1389 2979

If you cannot log on or need to use a phone for audio quality, use one of these call-in numbers (toll free):
US: +1 669 900 9128 or +1 346 248 7799 or +1 253 215 8782 or +1 312 626 6799 or +1 646 558 8656 or
+1 301 715 8592 or 833 548 0282 (Toll Free) or 877 853 5257 (Toll Free) or 888 475 4499 (Toll Free) or
833 548 0276 (Toll Free)

Join/Log-In to the meeting at least 15 minutes prior to the start time so that the City Clerk can verify that you are ready to speak before the meeting begins.

- Audio Accessibility: If your computer does not have a microphone or you have sound issues, you can call-in from a landline or cell phone and use it as your audio (phone # is provided once

you log-in to Zoom, see above). If you call in for better audio, mute your computer's speakers to eliminate feedback so that you do not have two audios when you are speaking.

During Meeting:

- During each Agenda Item and Oral Communications, attendees will be asked if they would like to speak. Speakers are taken during each agenda item.
- Speakers will be asked to raise their hand (zoom icon under participants can be clicked or on the phone you can dial *9) if they would like to be called on to speak during each item. We will call on you by your log in name or the last 4 digits of your phone #. When called on by the meeting organizer, we will unmute so you may provide comments for the allotted time. Allotted speaker times are listed under each [Agenda](#) section.
- Choose Gallery View to see the presentations, when applicable.

SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 clerkoffice@cosb.org at least 72 hours prior to the meeting.

CITY COUNCILMEMBERS			
Lesa Heebner, Mayor			
Kelly Harless Deputy Mayor	David A. Zito Councilmember District 1	Jewel Edson Councilmember District 3	Kristi Becker Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

See Public Participation on the first page of the Agenda for publication participation options.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: *Ceremonial items that do not contain in-depth discussion and no action/direction.*

None at the posting of this agenda

APPROVAL OF AGENDA:

ORAL COMMUNICATIONS:

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by joining the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. No written correspondence may be submitted in lieu of public speaking. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.6.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by joining the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the January 12, 2022 City Council Meetings.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 05, 2022 – February 18, 2022.

[Item A.2. Report \(click here\)](#)

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A.3. General Fund Budget Adjustments for Fiscal Year 2021/2022. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2021/2022 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

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A.4. Community Grant Program Fiscal Year 2022/23. (File 0330-25)

Recommendation: That the City Council

1. Approve **Resolution 2022-024** authorizing the Fiscal Year 2022/23 Community Grant Program.

[Item A.4. Report \(click here\)](#)

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A.5. Local Emergency Teleconferencing. (File 0240-25)

Recommendation: That the City Council

1. Adopt **Resolution 2022-023** authorizing remote teleconference meetings of the legislative bodies of the City for the period of March 10, 2022 through April 8, 2022 pursuant to the new provisions of the Brown Act.

[Item A.5. Report \(click here\)](#)

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A.6. Public Works Pickup Truck Purchase. (File 0370-26)

Recommendation: That the City Council

1. Approve **Resolution 2022-003**
 - a. Approving the purchase of a 2022 Chevrolet Silverado 1500 4-wheel drive pickup truck, including accessories, for \$47,827.55 from National Auto Fleet Group.
 - b. Authorizing an appropriation of \$47,827.55 from the Asset Replacement Reserve Fund into the Asset Replacement Public Works Vehicle Expenditure account.
 - c. Authorizing the City Treasurer to amend the FY 2021/2022 Adopted Budget accordingly.

[Item A.6. Report \(click here\)](#)

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C. STAFF REPORTS: (C.1.)

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C.1. Homeless Solutions and Equitable Communities Presentation. (File 0230-20)

Recommendation: That the City Council

1. Receive the presentation from the Department of Homeless Solutions and Equitable Communities (HSEC) regarding their programs and activities in the region.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B. PUBLIC HEARINGS: (B.1. – B.2.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

B.1. Public Hearing: 640 Via De La Valle., Applicant: The Fish Market, Case: 17-19-03. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2022-022** conditionally approving a DRP to remodel the existing Fish Market which includes modifications to the existing entry, entry waiting area, garbage enclosure, signage, perimeter landscape and to enlarge an outdoor patio at 640 Via de La Valle, Solana Beach.

[Item B.1. Report \(click here\)](#)

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B.2. Public Hearing: 661-781 South Nardo Ave. and 821 Stevens Ave., Applicant: H.G. Fenton, Case: DRP MOD 20-002. (File 0600-40)

The proposed Project meets the minimum objective requirements under the SBMC, can be found to be consistent with the General Plan and the LCP LUP, and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP Modification and SDP waiver. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Adopt **Resolution 2022-006** conditionally approving a DRP Modification and SDP waiver for the Solana Highlands project modifications described herein, a residential community and affordable senior housing project previously approved on December 17, 2018, at 661-781 South Nardo Avenue and 821 Stevens Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

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C. STAFF REPORTS: (C.2. – C.3.)

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C.2. Mid-Year Budget Adjustments FY 2021-22. (File 0330-30)

Recommendation: That the City Council

1. Adopt **Resolution 2022-025**
 - a. Authorizing creation of the Information Technology (IT) Director position and job description.
 - b. Approving adjustments to the Fiscal Year (FY) 2021-2022 Part-time/Temporary/Seasonal Salary Schedule and the Fiscal Year (FY) 2021-2022 Executive and Management Salary Schedule.
 - c. Approving revised appropriations in the Fiscal Year 2021-22 Adopted Budget.
 - d. Authorize the City Treasurer to amend the FY 2021/2022 Adopted Budget accordingly.

[Item C.2. Report \(click here\)](#)

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C.3. Quarterly Investment Report. (File 0350-44)

Recommendation: That the City Council

1. Accept and file the attached Cash and investment Report for the quarter ended December 31, 2021.

[Item C.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 23, 2021

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary- Harless, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate-Harless. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- h. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-Harless
- j. Regional Solid Waste Association (RSWA): Primary-Harless, Alternate-Zito
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-Harless, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Edson
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Heebner
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, Harless
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission: Primary-Zito, Alternate-Becker

ADJOURN:

Next Regularly Scheduled Meeting is March 23, 2022

Always refer the City's website Event Calendar for Special Meetings or an updated schedule.
Or Contact City Hall 858-720-2400

www.cityofsolanabeach.org

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the March 9, 2022 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on March 3, 2022 at 9:00 a.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., March 9, 2022, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Megan Bavin, Deputy City Clerk * City of Solana Beach, CA

CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

MINUTES

Joint – Closed Session

Wednesday, January 12, 2022 ♦ 5:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California
This meeting will be conducted in accordance with Government Code sections 54953(e) and 54954.3 and other applicable law.

CITY COUNCILMEMBERS

Lesa Heebner, Mayor

Kelly Harless
Deputy Mayor

David A. Zito
Councilmember
District 1

Jewel Edson
Councilmember
District 3

Kristi Becker
Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Kelly Harless, David A. Zito, Jewel Edson, Kristi Becker,
Absent: None
Also Greg Wade, City Manager
Present: Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):

Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.

CLOSED SESSION:

1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(e)(3)
Claim: RISK.21-22.05 Janet Hunter

2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)
One (1) Potential case.

No Reportable Action

ADJOURN:

Mayor Heebner adjourned the meeting at 5:45 p.m.

Angela Ivey, City Clerk Council

Approved _____



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

MINUTES

Joint REGULAR Meeting

Wednesday, January 12, 2022 * 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

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Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

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Councilmember
District 3

Kristi Becker
Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

See Public Participation on the first page of the Agenda for publication participation options.

READING OF ORDINANCES AND RESOLUTIONS:

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CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:00 p.m.

Present: Lesa Heebner, Kelly Harless, David A. Zito, Jewel Edson, Kristi Becker,

Absent: None

Also Greg Wade, City Manager

Present: Johanna Canlas, City Attorney

Angela Ivey, City Clerk

Dan King, Assistant City Manager

Mo Sammak, City Engineer/Public Works Dir.

Ryan Smith, Finance Dir.

Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

PRESENTATIONS: *Ceremonial items that do not contain in-depth discussion and no action/direction.*

SDG&E Via de la Valle Utility Line Reconfiguration

Joseph Gabaldon, Public Affairs Manager, introduced the item and SDG&E staff.

Kelli Fitzgerald, project manager, presented a Powerpoint (on file) reviewing the project.

Claudia Valenzuela, Public Affairs projects, said that they had been in communication with the Fairgrounds regarding events and had met with Solana Beach and Del Mar.

Council and the public speakers

discussed the plans in place to make sure traffic was not at a standstill during events but permitting work from 9:00 p.m. to 5:00 a.m., providing a detour for lane closures, waiting to start work until after some major events are over which would take them to around a May-August timeframe. Discussion continued regarding certain poles that run down the south side of Via de la Valle would not be a part of this project, that the project goal is to remove existing transmission lines but reconfigure another existing transmission line by installing a new underground section in Via de La Valle, they will be undergrounding two existing overhead circuits, that the undergrounding of transmission lines is being done under the Public Utilities Commission process.

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Becker and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS:

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Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Camilla Rang spoke about NCTD proposing a 1.7 mile long "ecologically and geologically destructive" fence prohibiting public access through these areas, that it was not in line with the Coastal Act or the desires of Del Mar, the lack of negotiation with surrounding cities on the height or placement of fences, having sent emails and letters to NCTD, Del Mar, and the California Coastal Commission pleading with them to stand up for the Coastal Act as co-applicants to the fencing grant that NCTD was relying on, and she requested that Council advise its NCTD board members to vote no on Jan 20th to protect the Coastal Act.

John Stahl spoke about NCTD holding a vote to approve fencing along Del Mar's entire upper bluff and an additional fencing track level for 1.7 mi. that would eliminate beach access. He said that drilling 2,000 fence post holes 3 ft. deep and filled with concrete would allow more water intrusion into an already fragile bluff, that the Coastal Commission issued a letter on January 5th that called the north county plan disjointed and ineffective and potentially result in

significant adverse impacts to coastal access and recreation, prevent natural erosion of the beach and would disrupt or eliminate pedestrian access. He asked Council to influence anyone who sat on the North County Transit Board to vote no on this ill-conceived fencing plan.

Drew Cady spoke about the proposed “damaging of the natural landscape” along coastline to fence off the 1.7 mi. of trails along the beach, Del Mar proposing that NCTD limit the installation of fencing from Coast Blvd. at the North end to 13th St. and increase safety signage which aligns with the safety records along with the tracks through Del Mar, that NCTD data showed the number of fatal and non-fatal incidents occurring between Coast Blvd. and 13th St. was higher than other stretches along the coaster track of north county, and moving forward without a geotechnical or environmental review could ruin the City of Del Mar and public beach access.

Mike Maier spoke about NCTD focusing on improving safety in this area by installing signage and track lights, the fencing of the upper bluff of a residential area that has no current access was overreach and unjustified, installing a fence on the upper bluff would expose dozens of homes to erosion causing a dangerous situation, and NCTD’s ability to fence without Coastal Commission approval meant that the Commission will no longer be able to protect the coastline.

Brad Klos presented a PowerPoint (on file) and spoke about wood-smoke contributing to air pollution in Solana Beach, facts of the AQI (Air Quality Index) in different areas of the city, there being no fire wood burning bans in San Diego County, one fireplace in a neighborhood creating more pollution in one hour than 30 cigarettes, a difference with Orange County woodsmoke ban comparing to San Diego County which had no bans, educating residents on how this could affect their health, and considering the creation of a wood pollution ordinance similar to the current noise pollution ordinance.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.9.)

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Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for November 6, 2021 – December 17, 2021.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk’s Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.2. General Fund Budget Adjustments for Fiscal Year 2021/2022. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2021/2022 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.3. 2022 Council Meeting Schedule. (File 0410-05)

Recommendation: That the City Council

1. Review, edit, and/or approve a 2022 anticipated Council Meeting schedule with proposed cancellations and/or additional meetings.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.4. 2020 Sewer & Storm Drain Rehabilitation Project. (File 1040-26)

Recommendation: That the City Council

1. Adopt Resolution **2022-005**:
 - a. Authorizing the City Council to accept, as complete, the 2020 Sewer & Storm Drain Rehabilitation Project, Bid No. 2020-01, performed by Southwest Pipeline & Trenchless Corporation.
 - b. Approving a change order in the amount of \$38,759 with Southwest Pipeline and authorizing the City Manager to execute the change order.
 - c. Authorizing an appropriation of \$14,487 to the project budget unit from the General Fund.
 - d. Authorizing the City Treasurer to amend the Fiscal Year 2021/22 Adopted Budget accordingly.
 - e. Authorizing the City Clerk to file a Notice of Completion.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.5. Successor Agency Recognized Obligation Payment Schedule (ROPS) 2022-23 and Administrative Budget. (File 0115-30)

Recommendation: That the Successor Agency

1. Receive the Successor Agency's enforceable obligations payment information and administrative budget for the period July 1, 2022 to June 30, 2023.
2. Adopt **Resolution SA-029** approving the SA Administrative Budget for July 1, 2022 to June 30, 2023.
3. Adopt **Resolution SA-030** approving the ROPS 22-23 for July 1, 2022 to June 30, 2023.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.6. Community Development Block Grant – Corona Virus (CDBG-CV) Funding for Community Resource Center's Food and Nutrition Center Program.

(File 0390-32)

Recommendation: That the City Council

1. Adopt **Resolution 2022-002:**
 - a. Approving the funding allocation of \$29,715 from the CDBG-CV Fund to Community Resource Center to administer the Food and Nutrition Center Program to benefit Solana Beach residents impacted by the Coronavirus pandemic.
 - b. Authorizing the City Manager to submit an application and any other necessary documents to the County to approve the Food and Nutrition Center Program as an authorized use of CDBG-CV funding and get reimbursement.
 - c. Authorizing the City Manager to execute a contract with the County for management and implementation of the CDBG-CV program and such other agreements, memoranda of understanding and documents related thereto.
 - d. After the contract with the County is executed, authorizing the City Manager to execute an agreement with the Community Resource Center in the amount of \$29,715 to administer the Food and Nutrition Center Program.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve.

Approved 5/0. Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.7. EDCO Franchise Agreement Amendment. (File 1030-15)

Recommendation: That the City Council

1. Adopt **Resolution 2022-004** approving Amendment 1 to the EDCO Franchise Agreement to address State organics recycling mandates.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve.
Approved 5/0. Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.8. State Parks Grant Application for Beach Restoration and Shoreline Erosion.
(File 0610-12)

Recommendation: That the City Council

1. Adopt **Resolution 2022-001** authorizing submittal of a Grant application to the State of California Department of Parks and Recreation, Division of Boating and Waterways and authorize the City Manager to act on behalf of the City of Solana Beach, in consultation with the City Attorney, to negotiate and execute all agreements and amendments necessary to comply with the State Parks, Division of Boating and Waterways grant requirements.

[Item A.8. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve.
Approved 5/0. Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

A.9. Local Emergency Teleconferencing. (File 0240-25)

Recommendation: That the City Council

1. Adopt **Resolution 2022-008** authorizing remote teleconference meetings of the legislative bodies of the City for the period of January 12, 2022 through February 11, 2022 pursuant to the new provisions of the Brown Act.

[Item A.9. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Deputy Mayor Harless and second by Councilmember Becker to approve.
Approved 5/0. Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

D. PUBLIC HEARINGS: (D.1.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

D.1. Redistricting Process. (File 0430-60)

Recommendation: That the City Council

1. Receive Staff Report.
2. Conduct second public hearing.
3. Review submitted draft maps; and/or
4. Provide instructions to demographic consultant.

[Item D.1. Report \(click here\)](#)

[Item D.1. Supplemental Docs \(upd 1-12-22 at 12:57pm\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

Shannon Kelly presented a PowerPoint (on file).

Council, Staff, and Consultant discussed Maps 101 and 102, why the change in population was not taken from District 3 and allocating it to District 2, that the initial draft maps were created making the fewest or minimal changes to the current districts and then looking for further direction for District 2 and 3 from Council.

Tracy Richmond stated that he and Gary Martin submitted a letter proposing a map they labeled 100A that constituted minimal changes for District 2 and District 3, that preserved the core of the existing districts, and that he did not support maps that divided neighborhoods as it changed the 2 Districts that needed to be balanced and created unnecessary changes to District 4 and 1.

Vicky Driver said that she was speaking for Santa Fe Hills HOA and requesting a total of 408 neighborhood homes to be considered as a community of interest, that they should be considered geographically contiguous in one Council district, the current Districts have their HOA in District 1 and District 4, that they would like to be included with other HOA's on the east side of I-5, and asked Council to consider this change as they proceed with the revised districting procedures.

Council, Staff, and Consultant discussed the possibilities for shifting population from District 3 to District 2, take two communities of interest into consideration who didn't have their needs met which were Santa Fe Hills HOA and Blufftop condos as they believe they have representation, that Districts were interested in sharing the train station, the coastline, San Dieguito Park, School, and trying to keep HOA's together. They discussed that redistricting was made in an effort to meet criteria that included having multiple districts along the coast, freeway, commercial zones, keeping HOA's intact, along with La Colonia in a single district.

Council discussed providing more time to the public for review and submittals by moving the next redistricting meeting from February 23rd to March 9th.

Council reached consensus to move the next re-districting meeting to March 9th.

Mayor Heebner recessed the meeting at 7:15 p.m. for a break and reconvened at 7:25 p.m.

B. PUBLIC HEARINGS: (B.1. – B.2.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

B.1. Public Hearing Continued: 211 Ocean St., Applicant: Blakely, Case: DRP21-004/ SDP21-004. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the continued Public Hearing: Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2021-128** conditionally approving a DRP and SDP to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated site improvements at 211 Ocean Street, Solana Beach.

[Item B.1. Report \(click here\)](#)

[Item B.1. Updated Report #1 \(added 1-12-22\)](#)

[Item B.1. Supplemental Docs \(upd. 1-12-22 at 10:45am\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item that was continued from the November 10, 2021 Council meeting.

Katie Benson, Sr. Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Council and Staff discussed the SDP waiver, view impairments, and View Assessment

Commission noticing.

Ford Blakely, Applicant, presented a PowerPoint (on file) reviewing the changes to the project.

Michelle Stribling said that she lived across the street, that she saw the impact of the proposed southeastern deck that was still very large and looked into Ms. Carome's home, that would block the light to her home, and looked down into the privacy of her home.

Julie Hamilton (time donated by Asli Carome and Ronald Everett) presented a PowerPoint (on file) reviewing the remaining issues from the proposed project that would impact the neighbor's privacy, a significant shadowing effect on Ms. Carome's home, an outdoor living space of 1,140 sq. ft., the bulk and scale, and options to remove the second-floor balcony or move it further back to reduce the privacy issue and lessen the bulk and scale.

Dave Babbe said that he lived east of the Blakely's home, that he agreed with the issues of bulk and scale and impacts on privacy, that it would interfere with the light to his home in the afternoon in the backyard and the house, and recommended that Council approve the project with the two modifications proposed by Ms. Hamilton

Monty James said that he was a local real estate agent who had managed Ms. Carome's home for the last few years while she was away working and that he agreed with the recent speakers that the large deck would negatively impact Ms. Carome's home value.

Erin McBriar said that she supported the Blakely's project, she lived west of the project, that they were able to compromise and share in the cost of a mutually beneficial wall between their properties, that the Blakely's had been proactive showing the plans before story poles were erected, and that their new plan of pulling back the deck was a good compromise to that side of the house.

Ford Blakely, Applicant, (rebuttal time) said that they had focused on removing chimneys, raising windows, moving back the deck in line with the roofline, that the daylight planes were in compliance with the City regulations preserving plenty of abundant daylight, that they had worked with the neighbors to accommodate their concerns, they had received support with no comments from neighbors, and that most of the issues presented now were new. He said that in their initial conversion with Ms. Carome she has expressed her thoughts that they had blocked her ability to build a roof deck, which was not true since the City did not grant her the roof deck, that they had asked Ms. Carome for a small change when she submitted her deck proposal when she made it, they retracted their view claim, and that her prior roof deck proposal would have looked onto their property if it had been built.

Johanna Canlas, City Attorney, said that the resolution that outlined the specific findings that the Council was required to make, that privacy was not included nor required to be protected, that there was no right to privacy, and that Council can take it into consideration with the bulk, mass, and scale.

Council, Staff, and Applicant discussed how privacy does not fall into the findings of projects, concerns about bulk and scale, making further adjustments so the 2nd story deck so as not to overpower the neighbors on the east side, the Applicant's efforts to make some changes in response to the prior Council meeting, to consider removing the cover over the deck, moving back the 2nd story deck 10 ft. or more, the Architect needing further time to review to see if and

how this could be done to maintain aesthetics, pulling back the 2nd story would help reduce the bulk, mass, and scale of the outside covered decks, and whether to vote on the existing project or continue the item for time to redesign.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Harless **to continue the public hearing until February 9, 2022.**

Approved 5/0. Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

B.2. Public Hearing: 135 S. Sierra Ave., Applicant: Las Brisas Homeowners Association, Case: DRP21-012, SDP21-014. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2022-007** conditionally approving a DRP and SDP to add an elevator to an existing multi-family residential development at 135 S. Sierra Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

[Item B.2. Supplemental Docs \(upd. 1-12-22 at 5:15pm\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

Joe Lim, Community Development Dir., presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Brian Caine, Applicant, said that they were available for questions.

Renee Wrestler, HOA President, said that they were proud of the transformation of the property and that the elevator was important to their community.

Motion: Moved by Councilmember Becker and second by Deputy Mayor Harless to close the public hearing. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

Motion: Moved by Councilmember Becker and second by Deputy Mayor Harless to approve. **Approved 5/0.** Ayes: Heebner, Harless, Zito, Edson, Becker. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.1.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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C.1. Council Boards, Committees, & Commissions Mid-Term Review. (File 0410-05)

Recommendation: That the City Council

1. Review the Regional Boards/Commissions/Committees and make alternate appointments, if necessary.
2. Review Council Standing Committees and make alternate appointments, if necessary.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

No changes.

COMPENSATION & REIMBURSEMENT DISCLOSURE: None

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 8:38 p.m.

Angela Ivey, City Clerk

Council Approved _____



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 02/05/22 through 02/18/22		
Check Register-Disbursement Fund (Attachment 1)		\$ 870,554.46
Retirement Payroll	February 9, 2022	3,699.00
Council Payroll	February 10, 2022	13,260.00
Federal & State Taxes	February 10, 2022	384.95
Net Payroll	February 18, 2022	223,605.12
Federal & State Taxes	February 18, 2022	<u>42,945.57</u>
 TOTAL		 \$ <u><u>1,154,449.10</u></u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for February 5, 2022 through February 18, 2022 reflects total expenditures of \$1,154,449.10 from various City sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

2/5/2022 - 2/18/2022

Department Vendor	Description	Check/EFT Number	Amount
100 - GENERAL FUND			
ICMA PLAN 302817	M17 021822	9000429	\$42,937.68
SOLANA BEACH FIREFIGHTERS ASSOC	M17 021822 DUES	9000431	\$813.50
US BANK	JS-REIMB CALCARD PURCHASE	101347	\$5.99
ICMA RHS 801939	M17 022218 RHA	9000430	\$2,144.57
WEAVER EMPIRE INC.	RFND-SBGR-383/984 AVOCADO	101343	\$11,343.19
BARBARA PRUETT	RFND-SBGR-397/970 AVOCADO	101298	\$32,401.00
STERLING HEALTH SERVICES, INC.	MC8 FSA PR CONT/MC7 ARREARS	9000432	\$237.50
STERLING HEALTH SERVICES, INC.	MC8 FSA PR CONT/MC7 ARREARS	9000432	\$8.33
STERLING HEALTH SERVICES, INC.	M16 FSA CONTRIBUTION FUNDING	9000432	\$1,343.75
STERLING HEALTH SERVICES, INC.	M16 FSA CONTRIBUTION FUNDING	9000432	\$439.77
MARK BARR	RNFD-SBGR-337/225 PACIFIC	101317	\$11,150.00
TOTAL GENERAL FUND			\$102,825.28
1005150 - CITY CLERK			
IRON MOUNTAIN	RECORDS STORAGE-FEB	101313	\$521.12
STAPLES CONTRACT & COMMERCIAL	2988873591-LETTER OPENER	101335	\$3.00
STAPLES CONTRACT & COMMERCIAL	2988900321-TAPE/BATTERIES	101335	\$48.79
STAPLES CONTRACT & COMMERCIAL	2988902051-PAPER/BINDER CLIPS	101335	\$44.87
STAPLES CONTRACT & COMMERCIAL	2990312301-ENVELOPES	101335	\$95.89
STAPLES CONTRACT & COMMERCIAL	2997600711-PAPER/ENVELOPES	101335	\$98.25
STAPLES CONTRACT & COMMERCIAL	2999313841-FACE MASKS	101335	\$48.46
STAPLES CONTRACT & COMMERCIAL	3003824241-PLANNER	101335	\$13.98
STAPLES CONTRACT & COMMERCIAL	3003826231-MARKER/NOTEBOOK	101335	\$8.98
US BANK	AI-LAW & ELECTION SEMINAR	101347	\$200.00
US BANK	AI-ELECTION FORMS/HANDBOOKS	101347	\$252.12
US BANK	AI-TAPE	101347	\$6.47
US BANK	AI-SEMINAR HOTEL	101347	\$524.28
US BANK	AI-CCAC MEMBERSHIP	101347	\$200.00
US BANK	AI-REDISTRICTING TRANSLATION	101347	\$240.00
UNION TRIBUNE-CIRCULATION CASHIER	15576486-2022 SUBSCRIPTION	101338	\$465.37
ROBERT HALF	FRONT DESK COVERAGE WK END-01/28/22	101326	\$1,642.47
ROBERT HALF	FRONT DESK-02/04/22	101326	\$1,652.80
TOTAL CITY CLERK			\$6,066.85
1005300 - FINANCE			
KOPPEL & GRUBER PUBLIC FINANCE	ANNUAL ADMN SVC/BENEFIT FEE ASSMNT-OCT-DEC	101351	\$554.98
BARTEL ASSOCIATES, LLC	GASBS 75 REPORT-OCT	101299	\$2,800.00
BARTEL ASSOCIATES, LLC	GASBS 75 REPORT/OPEB VALUATION-NOV	101299	\$8,400.00
TOTAL FINANCE			\$11,754.98
1005400 - HUMAN RESOURCES			
SHARP REES-STEALY MEDICAL CTRS INC	PRE-EMPLOYMENT SCREENING	101332	\$109.00
RYAN PESTER	BS FIRE ADMIN-PESTER	101327	\$705.00
DEPARTMENT OF JUSTICE	FINGERPRINT APP-JAN	101309	\$32.00

CLEAR LAW INSTITUTE	ONLNE TRAINING-1YR	101303	\$528.00
COASTAL LIVE SCAN AND INSURANCE SERVICES, INC	FINGERPRINT-S BOSTROM	101305	\$25.00
TOTAL HUMAN RESOURCES			\$1,399.00
1005450 - INFORMATION SERVICES			
COX COMMUNICATIONS INC	CITY INTERNET 01/06-02/05-FC	101307	\$67.39
COX COMMUNICATIONS INC	CITY INTRERNET-01/19-02/18-CH	101307	\$313.11
GRANICUS INC	FY22 COUNCIL WEB HOST	101312	\$3,852.00
VERIZON WIRELESS-SD	670601022-1-11/24-12/23	101341	\$152.04
AT&T CALNET 3	9391053641-11/24-12/23	101296	\$166.16
AT&T CALNET 3	9391053641-12/24-01/23	101296	\$166.16
AT&T CALNET 3	9391012278-12/24-01/23	101296	\$2,985.24
AT&T CALNET 3	9391012282-12/24-01/23	101296	\$21.14
AT&T CALNET 3	9391062899-11/24-12/23	101296	\$166.16
AT&T CALNET 3	9391062899-12/24-01/23	101296	\$166.16
MANAGED SOLUTION	PROF SVC-JAN	101315	\$850.00
MANAGED SOLUTION	PROF SVC-JAN	101315	\$1,670.40
MANAGED SOLUTION	PROF SVC-12/29/21	101315	\$92.50
FISHER INTEGRATED, INC.	COUNCIL WEB STREAMING-DEC	101311	\$800.00
TING FIBER INC.	TING FIBER FEB	9000428	\$3,249.00
TING FIBER INC.	TING FIBER - JAN	9000428	\$3,249.00
TING FIBER INC.	TING FIBER - DEC	9000428	\$3,249.00
TING FIBER INC.	TING FIBER - NOV	9000428	\$3,249.00
TOTAL INFORMATION SERVICES			\$24,464.46
1005550 - PLANNING			
STAPLES CONTRACT & COMMERCIAL	PENS/POST ITS	101335	\$49.35
UT SAN DIEGO - NRTH COUNTY	PUB HRNG-DRP MOD 20-002 DRP/SDP/VRM 17-14-29	101339	\$375.87
UT SAN DIEGO - NRTH COUNTY	PUB HRNG-ORD AMND MUN CD 65852.21	101339	\$344.34
PAMELA ELLIOTT LANDSCAPE ARCHITECT	AS NEEDED-JANUARY 2022	101322	\$156.00
TOTAL PLANNING			\$925.56
1005560 - BUILDING SERVICES			
STAPLES CONTRACT & COMMERCIAL	PENS/POST ITS	101335	\$15.85
ESGIL CORPORATION	BUILDING-DEC 21	101350	\$31,980.24
ESGIL CORPORATION	BUILDING-MAY 21	101350	\$21,525.09
TOTAL BUILDING SERVICES			\$53,521.18
1005590 - PARKING ENFORCEMENT			
DATATICKET INC.	FY22 PARKING TICKET PROCESSING-DEC	101308	\$35.00
VERIZON WIRELESS-SD	442224168-1 11/24-12/23	101341	\$141.31
TOTAL PARKING ENFORCEMENT			\$176.31
1006120 - FIRE DEPARTMENT			
US BANK	EP-FIRE BINOCULARS	101347	\$113.09
US BANK	EP-FIRE GYM EQUIP	101347	\$580.67
NORTH COUNTY EVS, INC	NCEVS VEHICLE REPAIRS-2009 PIERCE	101320	\$11,934.78
NORTH COUNTY EVS, INC	NCEVS VEHICLE REPAIRS-2009 PIERCE	101320	\$8,961.08
TOTAL FIRE DEPARTMENT			\$21,589.62
1006130 - ANIMAL CONTROL			
HABITAT PROTECTION, INC	DEAD ANIMAL PICK UP-01/26/22	101323	\$350.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	FY22 ANIMAL SVC-JAN	101328	\$7,228.00
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	SD HUMANE-FEB 22	101352	\$7,228.00
TOTAL ANIMAL CONTROL			\$14,806.00

1006150 - CIVIL DEFENSE

MAX THREADS LLC	City Face Masks-DEPOSIT	101345	\$2,930.60
MAX THREADS LLC	City Face Masks BALANCE DUE	101345	\$2,574.76
TOTAL CIVIL DEFENSE			\$5,505.36

1006170 - MARINE SAFETY

US BANK	EM-SUNGLASSES	101347	\$106.68
US BANK	EM-WETSUIT	101347	\$268.13
US BANK	JS-PORTABLE/EMERGENCY LIGHTS	101347	\$2,162.50
US BANK	GU-CLEANER/UMBRELLA	101347	\$118.52
US BANK	GU-FLAGS	101347	\$43.06
US BANK	GU-WETSUIT	101347	\$268.13
US BANK	GU-MEETING SUPPLIES	101347	\$7.38
US BANK	JS-CALENDARS/PLANNER	101347	\$184.93
US BANK	JS-SPACE HEATERS	101347	\$57.94
US BANK	JS-DOOR SCRAPER MAT	101347	\$120.00
US BANK	RM-2022 TIDE BOOKS	101347	\$710.21
US BANK	JP-BATTERIES/CABLE TIES/EYE WASH BOTTLES	101347	\$70.74
US BANK	JP-WETSUIT	101347	\$268.13
US BANK	JP-WINDOW CLEANER	101347	\$20.54
US BANK	JP-HAND BROOM	101347	\$18.08
US BANK	JP-SCUBA EQUIP	101347	\$66.52
CULLIGAN OF SAN DIEGO	DRINKING WATER-FEB	101349	\$52.83
AT&T CALNET 3	9391053651-11/25-12/24	101296	\$277.99
AT&T CALNET 3	9391053651-12/25-0124	101296	\$255.42
AT&T CALNET 3	9391012281-11/25-12/24	101296	\$66.90
AT&T CALNET 3	9391012281-12/25-01/24	101296	\$65.12
WORLD ADVANCEMENT OF TECH FOR EMS	LIFEGUARD SUPPORT/MAINTENANCE-FEB 22-JAN 23	101344	\$3,000.00
TOTAL MARINE SAFETY			\$8,209.75

1006510 - ENGINEERING

US BANK	DG-PROFESSIONAL LICENSE RENEWAL	101347	\$90.00
US BANK	DG-ENG STAMP	101347	\$81.90
UNDERGROUND SVC ALERT OF SOCAL INC	DIG ALERT-JAN	101337	\$79.30
SAN DIEGUITO ENGINEERING, INC.	SURVEY MAPPING-CONSULTATION-DEC	101330	\$595.00
SANGIS	SD IMGRY PROJ 3 OF 3	101331	\$1,304.99
TOTAL ENGINEERING			\$2,151.19

1006520 - ENVIRONMENTAL SERVICES

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101319	\$13.62
AFFORDABLE PIPELINE SERVICES INC	H-STORM DRAIN MAINT	101295	\$1,140.00
AFFORDABLE PIPELINE SERVICES INC	P-STORM DRAIN MAINT	101295	\$760.00
SANTA FE IRRIGATION DISTRICT	005506-014 01/01/22-02/01/22	101353	\$279.98
US BANK	DG-APWA CHAPTER EVENT 12/7	101347	\$40.00
US BANK	DG-PET WASTE BAGS	101347	\$1,496.03
US BANK	DG-RECYCLING BINS & DOLLYS	101347	\$2,368.67
CLEAN EARTH ENVIROMENTAL SOLUTIONS	HHW-DEC	101301	\$951.24
TOTAL ENVIRONMENTAL SERVICES			\$7,049.54

1006530 - STREET MAINTENANCE

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101319	\$23.35
SANTA FE IRRIGATION DISTRICT	011695-000 01/01/22-02/01/22	101353	\$124.27
MAR-CON PRODUCTS, INC.	MANHOLE GRATE	101316	\$1,128.82

	TOTAL STREET MAINTENANCE	\$1,276.44
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1006540 - TRAFFIC SAFETY

AVONDALE INNOVATIVE PRODUCTS	SOLAR SLOW SIGN	101297	\$2,070.00
		TOTAL TRAFFIC SAFETY	
		\$2,070.00	

1006550 - STREET CLEANING

SANTA FE IRRIGATION DISTRICT	011695-000 01/01/22-02/01/22	101353	\$72.99
CLEAN STREET	STREET SWEEPING-JAN	101302	\$3,871.45
		TOTAL STREET CLEANING	
		\$3,944.44	

1006560 - PARK MAINTENANCE

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101319	\$16.54
RANCHO SANTA FE SECURITY SYS INC	SECURITY PATROL-JAN 22	101325	\$611.58
RANCHO SANTA FE SECURITY SYS INC	ALARM MONITORING-JAN 22	101325	\$264.10
SANTA FE IRRIGATION DISTRICT	005979-005-DEC-JAN	101353	\$247.75
SANTA FE IRRIGATION DISTRICT	005506-018-JAN	101353	\$263.73
SANTA FE IRRIGATION DISTRICT	005506-019-JAN	101353	\$584.35
		TOTAL PARK MAINTENANCE	
		\$1,988.05	

1006570 - PUBLIC FACILITIES

DIXIELINE LUMBER CO INC	CORNER/MENDING BRACES	101310	\$18.64
DIXIELINE LUMBER CO INC	TOILET BOWL CLEANER/LINEN SPRAY	101310	\$22.16
DIXIELINE LUMBER CO INC	SCREWDRIVER/KNIFE	101310	\$18.21
LEE'S LOCK & SAFE INC	LOCK REPAIR-CH	101314	\$124.50
CONSOLIDATED ELECTRICAL DIST INC	BALLASTS LAMPS	101306	\$172.40
SHURLOCK FENCE COMPANY	STEEL POSTS INSTALLED	101333	\$1,000.00
OFFICE DEPOT INC	2 DRAWER CABINET	101321	\$549.51
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-CH	101300	\$128.91
		TOTAL PUBLIC FACILITIES	
		\$2,034.33	

1007110 - GF-RECREATION

US BANK	KW-EVENT FLYER TRANSLATION	101347	\$74.97
US BANK	KW-TREE LIGHTING EVENT SUPPLIES	101347	\$643.72
		TOTAL GF-RECREATION	
		\$718.69	

1355200 - ASSET REPLACEMENT-CTY MNGR

TYLER TECHNOLOGIES, INC.	IMPLMNTN/PROJ MNGMNT	101336	\$1,025.00
		TOTAL ASSET REPLACEMENT-CTY MNGR	
		\$1,025.00	

1355300 - ASSET REPLACEMENT-FINANCE

TYLER TECHNOLOGIES, INC.	IMPLMNTN/PROJ MNGMNT	101336	\$7,935.00
		TOTAL ASSET REPLACEMENT-FINANCE	
		\$7,935.00	

1356170 - ASSET REPLACEMENT-MARN SFTY

CONNECTIVITY LLC/MAKAI SURF	5 RESCUE BOARDS	101348	\$1,885.62
ARANCIA INDUSTRIES LIMITED	INFLATABLE RESCUE BOAT- PART 1 OF 2 PYMNT	20922	\$8,744.17
SAN DIEGO OCEAN ENTERPRISES, INC.	OE Dive Gear-SURE LOCK	101329	\$796.27
SAN DIEGO OCEAN ENTERPRISES, INC.	OE Dive Gear-WISDOM PRO PACK	101329	\$1,209.38
		TOTAL ASSET REPLACEMENT-MARN SFTY	
		\$12,635.44	

1605360 - OPEB OBLIGATION

MIDAMERICA	CITYSOLANAG5-FEB 22	9000425	\$6,450.00
		TOTAL OPEB OBLIGATION	
		\$6,450.00	

2037510 - HIGHWAY 101 LANDSC #33

KOPPEL & GRUBER PUBLIC FINANCE	ANNUAL ADMN SVC/BENEFIT FEE ASSMNT-OCT-DEC	101351	\$730.61
		TOTAL HIGHWAY 101 LANDSC #33	
		\$730.61	

2047520 - MID 9C SANTA FE HILLS

SANTA FE IRRIGATION DISTRICT	005979-011-DEC-JAN	101353	\$245.65
SANTA FE IRRIGATION DISTRICT	005979-012-DEC-JAN	101353	\$117.34
SANTA FE IRRIGATION DISTRICT	005979-006-DEC-JAN	101353	\$547.42
SANTA FE IRRIGATION DISTRICT	005979-007-DEC-JAN	101353	\$590.19
SANTA FE IRRIGATION DISTRICT	005979-009-DEC-JAN	101353	\$535.20
SANTA FE IRRIGATION DISTRICT	005979-010-DEC-JAN	101353	\$288.42
SANTA FE IRRIGATION DISTRICT	005979-014-JAN	101353	\$298.92
SANTA FE IRRIGATION DISTRICT	005979-015-JAN	101353	\$255.91
SANTA FE IRRIGATION DISTRICT	005979-016-JAN	101353	\$326.29
SANTA FE IRRIGATION DISTRICT	005979-017-JAN	101353	\$61.56
SANTA FE IRRIGATION DISTRICT	005979-024-JAN	101353	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-025-JAN	101353	\$279.37
SANTA FE IRRIGATION DISTRICT	005979-026-JAN	101353	\$373.21
SANTA FE IRRIGATION DISTRICT	005979-018-JAN	101353	\$61.56
SANTA FE IRRIGATION DISTRICT	005979-019-JAN	101353	\$88.93
SANTA FE IRRIGATION DISTRICT	005979-020-JAN	101353	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-021-JAN	101353	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-022-JAN	101353	\$193.35
SANTA FE IRRIGATION DISTRICT	005979-023-JAN	101353	\$193.35
SANTA FE IRRIGATION DISTRICT	METER PRGMD WRONG PAYMENT	101353	\$13,262.96
KOPPEL & GRUBER PUBLIC FINANCE	ANNUAL ADMN SVC/BENEFIT FEE ASSMNT-OCT-DEC	101351	\$48.56
SANTA FE HILLS HOA	JAN'22 MONTHLY SFH MID PAYMENT	9000426	\$18,333.33

TOTAL MID 9C SANTA FE HILLS \$36,681.57

2057530 - MID 9E ISLA VERDE

KOPPEL & GRUBER PUBLIC FINANCE	ANNUAL ADMN SVC/BENEFIT FEE ASSMNT-OCT-DEC	101351	\$24.98
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TOTAL MID 9E ISLA VERDE \$24.98

2077550 - MID 9H SAN ELIJO #2

KOPPEL & GRUBER PUBLIC FINANCE	ANNUAL ADMN SVC/BENEFIT FEE ASSMNT-OCT-DEC	101351	\$26.36
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TOTAL MID 9H SAN ELIJO #2 \$26.36

2087580 - COASTAL RAIL TRAIL MAINT

SANTA FE IRRIGATION DISTRICT	005506-020-JAN	101353	\$589.02
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TOTAL COASTAL RAIL TRAIL MAINT \$589.02

2135550 - DEVELOPER PASS-THRU- PLANNING

PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$450.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$450.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$600.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$450.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$450.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	DECEMBER 2021	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$900.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$450.00
PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00

PAMELA ELLIOTT LANDSCAPE ARCHITECT	JANUARY 2022	101322	\$300.00
SUMMIT ENVIROMENTAL GROUP, INC.	SUMMIT PO 21-193 - DEC	9000427	\$2,070.00
SUMMIT ENVIROMENTAL GROUP, INC.	SUMMIT PO 21-193	9000427	\$2,875.00
TOTAL DEVELOPER PASS-THRU- PLANNING			\$11,695.00
2206510 - TRANS DEVELOP ACT (TDA)			
MICHAEL BAKER INTERNATIONAL, INC	9382 LSF CORR-DEC	101318	\$24,624.00
TOTAL TRANS DEVELOP ACT (TDA)			\$24,624.00
2286510 - TRANSNET EXTENSION-CIP			
MICHAEL BAKER INTERNATIONAL, INC	9382 LSF CORR-DEC	101318	\$2,736.00
TOTAL TRANSNET EXTENSION-CIP			\$2,736.00
2466150 - PER CAPITA GRANT-CIP			
POPSHAP LLC	2022 ANNUAL SUPPORT	101324	\$1,041.39
TOTAL PER CAPITA GRANT-CIP			\$1,041.39
2706170 - PUBLIC SAFETY- MARINE SAFETY			
US BANK	JP-MEDICAL SUPPLIES	101347	\$224.90
US BANK	JS-PATIENT MASKS	101347	\$38.45
TOTAL PUBLIC SAFETY- MARINE SAFETY			\$263.35
4506190 - SAND REPLNSHMNT/RETENTION			
COASTAL FRONTIERS INC	9926 SHORELINE MNTRNG-NOV21-JAN22	101304	\$5,101.00
SIEMENS INDUSTRY, INC	SURF MONITORING CAMERA	101334	\$11,996.00
WARWICK GROUP CONSULTANTS, LLC	9926.22 PROF SVC-JAN	101342	\$4,945.00
TING FIBER INC.	TIDE PARK SIS ACCESS	101346	\$225.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	INSTALLATION BRI ACCESS TIDE PARK	9000428	\$8,000.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
TING FIBER INC.	TIDE PARK SIS ACCESS	9000428	\$450.00
SUMMIT ENVIROMENTAL GROUP, INC.	SUMMIT PO 21-38 L5 - JAN	9000427	\$1,840.00
SUMMIT ENVIROMENTAL GROUP, INC.	SUMMIT PO 21-38 L5 - DEC	9000427	\$3,220.00
TOTAL SAND REPLNSHMNT/RETENTION			\$38,027.00
4596510 - MISC.CAPITALPROJECTS-ENG			
VAN DYKE LANDSCAPE ARCHITECTS	LINE 02-9438 FC PRK DSN-DEC	101340	\$1,345.00
VAN DYKE LANDSCAPE ARCHITECTS	LINE 01-9438 FC PRK DSN-DEC	101340	\$183.88
TOTAL MISC.CAPITALPROJECTS-ENG			\$1,528.88
5097700 - SANITATION			
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	101319	\$9.73
AFFORDABLE PIPELINE SERVICES INC	I-SEWER CLEANING	101295	\$425.00
SANTA FE IRRIGATION DISTRICT	005506-014 01/01/22-02/01/22	101353	\$839.96
SANTA FE IRRIGATION DISTRICT	005979-008-DEC-JAN	101353	\$82.85
US BANK	DG-PROFESSIONAL LICENSE RENEWAL	101347	\$90.00
MAR-CON PRODUCTS, INC.	MANHOLE GRATE	101316	\$1,128.81
US BANK	2017 SEJPA REVENUE BOND PRINCIPAL AND INTEREST	9000433	\$219,056.25
US BANK	2017 SEJPA REVENUE BOND PRINCIPAL AND INTEREST	9000433	\$230,000.00
TOTAL SANITATION			\$451,632.60
6768560 - SO SOLANA SEWER DISTR-DS			
KOPPEL & GRUBER PUBLIC FINANCE	SOUTH SOLANA BEACH SEWER-OCT-DEC	101351	\$431.23
TOTAL SO SOLANA SEWER DISTR-DS			\$431.23

REPORT TOTAL:

\$870,554.46



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Finance
SUBJECT: **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2021/22**

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through February 23, 2022.

DISCUSSION:

The following table on the next page reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 23, 2021 (Resolution 2021-092) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of February 23, 2022

General Fund Operations

Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
Reso 2021-092	Adopted Budget	22,694,100	(20,222,560)	(916,100) (1)/(2)	\$ 1,555,440
Reso 2021-086	Crossing Guards	121,540	(48,984)	-	1,627,996
Reso 2021-096	FY22 MOU	-	(950)	-	1,627,046
Reso 2021-103	Landscaping Maintenance Services	-	(40,000)	-	1,587,046
Reso 2021-125	Street Maintenance and Repairs Project	-	-	(200,000) (2)	1,387,046
Reso 2022-019	Street Maintenance and Repairs Project	-	-	(17,500) (2)	1,369,546
Reso 2022-017	La Colonia Master Plan Update	-	-	(32,140) (2)	1,337,406
(1)	Transfers to: Debt Service for Public Facilities	-	150,100	150,100	-
(2)	Transfer to: City CIP Fund	-	1,015,640	1,015,640	-

General Fund Unreserved Balance

Action	Description	Revenues	Expenditures	Transfers from GF	Net
Reso 2021-124	FY21 Surplus- PARS Contribution	-	(455,000)	-	(455,000)

COUNCIL ACTION:

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2021-2022 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: City Manager's
SUBJECT: **Council Consideration of Resolution 2022-024 Authorizing the Fiscal Year 2022/23 Community Grant Program**

BACKGROUND:

On May 4, 2004, the City Council adopted Resolution 2004-68 approving Council Policy No. 14, establishing the Community Grant Program (Grant Program) and Application Guidelines for the Grant Program. On September 27, 2006, the City Council amended the policy to specify grant monies are only intended to be provided to non-governmental organizations.

For Fiscal Year (FY) 2022/23, the Adopted Budget allocated \$25,000 for the Grant Program. Included in the \$25,000 allocation is \$15,000 in funding from the EDCO Franchise Agreement negotiated by the City.

This item is before City Council to consider approving Resolution 2022-024 (Attachment 1) authorizing the FY 2022/23 Community Grant Program for the City of Solana Beach.

DISCUSSION:

The following is a list of key points for the implementation of the Community Grant Program for FY 2022/23:

Application Criteria

Applications will be judged and selected based upon the following criteria:

1. The applicant is a non-profit 501(c)(3) or a recognized community-based organization serving the Solana Beach community.
2. Fair and justifiable program costs (budget required).
3. Collaboration/Partnerships.
4. Leveraging of matching funds/resources.

CITY COUNCIL ACTION: _____

5. Originality and creativity. Priority will be given to projects or programs which are new and unique to the community, or which provide a new or unique twist on an existing program.
6. Applicants must submit a financial conditions statement (Balance Sheet) as well as the applicant(s) revenue/expenditure statements and tax return statements for the prior operating year.
7. Completion of project between the grant award and May 31, 2023 (an exception to the May 31, 2023 completion date can be made with proof of good cause).

Grant Award Expenditures

Grants will be funded upon approval by the City Council. Expenses must be directly related to services or materials of the proposed activity during the grant award period (date of grant approval through May 31, 2023). Grantees will be required to maintain records to support claimed expenditures and project accomplishments. Funds for the proposed project must not be used to replace or offset funding sources normally available for any portion of the project, nor be used by the applicant(s) to fund/supplement its own monetary contributions.

Grant Award Amounts

The City Council, at its own discretion, may modify the grant awards to qualified recipients based on qualifying criteria, number of qualified applications received, and purpose of request to meet policy areas as enumerated in the City Council's Work Plan to benefit the Solana Beach community.

Final Report and Receipts

Recipients will submit copies of paid receipts/invoices and a written report to the City Manager's Office to review the documents to ensure that funds were spent in compliance with the application. Applicant(s) will be required to reimburse the City of Solana Beach for any inappropriately expended funds.

Prior Financial Assistance

Information provided on the application will be used to review prior grant management and performance history. Significant non-compliance issues will be taken into consideration and may affect future funding decisions by the City Council.

Community Grant Program FY 2022/23 Key Dates:

April 28, 2022	Distribute Request for Proposals and issue press notification.
May 26, 2022	<u>Deadline for Request for Financial Assistance Applications.</u> City Manager will review each application and make recommendations based upon: <ol style="list-style-type: none">1) Completed application;2) Clear indication of the grant amount requested;3) Timely receipt of grant applications and attachments; and4) Benefit to Solana Beach and conformity with threshold criteria.
June 8, 2022	<u>First Council Review:</u> All eligible grant applications will be considered by the City Council. Review and public comment/presentations may be accepted.
June 22, 2022	<u>Final Council Review:</u> Council approves grant recipients. Following Council award, the City Manager will be directed to issue awards to recipients. Announcement of recipients will be made to the community via public notification.
May 1, 2023	Letter will be sent to FY 2022/23 recipients reminding them to submit their reports and copies of receipts by May 31, 2023.
May 31, 2023	All FY 2022/23 recipients must submit copies of paid receipts/invoices and a written report that includes the number of citizens served and outcome of grant funded activity. If no report and/or paid receipts/invoices are received, recipient will be required to immediately reimburse City of Solana Beach grant funds.
July 2023	At the City Council Meeting in July 2023, the City Manager provides the Final Report for FY 2022/23 Grant Recipients to the City Council.

If a determination is made that funds were expended inappropriately, City Council will direct recipients to reimburse the City of Solana Beach for the designated amount of award.

Electronic Submittals

The City is requesting that all grant applications be submitted electronically to dking@cosb.org and pletts@cosb.org. If, for whatever reason, the applicant does not have access to email, applicants can contact dking@cosb.org or pletts@cosb.org to make alternate plans for submittal.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The FY 2022/23 Adopted Budget includes fiscal appropriations in the amount of \$25,000 to be used to fund community grants. All fiscal appropriations are budgeted under the Mayor/City Council Fund 001-5000-5100-6532 – Contribution to Other Agencies.

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation
- Approve Staff recommendation with modifications
- Deny Staff recommendation

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council approve Resolution 2022-024 authorizing the Fiscal Year 2022/23 Community Grant Program.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2022-024
2. FY 2022/23 Application Guidelines
3. FY 2022/23 Grant Application

RESOLUTION 2022-024

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING AND AUTHORIZING THE COMMUNITY GRANT PROGRAM FOR FISCAL YEAR 2022/23

WHEREAS, the City Council approves the allocation of \$25,000 for the purpose of funding the Community Grant Program in the Fiscal Year (FY) 2022/23 Proposed Budget; and

WHEREAS, the City Council approves the solicitation and request for proposals for grant applications to be initiated on April 28, 2022 and the application period to close on May 26, 2022, at 5:00 p.m.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolves as follows:

1. That the above recitations are true and correct.
2. That the annual solicitation of grant proposals from community service organizations who meet the grant program guidelines for the Community Grant Program for the FY 2022/23 funds of \$25,000 are approved and authorized.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 9th day of March 2022, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, City Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



City of Solana Beach Community Grant Program Request for Financial Assistance FY 2022-23

APPLICATION GUIDELINES

The City of Solana Beach is soliciting grant applications until **5:00 p.m., Thursday, May 26, 2022**. The City Council has a total of \$25,000 available for community organizations. A maximum of two grant applications may be submitted per community organization. Grants will be awarded with a maximum award of \$5,000.

Request for Grants are limited to non-governmental, nonprofit organizations serving the Solana Beach community. Excluded entities include the following: County of San Diego, Municipal Organizations, Special or Water Districts, school districts or schools (but not their supporting organizations), and private individuals.

Grant Application & Documents Required

Applicants must complete the attached application form and provide the following documents:

- Summary of organization's (overall) budget
- Proposed program budget detailing costs which are fair and reasonable.
- Financial Statements including the Balance Sheet and Revenue/Expenditure Statement, and the Tax Statements filed for the prior year.
- W-9 Form
- California Franchise Tax Board Entity Status Letter showing nonprofit status

- **Non-Profit Organizations**

Organizations which have filed as a nonprofit with the State of California must attach a copy of its current year 501 (c) 3 nonprofit certification form. Organizations that are "recognized" nonprofits within the community but have not formally filed with the State, will be considered at the City Council's discretion. Note, any decision made by City Council is final in regards to the community grants process.

Program Requirements:

- Must serve the residents of Solana Beach.
- Preferred to be a new program or one that provides a new or unique aspect to an existing program. Funds are available as one-time seed-money to augment a community program.

Application Submittal and Deadline: NO LATER THAN 5:00 p.m. Thursday, May 26, 2022

It is the City's preference that completed forms be received via email to dking@cosb.org and copied to pletts@cosb.org. If email submission is not possible for an applicant, hard copies may be dropped off at City Hall 635 South Highway 101, Solana Beach, CA. 92075, Attn: Community Grants Program.

Please contact Dan King, Assistant City Manager, at (858) 720-2477 if you need additional information.



Applications will be judged and selected on the following criteria:

1. Preferences will be given towards non-profits that provide services/goods to Solana Beach groups or individuals with special economic needs that are not being met in the economic environment. These can be non-profits whose funding has been reduced or eliminated and are unable to serve these populations in need.
2. Program costs that are fair and justifiable.
3. Program originality (new and unique).
4. Consideration may be given to applications that collaborate or partner with other organizations.
5. Consideration may be given to applications which receive matching funds from other organizations.
6. Consideration may be given to applications as decided by the City Council.
7. Information provided on application will be used to review prior grant management and performance history. Significant non-compliance issues will be taken into consideration and may affect future funding decisions by the City Council.

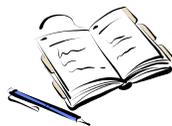
Grant Award and Expenditures:

The City Council, at its discretion, may modify the grant award to qualified recipients based on qualifying criteria, number of qualified applicants received, and purpose of request to meet areas as enumerated by the City Council that benefit the Solana Beach community. The total of all grant awards may not exceed \$25,000.

Grants will be funded after the approval of the awards by the City Council. Expenses must be directly related to services or materials of proposed activity during the grant award period (Date of Grant Approval through May 31, 2023). Grantees will be required to maintain records to support claimed expenditures and project accomplishments. Funds for the proposed project must not be used to replace or offset funding sources normally available for any portion of the project, nor be used by the applicant to fund/supplement its own monetary giving.

Final Report and Receipts:

The City Manager's Office will review submitted copies of paid receipts/invoices and a written report to ensure that funds were spent in compliance with the approved application. Applicant(s) will be required to reimburse the City of Solana Beach all inappropriately spent funds.



PROGRAM FY 2022-23 KEY DATES:

- April 28, 2022** Distribute Grant Program Application, have it available and solicit for applications.
- May 26, 2022** **DEADLINE for Request for Financial Assistance Applications (5:00pm)**. The City Manager's Office will review each application and make recommendations based upon:
- 1) Completed application;
 - 2) Clear indication of the grant amount requested;
 - 3) Receipt of grant application before the deadline WITH attachments;
 - 4) Benefit to Solana Beach community and conformity with threshold criteria.
- June 8, 2022** **First Council Review**: All eligible grant applications for Fiscal Year 2022-23 will be considered by City Council. Review and public comment/presentations will be accepted.
- June 22, 2022** **Final Council Review**: Council makes decision and approves grant recipients. The City Manager will be directed to issue awards to recipients. Announcement of grant award recipients is made to community via public notification.
- May 1, 2023** Letter will be sent to FY 2022-23 grant recipients reminding them to submit their reports and copies of receipts by May 31, 2023. (Exception to the May 31, 2023 completion date can be made with proof of good cause.)
- May 31, 2023** All FY 2022-23 grant recipients must submit copies of paid receipts/invoices and written report, that includes the number of citizens served and outcome of grant funded activity. If no paid receipts/invoices are received, recipient will be required to immediately reimburse City of Solana Beach grant funds.

All grant recipients' final reports will be submitted before the City Council for approval of expenditures. If determination is made that funds were expended inappropriately, Council will direct Grant recipients to reimburse the City of Solana Beach for the designated amount of award.



**City of Solana Beach
Community Grant Program
Request for Financial Assistance
FY 2022-23 APPLICATION**

All Applications MUST BE RECEIVED by 5:00 p.m. Thursday, May 26, 2022.

Please Print Clearly or Type

All requests will be determined by the following criteria:

Name of Organization: _____
Mailing Address: _____
City _____ State _____ Zip _____
Contact Person: _____
Daytime Phone: _____
Evening Phone: _____
Email address: _____

1. W-9 must be attached
Summary of organization's budget must be attached
Proposed program budget must be attached
Financial and Tax Statements (see Application Guidelines) must be attached

2. A copy of the California Franchise Tax Board Entity Status Letter must be attached, showing exemption under Section 23701d or Internal Revenue Code section 501(c)(3)

3. Has your organization received financial assistance from the City before?
Yes • No •
If yes, what activities and which fiscal year? _____

4. Amount requested for FY 2022-23 \$ _____

5. Proposed Total Program Costs: \$ _____
(Includes all estimated costs to conduct proposed activity/program.)

6. Title of Proposed Program/Service: _____

7. Grant funds must be used for services or materials directly associated to proposed activity. Please describe how grant funds will be used:

(Attach extra sheet, if necessary.)

8. Estimated number of S.B. residents to be served by proposed program:_____

9. Program Dates/Location:

10. Anticipated Program Objectives or Accomplishments:

11. How will the organization acknowledge the City's financial contribution to the community/ beneficiaries of the proposed activity?

12. Will there be any matching funds or other grants that would be applied to this program or service? If awarded this grant, will that enable other funding sources?

13. Will volunteers be used for the proposed program or service and, if so, will they reduce expenses?

14. If the proposed program or service is only awarded partial funding, will it still move forward? Will the program or service be scaled back and/or is there a threshold at which it will not move forward?

Acknowledgment of Responsibility:

Authorized Signature assumes all responsibility for developing and implementing proposed activities or events in this application, including public acknowledgment of the City's financial contribution. Authorized signature will comply with all accounting and budget procedures outlined by the City. Authorized signature and accompanying group will hold harmless the City of Solana Beach from all losses, claims, accidents and problems associated, directly or indirectly with the development and implementation of proposed activities or events.

Authorized Signature of Organization

Date

ALL INFORMATION REQUESTED ON THIS APPLICATION MUST BE COMPLETED AS A CONDITION FOR BEING CONSIDERED FOR PUBLIC FUNDS BY THE CITY COUNCIL OF SOLANA BEACH.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: City Manager Department/City Attorney's Office
SUBJECT: **Council Consideration and Potential Adoption of Resolution 2022-023 Authorizing Continued Remote Teleconference Meetings of the Legislative Bodies of the City for the Period of March 10, 2022 through April 8, 2022 Pursuant to the Brown Act and Continuing Emergency**

BACKGROUND:

On March 11, 2020, the World Health Organization (WHO) declared COVID-19, the illness caused by the novel coronavirus, a pandemic, pointing at that time to over 118,000 cases of COVID-19 in over 110 countries and territories around the world and the sustained risk of further global spread. This was preceded by declarations of emergency by both the County of San Diego and State of California on February 14, 2020, and March 4, 2020, respectively, followed by a federal emergency declaration on March 13, 2020, as a result of the threat posed by COVID-19. On March 16, 2020, pursuant to Section 2.28.060(A)(1) of the Solana Beach Municipal Code (SBMC), the Director of Emergency Services/City Manager proclaimed a state of local emergency in the City of Solana Beach due to COVID-19, which was ratified by the City Council through adoption of Resolution 2020-036.

Since that time, there have been numerous Orders and Guidance by the California Department of Public Health (CDPH) and the Health Officer of the County of San Diego to curtail the spread of COVID-19. On March 17, 2020, Governor Newsom issued Executive Order No. N-29-20, suspending the Ralph M. Brown Act's requirements for teleconferencing during the COVID-19 pandemic provided that notice and accessibility requirements are met, the public members are allowed to observe and address the legislative body at the meeting, and that a legislative body of a local agency has a procedure for receiving and swiftly resolving requests for reasonable accommodation

COUNCIL ACTION:

for individuals with disabilities, as specified. Pursuant to Executive Order No. N-29-20, the City Council and City Commissions have met by remote teleconferencing following applicable requirements, preserving and nurturing public access and participation in meetings while preserving public health and safety.

On June 11, 2021, Governor Newsom issued Executive Order N-08-21 to roll back certain provisions of his COVID-19-related Executive Orders and to clarify that other provisions remained necessary to help California respond to, recover from and mitigate the impacts of the COVID-19 pandemic. Paragraph 42 of Executive Order N-08-21 waived and set forth certain requirements related to public meetings of local legislative bodies and specified that it would be valid through September 30, 2021.

On September 16, 2021, Governor Newsom signed into law Assembly Bill 361 (AB 361), which pertains to the same subject matter as Paragraph 42 of Executive Order N-08-21, which took effect immediately pursuant to an urgency clause, and which amended the Brown Act, in Government Code section 54953(e)(1)(B), to allow local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees.

On October 13, 2021, the City Council adopted Resolution 2021-120 authorizing remote teleconference meetings of the legislative bodies of the City for the period of October 13, 2021 through November 12, 2021 pursuant to the new provisions of the Brown Act. If the state of emergency remains active, or state or local officials have imposed or recommended measures to promote social distancing, in order to continue to remote teleconference, Government Code section 54953(e)(3) requires that every thirty (30) days, the City Council make the following findings by majority vote:

(A) The legislative body has reconsidered the circumstances of the state of emergency.

(B) Any of the following circumstances exist:

(i) The state of emergency continues to directly impact the ability of the members to meet safely in person.

(ii) State or local officials continue to impose or recommend measures to promote social distancing.

On November 10, 2021, the City Council adopted Resolution 2021-127 authorizing continued teleconference meetings of the legislative bodies of the City for the period of November 10, 2021 through December 10, 2021 pursuant to the new provisions of the Brown Act. On December 8, 2021, the City Council adopted Resolution 2021-137 authorizing continued teleconference meetings through January 7, 2022. On December 15, 2021, the City Council adopted Resolution 2021-141 authorizing continued

teleconference meetings through January 14, 2022. On January 12, 2022, the City Council adopted Resolution 2022-008 authorizing continued teleconference meetings through February 11, 2022. On February 9, 2022, the City Council adopted Resolution 2022-015 authorizing continued teleconference meetings through March 12, 2022.

The item before the City Council is to consider and adopt Resolution 2022-023 (Attachment 1), reconsidering the circumstances of the state of local emergency and authorizing remote teleconference meetings of the legislative bodies of the City for the period of March 10, 2022 through April 8, 2022 pursuant to the new provisions of the Brown Act and in light of the continuing direct impact on the ability of the members to meet safely in person.

DISCUSSION:

The COVID-19 pandemic continues to spread rapidly throughout the State and County and is impacting the health and welfare of the City of Solana Beach. Updated as of August 13, 2021, the Center for Disease Control and Prevention still recommends staying at least six (6) feet from other people. The California Department of Industrial Relations, Division of Occupational Safety and Health's COVID-19 Prevention Emergency Temporary Standards were updated on June 17, 2021 and are still in effect. Those workplace standards place an ongoing requirement on employers to assess workplace hazards and implement controls to prevent transmission of disease, noting that there may be circumstances in which employers determine that physical distancing is necessary in their workplace.

A strain of COVID-19, known as SARS-CoV-2 Delta Variant (Delta Variant), which is 70% more likely to be spread, was identified in the County of San Diego last summer. This strain was originally identified in the United Kingdom. Since persons contracting this strain in the County had no history of travel, this highly contagious strain was determined to be community based. The Delta Variant is highly transmissible in indoor settings, breakthrough cases are becoming more common and hospitalizations have increased throughout San Diego County. On July 28, 2021, the California Department of Public Health issued guidance for the use of face coverings stating that the Delta Variant is two times as contagious as early COVID-19 variants, leading to increasing infections, the Delta Variant accounts for over 80% of cases sequenced, and cases and hospitalizations of COVID-19 are rising throughout the state. In short, COVID-19 continues to threaten the health and lives of City residents.

According to the Center for Disease Control and Prevention (CDC), an even newer strain of COVID-19, known as Omicron, emerged late last year. On November 24, 2021, this new variant B.1.1.529, was reported to the World Health Organization (WHO). On November 26, 2021, WHO named B.1.1.529 Omicron and classified it as a Variant of Concern (VOC). On November 30, 2021, the United States designated Omicron as a Variant of Concern. On December 1, 2021, the first confirmed U.S. case of Omicron was identified.¹

¹ <https://www.cdc.gov/coronavirus/2019-ncov/variants/omicron-variant.html>

On December 13, 2021, the California Department of Public Health (CDPH) issued updated Guidance for the Use of Face Coverings requiring masks to be worn by all individuals in all indoor public settings, irrespective of vaccine status, for the period of December 15, 2021 through January 15, 2022, and recommending surgical masks or higher-level respirators. CDPH issued this new measure to bring an added layer of mitigation as the Omicron variant, is detected across California, the United States, and the world and is likely to spread more easily than the original SARS-CoV-2 virus and the Delta variant. CDPH additionally found this new measure would bring additional protection to individuals, families and communities during the holidays when more travel occurs, and time is spent indoors.

CDPH reported that since last Thanksgiving, the statewide seven-day average case rate has increased by 47% and hospitalizations have increased by 14%. While the percentage of Californians fully vaccinated and boosted continues to increase, we continue to have areas of the state where vaccine coverage is low, putting individuals and communities at greater risk for COVID-19. Given the current hospital census, which is at or over capacity, even a moderate surge in cases and hospitalizations could materially impact California's health care delivery system within certain regions of the state. Other states and countries with similar vaccination rates that have relaxed masking requirements are seeing surges in COVID-19 cases and increasing stress in their healthcare systems.

On December 9, 2021, the CDC reported that we do not yet know how easily Omicron spreads, the severity of illness it causes, or how well available vaccines and medications work against it. The holiday season, with attendant increases in indoor gatherings, travel and exposure to COVID-19, has only recently come to an end and increased cases as a result of the holiday season are likely to be time delayed. On January 3, 2022, the County of San Diego Health and Human Services Agency issued an Order of the Health Officer requiring isolation of persons diagnosed with, or likely to have COVID-19 to slow the spread of COVID-19 and prevent the healthcare system in San Diego County from being overwhelmed. On January 6, 2022, the WHO said a record 9.5 million cases of COVID-19 were tallied the week before, marking a 71 percent weekly surge that amounted to a "tsunami" as the Omicron variant sweeps worldwide.²

On January 17, 2022, the WHO emphasized the risk posed by possible new variants stating: "It's dangerous to assume that Omicron will be the last variant.... On the contrary, globally, the conditions are ideal for more variants to emerge." The WHO also warned that it is too early for governments to drop their guard with so many people unvaccinated.³

Hospitalization rates continue to be concerning amid record-breaking spikes both globally and locally. On January 19, 2022, the County of San Diego reported that

² <https://www.aljazeera.com/news/2022/1/6/who-record-weekly-jump-in-covid-19-cases-but-fewer-deaths>

³ <https://www.nytimes.com/live/2022/01/24/world/omicron-covid-vaccine-tests>

hospitalizations went up from 1,103 to 1,328, representing a 276% increase in confirmed hospitalizations over the past 30 days (up from a 201% increase the previous week). During the same time, intensive care unit (ICU) patients in the County went up from 171 to 199, representing a 109% increase in confirmed ICU patients over the past 30 days (up from a 76% increase the previous week). There were 32 Community Outbreaks in the County reported over the previous 7 days. The COVID-19 Case Rate (with a 7-day lag) increased again 196.4 to 346.0. 81,791 COVID-19 cases were reported in the County between January 9 and January 15, 2022, a 12.9% increase from the prior week's 72,467 reported cases. Since January 4, 2022, daily COVID-19 cases in the County exceeded 9,000 cases on four days with a high of 14,437 cases on January 9, 2022 and the lowest number of cases in a day last week was 7,460 cases on January 16, 2022. The County is continuing to expand regional COVID-19 testing to meet the increased demand brought on by the rapid spread of the Omicron variant.

There has also been a recent surge of COVID-19 cases in the City of Solana Beach. Since December 22, 2022, there have been 682 cases reported in the City making up 46% of all cases reported in the City throughout the pandemic. In the week before January 19, 2022, 124 new cases were reported in the City, while 38.7% more new cases (172) were reported in the City the previous week. The total number of COVID-19 cases in the City is now 1,541 cases.

On February 17, 2022, USA Today reported that a new study says "Stealth Omicron", a subvariant of Omicron known as BA.2 that is 1.5 times more contagious than its better-known cousin, is potentially more harmful than the initial version and worthy of more attention. The research found the BA.2 lineage of the original Omicron (BA.1) is not only more infectious but also more pathogenic and more resistant to immunity derived from previous infection. Researchers say BA.2 should stand on its own and be recognized as a variant of concern.⁴

On February 17, 2022, Governor Newsom announced that the State's approach means maintaining a wary watchfulness attuned to warning signs of the next deadly new surge or variant, emphasizing: "This disease is not going away," and "It's not the end of the quote, unquote, war."⁵

The Omicron and Delta variants have caused, and will continue to cause, conditions of imminent peril to the health safety of persons within the City that are likely beyond the control of services, personnel, equipment and facilities of the City and there is a risk of new variants emerging. In other words, the local emergency continues and as a result, meeting in person would present imminent risks to the health or safety of attendees.

All meetings of the City's legislative bodies are open and public, as required by the Brown Act (California Government Code §§54950 – 54963), so that any member of the public may attend, participate and watch the City's legislative bodies conduct their business. The recently amended Brown Act, Government Code section 54953(e)(1)(B),

⁴ <https://www.usatoday.com/story/news/health/2022/02/17/covid-tests-cases-vaccine-mandates/6821499001/>

⁵ <https://www.kcra.com/article/california-unveil-shift-endemic-approach-virus/39117300#>

allows local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees and every thirty (30) days thereafter finds by a majority vote under Government Code section 54953(e)(3) that after reconsidering the circumstances of the state of emergency, it continues to directly impact the ability of the members to meet safely in person.

Resolution 2022-023 (Attachment 1) would make the necessary findings under Government Code section 54953(e)(3) and authorize the City's legislative bodies to meet by remote teleconferencing within the requirements of applicable law. To continue to meet by remote teleconference, Council will be required to revisit the Resolution within thirty (30) days and find that the state of emergency continues to directly impact the ability of the members to meet safely in person pursuant to Government Code section 54953(e)(3).

CEQA COMPLIANCE STATEMENT:

The proposed City Council action is not subject to the California Environmental Quality Act (CEQA) pursuant to the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, Sections: 15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment); 15060(c)(3) (the activity is not a project as defined in Section 15378); and 15061(b)(3), because the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Because there is no possibility that the Resolution may have a significant adverse effect on the environment, the action is exempt from CEQA.

FISCAL IMPACT:

There are no direct fiscal impacts related to the adoption of the Resolution.

WORKPLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications consistent with the Brown Act.
- Do not approve Staff recommendations and resume in person meetings.
- Provide direction / feedback.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2022-023, authorizing remote teleconference meetings of the legislative bodies of the City for the period of March 10, 2022 through April 8, 2022 pursuant to the new provisions of the Brown Act.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager/Director of Emergency Services

1. Resolution 2022-023

RESOLUTION 2022-023

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING CONTINUED REMOTE TELECONFERENCE MEETINGS OF THE LEGISLATIVE BODIES OF THE CITY OF SOLANA BEACH FOR THE PERIOD OF MARCH 10, 2022 THROUGH APRIL 8, 2022 PURSUANT TO THE BROWN ACT AND CONTINUING EMERGENCY

WHEREAS, the City of Solana Beach (“City”) is committed to preserving and nurturing public access and participation in meetings of the City Council and the City’s commissions; and

WHEREAS, all meetings of the City’s legislative bodies are open and public, as required by the Ralph M. Brown Act (California Government Code §§54950 – 54963), so that any member of the public may attend, participate and watch the City’s legislative bodies conduct their business; and

WHEREAS, the Brown Act, Government Code section 54953(e), makes provisions for remote teleconferencing participation in meetings by members of a legislative body, without compliance with the requirements of Government Code section 54953(b)(3), subject to the existence of certain conditions; and

WHEREAS, the recently amended Brown Act, Government Code section 54953(e)(1)(B), allows local legislative bodies to continue meeting by teleconference during a gubernatorial proclaimed state of emergency if the local legislative body determines, by majority vote, that as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees; if the state of emergency remains active; and if every thirty (30) days, the local legislative body finds by a majority vote under Government Code section 54953(e)(3) that after reconsidering the circumstances of the state of emergency, it continues to directly impact the ability of the members to meet safely in person; and

WHEREAS, on March 4, 2020, Governor Newsom declared a state of emergency due to the Coronavirus (“COVID-19”) pandemic, which remains in effect; and

WHEREAS, on March 16, 2020, the City Manager, acting as the Director of Emergency Services, did proclaim the existence of a local state of emergency within the City, pursuant to Section 2.28.060(A)(1) of the Solana Beach Municipal Code and Section 8625 of the California Emergency Services Act (California Government Code §§8550 *et. seq.*), as a result of the Coronavirus (COVID-19) pandemic, which was ratified by the City Council on March 19, 2020 through the adoption of Resolution 2020-036; and

WHEREAS, pursuant to Resolution 2020-036, the local emergency was deemed to continue to exist until its termination is proclaimed by the City Council of the City of

Solana Beach and the local emergency does continue to exist; and

WHEREAS, COVID-19 continues to threaten the health and lives of City residents;
and

WHEREAS, the SARS-CoV-2 Delta Variant (Delta Variant) is highly transmissible in indoor settings, breakthrough cases are becoming more common and hospitalizations have increased throughout San Diego County; and

WHEREAS, on July 28, 2021, the California Department of Public Health issued guidance for the use of face coverings stating that the Delta Variant is two times as contagious as early COVID-19 variants, leading to increasing infections, the Delta Variant accounts for over 80% of cases sequenced, and cases and hospitalizations of COVID-19 are rising throughout the state; and

WHEREAS, updated as of August 13, 2021, the Center for Disease Control and Prevention recommends staying at least six (6) feet from other people; and

WHEREAS, the California Department of Industrial Relations, Division of Occupational Safety and Health's COVID-19 Prevention Emergency Temporary Standards were updated on June 17, 2021, are still in effect and place an ongoing requirement on employers to assess workplace hazards and implement controls to prevent transmission of disease, which may include circumstances in which employers determine that physical distancing is necessary in their workplace; and

WHEREAS, on October 13, 2021, the City Council held a regular meeting for the purpose of determining, by majority vote, whether as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees, made such a determination and adopted Resolution 2021-120 authorizing remote teleconference meetings of the legislative bodies of the City for the period of October 13, 2021 through November 12, 2021 pursuant to the new provisions of the Brown Act; and

WHEREAS, on November 10, 2021, the City Council reconsidered the circumstances of the state of emergency and adopted Resolution 2021-127 authorizing continued teleconference meetings of the legislative bodies of the City for the period of November 10, 2021 through December 10, 2021 pursuant to the new provisions of the Brown Act; and

WHEREAS, according to the Center for Disease Control and Prevention (CDC), a new strain of COVID-19, known as Omicron, has emerged; and

WHEREAS, on November 24, 2021, this new variant B.1.1.529, was reported to the World Health Organization (WHO); and

WHEREAS, on November 26, 2021, WHO named B.1.1.529 Omicron and classified it as a Variant of Concern (VOC); and

WHEREAS, on November 30, 2021, the United States designated Omicron as a Variant of Concern; and

WHEREAS, on December 1, 2021, the first confirmed U.S. case of Omicron was identified; and

WHEREAS, on December 8, 2021, the City Council adopted Resolution 2021-137 authorizing continued teleconference meetings through January 7, 2022; and

WHEREAS, on December 9, 2021, the CDC reported that we do not yet know how easily Omicron spreads, the severity of illness it causes, or how well available vaccines and medications work against it; and

WHEREAS, on December 13, 2021, the California Department of Public Health (CDPH) issued updated Guidance for the Use of Face Coverings requiring masks to be worn by all individuals in all indoor public settings, irrespective of vaccine status, for the period of December 15, 2021 through January 15, 2022, and recommending surgical masks or higher-level respirators. CDPH issued this new measure to bring an added layer of mitigation as the Omicron variant, is detected across California, the United States, and the world and is likely to spread more easily than the original SARS-CoV-2 virus and the Delta variant. CDPH additionally found this new measure would bring additional protection to individuals, families and communities during the holidays when more travel occurs, and time is spent indoors; and

WHEREAS, CDPH reported that since Thanksgiving, the statewide seven-day average case rate has increased by 47% and hospitalizations have increased by 14%. While the percentage of Californians fully vaccinated and boosted continues to increase, we continue to have areas of the state where vaccine coverage is low, putting individuals and communities at greater risk for COVID-19. Given the current hospital census, which is at or over capacity, even a moderate surge in cases and hospitalizations could materially impact California's health care delivery system within certain regions of the state. Other states and countries with similar vaccination rates that have relaxed masking requirements are seeing surges in COVID-19 cases and increasing stress in their healthcare systems; and

WHEREAS, on December 15, 2021, the City Council adopted Resolution 2021-141 authorizing continued teleconference meetings through January 14, 2022; and

WHEREAS, on January 3, 2022, the County of San Diego Health and Human

Services Agency issued an Order of the Health Officer requiring isolation of persons diagnosed with, or likely to have COVID-19 to slow the spread of COVID-19 and prevent the healthcare system in San Diego County from being overwhelmed; and

WHEREAS, the holiday season, with attendant increases in indoor gatherings, travel and exposure to COVID-19, has only recently come to an end and increased cases as a result of the holiday season are likely be time delayed; and

WHEREAS, on January 6, 2022, the WHO said a record 9.5 million cases of COVID-19 were tallied the week before, marking a 71 percent weekly surge that amounted to a “tsunami” as the Omicron variant sweeps worldwide; and

WHEREAS, on January 17, 2022, the WHO emphasized the risk posed by possible new variants stating: “It’s dangerous to assume that Omicron will be the last variant.... On the contrary, globally, the conditions are ideal for more variants to emerge.” The WHO also warned that it is too early for governments to drop their guard with so many people unvaccinated; and

WHEREAS, hospitalization rates continue to be concerning amid record-breaking spikes; and

WHEREAS, on January 19, 2022, the County of San Diego (County) reported that hospitalizations went up from 1,103 to 1,328, representing a 276% increase in confirmed hospitalizations over the past 30 days (up from a 201% increase the previous week); and

WHEREAS, during the same time, intensive care unit (ICU) patients in the County went up from 171 to 199, representing a 109% increase in confirmed ICU patients over the past 30 days (up from a 76% increase the previous week); and

WHEREAS, on January 19, 2022, the County reported there were 32 Community Outbreaks in the County reported over the previous 7 days; and

WHEREAS, on January 19, 2022, the County reported that the COVID-19 Case Rate (with a 7-day lag) increased again 196.4 to 346.0; and

WHEREAS, 81,791 COVID-19 cases were reported in the County between January 9 and January 15, 2022, a 12.9% increase from the prior week’s 72,467 reported cases; and

WHEREAS, since January 4, 2022, daily COVID-19 cases in the County exceeded 9,000 cases on four days with a high of 14,437 cases on January 9, 2022 and the lowest number of cases in a day last week was 7,460 cases on January 16, 2022; and

WHEREAS, the County is continuing to expand regional COVID-19 testing to meet the increased demand brought on by the rapid spread of the Omicron variant; and

WHEREAS, there has also been a recent surge of COVID-19 cases in the City of Solana Beach. Since December 22, 2022, there have been 505 cases reported in the City making up 38.6% of all cases reported in the City throughout the pandemic; and

WHEREAS, in the week before January 19, 2022, 124 new cases were reported in the City, while 38.7% more new cases (172) were reported in the City the previous week. This brings the total COVID-19 cases in the City to 1,310 cases (up from 1,186 the week before); and

WHEREAS, on February 17, 2022, USA Today reported that a new study says “Stealth Omicron”, a subvariant of Omicron that is 1.5 times more contagious than its better-known cousin, is potentially more harmful than the initial version and worthy of more attention. The research found the BA.2 lineage of the original Omicron (BA.1) is not only more infectious but also more pathogenic and more resistant to immunity derived from previous infection. Researchers say BA.2 should stand on its own and be recognized as a variant of concern; and

WHEREAS, on February 17, 2022, Governor Newsom announced that the State’s approach means maintaining a wary watchfulness attuned to warning signs of the next deadly new surge or variant, emphasizing: “This disease is not going away,” and “It’s not the end of the quote, unquote, war”; and

WHEREAS, the Omicron and Delta variants have caused, and will continue to cause, conditions of imminent peril to the health safety of persons within the City that are likely beyond the control of services, personnel, equipment and facilities of the City and there is a risk of new variants emerging; and

WHEREAS, the state of emergency remains active.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does find and resolve as follows:

1. That the above recitations are true and correct and incorporated herein as findings.
2. That the City Council has reconsidered the circumstances of the state of emergency.

3. That the state of emergency continues to directly impact the ability of the members of the City's legislative bodies and the public to meet safely in person.
4. That the meetings of the legislative bodies of the City of Solana Beach, including the City Council, standing committees and citizen commissions, shall continue to meet by remote teleconferencing in compliance with applicable law.
5. That the City Manager and Staff are hereby authorized and directed to take all actions necessary to carry out the intent and purpose of this Resolution including, conducting open and public meetings in accordance with Government Code section 54953(e) and other applicable provisions of the Brown Act.
6. That this Resolution shall take effect on March 10, 2022, and shall be effective until the earlier of (a) April 8, 2022 or (b) such time as the City Council adopts a subsequent resolution in accordance with Government Code section 54953(e)(3) to extend the time during which the legislative bodies of the City may continue to teleconference without compliance with Government Code section 54953(b)(3).

PASSED AND ADOPTED this 9th day of March, 2022, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers
NOES: Councilmembers
ABSTAIN: Councilmembers
ABSENT: Councilmembers

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Public Works/Engineering Department
SUBJECT: **Council Consideration of Resolution 2022-003 Authorizing the Purchase of One Chevrolet Silverado 1500 Pickup Truck**

BACKGROUND:

Currently, the Public Works/Engineering Department operates and maintains a model year 2014 Ford F-150 4-wheel drive pickup truck. This pickup truck is primarily used by Public Works Staff for trash pickup from receptacles in various locations throughout the City, including several locations on the beaches. The truck is also used to haul materials for repairs and maintenance of streets, sewer lines, storm drains, public facilities, parks and for emergency purposes during and after regular working hours. This truck has reached its life expectancy, mostly due to the nature of its use in the marine environment, and needs to be replaced.

This item is before the City Council to consider adoption of Resolution 2022-003 (Attachment 1) authorizing the purchase of a replacement pickup truck for the Public Works/Engineering Department.

DISCUSSION:

The City of Solana Beach operates and maintains a fleet of 19 street-legal vehicles and other heavy equipment for the purpose of inspecting, maintaining and operating City facilities and infrastructure. These vehicles must be replaced when they have met the end of their useful life or require excessive and frequent maintenance.

The proposed new model year pickup truck will replace the current 8-year-old truck that has exceeded its useful life and is scheduled for replacement. Since the current pickup truck has been undergoing frequent repairs, Public Works Staff is recommending it be replaced. Staff is also recommending an emergency light package be included with the new pickup truck, which will add an additional \$4,840 to the price for a total cost of \$47,827.55. The total cost includes sales tax, DMV registration, tire fee and destination charge.

In accordance with Solana Beach Municipal Code (SBMC) Section 3.08.080, Staff prepared specifications and advertised a notice inviting bids through a formal competitive bidding process, utilizing eBidboard, for a full-size, 4x4, regular cab pickup truck with a long bed and

CITY COUNCIL ACTION: _____

fits. The request was advertised from January 13, 2022, through February 10, 2022. The City did not receive any bids for the Public Works Vehicle, Bid No. 2022-02. Staff believes that zero proposals were submitted for the proposed vehicle purchase through the competitive bidding process because vendors are generally not providing proposals due to a shortage of vehicles. With no bids submitted, the City is free to award the contract utilizing a non-competitive process. In addition, use of the competitive bidding process proved impossible and can be waived under SBMC Section 3.08.130(D).

Staff obtained a quote from National Auto Fleet Group to locate a vehicle that meets the needs of the department. It is anticipated that it will take approximately four to six months for the City to take delivery of the new vehicle. Upon receipt of the new vehicle, Public Works Staff will complete all necessary steps to get the vehicle into use. Below is a representative picture of the subject vehicle.



The City did inquire about hybrid and electric versions of this vehicle but there were no options available that met the needs of the City. Should the City Council approve and authorize the purchase of this new vehicle, the current vehicle used by the Public Works/Engineering Department will be taken out of service and disposed of (through an auction process), once the new vehicle is put into service, in accordance with the City's equipment disposal policy.

CEQA COMPLIANCE STATEMENT:

This action is not subject to review under the California Environmental Quality Act (CEQA).

FISCAL IMPACT:

The new pickup truck for the Public Works/Engineering Department will be purchased utilizing funds available in the City’s Public Works Vehicle Asset Replacement Fund Reserve (Reserve). The base price and options discussed are itemized in Table 1, below. The total cost for the vehicle is \$47,827.55. There are sufficient funds in the Reserve to cover the cost.

Table 1 – Vehicle Descriptions and Cost

Item	Description	Cost
2022 Chevrolet Silverado 1500 4-wheel drive with 8’ bed	National Auto Fleet Group	\$39,511.79
Emergency Light Package	-Provide and install 16” mini light bar -Provide and install Super-LED 4-corner strobes	\$4,840
Sales Tax		\$3,437.26
CA Tire Fee/ DMV Fees		\$38.75
Total Cost		\$47,827.55

WORK PLAN:

N/A

OPTIONS:

- Adopt Staff recommendation.
- Adopt Staff recommendation with revisions.
- Deny Staff recommendations and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council approve Resolution 2022-003:

1. Approving the purchase of a 2022 Chevrolet Silverado 1500 4-wheel drive pickup truck, including accessories, for \$47,827.55 from National Auto Fleet Group.
2. Authorizing an appropriation of \$47,827.55 from the Asset Replacement Reserve Fund into the Asset Replacement Public Works Vehicle Expenditure account.

3. Authorizing the City Treasurer to amend the FY 2021/2022 Adopted Budget accordingly.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2022-003

RESOLUTION 2022-003

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE PURCHASE OF A REPLACEMENT PICKUP TRUCK FOR THE PUBLIC WORKS/ENGINEERING DEPARTMENT

WHEREAS, there are currently nine vehicles that are managed by the Engineering/Public Works Department and one of the nine vehicles is in need of replacement since it has reached the end of its useful life; and

WHEREAS, the Public Works/Engineering Department's 2014 Ford F-150 4-wheel drive pickup truck needs to be replaced to support the department's continuity of operations; and

WHEREAS, in accordance with Solana Beach Municipal Code (SBMC) Section 3.08.080, Staff prepared specifications and advertised a notice of inviting bids through a formal competitive bidding process, utilizing eBidboard, for a full-size, 4x4, regular cab pickup truck with a long bed and fits but did not receive any bids; and

WHEREAS, Staff is recommending the Public Works/Engineering pickup truck be replaced with a 2022 Chevrolet Silverado 1500 4-wheel drive pickup truck with 8' bed and Emergency Light Package; and

WHEREAS, Staff obtained a quote from National Auto Fleet Group to locate a vehicle that meets the needs of the department.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the purchase of a 2022 Chevrolet Silverado 1500 4-wheel drive pickup truck, including accessories, for \$47,827.55 from National Auto Fleet Group.
3. That the City Council approves an appropriation of \$47,827.55 from the Asset Replacement Reserve Fund into the Asset Replacement Public Works Vehicle Expenditure account.

4. That the City Council authorizes the City Treasurer to amend the FY 2021/2022 Adopted Budget accordingly.

PASSED AND ADOPTED this 9th day of March, 2022 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: City Manager's Office
SUBJECT: **City Council Presentation by the County of San Diego's Office of Homeless Solutions and Equitable Communities**

BACKGROUND:

On July 1, 2021, the County of San Diego (County) Health and Human Services Agency (HHSA) established a new department, the Department of Homeless Solutions and Equitable Communities (HSEC), which consist of three offices as described later in this Staff Report. The HSEC focuses on achieving better coordination of existing and new County homeless and equitable community efforts and serves as a central point of collaboration for outside partners to ensure equity among all San Diegans and reduce homelessness in the region.

City Staff have been working with this new Department as well as with other efforts in North County to address the growing homeless population in the City and the region. Staff regularly coordinates activities with other North County jurisdictions primarily through the North County Working Group, which is a collaboration of staff from other North County cities and the County's new Department and the Regional Task Force on Homelessness. This group meets monthly to discuss ongoing issues of concern and shares valuable resources which fosters collaboration across the region.

This item is before the City Council to receive a presentation from the Department of Homeless Solutions and Equitable Communities regarding their efforts in the North County and Countywide.

DISCUSSION:

The HSEC is led by Community Operations Officer, Barbara Jiménez, who oversees the following three offices:

COUNCIL ACTION:

- Office of Homeless Solutions
 - Focus - Programs and services leveraging existing regional partnerships and working with cross-sector community stakeholders to prevent, reduce, and eliminate homelessness in our region.
- Office of Equitable Communities
 - Focus - Upstream prevention and interventions promoting economic inclusion and poverty reduction. It will build upon the regional model to enhance partnership engagement and collaboration through the regional Leadership Teams.
- Office of Immigrant and Refugee Affairs
 - Focus - Building on existing refugee programs and establishing a priority of devoting County resources to the immigrant population, regardless of immigration status. It will provide a central location for public questions and connection to county and community resources.

To guide existing and future efforts, the County has developed the Framework for Ending Homelessness, which is anchored in five strategic domains:

- Root cause and upstream prevention strategies
- Diversion and mitigation services
- Treatment and outreach
- Emergency/interim housing and resources
- Permanent housing and supportive services

These domains are advanced by five key drivers: Person-Centered, Data, Collaboration, Sustainability and Equity that will be reflected in all efforts.

In addition, back in April 2021, the County Board of Supervisors unanimously approved a homeless outreach team of 10 social workers to serve North County. Similar to a program in the City of San Diego, the new team would not be led by law enforcement (but would work with them when needed) and would concentrate on specific areas to develop relationships with individuals in these areas. The cities of Solana Beach, Encinitas and Del Mar were assigned one of these new social workers to work with an already existing social worker in Encinitas to cover our area. This new social worker was recently hired and has begun work in our communities.

The HSEC team collaborates closely with Cities, community partners and law enforcement entities. In Solana Beach, the Sheriff's Department currently plays an important role in assisting with homeless situations, because they are the first in line to receive emergency and non-emergency calls concerning unsheltered individuals. The Sheriff's Department works hand in hand with HSEC outreach staff, social workers, and community partners to interact with the homeless population and offer services to those individuals interested in receiving assistance.

There is often misinformation or confusion by the public about the proper way to report homeless concerns and what the City can and cannot do in certain circumstances. The focus of this presentation will be to share the County's new Department's role and resources that the County has dedicated to North County in Solana Beach and across all North jurisdictions. This will help make public aware of the new resources in their City that are helping address homelessness.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

NA

WORK PLAN:

NA

OPTIONS:

- Receive the presentation and provide direction, if necessary.
- Do not receive the presentation.

DEPARTMENT RECOMMENDATION:

Staff recommends that Council receive the presentation from the Department of Homeless Solutions and Equitable Communities (HSEC) regarding their programs and activities in the region.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP to Remodel the Existing Fish Market Restaurant and Add to the Existing Outdoor Seating Area at 640 Via De La Valle (Case # 17-19-03 Applicants: The Fish Market; APN: 298-272-01; Resolution No. 2022-022)**

BACKGROUND:

The Applicant, The Fish Market, is requesting City Council approval of a Development Review Permit (DRP) and a comprehensive sign plan to renovate/remodel the existing restaurant building by modifying the front entry, the interior and exterior of the building, the garbage enclosure, the landscaping, signage, and an existing cupola on the roof of the restaurant. The project would also include converting some of the interior seating to outdoor seating as well as an addition of 89 square feet to the outdoor seating area. The 330,201 square-foot (7.58 acre) lot is located on the north side of Via De La Valle at the intersection of Via De La Valle and Valley Avenue and is developed with The Fish Market, Winners Circle Timeshare, Winners Circle Tennis, and Red Tracton's. The property is within the General Commercial (C) Zone and the Flood Damage Prevention Overlay Zone.

The project would require grading in the amounts of 4 cubic yards of excavation for new footings in areas of new construction. The maximum height of the proposed modifications would be approximately 19 feet from the existing grade.

The project requires a DRP according to SBMC 17.68.040(B)(1)(I) because the project consists of *"a new commercial development or construction (including any structural addition to existing development) located within any commercial zone which results in an increase of more than 500 feet of gross floor area or to the overall building envelope."*

The Applicant has requested a waiver of the Structure Development Permit (SDP) process for the proposed project.

CITY COUNCIL ACTION:

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2022-022 (Attachment 1).

DISCUSSION:

The property is currently developed with the Winners Circle Timeshare, which contains 94 units and a service, laundry, office and elevator building; Winners Circle Tennis which consists of four tennis courts, on pickle ball court and a clubhouse structure; Red Tracton's, a 4,100 square foot restaurant; and the existing 10,436 square foot Fish Market Restaurant as well as 250 parking spaces onsite. The Applicant is proposing to remodel the Fish Market Restaurant. No other structures or the existing parking onsite would be modified with this project. The Winners Circle Timeshare buildings are currently under construction for an exterior renovation under a separate building permit.

Table 1 (next page) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant's proposed design.

Table 1																	
LOT INFORMATION																	
Property Address: 550-640 Via de la Valle Lot Size (Net): 7.58 ft ² Max. Allowable Floor Area: 1.2 or 396,241 ft ² Proposed Floor Area: 0.23 or 90,465 ft ² Below Max. Floor Area by: 305,776 ft ² Max. Allowable Height: 35 ft Max. Proposed Height: 19 ft. Overlay Zone(s): 33'-5 3/8" MSL Flood Damage Prevention Zone	Zoning Designation: General Commercial (C) <table border="1" style="width: 100%; margin-top: 10px;"> <thead> <tr> <th style="text-align: center;">Setbacks:</th> <th style="text-align: center;">Required:</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">Front (South):</td> <td style="text-align: center;">0 feet</td> </tr> <tr> <td style="text-align: center;">Exterior Side (East):</td> <td style="text-align: center;">0 feet</td> </tr> <tr> <td style="text-align: center;">Interior Side (West):</td> <td style="text-align: center;">0 feet</td> </tr> <tr> <td style="text-align: center;">Rear (North):</td> <td style="text-align: center;">10 feet</td> </tr> </tbody> </table> <p>The required setback is increased to 10 feet in the side or rear when adjacent to residentially zoned property.</p>	Setbacks:	Required:	Front (South):	0 feet	Exterior Side (East):	0 feet	Interior Side (West):	0 feet	Rear (North):	10 feet						
Setbacks:	Required:																
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PROPOSED PROJECT INFORMATION																	
Square Footage Breakdown: <table border="1" style="width: 100%; margin-top: 5px;"> <tbody> <tr> <td>Winners Circle Timeshare:</td> <td style="text-align: right;">75,140 ft²</td> </tr> <tr> <td>Winners Circle Tennis:</td> <td style="text-align: right;">1,000 ft²</td> </tr> <tr> <td>Red Tracton's:</td> <td style="text-align: right;">4,100 ft²</td> </tr> <tr> <td>Existing Fish Market:</td> <td style="text-align: right;">9,762 ft²</td> </tr> <tr> <td>Existing Outdoor Seating:</td> <td style="text-align: right;">374 ft²</td> </tr> <tr> <td>Proposed Fish Market:</td> <td style="text-align: right;">9,525 ft²</td> </tr> <tr> <td>Proposed Outdoor Seating:</td> <td style="text-align: right;">700 ft²</td> </tr> <tr> <td>Total ft² Onsite:</td> <td style="text-align: right;">90,465 ft²</td> </tr> </tbody> </table>	Winners Circle Timeshare:	75,140 ft²	Winners Circle Tennis:	1,000 ft²	Red Tracton's:	4,100 ft²	Existing Fish Market:	9,762 ft²	Existing Outdoor Seating:	374 ft²	Proposed Fish Market:	9,525 ft²	Proposed Outdoor Seating:	700 ft²	Total ft² Onsite:	90,465 ft²	Required Permits: DRP: A DRP is required for a new commercial development or construction (including any structural addition to existing development) located within any commercial zone which results in an increase of more than 500 feet of gross floor area or to the overall building envelope.
Winners Circle Timeshare:	75,140 ft²																
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Total ft² Onsite:	90,465 ft²																
Proposed Grading: 4 Cubic yards of excavation for footings under the new construction areas.																	
Parking: 250 parking spaces onsite to remain.	Existing Development: Winners Circle Timeshare, Winners Circle Tennis, Red Tracton's Restaurant and The Fish Market Restaurant																

Staff has prepared draft findings for approval of the project in the attached Resolution 2022-022 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines that the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2022-022.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for a new commercial development or construction (including any structural addition to existing development) located within any commercial zone which results in an increase of more than 500 feet of gross floor area or to the overall building envelope.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2022-022 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.

4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the C Zone. Other properties located to the east are also within the C Zone. Properties to the north are within the High Residential Zone, to the west are properties within the Office Professional Zone and properties to the South are within the City of Del Mar and developed with the Del Mar Fairgrounds. The project site is currently developed with the Winners Circle Timeshare, Winners Circle Tennis, Red Tracton's and The Fish Market. The proposed project would only modify the existing Fish Market restaurant and surrounding landscaping.

The project, as designed, is consistent with the permitted uses for the C Zone as described in SBMC Sections 17.24.010 and 17.12.020. The property is designated General Commercial in the General Plan and intended to include the development of resident and visitor serving commercial uses and retail uses of a larger scale than those permitted in Special Commercial areas such as grocery stores, drug stores, etc., but which still have a minimal disturbance to nearby residential neighborhoods. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development of commercial land uses which strengthen the City's economic base and offer a range of commercial enterprises to meet the needs of residents and visitors. The General Plan also encourages neighborhood serving restaurants, including outdoor dining/sidewalk cafes in mixed use areas and along the Highway 101 corridor.

As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

Building and Structure Placement:

The Fish Market is currently 9,762 square feet of indoor restaurant area, 374 square feet of outdoor patio seating, 312 square feet of exterior trash enclosures and 282 square feet of exterior BBQ area. Currently, there is a 336 square foot patio on the southeast corner of the restaurant, 60 square feet of which is used for a beer cooler. With the proposed project, the Applicant is proposing to remove the beer cooler and convert 237 square feet of the existing restaurant seating area and add 89 square feet to the proposed outdoor patio seating area for a total patio of 700 square feet. Part of the existing trash enclosure area on the north side of the restaurant would be converted to space for a beer cooler and a storage area. The remainder would be used for the trash enclosure. The trash

enclosure would not be included in the calculation of floor area and is sized appropriately to house required refuse, recycling and organic waste receptacles. The Applicant is also proposing to construct a new covered entry area and an outdoor waiting area at the southwest corner of the restaurant totaling 664 square feet. The waiting area and entry are not considered enclosed and would not be used as outdoor patio seating, therefore, they would not be included in the calculation of floor area and additional parking is not required for these additions. The remainder of the existing restaurant would be remodeled within the existing footprint and the existing roof would remain. A new flat roof is proposed over the proposed entry as well as an open entry trellis. The maximum height of the entry roof would be 11 feet above the existing grade. The new trellis over the waiting area would be 9 feet 9 inches above the existing grade. The roof over the dining porch area and the bar would be raised to match the existing height of the dining area which is 16 feet 4 inches. In addition, the proposed work includes extending an existing cupola on the roof to the north and south. The cupola is 19 feet above the existing grade. The additions that exceed 16 feet in height from the existing grade would require a SDP, however, the Applicant has requested a waiver from the SDP process (Attachment 3), which is discussed further later in this report.

The C Zone allows for a maximum floor area of 1.2 or a maximum of 396,241 square feet of floor area. The floor area of the existing buildings would remain the same. The total addition to the Fish Market would not exceed 89 square feet of patio seating area. The proposed additional patio area is not counted in the calculation of floor area but it is counted in the gross floor area when determining required parking which is discussed later in this report.

The proposed project, as designed, meets the minimum required setbacks and the maximum allowable floor area for the property.

Fences, Walls and Retaining Walls:

Within the required front and street side yard setback areas, SBMC Section 17.60.070 indicates that fences, walls or any combination thereof, shall be no higher than 42 inches except for an additional 24 inches that is constructed of a material that is 80% open to light. Fences and walls located within the required rear and interior side yard setbacks shall be no higher than 6 feet except where such property abuts a residentially zoned lot.

The Applicant is not proposing to modify any of the existing fences and walls onsite and no new fences or walls are proposed.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape

architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

Winners Circle Timeshare, The Fish Market and Red Tracton's were constructed prior to the City's incorporation under the County of San Diego's jurisdiction. The Applicant provided the parking ratios required at the time of construction and they were as follows:

Use:	Quantity/SF	Parking Ratio	# of Req'd Spaces
Winners Circle Timeshare	20 Units	1 per Unit	20 spaces
Winners Circle Timeshare	74 Units	0.5 per Unit	37 spaces
Fish Market	9,681 SF	1 per 300 SF	33 spaces
Red Tracton's Restaurant	2,050 SF	1 per 300 SF	7 spaces
Required Parking Total:			97 Spaces

After the City incorporated, there were expansions to the existing development that required additional parking.

Use:	Quantity/SF	Parking Ratio	# of Req'd Spaces
1988: Red Tracton's Restaurant Expansion	2,050 SF Addition	1 per 100 SF	21 spaces
2001: Addition of Laundry, Service, Office and Elevator	1,781 SF	N/A*	N/A*
Year: Fish Market Expansion	457 SF	1 per 100 SF	5 spaces
2018: Winners Circle Addition to Maintenance Room and Elevator	334 SF	N/A**	N/A**
2022: Proposed Fish Market Added Patio Seating	89 SF	1 per 100 SF	.89 or 1 space
Additional Required Parking Total:			27 spaces

* Per Resolution 2001-092 no additional parking was required with this project.

** Per Resolution 2018-141 no additional parking was required with this project.

SBMC Section 17.16.110(C) indicates that all nonresidential uses on premises which do not meet the minimum parking requirements as provided in Chapter 17.52 SBMC are subject to the following requirements:

1. *Any change of use which requires more parking than the previous use shall be allowed only if the full amount of the required parking for the new use is provided. Parking deficiencies associated with other existing uses may be*

- maintained. A change of use which does not require more parking than the previous use shall be allowed and the existing deficiency may be maintained.*
- 2. New structures or structural additions which result in an expansion of less than 50 percent of the existing floor area of the lot shall be allowed only if the required parking for the expansion area is provided. Parking deficiencies for the existing floor area may be maintained*

According to the permits issued for the property before and after the City's incorporation, 123 parking spaces were required. The parking lot was constructed prior to the City's incorporation and prior to the adoption of the most recent version of the Off-Street Parking Design Manual, adopted 2012, which requires additional design specifications including landscaping around the vehicular use area and trees within 30 feet of each parking space. Therefore, the existing parking lot is considered existing legal nonconforming. The existing parking lot is made up of 250 parking spaces to be utilized by all of the existing uses onsite and results in a surplus of 127 parking spaces.

With the proposed project, the Applicant is proposing a net increase in the outdoor patio seating which counts toward the gross floor area when calculating the required parking. Therefore, the proposed project requires 1 additional parking space. The one parking space is provided for in the 127-parking space surplus for the site. Therefore, no additional parking is required. The Applicant is not proposing to restripe or modify the existing parking lot, therefore, it is not subject to the most recent version of the OSPDM.

The proposed revision will include modifications to the existing trash enclosure area. Currently, there is a 312 square foot area for garbage and recycling. This area would be expanded to 330 square feet in the same locations. This area is not counted towards the calculation of gross floor area and no additional parking is required for the 18 square foot expansion.

Grading:

The project includes grading in the amount of 4 cubic yards for of excavation to provide for the footings for the new construction of the outdoor seating area, the front entry and the waiting area. The remaining topography of the lot will remain unchanged.

Lighting:

A condition of project approval is that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of remodeling an existing restaurant use, adding additional patio space for outdoor seating, site improvements, landscaping and new signage, usable open

space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the existing grade. The proposed project includes raising an existing sloped roof over the interior dining area and a flat roof over the proposed bar at the existing height of the main dining area. This would have a maximum proposed height of 16 feet 4 inches. In addition, an existing cupola with windows along the east elevation would be extended in a "U" shape on the roof so that it is visible on the north, south and east elevations. The cupola would be approximately 19 feet from the existing grade. According to SBMC Section 17.63.040(A), *"In the case of very minor additions to existing structures, the community development director has the authority to determine whether or not a structure development permit is required."* The Applicant submitted a request for a waiver of the SDP process which has been provided in Attachment 3.

If the City Council is able to determine that there is no likelihood of view impairment from the proposed project, the SDP process could be waived. A condition of approval would be included in the Resolution to require a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the highest point of new construction will not exceed 19 feet above the existing grade or 33 feet and 5 3/8 inches MSL.

If the City Council is not able waive the SDP process, the Applicant would be required to erect story poles onsite, submit a story pole height certification signed by a licensed land surveyor and Staff would process the SDP prior to bringing the project before the City Council again to complete the DRP hearing.

Comprehensive Sign Plan:

The SBMC indicates that a comprehensive sign plan is required for commercial centers consisting of four or more tenant or occupant spaces. The property has four retail tenant spaces. Only the signage for the Fish Market will be modified with the proposed project. The remainder of the existing signage will stay as is. The Applicant provided square footage and pictures of the existing signage as well as the square footage and location of the proposed Fish Market signage. The comprehensive sign plan is provided in Attachment 2. The comprehensive sign ordinance allows for a maximum signage allowance for wall signs of one square foot of signage per one linear foot of building frontage per structure. Building frontage is the lineal footage of all building elevations containing a public entrance and which face a public street or on-premises parking lot, excluding driveways and aisles. In addition, one 32 square foot freestanding sign per street frontage. If the street frontage exceeds 250 linear feet, one additional freestanding monument sign is permitted.

The property has two street frontages that exceed 250 linear feet, therefore, four freestanding signs are permitted for the site. The total building frontage, as calculated by

the definition provided above, totals 1,114.1 feet for all the structures onsite. The Fish Market has a total of 419.63 feet of frontage.

As proposed, The Fish Market would remove all four of the existing signs onsite and replace them with 7 wall signs totaling 124.72 square feet of signage and two monument signs that total 46.94 square feet. The proposed signage is within their maximum allowable signage per the comprehensive sign ordinance (SBMC Chapter 17.64). The proposed sign plan has been provided in Attachment 2.

One of the proposed freestanding signs is proposed in the existing landscaped area south of the proposed entry area and the other is proposed in the landscaped area in front of the outdoor patio just west of the intersection of Via de la Valle and Valley Avenue. The freestanding sign is proposed to be a maximum of 7 feet 3 inches tall and approximately 9 foot wide in the shape of a fish. The total area of the fish would be 23.47 square feet.

A condition of approval has been added to the attached resolution that indicates that the tenants are required to apply for a building/sign permit prior to the installation of any sign and receive landlord approval for the proposed signage. Any proposed signage that is not in compliance with the approved comprehensive sign plan will require the Applicant or tenant to process a comprehensive sign plan modification under the discretion of the Community Development Director.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the Public Hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on Friday, February 25, 2022.

In conclusion, Staff has prepared Resolution 2022-022 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in the italicized text Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval. As such, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines. Class 1 consists of operation, repair, maintenance, permitting, leasing, licensing, or minor alterations of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples include additions to existing structures provided that the addition

would not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet whichever is less.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2022-022.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2022-022 conditionally approving a DRP to remodel the existing Fish Market which includes modifications to the existing entry, entry waiting area, garbage enclosure, signage, perimeter landscape and to enlarge an outdoor patio at 640 Via de La Valle, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2022-022
2. Project Plans
3. SDP Waiver Request

RESOLUTION 2022-022

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT TO REMODEL THE EXISTING FISH MARKET RESTAURANT BY MODIFYING THE FRONT ENTRY, REMODELING THE INTERIOR AND EXTERIOR OF THE EXISTING STRUCTURE, CONVERTING EXISTING INTERIOR SQUARE FOOTAGE TO OUTDOOR PATIO SEATING AREA, ADDING SQUARE FOOTAGE TO THE OUTDOOR SEATING AREA, MODIFYING THE GARBAGE ENCLOSURE, MODIFYING THE EXISTING ROOF AND MODIFYING THE EXISTING LANDSCAPED AREA AT 640 VIA DE LA VALLE, SOLANA BEACH

APPLICANT: The Fish Market
CASE NO.: 17-19-03 DRP

WHEREAS, The Fish Market (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, a properly noticed Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on March 9, 2022, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolves as follows:

- I. That the foregoing recitations are true and correct and incorporated herein as findings.
- II. That the request for a Development Review Permit (DRP) and a comprehensive sign plan to renovate/remodel the existing restaurant building by modifying the front entry, the interior and exterior of the building, the garbage enclosure, the landscaping, signage, and an existing cupola on the roof of the restaurant as well as converting some of the interior seating to outdoor seating and an addition to the outdoor seating, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The property is designated General Commercial in the General Plan and intended to include the development of resident and visitor serving commercial uses and retail uses of a larger scale than those permitted in Special Commercial areas such as grocery stores, drug stores, etc., but which still have a minimal disturbance to nearby residential neighborhoods. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development of commercial land uses which strengthen the City's economic base and offer a range of commercial enterprises to meet the needs of residents and visitors. The General Plan also encourages neighborhood serving restaurants, including outdoor dining/sidewalk cafes in mixed use areas and along the Highway 101 corridor.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.24.030) which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.24.020) which provides for uses of the property for a single-family residence.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum allowable Floor Area Ratio (FAR), maximum building height, and parking requirements.

II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the C Zone. Other properties located to the east are also within the C Zone. Properties to the north are within the High Residential Zone, to the west are properties within the Office Professional Zone and properties to the south are within the City of Del Mar and developed with the Del Mar Fairgrounds. The project site is currently developed with the Winners Circle Timeshare, Winners Circle Tennis, Red Tractons and The Fish Market. The proposed project would only modify the existing Fish Market restaurant and surrounding landscaping.

The project, as designed, is consistent with the permitted uses for the C Zone as described in SBMC Sections 17.24.010 and 17.12.020. The property is designated General Commercial in the General Plan and intended to include the development of resident and visitor serving commercial uses and retail uses of a larger scale than those permitted in Special Commercial areas such as grocery stores, drug stores, etc., but which still have a minimal disturbance to nearby residential neighborhoods. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development of commercial land uses which strengthen the City's economic base and offer a range of commercial enterprises to meet the needs of residents and visitors. The General Plan also encourages neighborhood serving restaurants, including outdoor dining/sidewalk cafes in mixed use areas and along the Highway 101 corridor.

As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The Fish Market is currently 9,762 square feet of indoor restaurant area, 374 square feet of outdoor patio seating, 312 square feet of exterior trash enclosures and 282 square feet of exterior BBQ area. Currently, there is a 336 square foot patio on the southeast corner of the restaurant. 60 square feet of the patio is used for the beer cooler. With the proposed project, the Applicant is proposing to remove the beer cooler and convert

237 square feet of the existing restaurant seating area and add 89 square feet to the proposed outdoor patio seating area for a total patio of 700 square feet. Part of the existing trash enclosure area on the north side of the restaurant would be converted to space for a beer cooler and a storage area. The remainder would be used for the trash enclosure. The trash enclosure would not be included in the calculation of floor area. The Applicant is also proposing to construct a new covered entry area and an outdoor waiting area at the southwest corner of the restaurant totaling 664 square feet. The waiting area and entry are not considered enclosed and would not be used as outdoor patio seating, therefore, they would not be included in the calculation of floor area and additional parking is not required for these additions. The remainder of the existing restaurant would be remodeled within the existing footprint and the existing roof would remain. A new flat roof is proposed over the proposed entry as well as an open entry trellis. The maximum height of the entry roof would be 11 feet above the existing grade. The new trellis over the waiting area would be 9 feet 9 inches above the existing grade. The roof over the dining porch area and the bar would be raised to match the existing height of the dining area which is 16 feet 4 inches. In addition, the proposed work includes extending an existing cupola on the roof to the north and south. The cupola is 19 feet above the existing grade. The additions that exceed 16 feet in height from the existing grade would require a SDP, however, the Applicant requested a waiver from the SDP process. According to SBMC Section 17.63.040(A), *"In the case of very minor additions to existing structures, the community development director has the authority to determine whether or not a structure development permit is required."* This application involves very minor additions to existing structures and there is no likelihood of view impairment from the proposed project as conditioned. An SDP waiver is therefore granted. A condition has been included below requiring a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the highest point of new construction will not exceed 19 feet above the existing grade or 33 feet and 5 3/8 inches MSL.

The C Zone allows for a maximum floor area of 1.2 or a maximum of 396,241 square feet of floor area. The floor area of the existing buildings would remain the same. The total addition to the Fish Market would not exceed 89 square feet of patio seating area. The proposed additional patio area is not counted in the calculation of floor area but it is counted in the gross floor area when determining required parking which is discussed later in this report.

The proposed project, as designed, meets the minimum required setbacks and the maximum allowable floor area for the property. The proposed project, as designed, meets the minimum required setbacks and the maximum allowable floor area for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant is required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

Winners Circle Timeshare, The Fish Market and Red Tracton's were constructed Prior to the City's incorporation under the County of San Diego's jurisdiction. The Applicant provided the parking ratio's required at the time of construction and they were as follows:

Use:	Quantity/SF	Parking Ratio	# of Req'd Spaces
Winners Circle Timeshare	20 Units	1 per Unit	20 spaces
Winners Circle Timeshare	74 Units	0.5 per Unit	37 spaces
Fish Market	9,681 SF	1 per 300 SF	33 spaces
Red Tractons Restaurant	2,050 SF	1 per 300 SF	7 spaces
Required Parking Total:			97 Spaces

After the City incorporated, there were some expansions to the existing development that required additional parking.

Use:	Quantity/SF	Parking Ratio	# of Req'd Spaces
1988: Red Tractons Restaurant Expansion	2,050 SF Addition	1 per 100 SF	21 spaces
2001: Addition of Laundry, Service, Office and Elevator	1,781 SF	N/A*	N/A*
Year: Fish Market Expansion	457 SF	1 per 100 SF	5 spaces
2018: Winners Circle Addition to Maintenance Room and Elevator	334 SF	N/A**	N/A**
2022: Proposed Fish Market Added Patio Seating	89 SF	1 per 100 SF	.89 or 1 space
Additional Required Parking Total:			27 spaces

* Per Resolution 2001-092 no additional parking was required with this project.

** Per Resolution 2018-141 no additional parking was required with this project.

SBMC Section 17.16.110(C) indicates that all nonresidential uses on premises which do not meet the minimum parking requirements as provided in Chapter 17.52 SBMC are subject to the following requirements:

1. Any change of use which requires more parking than the previous use shall be allowed only if the full amount of the

required parking for the new use is provided. Parking deficiencies associated with other existing uses may be maintained. A change of use which does not require more parking than the previous use shall be allowed and the existing deficiency may be maintained.

2. New structures or structural additions which result in an expansion of less than 50 percent of the existing floor area of the lot shall be allowed only if the required parking for the expansion area is provided. Parking deficiencies for the existing floor area may be maintained

According to the permits issued for the property before and after the City's incorporation, 123 parking spaces were required. The parking lot was constructed prior to the City's incorporation and prior to the adoption of the most recent version of the Off-Street Parking Design Manual, adopted 2012, which requires additional design specifications including landscaping around the vehicular use area and trees within 30 feet of each parking space. Therefore, the existing parking lot is considered existing legal nonconforming. The existing parking lot is made up of 250 parking spaces to be utilized by all of the existing uses onsite and results in a surplus of 127 parking spaces.

With the proposed project, the Applicant is proposing a net increase in the outdoor patio seating which counts toward the gross floor area when calculating the required parking. Therefore, the proposed project requires 1 additional parking space. The one parking space is provided for in the 127-parking space surplus for the site. Therefore, no additional parking is required. The Applicant is not proposing to restripe or modify the existing parking lot, therefore, it is not subject to the most recent version of the OSPDM.

The proposed revision will include modifications to the existing trash enclosure area. Currently, there is a 312 square foot area for garbage and recycling. This area would be expanded to 330 square feet. It is not counted towards the calculation of gross floor area therefore, no additional parking is required for the 18 square foot expansion.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall*

be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

The project includes grading in the amount of 4 cubic yards of excavation to provide for the footings for the new construction of the outdoor seating area, the front entry and the waiting area. The remaining topography of the lot will remain unchanged.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval is that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of remodeling an existing restaurant use, adding additional patio space for outdoor seating, site improvements, landscaping and new signage, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including the required comprehensive sign plan, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant shall obtain approval from the California Coastal Commission prior to issuance of Building Permits.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay the following development impact fees prior to the issuance of a Building Permit and subject to the fee schedule in effect at the date of this resolution, as established by the Solana Beach Municipal Code and City Council Resolutions 1987-36, and 2018-147 and Ordinances 383 and 479:
 - a. Public Facilities Fee (SBMC Chapter 17.72.020)
 - b. Fire Mitigation Impact Fee (SBMC Chapter 15.60)
 - c. Park Development Impact Fee (SBMC Chapter 15.65)
 - d. Public Use Facilities Impact Fee (SBMC Chapter 15.66)
 - e. Regional Transportation Congestion Improvement Plan (RTCIP) (SBMC Chapter 15.48)
 - f. Transportation Impact Fee (TIF) (SBMC Chapter 15.50)
- II. If the project valuation is \$500,000 or more, the Applicant shall pay required art fees or incorporate public art as required in the Master Art Policy.
- III. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on March 9, 2022 and located in the project file with a submittal date of December 3, 2021.
- IV. Prior to requesting a framing inspection, the Applicant shall submit a height certification signed by a licensed land surveyor certifying that the framing members and proposed roofing materials will not exceed 19 feet in height or 33 feet and 5 3/8 inches MSL.
- V. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.60.070.
- VI. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.

- VII. The Applicant shall submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect and shall be in substantial conformance with the conceptual plan presented to the City Council on March 9, 2022. In addition, the City's third-party landscape architect will perform a final inspection to verify substantial conformance onsite prior to final occupancy.
- VIII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- IX. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC 17.60.060.
- X. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.
- XI. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted and shielded to avoid casting light toward public roads and adjoining residential properties.
- XII. Each tenant shall apply for a building/sign permit prior to the installation of any sign in compliance with the approved comprehensive sign plan and show proof of landlord approval for the proposed signage.
- XIII. The businesses shall comply with the sound level limits established by Solana Beach Municipal Code Section 7.34.040 during hours of operation.
- XIV. Live entertainment is not permitted with this project approval. Should the Applicant desire to have live entertainment at this establishment, the Applicant shall apply for and obtain an Entertainment Establishment License prior to any live entertainment.
- XV. The on-site parking lot lighting is required to remain in good working condition from sunset to sunrise.
- XVI. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street

and minimize impact to the surrounding neighbors.

B. Fire Department Conditions:

- I. STAGING AND PHASING: Building plans submittal must show the phasing and staging of the project if the business will remain open during construction. A full set of plans showing the proposed exit plans will be required.
- II. FIRE PITS: Any portable outdoor fireplaces (including permanent installations) shall meet the clearance and construction requirements of the California Fire Code and the Solana Beach Recreational Fire Policy.
- III. POSTING OR STRIPING ROADWAYS "NO PARKING FIRE LANE": Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
- IV. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- V. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets.
- VI. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

- VII. AUTOMATIC FIRE SPRINKLER SYSTEM: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department.
- VIII. CLASS “A” ROOF: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department.
- IX. FIRE ALARM SYSTEM: A California State Fire Marshal listed fire alarm system is required and shall be designed and installed per NFPA 72, California Fire Code and Solana Beach Fire Department requirements.

C. Engineering Department Conditions:

- I. The proposed project will increase the number of seats which will increase the Equivalent Dwelling Unit (EDU) value on the property; in turn, there will be an increase in sewer fees. Based upon the provided seating calculations, the property will have an EDU assignment of 52. The current sewer assessment for FY 18-19 was 44 EDU’s. There will be a net increase of 8 EDU’s. This would result in an increase to the current annual sewer fees each year plus an additional one-time payment for sewer capacity and connection fee to the satisfaction of the City Engineer.
- II. Via De La Valle is within the jurisdictional boundary of the City of Del Mar. The Applicant shall obtain the required permits from the City of Del Mar prior to construction of any work on Via De La Valle. For any work along Valley Avenue, the Applicant is required to obtain an encroachment permit in accordance to the Solana Beach Municipal Code Chapter 11.20 prior to any work being done in the public right-of-way and per Solana Beach Municipal Code Chapter 11.04, the Applicant is required to construct all public improvements along the street frontage. These include, but not limited to:
 - a. Demolition of the existing wood decking and brick/concrete walkway at entry.
 - b. Installation of the new concrete walkway.
 - c. Replacement of damaged sidewalk panels.
- III. Prior to the release of the Grading Bond and Security Deposit, the Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego. The EMRA shall be recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:
 - a. Concrete walkway.

- b. Sidewalk underdrains.
 - c. Landscaping.
 - d. Irrigation.
- IV. This property is located within the City's flood prevention overlay zone. The Applicant is required to comply with SBMC Section 17.80.120 Section C.3 (Standards of construction, Elevation and Floodproofing) to the satisfaction of the City Engineer. Per this section, all new construction and substantial improvement of any nonresidential structure shall either be elevated in conformance with subsection (C)(1) or (2) of this section or, together with attendant utility and sanitary facilities, meet the following requirements:
- a. Be floodproofed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water;
 - b. Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; and
 - c. Be certified by a registered professional engineer or architect that the standards of this subsection are satisfied. Such certifications shall be provided to the floodplain administrator.
- V. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VI. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with Chapter 11.20 of the Solana Beach Municipal Code which allows otherwise.
- VII. The trash enclosure shall accommodate the required number and size of containers for trash, recyclables, and organic waste/composting. The Applicant shall contact EDCO Waste and Recycling to confirm quantity, size, and frequency of pick-up of bins/containers in order to properly comply with City's regulations for organic material collection and disposal.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant have obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 9th day of March, 2022, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

IMPROVEMENT PLANS FOR THE FISH MARKET SOLANA BEACH



REVISIONS	DESCRIPTION	DATE
1	2nd DRP Submitted	3-8-2019
2	3rd DRP Submitted	8-28-2019
3	4th DRP Submitted	11-8-2019
4	5th DRP Submitted	12-3-2021

EXISTING ROOM SCHEDULE							
ROOM NUMBER	NAME	RENTABLE AREA	OCCUPANCY	SUBOCCUPANCY	OCCUPANCY LOAD FACTOR	MAXIMUM OCCUPANCY	COMMENTS
101	Main Dining Room #1	1507 SF	A-2	Chairs & Tables	15 SF	128	Existing
102	Main Dining Room #2	638 SF	A-2	Chairs & Tables	15 SF	43	Existing
103	Pastry Dining Room	434 SF	A-2	Chairs & Tables	15 SF	29	Existing
104	Banquet Room	1024 SF	A-2	Chairs & Tables	15 SF	69	Existing
105	Service Area	74 SF	A-2	Chairs & Tables	15 SF	5	Existing
106	Cooking Area	365 SF	A-2	Kitchen	200 SF	3	Existing
107	Market	285 SF	A-2	Kitchen	200 SF	3	Existing
108	Fish Refrigerator	117 SF	S-2	Low Hazard	300 SF	1	Existing
109	Men's Toilet	133 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
110	Women's Toilet	179 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
111	Women	44 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
112	Men	44 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
113	Locker Room	102 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
114	Dishwashing	169 SF	A-2	Kitchen	200 SF	1	Existing
115	Office	43 SF	B-1	Office	100 SF	1	Existing
116	Receiving	90 SF	A-2	Kitchen	200 SF	1	Existing
117	Refrigerator Box	93 SF	S-2		300 SF	1	Existing
118	Freezer	45 SF	S-2		300 SF	1	Existing
119	Liquor Stor	35 SF	S-2		300 SF	1	Existing
120	Storage	130 SF	S-2		300 SF	1	Existing
121A	Vestibule	79 SF	A-2	Standing Room	5 SF	16	Existing
121B	Waiting Area	265 SF	A-2	Fixed Seating	7 SF	39	Existing
122	Porch Dining	474 SF	A-2	Chairs & Tables	15 SF	32	Existing
123	Walk-in Cooler	139 SF	S-2		300 SF	1	Existing
124	Storage	250 SF	S-2		300 SF	1	Existing
125	Trash	123 SF	S-2		300 SF	1	Existing
126	WH	16 SF	S-2		0 SF		Existing
127	Closet	35 SF	S-2		0 SF		Existing
128	Private Dining Room	217 SF	A-2	Chairs & Tables	15 SF	15	Existing
129	Storage	395 SF	S-2		300 SF	1	Existing
130	Food Prep	602 SF	A-2	Kitchen	200 SF	4	Existing
131	Storage	115 SF	S-2		300 SF	1	Existing
132A	*Paso	245 SF	A-2	Chairs & Tables	15 SF	17	Existing
132B	*Paso	338 SF	A-2	Chairs & Tables	15 SF	23	Existing
132C	*Beer Cooler	60 SF	S-2		0 SF		Existing
Grand total: 35		9304 SF				438	

PROPOSED ROOM SCHEDULE							
ROOM NUMBER	NAME	RENTABLE AREA	OCCUPANCY	SUBOCCUPANCY	OCCUPANCY LOAD FACTOR	MAXIMUM OCCUPANCY	COMMENTS
201	Main Dining Room #1	1507 SF	A-2	Chairs & Tables	15 SF	128	Existing
202	Main Dining Room #2	638 SF	A-2	Chairs & Tables	15 SF	43	Existing
203	Bar Area	434 SF	A-2	Chairs & Tables	15 SF	29	Existing
204	Banquet Room	1024 SF	A-2	Chairs & Tables	15 SF	69	Existing
205	Service Area	74 SF	A-2	Chairs & Tables	15 SF	5	Existing
206	Market	448 SF	A-2	Kitchen	200 SF	3	Proposed
208	Fish Refrigerator	90 SF	S-2		300 SF	1	Proposed
209	Men's Toilet	133 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
210	Women's Toilet	179 SF	A-2	Locker Rooms & Toilets	0 SF		Existing
211	Not Used						
212	Not Used						
213	Locker Room	230 SF	A-2	Locker Rooms & Toilets	0 SF		Proposed
214	Not Used						
215	Office	100 SF	B-1	Office	100 SF	1	Proposed
216	Not Used						
217	Freezer	110 SF	S-2		300 SF	1	Proposed
219	Liquor Storage	64 SF	S-2		300 SF	1	Proposed
220	Not Used						
221	Lobby	217 SF	A-2	Standing Room	5 SF	44	Proposed
222	Porch Dining	474 SF	A-2	Chairs & Tables	15 SF	32	Existing
223	Walk-in Cooler	139 SF	S-2		300 SF	1	Existing
224	Dry Storage	225 SF	S-2		300 SF	1	Existing
225	Beer Cooler	100 SF	S-2		300 SF	1	Proposed
226	Not Used						
227	Closet	35 SF	S-2		0 SF		Existing
228	Private Dining Room	217 SF	A-2	Chairs & Tables	15 SF	15	Existing
229	Not Used						
230	Food Prep	1650 SF	A-2	Kitchen	200 SF	9	Proposed
231	Storage	115 SF	S-2		300 SF	1	Existing
232	Patio	700 SF	A-2	Chairs & Tables	15 SF	47	Proposed
233	*Waiting Area	250 SF	A-2	Fixed Seating	7 SF	36	Proposed
234	*Covered Entry	414 SF	A-2		0 SF		Proposed
237	*Trash	294 SF	S-2		0 SF		Existing
238	Not Used						
239	Not Used						
Grand total: 26		10261 SF				469	

ABBREVIATIONS	
AB	ANCHOR BOLT
AC	ACRES
A.C.	ASPHALT CONCRETE
A.F.F.	ABOVE FINISH FLOOR
A.F.G.	ABOVE FINISH GRADE
AMP	AMPERE
B.F.F.	BELOW FINISHED FLOOR
BTM	BOTTOM
CF	CUBIC FEET
C.I.	CURB INLET
CLR.	CLEARANCE
COL.	COLUMN
CONC.	PORTLAND CEMENT CONCRETE
COSB	CITY OF SOLANA BEACH COUNTY OF SAN DIEGO
D	DEPTH
DFL	DOUGLAS FIR/LARCH
D.I.	DRAIN INLET
EX.	EXISTING
EXTG.	EXTINGUISHER
E.W.	EACH WAY
F.F.E.	FINISHED FLOOR ELEVATION
F.M.O.	FISH MARKET ONLY
F.S.	FINISHED SURFACE
F.T.	FETT / FOOT
FTG.	FOOTING
GAL.	GALLON
GLB	GLUE LAMINATED BEAM
GFA	GROSS FLOOR AREA
HSS	HOLLOW STEEL SECTION
INT.	INTERIOR
LBS	POUNDS
MAX.	MAXIMUM
MIL	THOUSANDTHS OF AN INCH
MIN.	MINIMUM
N/A	NOT APPLICABLE
(N)	NEW
O2	OXYGEN
OV	OVER
O.C.	ON CENTER
P.C.C.	PORTLAND CEMENT CONCRETE
P.I.P.	PROTECT IN PLACE
PLS	PLACES
P.P.	POWER POLE
PTSP	PRESSURE TREATED SILL PLATE
R.P.D.	REVERSE PRESSURE PRINCIPLE DEVICE
R.O.W.	RIGHT OF WAY
R.S.	REFRIGERANT SENSOR
SBMC	SOLANA BEACH MUNICIPAL CODE
SDRS&D	SAN DIEGO REGIONAL STANDARD DRAWING
SF	SQUARE FEET
S4S	SURFACED FOUR SIDES
SWR	SEWER
TBD	TO BE DONE
T&G	TONGUE AND GROOVE
THK	THICK OR THICKNESS
T&B	TOP AND BOTTOM
T.O.S.	TOP OF SUBFLOOR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VISQUENE	PLASTIC SHEETING COMPLYING WITH ASTM E 1745, AND INSTALLED PER ASTM E 1643
W	WIDTH
W.M.	WATER METER
W/	WITH

REFERENCE DRAWINGS	
DRAWING NO.	DESCRIPTION
CG 3095	IMPROVEMENT PLANS FOR EDEN GARDENS SEWER PUMP STATION
MAP 10469	COUNTY OF SAN DIEGO TRACT 4262
FIRM 06073C1307G	FLOOD RATE INSURANCE MAP SAN DIEGO COUNTY, CALIFORNIA
305-1683-002	PANEL 1307 OF 2375
???	PLANS FOR CONSTRUCTION OF MISCELLANEOUS IMPROVEMENTS CARDIFF SANITATION DISTRICT AND SOLANA BEACH SANITATION DISTRICT, DATED 3-18-1975
TM 4262	SEWER, WATER, ARTERIAL, PAVING IMPROVEMENT PROJECTS RECYCLED WATER PIPELINES AND CRT RETROFIT, DATED 6/30/2016 IMPROVEMENTS TO COUNTY OF SAN DIEGO TRACT NO 4262 (DOUBLE 12'X6' CONCRETE BOX CULVERT) SAN DIEGO COUNTY, CALIFORNIA, DATED 7/23/1992
TPM7683, FN.221.82	PLANS FOR THE IMPROVEMENT OF A PORTION OF VIA DE LA VALLE AND DRAINAGE CULVERT, DATE 7/24/1984

BUILDING CODE DATA

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

-2019 CALIFORNIA BUILDING CODE (2019 CBC) ADOPTS 2018 INTERNATIONAL BUILDING CODE (2018 IBC) AND 2019 CALIFORNIA AMENDMENTS
 -2019 CALIFORNIA FIRE CODE (2019 CFC) ADOPTS 2012 INTERNATIONAL FIRE CODE (2012 IFIC) AND 2019 CALIFORNIA AMENDMENTS
 -2019 CALIFORNIA MECHANICAL CODE (2019 CMC) ADOPTS 2019 UNIFORM MECHANICAL CODE (2019 UMC) AND 2019 CALIFORNIA AMENDMENTS
 -2019 CALIFORNIA ELECTRICAL CODE (2019 CEC) ADOPTS 2018 NATIONAL ELECTRICAL CODE (2018 NEC) AND 2019 CALIFORNIA AMENDMENTS
 -IFPA 664: STANDARD FOR THE PREVENTION OF FIRES AND EXPLOSIONS IN WOOD PROCESSING AND WOODWORKING FACILITIES
 -ASCE 7-10: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 -2019 CALIFORNIA ENERGY CODE (2019 CEC)
 -2019 CALIFORNIA PLUMBING CODE (2019 CPC) ADOPTS 2019 UNIFORM PLUMBING CODE (2019 UPC) AND 2019 CALIFORNIA AMENDMENTS
 -2019 CALIFORNIA HISTORICAL BUILDING CODE (2019 CHBC)
 -2019 CALIFORNIA EXISTING BUILDING CODE (2019 CEB) ADOPTS 2018 INTERNATIONAL EXISTING BUILDING CODE (2018 IIBC) AND 2019 CALIFORNIA AMENDMENTS
 -2019 CALIFORNIA REFERENCED STANDARDS CODE (2019 CRSC) AND 2019 CALIFORNIA AMENDMENTS

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
A-0.1	TITLE SHEET
A-0.2	RENDERINGS
A-0.3	RENDERINGS
A-0.4	SITE PLAN
A-0.5	PARTIAL SITE PLAN
A-0.6	PHOTOGRAPHIC STUDY
A-0.7	ADA REQUIREMENTS
A-1.0	EXISTING FLOOR PLAN
A-1.1	DEMOLITION FLOOR PLAN
A-1.2	PROPOSED FLOOR PLAN
A-1.3	EXISTING ROOF PLAN
A-1.4	PROPOSED ROOF PLAN
A-1.5	FAR STUDY
A-2.1	ELEVATIONS - NORTH
A-2.2	ELEVATIONS - SOUTH
A-2.3	ELEVATIONS - EAST
A-2.4	ELEVATIONS - WEST
A-3.0	ARCHITECTURAL SECTIONS
A-4.1	COMPREHENSIVE SIGN PLAN - SITE PLAN
A-4.2	COMPREHENSIVE SIGN PLAN - FISH MARKET RESTAURANT
A-4.3	COMPREHENSIVE SIGN PLAN - FISH MARKET RESTAURANT
A-4.4	COMPREHENSIVE SIGN PLAN - WINNERS CIRCLE RESORT & WINNERS TENNIS & RED TRACTONS
A-4.5	COMPREHENSIVE SIGN PLAN - MONUMENT AREA
C-1.0	EXISTING SITE TOPOGRAPHIC SURVEY
C-1.1	EXISTING PARTIAL SITE TOPOGRAPHIC SURVEY
C-2.0	GRADING & DRAINAGE PLAN
LC.1	LANDSCAPE CONCEPT PLAN
LC.2	WATER CONSERVATION PLAN

PROJECT PARTICIPANTS

PROJECT NAME: FISH MARKET SOLANA BEACH
ADDRESS: THE FISH MARKET
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075
 P: 619-232-8652
 E: dcotton@thefishmarket.com

ARCHITECT: REYES STUDIO
 1566 HUNTERS POINTE AVENUE
 CHULA VISTA, CA 91913
 P: 658-922-6246
 E: r.reyes@reyesstudio.com

CIVIL: COFFEY ENGINEERING, INC.
 9566 BUSINESSPARK AVENUE, SUITE 210
 SAN DIEGO, CA 92131
 P: 658-831-0111
 E: rein@coffeeyengineering.com

LANDSCAPE: STUDIOWEST LANDSCAPE & ARCHITECTURAL PLANNING
 3625 RUFFIN ROAD, SUITE 108
 SAN DIEGO, CA 92123
 P: 658-598-5085
 E: mlandis@studiowest-land.com

CONTRACTOR: SMITH BROTHERS
 P.O. BOX 1088
 SOLANA BEACH, CA 92075
 P: 658-350-1445
 E: jeffsmith@smithbrothersconstruction.com

DESIGNER: ARCH5 DESIGN STUDIO
 2528 DEWEY ROAD
 BLDG 202, UNIT 207
 SAN DIEGO, CA 92106
 P: 658-336-4566
 E: rachel@arch5design.com

PROJECT DATA

APPLICANT: THE FISH MARKET RESTAURANT
 ATTN: DWIGHT COTTON
 1 TUNA LANE, SUITE 3
 SAN DIEGO, CA 92101
 P: 619-232-8652
 E: dcotton@thefishmarket.com

OWNER: DENYES ASSET MANAGEMENT III, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

PROJECT DATA

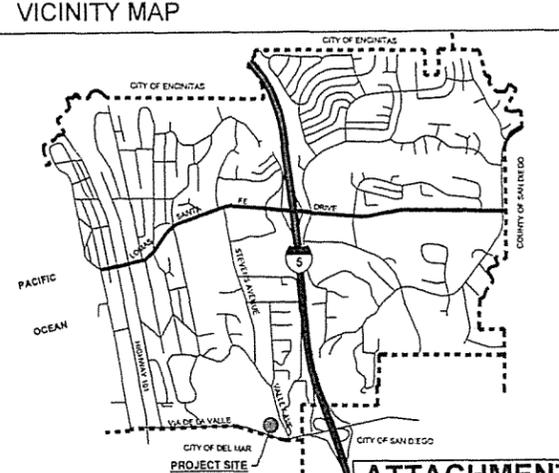
DATA: PROJECT ADDRESS: 640 VIA DE LA VALLE, DEL MAR, CA 92014
 PARCEL ADDRESS: 550 & 640 VIA DE LA VALLE, DEL MAR, CA 92014
 APN: 298-272-01
 ZONE: COMMERCIAL (C)
 FLOODPLAIN OVERLAY: YES
 MAXIMUM FAR = 1.2
 SETBACKS (FEET):
 FRONT = 0
 SIDE = 0 (ABUTTING COMMERCIAL)
 SIDE = 10 (ABUTTING RESIDENTIAL)
 (ADDITIONAL 5 FOR STORIES ABOVE SECOND FLOOR)
 STREET SIDE = 0
 REAR = 0 (ABUTTING COMMERCIAL)
 REAR = 10 (ABUTTING RESIDENTIAL)
 (ADDITIONAL 5 FOR STORIES ABOVE SECOND FLOOR)

ALLOWABLE BUILDING HEIGHT: 35 FT
LOT DIMENSIONS:
 MIN ALLOWABLE AREA = 6000 SF
 MIN STREET FRONTAGE = 60 FT
 MIN WIDTH/INTERIOR = 60 FT
 MIN WIDTH CORNER = 65 FT
 MIN DEPTH = 100 FT
 GROSS SITE AREA = 7.58 AC (330201 SF)
 NET SITE AREA = 5.58 AC (243252 SF)
 EXISTING FLOOR AREA = 10200 SF (FAR = 0.3052)
 PROPOSED FLOOR AREA = 101851 SF (FAR = 0.3085)
 MAX ALLOWABLE FLOOR AREA = 1.2 * 330201 = 396,241 SF
 EXISTING SEAT COUNT = 288
 PROPOSED SEAT COUNT = 312

PARKING REQUIREMENTS: RESTAURANT: 1 SPACE PER 100 SF OR GFA (EXCEPTION 2 TABLES & 8 CHAIRS OUTSIDE)
 HOTELS & MOTELS: 1 SPACE FOR EACH GUEST UNIT PLUS 1 SPACE FOR EACH EMPLOYEE PLUS 1 SPACE FOR EACH 50 SF OF GFA ASSEMBLY ROOM

PROJECT SCOPE: TENANT IMPROVEMENTS TO REIMAGE THE RESTAURANT. DECREASE THE FLOOR AREA BY 239 SF, INCREASE THE PATIO AREA BY 260 SF, INSTALL A NEW ENTRANCE COVER, RECONFIGURE AN OUTDOOR WAITING AREA, IMPROVE THE BUILDINGS FACADE AND SIGNAGE AND REVAMP THE LANDSCAPE AROUND THE RESTAURANT.

COSB REFERENCE: DRP 17-19-03



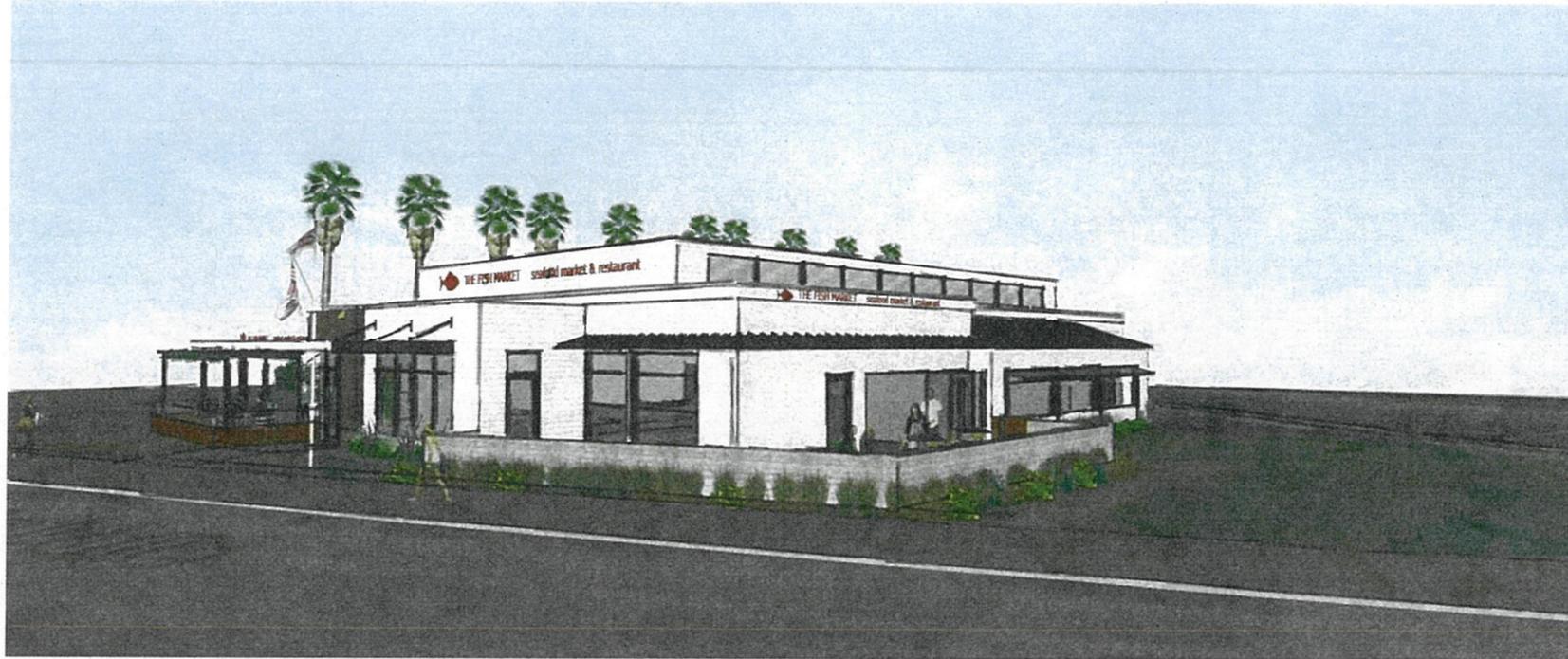
arch5 design

THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



REYES
 STUDIO
 ARCHITECTURE
 858.922.6246

DATE REVISION:	12/3/2021
DESIGNED:	
DRAWN:	
PROJECT STATUS:	DRP Pending
PN:	160428
SHEET:	
A-0.1	
TITLE SHEET	



1 3D PERSPECTIVE - SE
NTS



2 3D PERSPECTIVE - SW
NTS



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	8-28-2019
3	4th DRP Submittal	11-4-2019
4	5th DRP Submittal	12-3-2021

arch 5 design

THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



REYES
STUDIO
ARCHITECTURE
858.922.6246

DATE REVISION	12/3/2021
DESIGNED BY	
DRAWN BY	
PROJECT STATUS	DRP Pending
SPN	160428
SHEET	

A-0.2
RENDERINGS

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1 3D PERSPECTIVE - NE
NTS



2 3D PERSPECTIVE - NW
NTS



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-6-2019
2	3rd DRP Submittal	8-20-2019
3	4th DRP Submittal	11-4-2019
4	5th DRP Submittal	12-3-2021

arch 5 design

THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



REYES
STUDIO
ARCHITECTURE
858.922.6246

DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT	
STATUS	DRP Pending
PN	160428

SHEET
A-0.3
RENDERINGS



#	DESCRIPTION	DATE
1	2nd DRP Submitted	1-4-2019
2	3rd DRP Submitted	6-28-2019
3	4th DRP Submitted	11-6-2019
4	5th DRP Submitted	12-3-2021

arch@design

THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



REYES
STUDIO
ARCHITECTURE
858.922.6246

DATE REVISION: 12/3/2021
DESIGNED:
DRAWN:
STATUS: DRP Pending
PN: 160428
SHEET
A-0.4
SITE PLAN

Room Description	Existing		Proposed		Difference
	Room No.	Seats	Room No.	Seats	
Private Dining Room	128	10	228	10	0
Banquet Room	104	52	204	52	0
Main Dining #1	101	76	201	76	0
Main Dining #2	102	66	202	66	0
Porch Dining	122	40	222	40	0
Patio	132A	22	232	56	34
Patio	132B	10		-10	
Oyster Bar		12	12	0	
Grand Total		288		312	24
EDU Required per SBMC 14.08.060			48		4

Gross Site Area	330201 SF
Easement #2 - Right of Way Purposes	75029 SF
Easement #1 - Water Line	471 SF
Easement #3 - Drainage	11449 SF
Subtotal	86949 SF
Net Site Area	243252 SF

APPLICANT
THE FISH MARKET RESTAURANT
ATTN: DWIGHT COLTON
1 TUNA LANE, SUITE 3
SAN DIEGO, CA 92101
P. 619-232-8862
E. DCOLTON@THEFISHMARKET.COM

OWNER
DENYES ASSET MANAGEMENT III, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

PROJECT DATA
PROJECT ADDRESS: 640 VIA DE LA VALLE, DEL MAR, CA 92074
PARCEL ADDRESS: 550 & 640 VIA DE LA VALLE, DEL MAR, CA
APN: 298-272-01
ZONE: COMMERCIAL (C)
FLOODPLAIN OVERLAY - YES
MAXIMUM FAR = 1.2
SETBACKS (FEET):
FRONT = 0
SIDE = 0 (ABUTTING COMMERCIAL)
SIDE = 10 (ABUTTING RESIDENTIAL) (ADDITIONAL 5 FOR STORIES ABOVE SECOND FLOOR)
STREET SIDE = 0
REAR = 0 (ABUTTING COMMERCIAL)
REAR = 10 (ABUTTING RESIDENTIAL) (ADDITIONAL 5 FOR STORIES ABOVE SECOND FLOOR)
ALLOWABLE BUILDING HEIGHT = 35 FT
LOT DIMENSIONS:
MIN. ALLOWABLE AREA = 6000 SF
MIN. STREET FRONTAGE = 60 FT
MIN. WIDTH INTERIOR = 60 FT
MIN. WIDTH CORNER = 65 FT
MIN. DEPTH = 100 FT
GROSS SITE AREA = 7.58 AC (330201 SF)
NET SITE AREA = 5.58 AC (243252 SF)
EXISTING FLOOR AREA = 102090 SF (FAR = 0.3092)
PROPOSED FLOOR AREA = 101851 SF (FAR = 0.3085)
MAXIMUM ALLOWABLE FLOOR AREA = 1.2 * 330201 = 396,241 SF
PROJECT SITE AREA = 5.96 AC (255172 SF) [EXCLUDES R-O-W]
LANDSCAPE AREA = 1.10 AC (47,367 SF)
VEHICLE USE AREA (VUA) = 2,238 AC (97473 SF)
LANDSCAPE PORTION OF VUA = 8% (8533 SF)
EXISTING SEAT COUNT = 288
PROPOSED SEAT COUNT = 312
FIRM 05073C1307G = FLOOD RATE INSURANCE MAP SAN DIEGO COUNTY, CALIFORNIA
PANEL 1307 OF 237

CODE REFERENCE
COSB ZONING MAP
COSB OVERLAY MAP
SBMC 17.24.03-C
SBMC 17.24.03-B
SBMC 17.24.03-D
SBMC 17.24.03-A

SBMC 17.52.040

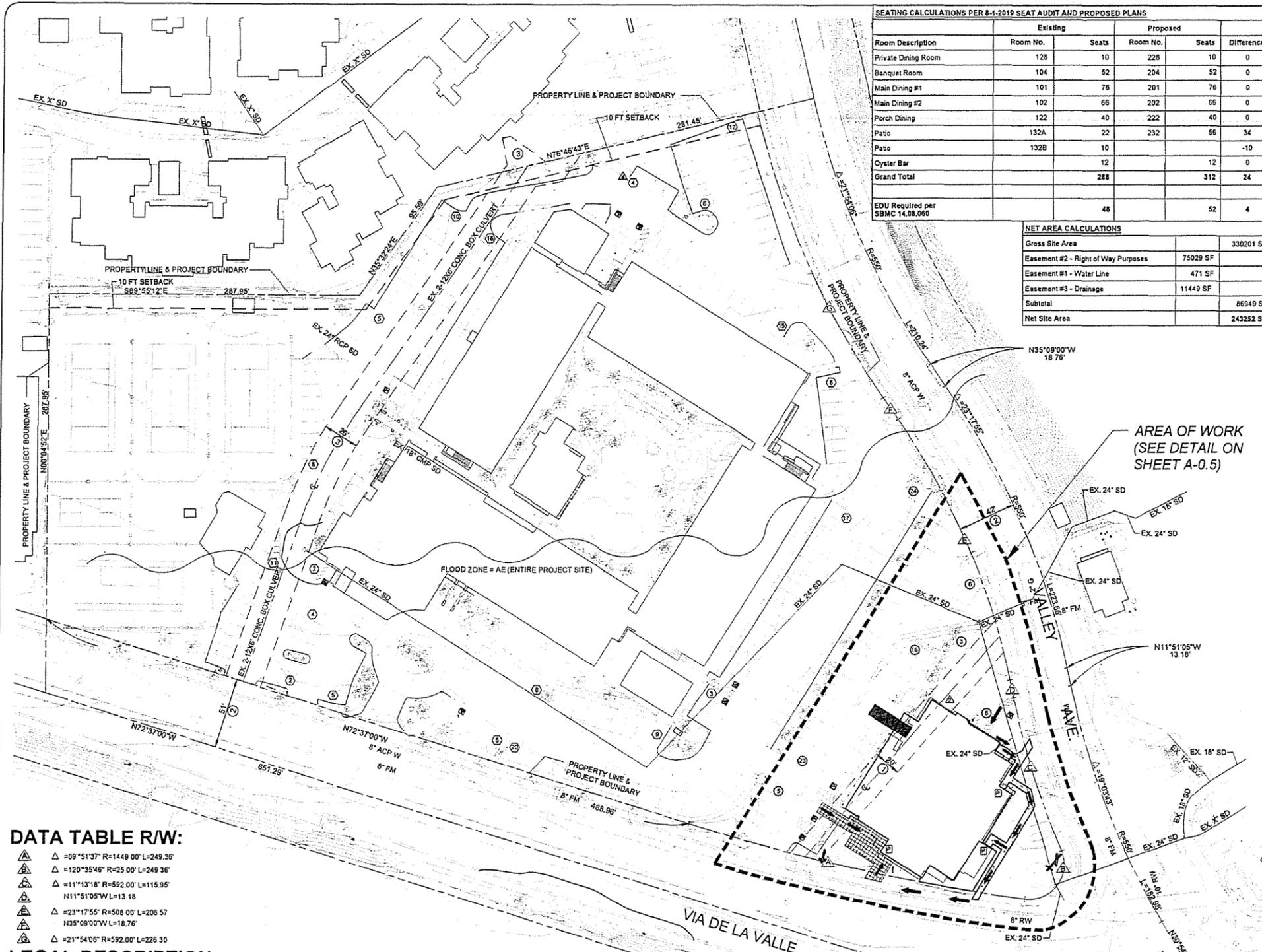
PARKING REQUIREMENTS
RESTAURANT = 1 SPACE PER 100 SF OR GFA (EXCEPTION 2 TABLES & 8 CHAIRS OUTSIDE)
HOTELS & MOTELS = 1 SPACE FOR EACH GUEST UNIT PLUS 1 SPACE FOR EACH EMPLOYEE PLUS 1 SPACE FOR EACH 50 SF OF GFA ASSEMBLY ROOM

PARKING CALCULATIONS
ORIGINAL PARKING WAS IMPLEMENTED DECEMBER 1ST, 1978 USING ZONING REQUIREMENTS FROM THE COUNTY OF SAN DIEGO. THE SITE WAS THEN ZONED GENERAL COMMERCIAL (C35). THE TIMESHARES REQUIRED ONE SPACE FOR THE FIRST 20 UNITS AND 0.5 SPACES FOR THE REMAINING UNITS. THE RESTAURANTS REQUIRED ONE SPACE PER 300 SF OF GROSS FLOOR AREA (GFA). THE FOLLOWING TABLE STARTS WITH THE BASE PARKING AS IT EXISTED IN 1988 WHEN THE CITY OF SOLANA BEACH WAS INCORPORATED AND DEMONSTRATES THE EVOLUTION OF PARKING AS IT EXISTS TODAY AND COMPLIANCE WITH SBMC 17.52 WITH SPECIAL CONSIDERATION OF SBMC 17.16.110.C

DATE	TIMESHARE UNITS	QUANTITY	REQ'D RATIO	SPACES REQ'D	SPACES PROVIDED	CODE REFERENCE
pre 1986	Winners Circle Timeshare (1)	20 Units	1	20		SBMC 17.16.110.C & CSD Ordinance 5281
pre 1986	Winners Circle Timeshare (1)	74 Units	0.5	37		SBMC 17.16.110.C & CSD Ordinance 5281
pre 1986	Fish Market Restaurant (1)	9681 SF	300	33		SBMC 17.16.110.C & CSD Ordinance 5281
pre 1986	Red Tracions Restaurant (1)	2050 SF	300	7		SBMC 17.16.110.C & CSD Ordinance 5281
pre 1986	Subtotal =			97	217	
1988	Red Tracions Restaurant improvement plan to expand GFA by Hoffman Design Group JN 8809	2050 SF	100	21		SBMC 17.52.40
2001	Service building, laundry, office and elevator for Winners Circle Resort (3)	1781 SF	0	0		Resolution 2001-92
2001	Subtotal =			118	217	
post 2001	Fish Market Expansion	457	100	5		SBMC 17.52.040
2018	Winners Circle Expansion	0	0	0		Resolution 2018-141
	Subtotal			123	253	
2019	Fish Market Expansion	305	100	4		SBMC 17.52.040
	Total			127	252	See note 6

DATE	SPACES PROVIDED	REQ'D RATIO	ADA SPACES REQUIRED	ADA SPACES PROVIDED	CODE REFERENCE
Current	Total Parking Spaces - Overall Site	252	201 to 300 = 7	7	CBC 2019 TABLE 11B-208.2
Current	Standard ADA Spaces (5)			6	
Current	FMO Standard ADA Spaces (2)			3	
	Subtotal			9	
Current	ADA Van Accessible Spaces (5)	1 PER 6 ADA STALLS	1	1	CBC 2019 SECTION 11B-208.2.4
Current	FMO ADA Van Accessible Spaces (2)			1	
	Subtotal			2	
Current	Total ADA Parking Spaces - Overall Site		8	11	

FOOTNOTES
(1) Parking PER San Diego County Zoning Ordinance - C36 General Commercial Landuse (pre 1986)
(2) FMO means spaces designated for only the Fish Market Restaurant
(3) Uncertain if these improvements were constructed
(4) See parking requirements this sheet taken from SBMC 17.52.040
(5) Remainder of spaces not designated FMO
(6) One parking space granted to the Fire Department for access to the Fire Riser and FDC



DATA TABLE R/W:

- △ = 09°51'37" R=1449.00' L=249.36'
- △ = 120°35'46" R=25.00' L=249.36'
- △ = 11°13'18" R=592.00' L=115.95'
- △ N11°51'05"W L=13.18
- △ = 23°17'55" R=508.00' L=206.57
- △ N35°09'00"W L=18.76'
- △ = 21°54'06" R=592.00' L=226.30

LEGAL DESCRIPTION:

LOT 1 OF THE COUNTY OF SAN DIEGO TRACT 4262, ACCORDING TO MAP THEREOF NO. 10459 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON AUGUST 30 1982 AS FILE NO 82-268314

TOPOGRAPHIC SOURCE

THE TOPOGRAPHY WAS PREPARED FROM A SURVEY PERFORMED ON 4/21/2016 BY LANDMARK ENGINEERING CORPORATION UNDER THE RESPONSIBLE CHARGE OF PROFESSIONAL LAND SURVEYOR LAWRENCE E. COLE (5097LS) AT THE REQUEST OF WINNERS CIRCLE RESORT (TERRY FRASER)

BENCH MARK

DESCRIPTION: P.T. #2007 TURF
LOCATION: FD 3" CITY OF DEL MAR BRASS DISC SET FLUSH ON N.W. COR. OF A 10X24' ELEC. VAULT LOCATED IN CURB ISLAND AT THE SE COR. OF VIA DE LA VALLE AND JIMMY DURANTE BLVD
ELEV.: 19.524 DATUM NGVD29

EASEMENTS:

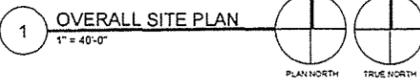
- 1 EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED AUGUST 8, 1972, FILE NO. 207772 OF O.R. - QUITCLAIMED PER DOC NO. 2019-##### OF O.R.
- 2 EASEMENT FOR THE RIGHT OF WAY AND INCIDENTS THERETO GRANTED TO SAN DIEGO COUNTY MAY 4, 1959, BOOK 7640, PAGE 295 OF O.R.
- 3 EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-193382 DATE 6-23-82
- 4 EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-198949 DATE 6-28-82
- 5 EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED XXXX, 2019, FILE NO. 2019-##### OF O.R.

Site Grading	0 CY
Excavation for footings of new construction	4 CY
Removal and recompaction for new construction	0 CY
Total Grading	4 CY

	Existing	Proposed
Non-landscaped area	207103 SF	207317 SF
Non-irrigated landscape	0 SF	0 SF
Irrigated landscape	48069 SF	47855 SF
Water features	0 SF	0 SF
Decorative hardscape	0 SF	0 SF
Total Lot Area	255172 SF	255172 SF
		Area of Work
Irrigated Landscape	9541 SF	9327 SF
Water Features	0 SF	0 SF
Decorative Hardscape	0 SF	0 SF
Aggregate Landscape Area	9541 SF	9327 SF

LEGEND

- DESCRIPTION ACCESSIBLE PATH OF TRAVEL SYMBOL →
- PARKING STALL COUNT 17
- FMO PARKING STALL COUNT 20
- TRASH ENCLOSURES (DUMPSTER COUNT AS SHOWN) △
- ACCESSIBLE PARKING SPOT 5
- ACCESSIBLE VAN PARKING SPOT 6
- PUBLIC POINTS OF ACCESS 7
- BASE FLOOD ELEVATION (BFE) FROM THE FLOOD INSURANCE RATE MAP (FIRM) - ELEVATION AS NOTED IN NGVD29



LEGAL DESCRIPTION:

LOT 1 OF THE COUNTY OF SAN DIEGO TRACT 4282, ACCORDING TO MAP THEREOF NO. 10459 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON AUGUST 30 1982 AS FILE NO. 82-258314.

TOPOGRAPHIC SOURCE

THE TOPOGRAPHY WAS PREPARED FROM A SURVEY PERFORMED ON 4/21/2016 BY LANDMARK ENGINEERING CORPORATION UNDER THE RESPONSIBLE CHARGE OF PROFESSIONAL LAND SURVEYOR LAWRENCE E. COLE (5097LS) AT THE REQUEST OF WINNERS CIRCLE RESORT (TERRY FRASER).

BENCH MARK

DESCRIPTION: P.T. #2007 TURF
 LOCATION: FD 3' CITY OF DEL MAR BRASS DISC SET FLUSH ON HWLY COR. OF A 10'X24' ELEC. VAULT LOCATED IN CURB ISLAND AT THE SE COR. OF VIA DE LA VALLE AND JIMMY DURANTE BLVD.
 ELEV.: 15.524 DATUM: NGVD29

EASEMENTS: ○ = PLOTTED

DESCRIPTION: P.T. #2007 TURF
 LOCATION: FD 3' CITY OF DEL MAR BRASS DISC SET FLUSH ON HWLY COR. OF A 10'X24' ELEC. VAULT LOCATED IN CURB ISLAND AT THE SE COR. OF VIA DE LA VALLE AND JIMMY DURANTE BLVD.
 ELEV.: 15.524 DATUM: NGVD29

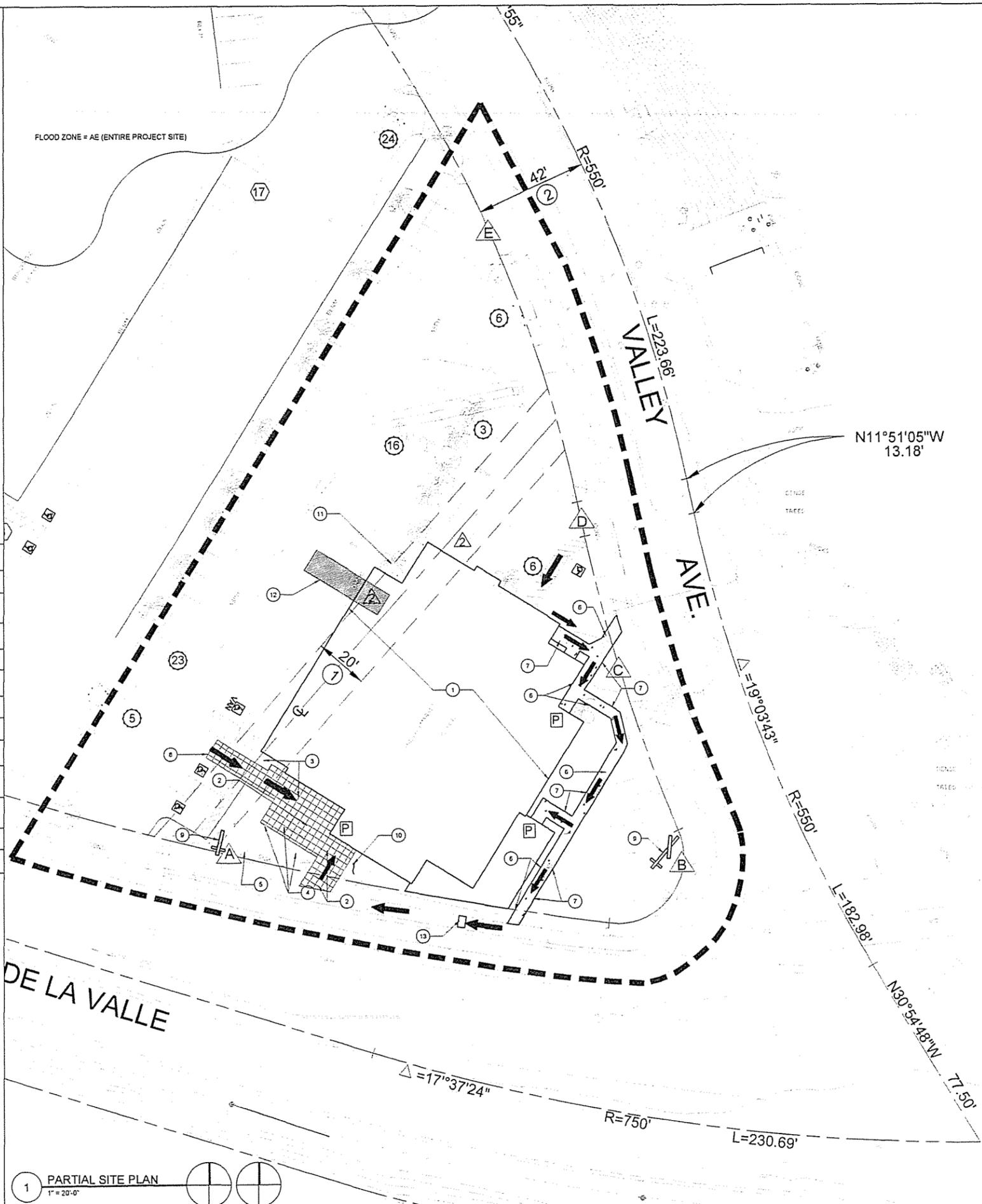
- ① EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED AUGUST 8, 1972, FILE NO. 207772 OF O.R. - QUITCLAIMED PER DOC NO. 2019-##### O.R.
- ② EASEMENT FOR THE RIGHT OF WAY AND INCIDENTS THERETO GRANTED TO SAN DIEGO COUNTY MAY 4, 1959, BOOK 7640, PAGE 296 OF O.R.
- ③ EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-193382 DATE 6-23-82
- ④ EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-196949 DATE 6-28-82
- ⑤ EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED XXXX, 2019, FILE NO. 2019-##### OF O.R.

LEGEND

DESCRIPTION	SYMBOL
ACCESSIBLE PATH OF TRAVEL	→
PARKING STALL COUNT	Ⓜ
FMO PARKING STALL COUNT	Ⓜ
TRASH ENCLOSURES (DUMPSTER COUNT AS SHOWN)	△
ACCESSIBLE PARKING SPOT	□
ACCESSIBLE VAN PARKING SPOT	Ⓜ
PUBLIC POINTS OF ACCESS	Ⓜ
BASE FLOOD ELEVATION (BFE) FROM THE FLOOD INSURANCE RATE MAP (FIRM) - ELEVATION AS NOTED IN NGVD29	—

SITE PLAN KEYNOTES ○ = PLOTTED

KEYNOTE	DESCRIPTION	QUANTITY	SYMBOL
①	OUTLINE OF PROPOSED BUILDING AND APPURTENANT IMPROVEMENTS	1 EA	
②	DEMOLISH EXISTING WOOD DECKING AND BRICK/CONCRETE WALKWAY AT ENTRY	854 SF	
③	DEMOLISH EXISTING EXTERIOR PLANTER AT ENTRY WAY	2 EA	
④	DEMOLISH EXISTING BUILT-IN CRAB POT, TABLE, TIMBER SURROUND PLANTERS AND WOOD DECKING	1 LS	
⑤	REFURBISH AND RELOCATE EXISTING MONUMENT SIGN	1 EA	
⑥	DEMOLISH EXISTING WOOD WALKWAY AND CONCRETE WALKWAY	688 SF	
⑦	INSTALL NEW CONCRETE WALKWAY (POLISHED GROUND CONCRETE FLOORING W/ AGGREGATE)	688 SF	
⑧	INSTALL NEW EXTERIOR STONE TILE AT COVERED ENTRY AND WAITING AREA	997 SF	
⑨	INSTALL NEW METAL MONUMENT SIGNAGE WITH BACK LIGHTING AND SMOOTH PLASTER STUCCO FINISH BASE WITH STEEL PROTRUSION	2 EA	
⑩	INSTALL DUAL MAST FLAGPOLE WITH FLAGS	1 EA	
⑪	REMOVE EXISTING PALM TREE (VERIFY)	2 EA	



DATA TABLE RW:

△	09°51'37" R=1449.00' L=249.35'
△	120°35'46" R=25.00' L=249.35'
△	11°13'18" R=592.00' L=115.95'
△	N11°51'05"W L=13.18'
△	23°17'55" R=508.00' L=206.57'
△	N35°09'00"W L=18.76'
△	21°54'00" R=592.00' L=226.30'



REVISIONS	DESCRIPTION	DATE
1	2nd DRP Submitted	3-4-2021
2	3rd DRP Submitted	6-25-2021
3	4th DRP Submitted	11-5-2021
4	5th DRP Submitted	12-3-2021

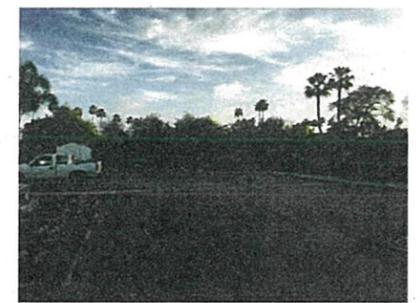
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DATE REVISION:	12/3/2021
DESIGNED:	
DRAWN:	
PROJECT STATUS:	DRP Pending
PN:	160428
SHEET	A-0.5
PARTIAL SITE PLAN	



PHOTOGRAPH NO. 6 NORTH OF WINNERS CIRCLE RESORT



PHOTOGRAPH NO. 5 NORTHEASTERLY OF WINNERS CIRCLE RESORT



PHOTOGRAPH NO. 4 EAST SIDE OF WINNERS CIRCLE RESORT



PHOTOGRAPH NO. 3 FRONT LAWN OF FISH MARKET RESTAURANT



PHOTOGRAPH NO. 1 ENTRANCE TO WINNERS CIRCLE RESORT



PHOTOGRAPH NO. 2 ENTRANCE TO FISH MARKET RESTAURANT

DATA TABLE R/W:

	$\Delta = 09^{\circ}51'37''$ R=1449.00 L=249.36
	$\Delta = 120^{\circ}35'46''$ R=25.00 L=249.36
	$\Delta = 111^{\circ}13'18''$ R=592.00 L=115.95
	$N11^{\circ}51'05''W$ L=13.18
	$\Delta = 23^{\circ}17'55''$ R=508.00 L=205.57
	$N35^{\circ}09'00''W$ L=16.76
	$\Delta = 21^{\circ}54'06''$ R=592.00 L=226.30

LEGEND

DESCRIPTION	SYMBOL
CAMERA POSITION FOR PHOTOGRAPH AS SHOWN	



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-6-2019
2	3rd DRP Submittal	6-28-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021

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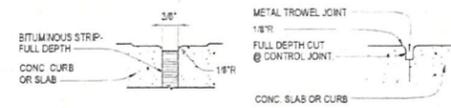


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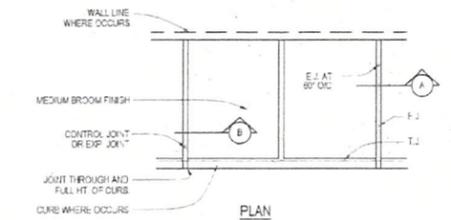
DATE REVISION	12/3/2021
DESIGNED	
DRAWN	
PROJECT STATUS	DRP Pending
PN	160428
SHEET	

A-0.6
PHOTOGRAPHIC STUDY

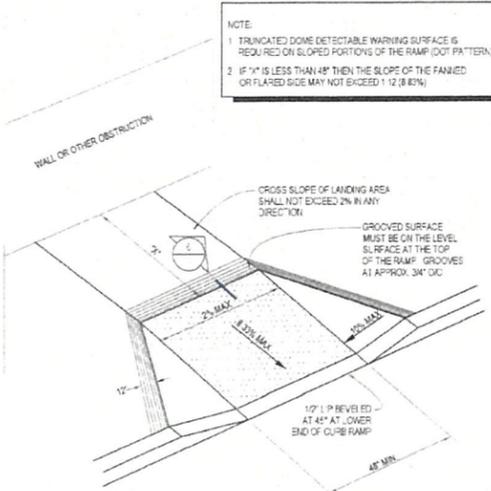
1 OVERALL SITE PLAN
1" = 40'-0"



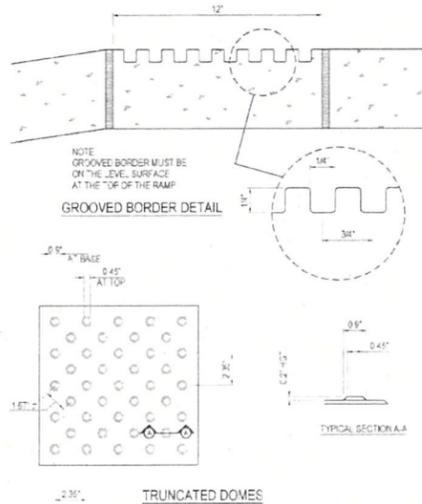
8 EXPANSION JOINT CONTROL JOINT



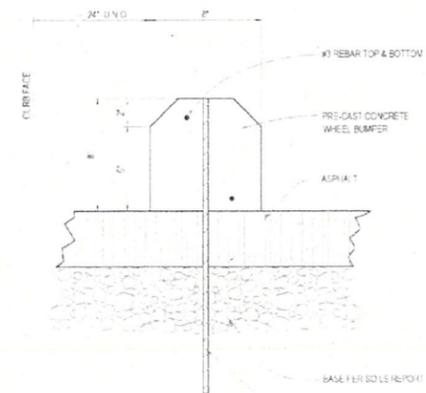
8 SIDEWALK JOINT - TYP. DTL. A-0.7 N.T.S.



5 ADA PEDESTRIAN RAMP - TYPICAL DETAIL A-0.7 N.T.S.



6 GROOVED BORDER/TRUNCATED DOME - TYP. DTL. A-0.7 N.T.S.



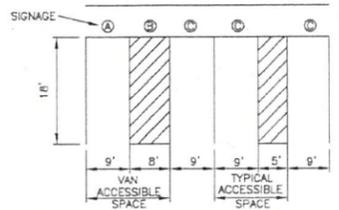
7 CONCRETE WHEEL STOP - TYP. DTL. A-0.7 N.T.S.

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

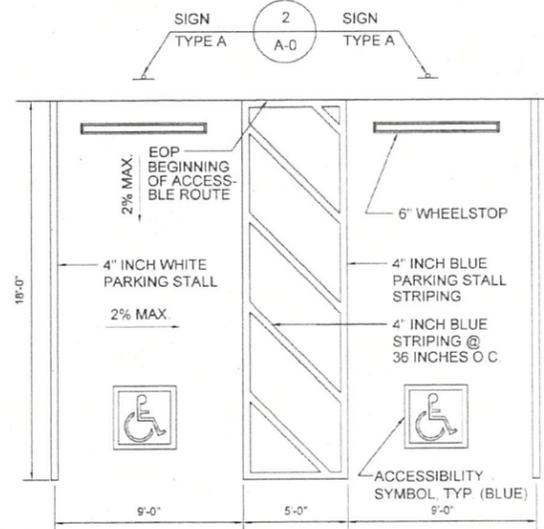
NOTES:

- ALL 12"x18" ACCESSIBLE SIGNS (R7-86 & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION.
- IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



ONE OUT OF EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE. PARKING SPACE PAVEMENT MARKINGS

1 ACCESSIBLE PARKING SIGNAGE - TYP DTL A-0.7 N.T.S.



3 ACCESSIBLE PARKING STALL - TYP DTL A-0.7 1' = 5'-0"



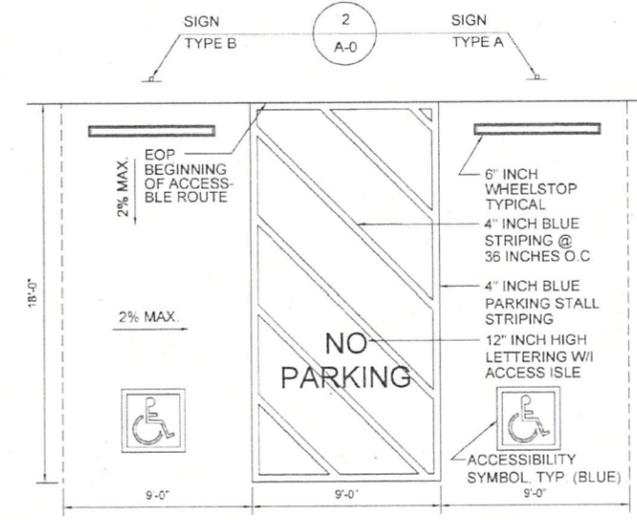
TYPICAL ACCESSIBLE PARKING SIGNAGE
SIGN SHALL NOT BE SMALLER THAN SEVENTY SQUARE INCHES IN AREA, AND SHALL BE MOUNTED ON A POST SET IN CONCRETE, 80 INCHES FROM BOTTOM OF THE SIGN TO FINISH GRADE. SIGN SHALL BE REFLECTORIZED WITH A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND.

TYPICAL VAN ACCESSIBLE PARKING SIGNAGE
SIGN SHALL BE SAME AS ABOVE, WITH ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY

PARKING LOT ACCESSIBILITY SIGNAGE
A SIGN SIMILAR TO ABOVE SHALL BE POSTED AT EACH ENTRY TO THE SITE, WITH LETTERING NOT LESS THAN ONE INCH HIGH STATING

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____ (BLANKS SHALL BE FILLED IN WITH APPROPRIATE INFORMATION FROM THE PROPERTY OWNER.)

2 ACCESSIBLE PARKING SIGNAGE - TYP DTL A-0.7 N.T.S.



4 VAN ACCESSIBLE PARKING STALL - TYP DTL A-0.7 1' = 5'-0"

- THE SURFACE OF ALL CURB RAMPS AND FLARED SIDES ARE TO BE SLIP RESISTANCE AND CONTRASTING FROM THE ADJACENT SIDEWALK FINISH
- DETECTABLE WARNINGS EXTENDING THE FULL WIDTH AND DEPTH OF THE CURB RAMP, INSIDE THE GROOVED BORDER ARE TO BE INSTALLED IF THE SLOPE IS $\le 1:15$ (6.66%). THESE CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF 0.9" AT THE BASE TAPERING TO 0.45" AT THE TOP. SPACING SHALL BE 2.35" O.C. ONLY DSA/AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED.
- THERE SHALL BE NO ABRUPT LEVEL CHANGES $\Rightarrow 1/2"$ ALONG ANY ACCESSIBLE ROUTE OF TRAVEL. WHEN CHANGES DO OCCUR THEY SHALL BE BEVELED WITH A SLOPE OF $\le 1:2$. LEVEL CHANGES $\le 1/4"$ MAY BE VERTICAL.
- HEADROOM $\Rightarrow 80"$ SHALL BE PROVIDED FROM ALL WALKWAY SURFACES TO OBSTRUCTIONS.
- IF GRATED OPENINGS ARE LOCATED IN ANY ACCESSIBLE PATH OF TRAVEL THEY SHALL BE LIMITED TO $\le 2"$ IN THE DIRECTION OF TRAVEL.

5 ADA SURFACE REQUIREMENTS - TYP. DTL. A-0.7 N.T.S.



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	8-28-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021

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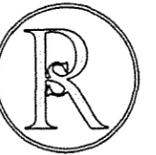
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SOLANA BEACH, CA 92075



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DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
CHECKED	DRP Pending
PN	160428
SHEET	A-0.7

858.922.6246



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	6-26-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021

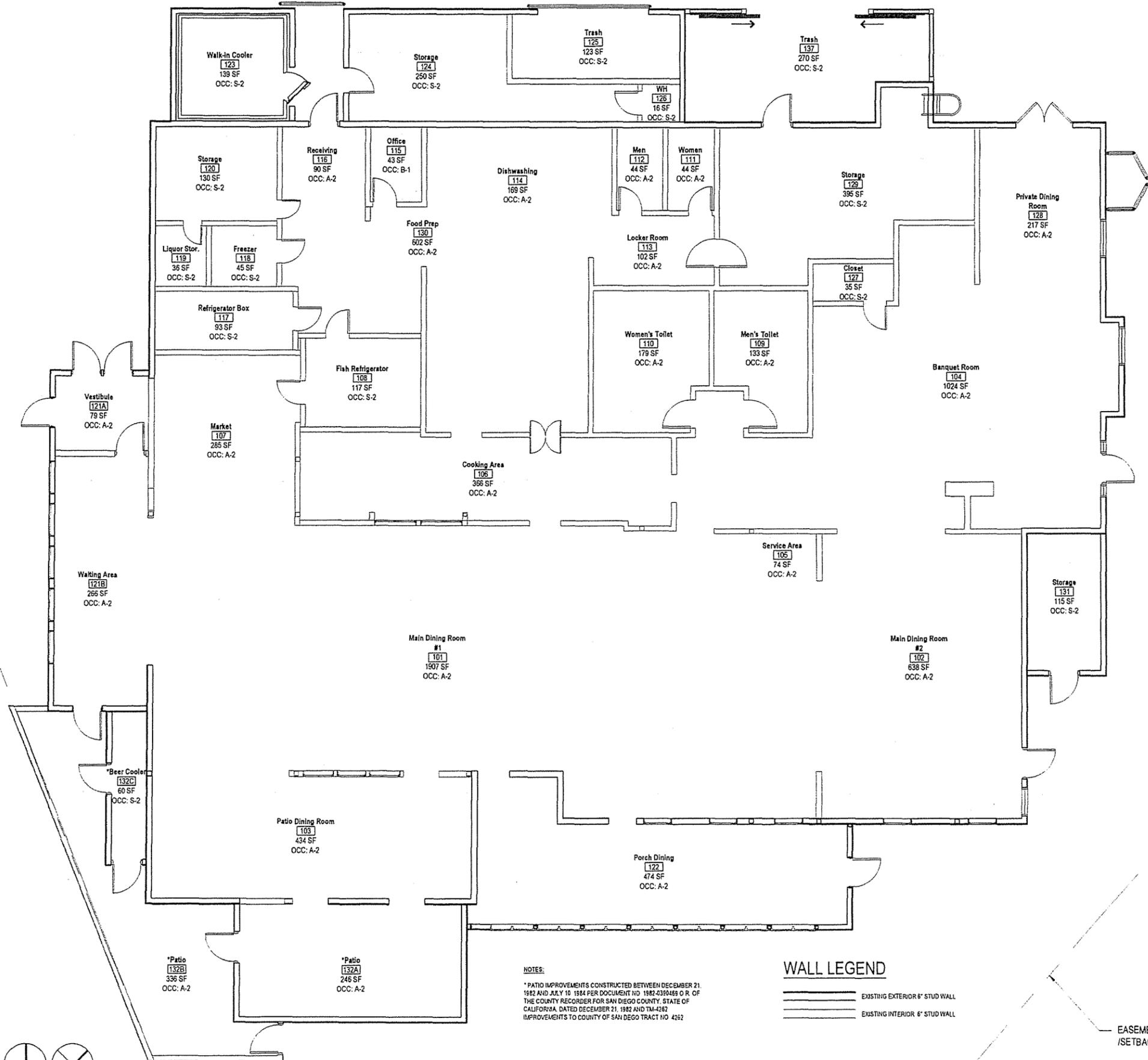
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640 VIA DE LA VALLE
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DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT STATUS	DRP Pending
PK	160428
SHEET	
A-1.0	
EXISTING FLOOR PLAN	



EASEMENT /SETBACK

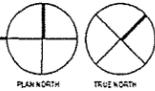
EASEMENT /SETBACK

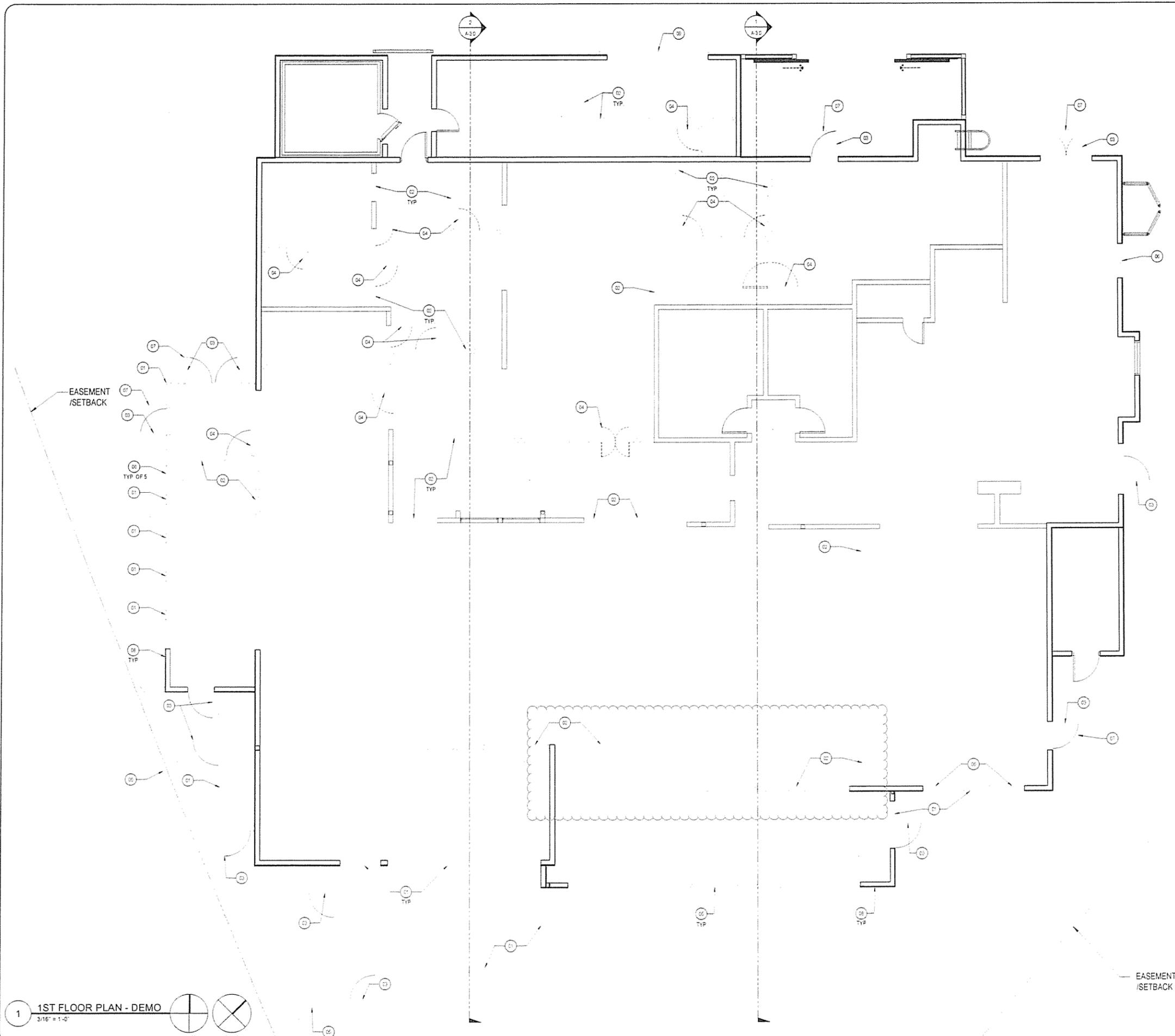
NOTES:
* PATIO IMPROVEMENTS CONSTRUCTED BETWEEN DECEMBER 21, 1982 AND JULY 10, 1984 PER DOCUMENT NO. 1582-0390469 O.R. OF THE COUNTY RECORDER FOR SAN DIEGO COUNTY, STATE OF CALIFORNIA, DATED DECEMBER 21, 1982 AND TM-4262 IMPROVEMENTS TO COUNTY OF SAN DIEGO TRACT NO. 4252

WALL LEGEND

- EXISTING EXTERIOR 6" STUD WALL
- EXISTING INTERIOR 6" STUD WALL

1 1ST FLOOR PLAN - EXISTING
3/16" = 1'-0"





KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
01	DEMOLISH AND REMOVE EXISTING EXTERIOR WALL
02	DEMOLISH AND REMOVE EXISTING INTERIOR WALL
03	DEMOLISH AND REMOVE EXISTING EXTERIOR DOOR
04	DEMOLISH AND REMOVE EXISTING INTERIOR DOOR
05	DEMOLISH AND REMOVE EXISTING EXTERIOR PATIO WALL
06	DEMOLISH AND REMOVE EXISTING WINDOW
07	DEMOLISH AND REMOVE EXISTING CANVAS AWNING ABOVE
08	DEMOLISH AND REMOVE EXISTING WOOD SIDING
09	DEMOLISH AND REMOVE EXISTING SLUING GATE



REVISIONS		
#	DESCRIPTION	DATE
1	2nd DRP Submitted	3-4-2018
2	3rd DRP Submitted	8-10-2018
3	4th DRP Submitted	11-1-2018
4	5th DRP Submitted	12-3-2021

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 SOLANA BEACH, CA 92075

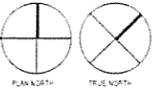


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WALL LEGEND

	EXISTING EXTERIOR 6" STUD WALL
	EXISTING INTERIOR 6" STUD WALL
	DEMOLISH EXTERIOR 6" STUD WALL
	DEMOLISH INTERIOR 6" STUD WALL

1 1ST FLOOR PLAN - DEMO
 3/16" = 1'-0"



EASEMENT /SETBACK

DATE REVISION	12/3/2021
DESIGNED	
DRAWN	
PROJECT STATUS	DRP Pending
PN:	160428
SHEET	A-1.1
DEMOLITION FLOOR PLAN	

KEYNOTE LEGEND

- 01 NEW EXTERIOR WALL
- 02 NEW INTERIOR WALL
- 03 NEW EXTERIOR PATIO WALL AND GATE
- 04 NEW EXTERIOR PATIO LOW WALL W/ GLASS ABOVE
- 05 NEW STOREFRONT GLAZING
- 06 NEW STOREFRONT DOOR
- 07 NEW SINGLE PANEL GLASS DOOR
- 08 NEW LA CANTINA DOOR
- 09 NEW EXTERIOR METAL CLAD WINDOW
- 10 NEW INTERIOR WINDOW
- 11 NEW INTERIOR DOOR
- 12 NEW PAINTED METAL AWNING ABOVE
- 13 NEW METAL TIE ROD CANOPY ABOVE
- 14 NEW TRASH ENCLOSURE TO MATCH EXISTING ADJACENT TRASH ENCLOSURE



REVISIONS	
#	DESCRIPTION
1	2nd DRP Submittal 3-6-2019
2	3rd DRP Submittal 8-28-2019
3	4th DRP Submittal 11-8-2019
4	5th DRP Submittal 12-3-2021

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640 VIA DE LA VALLE
SOLANA BEACH, CA 92075

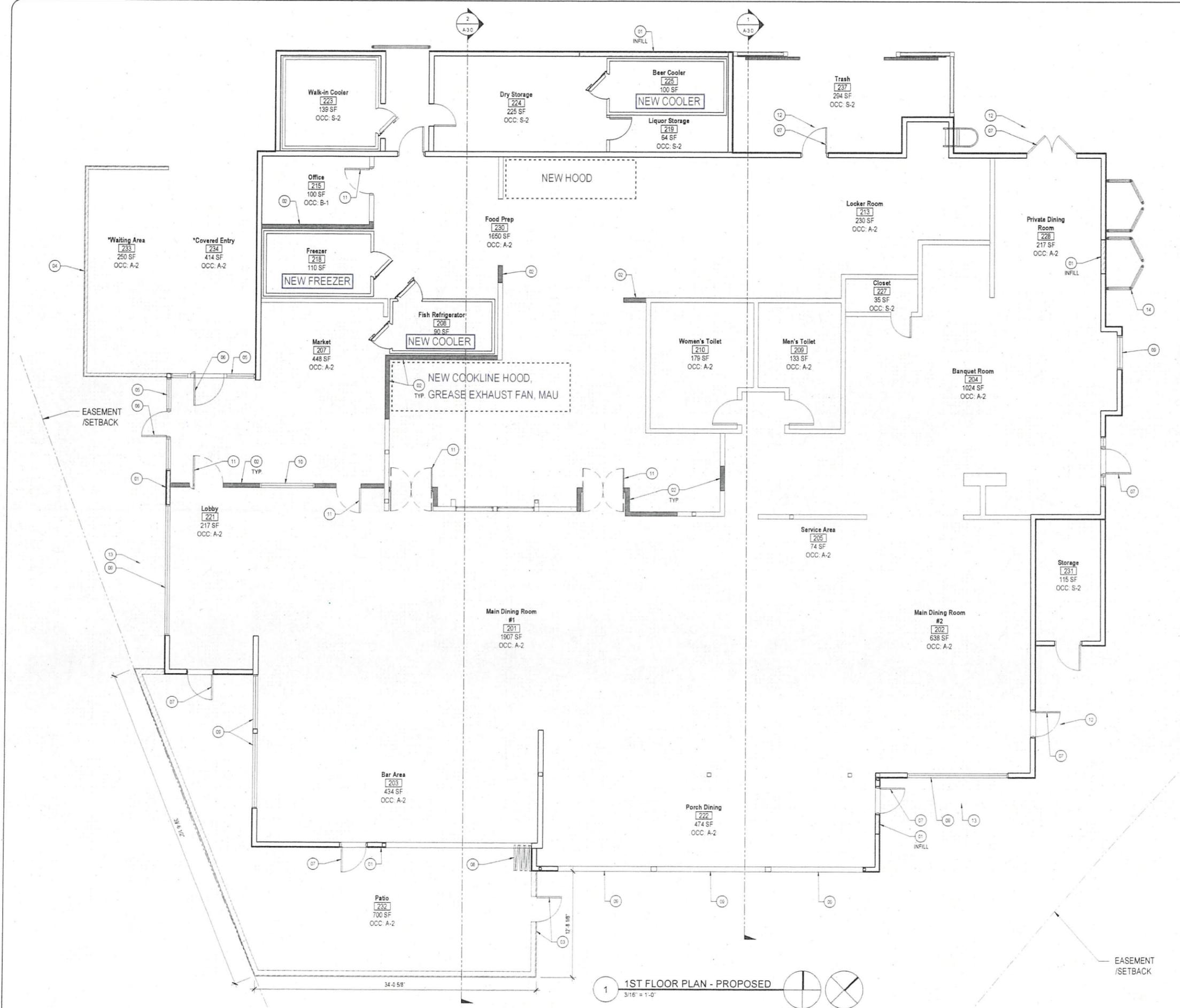


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ARCHITECTURE
858.922.6246

DATE	12/3/2021
DESIGNED	
DRAWN	
PROJECT STATUS	DRP Pending
PN:	160428
SHEET	
A-1.2	
PROPOSED FLOOR PLAN	

WALL LEGEND

- EXISTING EXTERIOR 6" STUD WALL
- EXISTING INTERIOR 6" STUD WALL
- PROPOSED EXTERIOR 6" STUD WALL
- PROPOSED INTERIOR 6" STUD WALL



1 1ST FLOOR PLAN - PROPOSED
3/16" = 1'-0"
PLAN NORTH TRUE NORTH

EASEMENT /SETBACK



REVISIONS		
#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-6-2019
2	3rd DRP Submittal	6-28-2019
3	4th DRP Submittal	11-1-2019
4	5th DRP Submittal	12-3-2021

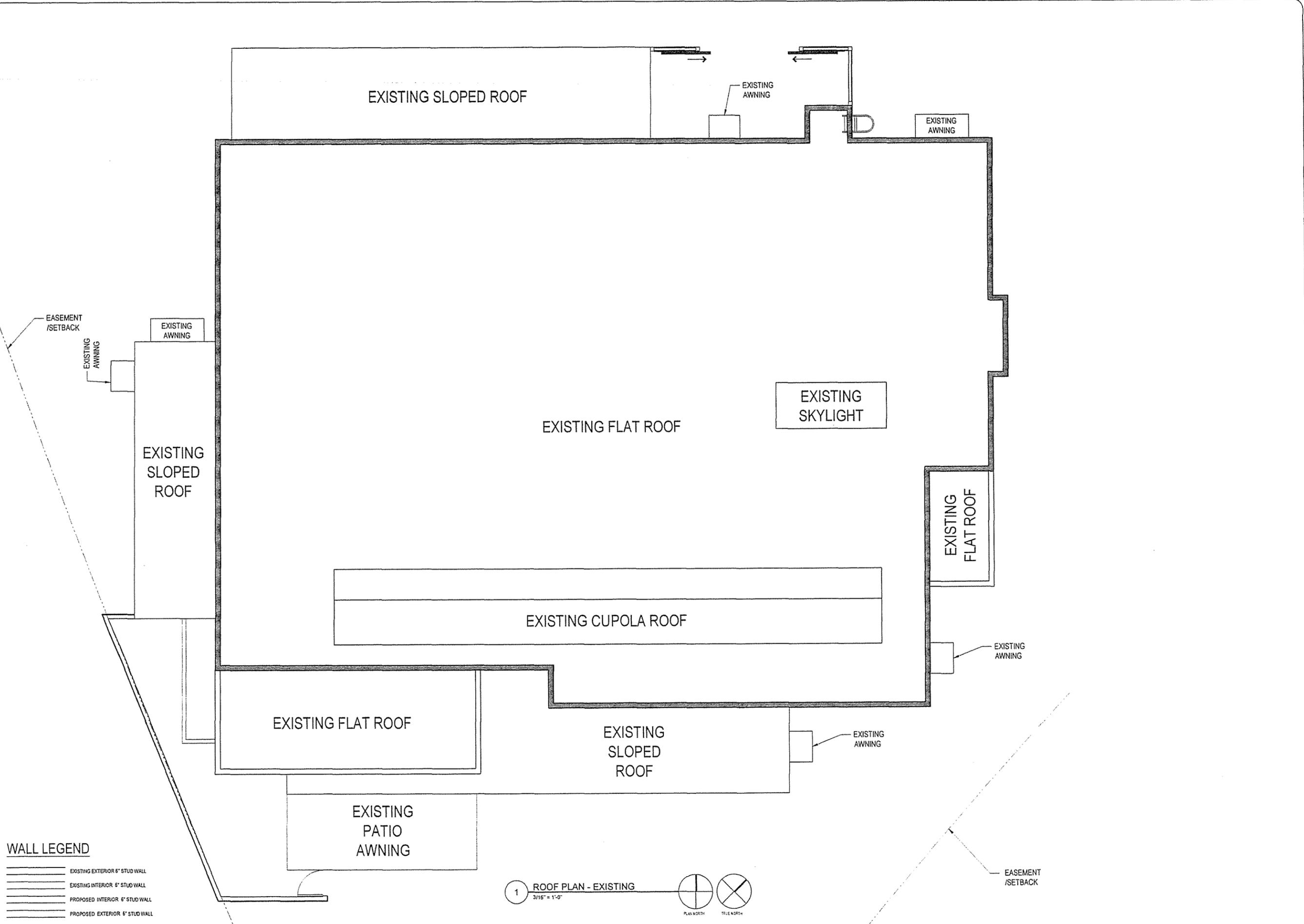
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THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



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PROJECT STATUS:	DRP Pending
PN:	160428
SHEET	A-1.3
EXISTING ROOF PLAN	



WALL LEGEND

- EXISTING EXTERIOR 6" STUD WALL
- EXISTING INTERIOR 6" STUD WALL
- PROPOSED INTERIOR 6" STUD WALL
- PROPOSED EXTERIOR 6" STUD WALL

1 ROOF PLAN - EXISTING
3/16" = 1'-0"

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KEYNOTE LEGEND

- 01 NEW STANDING SEAM METAL ROOF - COLOR BLACK
- 02 NEW TIE-ROD METAL CANOPY
- 03 NEW PAINTED METAL AWNING - COLOR BLACK



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	8-28-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021

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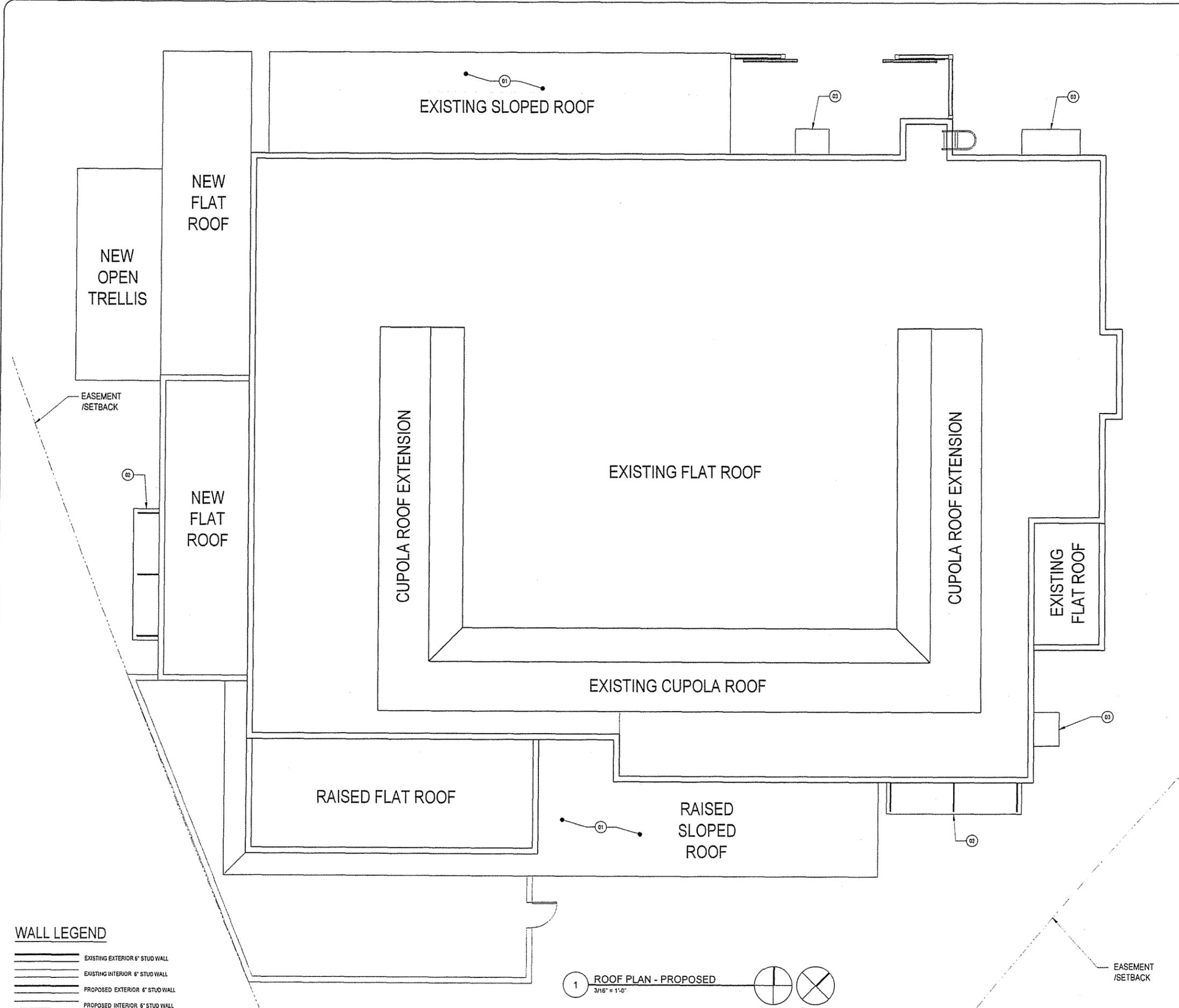
THE FISH MARKET
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640 VIA DE LA VALLE
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DATE REVISED:	12/3/2021
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PROJECT STATUS:	DRP Pending
PN:	160428
SHEET:	

A-1.4
PROPOSED ROOF PLAN



WALL LEGEND

- EXISTING EXTERIOR 6' STUD WALL
- EXISTING INTERIOR 6' STUD WALL
- PROPOSED EXTERIOR 6' STUD WALL
- PROPOSED INTERIOR 6' STUD WALL

1 ROOF PLAN - PROPOSED
3/16" = 1'-0"

PLAN NORTH TRUE NORTH

EASEMENT /SETBACK



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-6-2019
2	3rd DRP Submittal	8-28-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2019

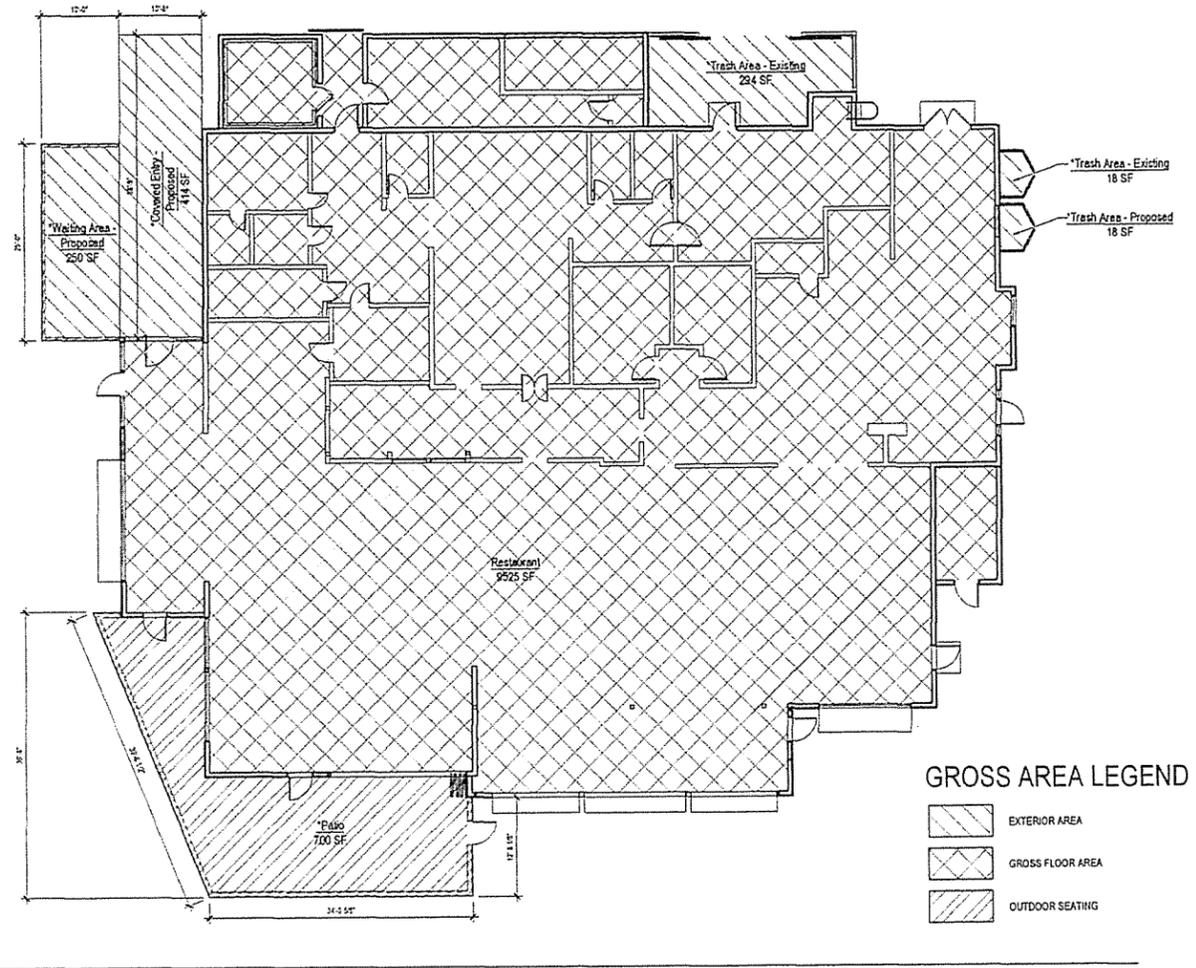
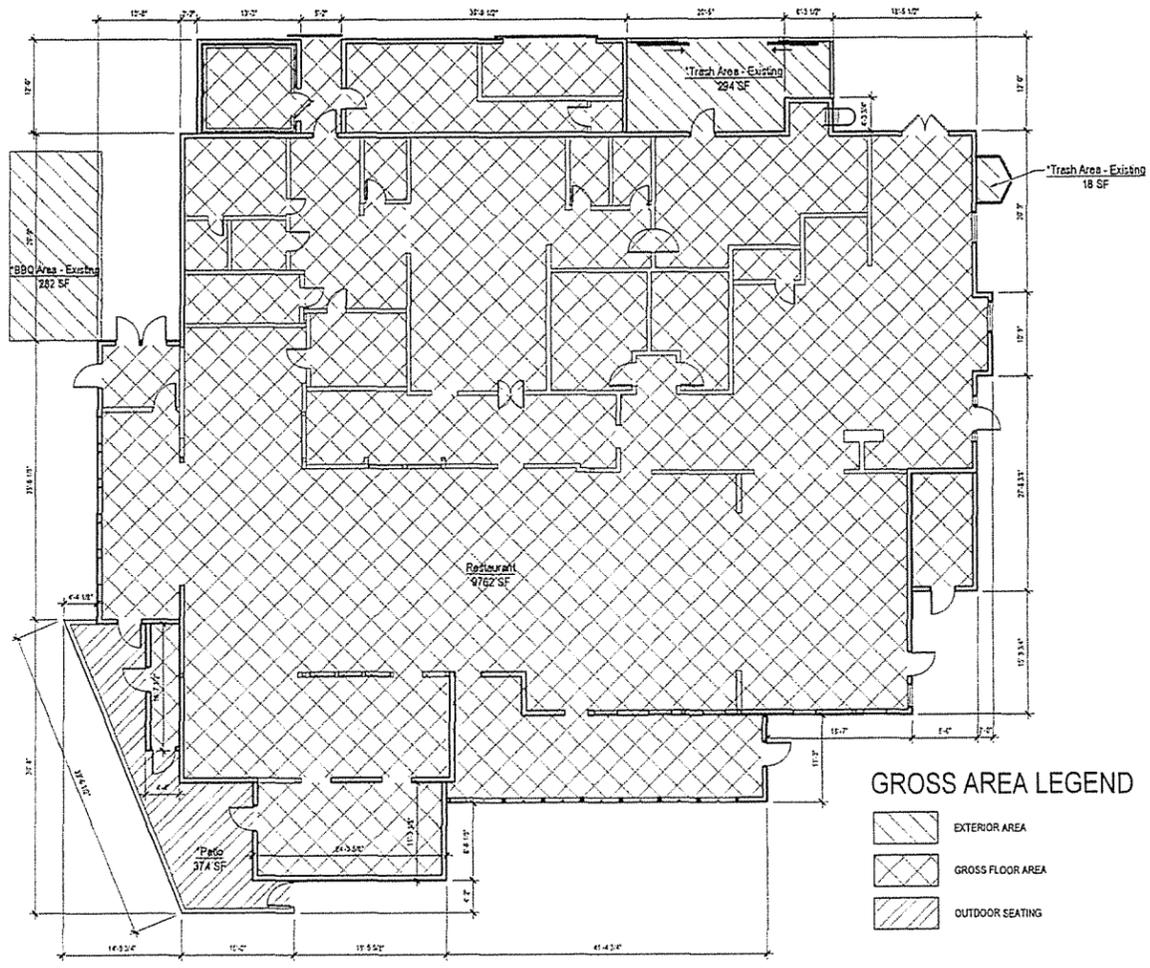
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SOLANA BEACH, CA 92075



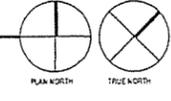
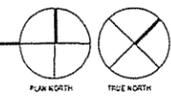
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STUDIO
ARCHITECTURE
858.922.6246

DATE	12/3/2021
REVISED:	
DESIGNED:	
DRAWN:	
PROJECT STATUS:	DRP Pending
PN:	160428
SHEET	A-1.5
	FAR STUDY



1 FAR - EXISTING
3/32" = 1'-0"

2 FAR - PROPOSED
3/32" = 1'-0"



AREA SCHEDULE - EXISTING				
NAME	TYPE OF AREA	AREA	FAR ALLOCATION	PARKING ALLOCATION
RESTAURANT	GROSS FLOOR AREA	9762 SF	9762 SF	9762 SF
*PATIO	OUTDOOR SEATING	374 SF	0 SF	374 SF
*TRASH AREA - EXISTING	EXTERIOR AREA	294 SF	0 SF	0 SF
*TRASH AREA - EXISTING	EXTERIOR AREA	18 SF	0 SF	0 SF
*BBO AREA - EXISTING	EXTERIOR AREA	282 SF	0 SF	0 SF
		10730 SF	9762 SF	10136 SF

NOTE:
* THESE AREAS ARE NOT ENCLOSED AS DEFINED IN SBMC 17.08 "ENCLOSED A COVERED SPACE FULLY SURROUNDED BY WALLS, INCLUDING WINDOWS, DOORS, AND SIMILAR OPENING OR ARCHITECTURAL FEATURES"

AREA SCHEDULE - PROPOSED				
NAME	TYPE OF AREA	AREA	FAR ALLOCATION	PARKING ALLOCATION
RESTAURANT	GROSS FLOOR AREA	9525 SF	9525 SF	9525 SF
*PATIO	OUTDOOR SEATING	700 SF	0 SF	700 SF
*WAITING AREA - PROPOSED	EXTERIOR AREA	250 SF	0 SF	0 SF
*COVERED ENTRY - PROPOSED	EXTERIOR AREA	414 SF	0 SF	0 SF
*TRASH AREA - EXISTING	EXTERIOR AREA	294 SF	0 SF	0 SF
*TRASH AREA - EXISTING	EXTERIOR AREA	18 SF	0 SF	0 SF
*TRASH AREA - PROPOSED	EXTERIOR AREA	18 SF	0 SF	0 SF
		11219 SF	9525 SF	10225 SF

NOTE:
* THESE AREAS ARE NOT ENCLOSED AS DEFINED IN SBMC 17.08 "ENCLOSED A COVERED SPACE FULLY SURROUNDED BY WALLS INCLUDING WINDOWS, DOORS, AND SIMILAR OPENING OR ARCHITECTURAL FEATURES"

ALL DIMENSIONS ARE MEASURED FROM EXTERIOR WALL SURFACES

KEYNOTE LEGEND

- 01 NEW HARD-PLANK TO REPLACE EXISTING WOOD SIDING
- 02 NEW STUCCO, PAINT COLOR: TBD
- 03 NEW STANDING SEAM METAL ROOF, PAINT COLOR: BLACK
- 04 NEW PAINTED METAL AWNING TO REPLACE EXISTING FABRIC AWNING
- 05 NEW METAL CLAD WINDOW, FRAME/MULLIONS COLOR: BLACK
- 06 NEW TRELLIS
- 07 NEW WOOD SOFFIT
- 08 NEW TIE-ROD CANOPY
- 09 NEW BOARD FORM CONCRETE WALL
- 10 NEW WOOD GATE
- 11 NEW WOOD SIDING



REVISIONS	#	DESCRIPTION	DATE
	1	2nd DRP Submitted	3-4-2019
	2	3rd DRP Submitted	8-28-2019
	3	4th DRP Submitted	11-8-2019
	4	5th DRP Submitted	12-3-2021

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THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



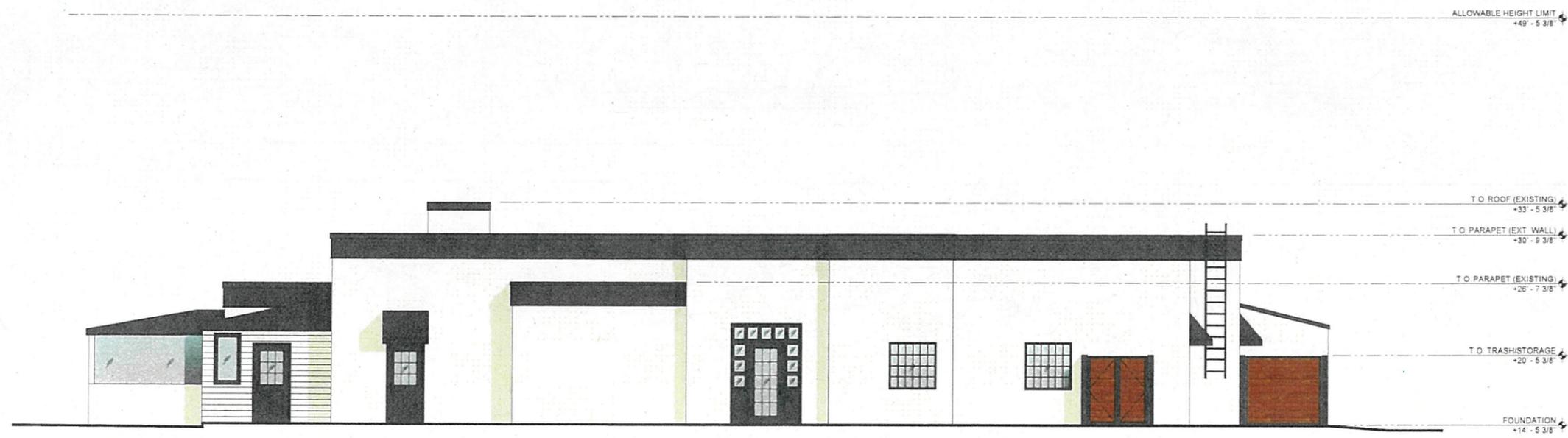
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 858.922.6246

DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT	DRP Pending
STATUS	
PN:	160428
SHEET	

A-2.1
 ELEVATIONS - NORTH



1 NORTH - PROPOSED
 3/16" = 1'-0"



2 NORTH - EXISTING
 3/16" = 1'-0"

KEYNOTE LEGEND

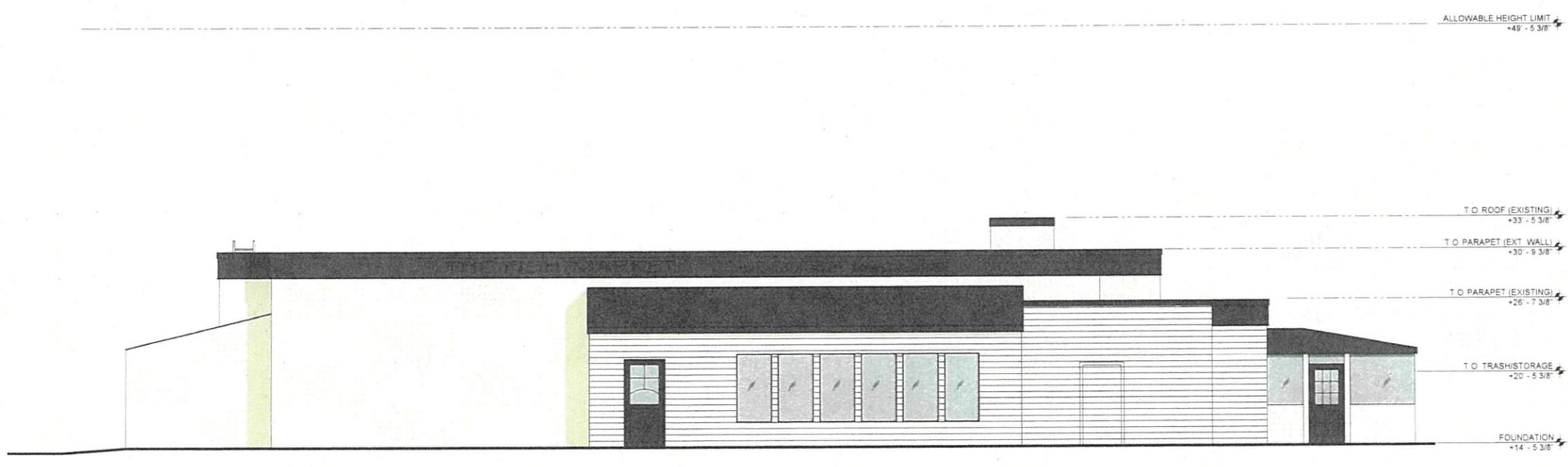
- 01 NEW HARD-PLANK TO REPLACE EXISTING WOOD SIDING
- 02 NEW STUCCO, PAINT COLOR TBD
- 03 NEW STANDING SEAM METAL ROOF, PAINT COLOR: BLACK
- 04 NEW PAINTED METAL AWNING TO REPLACE EXISTING FABRIC AWNING
- 05 NEW METAL CLAD WINDOW, FRAME/MULLIONS COLOR: BLACK
- 06 NEW TRELLIS
- 07 NEW WOOD SOFFIT
- 08 NEW TIE-ROD CANOPY
- 09 NEW BOARD FORM CONCRETE WALL
- 10 NEW WOOD GATE
- 11 NEW WOOD SIDING



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-6-2019
2	3rd DRP Submittal	8-28-2019
3	4th DRP Submittal	11-4-2019
4	5th DRP Submittal	12-3-2021



1 SOUTH - PROPOSED
3/16" = 1'-0"



2 SOUTH - EXISTING
3/16" = 1'-0"

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DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT	DRP Pending
PN	160428
SHEET	

A-2.2
ELEVATIONS - SOUTH

KEYNOTE LEGEND

- 01 NEW HARD-PLANK TO REPLACE EXISTING WOOD SIDING
- 02 NEW STUCCO, PAINT COLOR TBD
- 03 NEW STANDING SEAM METAL ROOF, PAINT COLOR BLACK
- 04 NEW PAINTED METAL AWNING TO REPLACE EXISTING FABRIC AWNING
- 05 NEW METAL CLAD WINDOW FRAME/MULLIONS COLOR BLACK
- 06 NEW TRELLIS
- 07 NEW WOOD SOFFIT
- 08 NEW TIE-ROD CANOPY
- 09 NEW BOARD FORM CONCRETE WALL
- 10 NEW WOOD GATE
- 11 NEW WOOD SIDING



REVISIONS		
#	DESCRIPTION	DATE
1	2nd DRP Submitted	3-4-2019
2	3rd DRP Submitted	8-28-2019
3	4th DRP Submitted	11-8-2019
4	5th DRP Submitted	12-3-2021

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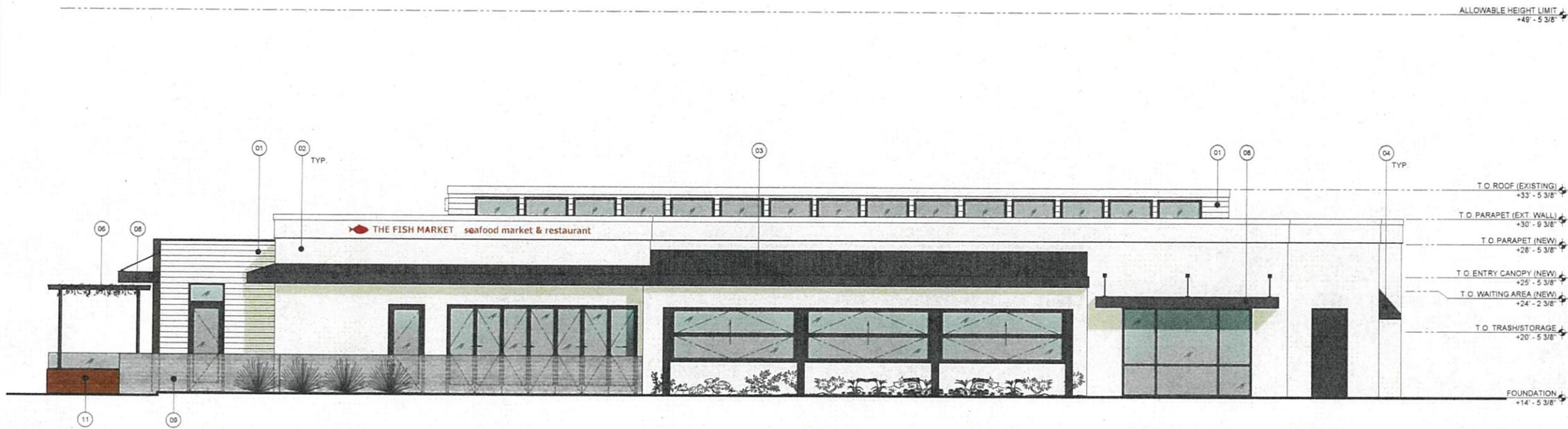
THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



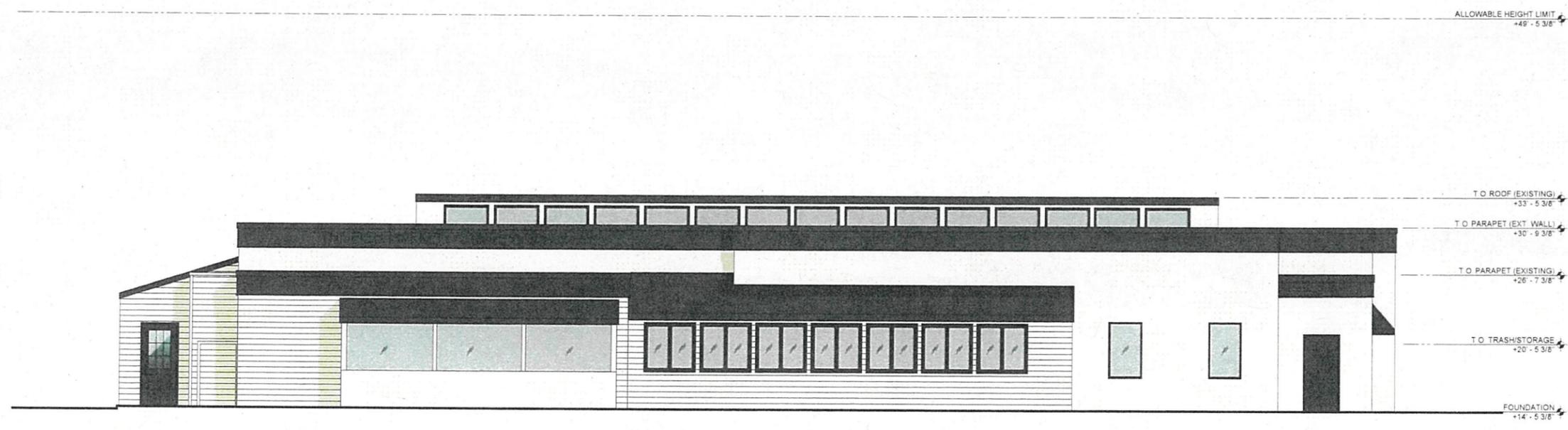
REYES
 STUDIO
 ARCHITECTURE
 858.922.6246

DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT STATUS	DRP Pending
PN	160428
SHEET	

A-2.3
 ELEVATIONS - EAST



1 EAST - PROPOSED
 3/16" = 1'-0"



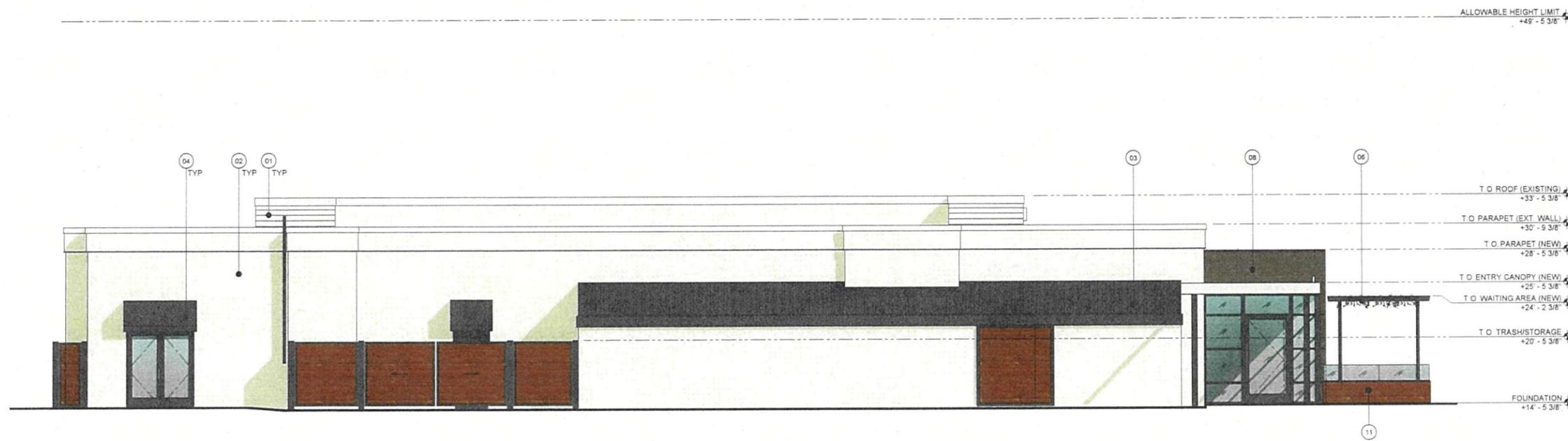
2 EAST - EXISTING
 3/16" = 1'-0"

KEYNOTE LEGEND

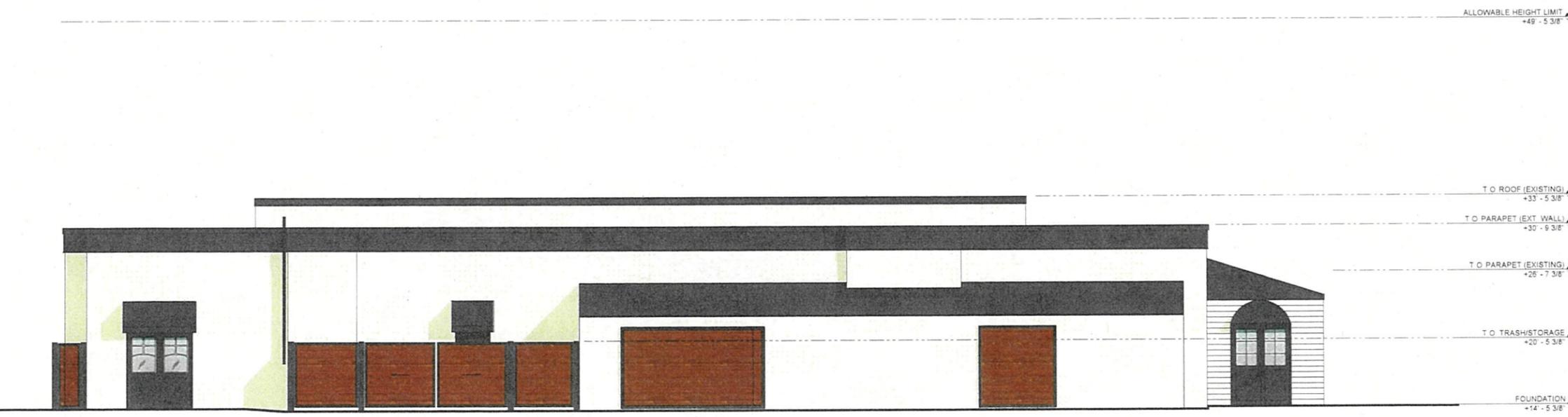
- 01 NEW HARD-PLANK TO REPLACE EXISTING WOOD SIDING
- 02 NEW STUCCO, PAINT COLOR: TBD
- 03 NEW STANDING SEAM METAL ROOF, PAINT COLOR: BLACK
- 04 NEW PAINTED METAL AWNING TO REPLACE EXISTING FABRIC AWNING
- 05 NEW METAL CLAD WINDOW, FRAME/MULLIONS COLOR: BLACK
- 06 NEW TRELLIS
- 07 NEW WOOD SOFFIT
- 08 NEW TIE-ROD CANOPY
- 09 NEW BOARD FORM CONCRETE WALL
- 10 NEW WOOD GATE
- 11 NEW WOOD SIDING



REVISIONS		
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1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	6-28-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021



1 WEST - PROPOSED
3/16" = 1'-0"



2 WEST - EXISTING
3/16" = 1'-0"

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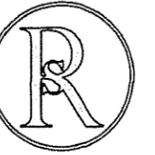
THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



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ARCHITECTURE
858.922.6246

DATE	12/3/2021
DESIGNED	
DRAWN	
PROJECT	
STATUS	DRP Pending
PN	160428
SHEET	

A-2.4
ELEVATIONS - WEST



#	DESCRIPTION	DATE
1	2nd DRP Submitted	3-6-2019
2	3rd DRP Submitted	10-28-2019
3	4th DRP Submitted	11-6-2019
4	5th DRP Submitted	12-3-2021

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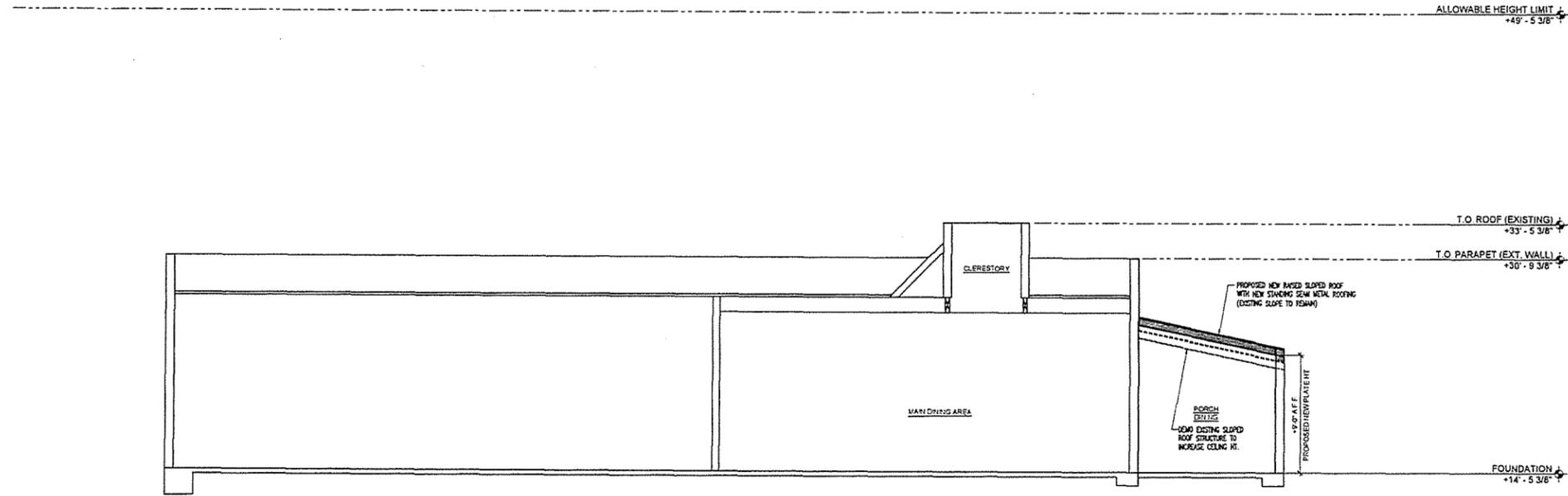
THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



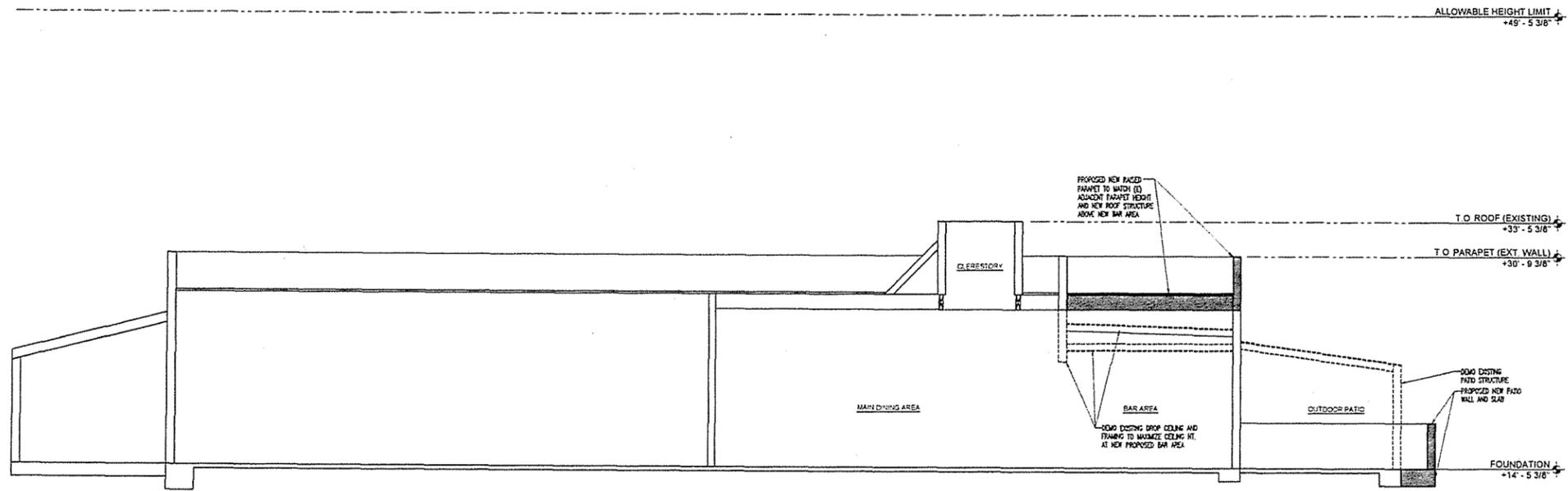
REYES
STUDIO
ARCHITECTURE
858.922.6246

DATE	12/3/2021
DESIGNED:	
DRAWN:	
PROJECT STATUS:	DRP Pending
PN:	160428
SHEET	A-3.0

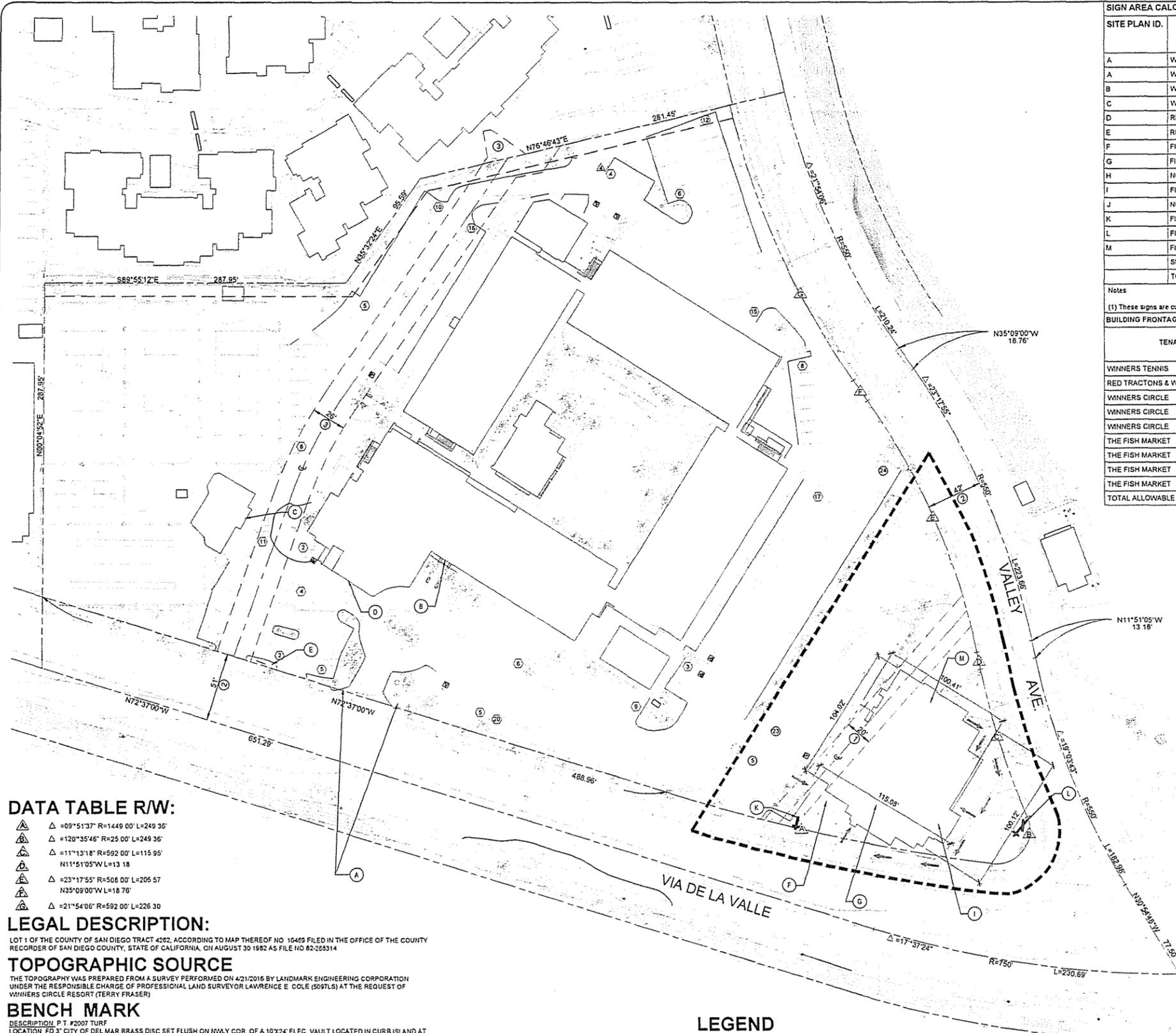
ARCHITECTURAL SECTIONS



1 SECTION A
3/16" = 1'-0"



2 SECTION B
3/16" = 1'-0"



DATA TABLE RW:

- △ = 09°51'37" R=1449 00' L=249 30'
- △ = 120°35'46" R=25 00' L=249 36'
- △ = 111°13'18" R=592 00' L=115 95'
- N11°51'05"W L=13 18
- △ = 23°11'55" R=508 00' L=205 57
- N35°09'00"W L=18 76'
- △ = 21°54'06" R=592 00' L=226 30

LEGAL DESCRIPTION:

LOT 1 OF THE COUNTY OF SAN DIEGO TRACT 4282, ACCORDING TO MAP THEREOF NO. 10469 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON AUGUST 30 1982 AS FILE NO 82-268314

TOPOGRAPHIC SOURCE

THE TOPOGRAPHY WAS PREPARED FROM A SURVEY PERFORMED ON 4/21/2015 BY LANDMARK ENGINEERING CORPORATION UNDER THE RESPONSIBLE CHARGE OF PROFESSIONAL LAND SURVEYOR LAWRENCE E. COLE (5097LS) AT THE REQUEST OF WINNERS CIRCLE RESORT (TERRY FRASER)

BENCH MARK

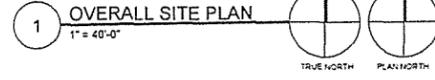
DESCRIPTION: P.T. #2007 TURF
 LOCATION: FD 3" CITY OF DEL MAR BRASS DISC SET FLUSH ON NWLY COR. OF A 10'X24' ELEC. VAULT LOCATED IN CURB ISLAND AT THE SE COR. OF VIA DE LA VALLE AND JIMMY DURANTE BLVD
 ELEV.: 15 524 DATUM: NGVD29

EASEMENTS:

- 1 EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED AUGUST 8, 1972, FILE NO. 207772 OF O.R. - QUITCLAIMED PER DOC NO. 2019-***** OF O.R.
- 2 EASEMENT FOR THE RIGHT OF WAY AND INCIDENTS THERETO GRANTED TO SAN DIEGO COUNTY MAY 4, 1959, BOOK 7640, PAGE 295 OF O.R.
- 3 EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-193382 DATE 6-23-82.
- 4 EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER DOC. NO. 82-198549 DATE 6-28-82.
- 5 EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED XXXX, 2019, FILE NO. 2019-***** OF O.R.

LEGEND

- | DESCRIPTION | SYMBOL |
|--|--------|
| ACCESSIBLE PATH OF TRAVEL | → |
| PARKING STALL COUNT | ① |
| FMO PARKING STALL COUNT | ② |
| TRASH ENCLOSURES (DUMPSTER COUNT AS SHOWN) | △ |
| ACCESSIBLE PARKING SPOT | □ |
| ACCESSIBLE VAN PARKING SPOT | ⊞ |
| PUBLIC POINTS OF ACCESS | ⊞ |



SIGN AREA CALCULATIONS

SITE PLAN ID.	TENANT & SIGN IDENTIFICATION	BUILDING ELEVATION (N, S, E, W)	NUMBER OF SIGNS		SIGN DIMENSIONS (FEET)		SIGN AREA (SF)	
			EXISTING	PROPOSED	LENGTH OR DIAMETER	HEIGHT	EXISTING	PROPOSED
A	WINNERS CIRCLE MARQUE SIGN 1	S	2	2	10.08	0.88	17.65	17.65
A	WINNERS CIRCLE MARQUE SIGN 1 LOGO	S	2	2	1.67	1.42	3.95	3.95
B	WINNERS CIRCLE SIGN 2 LOGO	S	2	2	3.33	2.83	7.91	7.91
C	WINNERS TENNIS SIGN 1	W	1	1	5.00	5.00	25.00	25.00
D	RED TRACTONS BUILDING SIGN 1	S	1	1	9.33	1.17	10.89	10.89
E	RED TRACTONS MONUMENT SIGN 2	S	1	1	8.00	5.00	40.00	40.00
F	FISH MARKET SOUTH CANOPY SIGN (3/A-4.2)	S	0	1	20.50	0.83		23.92
G	FISH MARKET SOUTH WALL SIGN (1/A-4.2)	S	0	1	44.75	1.63		72.94
H	NOT USED						46.64	
I	FISH MARKET EAST WALL SIGN (2/A-4.2)	E	1	1	22.38	0.83	46.64	18.58
J	NOT USED							
K	FISH MARKET MONUMENT SIGN 1 (3/A-4.3)	S	1	1	9.5	4.5		23.47
L	FISH MARKET MONUMENT SIGN 2 (6/A-4.3)	E	0	1	9.5	4.5		23.47
M	FISH MARKET NORTH WALL SIGN (1/A-4.2)	N	1	0	44.75	1.63	46.64	72.94
SUBTOTAL SIGN AREA =							253.23	340.72
TOTAL SIGN AREA =								340.72

Notes

(1) These signs are curvilinear not rectangular requiring non-linear calculation of area

BUILDING FRONTAGE CALCULATIONS (SBMC 17.64.020)

TENANT	BUILDING IDENTIFICATION	BUILDING ELEVATION (N, S, E, W)	BUILDING FRONTAGE (FEET)	ALLOWABLE SIGN AREA (SF)
WINNERS TENNIS	WINNERS TENNIS	E	51.71	51.71
RED TRACTONS & WINNERS CIRCLE	BUILDING 1	S	213.35	213.35
WINNERS CIRCLE	BUILDING 2	E	151.24	151.24
WINNERS CIRCLE	BUILDING 3	N	151.74	151.74
WINNERS CIRCLE	BUILDING 4	W	153.47	153.47
THE FISH MARKET	THE FISH MARKET	S	115.08	115.08
THE FISH MARKET	THE FISH MARKET	E	104.02	104.02
THE FISH MARKET	THE FISH MARKET	N	100.41	100.41
THE FISH MARKET	THE FISH MARKET	W	100.12	100.12
TOTAL ALLOWABLE AREA =				1141.14



REVISIONS

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4	5th DRP Submittal	12-3-2021

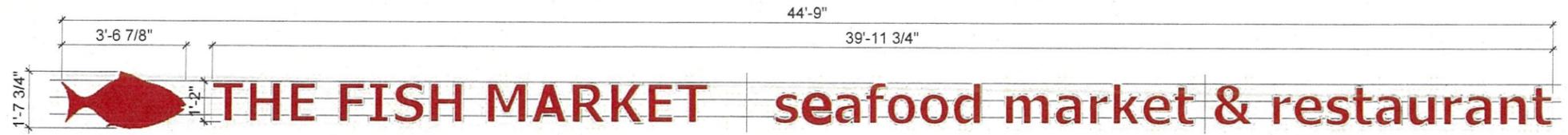
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THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
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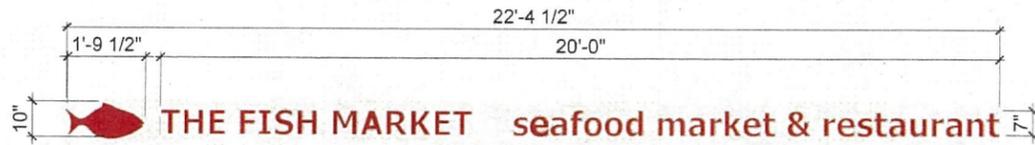


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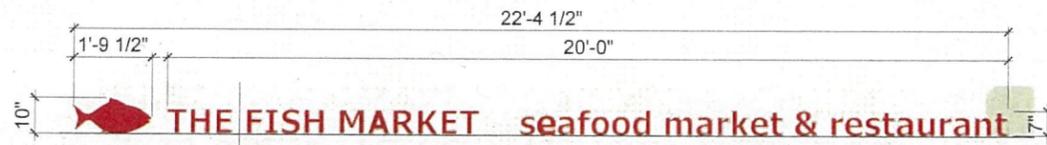
DATE REVISED: 12/3/2021
 DESIGNED:
 DRAWN:
 STATUS: DRP Pending
 PROJECT: 16042B
 SHEET: A-4.1
 COMPREHENSIVE SIGN PLAN
 SITE PLAN



1 NORTH & SOUTH WALL SIGN - PROPOSED
1/2" = 1'-0"



2 EAST WALL SIGN - PROPOSED
1/2" = 1'-0"



3 SOUTH CANOPY SIGN - PROPOSED
1/2" = 1'-0"



#	DESCRIPTION	DATE
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DRAWN	
PROJECT STATUS	DRP Pending
PN	160428
SHEET	
A-4.2	
COMPREHENSIVE SIGN PLAN FISH MARKET RESTAURANT	

THE FISH MARKET

1 tuna lane suite 3 san diego california 92101 619-232-8862

May 17, 2019

The Fish Market Restaurant - Solana Beach
640 Via de la Valle
Solana Beach, CA 92075

RE: Comprehensive Sign Plan (DRP 17-19-03)

The Fish Market Restaurant Solana Beach is proposing a long overdue remodel and rehabilitation of the restaurant, including the replacement of existing signage as depicted in the submittal plans set for DRP 17-19-03. What follows is a summary of our comprehensive sign plan, as requested by Ms. Regina Ochoa, Assistant Planner, in her plan review comment letter, dated March 1, 2019.

17.64.110 Comprehensive Sign Plans

The purpose of the plan is to coordinate graphics and signs with building and landscaping design. This coordination shall be achieved by:

- Using a coordinated palette of colors for sign lettering;
- Using the same type of cabinet supports, or method of mounting for signs of the same types, or by using the same type of construction material for components, such as sign copy, cabinet and supports, or by using other types of integrating techniques determined appropriate by the community development director;
- Using the same form of illumination for all signs, or by using varied forms of illuminations determined compatible by the community development director;
- Allowing the use of different colors for logos. (Ord. 155 § 2, 1992; Ord. 140 § 1, 1991)

See within our drawing package our proposed signage for The Fish Market, which includes new signage and retention of the long-standing "fish" signs. Also attached are images of the current signage on the (overall) property which, for documentation purposes, include the existing signage from Winner's Circle (white and bronze), Winner's Tennis (white and green), and Red Tractor's (which is somewhat similar to the current neon signage of the Fish Market). Our understanding of the intent and purpose for a Comprehensive Sign Plan is the City's desire integrate signs with building and landscape designs to achieve architectural unity for commercial uses of four or more tenants. In our case, please consider that, although the Fish

palo alto santa clara del mar san mateo san diego san joe

The Fish Market - Solana Beach
Comprehensive Sign Plan
DRP 17-19-03
May 17, 2019



VIEW 99000 (EXISTING)

Market is technically located within the same property as the Winner's Circle Resort, Red Tractor's Restaurant, and Winner's Tennis Club, our restaurant is, and has been since 1981, completely separate and distinct from these other uses, in location, operation, and design. The Fish Market is neither accessory to, nor in any way associated with any other of these uses and, as such, we have no control over the design of signage for any of these other businesses. Moreover, the iconic Fish Market "fish" signage design is distinctively unique in its trademark and color palette and part of the long-standing tradition of our Fish Market brand. We request that this sign plan be approved as submitted. We would otherwise find it difficult to visualize a sign plan that uniformly identifies all tenants without morphing the individual entities into a common theme that detracts from the unique identity of the individual businesses. To do so would also create an undue hardship that jeopardizes a long-recognizable brand identity associated with the Fish Market restaurants.

Respectfully,

Steven A. Micheletti
Steven A. Micheletti
President & CEO
The Fish Market Restaurants, Inc



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2019
2	3rd DRP Submittal	4-23-2019
3	4th DRP Submittal	11-8-2019
4	5th DRP Submittal	12-3-2021

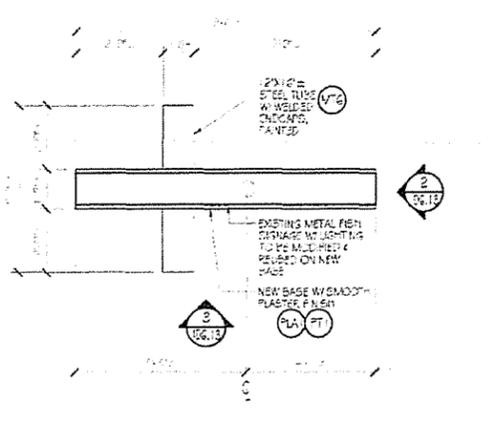
arch5design

THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075

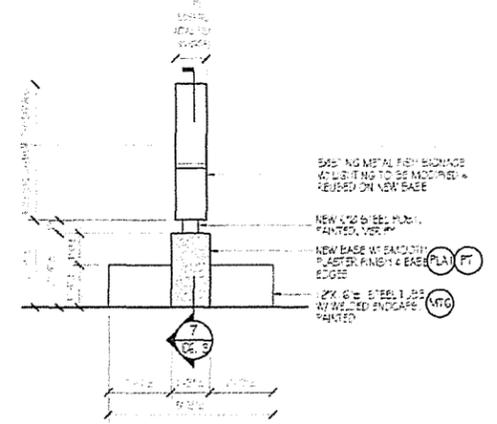


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STUDIO
ARCHITECTURE
858.922.6246

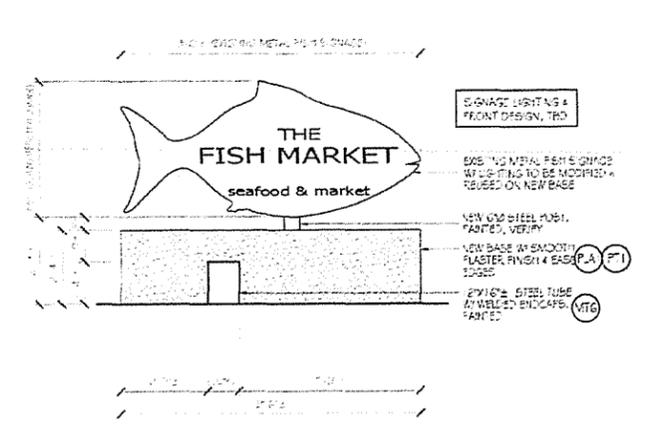
DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT	DRP Pending
STATUS	
PN:	160428
SHEET	
A-4.3	
COMPREHENSIVE SIGN PLAN	
FISH MARKET RESTAURANT	



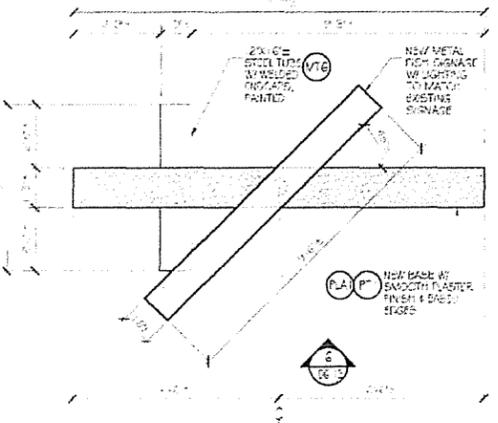
1 PLAN - MONUMENT SIGN 1
3/8" = 1'-0"



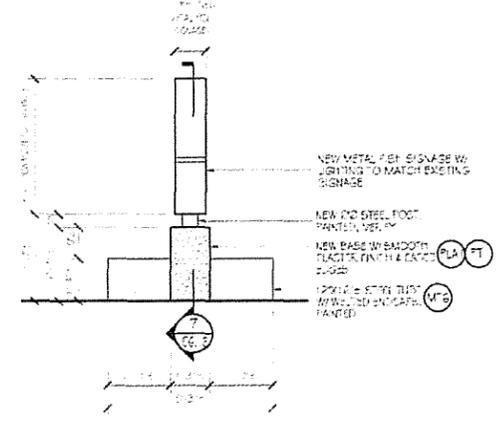
2 ELEVATION - MONUMENT SIGN 1
3/8" = 1'-0"



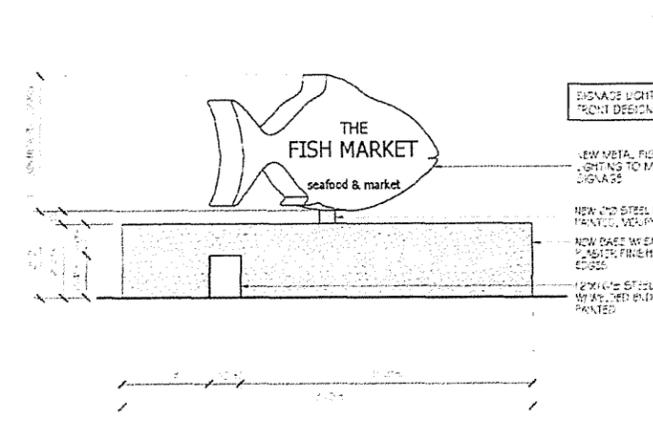
3 ELEVATION - MONUMENT SIGN 1
3/8" = 1'-0"



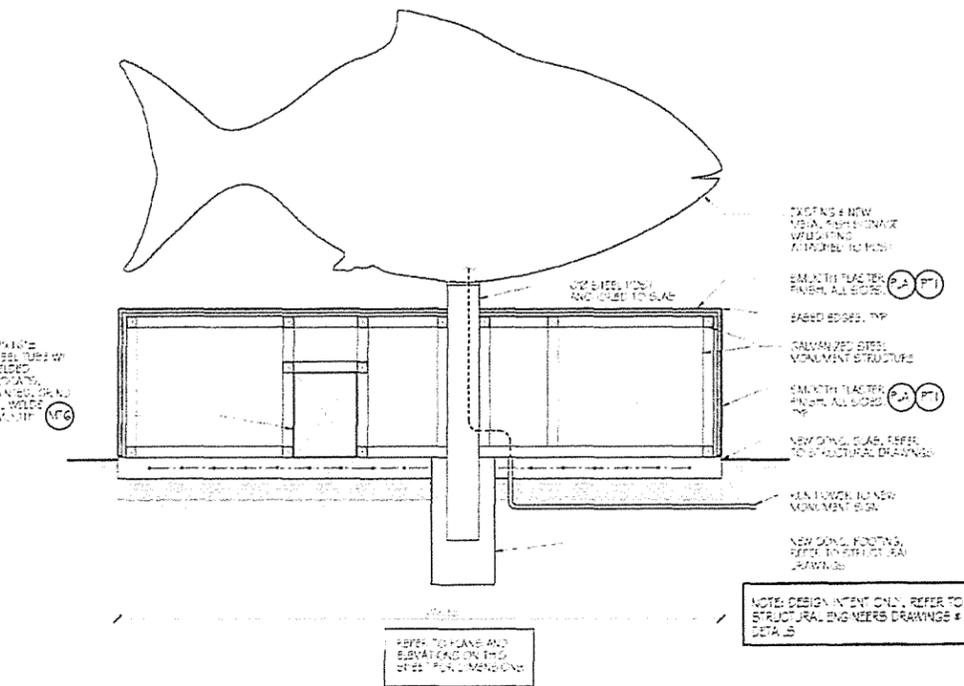
4 PLAN - MONUMENT SIGN 2
3/8" = 1'-0"



5 ELEVATION - MONUMENT SIGN 2
3/8" = 1'-0"



6 ELEVATION - MONUMENT SIGN 2
3/8" = 1'-0"



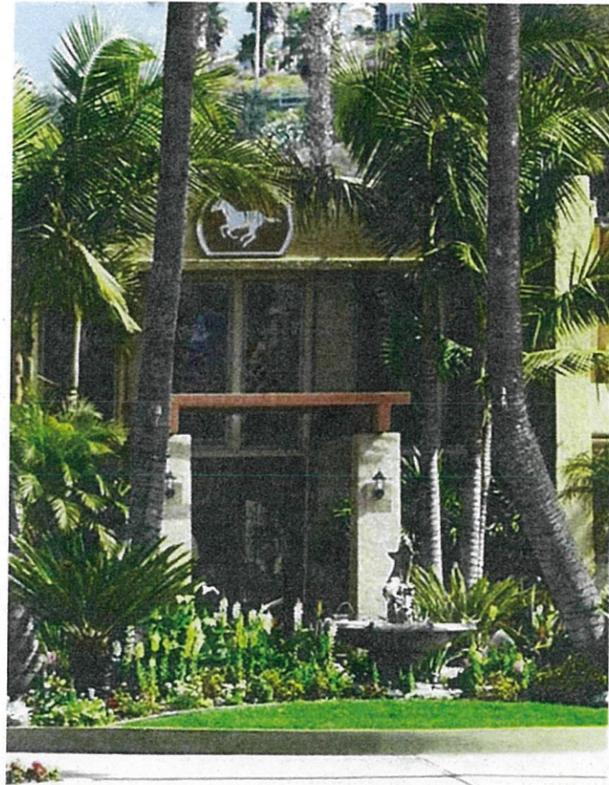
7 SECT. CA - MONUMENT SIGN 1 & 2
3/8" = 1'-0"

NOTE: DESIGN INTENT ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS & DETAILS

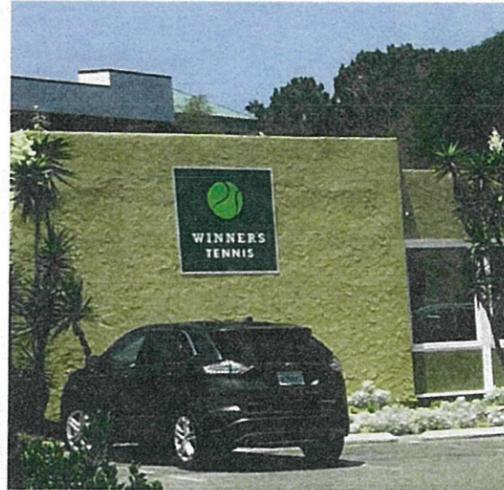
REFER TO PLANS AND ELEVATIONS FOR SPECIFIC DIMENSIONS



A Winners Circle Marque Sign 1 - Current



B Winners Circle Sign 2 - Current



C Winners Tennis - Sign 1



Winners Circle Monument Signage - Apriori



Winners Circle Monument Signage - Apriori



Winners Circle Building Signage - Apriori



D Red Tracton's Building Sign 1



E Red Tracton's Monument Sign 2



#	DESCRIPTION	DATE
1	2nd DRP Submittal	3-4-2018
2	3rd DRP Submittal	8-28-2018
3	4th DRP Submittal	11-4-2018
4	5th DRP Submittal	12-3-2020

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THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



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DATE	12/3/2021
REVISED	
DESIGNED	
DRAWN	
PROJECT	
STATUS	DRP Pending
PN	160428
SHEET	

A-4.4
COMPREHENSIVE SIGN PLAN
WINNERS CIRCLE RESORT &
WINNERS TENNIS & RED TRACTON'S



#	DESCRIPTION	DATE
1	2nd DRP Submitted	3-4-2019
2	3rd DRP Submitted	8-28-2019
3	4th DRP Submitted	11-8-2019
4	5th DRP Submitted	12-3-2021

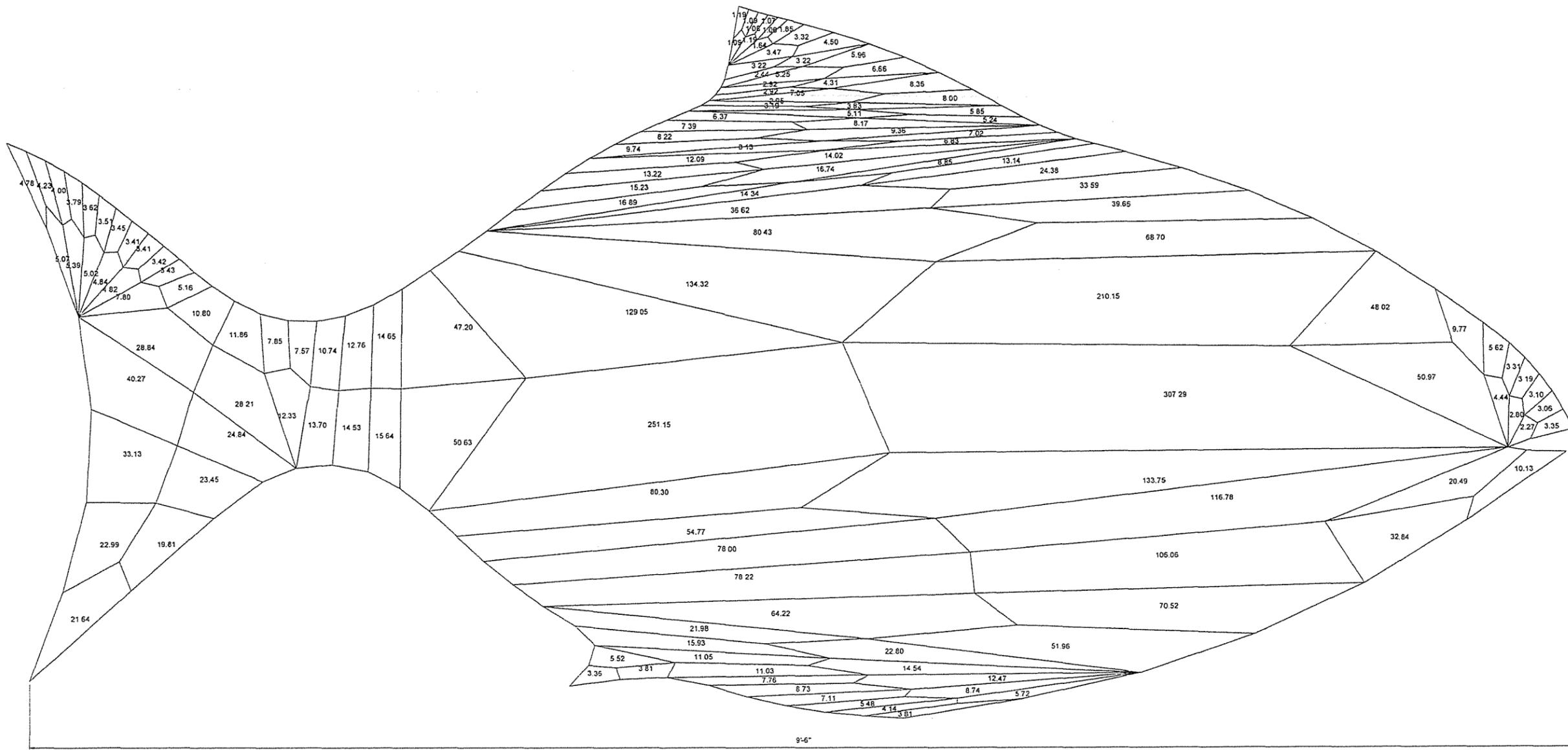
arch design

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SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



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DATE REVISION:	12/3/2021
DESIGNED:	
DRAWN:	
PROJECT STATUS:	DRP Pending
PK:	160428
SHEET	
A-4.5	
COMPREHENSIVE SIGN PLAN	
MONUMENT AREA	



Area	
SQ. IN.	SQ. FT.
3.43	0.02
5.16	0.04
4.82	0.03
7.80	0.05
19.81	0.14
23.45	0.16
21.64	0.15
22.99	0.16
3.42	0.02
3.62	0.03
3.51	0.02
5.39	0.04
5.02	0.03
4.84	0.03
3.41	0.02
3.45	0.02
3.41	0.02
33.13	0.23
1.07	0.01
1.05	0.01
1.19	0.01
1.08	0.01
3.32	0.02
4.50	0.03
1.85	0.01
1.64	0.01
1.09	0.01
28.21	0.20

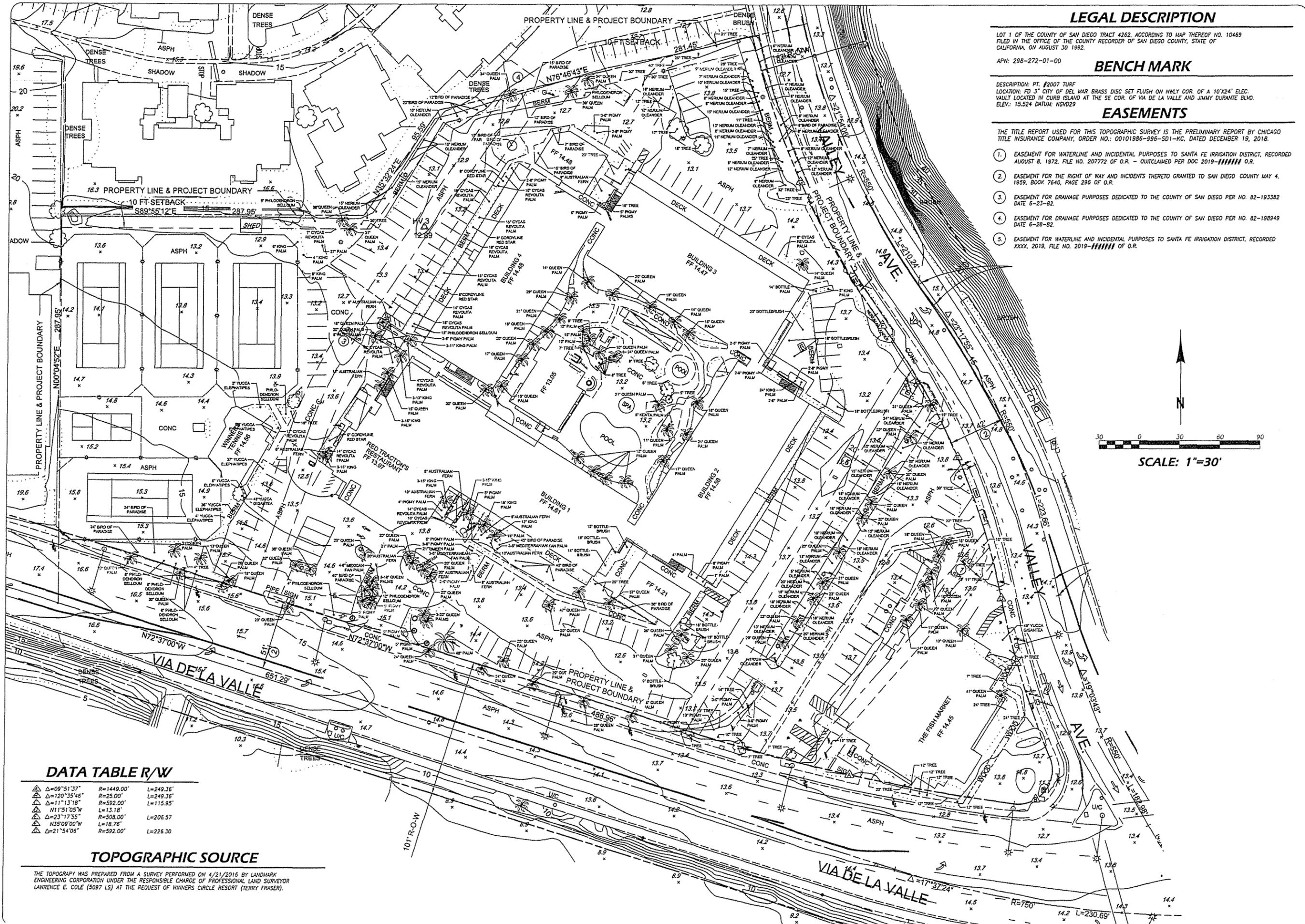
28.84	0.20
40.27	0.28
24.84	0.17
1.19	0.01
5.16	0.01
10.80	0.08
11.86	0.08
3.79	0.03
7.76	0.05
3.36	0.02
12.47	0.09
8.73	0.06
11.03	0.08
11.05	0.08
5.52	0.04
3.81	0.03
8.74	0.06
32.84	0.23
3.81	0.03
20.49	0.14
10.13	0.07
5.48	0.04
7.11	0.05
4.14	0.03
5.72	0.04
14.54	0.10
54.77	0.38
80.30	0.56
116.78	0.81
133.75	0.93

5.07	0.04
4.00	0.03
4.78	0.03
4.23	0.03
78.00	0.54
22.80	0.16
51.96	0.36
15.93	0.11
21.98	0.15
106.06	0.74
78.22	0.54
64.22	0.45
70.52	0.49
10.74	0.07
12.76	0.09
12.33	0.09
13.70	0.10
14.65	0.10
47.20	0.33
14.53	0.10
15.64	0.11
7.57	0.05
33.59	0.23
36.62	0.25
14.34	0.10
24.38	0.17
68.70	0.48
7.85	0.05
80.43	0.56
39.65	0.28

50.63	0.35
3.10	0.02
2.80	0.02
4.44	0.03
3.19	0.02
3.35	0.02
251.15	1.74
2.27	0.02
3.06	0.02
3.31	0.02
210.15	1.46
307.29	2.13
129.05	0.90
134.32	0.93
9.77	0.07
5.62	0.04
50.97	0.35
3.19	0.02
9.74	0.07
2.95	0.02
3.83	0.03
4.31	0.03
3.22	0.02
2.44	0.02

3.47	0.02
3.22	0.02
5.25	0.04
2.92	0.02
5.96	0.04
6.66	0.05
8.22	0.06
12.09	0.08
14.02	0.10
16.74	0.12
13.22	0.09
7.02	0.05
8.85	0.06
6.83	0.05
8.13	0.06
15.23	0.11
6.37	0.04
8.17	0.06
9.36	0.07
7.39	0.05
5.85	0.04
16.89	0.12
5.24	0.04
5.11	0.04
3384.65 SQ. IN.	TOTAL = 23.50 S.F.

Solana Beach Municipal Code Chapter 17.64 COMPREHENSIVE SIGN ORDINANCE
17.64.020 Definitions
"Area of Signs." The area of sign shall include the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character, together with any other material or color forming an integral part of the display or used to differentiate such sign from a building on which it is placed.
The area of a sign having no such perimeter shall be computed by enclosing the entire area within parallelograms, triangles or circles in a size sufficient to cover the entire area of the sign copy and computing the size of such area. In the case of a two-sided sign the area shall be computed as including only the maximum single display surface which is visible from any ground position at one time. The supports or uprights on which any sign is supported should not be included in determining the sign area unless such supports or uprights are designed in such a manner as to form an integral background of the sign. In the case of any spherical, conical or cylindrical sign one-half of the total surface area shall be computed as the area of the sign.



LEGAL DESCRIPTION

LOT 1 OF THE COUNTY OF SAN DIEGO TRACT 4262, ACCORDING TO MAP THEREOF NO. 10469 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON AUGUST 30 1992.

APN: 298-272-01-00

BENCH MARK

DESCRIPTION: PT. #2007 TURF LOCATION: FD 3" CITY OF DEL MAR BRASS DISC SET FLUSH ON HWY COR. OF A 10'X24' ELEC. VAULT LOCATED IN CURB ISLAND AT THE SE COR. OF VIA DE LA VALLE AND JIMMY DURANTE BLVD. ELEV.: 15.524 DATUM: NAVD29

EASEMENTS

THE TITLE REPORT USED FOR THIS TOPOGRAPHIC SURVEY IS THE PRELIMINARY REPORT BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO.: 00101986-996-SD1-KC, DATED DECEMBER 19, 2018.

- EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED AUGUST 8, 1972, FILE NO. 207772 OF O.R. - OBTAINED PER DOC 2019-11111111 O.R.
- EASEMENT FOR THE RIGHT OF WAY AND INCIDENTS THERETO GRANTED TO SAN DIEGO COUNTY MAY 4, 1959, BOOK 7640, PAGE 296 OF O.R.
- EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER NO. 82-193382 DATE 6-23-82.
- EASEMENT FOR DRAINAGE PURPOSES DEDICATED TO THE COUNTY OF SAN DIEGO PER NO. 82-198949 DATE 6-28-82.
- EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES TO SANTA FE IRRIGATION DISTRICT, RECORDED XXXX, 2019, FILE NO. 2019-11111111 OF O.R.



REVISIONS	DESCRIPTION	DATE
1	2nd DRP Submitted	1-4-2021
2	3rd DRP Submitted	6-28-2021
3	4th DRP Submitted	11-9-2021
4	5th DRP Submitted	11-9-2021

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THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



REYES
STUDIO
ARCHITECTURE
858.922.6246

DATE	12/3/2021
DESIGNED	MK
DRAWN	MR
PROJECT STATUS	DRP Pending
PN	160428

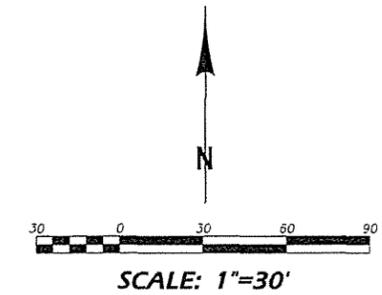
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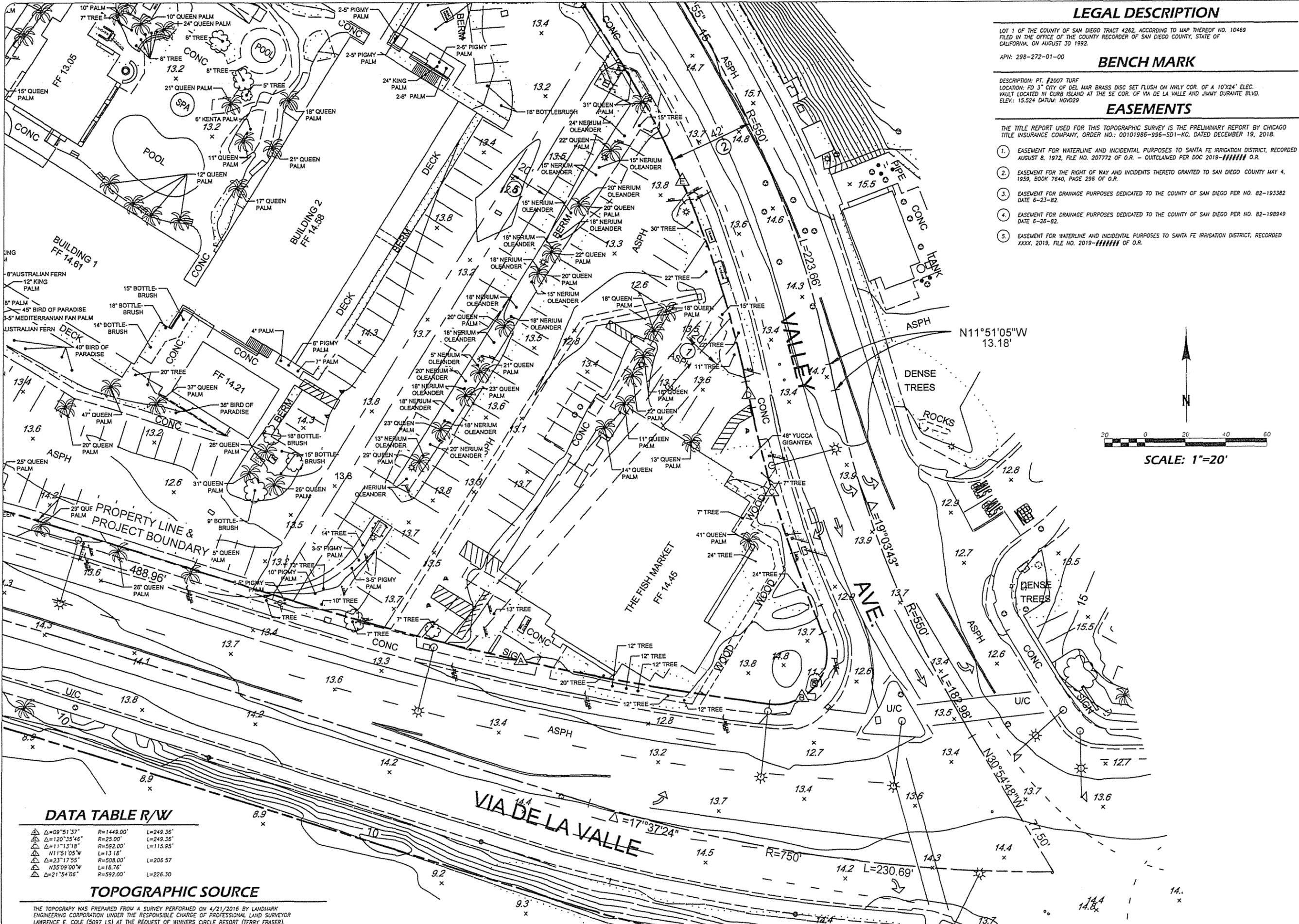
DATA TABLE R/W

△=09°51'37"	R=1449.00'	L=249.36'
△=120°35'46"	R=25.00'	L=249.36'
△=11°13'18"	R=592.00'	L=115.95'
△=111°51'05"W	L=13.18'	
△=23°17'55"	R=508.00'	L=206.57'
△=35°09'00"W	L=18.76'	
△=21°54'06"	R=592.00'	L=226.30'

TOPOGRAPHIC SOURCE

THE TOPOGRAPHY WAS PREPARED FROM A SURVEY PERFORMED ON 4/21/2016 BY LANDMARK ENGINEERING CORPORATION UNDER THE RESPONSIBLE CHARGE OF PROFESSIONAL LAND SURVEYOR LAWRENCE E. COLE (5097 LS) AT THE REQUEST OF WINNERS CIRCLE RESORT (TERRY FRASER).





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REVISIONS	DESCRIPTION	DATE
1	2nd DRP Submittal	5-4-2021
2	3rd DRP Submittal	8-28-2021
3	4th DRP Submittal	11-8-2021
4	5th DRP Submittal	12-3-2021

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THE FISH MARKET
SEAFOOD MARKET & RESTAURANT
640 VIA DE LA VALLE
SOLANA BEACH, CA 92075



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ARCHITECTURE
858.922.6246

DATE REVISION:	12/3/2021
DESIGNED:	MK
DRAWN:	MR
PROJECT STATUS:	DRP Pending
PN:	160428

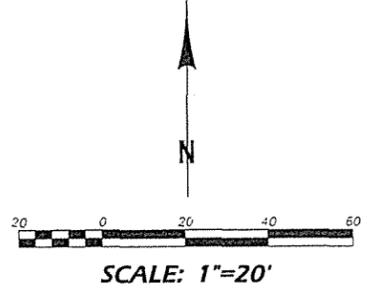
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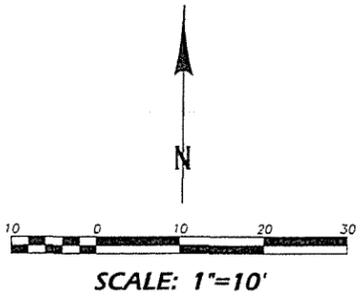
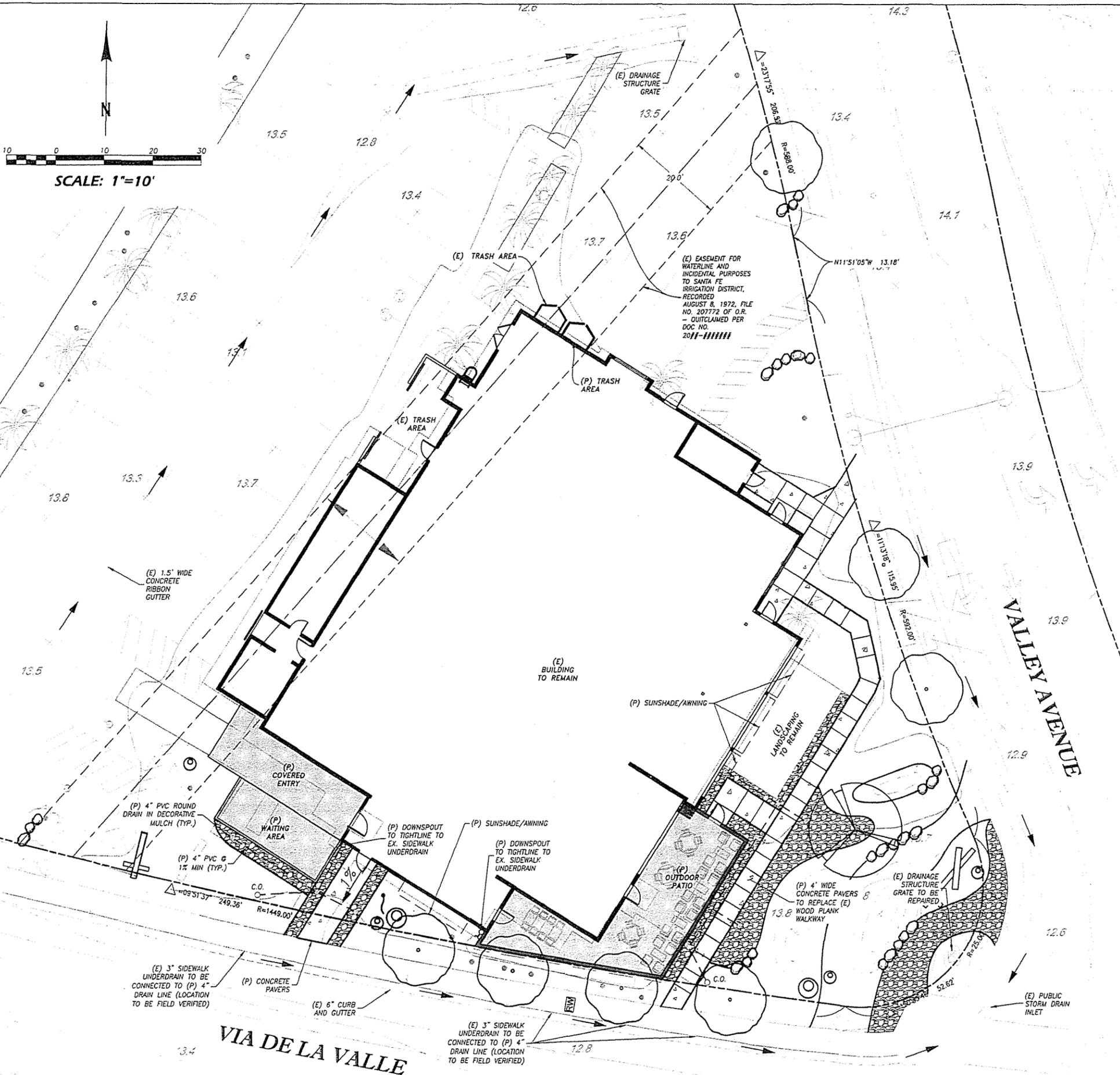
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LEGEND

DESCRIPTION	STD. DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
PROPERTY LINE - OFFSITE		---
STREET CENTERLINE		—C—
EASEMENT LINE		- - - - -
EXISTING CONTOUR	
RIGHT OF WAY LINE		---
EDGE OF PAVING		---
EXISTING SPOT ELEVATION	
WATER LINE		—W—
SEWER LINE		—S—
GAS LINE		—G—
(PVT) 4"-PVC DRAIN LINE		—D—
BUILDING FOOTPRINT		▬▬▬▬
DECORATIVE MULCH		▨▨▨▨
CONCRETE		▧▧▧▧
DOWN SPOUT		DS
TREE: PLANT; PALM		○
6" LANDSCAPE DRAIN		○

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FS	FINISHED SURFACE
A.C.	ASBESTOS CEMENT	GM	GAS METER
BLK	BLOCK	H	HIGH
BRK	BRICK	ICV	IRRIGATION CONTROL VALVE
BW	GRADE AT BOTTOM OF WALL	IE	INVERT ELEVATION
C	CENTER LINE	L.P.	LOW PRESSURE
C. CONC	CONCRETE	MH	MAN HOLE
C.O.	CLEANOUT	(P)	PROPOSED
DS	DOWN SPOUT	PA	PLANTER AREA
(E)	EXISTING	PVMT	PAVEMENT
EL	ELECTRIC	S	SLOPE
ELEV	ELEVATION	SCO	SEWER CLEANOUT
EM	ELECTRIC METER	SMH	SEWER MANHOLE
FF	FINISH FLOOR	TW	GRADE AT TOP OF WALL
FL	FLOW LINE	TYP	TYPICAL
FLD BK	FIELD BOOK	WM	WATER METER

DRAINAGE NOTES

1. ALL PRIVATE DRAIN LINES SHOWN TO BE 4" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
2. HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
3. SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
4. SOIL COVER ABOVE PRIVATE DRAIN LINES SHALL BE 12" UNLESS OTHERWISE NOTED.
5. NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.
6. ALL PRIVATE STORM WATER RUNOFF WILL BE ROUTED TO LANDSCAPE OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAINAGE SYSTEM.



REVISIONS	#	DESCRIPTION	DATE
1	2nd DRP Submittal		3-4-2019
2	3rd DRP Submittal		8-28-2019
3	4th DRP Submittal		11-8-2019
4	5th DRP Submittal		12-3-2021

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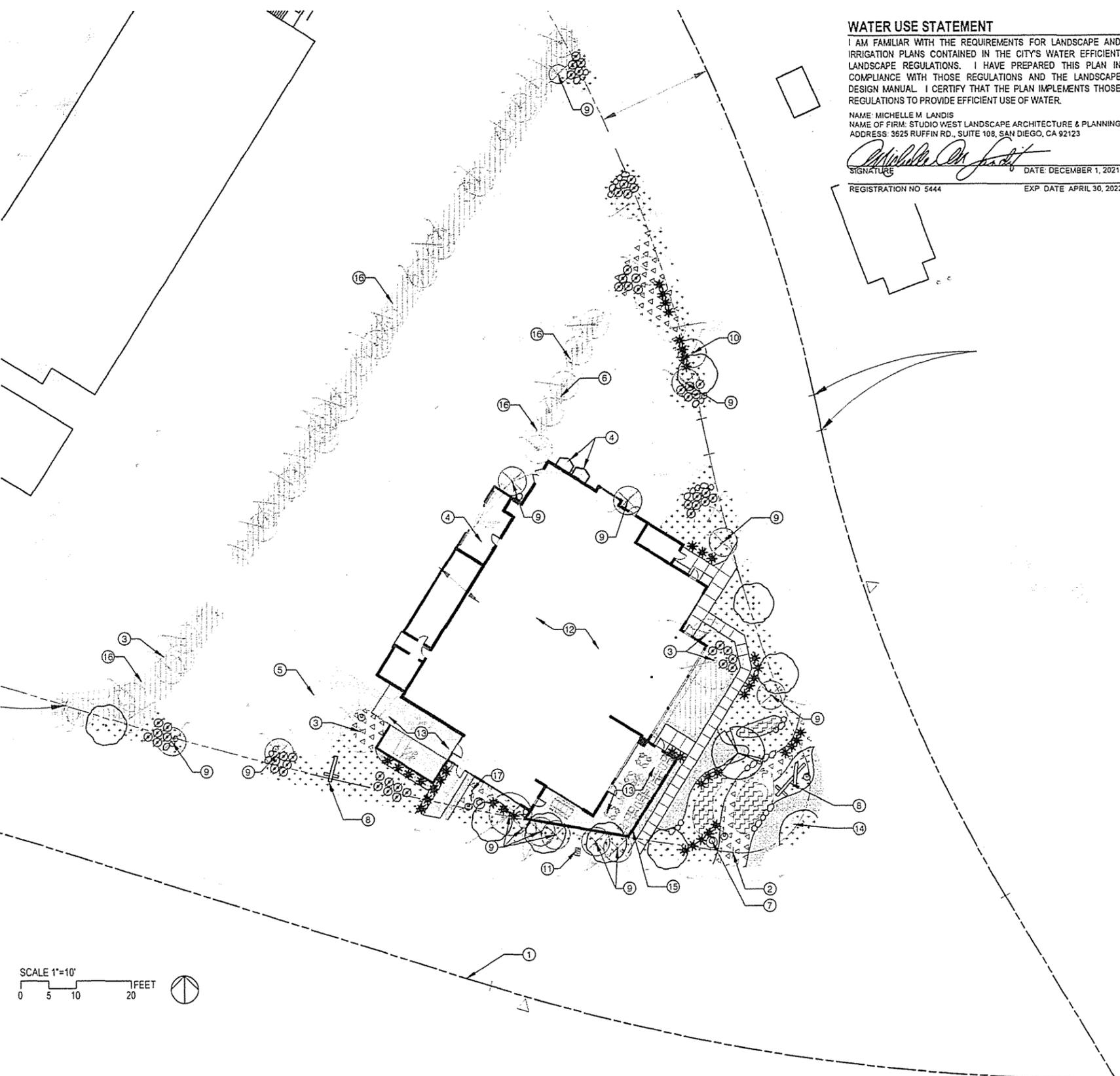
THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



REYES
STUDIO
 ARCHITECTURE
 858.922.6246

DATE	12/3/2021
DESIGNED	MK
DRAWN	MR
PROJECT	DRP Pending
PN:	160428
SHEET	

C-20



WATER USE STATEMENT

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

NAME: MICHELLE M. LANDIS
 NAME OF FIRM: STUDIO WEST LANDSCAPE ARCHITECTURE & PLANNING
 ADDRESS: 3825 RUFFIN RD., SUITE 108, SAN DIEGO, CA 92123

SIGNATURE: *Michelle M. Landis* DATE: DECEMBER 1, 2021
 REGISTRATION NO 5444 EXP. DATE APRIL 30, 2022

PLANT LEGEND

SYMBOL	ABR. BOT. NAME	SCIENTIFIC NAME - COMMON NAME	WJCOLS
EXISTING TREES - TO BE REMOVED			
	XXX XXX	DEMO EXISTING TREE	
EXISTING TREES - INVENTORY			
	ALO BAI	ALOE BAINESII - TREE ALOE	L
	ARC CUN	ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	M
	BAU BLA	BAUHINIA BLAKEANA - HONG KONG ORCHID TREE	M
	BRU SP.	BRUGMANSIA SPECIES - ANGEL'S TRUMPET (LARGE SHRUB)	M
	CAL CIT	CALLISTEMON CITRINUS - LEMON BOTTLEBRUSH TREE	L
	JAC MIM	JACARANDA MIMOSIFOLIA - JACARANDA	M
	MAG SP	MAGNOLIA SPECIES - MAGNOLIA TREE	M
	MEL QUI	MELALEUCA QUINQUENARIA - CAJUPUT TREE	L
	MET EXC	METROSIDEROS EXCELSA - NEW ZEALAND CHRISTMAS TREE	M
	NER OLE	NERIUM OLEANDER - OLEANDER (LARGE SHRUB)	L
	PHO ROB	PHOENIX ROEBELENI - PYGMY DATE PALM	M
	SAL MAT	SALIX MATSUDANA - CORKSCREW WILLOW	H
	SOL RAN	SOLANUM RANTONNETII - PURPLE POTATO PLANT (LARGE SHRUB)	M
	SYA ROM	SYAGRUS ROMANZOFFIANA - QUEEN PALM	M
	WAS ROB	WASHINGTONIA ROBUSTA - MEXICAN FAN PALM	L
	YUC GLO	YUCCA GLORIOSA - SPANISH DAGGER	L

EXISTING SHRUBS AND GROUND COVER (3,620 SF TO REMAIN)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SCI. NAME - COMMON NAME	WJCOLS
	AGAPANTHUS SP. - LILY OF THE NILE	M	SCHEFFLERA SP. - DWARF UMBRELLA TREE	M
	ALYSSUM SP. - SWEET ALYSSUM	M	SENNA DIDYMOBOTRYA - POPCORN PLANT	L
	CORDYLINA SP. - CORDYLINA	M	STRELITZIA REGINAE - BIRD OF PARADISE	M
	LANTANA SP. - LANTANA	L	TULBAGHIA VIOLACIA - SOCIETY GARLIC	L
	MENTHA SP. - MINT	M	ZINGIBER OFFICINALE - GINGER	M
	OSTEOSPERMUM SP. - FREEWAY DAISY	L	WARM SEASON TURF (MIXED SPECIES)	
	PITTIOSPORUM SP. - MOCK ORANGE	M	ANNUAL COLOR (MULTIPLE SPECIES)	
	RAPHIOLEPIS SP. - INDIA HAWTHORN	L		

NOTE: NO NEW PLANTS ARE PROPOSED TO BE ADDED TO THE UNDERSTORY OF AREAS WITH THIS HATCH DESIGNATION

STREET TREES - 25'-35' H X 15'-25' W (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	ACACIA BAILEYANA - BAILEY ACACIA	L		
	CALLISTEMON CITRINUS - LEMON BOTTLEBRUSH TREE	L	24" BOX +	8
	CHITALPA X TASHKINTENSIS - CHITALPA	L		

ACCENT TREE - 20' H X 20' W (RELOCATED)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	ALOE BAINESII - TREE ALOE	L	N/A	1

SCULPTURAL ACCENT SHRUBS - 3' H X 3' W (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
*	AGAVE DESMETTIANA 'VARIEGATA' - VARIEGATED SMOOTH AGAVE	L		
	ALOE STRIATA - CORAL ALOE	L	5 GALLON	42
	PHORMIUM TENAX (SMALL VARIETY) - NEW ZEALAND FLAX	L		

ACCENT SHRUBS - 2'-3' H X 2'-3' W (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	AEONIUM ARBOREUM - PARASOL AEONIUM	L		
	EUPHORBIA MILII (RED FLOWER) - CROWN OF THORNS	L	5 GALLON	53
	FESTUCA MAIREI - MAIREI'S FESCUE	L		
	STIPA TENUISSIMA - MEXICAN FEATHER GRASS	L		

FLOWERING GROUND COVER - 12" H X 12" O.C. SPACING (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	ERIGERON KARVINSKIANUS - SANTA BARBARA DAISY	L		
	MYOPORUM PARVIFOLIUM - MYOPORUM	L	4" POTS	434 SF
	VERBENA RIGIDA - SLENDER VERVAIN	L		

GROUND COVER - 12" H X 12" O.C. SPACING (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	CAREX PANSA - CALIFORNIA MEADOW SEDGE	M		
	FRAGARIA CHILOIENSIS - SAND STRAWBERRY	M	4" POTS	1130 SF
	OPHIPOGON JAPONICUS - MONDO GRASS	M		
	SEDUM (SPECIES TO BE DETERMINED) - SEDUM	L		

WALKABLE GROUND COVER - 12" H X 12" O.C. SPACING (SUCH AS LIST)

SYMBOL	SCI. NAME - COMMON NAME	WJCOLS	SIZE	QUANTITY
	ACHILLEA MILLEFOLIUM - YARROW	L		
	DYMONDIA MARGARETAE - DYMONDIA	L	FLATS	4958 SF
	MYOPORUM PARVIFOLIUM - MYOPORUM	L		

OTHER LANDSCAPE MATERIALS

	SCULPTURAL SPHERE, NEUTRAL COLOR, MATERIAL TO BE DETERMINED
	DECORATIVE BOULDERS, NEUTRAL COLOR, MATERIAL TO BE DETERMINED
	DECORATIVE INORGANIC MULCH, SUCH AS - RECYCLED, CRUSHED SHELLS - CRUSHED ROCK - COBBLE
	ENHANCED PAVING, SUCH AS - STONE PAVERS - INTERLOCKING PAVERS - INTEGRAL COLORED CONCRETE PAVING
	NEW PAVING, SUCH AS - GREY CONCRETE WITH AN ADA SUITABLE FINISH

KEY NOTES:

- | | | |
|----------------------------------|---------------------------------------|--|
| 1 PROPERTY LINE | 7 DECORATIVE SPHERE SCULPTURE, TYP. | 13 ADDITIONAL OUTDOOR DINING AREA AND ENHANCED PAVING, REFER TO ARCH. PLANS |
| 2 PROPERTY SETBACK AND/OR R.O.W. | 8 RESTAURANT SIGNAGE | 14 EXISTING DRAIN |
| 3 EXISTING TREE, TYP. | 9 TREE TO BE REMOVED. | 15 NEW LOW WALL, REFER TO ARCH PLANS. |
| 4 TRASH AND RECYCLING ENCLOSURE | 10 TREE (ALO BAI) TO BE RELOCATED (1) | 16 EXISTING PLANTING AND IRRIGATION TO REMAIN. |
| 5 NEW ADA PARKING STALL | 11 EXISTING RECYCLED WATER METER | 17 NEW APPROX. 16'H FLAGPOLE ASSEMBLY, TO MATCH PREVIOUS FLAG POLE DAMAGED BY STORM. |
| 6 EXISTING LIGHT, TYP. | 12 EXISTING BUILDING FOOTPRINT | |



#	DESCRIPTION	DATE
1	2nd DRP Submittal	5-4-2019
2	3rd DRP Submittal	7-26-2019
3	4th DRP Submittal	11-4-2019
4	5th DRP Submittal	12-3-2021

arch5 design

THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



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 858.922.6246



STUDIO WEST
 LANDSCAPE ARCHITECTURE
 & PLANNING
 3625 Ruffin Rd., Suite 108
 San Diego, CA 92123
 Ph 858.598.5085

DATE	12/1/2021
DESIGNED	ML
DRAWN	JG
PROJECT STATUS	DRP Pending
PN	160428
SHEET	LC.1
LANDSCAPE CONCEPT PLAN	

KEY NOTES:

- ① PROPERTY LINE
- ② PROPERTY SETBACK AND/OR R.O.W.
- ③ EXISTING RECYCLED WATER METER
- ④ EXISTING PLANTING AND IRRIGATION TO REMAIN
- ⑤ TREE TO BE REMOVED

IRRIGATION CONCEPT STATEMENT:

IRRIGATION FOR THIS PROJECT WILL BE THROUGH AN AUTOMATIC AND WATER EFFICIENT IRRIGATION DISTRIBUTION SYSTEM THAT MEETS CITY, REGIONAL AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELCO) REQUIREMENTS. THE SYSTEM WILL INCLUDE SUCH WATER SAVING FEATURES A MASTER VALVE/ FLOW SENSING, SMART IRRIGATION CONTROL AND A RAIN SENSOR SHUT OFF SWITCH. THE IRRIGATION WATER DISTRIBUTION FOR RENOVATED AREAS WILL PRIMARILY BE THROUGH PRESSURE COMPENSATING DRIP IRRIGATION WITH A SEPARATE ZONE FOR TREE BUBBLERS. AVAILABLE RECYCLED WATER WILL BE USED.

IRRIGATION HYDROZONE LEGEND:

- ZONE 1 - 575 SF - NEW BUBBLER IRRIGATION FOR NEW AND EXISTING LOW WATER USE TREES & SHRUB. IN AREAS TO BE RENOVATED
 - ZONE 2 - 50 SF - NEW BUBBLER IRRIGATION FOR NEW AND EXISTING MODERATE WATER USE TREES & SHRUBS. IN AREAS TO BE RENOVATED
 - ZONE 3 - 5,056 SF - NEW PRESSURE COMPENSATING DRIP IRRIGATION AND LOW WATER USE SHRUB & GROUND COVER
 - ZONE 4 - 1,000 SF - NEW PRESSURE COMPENSATING DRIP IRRIGATION AND MODERATE WATER USE GROUND COVER
 - ZONE X - 3,589 SF - EXISTING PLANTING AND IRRIGATION TO REMAIN (PROTECT IN PLACE)
- NOTE: THE PROJECT ALSO HAS 612 SF OF NON-IRRIGATED INORGANIC MULCH.
- TOTAL LANDSCAPE AREA = 10,882 SF

GENERAL NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SOLANA BEACH'S LAND DEVELOPMENT CODE, LANDSCAPE STANDARDS, PARKING STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. PRIOR TO PLANTING THE CONTRACTOR SHALL OBTAIN A SOIL REPORT AND SOIL LAB RECOMMENDATIONS FOR PLANT ESTABLISHMENT. ORGANIC COMPOST AMENDMENT SHALL BE HIGH QUALITY, FREE OF WEEDS/ SEEDS AND 90 DAYS MATURE.
3. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS.
4. A MINIMUM OF 40 SQUARE FEET AIR AND WATER/PERMEABLE AREA SHALL BE PROVIDED FOR EACH TREE.
5. SHRUBS AND GROUND COVER SHALL BE USED AS APPROPRIATE THROUGHOUT THE AREAS INDICATED ON THE PLAN TO REINFORCE THE PLANTING CONCEPT AND TO ACHIEVE SCREENING, BUFFERING, AND SLOPE EROSION CONTROL. PLANT SPACING AND QUANTITIES SHALL BE AS REQUIRED TO MEET THE CITY LANDSCAPE STANDARDS.
6. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH. MULCH SHALL BE 3" MINUS BRUSH MULCH, SUCH AS "FOREST MULCH" BY AGRISERVICE (PH. 760.439.9920).
7. INSTALLATIONS SHALL BE PER THE CITY OF SOLANA BEACH MUNICIPAL CODE AND ALL OTHER REGIONAL AND STATE STANDARDS.
8. A PRE-INSPECTION PRIOR TO INSTALLATION MAY BE REQUIRED TO INSPECT: 1) THE IRRIGATION, ROOT BARRIER, GROUND COVER, AND PLANTING EXCAVATIONS, 2) THE COMPOST AND SOIL MATERIALS PRIOR TO BLENDING, AND 3) THE IRRIGATION, ROOT BARRIER, GROUND COVER, AND PLANTING MATERIALS. CONTACT THE PROJECT PLANNER FOR MORE INFORMATION.
9. A FINAL INSPECTION IS REQUIRED AFTER INSTALLATION TO INSPECT: 1) IRRIGATION LOCATIONS, TYPES AND FLOWS, 2) PLANTING LOCATIONS, TYPES AND SIZES, 3) GROUND COVER DEPTH, AND 4) ROOT BARRIER AND TREE STAKING INSTALLATIONS. CONTACT THE PROJECT PLANNER FOR AN INSPECTION.
10. HOLES FOR PLANTINGS SHALL BE EXCAVATED SLIGHTLY SHALLOWER AND A MINIMUM OF TWO TIMES THE WIDTH OF THE ROOT BALL OR CONTAINER. THE ROOT BALL SHALL BE SET SO THAT THE TOP OF THE ROOT BALL WILL SIT SLIGHTLY HIGHER THAN THE FINAL GRADE.
11. COMPOST SHALL BE UNIFORMLY BLENDED WITH EXCAVATED SOIL AT A RATIO OF ONE PART COMPOST (ONE-THIRD) PER TWO PARTS SOIL (TWO-THIRDS). THE COMPOST-SOIL BLEND SHALL BE BACKFILLED AROUND THE ROOT BALL WITHIN THE PLANTING HOLE.
12. TURF AND SHALLOW PLANTING AREAS SHALL INCLUDE COMPOST AT A MINIMUM DEPTH OF ONE INCH AND THE AREA SHALL BE TILLED TO A MINIMUM FIVE INCHES IN DEPTH.
13. PLANTINGS SHALL BE THOROUGHLY WATERED DURING AND AFTER PLANTINGS.
14. NON-VEGETATED NATURAL GROUND COVER SHALL BE A MINIMUM OF THREE INCHES DEEP AND SHALL BE ONE INCH BELOW SURROUNDING PAVED SURFACES.
15. NEW IMPERVIOUS SURFACES SHALL DIRECT STORM WATER DRAINAGE TO LANDSCAPE AREAS.
16. STORM WATER SHALL NOT BE DIVERTED TO FLOW ONTO ADJACENT PROPERTY, STRUCTURES, WALKWAYS, ROADWAYS, OR OTHER PAVED AREAS, WHETHER DUE TO RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITION UNLESS APPROVED BY THE ENGINEERING DIVISION.
17. WATER USE SHALL CONFORM TO THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA).
18. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AT ALL TIMES.

MAINTENANCE NOTES:

1. ALL LANDSCAPE AREAS AND PRIVATELY OWNED OPEN SPACE SHALL BE MAINTAINED BY A QUALIFIED LANDSCAPE COMPANY HIRED BY THE OWNER. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
2. THE OWNER SHALL ENSURE LANDSCAPE MAINTENANCE PROVIDERS USE INTEGRATED PEST MANAGEMENT PRACTICES TO PREVENT FERTILIZERS, PESTICIDES, YARD WASTE, AND OTHER POLLUTANTS FROM ENTERING STORM DRAINAGE.

IRRIGATION NOTES:

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SOLANA BEACH'S LAND DEVELOPMENT CODE, LANDSCAPE STANDARDS, PARKING STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. IRRIGATION: A PERMANENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED BACKFLOW PREVENTION DEVICE, RAIN SENSOR SHUTOFF DEVICE.

WATER BUDGET:

ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Applicant: Michielli, Project Name: 640 Villa de la Valle

The project's Estimated Total Water Use is calculated using the following formula: $ETWU = (ETo \times 0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$

ETWU - Estimated total water use per year (gallons per year)
 ETo - Evapotranspiration rate (inches per year)
 PF - Plant Factor from S.W.C. 9.3 (see Definitions)
 HA - Hydro-zone Area (square feet) Define hydro-zones by water use: very low, low, moderate and high
 SLA - Special Landscape Area (square feet) Edible plants, irrigated with recycled water, & turf used for active play
 0.62 - Conversion Factor (to gallons per square foot)
 IE - Irrigation Efficiency

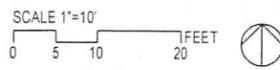
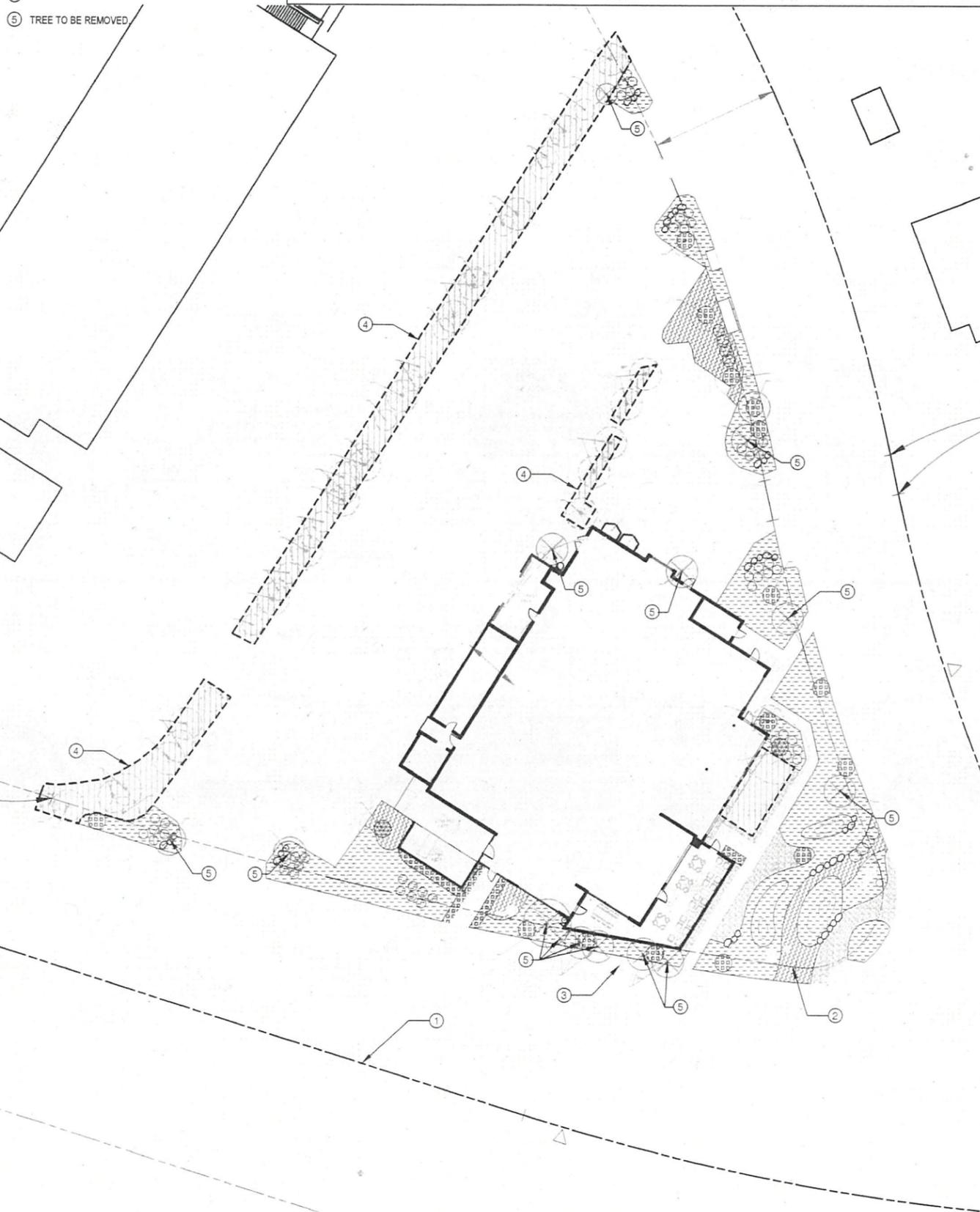
CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET							
	Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)	1	2	3	4	SLA
Evapotranspiration Rate (ETo) See "A" below	1		Use 41 (west of I-5)	47 (east of I-5)			
Conversion Factor - 0.62	2			0.62			
(Line 1 x Line 2)	3		25.42 (west of I-5)				
Plant Factor (PF) See "B" below	4		0.3	0.6	0.3	0.6	
Hydrozone Area (HA) - in square feet (Line 4 x Line 5)	5		575	50	5,056	1,000	
(Line 4 x Line 5)	6		172.5	30	1,516.8	600	
Irrigation Efficiency (IE) See "C" below	7		0.75	0.75	0.81	0.81	
(Line 6 ÷ Line 7)	8		230	40	1,873	741	
TOTAL of all Line 8 boxes ÷ SLA	9		2,884				
Line 3 x Line 9	10		73,311 GAL/YR				
Estimated Total Water Use - ETWU (gallons per year)	10		73,311 GAL/YR				
Total shall not exceed MAWA below:							

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
 Evapotranspiration adjustment factor (ETAF) for 55 residential/41 non-residential

$25.42 \times (ETAF \times 6.68) + (1 - (ETAF \times 6.68)) \times 0 = MAWA 76,424 GAL/YR$

January 2016 Page 3 of 9

*TOTAL OF RENOVATED PLANTING AND IRRIGATED LANDSCAPE AREA SEE HYDROZONE LEGEND FOR TOTAL EXISTING AND NEW PROJECT LANDSCAPE AREA



#	DESCRIPTION	DATE
1	2nd DRP Submittal	1-4-2021
2	3rd DRP Submittal	1-28-2021
3	4th DRP Submittal	11-8-2021
4	5th DRP Submittal	12-3-2021

arch 5 design

THE FISH MARKET
 SEAFOOD MARKET & RESTAURANT
 640 VIA DE LA VALLE
 SOLANA BEACH, CA 92075



REYES
 STUDIO
 ARCHITECTURE
 858.922.6246



STUDIO WEST
 LANDSCAPE ARCHITECTURE
 & PLANNING
 3625 Ruffin Rd., Suite 108
 San Diego, CA 92123
 Ph 858.598.5085

DATE REVISION:	12/1/2021
DESIGNED:	ML
DRAWN:	JG
PROJECT STATUS:	DRP Pending
PN:	160428
SHEET:	LC.2
WATER CONSERVATION PLAN	



January 7, 2022

Mr. Joseph Lim
Community Development Director
City of Solana Beach
635 South Highway 101
Solana Beach, CA 92075

RE: The Fish Market - Remodel (DRP Case No. 17-19-03)

Dear Joseph:

This letter is response to the following Planning review comment we received from Corey Andrews:

- 1. The proposed project includes the extension of the existing cupola on the roof above the east and west sides of the building. The cupola exceeds 16 feet in height as measured from the pre-existing grade, therefore, a Structure Development Permit (SDP) is required. The SDP has a fee of \$1,132 and requires the installation of story poles onsite and a 30-day public notice. The Community Development Director has the authority to waive the requirement of a SDP in cases of minor additions to existing structures where view impairment is unlikely. If you wish to request a SDP waiver, please submit a written request made out to Joseph Lim, Community Development Director.*

We believe the extension of the existing cupola on the roof is a minor addition to the existing structure. The height of the proposed extension will be consistent with the existing height of the cupola, therefore, the overall height of the existing building will remain as-is and is unlikely to impair any views. Please accept our request of an SDP waiver for this minor addition.

Please contact us if you have any questions. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Reggie Reyes", is written over the typed name below.

Reggie Reyes
Architect

1566 Hunters Pointe Avenue
Chula Vista, California 91913
858.922.6246
www.reyesstudio.com

ATTACHMENT 3



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Consideration of Resolution No. 2022-006 Approving Modifications to the Development Review Permit and Structure Development Permit Waiver for Solana Highlands Project (17-14-29) Approved in 2018, a 260-Unit Residential Community Including Affordable Senior Housing at 661 - 781 South Nardo Avenue and 821 Stevens Avenue (Case # DRP MOD 20-002, Applicant: H.G. Fenton)**

BACKGROUND:

On December 17, 2018, the Solana Beach City Council (Council) certified the Final Environmental Impact Report (FEIR) and approved a Development Review Permit (DRP), Structure Development Permit (SDP), and Vesting Tentative Parcel Map (VTPM) to construct the Solana Highlands Revitalization Project (the "Project") under Resolutions 2018-131, and 2018-132, respectively (see Attachment 1). The Council approvals also included an Affordable Housing Density Bonus and Waiver of Development Standards under State density bonus law, and a Fee Waiver. The approved Project is a residential development consisting of 260 residential units, including 32 senior affordable units, comprised of studios and one and two-bedroom units, 10,287 square feet of clubhouse/leasing office space, 261,266 square feet of landscaped area, 65,434 square feet of open space, 525 on-site parking spaces including 233 garage spaces, 22 covered parking spaces and 270 open or guest parking spaces. The site is located within the City's designated High Density Residential (HR) Zone at 661-781 South Nardo Avenue and 821 Stevens Avenue.

The existing project site is bounded by South Nardo Avenue on the north, Stevens/Valley Avenue to the east, Saint James Church and Academy to the west and the Turfwood residential condominium community to the south.

The site is irregularly shaped and currently varies from an elevation of approximately 60 to 150 feet above Mean Sea Level (MSL), sloping generally upward in elevation from the southeast area of the site to northwest. The project site is currently developed with 194

CITY COUNCIL ACTION:

multi-family residential units and associated amenities within the Solana Highlands community and four additional multi-family units located to the east.

The Solana Highlands apartment complex was constructed in the early 1970s. It is comprised of 16 buildings, carports and surface parking, various hardscape and landscape areas (including driveways and open green space areas), a coin-operated laundry room, tennis courts, a clubhouse with administrative offices, a fitness room, a business center, a swimming pool and three additional adjacent structures providing four multi-family units. The adjacent multi-family homes were constructed in the late 1940s and mid-1970s.

The proposed Project involves demolition of all existing structures on site and construction of a new rental apartment community consisting of 228 new multi-family residential units, and 32 affordable senior housing units, for a total of 260 new units in 24 buildings on-site. The Project proposes a net increase of 62 residential units consisting of 32 affordable senior units and 28 market rate units.

The existing project site is 13.4 acres (583,704 gross square feet) and is composed of three parcels (12.99 acres, 0.31 acres and 0.11 acres) and will ultimately be consolidated into two parcels as follows: Parcel 1 will contain 228 market rate rental units on an 11.64-acre site and Parcel 2 will contain the 32 affordable senior units and will be a total of 1.77 acres in size, as shown below:

Use Program (SCOUP) if the excavated material is suitable for beach replenishment up to a maximum of 150,000 cubic yards per the City's SCOUP permits.



The Applicant was required to obtain a DRP as the Project met the following DRP thresholds: 1) new construction totaling 30,000 gross square feet or more, 2) any residential project of 20 or more units, 3) any new residential structure or structural addition in the HR zones which exceeds 25 feet in height, or 4) any project that includes grading in excess of 100 cubic yards. A SDP was required as elements of the Project exceed 16 feet above existing/proposed grade.

Through an extensive, multi-year community outreach process, the Applicant made significant design changes to their original proposal based on community feedback. The nature of the Applicant's changes addressed private view issues and community compatibility concerns. The approved site plan is shown above.

The Project was reviewed through a Draft and Final Environmental Impact Report (EIR) for compliance with the requirements of the California Environmental Quality Act (CEQA). The Final EIR was certified and the City Council approved a Development Review Permit (DRP), Structure Development Permit (SDP), Vesting Tentative Parcel Map (VTPM) and other related entitlements on December 17, 2018.

Following City Council approval, the Applicant submitted an application to the California Coastal Commission (CCC) for a Coastal Development Permit (CDP). Conditional approval of CDP 06-19-0109 was issued by the CCC in May 2019. Following CCC approval, the Applicant initiated preparation of construction and engineering plans and submitted applications for ministerial building permits to the City in December 2019 for certain building, grading and public improvement elements of the Project.

City Staff and the Applicant coordinated on the permit processing to discuss and review comments on the project plans intermittently throughout 2020. Processing efforts were somewhat slowed and/or hampered by COVID-19-related restrictions and protocols and related Staff work modifications.

During 2020 and continuing until the present time, input from community stakeholders was obtained by the Applicant on several key topics including landscape concepts, the traffic calming plan and Applicant-initiated revisions to Buildings 13, 19 (Clubhouse) and 24. Members of the community have also held their own meetings to discuss various project elements and community engagement on the Project remains ongoing.

The Applicant is also continuing efforts to support their future anticipated participation in the City's SCOUN beach sand replenishment program during the initial construction phases (estimated to be 2022-2023). City Staff have shared their experiences on the Solana 101 SCOUN project that placed sand on the City's beaches in the Spring of 2021 with the goal of refining future SCOUN project logistics and activities.

In Spring 2021, the Applicant resubmitted a formal application to modify discrete elements of the previously approved Project to allow design changes to proposed Buildings 13, 19, and 24. At that time, City Staff and the Applicant also began to finalize the Project's Landscape Plan and traffic calming plan and exterior building materials ensuring that each remained consistent with the goal and intent of City Council-imposed Conditions of Approval contained in Resolution 2018-132 (See Attachment 1).

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request for DRP Modification 20-002 (see Attachment 2) including changes to conditions of approval and SDP waiver and adopt Resolution 2022-006 (Attachment 3).

DISCUSSION:

On April 6, 2020, the Applicant submitted an initial request to (1) approve minor modifications to three buildings of the previously approved project and (2) modify certain City Council Conditions of Approval. Due to COVID-19-related delays, application processing slowed until April 2021 when the Applicant resubmitted an updated application with supporting materials (See Attachment 2) and permit application processing was once again resumed. Below is a summary of the scope of the Applicant's DRP Modification and SDP Waiver Request (DRP/SDP MOD 20-002). Supporting documentation for each

project element listed below is included in Attachment 2 to this Staff Report which contains the Applicant prepared materials.

Summary and Overview of Applicant Requested Project Modifications

- **Building 13.** The Applicant is requesting consideration of a modification of the City Council Condition of Approval X.a.i. requiring that Building 13 be lowered by six (6) inches from the revised story pole plan elevation submitted on October 2, 2018, limiting the maximum elevation of building 13 to 134.9 MSL. The Applicant requests the condition be revised to lower the maximum building height of the easterly 47 feet of Building 13 by an additional 3.0 feet (to 130.5 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18 and waiver of the story pole requirement for this modification.
- **Building 19.** The Applicant requests consideration of modifications to Building 19 (Clubhouse) on three sides (exterior façades) to allow second-floor balconies, open on three sides with a roof, on the front and rear of the building, and exterior stairs on the street-side of the building, which would project outside of the previously permitted horizontal envelope and waiver of the story pole requirement for these modifications.
- **Building 24.** The Applicant requests consideration of a modification to the site plan to shift Building 24 approximately 60' feet east and waiver of the story pole requirement for this modification.
- **Onsite Parking Management Plan.** The Applicant requests consideration of a modification to City Council Condition of Approval XVIII.c. requiring submittal of an onsite Parking Plan to the City Manager on or before March 1, 2020 to allow additional time to develop the parking plan. The Applicant requests they be allowed to submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023.
- **Offsite Traffic Calming Plan.** The Applicant requests consideration of refinements to the originally approved traffic calming conceptual plan reflecting an iterative review process that has benefitted from the input of the community as well as the input of the City Engineer and the Solana Beach Fire Department.
- **Final Landscape Plan.** The Applicant requests consideration of a modification of a portion of City Council Condition of Approval XXVI requiring separate City Council approval of a Final "Conceptual" Landscape Plan. The Applicant requests that a Final Landscape Plan be reviewed and approved by the City Council essentially skipping an interim approval of a Final "Conceptual" Landscape Plan. The Applicant also requests removal of the requirement for ten (10), 84-inch box trees be installed onsite.

Each of these requests is further detailed below.

Requested Change to Building #13 – The Applicant is requesting amendment of Condition X.a.i. of 2018-132 that requires the reduction of the maximum height of Building 13 by six (6) inches from the revised story pole plan elevation submitted October 2, 2018 and limiting the maximum building elevation for building 13 to 134.9 MSL.

The Applicant requests the condition be revised to reduce the maximum building height of the easterly approximately 50 feet of Building 13 by an additional 3.0 feet and limiting it to 130.5 MSL, and to allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the originally proposed height of 139.9' MSL as originally depicted and certified by the story pole plan certification dated June 14, 2018.

This proposed amendment to the massing of Building 13 addresses the portion of the building of most concern both to the City Council and to the claimant (Wilson) who filed a View Assessment Application in conjunction with the SDP in June 2018. This request would further reduce the required 6-inch height reduction an additional 3.0 feet while allowing the portion of the building not visible from claimant's view to return to the pitched roof architecture that is more aesthetically compatible with the overall architecture of the remainder of the Project. The image below from Attachment 2 shows the proposed reduced building height of the easterly portion of Building 13 and the proposed height of the westerly portion of Building 13.





An email from Weber/Nunn, a former view claimant, was received requesting that the currently proposed changes be story poled and go through the Structure Development review process once again (Attachment 4). The Weber/Nunn claim was filed in 2015 and the applicant submitted a substantially revised site plan which was story poled and certified in June 2018. This 2015 view claimant had their view claim heard by the VAC in November 2018 where it was denied.

The proposed changes before City Council for Building 13 are entirely within the story poled building envelope for Building 13 originally installed and certified on June 14, 2018. This certification established the maximum height of Building 13 at 139.9' MSL during the SDP notification and review period that ran from June 19 through July 20, 2018. Following the receipt of claims for view assessment, the ridgeline was reduced by 4.5' to a height of 135.4' and a new ridgeline flag was set at that elevation and the SDP was amended accordingly specifically to address the 2018 Wilson view claim. The View Assessment Commission (VAC) considered the revised proposed height of 135.4' at the VAC meeting on October 16, 2018, and recommended approval, however, the claimant requested further consideration of his claim by the City Council, resulting in the condition to reduce the height of Building 13 by 6 inches to 134.9 MSL. Additionally, Condition X.a.i. further stated that, "The manner in which this height reduction is achieved shall be at the discretion of the Applicant." Attachment 1 includes the approved DRP/SDP configuration, and a copy of the June 14, 2018 story pole certification. The Weber/Nunn view claim was subsequently denied by the VAC in November 2018.

Only the easterly quarter of Building 13 creates the view blockage that gave rise to the view claim addressed by Council. The westerly three-quarters of the building are within a viewshed that is largely blocked by an existing building and will be blocked in the future

by proposed Buildings 2 and 12. The Applicant's request is in keeping the Council's direction to minimize the view impact on the view claimant, while allowing Building 13 to return to the original architectural articulation of the sloped roof.

The Applicant has discussed this proposed revision with the view claimant, John Wilson, owner of 684 S. Nardo, who has provided written support to proceed with this amendment request (see Attachment 2). The Applicant provided photographs from an informal story pole effort conducted by the Applicant at the request of Mr. Wilson. The request for a waiver of the SDP process is based on the support of Mr. Wilson. With the concurrence of the this view claimant, the Applicant is requesting a waiver of any additional story pole requirements in conjunction with this project modification as the building as revised remains wholly within the building envelope depicted in the certified June 2018 story pole plan. Any and all other view claimants have had their view assessment claims considered as part of the extensive 2018 View Assessment process, which depicted the entire building at 139.9' AMSL.

Change to Building #19 (Clubhouse) – The Applicant is requesting consideration of a modification of the DRP to implement an updated design vision for the revitalized Solana Highlands Clubhouse & Leasing Office. Over the past three years since project approval, the Applicant's design has evolved to capture the Solana Beach coastal lifestyle and incorporate additional amenities expected by today's community residents. The revised elevations for Building 19 are intended to:

- Create the feeling of an upscale “beach club” consistent with the Solana Beach lifestyle.
- Establish a welcoming environment at the community's entrance with lots of windows and a large front porch inviting residents and visitors in.
- Update the Coastal Craftsman architecture consistent with the remainder of the Project, while remaining timeless and lasting.
- Evoke a sense of place by introducing a barrel vaulted clerestory element inspired by the iconic Quonset huts on Solana Beach's Cedros Avenue design corridor.
- Increase opportunities for flow between indoor and outdoor spaces and take advantage of the great Solana Beach climate.
- Provide a multi-function space for interaction, work, reflection, and recreation – meeting today's trends demanding more remote workplaces, fitness amenities, and accommodating package delivery.

These additional design considerations, which are included in Attachment 2, have resulted in a request by the Applicant to modify the front and rear façades of Building 19 to allow for second-floor balconies, open on three sides, with a roof, which would project outside of the previously permitted horizontal envelope. An exterior staircase has also

been included on the side of the building that would also project horizontally beyond the story poled envelope. There are also some first floor building elements that are now proposed to project beyond the original building envelope, however, these are below 16 feet in height. The Applicant is requesting consideration of this request and a waiver of the story pole requirement for these modifications. The image below from Attachment 2 shows the projections of the second floor covered balconies and exterior staircase in light blue and proposed first floor roof projections that are less than 16 feet in height in gray. This is discussed in further detail later in this Staff Report under the View Assessment discussion.



The modified elevations are consistent with the Coastal Craftsman style architecture exhibited throughout the Project and are intended to create a strong statement at the project entrance emphasizing the coastal lifestyle and a high-quality architectural design. The building would have a wide front porch and large windows to invite residents and guests to enjoy the building and provide a high degree of visual transparency and circulation between indoor and outdoor areas consistent with the Solana Beach lifestyle.

The revised building is largely consistent with the scale and massing of the previously approved Building 19, except for small sections of the building projecting beyond the story poled building envelope as shown in Attachment 2. The additional projecting areas on the front and rear of the building contain roofed second-floor balconies, open on three sides and a staircase has been included on the side of the building that projects horizontally beyond the 2018 story poled envelope. No element of the roof of Building 19 would

exceed the height of the ridgeline that was depicted in the 2018 story poles. Each of the three additional projecting areas contains a roofed second-floor balcony or staircase, open on three sides, minimizing any massing impact of the additional projection.

The Clubhouse is located at the lower elevation easterly end of the site. The highest ridgeline of the building is well below both the existing and future natural landform as the site rises to the west. No view concerns were raised with the Clubhouse (Building 19) or any of the other nearby buildings during the City's View Assessment process. These horizontal projections do not create any additional view obstruction of any offsite vantage points as the newly proposed projecting elements are blocked by other onsite buildings. The revisions to the clubhouse (Building 19) are consistent with the architecture and design quality established by approved DRP. The area on the front, rear and side façades that project outside of the envelope depicted by the approved story poles do not create any additional new view impacts, and thus a Story Pole Waiver has been requested. The remainder of Building 19 is within the approved envelope and underneath the ridgeline created by the approved building/story poles. The Applicant is requesting a Story Pole Waiver due to the lack of view impairment created by the revised horizontal projecting elements.

Change to Building #24 – The Applicant is requesting consideration of a modification of the DRP site plan to shift Building 24 approximately 60 feet to the east and waiver of the story pole requirement for this modification.

Building 24 is a three-story building with ground floor garages and upper floor carriage units above the garages located in the southwest quadrant of the site. Views of this building are blocked from offsite to the north by Building 13 and from the south by Building 15. No view claims were filed for Building 24 during the previous SDP process.

The Applicant is proposing to revise the location of Building 24, shifting it approximately 60 feet to the east, in order to create a shared pedestrian walkway between Buildings 14 and 24 intended to enhance the resident experience instead of having front doors immediately open onto parking spaces. This modification will also remove project massing away from the western site near the St. James Church and Academy located west of the site. Below is a depiction of both the original and proposed location of Building 24.

Attachment A.1 Building 24 Layout Changes

ORIGINALLY APPROVED SITE PLAN



CURRENT SITE PLAN



SOLANA HIGHLANDS SOLANA BEACH, CA

The proposed location of Building 24 remains blocked from view from the north by Building 13, from the south by Building 15, and from the west by Building 14. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. The eastward shift of Building 24 would not result in any new view impact as shown in Attachment 2.

The proposed location of Building 24 remains blocked from view from the north by Building 13, from the south by Building 15, and from the east by Building 14. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. The Applicant is requesting a waiver of any additional story pole requirements related to this proposed change.

Traffic Calming Plan – Resolution 2018-132 contained Council Conditions of Approval related to improvements of the existing roadway network adjacent to and in the general vicinity of the project site consistent with the City’s General Plan Circulation Element and implementing certain recommendations of the City’s Comprehensive Active Transportation Strategies (CATS) Program. Conditions in the original Resolution 2018-132 specifically required the Applicant to work with City Staff to develop Traffic Calming

Plans as articulated in the subject resolution and to obtain City Council approval for the proposed traffic calming measures.

The Applicant and the Applicant's Engineering team met with City Staff on several occasions and discussed various elements of the traffic calming measures. Almost all measures were properly developed and designed consistent with the original requirements of the approved City Council Resolution. The following items deviate from the original requirements and are presented here for Council's consideration.

- Condition II-(1) of Resolution 2018-132 discussed requirements for improving the operation of the Turfwood driveway access to Valley Avenue. This requirement included timing modification of the traffic signal at the intersection of Valley Avenue and Stevens Avenue to provide a more efficient egress at Turfwood Lane vehicular access. After careful evaluation of the signal timing performed by the City's Traffic Engineer, it was determined that any timing adjustment and or signal phasing revisions would have unintended and negative consequences for all other signal phases at the Stevens/Valley intersection. City Staff recommends implementation of creative striping at the Turfwood driveway access to Valley Avenue coupled with the addition of an electronic speed limit sign on southbound Stevens just south of Nardo, and improving the sight visibility distance for vehicles entering Valley, would greatly enhance the operation of the Turfwood driveway. City Staff is also recommending that the Applicant monitor the operation of the Turfwood driveway for a period of one year after full implementation of all other measures and provide a report to the City Engineer. If additional enhancements are warranted, the Applicant and City Staff will make appropriate adjustments. Revisions to the signal timing is not recommended at this time.
- Condition II-(2) of Resolution 2018-132 discussed measures by which vehicular right turn movements from eastbound Nardo Avenue to southbound Stevens Avenue will be more controlled or slowed. This condition discussed modification to the design and timing of the traffic signal at the intersection of Nardo Avenue and Stevens Avenue. After discussion with the City's Traffic Engineer, it was concluded that any such design changes to the signal system would be less effective than implementation of certain physical constraints to lower the vehicular traffic speed for these right turn movements. With that in mind, City Staff worked with the Applicant's design team to redesign the existing curb-return at the southwest corner of this intersection to reduce the curb radius. This would require motorists to reduce their speed before making the right turn onto Stevens Avenue. As recommended by Staff, the Applicant's design team supplemented this design by adding continental crosswalks on Nardo Avenue and Stevens Avenue and upgrading of the existing non-standard curb ramps at the northwest corner of this intersection and across Stevens to the east side of the street. City Staff believes these measures will accomplish the City Council's desired intent to slow traffic making righthand turns from Nardo onto Stevens. This modification is included in the Applicant's Traffic Calming Plan included in Attachment 2.

- Condition II-(7) of Resolution 2018-132 Requires the Applicant to install a Speed Table and crosswalk (a long flat speed bump) on Nardo Avenue between east Solana Circle and Nardito Lane. The Applicant organized a community meeting where community members expressed interest in adding stop signs to South Nardo Avenue at Nardito Lane and at Solana Circle instead of the Speed Table. Should the City Council direct City Staff to proceed with the installation of stop signs along South Nardo Avenue, the City Engineer would direct the Applicant to eliminate the proposed speed table and instead provide two thermoplastic continental striping crosswalks; one crossing Nardo Avenue from the northwest corner of Solana Circle and Nardo and one crossing Solana Circle south to the southwest corner of Nardo and Solana Circle.
- Condition II-(8) of Resolution 2018-132 requires evaluation of the addition of one Speed Cushion on South Nardo Avenue between Fresca Street and Nardito Lane. This evaluation has been completed and it was determined that installation of a Speed Cushion in this roadway segment is not consistent with City Council Policy 25, due primarily to the steep grade of the existing road. The Applicant worked with City Staff to design an alternate traffic calming measure in the form of two “Chokers” (Physically narrowing the road width by extending the curbs and installing short median sections). This design is equally effective for calming traffic as compared to speed cushions. This modification is included in the Applicant’s proposed Traffic Calming Plan in Attachment 2.

Parking Management Plan: The Applicant is requesting to modify Condition of Approval XVIII.c of Resolution 2018-132 that requires submittal of a Parking Management Plan to the City Manager on or before March 1, 2020, to require submittal of the onsite Parking Management Plan to the City Manager on or before September 1, 2023. Council Resolution 2018-132 provided extensive conditions regarding the number and allocation of onsite parking spaces. No changes to the type, amount, or allocation of parking space use (i.e., reserved, guest, etc.) are proposed. This request is simply for a delay or extension of the timing for submittal of the Parking Management Plan only.

The Parking Management Plan will identify which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces. These allocations of onsite parking spaces will be prepared by the Applicant as part of the onsite operations plan and will be completed during the construction period and prior to the initiation of leasing efforts on the redeveloped site.

Final Landscape Plan – The Applicant is requesting to revise the portion of Condition of Approval XXVI of Resolution 2018-132 that requires separate City Council approval of a Final Conceptual Landscape Plan and instead allowing the Applicant to move forward to consideration of a Final Landscape Plan without requiring formal City Council consideration and approval of an interim conceptual version of the Final Landscape Plan.

Resolution 2018-132 required the submittal of a Final Conceptual Landscape Plan prior to March 1, 2019, a deadline that has been extended by concurrence of the City Manager

to allow the Applicant to continue to work with members of the community regarding the details of the final project Landscape Plan. The Council Resolution required submittal of the Final Landscape Plan prior to March 1, 2020.

The Applicant has now submitted a Final Landscape Plan that incorporates community input, specifically regarding the Landscape Zone Plan for the perimeter of the site, and addresses the Conditions of Approval. The Applicant requests that the City Council accept the Final Landscape Plan and waive the condition requiring approval of a Final Conceptual Landscape Plan as essentially redundant and acknowledge and approve a revision to the tree planting plan as discussed below.

A construction-level landscape plan was submitted to the City on December 20, 2019, in conjunction with the Grading Permit and Building Permit plan check submittals. This submittal constituted the Applicant's concurrent submittal of the delayed Final Conceptual Landscape Plans and the Final Landscape Plan which was required by the conditions of approval to be submitted before March 1, 2020.

Following the Landscape Plan submittal in 2019, the Applicant continued to work with members of the community to obtain input regarding the landscape materials and design for the "buffer area" surrounding the site. Based on community input, a Landscape Zone Plan was developed creating six distinct "landscape buffer area" planting zones along the edge of the property. The Landscape Zone Plan ties together the Project thematically with native and other selected low water usage species, while respecting the context of the adjacent neighborhood as the perimeter of the Project transitions: from single family homes and view sensitive areas across South Nardo Avenue at the northwest; to higher density housing along the eastern portion of South Nardo Avenue and along Stevens Avenue; to the south of the property to interface with the existing Turfwood community; and finally to the east where the Project is adjacent to St. James Church and Academy.

The planting palette for each of the six zones of the Landscape Zone Plan was developed to attractively screen and buffer the development from the surrounding neighborhoods while respecting the established surrounding areas, allowing the Project to integrate with existing adjacent uses while avoiding a monolithic or singular planting palette. The species of vegetation, including trees and shrubs, are primarily California natives with a limited number of species from Mexico, Africa and Australia that are appropriate for this climate zone and compatible with the coastal native species. The design of the Landscape Buffer Area is intended to have a natural, informal appearance that appears as though it has grown organically over time, with groves of similar tree species as opposed to a more formal or organized planting and/or spacing configuration. Each of the zones and tree species are depicted in Attachment 2, Landscape Zone Plan, Landscape Tree Zone Plan and Landscape Tree Schedule.

On January 19, 2022, the Applicant submitted the Final Landscape Architectural Plans (plans dated December 20, 2021) and on February 25, 2022, the Applicant submitted the updated Landscape Zone Plan developed with the benefit of input from residents along South Nardo Avenue and from the Turfwood community. When originally brought forward

for approval, the Project was anticipated to include approximately ten (10) 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores in 24-inch boxes. The planting plan has been modified to incorporate smaller container sized trees, including 15-gallon size trees and 24-inch box trees. The proposed changes are in response to concerns raised by adjacent residents expressing concerns regarding the viability of transplanted 84-inch box trees and potential impact on hillside / slope stability as well as the ability of smaller container sized trees to grow faster after transplantation.

In lieu of ten (10) 84-inch Coast Live Oaks along the southern edge of the project site, the planting plan includes twenty-three (23) 36-inch box Coast Live Oaks in the East and North-East Zones. Along the southern project boundary, screening will be provided by eleven (11) Coastal Shrub Oaks in 24-inch box containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include fourteen (14) Torrey Pines and various other tree species. In total, more than two hundred fifty (250) 24-inch box or larger trees will be located within the landscape buffer zones in a combination of oak, palm and other native and drought tolerant tree species all selected with the benefit of community input.

Council Resolution 2018-132 required the submittal of a Final Conceptual Landscape Plan prior to March 1, 2019, a deadline that has been extended by concurrence of the City Manager that allowed the Applicant to continue to work with community stakeholders regarding the details of the project Landscape Plan. As previously noted, significant community input was incorporated into the Landscape Zone Plan submitted to the City on February 25, 2022,. As also previously noted, this submittal constitutes the Applicant's concurrent submittal of the Final Conceptual Landscape Plans and the Final Landscape Plan which was originally required by to be submitted before March 1, 2020.

Given the concurrent review of the Final Conceptual and Final Landscape Plans with the Grading and Building Permit submittal packages, the Applicant has requested to proceed with the Final Landscape Plan essentially forgoing the interim conceptual approval by the City Council. Additional Conditions of Approval have been added to (1) ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health and (2) require engineering review by EsGil of Final Landscape Plan Construction Drawings contained on Sheets LC01 and LC-13.

2018 City Council Approved Project Overview Per Resolution 2018-132

Table 1 on the following page provides an overview of the specific zoning regulations for the development of the property compared to the Applicant's proposed Project design. The development standards that apply to this Project are provided in the SBMC.

Table 1 Lot and Approved Project Information

LOT INFORMATION																
<p>Property Address: 661 through 781 South Nardo Avenue and 821 Stevens Avenue</p> <p>Lot Size: 583,704 ft² (13.4 acres) gross/net area of 3 existing parcels and future 2 parcels after consolidation</p> <p>Maximum Allowable Floor Area: 0.75 or 437,778 ft² (calculated based on gross floor area)</p> <p>Proposed FAR: 0.564 or 329,157 ft²*</p> <p>Maximum Building Height*: 30 ft.</p> <p>Proposed Building Height*: 47.1 ft.</p> <p><i>*Subject to density bonus or waiver of development standard</i></p>	<p>Zone: HR (High Density Residential)</p> <p>Overlay Zone: None.</p> <p>Density Allowed: 13-20 du/ac or 207 Dwelling Units</p> <p>Density Requested *: 19.4 du/ac - 260 Dwelling Units</p> <p>Setbacks:</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;"></th> <th style="width: 35%; text-align: center;">Required:</th> <th style="width: 35%; text-align: center;">Proposed:</th> </tr> </thead> <tbody> <tr> <td>Front:</td> <td style="text-align: center;">25 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> <tr> <td>Rear:</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> <tr> <td>Side (Street):</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">10 Ft.</td> </tr> <tr> <td>Side (Interior):</td> <td style="text-align: center;">10 Ft.</td> <td style="text-align: center;">25 Ft.</td> </tr> </tbody> </table>		Required:	Proposed:	Front:	25 Ft.	25 Ft.	Rear:	10 Ft.	25 Ft.	Side (Street):	10 Ft.	10 Ft.	Side (Interior):	10 Ft.	25 Ft.
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APPROVED PROJECT INFORMATION																
<p>Proposed Square Footage Breakdown:</p> <table style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="width: 40%;">Residential:</td> <td style="text-align: right;">318,870 ft²</td> </tr> <tr> <td>Clubhouse/Leasing center:</td> <td style="text-align: right;">10,287 ft²</td> </tr> <tr> <td>Total Building ft² Proposed:</td> <td style="text-align: right;">329,157 ft²</td> </tr> <tr> <td>Total Residential/Building Area:</td> <td style="text-align: right;">318,870 ft² or 54.6%</td> </tr> </tbody> </table>	Residential:	318,870 ft ²	Clubhouse/Leasing center:	10,287 ft ²	Total Building ft² Proposed:	329,157 ft²	Total Residential/Building Area:	318,870 ft² or 54.6%	<p>Proposed Landscape and Open Space Components:</p> <table style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td style="width: 40%;">Landscaping:</td> <td style="text-align: right;">261,266 ft²</td> </tr> <tr> <td>Open Space:</td> <td style="text-align: right;">65,434 ft²</td> </tr> </tbody> </table>	Landscaping:	261,266 ft ²	Open Space:	65,434 ft ²			
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Open Space:	65,434 ft ²															
<p>Required/Obtained Permits:</p> <p>DRP: New construction over 30,000 square feet. New residential units in excess of 20 units. New structures in excess of 25 feet in height in HR zone. Grading in excess of 100 cubic yards.</p> <p>SDP: For construction in excess of 16 feet in height measured from existing grade.</p>																
<p>Proposed Grading: Cut: 187,000 yd³ Fill: 27,000 yd³ Export: 160,000 yd³</p>																
<p>Required Parking: 495 spaces</p> <p>Proposed Parking: 525 spaces</p> <p>Proposed Fences and Walls: Waiver of development standards requested to allow maximum wall and fence heights as noted in Table 3 due to the amount of grading required and general lowering of the grade of the site.</p>	<p>Existing Development: High density multi-family residential (rental) community consisting of 198 units, club house and leasing center, swimming pool, driveways and parking areas, fencing, utility poles, and landscaping.</p> <p>To be demolished: Yes</p> <p>To Remain: N/A Other: N/A</p>															

As shown above, the approved Project meets or exceeds the required setbacks listed in the SBMC. The Project also complies with the applicable development regulations for a high-density residential development, including parking, density and floor area, except where waivers of development standards were specifically approved pursuant to the density bonus application that were approved by the City Council on December 17, 2018.

A new Resolution 2021-131 has been prepared and is attached to this Staff Report for Council consideration (Attachment 3). Resolution 2021-131 provides the pertinent regulations for the DRP and SDP and Staff has prepared draft findings of approval of the DRP and SDP waiver for the Project for Council's consideration based upon the information provided in this Staff Report. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a part of the public hearing process.

The following is a discussion of the findings for a DRP Modification and SDP waiver as they apply to the currently proposed Project, as well as a discussion of the development plans and recommended conditions as contained in the attached Resolution.

Proposed Modifications to Previously Approved DRP/SDP# 17-24-39

The Project, as modified and described above and depicted more fully in Attachment 2 to this Staff Report must be found in compliance with development review criteria pursuant to SBMC 17.68.040. The nature of the proposed project changes as requested by the Applicant are described above. No changes to the number of residential units or parking spaces is proposed.

The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The City Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2021-131 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.

3. All discretionary permits and approvals required by the city, including variances, conditional use permits, tentative maps, and comprehensive sign plans have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed Project.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of Project approval, the Applicant was required to obtain a Coastal Development Permit from the Commission prior to the issuance of building permits by the City. The Applicant received approval of a CDP 06-19-0109 which was issued by the CCC in May 2019.

Relationship with Adjacent Land Uses

The site is located within the High Residential Density (HR) Zone which is described by SBMC Section 17.20.010 as follows:

- High Residential Zone (HR) – (13 to 20 dwelling units/net acre): This zone is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

The proposed Project involves modifications to an approved redevelopment project for the site. The overall Project would occur on an existing developed site currently occupied by a 194-unit residential apartment complex and 4 other multifamily units.

The site is located in an urban setting and is surrounded by mix of residential land use types including single family residential neighborhoods to the north, Solana Pointe residential apartments to the northeast, single-family homes to the southeast, Turfwood condominiums to the south, and St. James Catholic Church and Academy campus to the west.

General Plan Consistency

The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR), and may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

- Policy LU-1.1: Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.
- Policy LU-1.2: The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.
- Policy LU-1.3: In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances.
- Policy LU-1.4: Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.
- Policy LU-6.6: Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.
- Policy LU-6.7: Promote appropriate transitions in building height and bulk which are sensitive to the visual and physical character of adjacent neighborhoods.

The Project could be found to be consistent with the following General Plan programs and goals in the City's 6th Cycle (2021-2029) Housing Element which the City is committed to implementing. This includes the housing goals, including regional housing needs assessment / local share goals and affordable housing goals, including:

- Continuing to implement the density bonus and affordable housing ordinances.
- Addressing and mitigating constraints to housing development.
- Providing affordable housing for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element.
- Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the 6th Cycle RHNA affordable units the City must provide under State law.
- Developing a site that was identified as having redevelopment potential for additional housing units in the City's Housing Element.
- Achieving the need for housing rehabilitation to preserve neighborhood quality.

The Housing Element identified the Solana Highlands project site as one that could accommodate additional residential units and was a site identified as having adequate density to accommodate lower income housing. The Applicant requested DRP modifications do not include any changes to the total number of units redeveloped onsite nor do they propose any changes to the 32 senior affordable units that will be constructed as part of the approved Project. Therefore, the Project remains consistent with the City's RHNA and the 6th Cycle 2021-2029 Housing Element Update.

Local Coastal Plan/Land Use Plan Consistency

The Solana Beach City Council adopted a Local Coastal Plan (LCP) Land Use Plan (LUP) on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered by the Coastal Commission to be advisory rather than mandatory at this time.

The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike. The LCP LUP designates the property as High Density Residential. This land use category is intended to be developed with 13 to 20 dwelling units per acre. This zone is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers, and transportation routes. It is intended that development in this zone utilize innovative site planning and provide on-site recreational amenities.

As the City does not yet have full coastal development permit (CDP) authority, the Applicant was required to obtain approval from the Coastal Commission. On May 19, 2019, the Applicant received Coastal Commission approval for the Project under CDP-06-19-0109.

The proposed Project could be found to be consistent with LCP/LUP. In particular, the proposed Project could be found to be consistent with the policies in Chapter 5 – New Development, which includes general policies for new development, and policies for residential development, high density development and redevelopment, energy efficiency and archaeology. The proposed Project could also be found to be consistent with the policies in Chapter 7 – Public Works, including policies for circulation improvements and traffic calming.

Affordable Housing, Density Bonus and Waiver of Development Standards, and Fee Waiver

No changes to these elements of the original City Council approved Project are proposed; therefore, no additional analysis for this DRP Modification request is required on these topics.

Building and Structure Placement

The Project includes a total of 260 units with a breakdown as follows:

- 12 studio apartments that are 420 square feet in size
- 128 one-bedroom apartments ranging in size from 517 to 954 square feet
- 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.

Project amenities on site, which would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space, are not being altered with the proposed modifications.

The SBMC includes development standards for high density residential development based on the zone in which the Project is located, including required setbacks, maximum FAR, and building height, which are shown in Table 1. The previously approved development standard waivers granted by Council under Resolution 2018-132 notwithstanding, the proposed Project modifications meet or exceed all required setbacks, and remain below the maximum allowable FAR.

The highest point of the Project would remain consistent with the previous project approval at 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with a building height of 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86, where the project site elevation is 116 feet above MSL at that location. The Applicant received a waiver of the 30-foot height standard under Resolution 2018-132 as part of the original 2018 City Council approved project.

Therefore, pursuant to the requirements of the placement of buildings and structures, the City Council may find that the Project modifications have been designed to minimize the potential for adverse impacts on surrounding properties and has been designed in a manner which visually and functionally enhances their intended use and complements the existing site topography.

Landscaping

Per SBMC Section 17.56.040, the Project is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species. As a condition of approval for the Project, the Applicant shall connect to the City's reclaimed water facilities to provide all on- and off-site irrigation with reclaimed water.

The Final Landscape Plan contained in Attachment 2 proposes approximately 247,583 square feet of open space amenity areas including patios, pool area and walkways throughout the site and approximately 188,187 square feet of irrigated landscape area.

During construction of the Project, it is anticipated that all of the existing onsite trees, shrubs and other vegetation would be removed due to the extent of grading that is proposed on site to significantly lower building pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of over five California Sycamores would replace the existing mature 5 California Sycamores on site in accordance with City LCP requirements for native tree mitigation.

The Final Landscape Plan and Landscape Zone Plan include the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting design element linking the project site and design styles and creating a cohesive community. The landscape plan uses plant materials to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture.

As noted above, the species of vegetation, including trees and shrubs, are primarily California natives with a limited number of species from Mexico, Africa and Australia that are appropriate for this climate zone and compatible with the coastal native species. The design of the Landscape Buffer Area is intended to have a natural, informal appearance that appears as though it has grown organically over time, with groves of similar tree species as opposed to a more formal or organized planting and/or spacing configuration. New landscaping would use significantly less water than the current landscaping, as the proposed Project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's Landscape Plan has been reviewed by the City's third-party landscape architect who has revised the plan and recommends approval as designed with two additional Conditions of Approval to ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health; and require engineering review by EsGil of Final Landscape Plan Construction Drawings contained on Sheets LC-01 through LC-13.

The Applicant is required to submit detailed construction drawings that would be reviewed by the City's third-party landscape architect for conformance with the Final Landscape Plan being considered herein. In addition, the City's third-party landscape architect would perform inspections during the construction phase of the Project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas

No changes to walkways, parking or storage areas are proposed with the Project modifications. However, the Applicant has requested additional time, until September 1,

2023, to submit the onsite Parking Management Plan to the City Manager for review. Additionally, minor modifications to the Traffic Calming Plan and Conditions of Approval are proposed and are discussed earlier in this Staff Report.

The approved Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52 and no changes are proposed. There are no requirements for bicycle parking for residential development projects; however up to 50 bicycle parking spaces will be provided onsite.

Grading

Based on the grading plan submitted to the City in 2019, grading estimates are 187,000 cubic yards with 160,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 61 to 68 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department included a condition of approval that the Applicant shall make every effort to participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit beach-quality sand excavated from the site up to a maximum of 150,00 cubic yards on City beaches for the export material identified as compatible with beach sediment in accordance with the City's SCOUP permits. The Applicant continues to express their interest in participating in the City's SCOUP program and City staff continues to work with the Applicant on this element of the Project.

Lighting

No changes to lighting are proposed by the Applicant at this time and the Project continues to comply with applicable lighting requirements.

Open Space

No changes to the Project open space areas are proposed by the Applicant at this time and the Project continues to comply with all applicable open space requirements.

Structure Development Permit

As discussed earlier in this report, the Applicant has requested a waiver from the City's SDP permit process and related story pole program for the proposed modifications to Buildings 13, 19 and 24. The City Council has final authority regarding the project entitlements including issuance of an SDP waiver.

Building 13 SDP Waiver Request: The Applicant is requesting to Amend condition X.a.i. requiring the reduction of Building 13 maximum height by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum building elevation for building 13 to 134.9 MSL. The manner in which the height reduction was to

be achieved was left to the discretion of the Applicant. The Applicant is proposing to limit the maximum height of the easterly approximately 49 feet of Building 13 from 134.9' MSL to 130.5' MSL, a reduction of 4 feet, 6 inches in height, to be accomplished by eliminating one story for the building in this section and returning the flat roof approved in the original DRP to a sloped roof and restoring the maximum height for the balance of the building to 139.9' MSL as originally demonstrated by the story poles installed and certified on or about June 18, 2018, and changing the flat roof depicted on the original DRP to a roof sloped at a 3:12 ratio, consistent with the rest of the Project. A letter dated December 6, 2020 from John Wilson supports this request (See Attachment 2). All other potential claimants have had their view claims assessed as part of the October 2018 and November 2018 View Assessment process which story poled the entire building at 139.9' AMSL. Since none of the revised building exceeds the height of the originally erected and 2018 certified story poles, and the claimant whose claim regarding Building 13 was approved and considered has indicated consent to the current redesign, no additional story pole erections are necessary to modify the SDP pursuant to this request. Accordingly, a waiver can be granted by Council as it is reasonable to concluded that no new view impairment would occur from this Project modification.

Building 19 SDP Waiver Request: The revised building is largely consistent with the scale and massing of the previously approved Building 19, although small projections of the footprint occur on three sides of the building. No element of the roof exceeds the ridgeline that was depicted in the 2018 story pole construction. Each of the three additional projecting areas contains a roofed second-floor balcony or staircase, open on three sides, minimizing any potential adverse massing impact of the additional projections.

These additional projections do not create any additional view obstruction beyond that which has already been demonstrated by story poles erected in 2018 in conjunction with the review and approval of the Structure Development Permit. From all offsite vantage points, the newly proposed projecting areas are blocked by a future building approved through the SDP process or will be viewed with an approved structure behind it. In addition, the clubhouse building is located at the lower elevation of the easterly portion of the site and the highest ridgeline of the Clubhouse is well below both the existing and future natural landform as the site rises to the west.

The Applicant is requesting a Story Pole Waiver due to the lack of view impairment created by the horizontal projections of the revised designs. No view appellant listed a concern with the clubhouse building (Building 19) or any of the other nearby buildings during the View Assessment Process.

As shown earlier in the Staff Report, Figure 4 of Attachment 2 provides a plan view (overhead view) of the proposed clubhouse building (Building 19) with the approved story pole envelope/outline in blue. The numbers in red correspond to the number of the story pole, and the numbers in parentheses indicate the height in feet of the story pole above proposed grade which provides the maximum building height in that location depicted through the story poles.

The areas of the building depicted in blue represent two-story horizontal (i.e., lateral) projections beyond the original story pole footprint, while the areas in grey are single-story areas that do not exceed 16 feet in height (and thus are not subject to the City's SDP process). These projections occur on three sides of the building and range from 9 to 10 feet plus a 3-foot roof overhang for a maximum horizontal projection beyond the story pole envelop of 13 feet. In all instances, the second floor projections are either a roofed open patio area or open exterior staircase.

The Story Pole Waiver is requested to allow the building to project beyond the original story pole footprint into these colored areas. Accordingly, should Council choose to do so, a waiver can be granted as it is reasonable to conclude that no new view impairment would occur from these Project modifications.

Building 24 SDP Waiver Request: The Applicant is requesting modification of the site plan exhibit in the Development Review Permit to shift Building 24 approximately 60' feet to the east and waive the story pole requirement for this modification due to the fact that no new view blockage is created, the minor nature of the modification, the fact that Building 24 is – in both its original and proposed location – blocked by surrounding Buildings 13 and 15, and that no view claims were filed for Building 24 or nearby Building 14. Attachment 2 depicts the approved site plan location and the proposed location approximately 60 feet to the east towards Building 14. The shift of Building 24 is a minor modification, and no additional view impact will be created as illustrated in Attachment 2. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. Accordingly, a waiver can be granted as no new view impairment would occur from this Project modification.

Vesting Tentative Map

No changes to the Vesting Tentative Map are proposed by the Applicant at this time.

Public Art

No changes to the Public Art Fee payable to the City are proposed by the Applicant at this time. The City's Master Art Policy (MAP) indicates that when a residential with a building permit valuation of \$500,000 or more and five (5) or more dwelling units, the Applicant will be required to pay the Public Art Fee of 0.5% of the total building valuation. In the case of a redevelopment project such as the proposed project, the public art fee that is assessed would be based on the net increase of the 62 units provided onsite. This fee can be paid into the City-controlled Reserve Public Art Account or used by the developer to incorporate or purchase City-approved public art for their project. The public artwork may be located in immediate proximity to the said project or placed at a sited MAP location.

CEQA COMPLIANCE:

An Environmental Impact Report (EIR) was prepared for this Project in conformance with the California Environmental Quality Act of 1970 (CEQA). The EIR was prepared as a Project EIR pursuant to Section 15161 of the State CEQA Guidelines. The FEIR was contained in two volumes plus the Findings of Fact approved by the City Council under Resolution 2018-131 on December 17, 2021. Following Project approval by the City Council, a Notice of Determination (Section 15375) was filed by the City with the San Diego County Clerk.

The proposed modifications to the Project do not raise any new environmental issues or increase the level of impact previously considered and analyzed in the Final EIR Certified by the City Council in December 2018. Therefore, no new or subsequent environmental review is required due to the scope and nature of the modifications as proposed pursuant to the 2021 State CEQA Guidelines Section 15162.

PUBLIC HEARING NOTICE:

Notice of the City Council Public Hearing for the Project covering the DRP Modification/SDP Waiver Request was published in the San Diego Union Tribune, more than 10 days prior to the public hearing. A Courtesy Notice was mailed to all property owners and occupants within 300 feet of the proposed project site on January 27, 2022, informing the community that an application for a DRP Modification was pending at the City. A Public Hearing Notice was mailed to all property owners and occupants within 300 feet of the proposed project site more than 10 days prior to the scheduled public hearing date of February 9, 2022.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

DRP Modification:

- If the City Council approves Staff recommendation to approve the DRP Modification and SDP Waiver as provided in Resolution 2022-006 subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP Modification and SDP Waiver.
- If the City Council cannot make all required findings for the DRP Modification and SDP Waiver. Staff will return a Resolution of Denial for the Project at a later date.

DEPARTMENT RECOMMENDATION:

The proposed Project meets the minimum objective requirements under the SBMC, can be found to be consistent with the General Plan and the LCP LUP, and may be found, as

conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP Modification and SDP waiver. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, Close the public hearing.
2. Adopt Resolution 2022-006 conditionally approving a DRP Modification and SDP waiver for the Solana Highlands project modifications described herein, a residential community and affordable senior housing project previously approved on December 17, 2018, at 661-781 South Nardo Avenue and 821 Stevens Avenue, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2018-132
2. Applicant Submittals for Project Modifications (January 2022)
3. Resolution 2022-006 approving DRP Modification and SDP Waiver Request
4. Resolution 2022-006 – Redline from February 9, 2022 Draft
5. Public Correspondence Received

RESOLUTION 2018-132

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT, STRUCTURE DEVELOPMENT PERMIT, VESTING TENTATIVE PARCEL MAP, AFFORDABLE HOUSING PLAN, DENSITY BONUS WITH DEVELOPMENT STANDARDS WAIVER, AND FEE WAIVER FOR THE SOLANA HIGHLANDS RESIDENTIAL COMMUNITY AND AFFORDABLE SENIOR HOUSING PROJECT AT 661-781 SOUTH NARDO DRIVE AND 821 STEVENS AVENUE.

**APPLICANT: H.G. Fenton
CASE NO.: 17-14-29 DRP/SDP/VTPM/AFFORDABLE HOUSING AGREEMENT**

WHEREAS, H.G. Fenton (hereinafter referred to as “Applicant”) has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP), Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver subject to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the applicant is also requesting approval of a Vesting Tentative Parcel Map (VTPM) which would modify the property from three lots to two lots; and

WHEREAS, at the duly and properly noticed public hearing held on December 5, 2018, and the continued public hearing held on December 17, 2018, the City Council received and considered evidence concerning the proposed application as revised; and

WHEREAS, the public hearings were conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, the City Council of the City of Solana Beach certified the Final Environmental Impact Report (FEIR), and adopted a Mitigation Monitoring and Reporting Program (MMRP) and Findings of Fact for the Solana Highlands project in accordance with the California Environmental Quality Act and the State CEQA Guidelines via Resolution 2018-131; and

WHEREAS, this decision is based upon the oral and written evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.

2. That pursuant to State CEQA Guidelines section 15090, 15091 and 15097, the City Council has adopted and certified the FEIR in compliance with CEQA, made the required Findings of Fact and adopted the MMRP as set forth in Resolution 2018-131.
3. That the request for a DRP, SDP and VTPM for the Solana Highlands project , a residential development consisting of 260 residences (including 32 affordable senior units) consisting of studios, one and two bedrooms, 10,287 square feet of clubhouse/leasing office space, 261,266 square feet of landscaped area, 65,434 square feet of open space, 525 on-site parking spaces including 233 garages, 22 covered spaces and 270 open/guest spaces, is conditionally approved based upon the following Findings and subject to the following Conditions:
4. FINDINGS

Based on the totality of the record, the City Council makes the following findings:

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The proposed project is consistent with the General Plan, which designates the property as High Density Residential (HR). Multi-family residential development under this category will range between 13 and 20 dwelling units per acre. Other compatible uses such as accessory dwelling units, home occupations, religious institutions, educational institutions, parks and recreation facilities, and public utilities are permitted or conditionally permitted. Assuming maximum development and an average household size of 2.4 persons per unit, population densities in these areas could be as high as approximately 48 persons per acre. Most of Solana Beach's high density residential development is located in the southwestern portion of the city (i.e., along the coastal bluffs south of the Plaza and in the area generally bounded by Via de la Valle, Solana Circle, Nardo Avenue, and Stevens Avenue). The project is proposing 260 residential units or 19.4 dwelling units per acre. The proposed Project may be found consistent with the General Plan, which designates the property as High Density Residential (HR) and may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

Policy LU-1.1: Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and

adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.

Project Consistency: The project has been subject to a view assessment process to ensure sensitive transitions between the project and adjacent neighborhoods and has undergone substantial changes, as described in the staff report, to create appropriate transitions.

Policy LU-1.2: The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.

Project Consistency: The City's general plan and housing element include a range of housing types, locations, and densities,

Policy LU-1.3: In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances. The regulations shall ensure that conversion of apartments to condominiums or other similar types of subdivisions will meet current standards for the construction of new condominiums or other similar types of multi-family dwellings within the city.

Project Consistency: No condominium conversion is proposed as part of this project.

Policy LU-1.4: Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.

Project Consistency: As described in the staff report, the project includes 50 bicycle parking spaces and will construct extensive traffic calming measures and pedestrian safety measures on streets adjacent to the project.

Policy LU-6.6: Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.

Project Consistency: The project is located on an existing developed infill site that will be reused and, through extensive landscaping and new construction, contribute positively to the surrounding area.

Policy LU-6.7: Promote appropriate transitions in building height and bulk, which are sensitive to the visual and physical character of adjacent neighborhoods.

Project Consistency: As described in the staff report, the project has been subject to an extensive view assessment process and has proposed major design changes to ensure that it is sensitive to the visual and physical character of the adjacent neighborhoods.

The project is consistent with the following General Plan programs and goals in the City's Housing Element, including regional housing needs assessment / local share goals and affordable housing goals, including:

- (1) Continuing to implement the density bonus and affordable housing ordinances.
- (2) Addressing and mitigating constraints to housing development by approving development standards and waivers needed for project construction and a fee waiver.
- (3) Providing 32 affordable housing units for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element. The continued affordability of these units will be ensured for 55 years, and that the rents be limited to those affordable to low income households.
- (4) Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the 150 lower income units that are the City's share of the regional housing need.
- (5) Developing a site with the 260 units that were identified as the site's potential in the City's Housing Element.
- (6) Redeveloping an older apartment complex to preserve neighborhood quality.

The proposed project is also consistent with the requirements of Title 17 in that the proposed project density of 260 units is permitted with a density bonus. As designed the project meets the minimum lot area of 10,000 square feet in that each lot will be 1.25 acres and 11.64 acres in size, respectively. The proposed buildings will have a minimum front yard setback of 25 feet, side yard setback of 10 feet and rear yard setback of 25 feet as required in the HR zone. Per the City's parking ordinance, the project requires 494 parking spaces. The applicant is consistent with the parking ordinance requirement by proposing 525 parking spaces on-site. The parking provided for the affordable senior units is consistent with Section 65915(p) of the Government Code and the City's density bonus ordinance.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- (1) Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

The subject lot is located within the High Residential Density (HR) Zone. According to SBMC 17.20.010 this zone allows 13 to 20 dwelling units/net acre and is intended for multiple-family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning, and provide on-site recreational amenities.

No significant adverse effects upon neighboring properties have been identified or are anticipated to occur from the project implementation, and the project has been extensively redesigned to protect view impacts. As conditioned, the proposed project gives consideration to the protection of surrounding areas from potential adverse effects and provides protection of the property from adverse surrounding influences. Additionally, the City Council has certified the FEIR for this project and has found that project impacts either will not occur, will be less than significant, or will be less than significant with mitigation in all the topic areas analyzed.

- (2) **Building and Structure Placement:** Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.

The Project includes a total of 24 buildings including one affordable senior housing building (Building 25) and one clubhouse/leasing center (Building 19). All parking would be provided onsite in either the form of a garage or surface parking including covered and uncovered and includes 233 garages, 22 covered spaces and 270 open/guest spaces.

Fifteen of the 24 buildings would be two stories in height and nine of the Buildings would be three stories in height. In general, the buildings located along South Nardo Avenue would be two stories and the buildings that are internal to the site would be three stories. The affordable senior building would also be three stories and is located at the southeast corner of the site.

The project includes a total of 260 units with a breakdown as follows:

- (a) 12 studio apartments that are 420 square feet in size
- (b) 128 one-bedroom apartments ranging in size from 517 to 954 square feet
- (c) 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.

Each unit proposes private open space in the form of patios for the units on the ground floor and balconies for the units on the second floor.

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the project would include a small private park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the project is located, including required setbacks, maximum FAR, and building height. The proposed Project meets or exceeds all required setbacks, and is below the maximum allowable FAR.

Required parking and landscaping standards are contained in the City's Off Street Parking Design Manual (OSPDM).

The highest point of the Project is 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with the Project 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location. As required by State law, the City will waive development standards for height of buildings, retaining walls, and walls and fences that would otherwise physically preclude development of the property with the permitted density bonus.

- (3) Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.

Per SBMC 17.56.040, the proposed development is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species.

The conceptual landscaping plan for the Project proposes 261,266 square feet of landscaped area which is equal to approximately 45% of the project site. During construction of the proposed Project, it is anticipated that all of the existing trees, shrubs and other vegetation would be removed as part of the proposed Project due to the extent of grading that is proposed on site to lower pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of five (5) California Sycamores would replace the existing mature 5 California Sycamores on site is in accordance with City LCP requirements for native tree mitigation.

The Project would include the installation of mature (boxed) trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. Larger shade trees would include approximately 10 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores, in 24-inch boxes

throughout the site. A further mix of trees ranging in size and style includes over 400 trees to be planted on site.

The landscape plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting device linking the various pieces of the project site and design styles. The landscape plan uses plant material to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture. Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's conceptual landscape plan has been reviewed by the City's third-party landscape architect who has recommended approval of the conceptual landscape plan. The Applicant would be required to submit detailed construction landscape drawings that would be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect would perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- (4) Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

Residential projects in the City are required to comply with parking standards in SBMC 17.52. The parking requirements for the affordable senior housing element are per the State bonus density code (CGC 65915(p)). Although this maximum required parking ratio could apply to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site (e.g., 228 units).

The proposed Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52. The proposed project includes 525 onsite parking spaces, 50 bicycle spaces, 17 motorcycle spaces and 9 accessible spaces.

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site.

Vehicular access to the site would be provided from two driveway locations on South Nardo Drive. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Drive and Stevens Avenue.

All entrances would provide full movement driveways allowing inbound and outbound movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to and from the project site would be provided via new and/or improved perimeter sidewalks along South Nardo Drive and Stevens Avenue.

- (5) Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Grading is proposed in the amount of 175,000 cubic yards with 154,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 39 to 150 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department has included a condition of approval that the Applicant shall participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit soil exports on city beaches if the Applicant's soil engineer determines that any or all of the soil to be exported is compatible with beach sediments in accordance with the City's SCOUP permits.

- (6) Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).

Conditional approval of this Project includes the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

- (7) Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 65,000 square feet. The proposed project provides a total of 65,434 square feet of open space.

In addition, as designed, each of the proposed residential units has its own patio (first floor units) or balcony (for second floor units) that is directly accessed from the residence.

The proposed project includes passive usable open space areas. Additionally, the proposed project would include a small park area, along South Nardo Avenue.

The site currently has a recorded easement as part of the County of San Diego's approval of Special Use Permit No. P. 68-187 prior to the City's incorporation. The language of the recorded easement specifically allows for amendments to the original Special Use Permit (SUP) as well as additional activities authorized by the Grantee. By virtue of city incorporation, the City is now holds the recorded easement's Grantee interest. As such, the site is subject to the City's zoning regulations. Provided that

all the required findings for issuance of the City's Development Review Permit (DRP) can be made, it would constitute the Grantee's authorization and act as an amendment to the SUP or supersede the SUP in its entirety. .

- III. Portions of the property that is the subject of this application are subject to a Grant of Open Space Easement recorded July 6, 1970 in the Official Records of San Diego County for the benefit of the County of San Diego as Grantee. The City is now the Grantee as the successor in interest to the County upon incorporation.

The Open Space Easement provides that:

(i) no portion of the Open Space shall be graded, excavated or filled except in compliance with said Special Use Permit No. P 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof and (ii) no natural or artificial improvements shall be constructed, installed, erected, permitted or maintained (other than the natural and artificial improvements complying with said Special Use Permit No. 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof).

The City's requirements for a Development Review Permit and a Structure Development Permit are equivalent to the Special Use Permit approved by the County in 1970, and the City's approval of the Development Review Permit and the Structure Development Permit constitutes an amendment to Special Use Permit No. 68-187, allowing development and grading of the site as shown on the approved plans. The City as Grantee hereby authorizes the amendment of the Grant of Open Space Easement to permit grading, excavation, and fill and construction, installation, erection, permission, and maintenance of those natural and artificial improvements as shown on the approved plans for the Development Review Permit and the Structure Development Permit.

- IV. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.

All required permits and approvals required by the City, including the SDP, VTPM and Affordable Housing Plan, Fee Waiver, and Density Bonus with Waiver of Development Standards are being processed concurrently with the Development Review Permit.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development

Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of a building permit by the City.

- V. If the development project also requires a permit or approval to be issued by a State or federal agency, the City Council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of building permits. The FEIR that was certified for this project does not include mitigation measures that require permits or approval from other agencies. The Mitigation Monitoring and Reporting Program (MMRP) was adopted for this project as a part of certification of the FEIR. All applicant proposed project design features are included as conditions of project approval.

B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

1. The Applicant for the Structure Development Permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting View Assessment. Since 2014, the Applicant has changed the project design to address claims filed in 2015 by lowering the overall elevation/grade of the site. Additional modifications have been made to address 2018 view claims. The key changes include, but are not limited to, dropping building pads between 3 feet and 17.5 feet, moving the secondary driveway 114.5 feet east resulting in Buildings 5 and 10 to be moved westerly, lowering Building 12 ridgeline 6 additional feet to address 2018 claim, lowering Building 13 ridgeline additional 4.5 feet to address 2018 claim, and relocating units from Building 12 to accommodate the dropped roofline. These changes have been certified and included in the revised story pole plan.
2. There is no public property adjacent to the site, except right-of-way therefore, the proposed structures do not significantly impair a view from public property.
3. The proposed structures are designed and situated in such a manner as to minimize impairment of views. The Applicant has dropped building pads onsite by increasing the amount of soil to be excavated and exported off site. The proposed export of materials has lowered building pads between 3 feet and 17.5 feet. Additionally, reduced building heights from three stories to two stories has resulted in lowering of rooflines by as much as 19 feet from the original 2014 proposed project. The lowering of Building 13 from the October 2018 revised story-pole plan by an additional six (6) inches, combined with the project being conditioned to limit tree and other

landscape height, not to exceed the height of Building 12, will sufficiently minimize view impairment.

4. There is no significant cumulative view impairment caused by granting the application. There have been no new or proposed projects in the area that would contribute to cumulative view impairment impacts. As described in the staff report the Applicant has revised the project since 2014 to address all potential private view impairments.
5. The proposed structures are compatible with the immediate neighborhood character. The Applicant has designed the project with similar architectural features, materials, roof types and colors that can be found in the surrounding neighborhoods.

The Applicant will be required to show compliance with the approved maximum height and three-dimensional building envelope that was approved by the SDP at the time of submittal for a building permit and also prior to requesting a framing inspection.

C. In accordance with Chapter 16.24 (Minor Subdivision) of the Solana Beach Municipal Code, the City Council finds the following:

- I. That the proposed lot or parcel was not approved or recorded less than two years prior to the filing for approval of the subject vesting tentative parcel map.

The proposed lots within this vesting parcel map boundary have not been recorded within the last two years. The existing legal parcels created under Subdivision Map numbers 1757 and 6672 were recorded with the County Recorder's Office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively.

- II. That the proposed lot or parcel was a legally created lot or parcel.

The proposed tentative parcel map boundary consists of existing legal parcels created under Subdivision Map numbers 1757 and 6672 recorded with the county recorder office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively.

- III. That the proposed subdivision proposes creation of less than five (5) lots.

The proposed subdivision will only create a total of two parcels.

- IV. That the vesting tentative parcel map meets the requirement of this code.

The proposed Vesting Tentative Parcel Map meets all requirements of Chapter 16.24, as well as the State Subdivision Map Act as defined in section 66425.5.

- V. That the proposed lot or parcel was not part of an approved tentative parcel map wherein the parcel map requirement was previously waived.

The proposed tentative parcel map boundary consists of existing legal parcels created under Subdivision Map numbers 1757 and 6672 recorded with the County Recorder's Office of the County of San Diego on 6/27/1923 and 6/25/1970 respectively. The proposed parcels were not part of an approved parcel map where the parcel map requirement was previously waived.

- VI. That the proposed map is consistent with applicable general and specific plans and applicable provisions of SBMC Title 17.

The proposed Vesting Tentative map is consistent with applicable general and specific plans and applicable provisions in that the proposed each parcel meets the minimum lot size of 10,000 square feet, will have a minimum street frontage of 60 feet, and will have a minimum lot depth of 100 feet as required by the HR zone district.

- VII. That the site is physically suitable for the type of development.

The project site is physically suitable for the type of development in that the site is currently developed as a multi-family residential development and is proposing to be used as multi-family residential development project that is consistent with the permitted density of a maximum 20 dwelling units per acre.

- VIII. That the site is physically suitable for the proposed density of development.

The site is physically suitable for the proposed density of development as demonstrated in the site plan, grading plan, and all other supporting studies prepared for the Project Environmental Impact Report. The zoning and General Plan Land Use allow for a maximum density of up to 20 dwelling units per acre. When developed the project density will be 19.59 dwelling units per acre for Parcel 1 and 18.08 dwelling units per acre for Parcel 2 for a total density of 19.4 dwelling units per acre.

- IX. That the design of the subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The design of the subdivision and the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat as analyzed in the Project's EIR. The subdivision itself will not change or alter the site. However, the Project EIR identified two mitigation measures that would ensure impact to biological resources would be reduced to less than significant by, 1) requiring a Tree Protection Plan be submitted to the City's satisfaction, and 2) requiring a project biologist to conduct pre-construction survey in the proposed project impact area and a 500-foot buffer around the impact area no earlier than 7 days prior to any on-site grading and construction activities during the bird nesting/breeding season.

- X. That the design of the subdivision will not cause serious public health problems.

The design of the subdivision itself will not cause serious public health problems, and Project's EIR has identified 17 mitigation measures that would reduce potentially significant environmental impacts to a less than significant standard for development of the 260 unit multi-family residential project.

- XI. The design of the subdivision will not conflict with easements of record or easements established by court judgement, acquired by the public at large, for access through or use of property within the proposed subdivision and that alternate easements, for access or for use, will be provided and that these will be substantially equivalent to ones previously acquired by the public.

The design of the subdivision will not conflict with easements of record, nor any easements acquired by the public at large. Any public easements or easements acquired by the public at large, for access through or use of property, including necessary for public utilities, for the new development shall be provided and recorded as part of the final map.

D. In accordance with Section 16.17.020(H) (Vesting Tentative Maps) of the Solana Beach Municipal Code, the City Council finds the following:

- I. On the basis of the studies and reports submitted by the subdivider, all public facilities necessary to serve the subdivision or mitigate any impacts created by the subdivision will be available for the entire time that the vesting tentative map is valid plus any time during which the rights conferred by Section 16.17.030 exist.

E. In accordance with Chapter 17.70 (Affordable Housing) of the Solana Beach Municipal Code, the City Council finds the following:

- I. The Affordable Housing Plan is consistent with the requirements of Chapter 17.70 by providing 15.5 percent of units affordable to low income senior households. The developer has agreed to the limitation on rents in exchange for a density bonus and waivers of development standards pursuant to Government Code Section 65915.
 - II. State and federal fair housing laws require that senior housing be contained in a separate building, so that the affordable senior units cannot be geographically separated. Because senior households are almost entirely comprised of one or two persons, and primarily one person households, the City hereby approves fewer two-bedroom units in the senior housing than proposed for market-rate housing.
- F. In accordance with Section 17.70.045 (Fee Waiver) of the Solana Beach Municipal Code, the City Council finds the following:**
- I. The provision of the fee waiver is needed to provide for affordable housing needs identified in the housing element which otherwise would not be met, based on the memorandum dated November 29, 2018 from Keyser Marston Associates, which concluded that the proposed project demonstrates the need for financial assistance related to the provision of the 32 low income units, that the fee reduction would not provide a windfall profit to the developer, and that the fee reduction is warranted by the project's economic characteristics.
- G. In accordance with Section 17.20.050 of the Solana Beach Municipal Code, the City Council finds the following regarding the density bonus and waiver of development standards:**
- I. By providing 15.5 percent low income units, the project qualifies for a density bonus of 57 additional dwelling units. The developer has applied for a density bonus of 53 additional dwelling units, permitted by Government Code Section 65915(f).
 - II. The development standards being waived would physically preclude development of the project with the density bonus to which the project is entitled. Without the proposed waiver, pad elevations required to fulfill the design goals while minimizing view impairment would not be feasible. Driveways could not be constructed to facilitate vehicular or pedestrian access to building pads set at elevations that allow the project to be built to minimize view impairment. The intent of the walls is to allow the new buildings on the north side of the site to step down from South Nardo Avenue so that the buildings are no taller than or closer to the street than the existing development.
- H. In accordance with California Government Code Section 65863 (No Net Loss Findings), requiring cities to demonstrate that it has adequate**

capacity to accommodate its regional housing need, the City Council finds the following:

- I. The City's 2013 – 2017 Housing Element identified Solana Highlands as having a capacity for 260 total units, resulting in a net increase of 66 units, and that the 66 units could be constructed at a density suitable for lower income housing. The proposed project contains 260 total units, but results in a net increase of only 62 units and contains only 32 lower income units. Section 65863(b)(2) requires the City to demonstrate that the remaining sites identified in the Housing Element are adequate to accommodate the City's share of the regional housing need for lower income housing.
- II. The City's total lower income need for the 2013-2021 period was 150 units. The City has approved 10 lower income units on South Sierra Street (the Pearl). If 32 low-income units are approved in Solana Highlands, the City's remaining lower income RHNA will total 108 units.
- III. The Housing Element identified sites for up to 280 lower income units, significantly more than the 150 required. The four largest sites remaining (City Hall (14 units), 140 South Sierra Parking Lot (20 units), and North County Transit District Station (113 units)) together can accommodate 147 lower income units, well in excess of the 108 units required. Therefore, the City has more than adequate sites to accommodate the City's share of the regional housing need for lower income housing.

5. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Public Facilities Fees and Park Fees for the net increase of 62 units prior to building permit issuance, as established by SBMC Section 17.72.020 and Resolution 1987-36.
- II. The Applicant shall pay the required Public Art Fee for the net increase of 62 units prior to building permit issuance. If the proposed public art is approved by the Council and installed according to the approved plan, the Public Art Fee can be refunded at the building final inspection.
- III. The Mitigation Monitoring and Reporting Program (MMRP) prepared for the proposed project is hereby adopted and made a condition of approval of the proposed project.

- IV. Construction of the project shall be in a single-phase as evaluated by Alternative 7 in the EIR.
- V. The Applicant has agreed to hold quarterly pre-construction meetings with St. James Catholic Community from the time plans are submitted to the City for either a grading or building permit. Monthly meetings with St. James Catholic Community shall occur after issuance of either a grading or building permit by the City, until the project is complete.
- VI. Prior to issuance of any demolition or grading permit, the Applicant shall establish a "Complaint Response Program" (CRP) subject to the approval of the City Manager. As part of the construction CRP, the Applicant shall designate a "Construction Liaison" who will be responsible for notifying the City and responding to any local complaints about construction activities and institute reasonable measures, approved by the City Manager, to correct the problem within 48 hours after receiving a complaint. The CRP shall require that all property owners, residents and business owners within five hundred (500) feet of the construction site be provided contact information for the Construction Liaison to use to communicate complaints and/or concerns. The notification shall also describe the activities anticipated, provide dates and hours, and provide contact information with a description of a complaint and response procedure.
- VII. Building Permit plans must be in substantial conformance with the plans presented to the City Council on December 5, 2018 and December 17, 2018 and located in the project file dated October 2018.
- VIII. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the maximum building height of the structure does not exceed 149.5 above Mean Sea Level (MSL), measured at Story Pole #39 and 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 as measured from the lower of the existing or proposed grade, and is in conformance with the plans as approved by the City Council on December 17, 2018 and the certified story pole plot plan and certifying the maximum building height of all framing and structures do not exceed the heights referred to herein and in the Project plans.
- IX. BUILDING PAD ELEVATIONS.

The elevation (based on Mean Sea Level ("MSL") elevation) of the building pad for each building set forth on the Preliminary Grading Plan (Sheet G 2.1 dated 6/19/2018) (the "Grading Plan") which is part of the Plans submitted by the Applicant to the City dated June 27, 2018 and revised October 24, 2018 in connection with the application for the Development Review Permit and Structure Development Permit for this

Project (the "Initial Project Plans") shall not be increased above the MSL elevation set forth on the Grading Plan.

X. BUILDING HEIGHTS.

- a. Finished Building Heights. The maximum finished height of all buildings and structures of the Project shall not exceed the maximum finished heights set forth on the Initial Project Plans and the modification thereto for Building #12 (lowers the finished height), Building #13 (lowers the finished height), and Building #10 (expands the building envelope without increasing the finished height) submitted by the Applicant to the City and presented to the View Assessment Commission on October 16, 2018 and November 20, 2018 concerning the Structure Development Permit for the Project (the "Modifications to Project Plans") to address the applications for View Assessment filed for the Project. The maximum finished heights include but are not limited to installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning equipment) and related screening of each roof or roof section. The "Initial Project Plans" and "Modifications to Project Plans" are collectively referred to as the "Project Plans"
 - i. The Applicant shall reduce Building 13 maximum height by six (6) inches from the revised story pole plan elevation submitted October 2, 2018. The maximum building elevation for Building 13 shall be 134.9 MSL. The manner in which this height reduction is achieved shall be at the discretion of the Applicant.
- b. Confirmation of Building Heights Before Framing Inspection. Within sixteen (16) months after the City Council's approval of the Development Review Permit for this Project (as conditioned by the City Council), but no later than March 1, 2020, the Applicant shall prepare and submit to the City Manager a chart in the form and content acceptable to the City Manager which at a minimum sets forth the following information for each roof or roof section of each building or structure in the Project:
 - (i) The building number for each building as set forth on the Preliminary Grading Plan (or identify the structure if no number) and the height of those story poles and the height of the ridge(s) of each roof and roof section of each building or structure and the applicable story pole number for each roof ridge;
 - (ii) The maximum height based on Mean Sea Level (MSL) elevation of the completed framing for each ridge of each roof and roof section of each building or structure before installation of anything

on the rough framing, including installation of roofing materials or other materials or equipment; and

- (iii) The maximum finished height based on Mean Sea Level (MSL) elevation for each ridge of each roof and roof section of each building or structure after installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning mechanical equipment) and related screening of each roof and roof section.

The foregoing maximum heights shall be consistent with the maximum finished heights set forth in the Project Plans.

- c. Roof Slopes. The slopes of the roofs shall not be decreased or increased.

XI. ROOF DECKS.

- a. Second Floor Level and Third Floor Level Decks. There shall not be any deck on the roof of any building, including on the roof of a one-floor building, two-floor building, or three-floor building.

XII. EXTERIOR MATERIALS.

- a. Materials Approved. When constructing the buildings in the Project, the Applicant shall use exterior materials that are of the same type and design and have the same appearance, finish, and architectural design significance and are substantially the same or better quality as the exterior materials shown in the plans, illustrations, photographs, photo and electronic simulations, renderings, and other visual and graphic images submitted by the Applicant to the City Council to obtain approval of this Project. The Project, including the affordable senior housing units, shall be constructed with the same design type and same or better quality materials as shown on such visual and graphic images.
- b. Materials Sample Board. Within one (1) year after City Council's conditional approval of the Development Review Permit for this Project, The Applicant shall prepare and submit for approval by the City Manager a sample board of materials that provides samples of the exterior materials in compliance with the requirements set forth in subsection (a) above and identifies the manufacturer, model, and other product information for each exterior material for the Project.

- XIII. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption

as determined necessary by the CCC, prior to the issuance of a grading or building permit by the City.

- XIV. The Applicant will be required to provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to building permit issuance, which will be reviewed and inspected by the City's third-party landscape professional, subject to the requirements of Condition XXIII.
- XV. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into proposed landscaping to the extent feasible.
- XVI. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC Section 17.60.060.
- XVII. The Applicant shall notify and/or remind all tenants of the street sweeping days on Nardo Avenue.
- XVIII. PARKING.

- a. Addition of Parking Spaces on Lot B. The Applicant has proposed a total of five hundred twenty-five (525) total parking spaces for the Project allocated as follows: 488 spaces for Lot A; and 37 spaces for Lot B. The Applicant has subsequently agreed to add six (6) additional parking spaces on Lot B for a total of 43 spaces on Lot B. The six (6) additional spaces shall be added at the north side of the proposed parking area for Lot B. The six (6) additional parking spaces shall be designated as "visitor" parking.
- b. Quantity of Parking Spaces for the Project. All references to "parking spaces" mean parking for cars and trucks, not motorcycles. The Applicant has proposed a total of 525 parking spaces for the Project. With the six (6) additional visitor parking spaces for Lot B as provided in Subsection (a) above, the Project and Project Plans shall provide a total of five hundred thirty-one (531) parking spaces (a cumulative total for tenants and visitors) for the Project (includes Lot A [market rate apartments] and Lot B [affordable senior apartments]). All parking spaces shall be in compliance with the City's Off-Street Parking Manual.

The zoning applicable to the Project based on the type of apartments (e.g., amount of bedrooms in each apartment) and quantity of apartments in the Project requires a total of 494 parking spaces (this is the total for both tenants and visitors, and includes ADA parking spaces). The Project shall provide a total of 531 parking spaces. Thus, in order for the Applicant to provide 531 parking spaces, the

Project and Project Plans shall provide the 494 parking spaces required by zoning plus an additional 37 extra parking spaces.

The 531 parking spaces are allocated as follows:

- (i) 488 Lot A; and
- (ii) 43 Lot B.

- 1) **LOT A.** There shall be a total of four hundred eighty-eight (488) parking spaces on Lot A, and these parking spaces shall be allocated as follows:

There will be a maximum of 343 reserved parking spaces available for tenants, at least 88 unreserved parking spaces available for tenants, and 57 visitor parking spaces. Thus, the 488 parking spaces are allocated as follows:

343 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

88 minimum unreserved parking spaces for tenants

57 visitor parking spaces (228 apartments = 57 visitor spaces)

=488 total parking spaces on Lot A

- 2) **LOT B.** There shall be a total of forty-three (43) parking spaces on Lot B, and these parking spaces shall be allocated as follows:

There will be a maximum of 37 reserved parking spaces available for tenants, no unreserved parking spaces for tenants, and 6 visitor parking spaces. Thus, the 43 parking spaces are allocated as follows:

37 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)

0 minimum reserved parking spaces for tenants

6 visitor parking spaces

=43 total parking spaces on Lot B

- c. Reserved Parking Spaces for Tenants. The Applicant shall assign reserved parking spaces for tenants of the Project as provided herein. However, the Applicant shall not reserve for or assign to any tenant more reserved parking spaces than as follows: 1 parking space for a studio apartment; 1 parking space for a one bedroom apartment; and 2 parking spaces for a two bedroom apartment. The Applicant shall not reserve any "visitor" parking spaces on the Project.

The Applicant shall prepare a written parking plan (the "**Parking Plan**") and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the Parking Plan to the City Manager on or before March 1, 2020 for approval thereafter by the City Council.

With regard to the parking spaces on Lot A, the Applicant shall assign one (1) garage parking space to each apartment (to the extent there are sufficient quantity of garages, noting there are more apartments than garages) for the exclusive use of that apartment so that all garage parking spaces on Lot A are assigned to specific apartments. After assigning all garage parking spaces to specific apartments, then the Applicant shall assign one (1) covered carport parking space to each apartment that does not have a garage parking space assigned to the apartment (to the extent there are sufficient quantity of carport parking spaces, noting that there are more apartments than garages and carport parking spaces combined). After all garage parking spaces and carport parking spaces have been assigned to apartments, then the Applicant shall assign one (1) uncovered parking space to each of the remaining apartments that do not have a garage or carport parking space assigned to that apartment. In addition, if an apartment is a two-bedroom apartment, then the second reserved parking space assigned to a two bedroom apartment will be an uncovered parking space.

The garages that are located in the building where the apartment is located will be assigned first to the apartments located in that same building and then to the apartments located closest thereto. The same principal will be used to assign reserved carport parking spaces and reserved uncovered parking spaces.

The apartment and the garage and/or covered carport parking space and/or uncovered parking space(s) assigned to each specific apartment for the exclusive reserved use of the tenant of that

apartment shall constitute a single premises for the purpose of the rental of that apartment.

Tenants who have apartments with assigned reserved parking space(s) (either garage, carport, and/or uncovered parking space) shall be required by their lease to park in their assigned reserved parking spaces and not in the unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and/or towing for violations.

For the purpose of example and not for limitation, if the tenant of a two bedroom apartment consists of two occupants with two vehicles and the tenant's apartment has a reserved garage parking space and a reserved uncovered parking space assigned to the tenant's two bedroom apartment, then the tenant shall park in the garage and reserved uncovered parking space and shall not park in an unreserved parking space. However, if there are three occupants of the two bedroom apartment and the assigned garage and reserved uncovered parking spaces are being used by two of the occupants, then the third occupant will park in an unreserved uncovered parking space.

The purpose of the requirements herein are to have each garage and covered carport parking space assigned to a specific apartment to ensure that all garages and covered carport parking spaces in the Project will be used for parking before the unreserved tenant parking spaces are used, thereby making available to tenants of the Project as many unreserved uncovered parking spaces as possible for the shared use of all tenants of the Project. With parking spaces available in the Project, tenants are discouraged from parking off site in the neighborhood surrounding the Project.

- 1) Request by the Applicant for Conversion of Unreserved Parking Spaces to become Reserved Parking Spaces on Lot A. The existing development on the Property that will be demolished to construct the Project does not have sufficient parking spaces for the tenants and visitors of the Property. Consequently, many tenants and visitors to the Property park on the streets in the neighborhood near the Property. This has caused a shortage of parking in the neighborhood and other negative impacts.

The Applicant has represented to the residents of the neighborhood and area near the Property and the City Council that the 531 parking spaces to be provided by the Project will provide a sufficient quantity of parking spaces for tenants and

visitors of the Project so that they can park on the Property, not on the streets of the surrounding neighborhood. However, if the Applicant wants to increase the amount of uncovered reserved parking spaces on Lot A by converting some of the “unreserved” uncovered parking spaces to become “reserved” uncovered parking spaces (Applicant shall not increase the amount of reserved parking spaces on Lot B), then the Applicant may request approval from the City Council to convert up to thirty-one (31) of the eighty-eight (88) total unreserved uncovered parking spaces to become reserved uncovered parking spaces.

In addition to the foregoing, the opportunity for the Applicant to request modification of the Parking Plan as provided herein shall include the opportunity for the Applicant to request modification of the allocation of reserved and unreserved parking spaces for tenants of the Project and consideration of other issues concerning the management of tenant and visitor parking for the Project in order to achieve the goal of preventing tenants and visitors of the Project from parking on South Nardo Avenue and on the streets in the surrounding neighborhoods.

In connection with the Applicant's request, the Applicant shall submit a proposed modified Parking Plan which identifies and changes such unreserved uncovered parking spaces to become reserved uncovered parking spaces (the “**Modified Parking Plan**”) to the City Council for approval. The Modified Parking Plan shall be accompanied by documentary analysis, data, and information which establish and demonstrate that the the Applicant's proposed Modified Parking Plan will not cause, encourage, or otherwise result in tenants or visitors of the Project parking on the streets in the neighborhood adjacent to the Project and will eliminate and prevent on-street parking by tenants and visitors. The goal and actual effect of any Modified Parking Plan shall be to have all tenants and visitors of the Project park in the Project, not on nearby streets, and eliminate or prevent their on-street parking and the reasons or incentives for tenants and visitors to park on the streets. The Modified Parking Plan shall demonstrate that it will achieve this goal and produce the actual desired result and thereafter it shall actually achieve this goal.

If the Applicant elects to request an increase in the amount of reserved uncovered parking spaces by converting unreserved uncovered parking spaces as provided herein, then the Applicant shall submit the Modified Parking Plan and supporting analysis and documents required herein to the City Manager on or before

March 1, 2020 for consideration and approval thereafter by the City Council.

- d. **Unreserved Parking Spaces for Tenants.** All unreserved parking spaces shall remain open for parking by all tenants of the Project who do not have a reserved parking space for their use as provided herein. The leases for tenants shall provide that tenants shall use their reserved parking spaces first before using any unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- e. **Visitor Parking Spaces.** The visitor parking spaces shall be marked with signage as "visitor parking." The size, design, and location of signage for visitor parking shall be in compliance with the City's Off-Street Parking Manual and approved by City Manager. The visitor parking spaces shall be distributed evenly throughout the Project as approved by City Manager. The Applicant shall not reserve any "visitor" parking spaces on the Project.
- f. **Tenants Shall Not Park in Visitor Parking Spaces.** Tenants shall not be permitted to park in visitor parking spaces. The leases for tenants of the Project shall provide that tenants shall not park in parking spaces with signage stating the space is "visitor" parking. Notwithstanding the foregoing, tenants may park in visitor parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- g. **No Charge for Parking.** There shall not be any charge or fee to park in the Project, whether for any tenant of the Project (reserved or unreserved parking spaces) or their respective invitees, guests, and visitors. There shall not be any charge or fee for any parking spaces for tenants (reserved or unreserved), whether the parking spaces are provided as required by zoning or not, any parking spaces for visitors, and for any parking spaces constructed in the Project that exceed the total amount of spaces required by zoning.

The foregoing prohibition against the Applicant charging for any parking spaces in the Project shall not apply to the Applicant charging a higher rent for each apartment that includes exclusive reserved use of a specific identified garage and/or covered carport parking space assigned to that specific apartment for the exclusive use of that apartment. However, in order to permit this exemption

from the prohibition against charging for parking spaces, each garage and uncovered carport parking space in the Project shall be assigned to a specifically identified apartment for the exclusive use of that apartment, with one garage or covered carport parking space assigned to each apartment as provided in Subsection (c) above. The garage parking spaces and covered carport parking spaces shall be assigned to the extent of the quantity of garages and covered carport parking spaces in the Project (i.e., there are more apartments than garages and carport parking spaces).

- h. Access to Parking. There shall not be any gate, barrier, or other restriction to access any driveway/vehicle access to the Project.
 - i. No Assignment to Third Party. No parking spaces in the Project shall be assigned, sold, conveyed, transferred to any third party owner or otherwise reserved for any tenant beyond the amount of parking spaces allocated to the tenant's type of apartment as provided herein.
 - j. Garages Shall be Used for Parking. All leases and rental agreements for tenants or occupants of the Project shall provide that garages and covered parking spaces in carports shall be used for vehicle parking and incidental storage of personal property. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties for violations.
 - k. All garages shall be pre-wired for electric vehicle charging as identified in exhibit provided to City Council on December 17, 2018
 - l. A minimum of 15 electric vehicle (EV) charging stations shall be installed consistent with the exhibit provided by City Council on December 17, 2018. Tenants shall not be permitted to park in EV parking spaces unless used for charging purposes. The leases for tenants of the Project shall provide that tenants shall not park in EV parking spaces with signage stating the space is "EV" parking. Notwithstanding the foregoing, tenants may park in EV parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.
- XIX. Fifty-seven (57) guest parking spaces shall be marked as permanent guest spaces and may not be assigned or reserved for any tenant, occupant or employee.

XX. A Parking Management Plan, as approved by the City Council, shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.

XXI. ACCESS TO THE PROJECT.

There shall not be more than three (3) driveway/vehicle entrances to the Project. No gate, barrier, or other restriction to access shall be installed or maintained at any driveway/vehicle entrance or exit to the Project.

The following two driveway entrance/exits shall provide for "right turn only" signage and barriers as approved by the Fire Department to prevent left turn exits. Thus, all exiting vehicles from these two driveways will travel toward Stevens Avenue and/or to the south:

a. Westerly Entrance/Exit on South Nardo Avenue.

b. Easterly Entrance/Exit on Stevens Avenue for Building #25 (Affordable Senior Apartments).

XXII. Residents of the Senior Affordable building (Building 25) and their guests shall receive guest access privileges to the pool and recreation area upon their request subject to the standard rules and regulations

XXIII. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.

XXIV. If nesting sensitive birds are detected at any time during the breeding season, the California Department of Fish and Wildlife shall be notified and an appropriate disturbance set-back will be determined and imposed until the young-of-the-year are no longer reliant upon the nest. The set-back or buffer shall be no less than 100 feet. CDFW shall be notified in nesting sensitive birds are detected at the project site or in the immediate surrounding area during the breeding season. An appropriate set-back or buffer shall be determined by the qualified project biologist.

XXV. The proposed preliminary Landscape Concept Plan includes the use of indigenous and/or drought-tolerant plant material, where feasible. No invasive or potentially invasive species would be used. The City Council shall review and approve the applicant's Landscape Concept Plan and confirm inclusion of drought-tolerant plant material, subject to the provisions of Condition XXIII.

XXVI. LANDSCAPE PLAN.

The Applicant has submitted to the City Council a Preliminary Conceptual Landscape Plan (Sheet L-0.1) (the "Preliminary Conceptual Landscape Plan") which is part of the Project Plans for consideration by the City Council concerning the Development Review Permit for the Project. Subject to approval of the Preliminary Conceptual Landscape Plan by the City Council, the Applicant shall submit a Final Conceptual Landscape Plan to the City on or about March 1, 2019 so that the Final Conceptual Landscape Plan may be considered for approval by the City Council at a regularly scheduled City Council thereafter. Within sixteen (16) months after the City Council approves the Final Conceptual Landscape Plan (but no later than March 1, 2020), the Applicant shall submit a Final Landscape Plan to the City Council for consideration and approval. The City shall not issue any permits for demolition, grading, or construction of the Project until the City Council approves the Final Landscape Plan.

The City Council's approval of the Preliminary Conceptual Landscape Plan is made on the condition that Applicant will work to modify and improve the plan to address the concerns of residents and the City Council and submit a Final Conceptual Landscape Plan for consideration and approval by the City Council as provided herein. The City Council's subsequent consideration of the Final Conceptual Landscape Plan will allow the Applicant the opportunity to refine and modify the Preliminary Conceptual Landscape Plan to address concerns of residents and the City Council. The Preliminary Conceptual Landscape Plan and the Final Conceptual Landscape Plan shall be collectively referred to as the "Landscape Plan."

The Landscape Plan shall comply with the following requirements:

- a. Mix. The mix of trees shall be at least 70% or more evergreen and no more than 30% deciduous.
- b. Quantity. At a minimum, the quantity of trees and other vegetation shown on the Landscape Plan shall be maintained. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.
- c. Quality. Trees and other vegetation shall be the same or better architectural significance and design value (as these terms are customarily used by landscape design professionals from time to time during the life of this Project) and quality as shown on the Landscape Plan.
- d. Requirement to Maintain Landscape Trees and Vegetation. The Applicant shall maintain the landscape buffer areas with trees and vegetation that have a level of architectural significance and design

value and quality that is substantially the same or better than as shown on the Landscape Plan. Such trees and other vegetation shall not be removed unless concurrently replaced.

- e. Removal and Replacement. Trees and other vegetation shall not be removed without concurrently replacing same. When replacing trees and other vegetation, the Applicant shall maintain the same or better level of architectural significance, design value and quality shown on the Landscape Plan. Also, when replacing trees, the Applicant shall replace with equal or larger size of the trees as indicated in the Landscape Plan.
- f. Final Landscape Plan. Subject to approval of the "Preliminary Conceptual Landscape Plan" and the "Final Conceptual Landscape Plan" by the City Council, the Applicant shall submit the "Final Landscape Plan" for consideration and approval by the City Council. Selection of the species of trees (including the height of trees at maturity) and placement of the trees throughout the Project, including in all landscape buffer areas, for the Final Landscape Plan shall consider and mitigate potential for blocking views of residences located on South Nardo Avenue that filed view claims concerning this Project.
 - (i) Landscaping and tree heights shall be specifically addressed as part of the Final Landscape Plan and shall demonstrate that, at maturity, trees and landscape shall not exceed the height of Building 12 within the view corridor between Buildings 2 and 3, Buildings 11 and 12 and Buildings 13, 14 and 17.

XXVII. LANDSCAPE BUFFER AREAS.

- a. Landscape Buffer Areas. The "landscape buffer area" means the area between the facades of the buildings in the Project that are located along the boundary line of the Property and the adjacent boundary line of the Property or the edge of the sidewalk at a public street that is closest to the building facades, whichever is closer to the building facades. Where there is a parking area along the perimeter of the Project, the Landscape buffer area is the area between the boundary line of the Property or the edge of the sidewalk at a public street that is closest to the parking area and the edge of the paved parking area. However, at various locations along the perimeter of the Project on the south and west sides of the Project there is no sidewalk, and the landscape buffer areas consists of the area between the building facades (or edge of the paved parking area) and the boundary line of the Property.

There is a landscape buffer area around the entire perimeter of the Project, except at the three locations where a driveway crosses the landscape buffer area. The landscape buffer areas are provided by the placement of the buildings and structures set back from the property boundary lines as depicted on the Project Plans, including the Site Plan (Sheet O-1.1) and Preliminary Conceptual Landscape Plan (Sheet L-0.1) that are part of the Project Plans.

The landscape buffer areas are shown on the Project Plans, including the Site Plan and Preliminary Grading Plan therein. The landscape buffer area shall be increased as described herein and specifically depicted and identified on the Site Plan (Sheet O-1.1) and the Landscape Plan that are part of the Project Plans.

The landscape buffer areas shall be planted with trees and other vegetation as provided herein to screen the Project from the public streets, adjoining properties, and other properties in the area of the Project. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.

- b. Modify Landscape Buffer Areas. The minimum width of the landscape buffer areas between Building #25 and the parking area located east of Building #25 and the property to the south, and at Building #6 shall be expanded as follows:
 - (i) Building #25 - a minimum twenty-five (25) feet wide;
 - (ii) Parking area east of Building #25 – twenty (20) feet wide;
 - (iii) Remove hardscape improvements in Landscape Buffer area on north side of Building #6.
- c. Requirement to Maintain Minimum Size of Landscape Buffer Areas. The dimensions (i.e., distance east to west, and north to south) and useable area of the landscape buffer areas as set forth herein shall be maintained and shall not be reduced. No portion of any landscape buffer area shall be converted to patios, decks, walkways, driveways, or other non-landscape uses, except as provided in subsection (d) below entitled “Exceptions to Landscape Buffer Area.”
- d. Exceptions to Landscape Buffer Area. Except as expressly permitted herein, no patios, decks, walkways, seating, or other hardscape improvements, or other non-landscape uses are permitted in any of the landscape buffer areas referenced herein:

- (i) Two Driveways Along South Nardo Avenue and One Driveway on Stevens Avenue. There shall not be more than three (3) driveways/vehicle entrances to the Project. There are two driveways that provide access to the Project along South Nardo Avenue and one driveway on Stevens Avenue that serves Building #25; and
 - (ii) Walkways in the Landscape Buffer Areas Next to and Along the Building Facades. Allow one walkway in the landscape buffer areas next to the building facades. These walkways are shown on the Preliminary Grading Plan. These walkways provide access to the apartments in these residential apartment buildings. These walkways shall not be wider than four (4) feet, including any built-in benches, seating, planters, or other improvements associated with or concerning the walkway.
- e. Pocket Park on South Nardo Avenue. There shall be an open space park area located along and contiguous with South Nardo Avenue between Building #2 and Building #4 as identified on the Preliminary Grading Plan. The minimum dimensions of the area of the park are fifty-three (53) lineal feet measured generally from north to south (approximately perpendicular to South Nardo Avenue) and ninety-five (95) lineal feet measured generally from east to west. This open space area will be used as a park for residents and visitors of the Project. The entire area of this park area will be landscaped with grass and other vegetation as set forth on the Landscape Plan that provide at least ninety percent (90%) coverage of the area. There shall not be any hardscaped area or other improvements constructed or installed within this park area, except the area for installation of a small patio and barbeque, not to exceed a total of two hundred (200) square feet, at the location(s) shown on the Project Plans.

XXVIII. PERIMETER FENCE.

No fence or wall shall be installed along or within the landscape buffer areas that are contiguous with the property boundary line of the Project that is contiguous with South Nardo Avenue (i.e., the north side and east side of the Project) and Stevens Avenue (i.e., the east side of the Project). The Applicant shall install a fence along the southerly side of the Project (contiguous with the Turfwood Project) of a height, material, and design that is described in the design concept set forth below.

The design concept for this fence is as follows: six (6) foot tall black anodized aluminum metal fence consisting of approximately 1" square tube spaced pickets, double rail, with pressed spear tops, and capped 4" square posts every 8 to 10 feet. This fence will look like traditional

wrought iron fencing and will be consistent with the existing metal fence located along Turfwood Lane.

XXIX. RESIDENTIAL APARTMENT BUILDING.

Long Term Rentals. Applicant has applied to the City to construct residential rental apartments that will be offered for rent on a long term basis. Therefore, the residential apartments shall be rented on a month-to-month or longer term basis and shall not be rented for a term that is less than thirty days. The apartments shall not be rented for short term vacation rentals that have a term less than thirty days. In addition, no tenant or occupant of any residential apartment shall assign or sublease the apartment for a term of less than thirty days or allow short term vacation rental uses. This restriction on assignment and subletting shall be included in all leases and rental agreements for the apartments.

XXX. All "Useable Open Space" shall be accessible to residents of the Project. Plans shall be modified to demonstrate access to the "Useable Open Space" between Buildings 16, 20 and 23, referred to as the Bio-Retention Basin. There shall be at least two (2) points of access to the Bio-Retention Basin.

XXXI. The Applicant shall make every reasonable commercial effort to preserve the acacia bush/tree near the southwest portion of the site, south of Building 15, during development of the project. If the acacia bush/tree is to be removed, the replacement landscaping shall be of equal or larger size landscaping that will maintain the same or better level of screening, architectural significance, design value, and quality shown on the Landscape Plan.

XXXII. Per Solana Beach Municipal Code (SBMC) Section 17.20.040(J), the proposed project is required to meet a minimum of 250 square feet per unit of usable open space. Therefore, 260 units would require a minimum of 65,000 square feet of usable open space. As shown in Draft EIR Figure 2-6, the project would provide 65,065 square feet of usable open space (250 square feet per unit). The City shall review final project site plans to confirm the incorporation of required useable open space.

XXXIII. In addition to the measures that are part of Title 24, the project would include the following energy-efficiency measures in its design:

- (1) Electric vehicle charging stations for residents and guests
- (2) Photovoltaic panels
- (3) Low water use appliances, in-home fixtures, and irrigation

- (4) Low VOC (volatile organic compound) paints
- (5) Community recycling program
- (6) Energy Star appliances
- (7) Energy-efficient LED lighting, appliance, and heating, ventilation, and air conditioning (HVAC) design
- (8) Pool with solar heating
- (9) Building insulation elements installed under the inspection of the Home Energy Rating System (HERS) rating agency
- (10) Drought-tolerant landscaping
- (11) Possible reclaimed water use for irrigation
- (12) Walking paths and bicycle lockers to promote more sustainable lifestyles for residents, employees, and guests. The applicant shall incorporate the identified and approved energy-efficiency measures into project design.

XXXIV. Construction shall only occur between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday, and between the hours of 8:00 a.m. and 7:00 p.m. on Saturday. Construction activities shall not occur on Sunday or holidays. Demolition and rough grading activities shall not occur on Saturdays.

XXXV. All of the conditions of this project are continuing conditions. Failure of the Applicant to comply with any or all of said conditions at any time may result in the revocation of the permits granted for the development and use of the property.

XXXVI. The City may elect to acquire beach grade material from the project, up to a maximum of 150,000 cubic yards per the City's SCoup regulatory permits, at a market-rate value as determined by estimates of the price of comparable material, from a local supplier as delivered to Fletcher Cove, and at a maximum cost based on funding availability in the Beach Sand Mitigation Fund held in trust for the City by SANDAG. The Applicant shall be responsible for transporting the material to the beach.

XXXVII. Any project plan sheets that were not updated from the original submittal shall be corrected to be consistent with the site plan reviewed and approved by City Council. Revised plans shall be submitted to the Community Development Department to the Director's satisfaction prior to plan check submittal.

XXXVIII. Prior to the issuance of building permits, the project Applicant shall demonstrate to the City Manager that the project has an agreement in place to purchase 100 percent green power (electricity) from the City's Community Choice Aggregation (CCA) program, Solana Energy Alliance (SEA) "SEA Green" product, or, if this program is not in place, any successor CCA program or the San Diego Gas & Electric EcoChoice program. All house meter electricity accounts and all future residential tenant agreements for the proposed project shall encourage that all tenants opt in to either the City's SEA Green program (100 percent renewable power) or, if this program is not in place, any equivalent SEA successor program, or the San Diego Gas & Electric EcoChoice program. If the EcoChoice program is the only option, proof of enrollment in the EcoChoice program shall be provided to the City prior to obtaining building permits.

XXXIX. At least ten (10) working days prior to demolition or removal of existing on-site structures, the project Applicant shall submit an Asbestos Removal, Renovation, and Demolition Operations Notice of Intentions to the County of San Diego Air Pollution Control District. The Notice of Intentions must include:

- (1) The name and company of the person completing the notification form.
- (2) The type of notice (i.e., whether the notice is an original notification, a revision to an existing notification, including the type of revision, or a cancellation of an existing notification).
- (3) Type of operation (i.e., whether the operation(s) is a renovation, demolition, emergency renovation, emergency demolition, or planned renovation).
- (4) The facility name, address, building number, suite number, room number, city, state, and zip code.
- (5) The facility owner's name, address, city, state, zip code, contact person and title, and phone number.
- (6) The removal contractor's name, address, city, state, zip code, contractor's license number, contact person and title, and phone number.
- (7) The demolition contractor's name, address, city, state, zip code, contractor's license number, contact person and title, and phone number.

- (8) A description of the facility, including the number of floors, the number of dwelling units, age of the facility, and the past and present use of the facility.
- (9) Scheduled start and completion dates of renovation operations and/or of demolition operations.
- (10) The work practices, equipment, and engineering controls to be used in demolition operations.
- (11) Description of procedures to be followed in the event that unexpected regulated asbestos-containing material (RACM) is found or any Category I Nonfriable asbestos-containing material (ACM) or Category II Nonfriable ACM becomes crumbled, pulverized, broken into smaller pieces, or reduced to powder.
- (12) The name, address, city, state, zip code, contact person and title, and phone number of the waste transporter for all demolition debris containing no asbestos.
- (13) A certification that at least one person trained in accordance with San Diego Air Pollution Control District Regulation XII, District Rule No. 1206 Subsection (f)(8) will supervise the stripping and removal described by this notification.
- (14) Information about the individual conducting the facility survey including: name, company, title, mailing address and phone number, and the certification number for the Environmental Protection Agency (EPA) approved Building Inspector Course passed by the individual.
- (15) The condition of each ACM identified by the facility survey to be removed, stripped, or disturbed, or a statement that no ACM to be disturbed by renovation or demolition operations has been identified at the facility.
- (16) The procedure(s), including analytical methods, used to detect the presence of RACM, Category I Nonfriable ACM, and Category II Nonfriable ACM.
- (17) For all ACM to be removed, stripped, or disturbed, the categorization of each material containing more than one percent asbestos as friable ACM, Category I Nonfriable ACM, or Category II Nonfriable ACM.
- (18) A description of the facility components containing ACM to be removed, stripped, or disturbed.

- (19) An estimate for the total amount of ACM to be removed, stripped, or disturbed from the facility including the surface area in square feet of other facility components, or volume in cubic feet if square footage cannot be established in the course of renovation or demolition operations regulated by this rule.
- (20) The specific work practices, equipment, and engineering controls that will be used to remove each ACM.
- (21) The name, address, city, state, zip code, contact person and title, and phone number of the waste transporter for all ACWM.
- (22) The name, address, city, state, zip code, and phone number of the waste disposal site for all ACWM.
- (23) In addition, a copy of the Asbestos Survey must be maintained on site for the duration of the project.

B. Affordable Housing Conditions

- I. The Affordable Housing Agreement shall be executed and recorded against the entire property prior to the recordation of any parcel map or final subdivision map or issuance of building permits for the project, whichever occurs first.
- II. The affordable housing agreement and other required agreements shall be prepared by the City at the Applicant's expense.
- III. As proposed by the Applicant, and to comply with the provisions of the City's Affordable Housing Ordinance (SBMC Chapter 17.70) and density bonus law (Government Code Section 65915 and SBMC Section 17.20.050), the project shall provide 32 Affordable Senior Units that are affordable to lower income households (as defined in Section 50079.5 of the Health & Safety Code) at affordable rent (as defined in Section 50053 of the Health & Safety Code) for a 55-year period.
- IV. Construction of Affordable Senior Units. The Affordable Senior Units shall be constructed concurrently with construction of the Market Rate Units. To ensure concurrent construction, the City shall not issue a building permit for the 115th Market Rate Unit until it has issued a building permit for the 32nd Affordable Senior Unit, and the City shall not issue a certificate of occupancy or approve a final inspection for the 115th Market Rate Unit until it has issued a certificate of occupancy or approved a final inspection for the 32nd Affordable Senior Unit.
- V. Senior Housing Characteristics. The design of the Affordable Senior Units shall include all of the elements required by Civil Code Section

51.2(d) or successor provision. The Affordable Senior Units shall be inspected by the City prior to occupancy to determine that they meet the construction and other standards required by this Agreement and by State law.

- VI. Appearance. The design, appearance, and general quality of the Affordable Senior Units shall be compatible with those of the Market Rate Units and consistent with the designs of the Market Rate Units.
- VII. Amenities for Affordable Senior Units. The Applicant shall provide a furnished common indoor meeting space of at least one thousand (1,000) square feet for residents of the Affordable Senior Units and landscaped outdoor open space and recreation space of at least eight thousand (8,000) square feet adjacent to the Affordable Senior Units, as shown in the plans included in the City Approvals. Tenants of the Affordable Senior Units shall have access to the meeting space and outdoor space at no additional cost.
- VIII. Fee Waiver. The City hereby grants a fee waiver in a total amount of \$500,000. Prior to issuance of any grading, demolition, building, or other construction permit for the project, the City shall specify which fees shall be waived.
- IX. Indemnity for Fee Waiver. The City has granted a fee waiver in the amount of \$500,000 under the Affordable Housing Ordinance with the intention that any financial assistance provided by the City through the fee waiver or by other means meets the exception set forth in Labor Code Sections 1720(c)(3) (a public subsidy that is de minimis in the context of the project) and Section 1720(c)(1) (private residential projects) to the general requirement that state prevailing wages be paid in connection with construction work that is paid for in whole or in part out of public funds. However, to the extent other funding sources or a future court or the Department of Industrial Relations determination require the payment of prevailing wages on the Project under the Labor Code, then Owner shall comply with the prevailing wage requirements attached to these conditions (Contingent Prevailing Wage Requirements). Owner shall indemnify, hold harmless and defend (with counsel reasonably selected by the City), to the extent not prohibited by applicable law, the City, its councilmembers, commissioners, officials, employees and agents, against any claim for damages, compensation, fines, penalties or other amounts arising out of the failure or alleged failure of any person or entity (including the Owner, or its contractors or subcontractors) to pay prevailing wages as determined pursuant to Labor Code Sections 1720 et seq., to hire apprentices in accordance with Labor Code Sections 1777.5 et seq., or to comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5

et seq., 1810-1815 and the implementing regulations of the DIR in connection with the work performed in connection with the project. *[See Contingent Prevailing Wage Requirements below.]*

X. CONTINGENT PREVAILING WAGE REQUIREMENTS

To the extent other funding sources or a future court or the Department of Industrial Relations (the "DIR") determination require the payment of prevailing wages on the Project under the Labor Code, the following shall apply:

- (1) In accordance with Labor Code Sections 1725.5 and 1771.1, the Owner shall and shall cause its contractors and subcontractors to pay prevailing wages in the construction of the Project as those wages are determined pursuant to Labor Code Sections 1720 et seq. and the implementing regulations of the Department of Industrial Relations (the "DIR"), to employ apprentices as required by Labor Code Sections 1777.5 et seq., and the implementing regulations of the DIR and comply with the other applicable provisions of Labor Code Sections 1720 et seq., 1777.5 et seq., and implementing regulations of the DIR.
- (2) All calls for bids, bidding materials and the construction contract documents for the Project must specify that:
 - (a) No contractor or subcontractor may be listed on a bid proposal nor be awarded a contract for the Project unless registered with the DIR pursuant to Labor Code Section 1725.5.
 - (b) The Project is subject to compliance monitoring and enforcement by the DIR.
- (3) The Owner, as the agent of the "awarding body", shall register the Project as required by Labor Code Section 1773.3 as set forth in the DIR's online form PWC-100 "Form PWC-100) within two (2) days after entering into the construction contract and shall continue to update Form PWC-100 within two (2) days after new information becomes available that must be reported on Form PWC-100 (for example, new subcontractor hired).]
- (4) In accordance with Labor Code Sections 1725.5 and 1771.1, the Owner shall require that its contractors and subcontractors be registered with the DIR, and maintain such registration as required by the DIR.
- (5) Pursuant to Labor Code Section 1771.4, the Project is subject to compliance monitoring and enforcement by the DIR. The Owner

shall and shall require its contractor and subcontractors to submit payroll and other records electronically to the DIR pursuant to Labor Code Sections 1771.4 and 1776 et seq., or in such other format as required by the DIR.

- (6) The Owner shall and shall cause its contractors and subcontractors to keep and retain such records as are necessary to determine if prevailing wages have been paid as required pursuant to Labor Code Sections 1720 et seq., and that apprentices have been employed as required by Labor Code Section 1777.5 et seq., and shall, within ten (10) days of request by the City, provide to the City such records and other documentation reasonably requested by the City.
- (7) The Owner shall and shall cause its respective contractors and subcontractors to comply with all other applicable provisions of Labor Code, including without limitation, Labor Code Sections 1720 et seq., 1725.5, 1771, 1771.1, 1771.4, 1776, 1777.5 et seq., 1810-1815 and implementing regulations of the DIR in connection with construction of the Project or any other work undertaken or in connection with the Property.

Copies of the currently applicable current per diem prevailing wages are available from the DIR website, www.dir.ca.gov. The Owner shall cause its respective contractors to post the applicable prevailing rates of per diem wages at the Project site and to post job site notices, in compliance with Title 8 California Code of Regulations 16451(d) or as otherwise as required by the DIR.

C. Fire Department Conditions

The following are conditions of approval and are based on the Alternate Materials and Methods Request (AMMR) approved and dated March 26, 2018:

- I. **ACCESS ROAD MINIMUM DIMENSIONS:** Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than **two** single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. The hose pull shall be measured by an approved route around the exterior of each building.

- III. The Civil Engineer on record to verify that fire access turn-around, width and grade shall comply with the California Fire Code, local amendments and the ability for Solana Beach fire apparatus to maneuver for emergency responses.
- IV. The minimum unobstructed inside turning radius shall be 28'.
- V. **DEAD ENDS:** All dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. A cul-de-sac shall be provided in residential areas where the access roadway serves more than four (4) structures. The minimum unobstructed paved radius width for a cul-de-sac shall be 36 feet in residential areas with no parking.
- VI. **GRADE:** The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent).
 - (1) The Civil Engineer on record to verify that fire access turn-around, width and grade shall comply with the California Fire Code, local amendments and the ability for Solana Beach fire apparatus to maneuver for emergency responses.
- VII. **FIRE HYDRANTS AND FIRE FLOWS:** The applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets.
 - (1) Fire Flow shall be provided per CFC Appendix B. A maximum reduction in fire flow of is 50 percent with an approved fire sprinkler system.
 - (2) Fire hydrants shall be provided per CFC Appendix C (number, spacing, and type).
- VIII. **GATES:** All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department.

An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.

- IX. **RESPONSE MAPS:** Any new development, which necessitates updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates and shall be charged a reasonable fee for updating all response maps.
- X. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site all of the following conditions shall be completed to the satisfaction of the Fire Department:
- (1) All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency;
 - (2) As a minimum the first lift of asphalt paving shall be in place to provide a permanent all weather surface for emergency vehicles; and
 - (3) Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- XI. **POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”:** Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.
- XII. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- XIII. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4” high with a ½” inch stroke width for residential buildings, 8” high with a ½” stroke for commercial and multi-family residential buildings, 12” high with a 1” stroke for industrial buildings. Additional numbers shall be required where

deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

(1) Directories shall provide to identify buildings/addresses.

XIV. **AUTOMATIC FIRE SPRINKLER SYSTEM:** Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department.

(1) NFPA 13 fire sprinkler systems proposed as a mitigation measure shall not be used for area increase or height increase per the approved Alternate Materials & Methods Mitigation.

XV. **CLASS "A" ROOF:** All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

XVI. **WET STANDPIPE SYSTEM:** A Class I or Class III combined wet standpipe system is required. Standpipe system shall be designed and installed per NFPA 14 and Solana Beach Fire Department requirements.

(1) Proposed Class I combined wet standpipe shall be in locations approved by the Fire Department.

XVII. **FIRE ALARM SYSTEM:** A California State Fire Marshal listed fire alarm system is required and shall be designed and installed per NFPA 72, California Fire Code and Solana Beach Fire Department requirements.

XVIII. **SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels):** Solar Photovoltaic systems shall be installed per the California Fire Code and Solana Beach Fire Department requirements.

XIX. **FIRE-RESISTANCE CONSTRUCTION:** Building #16, Building #20 and Building #23 shall be separated by a **firewall** as defined by the California Building Code to create a separate building.

D. Engineering Department Conditions:

I. GRADING

Obtain a grading permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. If approved by City Council, grading of the project site may be phased pursuant to the phasing as proposed in the development of the project. Conditions prior to the issuance of a grading permit shall include, but not be limited to the following:

(1) The grading plan shall be prepared by a registered engineer and approved by the City Engineer. On-site grading design and

construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.

- (2) A soils report shall be prepared by a registered soil engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- (3) The Structural setback zone, shown on the exhibit included in the "Updated Slope Stability Analysis, Solana Highlands, Solana Beach, California, by Geocon, Inc., dated August 16, 2018, Revised August 28, 2018" should be incorporated into the grading plan. No habitable structures allowed in this zone.
- (4) All drainage should be directed away from the top of the existing and proposed cut slopes between the proposed development and existing properties.
- (5) All recommendations of the Hydrology Report (such as on site detention basins), prepared by Pasco Laret Suiter & Associates, shall be incorporated into the Grading Plan and approved by the City Engineer.
- (6) A storm water detention easement or maintenance agreement shall be recorded for maintenance of the detention basin by the property owner in perpetuity, prior to the occupancy of the first building on this project.
- (7) All retaining walls and drainage structures shall be shown on the grading plans. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code or as shown on approved exhibits as part of this discretionary action.
- (8) The applicant is responsible to protect the adjacent properties during construction. If any grading or other types of construction are anticipated beyond the property lines, the applicant shall obtain a written permission from the adjoining property owners for incidental grading or construction that may occur and submit the letter to the City Engineer prior to the anticipated work.

- (9) Pay grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- (10) Obtain and submit grading security in a form prescribed by the City Engineer.
- (11) Obtain haul permit for import / export of soil. The applicant shall transport all excavated material to a legal disposal site.
- (12) Submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and installed in accordance with the approved plans. This shall be accomplished by the Engineer of record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soil Engineer certifying the as-built conditions.
- (13) An Erosion Control Plan shall be prepared. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- (14) Show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- (15) The Applicant shall submit a storm water management plan to demonstrate to the satisfaction of the City Engineer that the project does not increase storm water runoff or peak discharge from the existing condition, and that the requirements of SBMC 13.10 Storm Water Management and the RWQCB Final Order R9-2013-0001 are met.
- (16) No increased cross lot drainage shall be allowed.
- (17) Submit certification from a registered civil engineer and soil engineering that all public or private drainage facilities and finished

grades are functioning and installed in accordance with the approved plans. This shall be accomplished by engineer of record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the engineer of record and soil engineer certifying the as-built conditions.

- (18) All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved waste management plan shall be submitted.
- (19) The applicant shall enter into an Encroachment, Removal, and Liability Agreement for any proposed private work in the Public right of way; including but not limited to grading, landscaping, installation of irrigation system, etc.
- (20) Slopes adjacent to site boundaries shall be set back in accordance with SBMC 15.40.140.

II. PUBLIC IMPROVEMENTS/TRAFFIC CALMING PLAN

The following engineering conditions (1 thru 13 under Public Improvements) are required to improve the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program in satisfaction of the Traffic Impact Fee (TIF) requirement. The Applicant shall construct and install the improvements set forth on the Off-Site Improvement Plan dated December 3, 2018 (the "Off-Site Improvement Plan") submitted by the Applicant to the City concerning the Development Review Permit for the Project. The Applicant shall obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer as follows:

- (1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These Enhancements may include but not be limited to:
 - (a) Modification of the traffic signal timing at the intersection of Valley Avenue and Stevens Avenue to provide for a more efficient egress at the Turfwood Lane access. The proposed signal timing enhancement may include construction of additional loop detectors on northbound Valley Avenue and associated communication and control equipment in the cabinet at a cost not to exceed \$50,000.
 - (b) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane,

one outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install "Keep Clear" legend on Valley Avenue at Turfwood driveway.

- (c) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.
 - (d) Installation of a "Solar Powered Electronic Speed Sign" on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.
- (2) Applicant shall modify the Traffic signal at Nardo Avenue and Stevens Avenue to install a signal indicator for traffic calming purposes to emphasize a safe right turn on red from eastbound Nardo to southbound Stevens Avenue at a cost not to exceed \$50,000.
 - (3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.
 - (4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require elimination of on-street parking along South Nardo on both sides of the street.
 - (5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered pedestrian crossing flashing sign with corresponding signage.
 - (6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.

- (7) On South Nardo Avenue between East Solana Circle and Nardito Lane install a speed table (a long, flat speed bump), a thermoplastic continental crosswalk for pedestrian crossing and a solar powered pedestrian flashing sign with corresponding signage and striping.
- (8) On South Nardo between Fresca Street and Nardito Lane, evaluate additional speed hump with the City Engineer, and install if safety standards can be achieved.
- (9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.
- (10) Construct all sewer lateral connections to the City sewer main consistent with City Standards.
- (11) Construct all proposed driveway entrances to the project on South Nardo Avenue and Valley Avenue consistent with City Standards.
- (12) Construct all storm drain connections to the City curb or storm drain system consistent with City Standards.
- (13) The existing sewer main serving this property, proposed to be replaced, shall be abandoned in the public right-of-way by plugging the street manhole connection and plugging the pipe at the right-of-way line. The sewer connection(s) for 821 Stevens Avenue shall be capped at the main.
- (14) Connect to the existing recycled waterline on Stevens Avenue. The applicant shall coordinate with Santa Fe Irrigation District, San Elijo Joint Powers Authority and County Health Department for this extension project. All irrigation system including the ones in the public right of way shall be provided by recycled water.
- (15) The Applicant shall continue to work with City Staff to develop the Traffic Calming Plan referenced herein. Upon completion, the Traffic Calming Plan shall be subject to future consideration and approval by the City Council.

III. SEWER FEES

The Applicant shall pay in full, at occupancy, unless waived by the City as part of the approved fee waiver, the one-time sewer capacity/connection fees of \$4,500.00 per Equivalent Dwelling Unit (EDU). The EDU assignment is per SBMC 14.08.060.

- (1) Pay in full, at occupancy the prorated portion of the current annual sewer charge for the remainder of the fiscal year. For FY 2018/19 the annual fee is \$665.67 per EDU. This condition shall be phased based on the prorated number of units in each phase
- (2) The applicant shall be entitled to credit all existing Sewer Capacity in use by the project and is required to pay fees only on net additional Equivalent Dwelling Units (EDU's) as proposed by this project.

IV. VESTING TENTATIVE PARCEL MAP

- (1) A Parcel Map shall be prepared and recorded in accordance with Chapter 16.32 of SBMC Prior to obtaining a building permit or grading permit.
- (2) Provide a Subdivision Map Guarantee within ten days before recording the Vesting Parcel Map.
- (3) Pay Parcel Map plan check fee in accordance with the current Engineering Fee Schedule.
- (4) The applicant shall comply with Section 66436 of the Government Code by furnishing to the City Engineer a certification from each public utility and each public entity owning easements within the proposed subdivision stating that: (a) they have received from the developer a copy of the proposed Parcel Map; (b) they object or do not object to the filing of the Parcel Map without their signature; (c) in the case of a street dedication affected by their existing easement, they will sign a "subordination certificate" or "joint use certificate" on the map when required by the governing body.
- (5) Existing lot lines as shown on Vesting Tentative Parcel Map (VTPM) shall be consistent with the DRP plans for the Project. If approved by the City Council, the Applicant shall prepare and record, to the satisfaction of the City Engineer, a Vesting Parcel Map or compatible document prior to issuance of the first building permit.
- (6) All easements, private and public utility easements, including but not limited to SDG&E, water, sewer, and storm drain shall be properly abandoned and when needed exchanged to the satisfaction of the City Engineer prior to the issuance of the first building permit.
- (7) According to sheet G.1.1 of the DRP exhibit, there is an access easements providing legal access to adjacent properties.

Appropriate arrangements are be made to replace the access easement to the existing legal parcels.

- (8) Concurrently with the recordation of the Parcel Map, an amendment to that Grant of Open Space Easement recorded July 6, 1970 as Document No. 118110 in the Official Records of San Diego County shall be recorded in a form approved by the City Attorney consistent with the approved plans for the project.
- (9) Prior to the recordation of the Parcel Map, or issuance of any building permit, whichever occurs first, the Affordable Housing Agreement shall be executed and recorded against the entire property.
- (10) Prior to recordation of the Parcel Map a resolution summarily vacating the existing public sewer easement shall be recorded.

V. CONDITIONS PRIOR TO OCCUPANCY SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- (1) Underground all new utility services, including but not limited to electrical and telephone.
 - (2) Complete to the satisfaction of the City Engineer all grading, paving, public improvements, landscaping, and drainage improvements. With the approval of this application, the City Manager is authorized to allow interim occupancy for a portion of the project subject to acceptance of all required public and private improvements for the said portion of development and assurance for construction of the remainder of improvements to the satisfaction of the City Engineer.
 - (3) The Applicant shall pay all Development Impact Fees levied at the time of project approval. Development Impact Fees shall be based on the net increase of 62 units, unless otherwise provided.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings. The conditions of approval for the project shall remain in place until such time they may be amended or superseded by subsequent City Council action.
7. EXPIRATION: The vesting tentative map shall expire 24 months after the date of Coastal Commission approval and may be extended as provided by State law or Section 16.12.110, whichever provides the longest extension. All other approvals granted by this resolution shall expire 60 months after the date of Coastal Commission approval and may be extended as provided by Section 17.72.110.

8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and the Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.

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9. NOTICE TO APPLICANT: Developer is hereby notified, as required by Government Code Section 66020, that the approved plans and the conditions of approval and ordinances governing fees and exactions in effect at the time the project is approved constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90 day period has begun in which developer may protest any dedications, reservations, fees or other exactions imposed by the City. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Failure to file a protest in compliance with all of the requirements of Government Code Section 66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

PASSED AND ADOPTED at a special meeting of the City Council of the City of Solana Beach, California, held on the 17th day of December 2018, by the following vote:

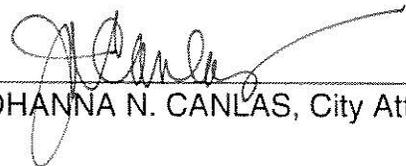
AYES: Councilmembers – Zito, Edson, Hegenauer, Heebner
NOES: Councilmembers – None
ABSENT: Councilmembers – Zahn
ABSTAIN: Councilmembers – None



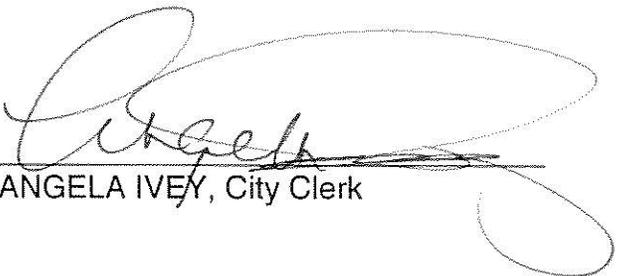
DAVID A. ZITO, Mayor

APPROVED AS TO FORM:

ATTEST:



JOHANNA N. CANLAS, City Attorney



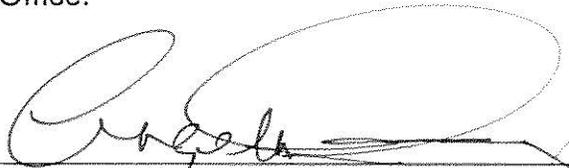
ANGELA IVEY, City Clerk



RESOLUTION CERTIFICATION

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, ANGELA IVEY, City Clerk of the City of Solana Beach, California, DO HEREBY CERTIFY that the foregoing is a full, true and correct copy of **Resolution 2018-132** approving a *Development Review Permit, Structure Development Permit, Vesting Tentative Parcel Map, Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver for the Solana Highlands Residential Community and Affordable Senior Housing Project at 661-781 South Nardo Dr. and 821 Stevens Ave., Case No.: 17-14-29, Applicant: HG. Fenton* as duly passed and adopted at a Special Solana Beach City Council meeting held on the 17th day of December, 2018. The original is on file in the City Clerk's Office.


ANGELA IVEY, CITY CLERK

CERTIFICATION DATE: January 10, 2019

STAFF REPORT ATTACHMENT 2

APPLICANT'S SUPPORTING INFORMATION FOR PROJECT MODIFICATIONS:

- ✓ **Building 13 Modification**
- ✓ **Building 19 (Clubhouse) Modification**
- ✓ **Building 24 Modification**
- ✓ **Parking Management Plan**
- ✓ **Offsite Traffic Calming Plan**
- ✓ **Final Landscape Plan**

Building 13 Redesign

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

Request: Amend condition X.a.i. requiring the reduction of Building 13 maximum height by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum building elevation for building 13 to 134.9 MSL. The manner in which the height reduction is to be achieved was left to the discretion of the Applicant (Fenton). Fenton requests the condition be revised to: (1) limit the maximum building height of the easterly approximately 49 feet of Building 13 from 134.9' MSL to 130.5' MSL, a reduction of in height of an additional 4 feet, 6 inches, to be accomplished by eliminating one story for the building in this section and returning the flat roof approved in the original DRP to a sloped roof; (2) restoring the maximum height for the balance of the building to 139.9' MSL as originally demonstrated by the story poles installed and certified on or about June 18, 2018, and changing the flat roof depicted on the original DRP to a roof sloped at a 3:12 ratio, consistent with the rest of the project.

History: Story poles for Building 13 were originally installed and certified on June 14, 2018, at a height of 139.9' MSL during the SDP notification and review period that ran from June 19 through July 20, 2018. Following the receipt of claims for view assessment the ridgeline was reduced by 4.5' to a height of 135.4' and a new ridgeline flag was set at that elevation, and the SDP was amended accordingly. The View Assessment Commission considered the revised proposed height of 135.4' at VAC meeting on October 16, 2018, and recommended approval. The claimant requested further consideration of the claim by the City Council, which conditioned the project's approval on reducing the height of Building 13 to 134.9 MSL as Condition X.a.i. which further stated, "The manner in which this height reduction is achieved shall be at the discretion of the Applicant."

This proposed amendment to the massing of Building 13 addresses the portion of the building of most concern to claimant John Wilson who filed View Assessment Applications in conjunction with the SDP review period in June 2018. The westerly three-quarters of the building are within a viewshed that is largely blocked by an existing building and will be blocked in the future by proposed Buildings 2 and 12. Allowing the westerly portion of the building that is/will be blocked from claimant's view to return to a pitched roof architecture that is more aesthetically pleasing and more compatible with the remainder of the proposed development.

The attached letter dated December 6, 2020 from John Wilson supports this request. Any and all other potential claimants would have had the ability to assess the impact as part of the extensive 2018 View Assessment Commission process which depicted the entire building at 139.9' AMSL. Since none of the revised building exceeds the height of the originally erected and certified story poles, and the claimant who expressed concern about Building 13 has indicated consent to the redesign, no additional story pole erections should be required to modify the SDP pursuant to this request.

Fenton is proud to have developed this design alternative which surpasses the council's request to minimize the view impact on the claimant, while allowing Building 13 to return to the superior architectural articulation of the sloped roof.

JOHN WILSON
654 South Nardo Avenue
Solana Beach, California 92075



December 6, 2020

Mr. Joseph Lim
Director of Community Development
City of Solana Beach
635 South Highway 101
Solana Beach, California 92075

Re: Solana Highlands Apartments (Case No. 17-14-29) -- Consent to modification of the height of proposed building #13 and waiver of story poles.

Dear Mr. Lim:

I own the property located at 654 South Nardo Avenue, Solana Beach. In July 2018, I submitted an Application for View Assessment concerning the blockage of my view by the proposed new buildings at the Solana Highlands Apartments. I filed my Application for View Assessment based on the story poles that had been installed and certified as accurate on June 18, 2018 for H.G. Fenton's application to City to obtain entitlements for the project (the "Original Design"). As part of my view claim, I objected to the height of proposed Building #13. At the View Assessment Commission meeting, in response to view considerations, H.G. Fenton agreed that the roof for Building #13 will be changed to a flat roof and the height of the roof of Building #13 will be lowered from 139.9' MSL to 135.4' MSL, resulting in a reduction of the height of the roof by 4 ft. 6 inches. My view assessment claim, requesting additional height reduction to Building #13, was denied by the View Assessment Commission. I appealed the determination made by the View Assessment Commission to the City Council.

On December 17, 2018 the City Council approved the redevelopment plan for Solana Highlands Apartments under Resolution 2018-132. The Council's approval includes "Condition of Approval X.a.i.," which requires a further reduction of the maximum height for Building #13 by 0.5 ft. (6 inches) from 135.4' MSL to 134.9' MSL. The Condition of Approval states "The manner in which this height reduction is achieved shall be at the discretion of the Applicant."

H.G. Fenton now proposes to make two changes to the height of Building #13:

1. Lower the maximum height of the roof for the easterly approximately 49 feet of Building #13 from 134.9' MSL to 130.5' MSL. This is a reduction in height of approximately 4 ft. 6 inches

from the maximum height of the roof that was approved by the City Council (i.e., instead of the 6 inch reduction in height that was set forth in the Condition of Approval required by the City Council Resolution). This reduction in the height of the easterly approximately 49 feet of Building #13 is accomplished by eliminating the "common area room" which is proposed to be located on the bottom floor at the southeast corner of the proposed Building #13 and relocating the one bedroom apartment and the access stairway from the top floor of the southeast corner of the proposed Building #13 to the location where the "common area room" on the bottom floor is eliminated. Also, the form/shape of this easterly 49 feet of the roof will be changed from a flat roof to a sloped roof with a slope of "3 in 12." This is the slope that was shown in H.G. Fenton's Original Design submitted to the City for the project. The new sloped roof form/shape will result in a roof on the east end of Building #13 that is a height of 124.77 MSL; and

2. Change the roof form/shape of the roof for the remaining westerly portion of the roof for Building #13 (i.e., the portion of the roof that was not reduced in height as provided in section 1 above) from a flat roof to a sloped roof with a slope of "3 in 12." This is the slope for the roof that was shown in H.G. Fenton's Original Design submitted to the City for Building #13. This modification will increase and restore the maximum height of the westerly portion of the roofs for Building #13 to the elevations depicted in H.G. Fenton's Original Design submitted to the City for the project and demonstrated by the story poles installed and certified on June 18, 2018 for a maximum roof height of 139.9' MSL (instead of the 135.4' MSL). The proposed modified design includes roofs of varying heights below this maximum roof height.

The proposed modified design is depicted on revised architectural elevations set forth on page F1-2.1 (consisting of 1 page) and architectural perspective views on page F1-3.1 (consisting of 1 page) of architectural plans which are attached.

On November 18, 2020 H.G. Fenton installed story poles (including string lines) to demonstrate the modifications of the roof form/shape and finished heights of the roofs for Building #13 described above. The story poles were installed to represent the top of the proposed roofs for Building #13 (for approximately the easterly 100 feet of the roof top) at the maximum roof height of 134.9' MSL as approved by the City Council. In addition, based on the modifications to Building #13 as proposed in this letter, the additional story poles were installed to demonstrate the proposed form/shape of the roofs and the lower height of the easterly 49 feet of the roof top at a maximum of 130.5' MSL and the proposed increased height of a portion of the remaining westerly part of the roof top at a maximum of 139.9' MSL. The story poles also demonstrate the varying heights of the roofs of Building #13, including that the east end of the roof will be a maximum height of 124.77 MSL. The accuracy of the story poles is confirmed by the Story Pole Height Certification executed by Joseph C. Yuhas, a licensed land surveyor dated November 17, 2020 and the attached Story Pole Worksheet dated November 9, 2020 which includes 2 pages of drawings attached as a part thereof (collectively the "Story Pole Certification") (consisting of a total of 4 pages). The Story Pole Certification is attached. H.G. Fenton has represented that the Story Pole Certification has been submitted to the City.

Mr. Joe Lim
City of Solana Beach
December 6, 2020
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Based on my review and evaluation of the above referenced story poles, the above referenced proposed modifications will result in less view obstruction and improve the quality of my view because the height of the roof for the easterly portion of Building #13 interfered with my best quality view. The westerly portion of the roof of Building #13 does not obstruct as much of my view.

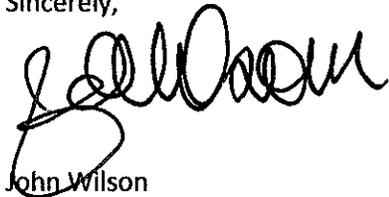
Also, these modifications will restore the shape of the roof for the entire building from a flat roof to a more attractive sloped roof design consistent with the remainder of the proposed Solana Highlands Apartment project.

Based on my review and evaluation of the above referenced story poles and in reliance on the accuracy of the story poles installed on November 18, 2020 story poles and the Story Pole Certification, and inconsideration of H.G. Fenton agreeing to remove two trees that have long blocked my view, I have agreed to provide this letter to the City.

I support the above described modifications of Building #13 that H.G. Fenton has proposed. I understand that if the City determines that story poles will not be required for the proposed modifications to Building #13 as described above, then the modifications will not be reviewed or evaluated by the View Assessment Commission. Based on my support for the modifications to Building #13 and the conditions described in this letter, I waive my right to object to the modifications described in this letter, including any right to file an Application for View Assessment or oppose the proposed modifications by objecting to the City Council.

Please contact me if you have any questions regarding this matter. This is a mutually accepted solution with H.G. Fenton to address my view claims concerning the proposed project.

Sincerely,



John Wilson

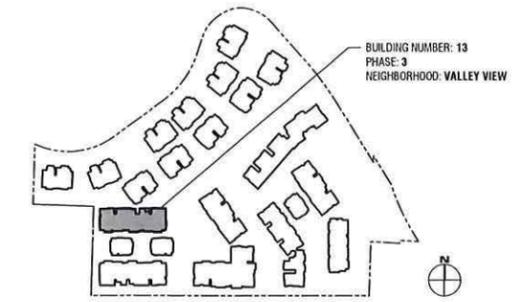
Attachments:

- (1) Page F1-2.1 of architectural elevations of Building #13 (1 page);
- (2) Page F1-3.1 of architectural perspective views of Building #13 (1 page); and
- (3) Story Pole Height Certification (4 pages).

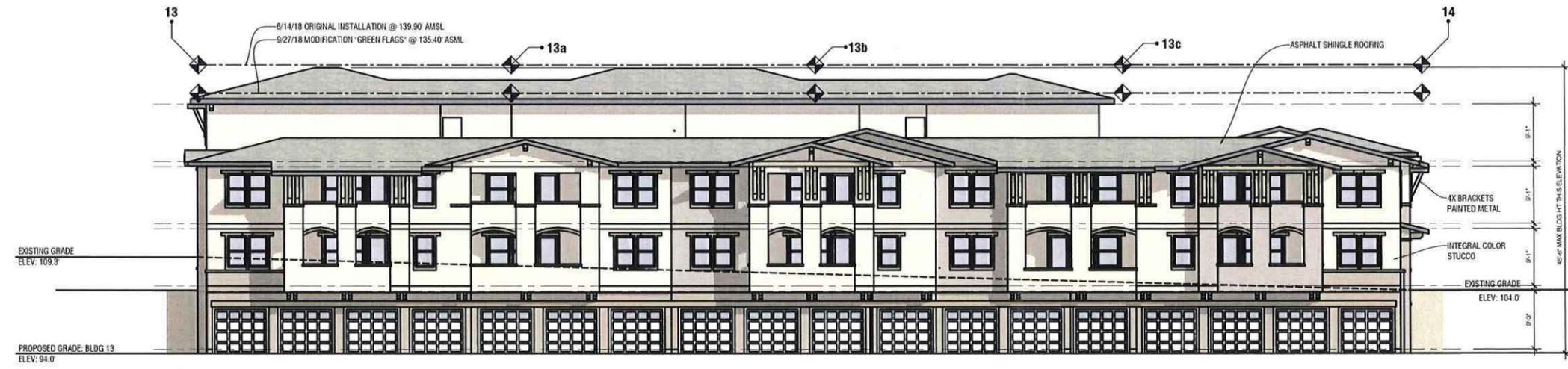
c: Mr. John LaRaia, H.G. Fenton



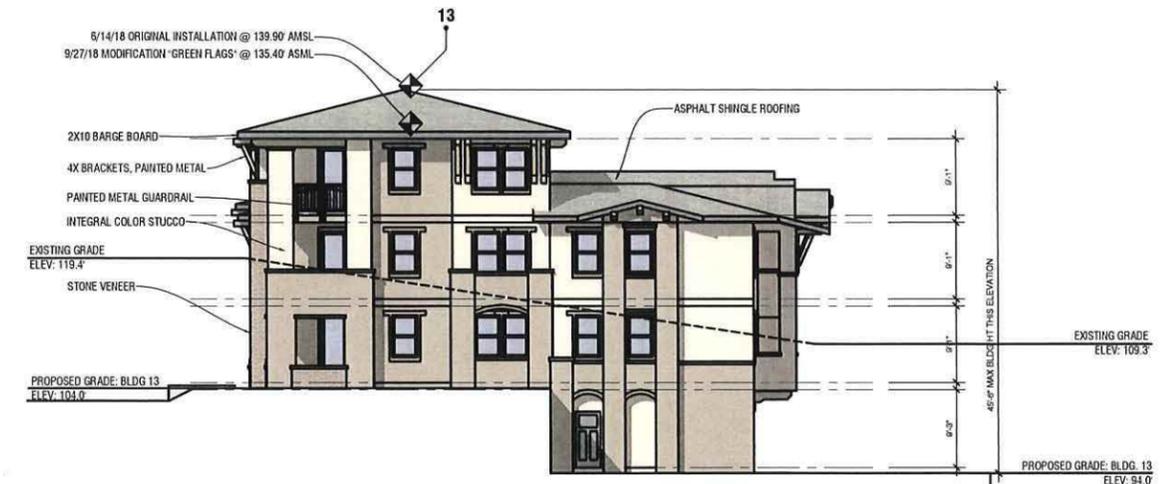
1 FRONT ELEVATION
1/8" = 1'-0"



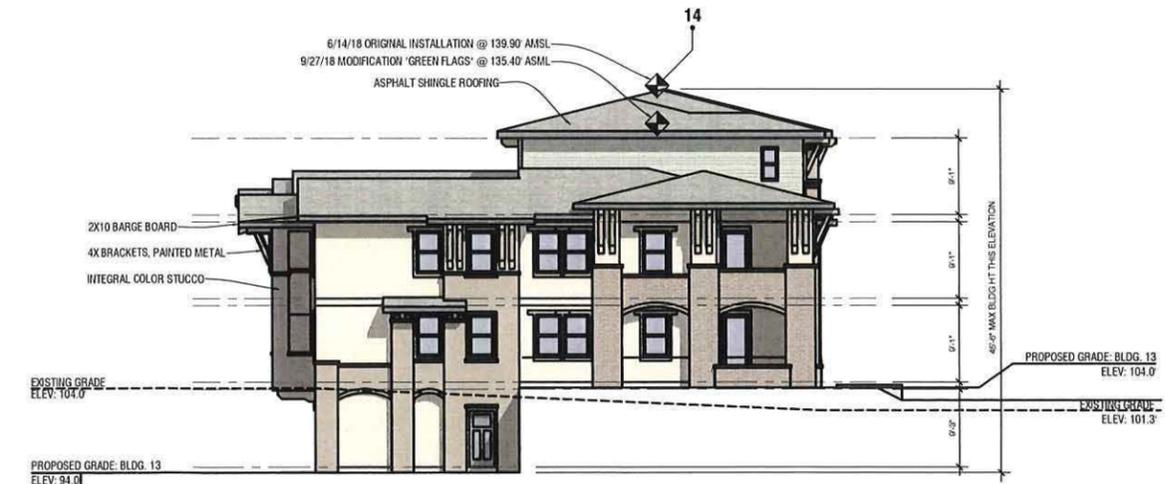
KEY PLAN
1" = 200'-0"



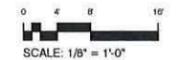
2 REAR ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



4 LEFT ELEVATION
1/8" = 1'-0"





1 PERSPECTIVE VIEW
N.T.S.



2 PERSPECTIVE VIEW
N.T.S.



STEPHEN DALTON ARCHITECTS

www.SDArchitects.net

444 S. CEDROS AVE, STUDIO 190
SOLANA BEACH, CA 92075



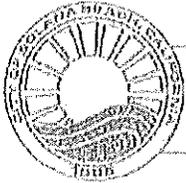
TRUST, SERVICE AND TRADITION SINCE 1906

REVITALIZING SOLANA HIGHLANDS

PERSPECTIVE VIEWS - BUILDING 13 - TYPE F1

JUNE 27, 2018
9/27/2018 - REV 01
1/31/2019 - REV 02

F1-3.1



CITY OF SOLANA BEACH

699 SOUTH HIGHWAY 101 • SOLANA BEACH, CALIFORNIA 92075-2210 • (951) 720-2400
www.ci.solana-beach.ca.us FAX (951) 792-6513 / (951) 792-1782

STORY POLE HEIGHT CERTIFICATION

Date: 11-17-20

Assessor's Parcel No.: 298-260-33

Site Address: 701 S. NARDO

Owner's Name: FENTON, SOLANA HIGHLANDS

This is to certify that on 11-17-20 the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

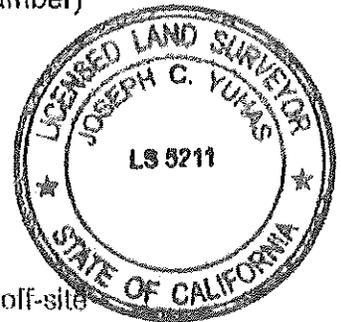
	TALLEST POLE	
Highest point of the story poles:	⑤ 139.5 130.5 ②	(M.S.L.)*
Natural grade elevation:	<u>116.3 101.1</u>	(M.S.L.)*
Finished grade elevation:	<u>104.0 104.0</u>	(M.S.L.)*
Finished floor elevation:	<u>104.7 104.7</u>	(M.S.L.)*
TOTAL MAXIMUM HEIGHT:	<u>35.5 29.4</u>	

➔ **PLEASE NOTE:** The story poles must show and the total height must include roofing materials. At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on this Story Pole Height Certification.

For additional information, please contact me at: 858-259-8212 (ph. number)

Joseph C. Yumas
Licensed Land Surveyor

Seal of Registration:



* Mean Sea Level – all measurements must utilize a benchmark established off-site that will not change over the course of the project

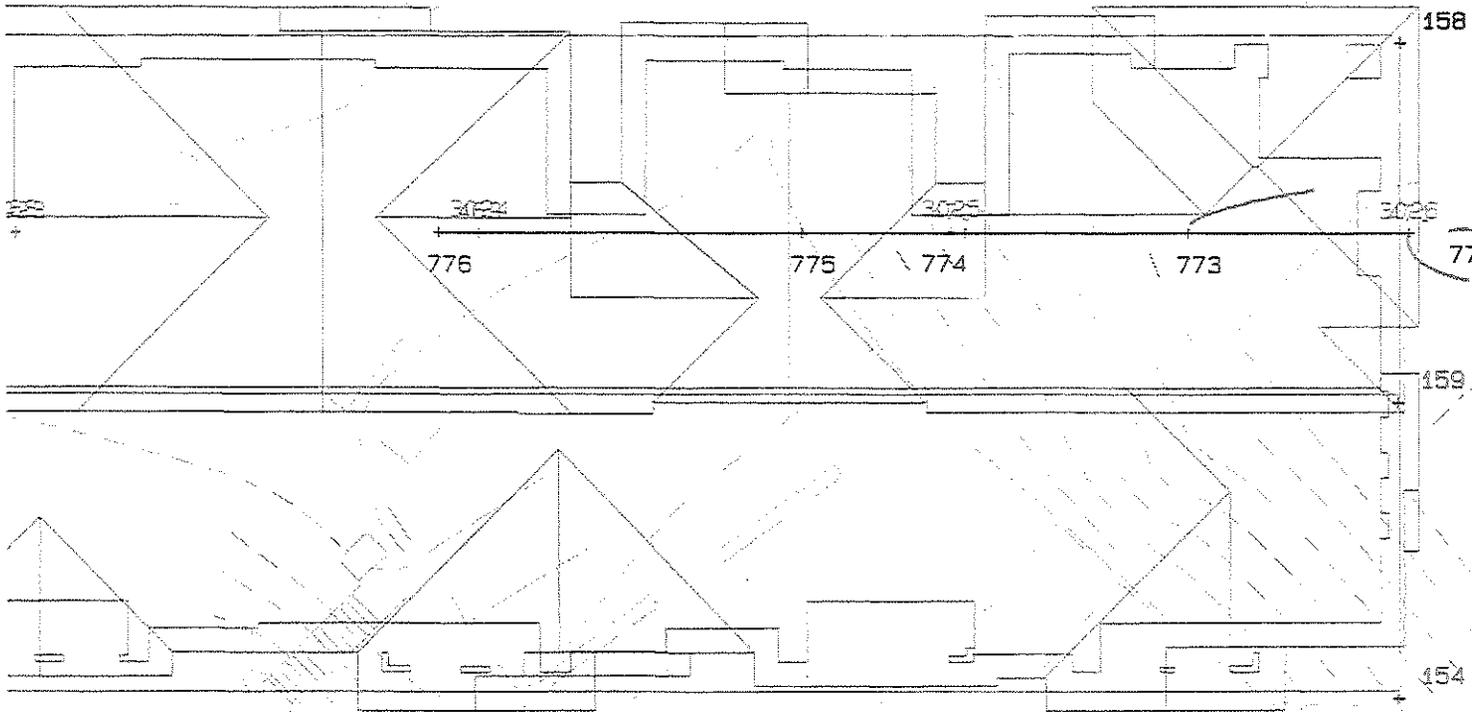
2-09-06

#1782

BLDG 13



135.3



107'

782

84'

772

776

775

774

773

158

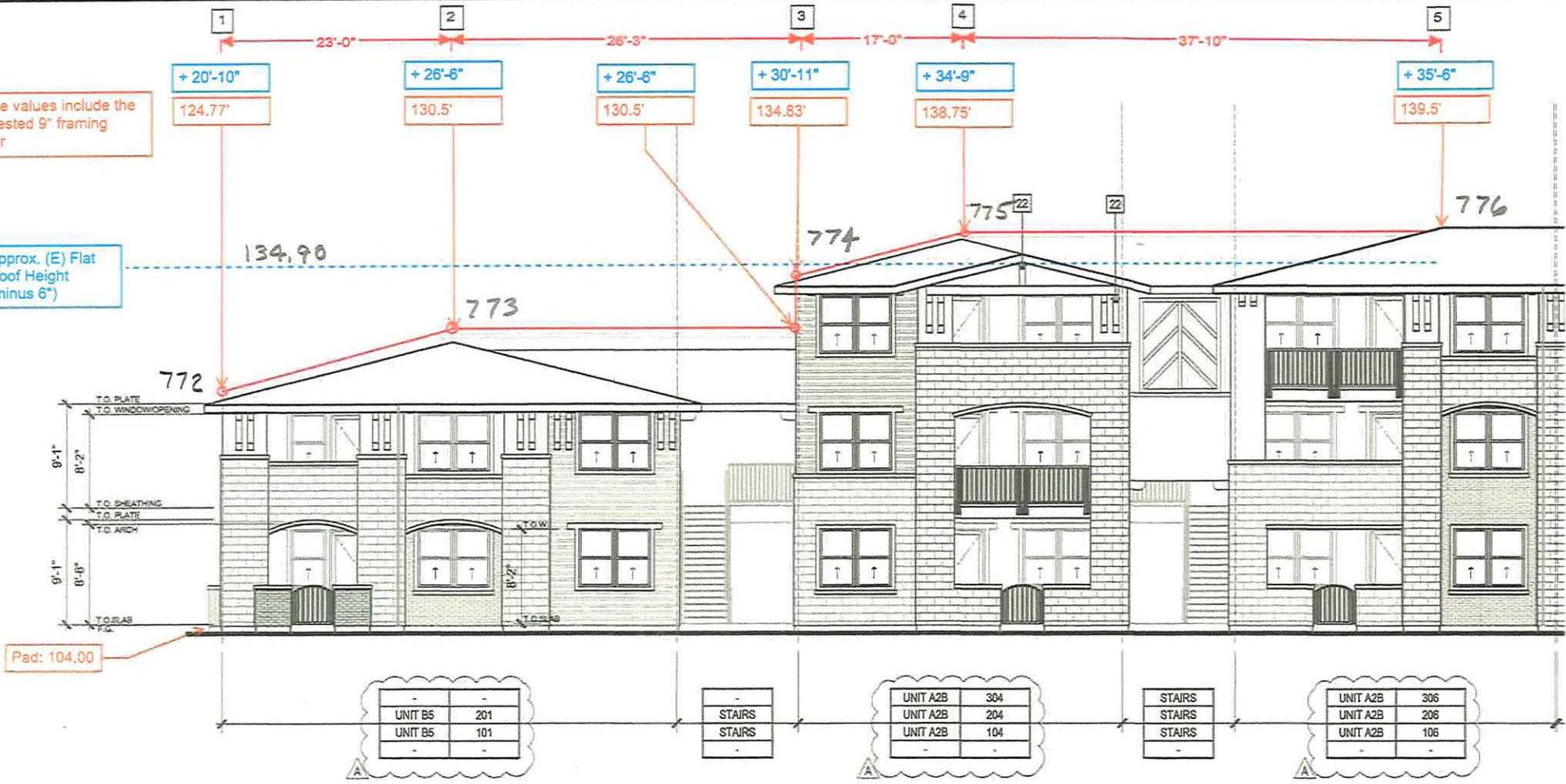
159

154

2013

These values include the requested 9" framing buffer

Approx. (E) Flat Roof Height (minus 6")





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February 2, 2022

Re: Description of requested modifications to proposed Clubhouse

To City of Solana Beach City Council:

This letter provides a basic description of H.G. Fenton Company's proposed modifications to the approved design of the proposed Clubhouse (Building 19) in the Solana Highlands redevelopment project which was approved by the Solana Beach City Council as DRP/SDP/VTM 17-14-29 in 2018. The modifications create significantly more building articulation and a more varied roofline, leading to a more attractive building at the project main entry than what was originally proposed.

Our proposed modifications consist of i) extending three second floor balconies and the approved building roof horizontally (at the previously approved height) over the three second floor balconies, and (ii) extending the approved roof horizontally over one exterior stair. In connection with these proposed modifications, we are requesting a waiver of the requirement for installation of story poles.

Please consider the following information when evaluating the proposed modifications and our request for waiver of installation of story poles concerning these modifications:

1. The City Council previously approved the design of the Clubhouse in 2018, including two second floor balconies and exterior stairs. We propose to make the following modifications that will extend outside the Council-approved building envelope: i) relocate one approved balcony from the northeast corner to the northwest corner of the second floor, ii) extend the southwest approved balcony on the second floor, iii) relocate the exterior stairs on the east side of the approved building. The height of the roof of the clubhouse that is proposed to be extended horizontally over the three balconies and stairs was approved by the City Council in 2018. The approved height of the roof that will be extended over the second-floor balconies and stairs will not be increased over the previously approved height; and,
2. The horizontal extension of the roof of the clubhouse building over three second floor balconies located on three sides of the clubhouse building. Each balcony will remain open on three sides. Also, the proposed modifications include extending the roof horizontally over one exterior stairs; and,
3. The horizontal extension of the roof to cover these three second floor balconies and the stairs on the Clubhouse will not cause any blockage of views for properties located outside the project

H.G. FENTON COMPANY

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because these extensions will be lower than the height of the surrounding buildings. The clubhouse is a two-story building that is surrounded by three-story buildings, and the three-story buildings will be constructed on higher ground. In addition, from most perspectives, these extensions of the roof will not be visible from outside the project. Thus, the roof extensions will not cause any view blockage for neighbors. No view impacts are created by the proposed roofs over the three balconies and stairs. Therefore, although the proposed modifications extend outside of the three-dimensional envelope of the clubhouse building that was approved by the City Council, the installation of story poles should be waived because the extensions of the roof does not cause any impact on views of neighbors outside the project.

Please contact me if you have any questions concerning these proposed modifications to the clubhouse.

Regards,



John La Raia

Vice President

Clubhouse (Building 19) Redesign

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29,
and Story Pole Waiver Request – Building 19 redesign
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

As the Fenton team further developed its vision for the revitalization of Solana Highlands the design of the Clubhouse/Leasing Office (Building 19) evolved to capture the coastal lifestyle and incorporate amenities expected by today’s residents more fully. The revised elevations for Building 19 are intended to:

- Create the feeling of an upscale “beach club” consistent with the Solana Beach lifestyle.
- Establish a welcoming environment at the community’s entrance with lots of windows and a large front porch inviting residents and visitors in.
- Update the Coastal Craftsman architecture consistent with the remainder of the project, while remaining timeless and lasting.
- Evoke a sense of place by introducing a barrel vault clerestory element inspired by the iconic Quonset huts on Cedros Ave.
- Increase opportunities for flow between indoor and outdoor spaces and add a number of large exterior second floor covered balconies and patio spaces to take advantage of the great Solana Beach climate.
- Provide a multi-function space for interaction, work, reflection, and recreation – meeting today’s trends demanding more remote workplaces, fitness amenities, and accommodating package delivery.

The revised elevation is shown in **Figures 1 – 3**.

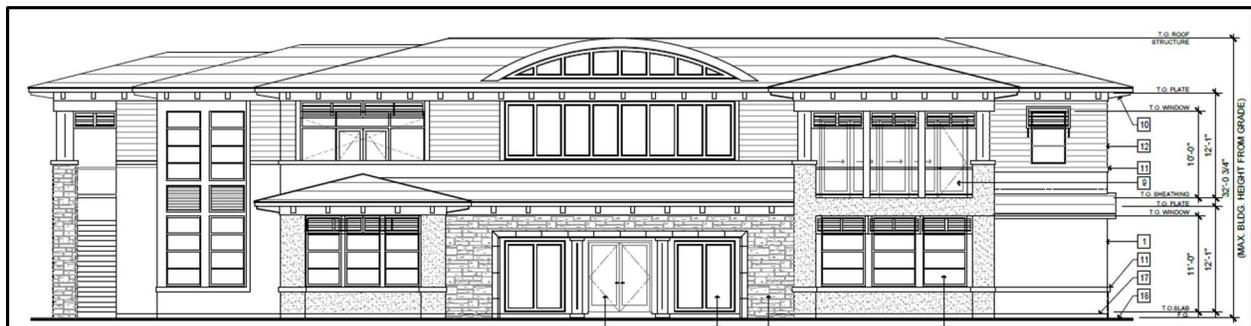


Figure 1 - Clubhouse Front Entry Elevation



Figure 2 - Clubhouse Side (easterly) Elevation



Figure 3 - Clubhouse Rear Elevation (facing pool area)

The modified elevations are consistent with the high-quality Coastal Craftsman style architecture exhibited throughout the Solana Highlands project and will create a strong statement at the project entrance emphasizing the coastal lifestyle and consistent with a high standard of design. The wide front porch and large windows create an invitation for residents and guests to enjoy the building and provide a high degree of transparency and circulation between indoor and outdoor environments consistent with Southern California's weather.

Story Pole Waiver Request

The revised building is largely consistent with the scale and massing of the previously approved Building 19, although small projections of the footprint occur on three sides of the building. No element of the roof exceeds the ridgeline that was depicted in the 2018 story pole construction. Each of the three additional projecting areas contains a roofed second-floor balcony or staircase, open on three sides, minimizing any massing impact of the additional projection.

These additional projections do not create any additional view obstruction than has already been demonstrated by story poles erected in 2018 in conjunction with the review and approval of the Structure Development Permit. From all offsite vantage points, the newly proposed projecting area is blocked by a future building approved through the SDP process or will be viewed with an approved structure behind it. Furthermore, the clubhouse building is located at the low easterly end of the site and even the highest ridgeline of the building is well below both the existing and future natural landform as the site rises to the west.

Fenton is requesting a Story Pole Waiver due to the lack of impact from the revised projecting designs. Also note that no view appellant listed a concern with the clubhouse building (Building 19) or any of the other nearby buildings during the View Assessment Process.

Figure 4 below provides a plan view of the proposed clubhouse building with the story pole outline from the approved SDP in blue. The numbers in red correspond to the number of the story pole, and the numbers in parentheses indicate the height in feet of the story pole above proposed grade which provides the maximum building height in that location depicted through the story poles.

The areas of the building depicted in blue represent two-story projections beyond the original story pole footprint, while the areas in grey are single-story areas that do not exceed 16 feet in height. These projections occur on three sides of the building and range from 9 to 10 feet plus a 3 foot roof overhang. In all instances, the second floor of this projection is a roofed open patio area, or open exterior staircase.

The Story Pole Waiver is requested to allow the building to project beyond the original story pole footprint into these colored areas.

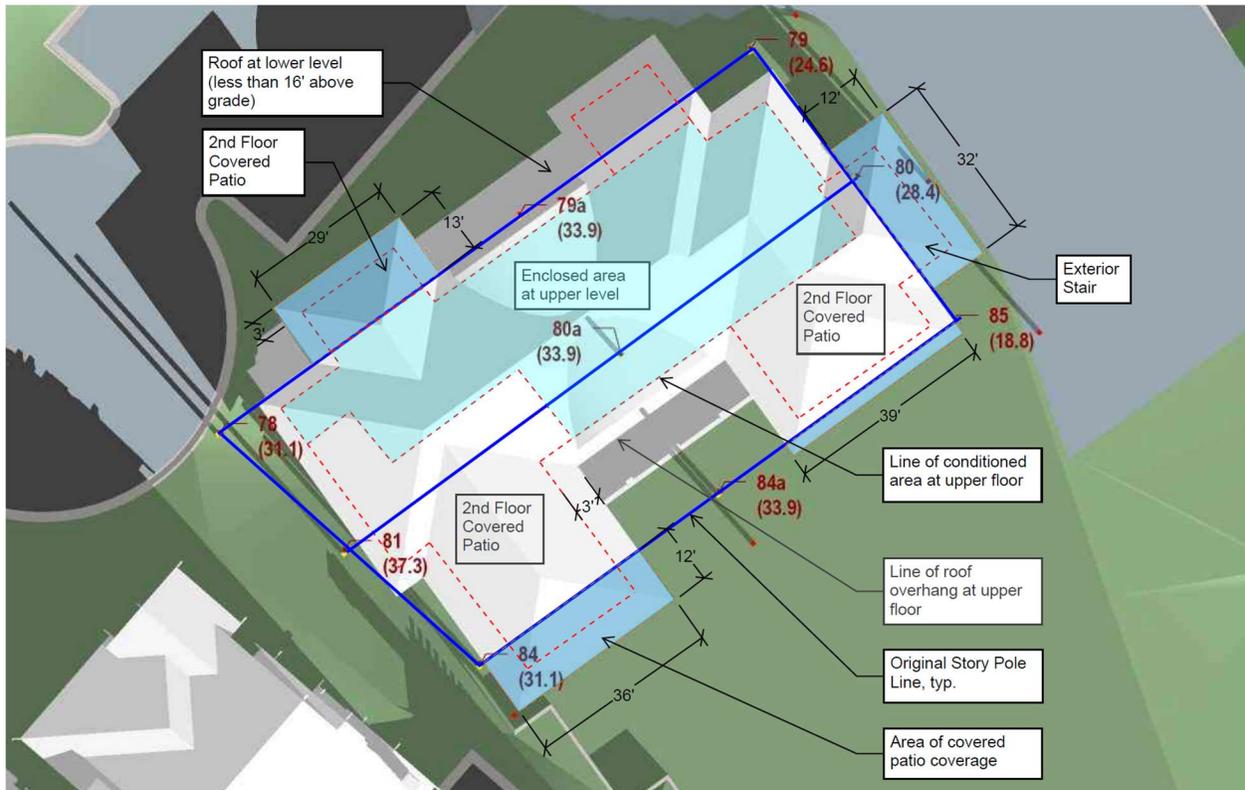


Figure 4 - Plan view of proposed clubhouse and prior story poles

Figures 5 through 7 depict the 2018 story poles and the proposed buildings in 3D perspective. Note in all instances this perspective is elevated to better demonstrate the relationship between the story poles and the proposed building, which exaggerates any impact. These differences in depth will be less perceptible when viewed from a ground plane. In all instances the proposed projection is in front of other buildings or increases in topography that are approved as part of the Site Development Permit/Design Review Permit. Accordingly, no additional view impact is created.

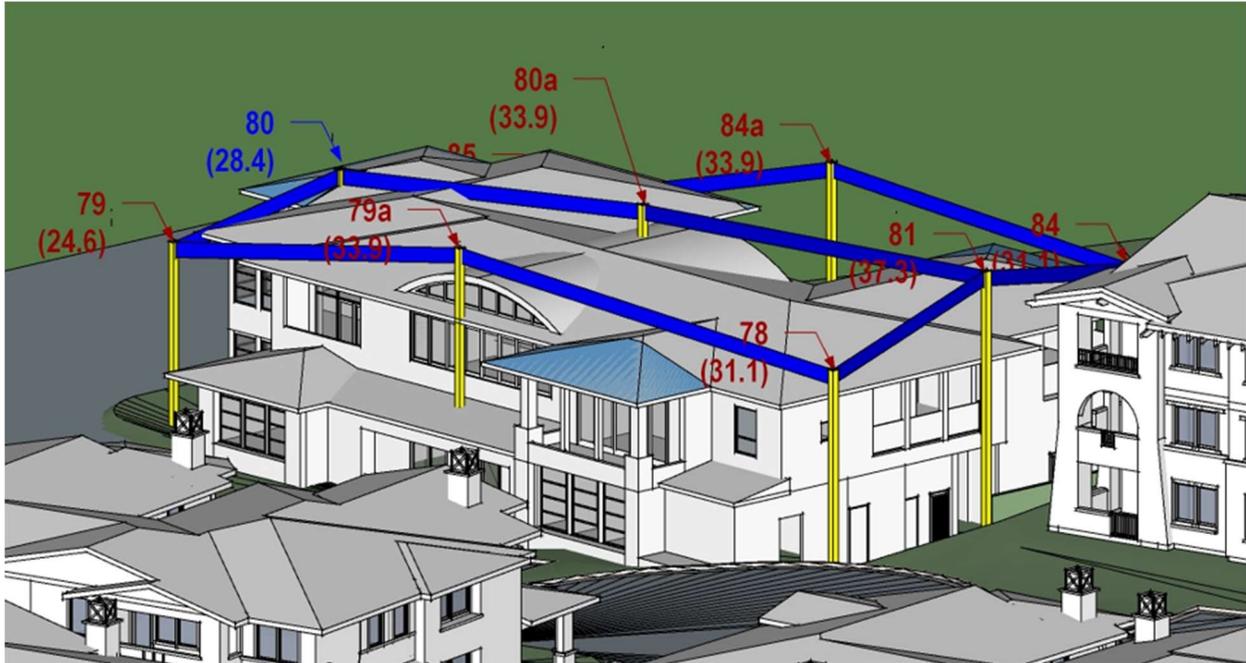


Figure 5 - View to the southeast (Front Elevation)

When viewed from this angle, the new projection on the front elevation is an extension of the already approved building, no additional view impact is created.



Figure 6 - View to the southwest (Front and Street Side elevation)

Two projections are seen when viewed from the southwest, near the project entrance. The one on the front elevation is in front of approved Building 18 beyond which blocked any view, accordingly new additional view impact is created. The side elevation projection of the exterior staircase is similarly blocked by the previously approved building.

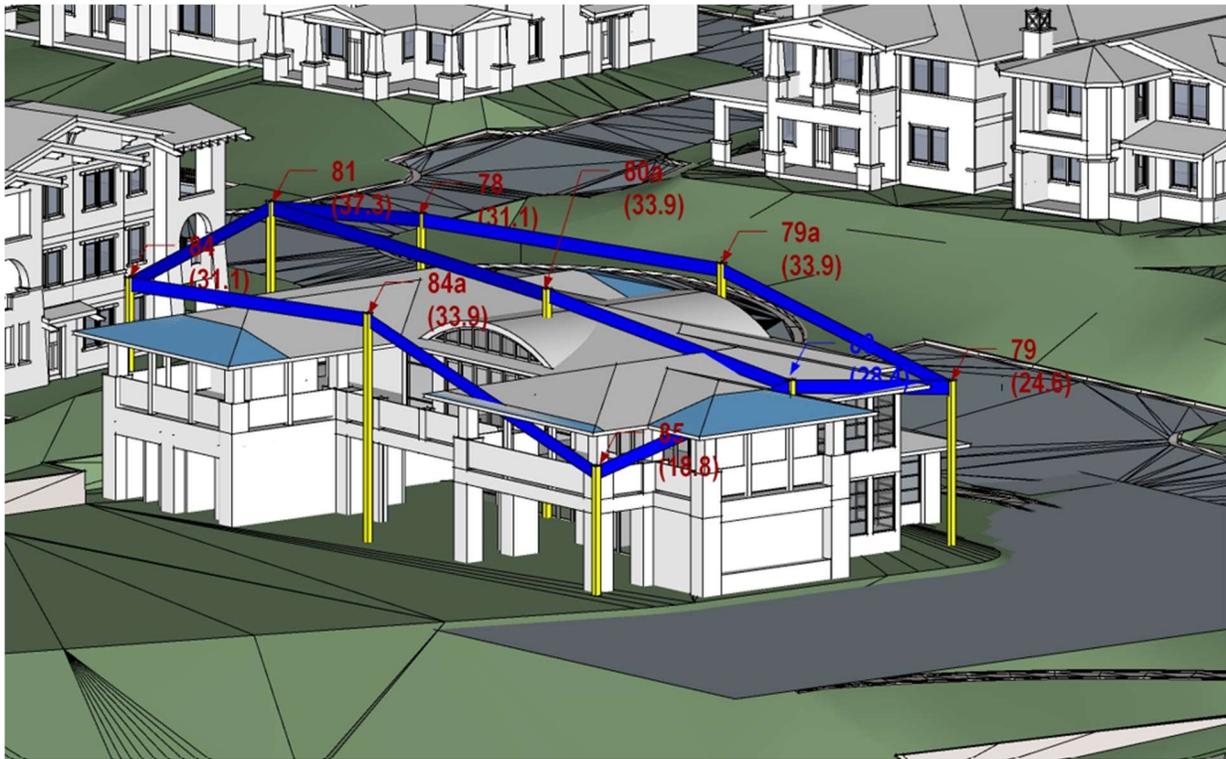


Figure 7 - View to the northwest (Street Side and Rear Elevations)

Similarly, the rear projection and side staircase projection create no additional view impact because of the approved building and additional buildings on site that are higher than the clubhouse due to the rising topography. The new second floor exterior balcony in the foreground does increase the height of the building at the southeast corner, but the footprint was pulled back in this corner to create visual relief, and no roof element exceeds the height of the ridgeline or front eave story pole, and thus no additional view impact is created.

Conclusion

The revisions to the clubhouse (Building 19) are attractive and consistent with the materials, architectural vocabulary, and quality design established by approved DRP. The additional projections of roofed patio areas outside of the envelope depicted by the approved story poles does not create any additional view impacts, and thus a Story Pole Waiver is justified. The remainder of the building is within the envelope and underneath the ridgeline created by the approved story poles.

**BLDG 8
TWO STORY
119.0'**

**BLDG 9
TWO STORY
124.4'**

**BLDG 10
THREE STORY
140.4'**

**BLDG 19
(CLUBHOUSE)
TWO STORY
112.9'**

**BLDG 18
THREE STORY
124.3'**

**BLDG 22
THREE STORY
122.0'**

MAIL KIOSK 1

MAIL KIOSK 4

Obscured Area



Building 24 Shift

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

Fenton is requesting modification of the site plan exhibit in the Development Review Permit to shift Building 24 approximately 50' feet to the east and waive the story pole requirement for this modification due to the fact that no new view blockage is created, the minor nature of the modification, the fact that Building 24 is – in both its original and proposed location – blocked by surrounding Buildings 13 and 15, and that no view claims were filed for Building 24 or nearby Building 14.

Attachment A.1 depicts the approved site plan location and the proposed location approximately 50 feet to the east towards Building 14.

The revised location of Building 24 creates a shared pedestrian walkway between Buildings 14 and 24 which will be superior resident experience to having front entry doors immediately open into parking spaces. This modification will further remove massing from the west boundary of the site providing additional separation of residential buildings from St. James to the west.

Buildings 14 and 24 are three-story buildings with ground floor garages and upper floor carriage units above the garages located in the southwest quadrant of the site. Views of these buildings are blocked from offsite to the north by Building 13 and from the south by Building 15 as can be demonstrated by the original story pole construction in June 2018.

Attachment A.2 – Story Pole Plan depicts the story pole construction in relation to the proposed buildings. Story poles along the ridgeline of Building 24 are depicted by Poles 31 and 32. Shifting the building as proposed will shift the western edge of the building easterly towards Pole 32, but the east/west alignment of the ridgeline and building height do not change. The revised location will place the building generally west of Pole 15 and continuing towards Pole 32. Thus, the originally constructed poles 15 and 32 illustrate the ridgeline of the building in its new proposed location, although a flag line was not erected between the two poles in June 2018. No view assessment claims represented by Building 14 (Pole 15) or Building 24 (Pole 32) were received during the view assessment process. As demonstrated from the attached exhibit, any view externally from the property towards those buildings is obscured by other buildings in the foreground.

The relationship of the poles to the existing buildings on site can be seen from **Attachment A.3** an aerial photograph taken by drone of the story pole construction in June 2018. Note that Building 24 is generally located with and just to the north of an existing building.

Attachment A.4 presents the view of the story poles from the southwest corner of the site. Note that the Building 15 poles and flags can be seen from this vantage, but any view of Poles 15 and 16 (representing Building 14) and 31 and 32 (representing Building 24) are not visible from this location. The new location of Building 24 is generally represented by poles 15 and 32, which are not visible. Thus no different view impact is created.

One view claim was received from a resident along Bay Meadows Drive in the Turfwood community to the south, and rejected by the View Assessment Condition. **Attachment A.5** is a photograph taken from Bay Meadows Drive of the story poles constructed in June 2018. Note that only the poles of Building 15 are visible from this location, and the poles representing both Buildings 14 and 24 are not visible.

Specifically Poles 15 and 32 cannot be seen, which indicates that Building 24 cannot be seen from this offsite location in either its new or proposed location.

Conclusion

The slight shift of Building 24 is a minor modification and no additional view impact is created as demonstrated by the attachments. The proposed location of Building 24 remains blocked from view from the north by Building 13, from the south by Building 15, and from the west by Building 14. It is moved further away from the west, although maintains the same vertical massing when viewed from west to east. Accordingly, applicant is herewith requesting a waiver of any additional story pole requirements related to this amendment.

ORIGINALLY APPROVED SITE PLAN



CURRENT SITE PLAN



SOLANA HIGHLANDS SOLANA BEACH, CA

H.G. FENTON

7577 MISSION VALLEY ROAD, SUITE 200, SAN DIEGO, CA 92108

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92866 (714) 639-9860

2019-028 March 23, 2021



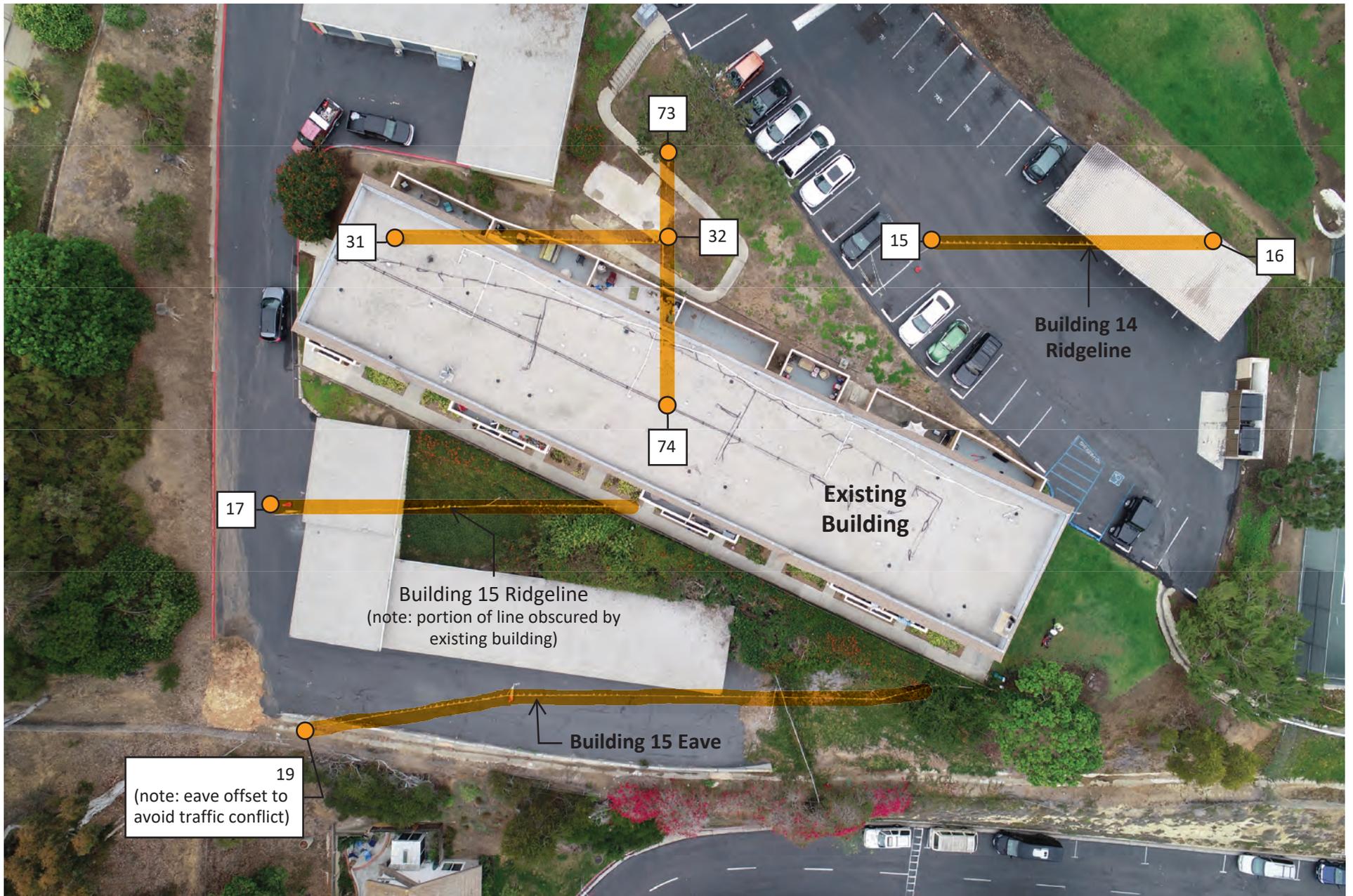
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Attachment A.2 Story Pole Plan

SOLANA HIGHLANDS STORY POLES
05.08.2018

BUILDING NUMBER	POLE NUMBER	NUMBER	EXISTING GRADE	FINISH GRADE	POLE LENGTH	FF ELEVATION	FF ELEVATION	FF ELEVATION	FF ELEVATION
STORY POLE DATA - SELECT BLDGS									
BLDG 1	38	142.20	118.70	121.00	22.30	118.70			
	39	142.20	118.70	121.00	22.30	118.70			
	40	142.20	118.70	121.00	22.30	118.70			
	41	142.20	118.70	121.00	22.30	118.70			
BLDG 2	1	146.50	123.30	123.30	0.00	123.30			
	2	146.50	123.30	123.30	0.00	123.30			
	3	146.50	123.30	123.30	0.00	123.30			
	4	146.50	123.30	123.30	0.00	123.30			
BLDG 3	5	146.50	123.30	123.30	0.00	123.30			
	6	146.50	123.30	123.30	0.00	123.30			
	7	146.50	123.30	123.30	0.00	123.30			
	8	146.50	123.30	123.30	0.00	123.30			
BLDG 4	9	146.50	123.30	123.30	0.00	123.30			
	10	146.50	123.30	123.30	0.00	123.30			
	11	146.50	123.30	123.30	0.00	123.30			
	12	146.50	123.30	123.30	0.00	123.30			
BLDG 5	13	146.50	123.30	123.30	0.00	123.30			
	14	146.50	123.30	123.30	0.00	123.30			
	15	146.50	123.30	123.30	0.00	123.30			
	16	146.50	123.30	123.30	0.00	123.30			
BLDG 6	17	146.50	123.30	123.30	0.00	123.30			
	18	146.50	123.30	123.30	0.00	123.30			
	19	146.50	123.30	123.30	0.00	123.30			
	20	146.50	123.30	123.30	0.00	123.30			
BLDG 7	21	146.50	123.30	123.30	0.00	123.30			
	22	146.50	123.30	123.30	0.00	123.30			
	23	146.50	123.30	123.30	0.00	123.30			
	24	146.50	123.30	123.30	0.00	123.30			
BLDG 8	25	146.50	123.30	123.30	0.00	123.30			
	26	146.50	123.30	123.30	0.00	123.30			
	27	146.50	123.30	123.30	0.00	123.30			
	28	146.50	123.30	123.30	0.00	123.30			
BLDG 9	29	146.50	123.30	123.30	0.00	123.30			
	30	146.50	123.30	123.30	0.00	123.30			
	31	146.50	123.30	123.30	0.00	123.30			
	32	146.50	123.30	123.30	0.00	123.30			
BLDG 10	33	146.50	123.30	123.30	0.00	123.30			
	34	146.50	123.30	123.30	0.00	123.30			
	35	146.50	123.30	123.30	0.00	123.30			
	36	146.50	123.30	123.30	0.00	123.30			
BLDG 11	37	146.50	123.30	123.30	0.00	123.30			
	38	146.50	123.30	123.30	0.00	123.30			
	39	146.50	123.30	123.30	0.00	123.30			
	40	146.50	123.30	123.30	0.00	123.30			
BLDG 12	41	146.50	123.30	123.30	0.00	123.30			
	42	146.50	123.30	123.30	0.00	123.30			
	43	146.50	123.30	123.30	0.00	123.30			
	44	146.50	123.30	123.30	0.00	123.30			
BLDG 13	45	146.50	123.30	123.30	0.00	123.30			
	46	146.50	123.30	123.30	0.00	123.30			
	47	146.50	123.30	123.30	0.00	123.30			
	48	146.50	123.30	123.30	0.00	123.30			
BLDG 14	49	146.50	123.30	123.30	0.00	123.30			
	50	146.50	123.30	123.30	0.00	123.30			
	51	146.50	123.30	123.30	0.00	123.30			
	52	146.50	123.30	123.30	0.00	123.30			
BLDG 15	53	146.50	123.30	123.30	0.00	123.30			
	54	146.50	123.30	123.30	0.00	123.30			
	55	146.50	123.30	123.30	0.00	123.30			
	56	146.50	123.30	123.30	0.00	123.30			
BLDG 16	57	146.50	123.30	123.30	0.00	123.30			
	58	146.50	123.30	123.30	0.00	123.30			
	59	146.50	123.30	123.30	0.00	123.30			
	60	146.50	123.30	123.30	0.00	123.30			
BLDG 17	61	146.50	123.30	123.30	0.00	123.30			
	62	146.50	123.30	123.30	0.00	123.30			
	63	146.50	123.30	123.30	0.00	123.30			
	64	146.50	123.30	123.30	0.00	123.30			
BLDG 18	65	146.50	123.30	123.30	0.00	123.30			
	66	146.50	123.30	123.30	0.00	123.30			
	67	146.50	123.30	123.30	0.00	123.30			
	68	146.50	123.30	123.30	0.00	123.30			
BLDG 19	69	146.50	123.30	123.30	0.00	123.30			
	70	146.50	123.30	123.30	0.00	123.30			
	71	146.50	123.30	123.30	0.00	123.30			
	72	146.50	123.30	123.30	0.00	123.30			
BLDG 20	73	146.50	123.30	123.30	0.00	123.30			
	74	146.50	123.30	123.30	0.00	123.30			
	75	146.50	123.30	123.30	0.00	123.30			
	76	146.50	123.30	123.30	0.00	123.30			
BLDG 21	77	146.50	123.30	123.30	0.00	123.30			
	78	146.50	123.30	123.30	0.00	123.30			
	79	146.50	123.30	123.30	0.00	123.30			
	80	146.50	123.30	123.30	0.00	123.30			
BLDG 22	81	146.50	123.30	123.30	0.00	123.30			
	82	146.50	123.30	123.30	0.00	123.30			
	83	146.50	123.30	123.30	0.00	123.30			
	84	146.50	123.30	123.30	0.00	123.30			
BLDG 23	85	146.50	123.30	123.30	0.00	123.30			
	86	146.50	123.30	123.30	0.00	123.30			
	87	146.50	123.30	123.30	0.00	123.30			
	88	146.50	123.30	123.30	0.00	123.30			
BLDG 24	89	146.50	123.30	123.30	0.00	123.30			
	90	146.50	123.30	123.30	0.00	123.30			
	91	146.50	123.30	123.30	0.00	123.30			
	92	146.50	123.30	123.30	0.00	123.30			
BLDG 25	93	146.50	123.30	123.30	0.00	123.30			
	94	146.50	123.30	123.30	0.00	123.30			
	95	146.50	123.30	123.30	0.00	123.30			
	96	146.50	123.30	123.30	0.00	123.30			
BLDG 26	97	146.50	123.30	123.30	0.00	123.30			
	98	146.50	123.30	123.30	0.00	123.30			
	99	146.50	123.30	123.30	0.00	123.30			
	100	146.50	123.30	123.30	0.00	123.30			
BLDG 27	101	146.50	123.30	123.30	0.00	123.30			
	102	146.50	123.30	123.30	0.00	123.30			
	103	146.50	123.30	123.30	0.00	123.30			
	104	146.50	123.30	123.30	0.00	123.30			
BLDG 28	105	146.50	123.30	123.30	0.00	123.30			
	106	146.50	123.30	123.30	0.00	123.30			
	107	146.50	123.30	123.30	0.00	123.30			
	108	146.50	123.30	123.30	0.00	123.30			
BLDG 29	109	146.50	123.30	123.30	0.00	123.30			
	110	146.50	123.30	123.30	0.00	123.30			
	111	146.50	123.30	123.30	0.00	123.30			
	112	146.50	123.30	123.30	0.00	123.30			
BLDG 30	113	146.50	123.30	123.30	0.00	123.30			
	114	146.50	123.30	123.30	0.00	123.30			
	115	146.50	123.30	123.30	0.00	123.30			
	116	146.50	123.30	123.30	0.00	123.30			
BLDG 31	117	146.50	123.30	123.30	0.00	123.30			
	118	146.50	123.30	123.30	0.00	123.30			
	119	146.50	123.30	123.30	0.00	123.30			
	120	146.50	123.30	123.30	0.00	123.30			
BLDG 32	121	146.50	123.30	123.30	0.00	123.30			
	122	146.50	123.30	123.30	0.00	123.30			
	123	146.50	123.30	123.30	0.00	123.30			
	124	146.50	123.30	123.30	0.00	123.30			
BLDG 33	125	146.50	123.30	123.30	0.00	123.30			
	126	146.50	123.30	123.30	0.00	123.30			
	127	146.50	123.30	123.30	0.00	123.30			
	128	146.50	123.30	123.30	0.00	123.30			
BLDG 34									

Attachment A.3 - June 14, 2018 Story Pole Construction



Attachment A.4 - View from Southwest Corner of Site



17/18 - Building 15 Ridgeline
(note: obscured by existing building)

19/20 - Building 15 Eave

Note: Poles 15/ 16 (Building 14)
and 31/32 (Building 24) not visible

Attachment A.5 - View from Bay Meadows Way



Note: Poles 15/ 16 (Building 14)
and 31/32 (Building 24) not visible

17/18 - Building 15 Ridgeline

19/20 - Building 15 Eave

Existing Building

Parking Management Plan

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

Request: Modify condition XVIII.c. requiring submittal of a Parking Plan and/or Modified Parking Plan to the City Manager on or before March 1, 2020, for subsequent approval by the City Council as follows:

c. Reserved Parking Spaces for Tenants. The Applicant shall assign reserved parking spaces for tenants of the Project as provided herein. However, the Applicant shall not reserve for or assign to any tenant more reserved parking spaces than as follows: 1 parking space for a studio apartment; 1 parking space for a one bedroom apartment; and 2 parking spaces for a two bedroom apartment. The Applicant shall not reserve any "visitor" parking spaces on the Project.

The Applicant shall prepare a written parking plan (the "**Parking Plan**") and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the Parking Plan to the City Manager ~~on or before March 1, 2020~~ no later than eighteen months following issuance of the first building permit in the development, provided however that the Parking Plan shall be submitted at least 120 days prior to Applicant's request for a Temporary Certificate of Occupancy for the first building on Lot A. The City Manager shall review the Parking Plan for conformance to the conditions below and shall have the authority to approve or conditionally approve the Parking Plan if it substantially conforms to the requirements below. ~~for approval thereafter by the City Council.~~

{NO CHANGE TO TEXT}

XX. A Parking Management Plan, ~~as approved by the City Council,~~ shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.

Resolution 2018-132 provided extensive conditions regarding the number and allocation of parking spaces. No changes to the type, amount, or allocation of parking space use (reserved, guest, etc.) are proposed as part of this amendment. This modification proposes a change in the timing of plan submittal, and because the condition provides sufficient detail for a ministerial determination of whether or not the plan is in substantial compliance with the condition, requests that the City Manager be vested with the authority to make said determination.

Justification for request: The Resolution required submittal of a Parking Plan to the City Manager prior to March 1, 2020 for subsequent approval by the City Council that identifies which garages, carport parking

spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces. Typically, these allocations of spaces are prepared as part of an operation plan completed during the construction period and prior to the initiation of leasing efforts on the site. Applicant is requesting that this condition be revised to allow submittal of the Parking Plan, or a Modified Parking Plan as defined by the Resolution, in a timeframe more typical with the assignment of spaces. We are requesting that the Plan be submitted within 18 months of approval of building permits, which given the anticipated construction duration of the project will be well before leasing efforts are initiated.

This is only a change in timing that does not impact the operations of the project or execution of the parking requirements of the conditions of approval. No changes to the amount or type of parking are requested with this amendment.

Traffic Calming

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

Resolution 2018-132 approving the Solana Highlands Revitalization contained conditions of approval related to improvements of the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program.

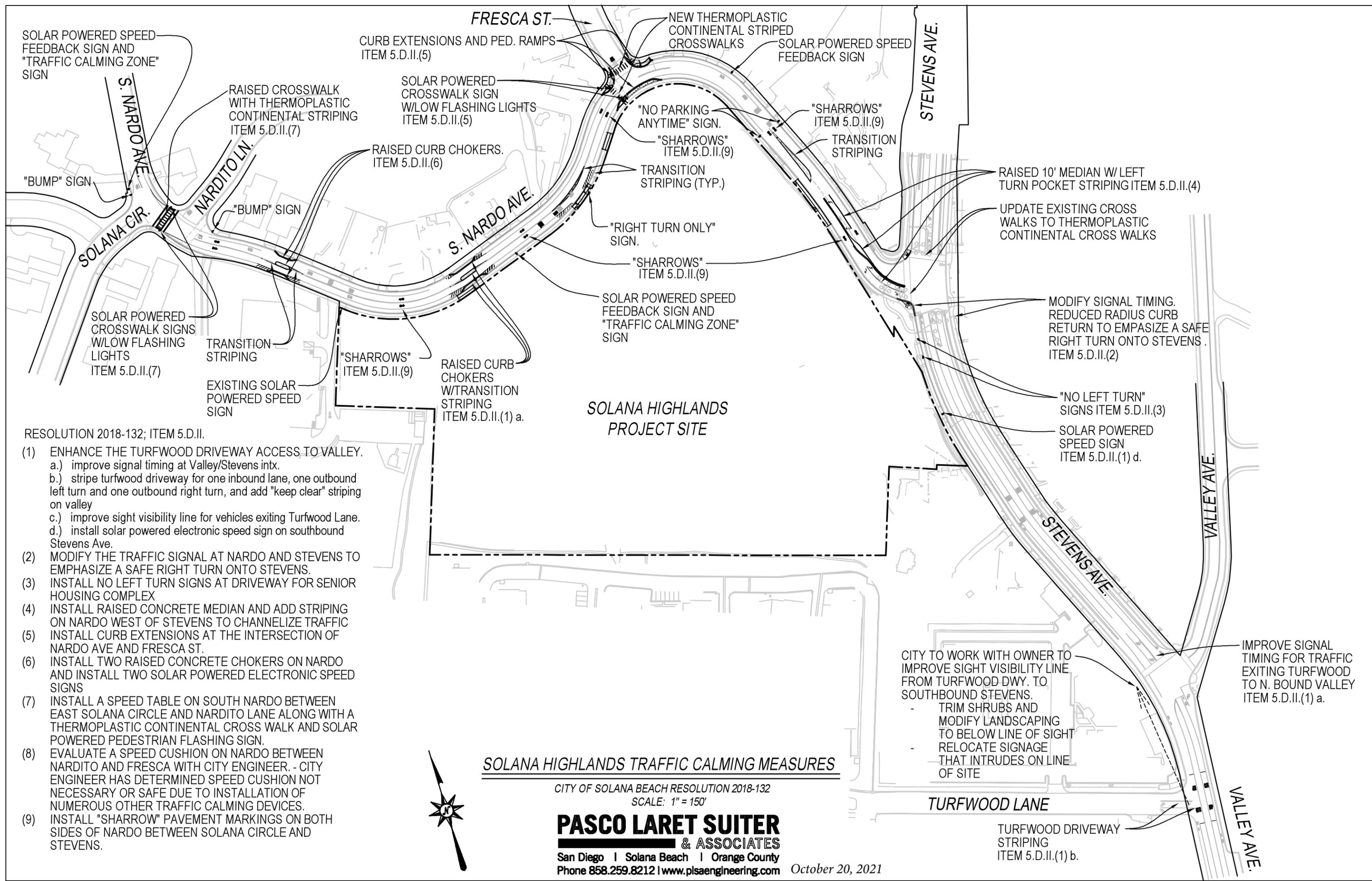
The conditions of approval required applicant to obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer to incorporate the items listed below for future approval by the City Council upon completion.

The Applicant has submitted engineering plans for review and approval by City Engineer consistent with the requirements as detailed below, and City Council approval is recommended.

Condition	Status
<p>(1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These enhancements may include but not be limited to:</p> <p>(a) Modification of the traffic signal timing at the intersection of Valley Avenue and Stevens Avenue to provide for a more efficient egress at the Turfwood Lane access. The proposed signal timing enhancement may include construction of additional loop detectors on northbound Valley Avenue and associated communication and control equipment in the cabinet at a cost not to exceed \$50,000.</p> <p>(b) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane, one outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install "Keep Clear" legend on Valley Avenue at Turfwood driveway.</p> <p>(c) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.</p>	<p>Satisfied. Items (a), (b), and (d) are included in engineering plans submitted by applicant.</p> <p>(c) City Engineer has contacted adjacent property owner to discuss shrub trimming and relocation of signage within line of sight.</p>

<p>(d) Installation of a “Solar Powered Electronic Speed Sign” on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.</p>	
<p>(2) Applicant shall modify the Traffic signal at Nardo Avenue and Stevens Avenue to install a signal indicator for traffic calming purposes to emphasize a safe right turn on red from eastbound Nardo to southbound Stevens Avenue at a cost not to exceed \$50,000.</p>	<p>Satisfied. Signal modifications were determined not to be best way to mitigate condition at this intersection.</p> <p>Reduction of the curb radius at the southwest corner of Nardo and Stevens Avenues was determined by City Engineer to be the best way to slow traffic and emphasize a safe right turn on red in this location, and is further enhanced by the thermoplastic continental crosswalk that will be installed at this location. That modification is included in engineering plans submitted by applicant</p>
<p>(3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.</p>	<p>Satisfied. Signage is included in engineering plans submitted by applicant.</p>
<p>(4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require elimination of on-street parking along South Nardo on both sides of the street.</p>	<p>Satisfied. Raised medians are shown on engineering plans submitted by applicant.</p>
<p>(5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered</p>	<p>Satisfied. Improvements to this intersection are included in engineering plans submitted by applicant in accordance with this condition.</p>

<p>pedestrian crossing flashing sign with corresponding signage.</p>	
<p>(6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.</p>	<p>Satisfied. Raised curb chokers are shown on engineering plans submitted by applicant in accordance with this condition in two locations between Fresca St. and Nardito Ln. Two additional solar-powered speed signs are also shown.</p>
<p>(7) On South Nardo Avenue between East Solana Circle and Nardito Lane install a speed table (a long, flat speed bump), a thermoplastic continental crosswalk for pedestrian crossing and a solar powered pedestrian flashing sign with corresponding signage and striping.</p>	<p>Satisfied, subject to further direction from city. Improvements required by project conditions of approval are shown on engineering plans submitted by applicant.</p> <p>Members of the community have requested that the city study adding stop signs to South Nardo Ave. at Nardito Lane and Solana Circle. Should the city determine as a separate action that stop signs are the preferred solution at this intersection prior to installation, city will direct applicant to eliminate installation of the single speed table and crosswalk and instead provide two crosswalks with thermoplastic continental striping, one at each stop limit line.</p>
<p>(8) On South Nardo between Fresca Street and Nardito Lane, evaluate additional speed hump with the City Engineer, and install if safety standards can be achieved.</p>	<p>Satisfied, will not be implemented. Applicant's consultant and City Engineer have determined that grade of street and installation of other traffic calming elements with raised curbs will not allow this additional speed cushion to be safely installed, and is not consistent with subsequently adopted citywide speed cushion policy.</p>
<p>(9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.</p>	<p>Satisfied. Sharrows are shown on engineering plans submitted by applicant.</p>



SOLAR POWERED SPEED FEEDBACK SIGN AND "TRAFFIC CALMING ZONE" SIGN

"BUMP" SIGN

RAISED CROSSWALK WITH THERMOPLASTIC CONTINENTAL STRIPING ITEM 5.D.II.(7)

"BUMP" SIGN

FRESCA ST.
CURB EXTENSIONS AND PED. RAMPS ITEM 5.D.II.(5)

SOLAR POWERED CROSSWALK SIGN W/LOW FLASHING LIGHTS ITEM 5.D.II.(5)

RAISED CURB CHOKERS. ITEM 5.D.II.(6)

"NO PARKING ANYTIME" SIGN.

"SHARROWS" ITEM 5.D.II.(9)

TRANSITION STRIPING (TYP.)

"RIGHT TURN ONLY" SIGN.

"SHARROWS" ITEM 5.D.II.(9)

SOLAR POWERED SPEED FEEDBACK SIGN AND "TRAFFIC CALMING ZONE" SIGN

"SHARROWS" ITEM 5.D.II.(9)

RAISED CURB CHOKERS W/TRANSITION STRIPING ITEM 5.D.II.(1) a.

SOLANA HIGHLANDS PROJECT SITE

RAISED 10' MEDIAN W/ LEFT TURN POCKET STRIPING ITEM 5.D.II.(4)

UPDATE EXISTING CROSS WALKS TO THERMOPLASTIC CONTINENTAL CROSS WALKS

MODIFY SIGNAL TIMING. REDUCED RADIUS CURB RETURN TO EMPHASIZE A SAFE RIGHT TURN ONTO STEVENS. ITEM 5.D.II.(2)

"NO LEFT TURN" SIGNS ITEM 5.D.II.(3)

SOLAR POWERED SPEED SIGN ITEM 5.D.II.(1) d.

CITY TO WORK WITH OWNER TO IMPROVE SIGHT VISIBILITY LINE FROM TURFWOOD DWY. TO SOUTHBOUND STEVENS.
- TRIM SHRUBS AND MODIFY LANDSCAPING TO BELOW LINE OF SIGHT
- RELOCATE SIGNAGE THAT INTRUDES ON LINE OF SITE

IMPROVE SIGNAL TIMING FOR TRAFFIC EXITING TURFWOOD TO N. BOUND VALLEY ITEM 5.D.II.(1) a.

RESOLUTION 2018-132; ITEM 5.D.II.

- (1) ENHANCE THE TURFWOOD DRIVEWAY ACCESS TO VALLEY.
 - a.) improve signal timing at Valley/Stevens intx.
 - b.) stripe turfwood driveway for one inbound lane, one outbound left turn and one outbound right turn, and add "keep clear" striping on valley
 - c.) improve sight visibility line for vehicles exiting Turfwood Lane.
 - d.) install solar powered electronic speed sign on southbound Stevens Ave.
- (2) MODIFY THE TRAFFIC SIGNAL AT NARDO AND STEVENS TO EMPHASIZE A SAFE RIGHT TURN ONTO STEVENS.
- (3) INSTALL NO LEFT TURN SIGNS AT DRIVEWAY FOR SENIOR HOUSING COMPLEX
- (4) INSTALL RAISED CONCRETE MEDIAN AND ADD STRIPING ON NARDO WEST OF STEVENS TO CHANNELIZE TRAFFIC
- (5) INSTALL CURB EXTENSIONS AT THE INTERSECTION OF NARDO AVE AND FRESCA ST.
- (6) INSTALL TWO RAISED CONCRETE CHOKERS ON NARDO AND INSTALL TWO SOLAR POWERED ELECTRONIC SPEED SIGNS
- (7) INSTALL A SPEED TABLE ON SOUTH NARDO BETWEEN EAST SOLANA CIRCLE AND NARDITO LANE ALONG WITH A THERMOPLASTIC CONTINENTAL CROSS WALK AND SOLAR POWERED PEDESTRIAN FLASHING SIGN.
- (8) EVALUATE A SPEED CUSHION ON NARDO BETWEEN NARDITO AND FRESCA WITH CITY ENGINEER. - CITY ENGINEER HAS DETERMINED SPEED CUSHION NOT NECESSARY OR SAFE DUE TO INSTALLATION OF NUMEROUS OTHER TRAFFIC CALMING DEVICES.
- (9) INSTALL "SHARROW" PAVEMENT MARKINGS ON BOTH SIDES OF NARDO BETWEEN SOLANA CIRCLE AND STEVENS.



SOLANA HIGHLANDS TRAFFIC CALMING MEASURES

CITY OF SOLANA BEACH RESOLUTION 2018-132

SCALE: 1" = 150'

PASCO LARET SUITER & ASSOCIATES

San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com

October 20, 2021

TURFWOOD LANE

TURFWOOD DRIVEWAY STRIPING ITEM 5.D.II.(1) b.

VALLEY AVE.

STEVENS AVE.

STEVENS AVE.

S. NARDO AVE.

SOLANA CIR.

S. NARDO AVE.

NARDITO LN.

VALLEY AVE.

Final Landscape Plan

Amendment to Development Review Permit (DRP) / Structure Development Permit (SDP) 17-14-29
Solana Highlands, 661-781 South Nardo Avenue and 821 Stevens Avenue

Resolution 2018-132 required the submittal of a Final Conceptual Landscape Plan prior to March 1, 2019, a deadline that has been extended by concurrence of the City Manager on multiple occasions to allow Applicant to continue to work with stakeholders regarding the landscape plan details. The resolution further required submittal of the Final Landscape Plan prior to March 1, 2020, and conditioned the landscape plan to meet several requirements, including provision of a Landscape Buffer on the perimeter of the project.

Fenton has submitted a Final Landscape Plan that satisfies the conditions of approval and requests that the City Council accept the Final Landscape Plan, waive the condition requiring approval of the Final *Conceptual* Landscape Plan as redundant, and acknowledge and accept a revision to the tree planting plan discussed below.

A Landscape Plan at the construction-document level was submitted to the city on December 20, 2019, in conjunction with the Grading Permit and Building Permit plan check submittals. This submittal constituted applicant's concurrent submittal of the delayed Final *Conceptual* Landscape Plans and the Final Landscape Plan which was required by the conditions of approval to be submitted before March 1, 2020.

Subsequently, Fenton continued to work with key community stakeholders to gather input regarding the landscape materials and design for the buffer area required by the conditions. Based on community input, a plan was developed creating six distinct planting zones along the edge of the property. The planting plan ties together the project thematically with native and other select low water usage species, while respecting the context of the adjacent neighborhood as the perimeter of the project transitions from single family homes and view sensitive areas across S. Nardo Ave at the northwest, then to higher density housing along the eastern portion of S. Nardo Ave. and the interface along Stevens Ave., transitioning on the south of the property to interface with the existing Turfwood community, and finally on the east where the project is adjacent to St. James Catholic Church and School.

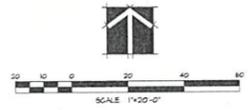
Each planting palette was developed to attractively screen and buffer the development while respecting the established surroundings, allowing the project to integrate with existing adjacent uses while avoiding a monolithic or singular palette.

Each of the zones is depicted on **Attachment B.1 – Landscape Zone Plan**, while the specific tree species are identified on **Attachment B.2 – Landscape Tree Zone Plan**. Specific tree species are further identified on **Attachment B.3 – Landscape Tree Schedule**.

This buffer planting plan, developed with extensive input of community stakeholders including residents along S. Nardo Ave. and residents of the Turfwood community, differs slightly from the landscaping originally described but meets the design intent. Specifically, when originally brought forward for approval the project was anticipated to, *"include approximately 10 84-inch box Coast Live Oaks along the southern edge of the site and approximately 60 trees that would be a mix of Coast Live Oaks, Aleppo Pines, and California Sycamores in 24-inch boxes."* The planting plan has been modified to incorporate smaller container sized trees (15 gal. and 24-inch box) because smaller container size trees grow faster

after transplantation and are healthier over the long term. Adjacent residents expressed concerns regarding the viability of transplanted 84-inch box trees and impact on slope stability.

In lieu of ten 84-inch Coast Live Oaks along the southern edge, this planting plan includes twenty 24-inch Coast Live Oaks in the East and North-East Zones. Along the southern boundary screening will be provided by 11 Coastal Shrub Oaks in 15-gallon containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include 15 Torrey Pines and an assortment of other trees. More than sixty 24-inch box trees will be located within the buffer zones in a combination of oak, palm and other native and low-water usage trees selected in conjunction with community input.



STEPHEN DALTON ARCHITECTS
 www.SDArchitects.net
 444 S. CEDROS AVE., STUDIO 190
 SOLANA BEACH, CA 92075



DATE
 2/24/2022

REVITALIZING SOLANA HIGHLANDS
 LANDSCAPE TREE ZONE PLAN

PLANT SCHEDULE WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX L	30'X30'	
2	4	DRACAENA DRAGO	DRAGON TREE	24" BOX VL	28'X20'	
3	8	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX L	60'X30'	
4	8	PODOCARPUS BRACOLOR	PERN FINE	24" BOX H	40'X30'	
5	3	FRAXUS ILLICOPIA LYONI	CATALINA CHERRY	24" BOX L	50'X30'	
6	1	FRAXUS LANZEA	AFRICAN SAMAC	24" BOX L	50'X30'	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	1	ACACIA SPECIES	EXISTING ACACIA	EXISTING L		
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	2	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X35'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
RAPHIOLEPIS I. SPRINGTIME	INDIAN HANTHORNE	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ROSMARINUS O. PROSTRATUS	PROSTRATE ROSEMARY	1 GAL

PLANT SCHEDULE SOUTH ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	4	ARBUTUS X MARINA	STRAWBERRY TREE STD.	24" BOX L	28'X28'	
2	6	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX VL	28'X30'	
3	6	HESPERALOE PARVIFOLIA	TEGATE CYPRRESS	24" BOX VL	28'X30'	
4	8	PINUS TORREYANA	TORREY PINE	5 GAL 24" BOX	60'X30'	
5	3	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX H	60'X30'	
6	2	FRAXUS ILLICOPIA LYONI	CATALINA CHERRY	24" BOX L	50'X30'	
7	15	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX VL	20'X30'	
8	1	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X35'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DIMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTIA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ERIOGONUM FAGGOLATUM VAR. TOLICLOSUM	CALIFORNIA BUGHEAT	1 GAL

PLANT SCHEDULE EAST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	2	ARANCARIA COLUMARIAS	COOK PINE	24" BOX H	60'X30'	
2	5	ARBUTUS X MARINA	STRAWBERRY TREE STD.	24" BOX L	28'X28'	
3	6	QUERCUS OCCIDENTALIS	WESTERN REDBUD MULTI	5 GAL L	18'X8'	
4	2	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX VL	28'X30'	
5	1	DRACAENA DRAGO	DRAGON TREE	12" BOX VL	28'X20'	
6	20	4	8	8	8	8
7	3	FRAXUS ILLICOPIA LYONI	CATALINA CHERRY	24" BOX L	50'X30'	
8	15	QUERCUS BERBERIDIFOLIA	CALIFORNIA SYCAMORE	24" BOX H	60'X30'	
9	11	QUERCUS AGRIIFOLIA	COAST LIVE OAK	24" BOX VL	30'X40'	
10	11	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX VL	20'X30'	
11	4	QUERCUS ENDELHANNI	ENDELHANN OAK	24" BOX VL	30'X40'	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	15	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X35'	
2	6	BRAHEA EDULIS	GUADALUPE PALM	4" B.T.H. L	28'X35'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DIMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTIA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ERIOGONUM FAGGOLATUM VAR. TOLICLOSUM	CALIFORNIA BUGHEAT	1 GAL

PLANT SCHEDULE NORTH-EAST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	10	ACACIA ANERA	MILBA	36" BOX L	20'X	
2	6	ACACIA GILTRIFORIS	KNIFE ACACIA (STANDARD)	24" BOX L	20'X	
3	3	ARBUTUS X MARINA	STRAWBERRY TREE STD.	24" BOX L	28'X	
4	15	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX L	30'X	
5	5	LYONORHAMNUS F. ASPLENIFOLIS	CATALINA IRONWOOD	24" BOX L	38'X	
6	20	MELALEUCA NESOPHILA	PINK MELALEUCA	24" BOX L	20'X	
7	4	QUERCUS AGRIIFOLIA	COAST LIVE OAK	24" BOX VL	30'X	
8	5	QUERCUS ENDELHANNI	ENDELHANN OAK	24" BOX VL	30'X	
9	10	QUERCUS SUBER	CORK OAK	24" BOX L	30'X	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	1	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING L		
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	4	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X	
2	6	BRAHEA EDULIS	GUADALUPE PALM	4" B.T.H. L	28'X	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
DIANELLA R. LITTLE REY	FLAX LILY	1 GAL
LEUCOSPHEMUM BRANDI	BRANDI SKY-ROCKET PINESHORN	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTIA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
LAVANDULA PHOENIXAL 'NIG' AND LISA HARE	LAVENDER	1 GAL
ERIOGONUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUGHEAT	1 GAL

PLANT SCHEDULE NORTH ZONE LIMITED HEIGHT PLANTING

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	3	ACACIA ANERA	MILBA	24" BOX L	20'X	
2	1	ACACIA GILTRIFORIS	KNIFE ACACIA (STANDARD)	24" BOX L	20'X	
3	4	ALOE VULGARIS	TREE ALICE	24" BOX L	28'X	
4	2	BRACHYTHON RUPESTRIS	GREENLAND BOTTLE TREE	24" BOX L	38'X	
5	1	BURSERA FAGARDCIES	FRAGRANT BURSERIA	15 GAL VL	6'X	
6	2	BURSERA MICROPHYLLA	ELPHANT TREE	15 GAL VL	12'X	
7	10	DRACAENA DRAGO	DRAGON TREE	48" BOX VL	28'X	
8	1	RHUS LANZEA	AFRICAN SAMAC	24" BOX L	30'X	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	1	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING L		
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	4	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X	
2	6	BRAHEA EDULIS	GUADALUPE PALM	4" B.T.H. L	28'X	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
FURCRAEA FOETIDA MEDITERRANEA	HAIRY HEMP	5 GAL
LEUCOSPHEMUM MICH GOLD	NOODLES PINESHORN	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
DIANELLA R. LITTLE REY	FLAX LILY	1 GAL
LEUCOSPHEMUM BRANDI	BRANDI SKY-ROCKET PINESHORN	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTIA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
LAVANDULA PHOENIXAL 'NIG' AND LISA HARE	LAVENDER	1 GAL
ERIOGONUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUGHEAT	1 GAL

PLANT SCHEDULE NORTH WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	1	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX L	30'X	
2	1	FRAXUS CANARIENSIS	CANARY ISLAND PINE	24" BOX L	60'X	
3	4	FRAXUS TORREYANA	TORREY PINE	15 GAL L	60'X	
4	5	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX VL	20'X	
5	6	QUERCUS TOBENTILLA	ISLAND LIVE OAK	24" BOX L	40'X	
6	2	RHUS LANZEA	AFRICAN SAMAC	24" BOX L	30'X	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT <td>H.X.S.</td> </td>	HEIGHT <td>H.X.S.</td>	H.X.S.
1	5	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING L		
2	2	FRAXUS PINEA	ITALIAN STONE PINE	EXISTING L		
3	5	FRAXUS RADIATA	MONTREY PINE	EXISTING H		

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
SMALL (3 FT. TO 6 FT.)		
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	SIZE
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED

PLANT SCHEDULE WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S.
1	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX L	30'X30'	
2	4	DRACAENA DRAGO	DRAGON TREE	24" BOX VL	28'X20'	
3	8	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX L	60'X30'	
4	8	PODOCARPUS BRACOLOR	PERN FINE	24" BOX H	40'X30'	
5	3	FRAXUS ILLICOPIA LYONI	CATALINA CHERRY	24" BOX L	50'X30'	
6	1	FRAXUS LANZEA	AFRICAN SAMAC	24" BOX L	50'X30'	
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT</td> <td>H.X.S.</td>	HEIGHT	H.X.S.
1	1	ACACIA SPECIES	EXISTING ACACIA	EXISTING L		
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE <td>HEIGHT</td> <td>H.X.S.</td>	HEIGHT	H.X.S.
1	2	BRAHEA ARHATA	MEXICAN BLUE PALM	4" B.T.H. L	35'X35'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HURD	DR. HURD MANZANTIA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANTIA	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL

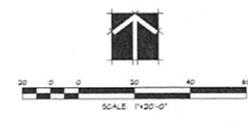
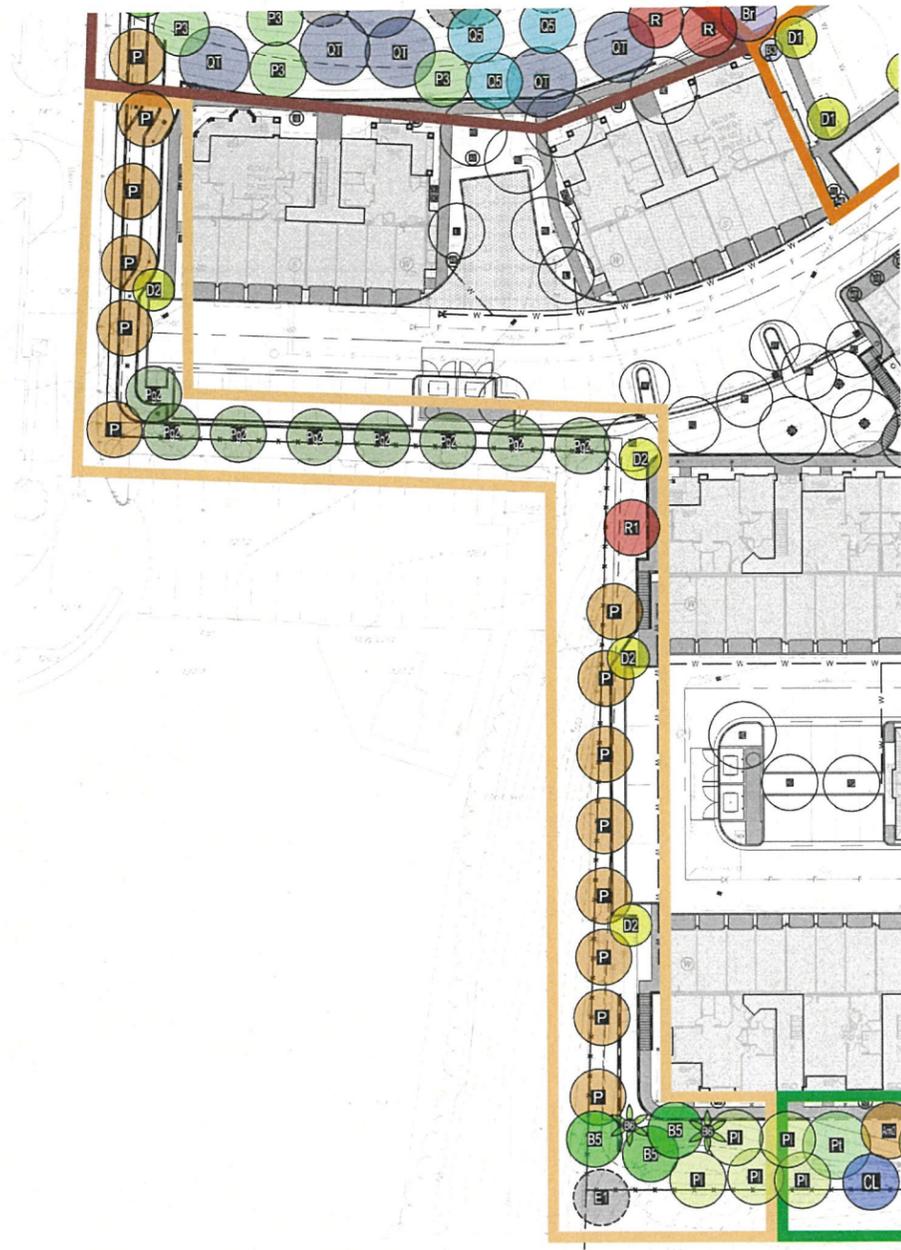
GROUNDCOVER

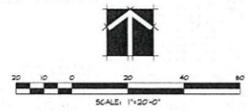
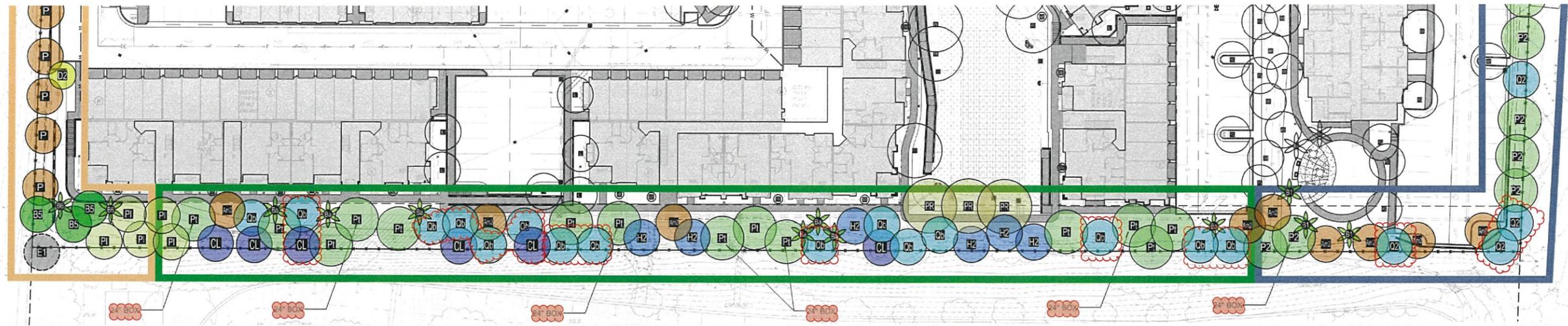
LATIN NAME	COMMON NAME	SIZE
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ROSMARINUS O. PROSTRATUS	PROSTRATE ROSEMARY	1 GAL

PLANT SCHEDULE WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	4	DRACAENA DRACO	DRAGON TREE	24" BOX	VL	25'X20'
	13	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'
	5	PODOCARPUS GRACILIOR	FERN PINE	24" BOX	M	40'X20'
	3	PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	24" BOX	L	30'X20'
	1	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	1	ACACIA SPECIES	EXISTING ACACIA	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	2	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'

SHRUBS		
LATIN NAME	COMMON NAME	
LARGE (11 FT. TO 18 FT.)		
ARCTOSTAPHYLOS MANZANITA 'DR. HIRD'	DR. HIRD MANZANITA	5 GAL.
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL.
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL.
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMENY	HOWARD MCMENY MANZANITA	5 GAL.
RAPIHOLEPIS L. SPRINGTIME	INDIAN HARTHORNE	5 GAL.
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL.
BOUGAINVILLEA BARBARA KARST	BARBARA KARST BOUGAINVILLEA	5 GAL.
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL.
GRASS/COVERS		
LATIN NAME	COMMON NAME	
BACCHARIS PILLARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ROSHARUNUS C. PROSTRATUS	PROSTRATE ROSEMARY	1 GAL.





PLANT SCHEDULE SOUTH ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	M/GOLS	H.X.S	DETAIL
	4	ARBUTUS X MARINA	STRAWBERRY TREE STD.	36" BOX	L	25'X25'	
	6	CHILOPSIS LINEARIS	DESERT MILLOW	24" BOX	VL	25'X20'	
	6	HESPEROCYPARIS FORBESII	TEGATE CYPRESS	24" BOX	VL	25'X20'	
	8	PINUS TORREYANA	TORREY PINE	15 GAL 24" BOX	L	60'X50'	
	3	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	M	60'X30'	
	2	PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	24" BOX	L	30'X20'	
	15	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	M/GOLS	H.X.S	DETAIL
	7	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'	

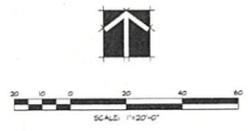
SHRUBS		
LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 8 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HARD	DR. HARD MANZANITA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEAK YUCCA	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MOHNN	HOWARD MOHNN MANZANITA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRATA	CORAL ALOE	5 GAL
CEANOTHUS CONCHA	CONCHA WILD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL
BACCHARIS PILLULARIS	DWARF GOYOTE BRUSH	PLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	
ERIOSOUM FABOGLIATUM VAR. POLILOLOM	CALIFORNIA BUCKWHEAT	1 GAL



PLANT SCHEDULE EAST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H X S
	2	ARAUCARIA COLUMNARIS	COOK PINE	24" BOX	M	80'X20'
	5	ARBUTUS X MARINA'	STRAWBERRY TREE STD.	24" BOX	L	25'X25'
	6	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI	15 GAL	L	18'X15'
	2	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	VL	25'X20'
	4	DRACAENA DRAGO	DRAGON TREE	12" BOX	VL	25'X20'
	2	PINUS TORREYANA	TORREY PINE	15 GAL 24" BOX	L	60'X50'
	5	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	M	60'X30'
	17	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	VL	50'X40'
	11	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'
	4	QUERCUS ENGELMANNII	ENGELMANN OAK	24" BOX	VL	50'X40'
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H X S
	13	BRAHEA ARMATA	MEXICAN BLUE PALM	4" B.T.H.	L	35'X15'
	6	BRAHEA EDULIS	GUADALUPE PALM	4" B.T.H.	L	25'X15'

SHRUBS		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS MANZANTA DR. HARD	DR. HARD MANZANTA	5 GAL
HETEROMELES ARZUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DUMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONACE BERRY	5 GAL
MEDIUM (8 FT. TO 10 FT.)		
ALOE ARBORESCENS	TORCH ALOE	5 GAL
AGAVE ATTENUATA	AGAVE	5 GAL
AGAVE VILCHORIANA	OCOTILUS AGAVE	5 GAL
YUCCA ROSTRATA (BLUE) (8 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE SPICATA	CORAL ALOE	5 GAL
ARCTOSTAPHYLOS Densiflora HOWARD MOHRN	HOWARD MOHRN MANZANTA	5 GAL
BOUBANVILLEA BARBARA KARST	BARBARA KARST BOUBANVILLEA	5 GAL
GEORGIAS GONCHA	GONCHA MILD LILAC	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL
SEMOGLOIDES		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTA	1 GAL
DACYDIUM PILLARS	SMART GOYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
PROSOPIS GRANDE VAR. BESSENERI	SAN MATEO ISLAND BEANWART	5 GAL





PLANT SCHEDULE NORTH-EAST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H X S
	10	ACACIA ANEURA	MULGA	36" BOX	L	20'X15'
	6	ACACIA GULTRIFORMIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X15'
	3	AREBUTUS X MARINA	STRAWBERRY TREE STD.	36" BOX	L	25'X25'
	18	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	5	LYONOTHAMNUS F. ASPLENIFOLIUS	CATALINA IRONWOOD	24" BOX	L	35'X20'
	20	MELALEUCA NESOPHILA	PINK MELALEUCA	24" BOX	L	20'X15'
	4	QUERCUS ASRIFOLIA	COAST LIVE OAK	36" BOX	VL	50'X40'
	5	QUERCUS ENGELMANNII	ENGELMANN OAK	36" BOX	VL	50'X40'
	10	QUERCUS SUBER	CORK OAK	24" BOX 36" BOX	L	50'X40'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H X S
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H X S
	4	BRAHEA ARMATA	MEXICAN BLUE PALM	4" B.T.H.	L	35'X15'
	8	BRAHEA EDULIS	GUADALUPE PALM	4" B.T.H.	L	25'X15'

SHRUBS	LATIN NAME	COMMON NAME	QTY
LARGE (1 FT. TO 10 FT.)	ARCTOSTAPHYLOS MANZANITA DR. HIRD	DR. HIRD MANZANITA	5 GAL.
MEDIUM (6 FT. TO 10 FT.)	FURCRAEA FOETIDA MEDIOPICTA	HAIRY HEMP	5 GAL.
	LEDICADENDRON HIGH GOLD	WEDDING PINKISH	5 GAL.
SMALL (3 FT. TO 6 FT.)	ALOE STRIATA	CORAL ALOE	5 GAL.
	ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMANN	HOWARD MCMANN MANZANITA	1 GAL.
	BOUGAINVILLEA BARBARA KARST	BARBARA KARST BOUGAINVILLEA	5 GAL.
	CEANOTHUS CONCHA	CONCHA WILD LILAC	5 GAL.
	DIANELLA R. LITTLE RED	FLAX LILY	1 GAL.
	LEDICOSPERMUM BRANDT	BRANDT SKY-ROCKET PINKISH	5 GAL.
GROUNDCOVERS	LATIN NAME	COMMON NAME	QTY
	ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL.
	BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
	CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
	LAVANDULA PHEOCHAL NIKO AND LISA HARE	LAVENDER	1 GAL.
	ERIGONUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	1 GAL.

PLANT SCHEDULE NORTH ZONE LIMITED HEIGHT PLANTING

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W/COLS	H X S
	3	ACACIA ANEURA	MULGA	24" BOX	L	20'X15'
	1	ACACIA CULTRIFORMIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X15'
	4	ALOE HERCULES	TREE ALOE	24" BOX	L	25'X10'
	2	BRACHYCHITON RUPESTRIS	QUEENSLAND BOTTLE TREE	24" BOX	L	35'X20'
	1	BURSERA FAGAROIDES	FRAGRANT BURSERA	15 GAL	VL	6'X15'
	2	BURSERA MICROPHYLLA	ELEPHANT TREE	15 GAL	VL	12'X8'
	10	DRACAENA DRACO	DRAGON TREE	48" BOX	VL	25'X20'
	1	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W/COLS	H X S
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W/COLS	H X S
	4	BEAUJARNEA RECURVATA	PONY TAIL PALM	15 GAL	L	20'X10'

SHRUBS		
LATIN NAME	COMMON NAME	
MEDIUM (6 FT. TO 10 FT.)		
YUCCA ROSTRATA (BLUE)	BIG BEED YUCCA	5 GAL.
SMALL (3 FT. TO 6 FT.)		
BOUGAINVILLEA BARBARA KARST	BARBARA KARST BOUGAINVILLEA	5 GAL.
KALANCHOE EDHARENSIS	TELT BUSH	5 GAL.
ALOES		
ALOE FEROX	CAPE ALOE	15 GAL.
AGAVES		
AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL.
AGAVE ATTENUATA	AGAVE	5 GAL.
AGAVE A. 'BLUE SLOW'	BLUE AGAVE	5 GAL.
YUCCAS		
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
DASYLIRION WHEELERI	DESERT SPOON	5 GAL.
GROUNDCOVER		
LATIN NAME	COMMON NAME	
ARGOSTEMMOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL.
BACCHARIS PILLULARIS	DWARF GOYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	1 GAL.
ERIOSOMM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	1 GAL.
SENEGIO (LARGE BLUE VARIETY)	BLUE CHALKSTICKS	FLATS
LAVANILLA PHENOMENAL 'NKO' AND 'LISA MARIE'	LAVENDER	1 GAL.

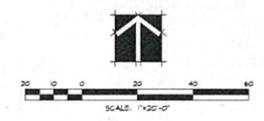
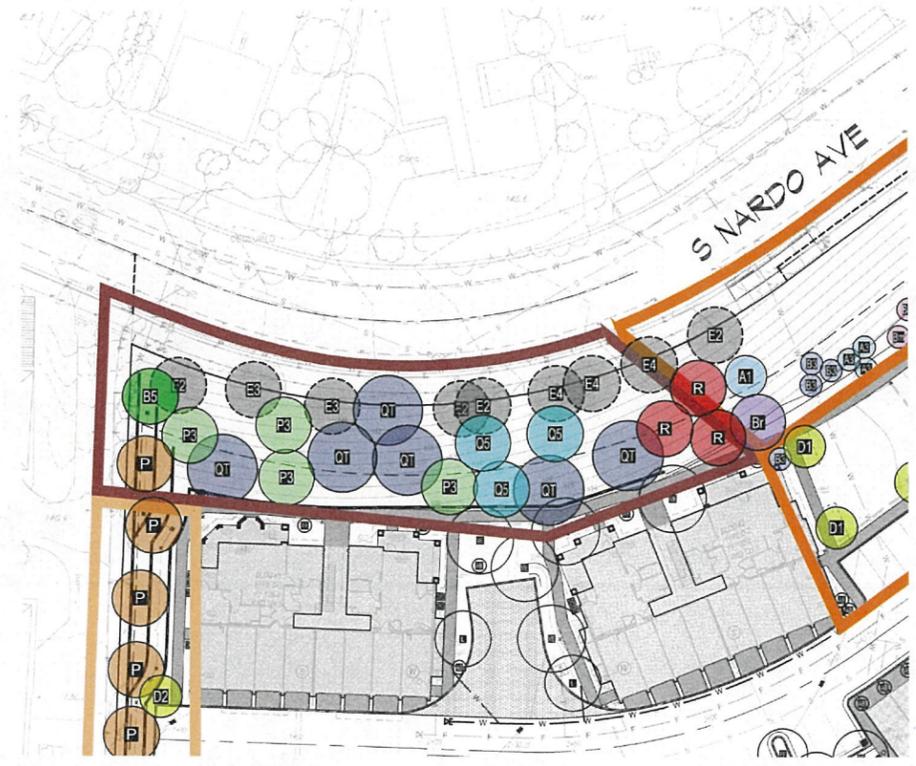


PLANT SCHEDULE NORTH WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MULCH	H X S
	1	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'
	4	PINUS TORREYANA	TORREY PINE	15 GAL	L	60'X50'
	3	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'
	6	QUERCUS TOMENTELLA	ISLAND LIVE OAK	24" BOX	L	40'X30'
	2	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'

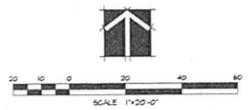
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MULCH	H X S
	3	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
	2	PINUS PINEA	ITALIAN STONE PINE	EXISTING	L	
	3	PINUS RADIATA	MONTEREY PINE	EXISTING	M	

SHRUBS		
LATIN NAME	COMMON NAME	
LARGE (11 FT. TO 18 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD	DR. HIRD MANZANITA	5 GAL.
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL.
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.
MEDIUM (8 FT. TO 10 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL.
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCMINN	HOWARD MCMINN MANZANITA	5 GAL.
SMALL (3 FT. TO 6 FT.)		
BOUSSAINVILLEA BARBARA KARST	BARBARA KARST BOUSSAINVILLEA	5 GAL.
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL.
SEEDS/COVER		
LATIN NAME	COMMON NAME	
BACCHARIS PILLULARIS	CHARY COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		
		SEED



FINAL LANDSCAPE PLAN 12-20-2021

FULL SIZE DRAWINGS WILL BE PRESENTED SEPARATELY



PLANT SCHEDULE WEST ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'	
2	4	DRACAENA DRAGO	DRAGON TREE	24" BOX	VL	28'X20'	
3	15	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'	
4	3	PODOCARPUS BRACGLIOR	FERNI PINE	24" BOX	H	40'X20'	
5	3	FRAXUS ILEXIFOLIA LYONI	CATALINA CHERRY	24" BOX	L	50'X20'	
6	1	PINUS LANCEA	AFRICAN SHAG	24" BOX	L	50'X20'	
EXIST. TREES							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
1	ACACIA SPECIES	EXISTING ACACIA	EXISTING	L			
PALMS							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
2	BRAVEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	55'X5'		

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ASAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	5 GAL
RAPHOLEPIS I. SPRINGTIME	INDIAN HANTHORNE	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	FLATS
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED
ROSMARINUS C. PROSTRATUS	PROSTRATE ROSEMARY	1 GAL

PLANT SCHEDULE SOUTH ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	4	ARELUTIS X MARINA'	STRAWBERRY TREE STD.	24" BOX	L	28'X20'	
2	6	CHELOPSIS LINEARIS	DESERT WILLOW	24" BOX	VL	28'X20'	
3	6	HEPEROCYPARIS FORBESII	TECATE CYPRESS	24" BOX	VL	28'X20'	
4	8	PINUS TORREYANA	TORREY PINE	15 GAL 24" BOX	L	60'X20'	
5	3	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	H	60'X20'	
6	2	FRAXUS ILEXIFOLIA LYONI	CATALINA CHERRY	24" BOX	L	50'X20'	
7	15	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
8	1	BRAVEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	55'X5'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DUMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ASAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED
ERIOSOUM PASGUALTAM VAR. FOLIOLOSUM	CALIFORNIA BUCKWHEAT	1 GAL

PLANT SCHEDULE EAST ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	2	ARAUCARIA COLUMNARIS	COOK PINE	24" BOX	H	80'X20'	
2	5	ARELUTIS X MARINA'	STRAWBERRY TREE STD.	24" BOX	L	28'X20'	
3	6	QUERCUS OCCIDENTALIS	WESTERN REDBUD MULTI	15 GAL	L	18'X20'	
4	2	CHELOPSIS LINEARIS	DESERT WILLOW	24" BOX	VL	28'X20'	
5	4	DRACAENA DRAGO	DRAGON TREE	24" BOX	VL	28'X20'	
6	20	PINUS TORREYANA	TORREY PINE	15 GAL 24" BOX	L	60'X20'	
7	3	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	H	60'X20'	
8	11	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	VL	50'X40'	
9	1	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
10	4	QUERCUS ENHELHANNI	ENHELHANN OAK	36" BOX	VL	50'X40'	
11	15	BRAVEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	55'X5'	
12	6	BRAVEA EDULIS	GUADALUPE PALM	4' B.T.H.	L	28'X5'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DUMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ASAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED
ERIOSOUM PASGUALTAM VAR. FOLIOLOSUM	CALIFORNIA BUCKWHEAT	1 GAL

PLANT SCHEDULE NORTH-EAST ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	10	ACACIA ANERA	MILBA	36" BOX	L	20'X	
2	6	ACACIA GULTRIFORIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X	
3	5	ARELUTIS X MARINA'	STRAWBERRY TREE STD.	24" BOX	L	28'X20'	
4	15	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'	
5	5	LYONOTMANNUS F. ASPLENIFOLIS	CATALINA IRONWOOD	36" BOX	L	55'X20'	
6	20	MELALIBICA NESOPHILA	PIK MELALIBICA	24" BOX	L	20'X	
7	4	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	VL	50'X20'	
8	5	QUERCUS ENHELHANNI	ENHELHANN OAK	36" BOX	VL	50'X20'	
9	10	QUERCUS SIEBER	CORK OAK	24" BOX 36" BOX	L	50'X20'	
10	1	BRAVEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	55'X5'	
11	6	BRAVEA EDULIS	GUADALUPE PALM	4' B.T.H.	L	28'X5'	

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
FRURACA FOETIDA MEXICOPETA'	MURITUS HEMP	5 GAL
LEUCADENDRON HIGH GOLD'	NOODING FIGLISHON	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	1 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS 'CONCHA'	CONCHA WILD LILAC	5 GAL
DIANELLA R. LITTLE REY	FLAX LILY	1 GAL
LEUCOSPERMUM BRANDT	BRANDT SKY-ROCKET FIGLISHON	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED
LAVANDULA PHENOMENAL NIKO' AND LISA HARE	LAVENDER	1 GAL
ERIOSOUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	1 GAL

PLANT SCHEDULE NORTH WEST ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'	
2	1	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'	
3	4	PINUS TORREYANA	TORREY PINE	15 GAL	L	60'X20'	
4	3	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
5	6	QUERCUS TOBENTILLA	ISLAND LIVE OAK	24" BOX	L	40'X20'	
6	2	RHUS LANCEA	AFRICAN SHAG	24" BOX	L	50'X20'	
EXIST. TREES							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
5	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L			
2	FRAXUS PINEA	ITALIAN STONE PINE	EXISTING	L			
3	FRAXUS RADIATA	MONTREY PINE	EXISTING	H			

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ASAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	5 GAL
SMALL (3 FT. TO 6 FT.)		
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL

GROUNDCOVER

LATIN NAME	COMMON NAME	FLATS
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED

PLANT SCHEDULE NORTH ZONE LIMITED HEIGHT PLANTING

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	3	ACACIA ANERA	MILBA	36" BOX	L	20'X20'	
2	1	ACACIA GULTRIFORIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X20'	
3	4	ALOE VERCILLES	TREE ALOE	24" BOX	L	28'X20'	
4	2	BRACHYGLOCH RUPESTRIS	GREENLAND BOTTLE TREE	24" BOX	L	38'X20'	
5	1	BURSERA FAGAROCIDES	FRAGRANT BURSERIA	15 GAL	VL	6'X5'	
6	2	BURSERA MICROPHYLLA	ELPHANT TREE	15 GAL	VL	12'X5'	
7	10	DRACAENA DRAGO	DRAGON TREE	48" BOX	VL	28'X20'	
8	1	RHUS LANCEA	AFRICAN SHAG	24" BOX	L	50'X20'	
EXIST. TREES							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
1	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L			
PALMS							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
4	BRAVEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	55'X5'		
6	BRAVEA EDULIS	GUADALUPE PALM	4' B.T.H.	L	28'X5'		

PLANT SCHEDULE NORTH WEST ZONE

TRUSS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS
1	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'	
2	1	FRAXUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'	
3	4	FRAXUS TORREYANA	TORREY PINE	15 GAL	L	60'X20'	
4	3	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
5	6	QUERCUS TOBENTILLA	ISLAND LIVE OAK	24" BOX	L	40'X20'	
6	2	RHUS LANCEA	AFRICAN SHAG	24" BOX	L	50'X20'	
EXIST. TREES							
QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	H.X.S	IS	
5	FRAXUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L			
2	FRAXUS PINEA	ITALIAN STONE PINE	EXISTING	L			
3	FRAXUS RADIATA	MONTREY PINE	EXISTING	H			

SHRUBS

LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD'	DR. HIRD MANZANITA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ASAVE ATTENUATA	ASAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MCHINN'	HOWARD MCHINN MANZANITA	5 GAL
SMALL (3 FT. TO 6 FT.)		
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HEPERALOE PARVIFOLIA	RED YUCCA	5 GAL

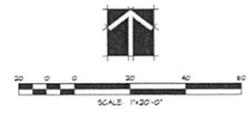
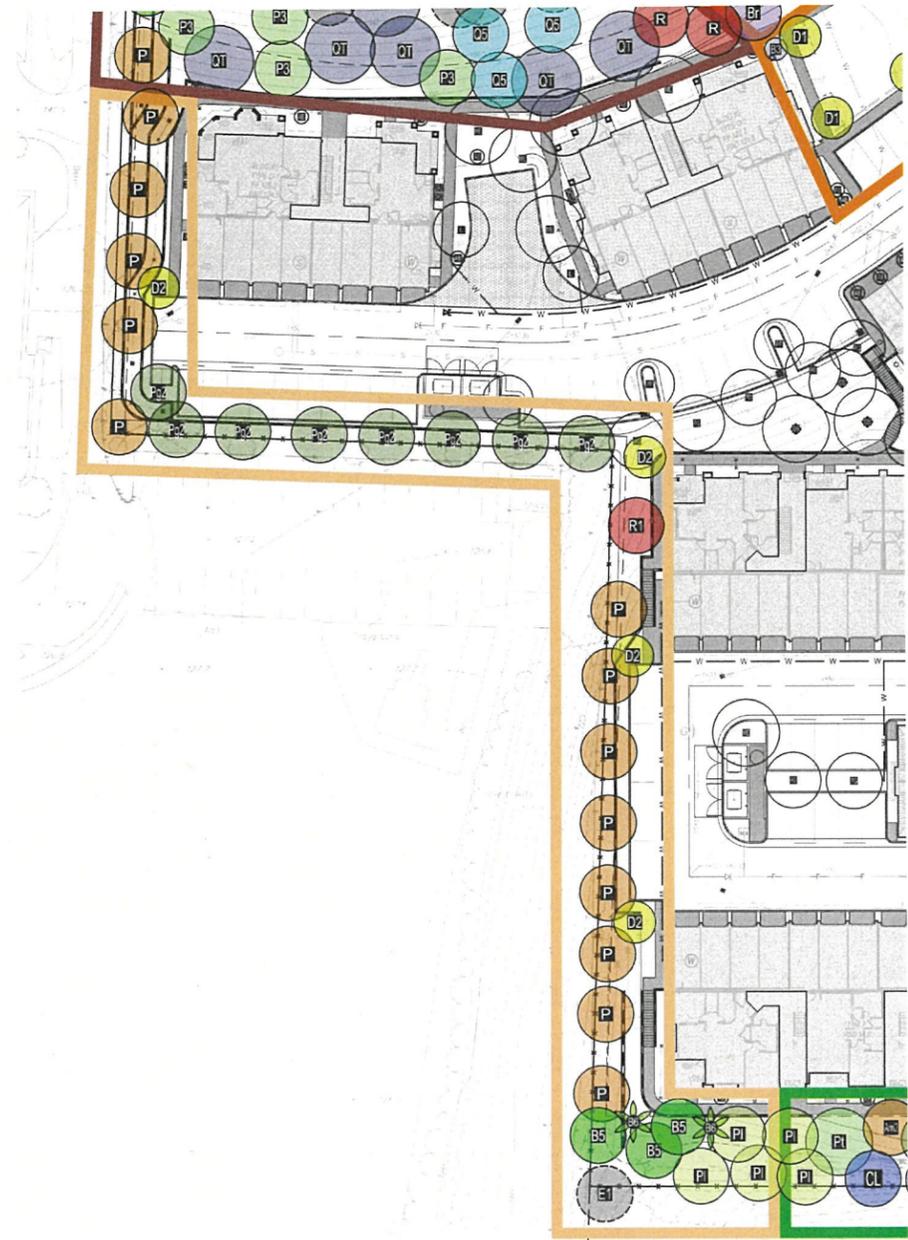
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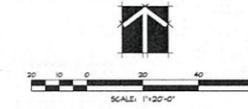
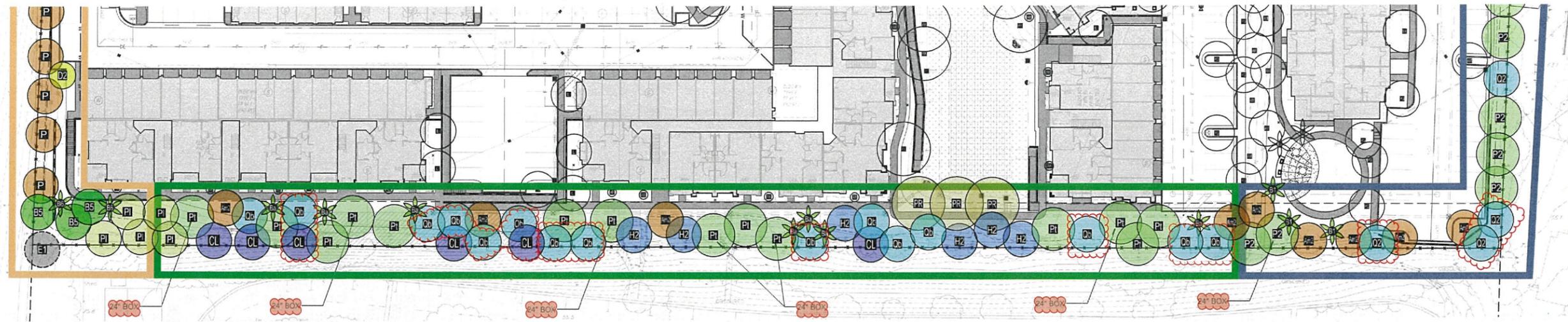
LATIN NAME	COMMON NAME	FLATS
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	SEED

PLANT SCHEDULE WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	3	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	4	DRACAENA DRACO	DRAGON TREE	24" BOX	VL	25'X20'
	13	PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX	L	60'X20'
	6	PODOCARPUS GRACILIOR	FERN PINE	24" BOX	M	40'X20'
	3	PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	24" BOX	L	30'X20'
	1	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	1	ACACIA SPECIES	EXISTING ACACIA	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MUGOLS	H.X.S
	2	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'

SHRUBS		
LATIN NAME	COMMON NAME	
LARGE (1 FT. TO 10 FT.)		
ARCTOSTAPHYLOS MANZANITA 'DR. HURD'	DR. HURD MANZANITA	5 GAL.
HETEROMELES AERUTIFOLIA	TOYON TREE	5 GAL.
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL.
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMIN'	HOWARD MCMIN MANZANITA	5 GAL.
RAPHIOLEPIS 'L. SPRINGTIME'	INDIAN HAWTHORNE	5 GAL.
SMALL (3 FT. TO 6 FT.)		
ALOE STRIATA	CORAL ALOE	5 GAL.
BOUISANVILLEA 'BARBARA KARST'	BARBARA KARST DOUGAINVILLEA	5 GAL.
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL.
GROUNDCOVER		
LATIN NAME	COMMON NAME	
BACCHARIS PILLULARIS	DIWART COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		SEED
ROSMARINUS O. PROSTRATUS	PROSTRATE ROSEMARY	1 GAL.





PLANT SCHEDULE SOUTH ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	M/COLS	H.X.S	DETAIL
	4	AREBUTUS X MARINA	STRAWBERRY TREE STD.	36" BOX	L	25'X25'	
	6	CHILOPSIS LINEARIS	DESERT MILLOW	24" BOX	VL	25'X20'	
	6	HESPEROCYPARIS FORBESII	TEGATE CYPRESS	24" BOX	VL	25'X20'	
	8	PINUS TORREYANA	TORREY PINE	15 GAL 24" BOX	L	60'X50'	
	3	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	M	60'X30'	
	2	PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	24" BOX	L	30'X20'	
	15	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	M/COLS	H.X.S	DETAIL
	7	ERAHEA ARMATA	MEXICAN BLUE PALM	4" B.T.H.	L	35'X15'	

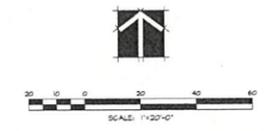
SHRUBS		
LATIN NAME	COMMON NAME	SIZE
LARGE (8 FT. TO 18 FT.)		
ARCTOSTAPHYLOS MANZANTIA DR. HARD	DR. HARD MANZANTA	5 GAL
HETEROMELES ARBUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DUMOSA	SCRUB OAK	5 GAL
RHUS INTERFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MOHNI	HOWARD MOHNI MANZANTA	5 GAL
YUCCA ROSTRATA (BLUE) (8 FT.)	BIG BEND YUCCA	5 GAL
SMALL (2 FT. TO 6 FT.)		
ALOE STRATA	CORAL ALOE	5 GAL
CEANOTHUS CONCHA	CONCHA YELD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	SIZE
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTA	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	
ERIOSOMUM PACIFICUM VAR. TOLLOSUM	CALIFORNIA BUCKWHEAT	1 GAL



PLANT SCHEDULE EAST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLUGS	H.X.S
	2	ARAUCARIA COLUMNARIS	COOK PINE	24' BOX	M	80'X20'
	5	ARBUTUS X MARINA'	STRAWBERRY TREE STD.	36' BOX	L	25'X25'
	6	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI	15 GAL	L	18'X15'
	2	CHILOPSIS LINEARIS	DESERT WILLOW	24' BOX	VL	25'X20'
	4	DRACAENA DRAGO	DRAGON TREE	12' BOX	VL	25'X20'
	25	PINUS TORREYANA	TORREY PINE	15 GAL 36' BOX	L	60'X30'
	5	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36' BOX	M	60'X30'
	17	QUERCUS AGRIFOLIA	COAST LIVE OAK	36' BOX	VL	50'X40'
	11	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24' BOX	VL	20'X20'
	4	QUERCUS ENGELMANNII	ENGELMANN OAK	36' BOX	VL	50'X40'
	13	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'
	6	BRAHEA EDULIS	SJADALUPE PALM	4' B.T.H.	L	25'X15'

LATIN NAME	COMMON NAME	QTY
LARGE (8 FT. TO 18 FT.)		
ARCTOSTAPHYLOS MANZANITA DR. HIRD	DR. HIRD MANZANITA	5 GAL
HETEROMELES ARBUTIFOLIA	TOYON TREE	5 GAL
QUERCUS DUMOSA	SCRUB OAK	5 GAL
RHUS INTEGRIFOLIA	LEMONACE BERRY	5 GAL
MEDIUM (6 FT. TO 10 FT.)		
ALICE ARBORESCENS	TORCH ALICE	5 GAL
AGAVE ATTENUATA	AGAVE	5 GAL
AGAVE VILHORNIANA	OCTOPUS AGAVE	5 GAL
YUCCA ROSTRATA (BLUE) (6 FT.)	BIG BEND YUCCA	5 GAL
SMALL (3 FT. TO 6 FT.)		
ALICE SPREATA	CORAL ALICE	5 GAL
ARCTOSTAPHYLOS DENSIFLORA HOWARD MOHRN	HOWARD MOHRN MANZANITA	5 GAL
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
CEANOTHUS SONCHIA	GONCHA MILD LILAC	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL
GROUNDCOVERS		
LATIN NAME	COMMON NAME	QTY
ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL
DIACORPUS PILLARIS	DIARY GOYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	
PROSOPIS GRANDIS VAR. REBESCHENSIS	SAN MARCO ISLAND BEANMEAT	1 GAL





PLANT SCHEDULE NORTH-EAST ZONE

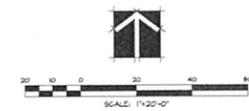
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLUGS	H X S
	10	ACACIA ANEURA	MULGA	36" BOX	L	20'X15'
	6	ACACIA CULTRIFORMIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X15'
	5	AREBUTUS X MARINA	STRAWBERRY TREE STD.	36" BOX	L	25'X25'
	18	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	5	LYONOTHAMNUS F. ASPLENIFOLIUS	CATALINA IRONWOOD	24" BOX	L	35'X20'
	20	MELALEUCA NESOPHILA	PINK MELALEUCA	24" BOX	L	20'X15'
	4	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	VL	50'X40'
	5	QUERCUS ENGELMANNII	ENGELMANN OAK	36" BOX	VL	50'X40'
	10	QUERCUS SUBER	CORK OAK	24" BOX 36" BOX	L	50'X40'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLUGS	H X S
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLUGS	H X S
	4	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'
	8	BRAHEA EDULIS	GUADALUPE PALM	4' B.T.H.	L	25'X15'

SHRUBS	LATIN NAME	COMMON NAME	QTY
LARGE (1 FT. TO 10 FT.)			
ARGYTOSTAPHYLOS MANZANTA 'DR. HIRD'	DR. HIRD MANZANTA	5 GAL	
MEDIUM (6 FT. TO 10 FT.)			
MURDEREA FOETIDA MEXICANA	HAIRY HEMP	5 GAL	
LEUCADENDRON HIGH GOLD	NOODLES PRUNISON	5 GAL	
SMALL (3 FT. TO 6 FT.)			
ALOE STRIATA	CORAL ALOE	5 GAL	
ARGYTOSTAPHYLOS DENSIFLORA HOWARD MCMANN	HOWARD MCMANN MANZANTA	1 GAL	
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL	
CEANOETHUS CONCHA	CONCHA WILD LILAC	5 GAL	
DIANELLA R. LITTLE REY	FLAX LILY	1 GAL	
LEUCOSPERMUM BRANDI	BRANDI SKY-ROCKET PRUNISON	5 GAL	
GROUNDCOVER			
LATIN NAME	COMMON NAME	QTY	
ARGYTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANTA	1 GAL	
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS	
CALIFORNIA NATIVE MELALEUCA AND CALIFORNIA NATIVE POLLINATOR PLANTS			
LAVANDULA PENDERGAL 'NIKO' AND 'LISA HARE'	LAVENDER	1 GAL	
ERIGONUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	1 GAL	

PLANT SCHEDULE NORTH ZONE LIMITED HEIGHT PLANTING

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W.COLS	H.X.S
	3	ACACIA ANEURA	MULGA	24" BOX	L	20'X15'
	1	ACACIA CULTRIFORMIS	KNIFE ACACIA (STANDARD)	24" BOX	L	20'X15'
	4	ALOE HERCULES	TREE ALOE	24" BOX	L	25'X10'
	2	BRACHYCHITON RUPESTRIS	QUEENSLAND BOTTLE TREE	24" BOX	L	35'X20'
	1	BURSERA FAGAROIDES	FRAGRANT BURSERA	15 GAL	VL	6'X5'
	2	BURSERA MICROPHYLLA	ELEPHANT TREE	15 GAL	VL	12'X8'
	10	DRACAENA DRACO	DRAGON TREE	48" BOX	VL	25'X20'
	1	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W.COLS	H.X.S
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
PALMS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	W.COLS	H.X.S
	4	BEAUJARNEA RECURVATA	PONY TAIL PALM	15 GAL	L	20'X10'

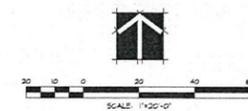
SHRUBS		
LATIN NAME	COMMON NAME	
MEDIUM (6 FT. TO 10 FT.)		
YUCCA ROSTRATA (BLUE)	BIG BIRD YUCCA	5 GAL.
SMALL (3 FT. TO 6 FT.)		
BOUGAINVILLEA BARBARA KARST	BARBARA KARST BOUGAINVILLEA	5 GAL.
KALANCHOE BEHARENSIS	FELT BUSH	5 GAL.
ALOE		
ALOE FEROX	CAPE ALOE	15 GAL.
AGAVES		
AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL.
AGAVE ATTENUATA	AGAVE	5 GAL.
AGAVE A. 'BLUE SLOW'	BLUE AGAVE	5 GAL.
YUCCAS		
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
DASYLIRION WHEELERI	DESERT SPOONS	5 GAL.
GROUNDCOVER		
LATIN NAME	COMMON NAME	
ARGOSTEPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	1 GAL.
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS	SEED	
ERIOSOMUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	1 GAL.
SENECIO (LARGE BLUE VARIETY)	BLUE CHALKSTICKS	FLATS
LAVANILLA PHENOMENAL 'NIKO' AND 'LISA MARIE'	LAVENDER	1 GAL.



PLANT SCHEDULE NORTH WEST ZONE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H.X.S
	1	BANKSIA INTEGRIFOLIA	COAST BANKSIA	24" BOX	L	50'X20'
	1	PINUS CANARIENSIS	CANARY ISLAND PINE	36" BOX	L	60'X20'
	4	PINUS TORREYANA	TORREY PINE	15 GAL	L	60'X50'
	3	QUERCUS BERBERIDIFOLIA	SCRUB OAK	24" BOX	VL	20'X20'
	6	QUERCUS TOMENTELLA	ISLAND LIVE OAK	24" BOX	L	40'X30'
	2	RHUS LANCEA	AFRICAN SUMAC	24" BOX	L	30'X20'
EXIST. TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	INCOLS	H.X.S
	3	PINUS CANARIENSIS	CANARY ISLAND PINE	EXISTING	L	
	2	PINUS PINEA	ITALIAN STONE PINE	EXISTING	L	
	3	PINUS RADIATA	MONTEREY PINE	EXISTING	M	

SHRUBS		
LATIN NAME	COMMON NAME	
LARGE (8 FT. TO 18 FT.)		
ARGOSTAPHYLOS MANZANTIA DR. HIRD	DR. HIRD MANZANTA	5 GAL
HETEROMELES AREUTIFOLIA	TOYON TREE	5 GAL
RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL
MEDIUM (6 FT. TO 12 FT.)		
AGAVE ATTENUATA	AGAVE	5 GAL
ARGOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANTA	5 GAL
SMALL (3 FT. TO 6 FT.)		
BOUSAINVILLEA BARBARA KARST	BARBARA KARST BOUSAINVILLEA	5 GAL
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL
GROUNDCOVER		
LATIN NAME	COMMON NAME	
BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLATS
CALIFORNIA NATIVE MILKWEED AND CALIFORNIA NATIVE POLLINATOR PLANTS		
		SEED



LANDSCAPE ARCHITECTURAL PLANS FOR: SOLANA HIGHLANDS APARTMENTS FOR H.G. FENTON COMPANY

GENERAL CONDITIONS SHORT FORM

PROTECTION OF LIFE AND PROPERTY

1. Contractor shall protect all construction and landscaping from damage and, when required, provide guards or covering. Any damage shall be repaired or replaced at the Contractor's expense. Contractors on the job shall carry the following insurance: (a) Worker's Compensation, (b) Public Comprehensive General Liability, and (c) Property Damage. In an emergency threatening the safety of life, work or adjoining property, the Contractor is hereby instructed to act at his discretion to prevent such loss or injury and shall maintain the following minimum liability insurance coverage during the contract period.

COVERAGE

Bodily Injury: \$250,000 per Individual, per Occurrence
Property Damage: \$100,000 per Occurrence, aggregate

2. The Contractor shall cause to be named as additional insured in such Contractor's Public Liability, Contractor's Protective Liability and Automobile Liability insurance policies the following: (a) H.G. Fenton, 1577 Mission Valley Road, Suite 200, San Diego, CA 92108. (b) GMP Inc., 4010 Sorrento Valley Blvd., Suite 200, San Diego, CA 92121.

3. Contractor shall not cause this policy to be canceled or permit it to lapse, and the insurance policy shall include a clause to the effect that the policy shall not, at any time during the construction period, be canceled or reduced, restricted or limited until fifteen (15) days after all additional insureds have received written notice as evidenced by returned receipts of registered or certified letters.

4. The Contractor agrees to hold the Owner and Landscape Architect harmless from any claims arising out of his operations of any of his sub contractors, material supplies, or agents.

5. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the contractor.

6. The contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The locations of utilities, structures and services shown in these plans are approximate only. Any discrepancies between these plans and actual field conditions shall be reported to the owner or landscape architect.

7. The contractor shall protect all existing utilities and features to remain on, and adjacent to, the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.

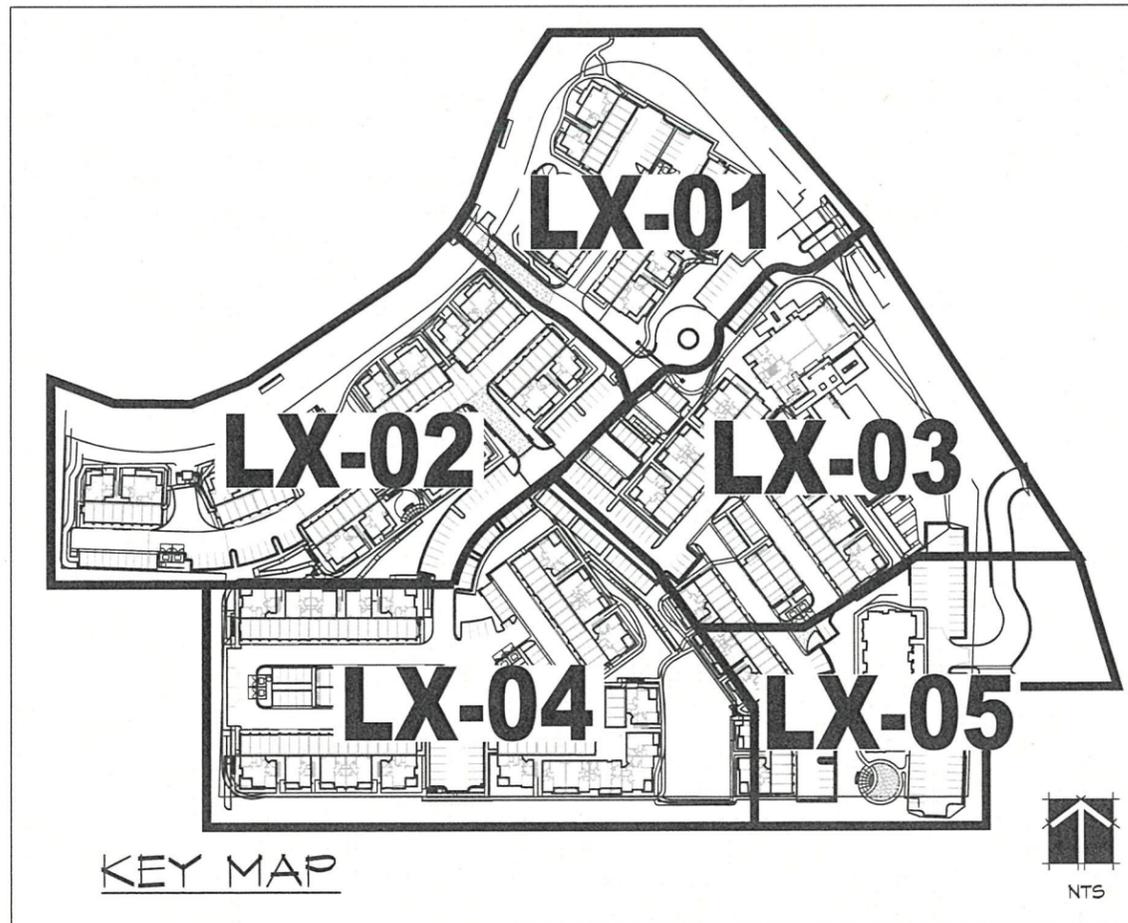
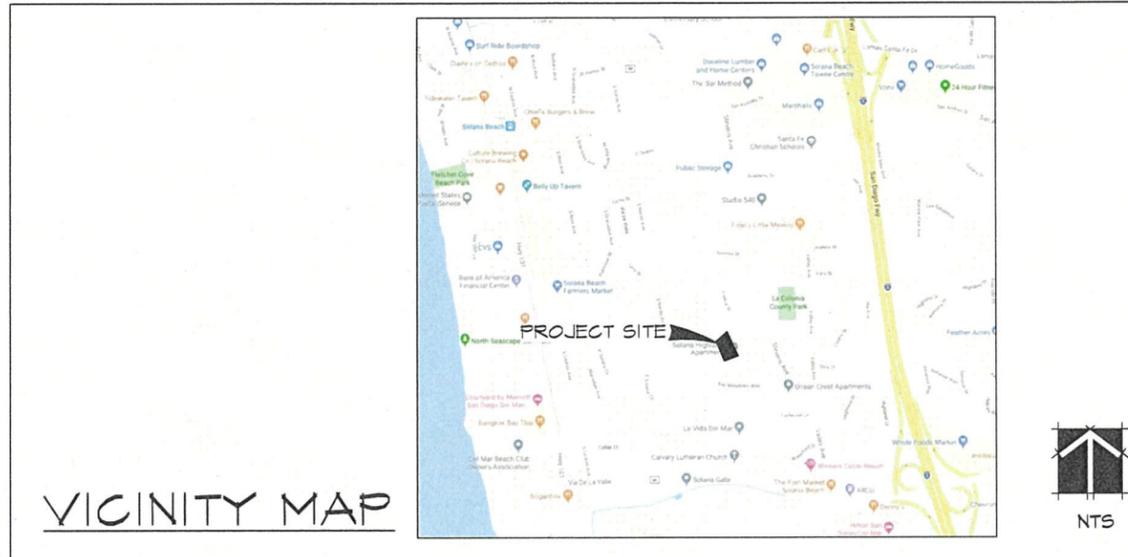
8. The contractor shall obtain the pertinent engineering and/or architectural plans before beginning work.

9. Permits for any construction depicted in these plans shall be obtained by the contractor.

10. Contractor shall have a valid contractors license required for the particular work being done. Contractor shall not allow the license(s) to lapse during the contract period.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



PLANS PREPARED FOR:

H.G. FENTON COMPANY
1577 MISSION VALLEY ROAD, SUITE 200
SAN DIEGO, CA 92108

PLANS PREPARED BY:

GMP, INC.
4010 SORRENTO VALLEY BLVD. SUITE 200
SAN DIEGO, CA 92121

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CONFORMANCE NOTE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SOLANA BEACH LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

LANDSCAPE INSPECTION NOTES

- A) A SITE INSPECTION SHALL BE PERFORMED BY THE RESPONSIBLE LANDSCAPE ARCHITECT TO CERTIFY COMPLIANCE WITH THE APPROVED EROSION CONTROL-LANDSCAPE PLAN. WRITTEN CERTIFICATION TO THE BUILDING DIRECTOR SHALL CERTIFY THAT THE SOILS, ADDITIVES AND AMENDMENTS, NEED CONTROL, PLANTING OF THE SLOPES AND INSTALLATION OF THE IRRIGATION SYSTEM COMPLIES WITH THE APPROVED EROSION CONTROL-LANDSCAPE PLAN. CERTIFICATION SHALL BE SUBMITTED AND APPROVED PRIOR TO CALLING FOR FINAL INSPECTION.
- 1) THE LANDSCAPE ARCHITECT SHALL CERTIFY INSTALLATION OF HYDROSEED ON AREAS REQUIRING SLOPE PLANTING. CERTIFICATION SHALL BE SUBMITTED PRIOR TO CALLING FOR A FINAL INSPECTION.
- 2) THE LANDSCAPE ARCHITECT SHALL CERTIFY INSTALLATION OF HYDROSEED ON AREAS REQUIRING SLOPE PLANTING. CERTIFICATION SHALL ALSO CONTAIN A STATEMENT AS TO THE GROWING STOCK VIABILITY, WHENEVER CONTAINER GROWN PLANT MATERIAL IS INSTALLED.
- 3) THE LANDSCAPE ARCHITECT CERTIFICATION SHALL CONTAIN A STATEMENT AS TO THE GROWING STOCK VIABILITY, WHENEVER CONTAINER GROWN PLANT MATERIAL IS INSTALLED.
- B) SLOPE PLANTING AND IRRIGATION SYSTEM INSTALLATION, CERTIFICATION BY THE LANDSCAPE ARCHITECT OF RECORD. A CERTIFICATE OF COMPLETION WILL BE SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT WITHIN 10 DAYS AFTER INSTALLATION, VERIFYING THAT THE LANDSCAPE AND IRRIGATION HAS BEEN INSTALLED PER THE APPROVED PLANS AS REQUIRED BY SECTION 86.122 OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE.

Underground Service Alert
Call:



TWO WORKING DAYS BEFORE YOU DIG
"CAUTION: Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The carrier will inform you of whom they will notify."

4010 Sorrento Valley Blvd.
Suite 200
San Diego, CA 92121
gmp@landarch.com
T 858 558 8977



SHEET TITLE:

TITLE SHEET

PROJECT CLIENT:

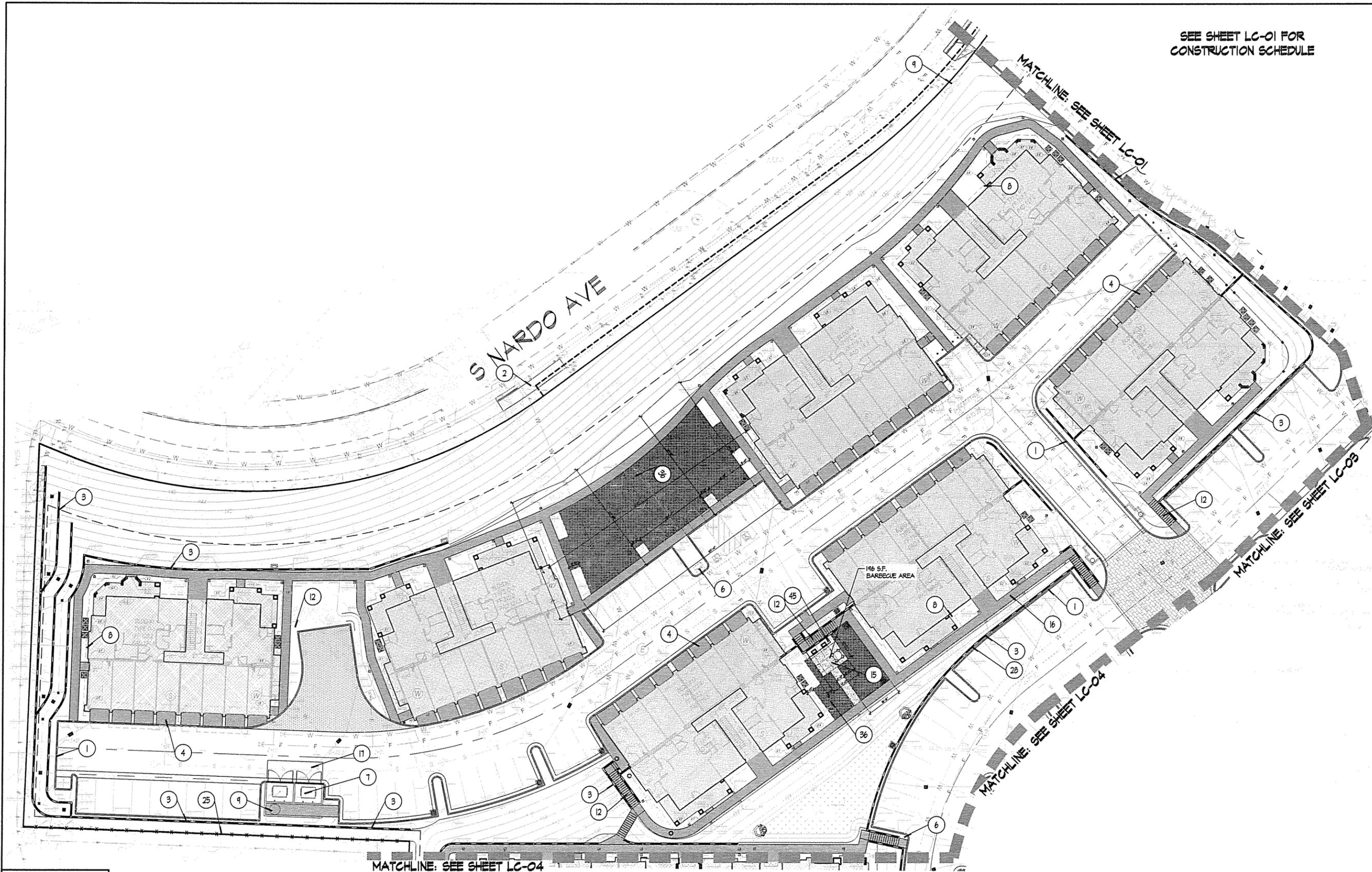
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
H.G. FENTON
SAN DIEGO, CA

REVISIONS

DRAWN: RS
APPROVED: MH
PLOT DATE: 12/20/2021
JOB NO.: 14-008-00
SCALE: SEE SHEET

TS-01

FILE NAME: G:\14-PROJECTS\14-006-CO\LAND\ARCH\CD-A\TSL14-006_C-SHT_AFTS.DWG



SEE SHEET LC-01 FOR CONSTRUCTION SCHEDULE

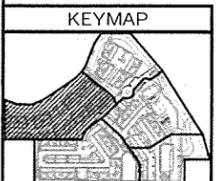
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MATCHLINE: SEE SHEET LC-03

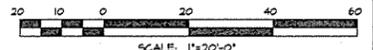
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MATCHLINE: SEE SHEET LC-04

146 SF BARBECUE AREA



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 12' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENIRCLE THE ROOT BALL.



Underground Service Alert
Call **811**
TWO WORKING DAYS BEFORE YOU DIG
*CAUTION: Remember that the USA Center notifies only those utilities belonging to the caller. There could be other utilities present at the work site. The caller will inform you of whom they will notify.

4000 Sacramento Valley Blvd
Suite 200
San Diego, CA 92121
SanDiegoArch.com
619.598.8977



SHEET TITLE:
CONSTRUCTION PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
16 FENTON
SAN DIEGO, CA

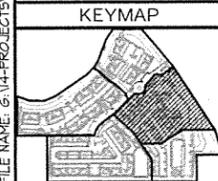
REVISIONS

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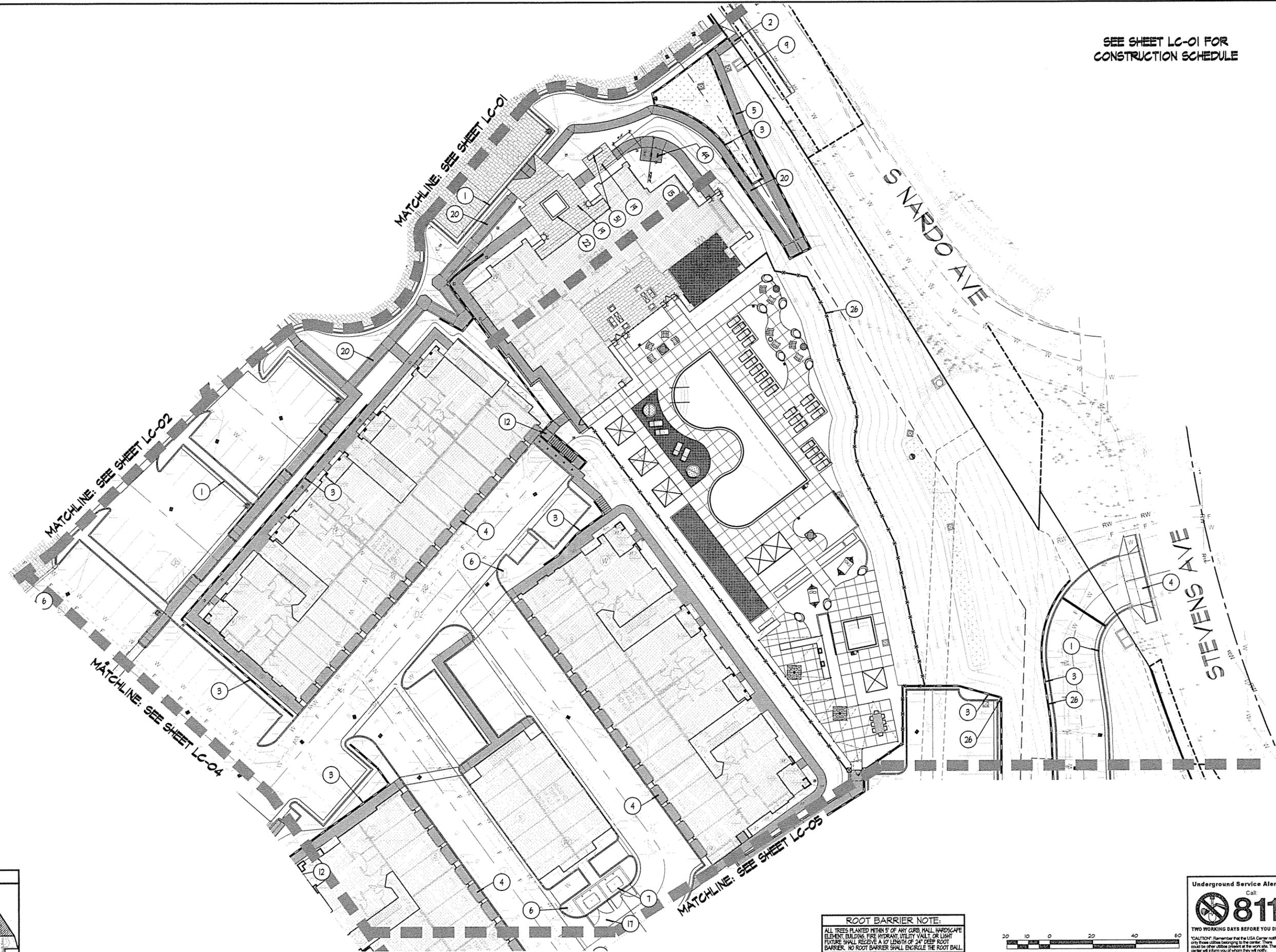
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JOB NO.: 14-006-00
SCALE: SEE SHEET

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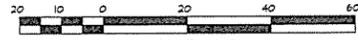
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SEE SHEET LC-01 FOR
CONSTRUCTION SCHEDULE



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, HALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENIRCLE THE ROOT BALL.



Underground Service Alert
Call: **811**
TWO WORKING DAYS BEFORE YOU DIG
"CAUTION" Remember that the USA Center notifies only those utilities belonging to the carrier. There could be other utilities present at the work site. The carrier will inform you of whom they will notify.

4000 Silverado Valley Blvd
Suite 200
San Diego, CA 92121
info@gmp.com
Tel: 619.598.8977



SHEET TITLE:
CONSTRUCTION PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
HG FENTON
SAN DIEGO, CA

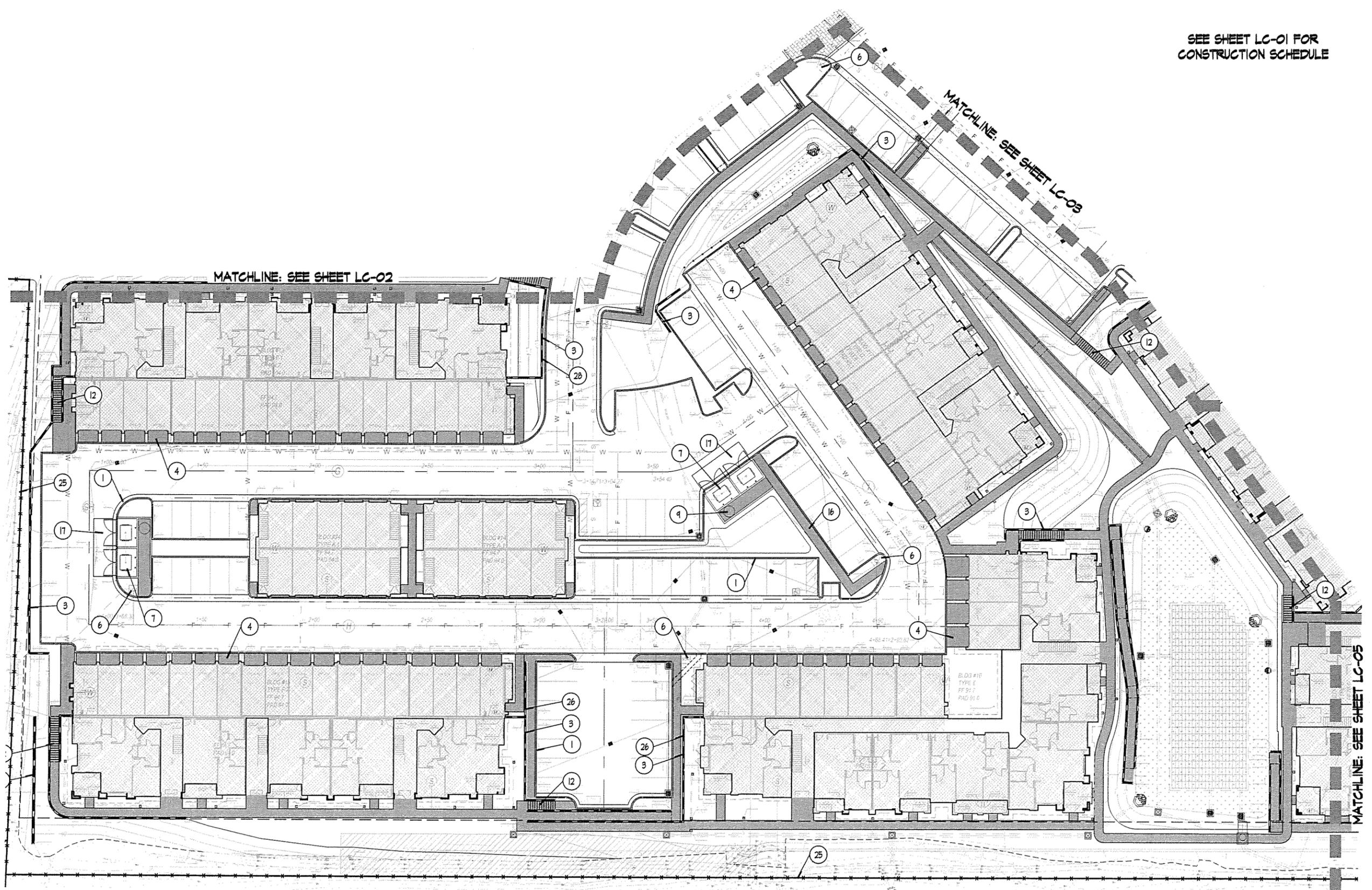
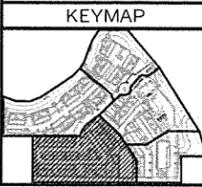
REVISIONS

NO.	DESCRIPTION	DATE

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APPROVED: HM
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

LC-03
SHEET 05 of 38

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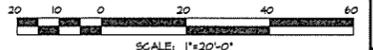
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MATCHLINE: SEE SHEET LC-03

MATCHLINE: SEE SHEET LC-05

SEE SHEET LC-01 FOR CONSTRUCTION SCHEDULE

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 12' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



Underground Service Alert
Call **811**
TWO WORKING DAYS BEFORE YOU DIG
CAUTION: Remember that the USA Center notifies only those utilities belonging to the carrier. There could be other utilities present at the work site. The carrier will inform you of whom they will notify.

4000 Serrano Valley Blvd
Suite 200
San Diego, CA 92121
951.444.4444
F 951.568.8977



PROJECT TITLE:
CONSTRUCTION PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
16 FENTON
SAN DIEGO, CA

REVISIONS

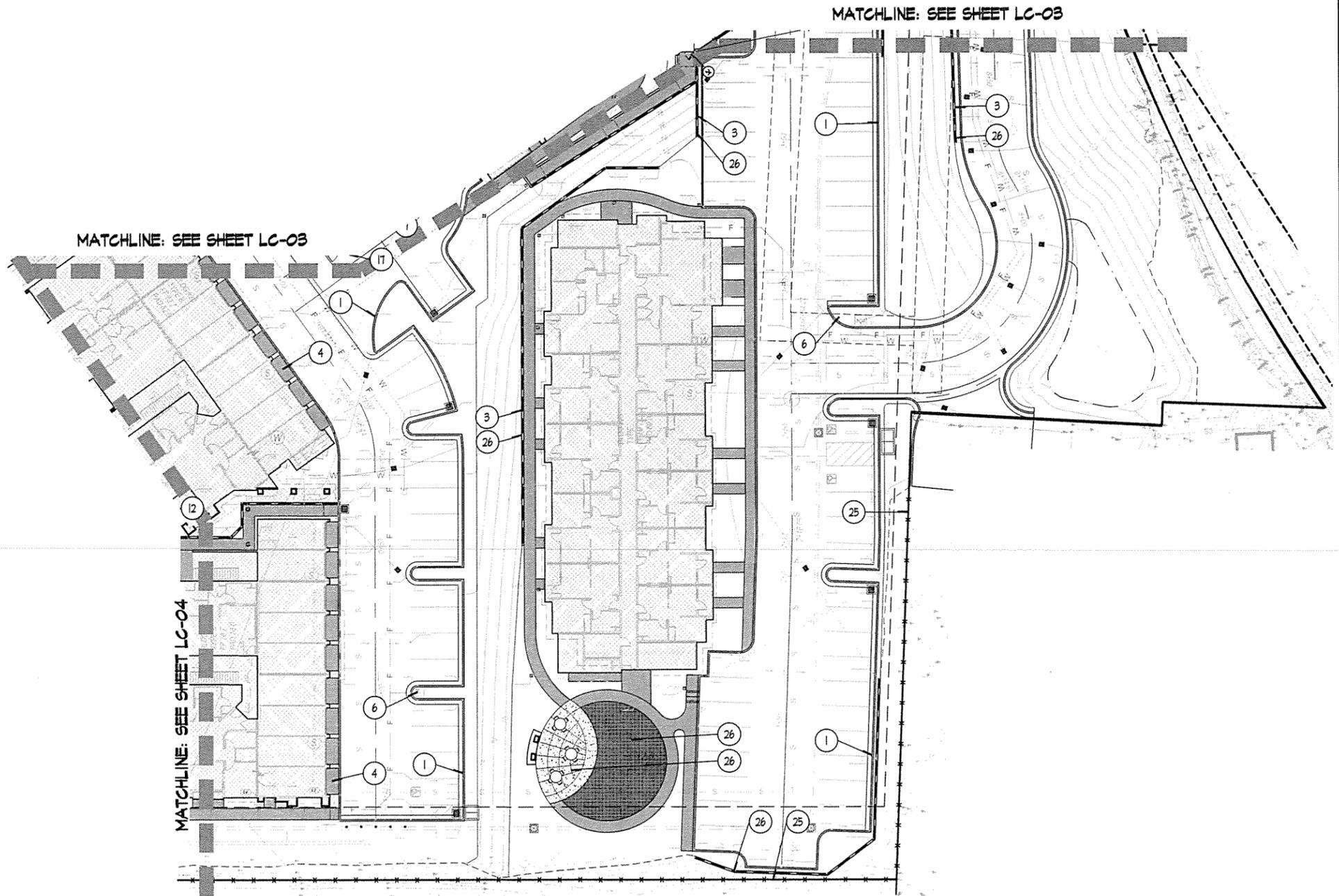
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APPROVED: HH
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

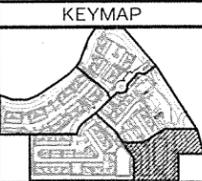
LC-04
SHEET 06 OF 38

CONSTRUCTION SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	CURB AND GUTTER PER CIVIL ENGINEER		
2	CONCRETE SIDEWALK PER CIVIL ENGINEER		
3	RETAINING WALL PER CIVIL ENGINEER, BLOCK SHALL BE SHOTBLAST WITH 1/8" RAKED JOINTS, COLOR TO BE TAN PM BY ORCO BLOCK		
4	DRIVEWAY APRON PER CIVIL ENGINEER		
5	ADA ACCESSIBLE RAMP PER CIVIL ENGINEER		
6	FIRE HYDRANT PER CIVIL ENGINEER		
7	TRASH ENCLOSURE BY ARCHITECT		
8	AC CONDENSER UNIT BY ARCHITECT		
9	SITE UTILITY BY CIVIL ENGINEER		
12	STEP QUANTITY PER CIVIL ENGINEER, CONCRETE COLOR AND FINISH TO MATCH ADJACENT PAVING, REFER TO GMP STEP DETAIL FOR DECORATIVE HANDRAIL		OLC-04
13	VEHICULAR CONCRETE PAVING BAND. INTERGRAL COLOR DAVIS 'PEBBLE', LIGHT BROOM FINISH		ALC-08
14	ENHANCED VEHICULAR CONCRETE PAVERS. COMBO CLASSIC 6CM WITH 12X12 PAVERS BY ACKERSTONE IN BELLASNA COLOR BLEND. CONTACT AMY MINGILL, (602) 846-8506.		CALC-08
15	ENHANCED PEDESTRIAN CONCRETE PAVING. INTERGRAL COLOR DAVIS 'PEBBLE', TOPCAST 1/8" FINISH AND SANDKIT GRID PATTERN AS SHOWN		BALC-08
16	NATURAL GREY PEDESTRIAN CONCRETE PAVING		BALC-08
17	NATURAL GREY VEHICULAR CONCRETE PAVING IN FRONT OF TRASH ENCLOSURES		ALC-08
19	ENHANCED PEDESTRIAN CONCRETE PAVERS. COMBO CLASSIC 6CM PAVERS BY ACKERSTONE IN BELLASNA COLOR BLEND. CONTACT AMY MINGILL, (602) 846-8506.		
20	ADA RAMP, REFER TO CIVIL PLANS FOR PRECISE GRADING		
21	LAWN BOULDS COURT		
22	ANAVA CANISIZI CANYON THERMORY GASHION STYLE SEAT WALL, COLOR TEXTURED BRONZE, COBBLE FILL, KRK ROCK BEACH PEBBLE RED 3'-5" CONTACTS: ANOVA, COREY PHILLIPS COREY@ANOVAFURNISHINGS.COM, KRK ROCK 1-800-KRCK-ROCK		
24	ENTRY MONUMENT		
25	TUBULAR STEEL PERIMETER FENCE		FALC-08
26	STEEL POOL FENCE WITH CONCRETE MONUMS BELOW		EALC-08
27	GLASS POOL FENCE		NALC-04
28	CABLE GUARDRAIL ATOP RETAINING WALL, INSTALL PER CALTRANS STANDARD DETAIL		
29	POOL GATE		EALC-08
30	GLASS POOL GATE		NALC-04
31	SALT WATER POOL, SEE DETAILS 61H SHEET LC-01		6ALC-08
32	BEACH ENTRY		
33	TILE SWIM LANE MARKER		
34	SPA, SEE DETAILS 61H SHEET LC-08		6ALC-08
35	SPA EMERGENCY SHUT-OFF SWITCH		VALC-08
36	ARTIFICIAL TURF AREA		LALC-04
37	FIRE PIT, SOLIS HE41 IV CONC. RING 36" (HG) ADJ AUTO-40K-HOR, CONTACT SOLIS DECOR (877) 843-0572. PROVIDE ELECTRICAL AND GAS CONNECTIONS INCLUDING EMERGENCY GAS SHUT-OFF.		
38	FIREPIT, HALO 48-RELEV (HG) ADJ AUTO-40K-HOR. CONTACT SOLIS DECOR (877) 843-0572. PROVIDE ELECTRICAL AND GAS CONNECTIONS INCLUDING EMERGENCY GAS SHUT-OFF.		
39	CAST STONE PEBBLE SEAT, LARGE, GREY, 41"X31"X13" AVAILABLE THREES STUDIO, 310-342-8881 HTTP://ESTUDIO.COM/SHOP-ONLINE/GY6XV45YCPRELSBZ2B1H00DRN/6		
40	FIRE PIT EMERGENCY SHUT-OFF BOLLARD		
41	TELEVISION MALL		
42	HORSE SHOE COURT		
43	HAMMOCK HUNG ON PALM TREES, DELINE DURACORD ROPE HAMMOCK-GATHEAL, AVAILABLE THRU HATTERAS HAMMOCKS HTTPS://HATTERASHAMMOCKS.COM		
44	BEACH SAND AREA		
45	BBQ COUNTER AT STAIRS		
46	BBQ COUNTER IN BAR		
47	POOL CABANA, EQUINOX BY TUGCI, 10'X10', FINISH - ALUMA TEAK WEATHERED, BID SHALL INCLUDE ALL OPTIONS: (D) TRELIS ROOF, (H) FULL FABRIC CURTAINS WITH TIE BACKS, (I) OUTLET WITH POWER SOURCE		JLC-08
48	BEACH CABANA, EQUINOX BY TUGCI, 10'X10', FINISH - ALUMA TEAK WEATHERED, BID SHALL INCLUDE ALL OPTIONS: (D) TRELIS ROOF, (H) FULL FABRIC CURTAINS WITH TIE BACKS, (I) OUTLET WITH POWER SOURCE		
49	BIKE RACK, TRIO BY FORNIS + SURFACES, COLOR - LIGHT CORTEN, INSTALL PER MANUFACTURER'S RECOMMENDATIONS		
50	PEDESTON LIGHTS		KALC-04
51	BECH SHEAR (WITHOUT BACK) BY GCP, R02-SHR-468-R, COLOR - DAVIS 'SIERRA'		
52	ACCESSIBLE POOL LIFT LOCATION, PER POOL CONTRACTOR		
53	GLASS FENCE TO STEEL POOL FENCE TRANSITION		



FILE NAME: G:\14-PROJECTS\14-006-00\LANDARCH\CD\AFTS\14-006 C-SHT AFTS.DWG



ROOT BARRIER NOTE:
 ALL TREES PLANTED WITHIN 5' OF ANY CURB WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 12' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



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4085 Serrano Valley Blvd
 Suite 200 - CA 92129
 gmp@landarch.com
 P: 619 556 6177



SHEET TITLE:
CONSTRUCTION PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
 CITY OF SOLANA BEACH
 HG FENTON
 SAN DIEGO, CA

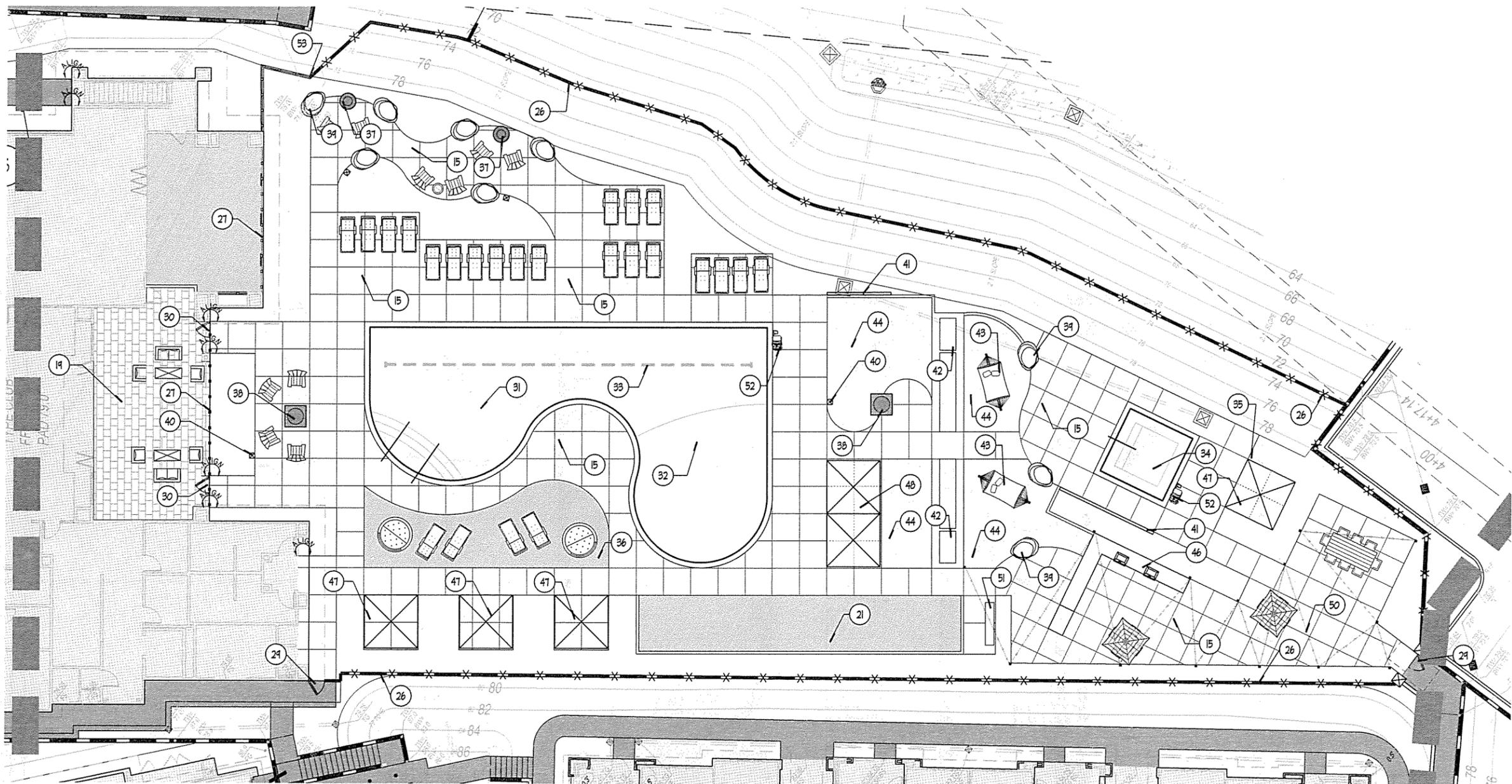
REVISIONS

DRAWN: RS
 APPROVED: HM
 PLOT DATE: 12/20/2021
 JOB NO.: 14-006-00
 SCALE: SEE SHEET

LC-05

SHEET 07 of 38

FILE NAME: G:\14-PROJECTS\14-006-CO\LANDARCH\CD\CD-ARTS14-006-C-SHT ARTS.DWG



CONSTRUCTION SCHEDULE

SYMBOL	DESCRIPTION
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12	STEP QUANTITY PER CIVIL ENGINEER, CONCRETE COLOR AND FINISH TO MATCH ADJACENT PAVING, REFER TO 64P STEP DETAIL FOR DECORATIVE HANDRAIL

- 13 VEHICULAR CONCRETE PAVING BAND, INTEGRAL COLOR DAVIS 'PEBBLE', LIGHT BROOM FINISH
- 14 ENHANCED VEHICULAR CONCRETE PAVERS, COMBO CLASSIC 6CM WITH 12X12 PAVERS BY ACKERSTONE IN BELLASNA COLOR BLEND CONTACT ANY MINGILLI (760) 846-8506.
- 15 ENHANCED PEDESTRIAN CONCRETE PAVING, INTEGRAL COLOR DAVIS 'PEBBLE', TOPCAST #3 FINISH AND SAND/GRID PATTERN A SHOWN
- 16 NATURAL GREY PEDESTRIAN CONCRETE PAVING
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- 19 ENHANCED PEDESTRIAN CONCRETE PAVERS, COMBO CLASSIC 6CM PAVERS BY ACKERSTONE IN BELLASNA COLOR BLEND, CONTACT MINGILLI (760) 846-8506.
- 20 ADA RAMP, REFER TO CIVIL PLANS FOR PRECISE GRADING
- 21 LAWN BOWLING COURT
- 22 ANOYA CANTON CANYON THERMORY GARDEN STYLE SEAT WALL, COLOR TEXTURED BRONZE, COBBLE FILL KRG ROCK BEACH PEBBLE 3'-5" CONTACTS: ANOYA COREY PHILLIPS COREY@ANOVAFURNISHINGS.COM, KRG ROCK 1-800-KRG-ROCK
- 24 ENTRY MONUMENT
- 25 TUBULAR STEEL PERIMETER FENCE
- 26 STEEL POOL FENCE WITH CONCRETE MONUMS BELOW
- 27 GLASS POOL FENCE
- 28 CABLE GUARDRAIL ATOP RETAINING WALL, INSTALL PER CALTRANS STANDARD DETAIL
- 29 POOL GATE
- 30 GLASS POOL GATE
- 31 SALT WATER POOL, SEE DETAILS 64H SHEET LC-01

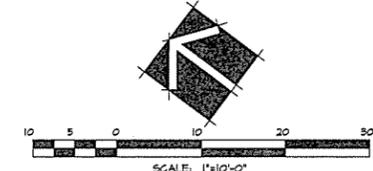
- 32 BEACH ENTRY
- 33 TILE SPIN LANE MARKER
- 34 SPA, SEE DETAILS 64H SHEET LC-08
- 35 SPA EMERGENCY SHUT-OFF SWITCH
- 36 ARTIFICIAL TURF AREA
- 37 FIRE PIT, SOLUS HEM IV CONG, RING 36" (N6) ADJ AUTO-40K-HORI, CONTACT SOLUS DECOR (871) 843-0512. PROVIDE ELECTRICAL AND GAS CONNECTIONS INCLUDING EMERGENCY GAS SHUT-OFF.
- 38 FIRE PIT, HALO 48 -ELEV (N6) ADJ AUTO-40K-HORI, CONTACT SOLUS DECOR (871) 843-0512. PROVIDE ELECTRICAL AND GAS CONNECTIONS INCLUDING EMERGENCY GAS SHUT-OFF.
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- 40 FIRE PIT EMERGENCY SHUT-OFF BOLLARD
- 41 TELEVISION MALL
- 42 HORSE SHOE COURT
- 43 HAMMOCK RING ON PALM TREES, DELINE DURACORD ROPE HAMMOCK-GATHEAL, AVAILABLE THRU HATTERAS HAMMOCKS [HTTPS://HATTERASHAMMOCKS.COM](https://hatterashammocks.com)
- 44 BEACH SAND AREA
- 45 BEG COUNTER AT STAIRS
- 46 BEG COUNTER K/BEAR

- 47 POOL CABANA, EQUINOX BY TUGI, 10'X10', FINISH - ALUMA TEAK WEATHERED, BID SHALL INCLUDE ALL OPTIONS: (D) TRELIS ROOF, (H) FULL FABRIC CURTAINS WITH TIE BACKS, (I) OUTLET WITH POWER SOURCE
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- 49 BIKE RACK, TRIO BY FORMS + SURFACES, COLOR - LIGHT CORTEN, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- 50 FESTOON LIGHTS
- 51 BENCH, SHEAR (WITHOUT BACK) BY GCP, K02-SHR-46B-R, COLOR - DAVIS SIERRA
- 52 ACCESSIBLE POOL LIFT LOCATION, PER POOL CONTRACTOR
- 53 GLASS FENCE TO STEEL POOL FENCE TRANSITION

KEYMAP

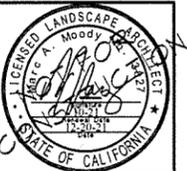


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4030 Satevado Valley Blvd
Suite 200
San Diego, CA 92121
951.548.8977
951.548.8977
gmp
LANDSCAPE ARCHITECTURE & PLANNING



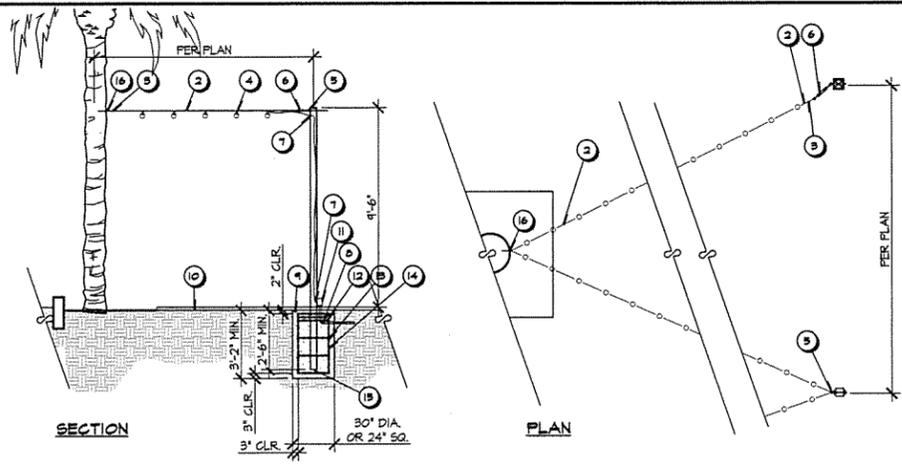
SHEET TITLE:
CONSTRUCTION PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
16 FENTON
SAN DIEGO, CA

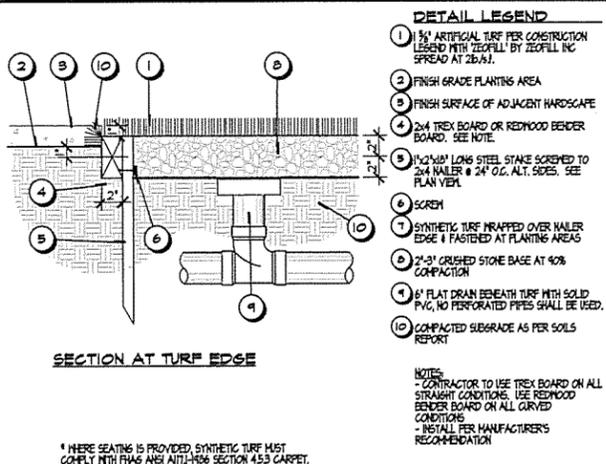
REVISIONS

NO.	DATE	DESCRIPTION

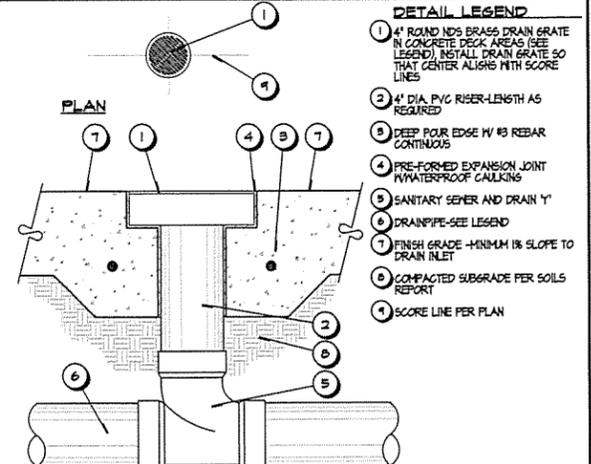
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LC-06



- DETAIL LEGEND**
- 1/2" SQUARE 1/2" THICK GALVANIZED TUBULAR STEEL POST 1 FRAME FINISH IV (1) COAT OF METAL PRIMER AND (2) COATS METAL EXTERIOR GLOSS, COLOR TO BE DETERMINED
 - 1/4" STAINLESS STEEL CABLE
 - (2) STAINLESS STEEL CABLE CLAMPS
 - FESTOON LIGHT SPEC BY LIGHTING CONSULTANT
 - (6) STAINLESS STEEL EYEBOLT
 - (2) STAINLESS STEEL TURNBUCKLE
 - RUBBER GASKET AND EPOXY SEALANT AT ALL TUBULAR STEEL PENETRATIONS
 - ELECTRICAL CONDUIT BY ELECTRICIAN
 - CONCRETE FOOTING
 - FINISHED GRADE
 - JUNCTION BOX BY ELECTRICIAN 6FCI REQUIRED
 - (8) #3 TIES @ 2' O.C. AT TOP
 - #3 TIES @ 12" O.C.
 - (6) #4 VERT. EQUALLY SPACED FOR CIR. FOOTING OR (4) VERT. AT EACH CORNER FOR SQ. FOOTING
 - HELD 3/4" BASE PLATE W/ 1/2" LARGER THAN STEEL TUBE DIMENSION
 - 6" STAINLESS STEEL EYE LAS SCREEN

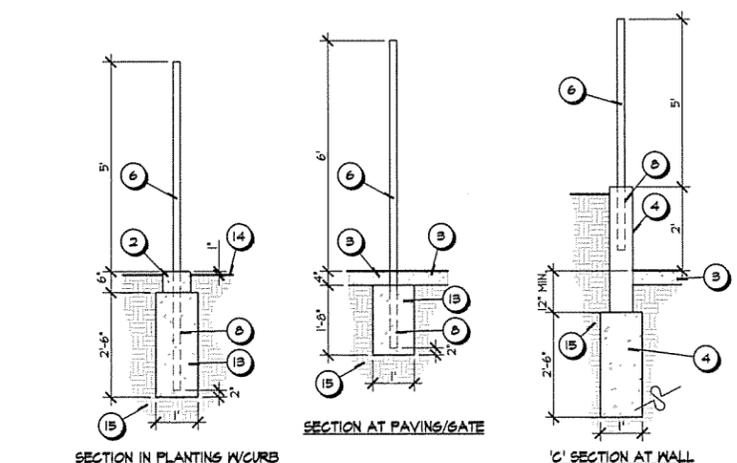


L SYNTHETIC TURF ON-GRADE
SCALE: 1/2" = 1'-0"

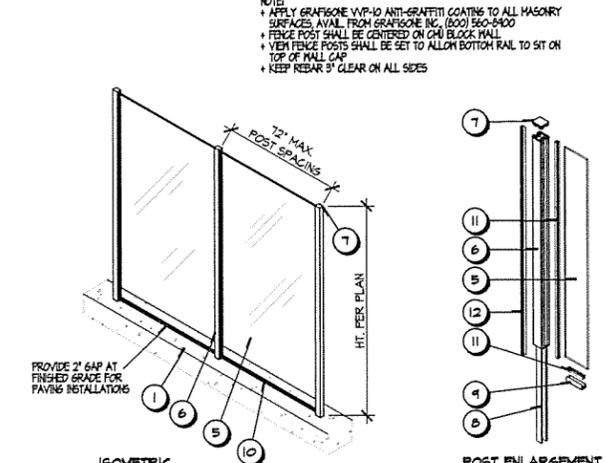


M DECK DRAIN
SCALE: 3/4" = 1'-0"

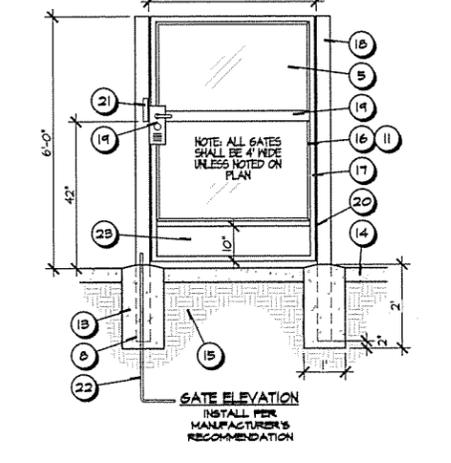
K FESTOON LIGHTING
SCALE: 1/4" = 1'-0"



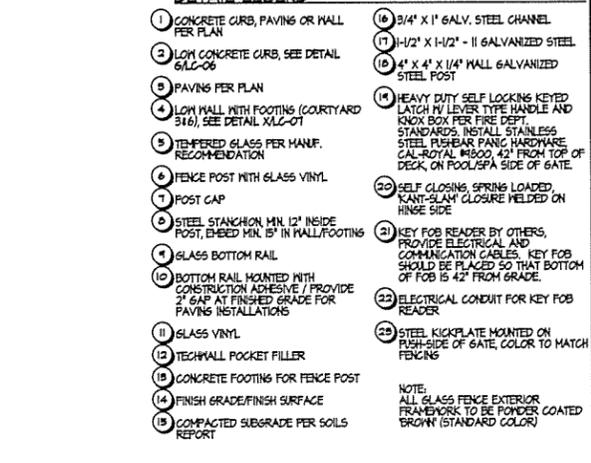
N POOL GLASS FENCE
SCALE: 1/2" = 1'-0"



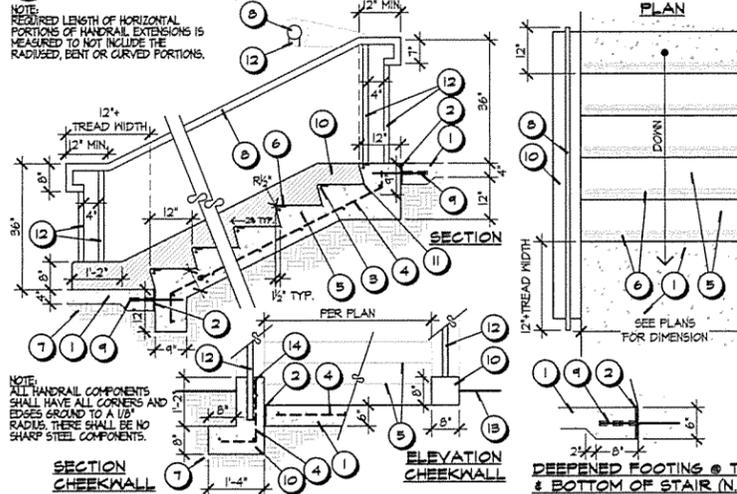
O GATE ELEVATION
SCALE: 3/4" = 1'-0"



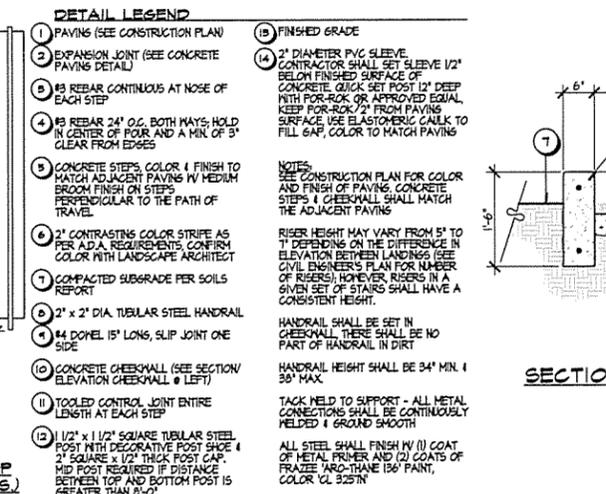
P BOCCIE BALL COURT
SCALE: 3/4" = 1'-0"



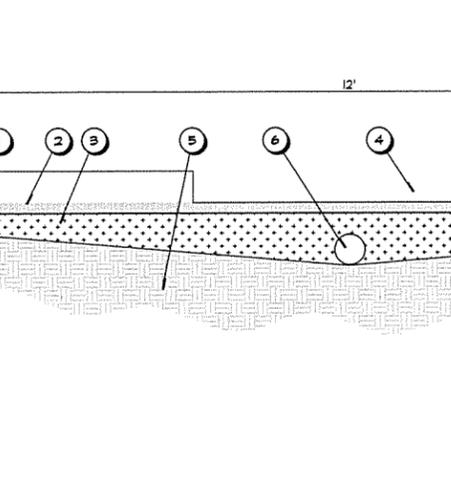
O CONCRETE STEPS AND HANDRAIL
SCALE: 1/2" = 1'-0"



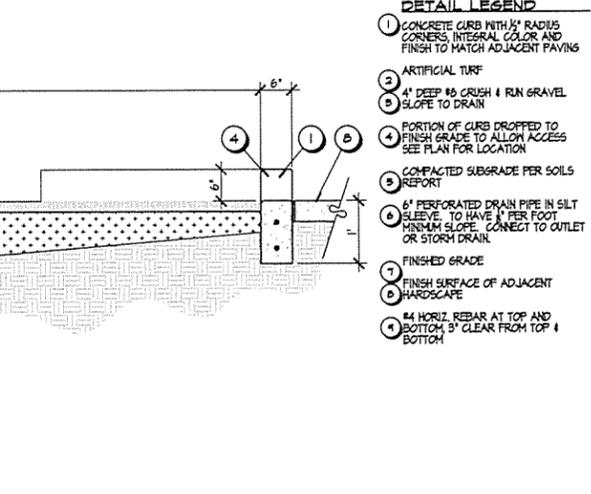
O CONCRETE STEPS AND HANDRAIL
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O CONCRETE STEPS AND HANDRAIL
SCALE: 1/2" = 1'-0"

P BOCCIE BALL COURT
SCALE: 3/4" = 1'-0"

- DETAIL LEGEND**
- CONCRETE CURB, PAVING OR WALL PER PLAN
 - LOW CONCRETE CURB, SEE DETAIL 61C-06
 - PAVING PER PLAN
 - LOW MALL WITH FOOTINGS (COURTYARD 316), SEE DETAIL XLC-01
 - TEMPERED GLASS PER MANUF. RECOMMENDATION
 - FENCE POST WITH GLASS VINYL
 - POST CAP
 - STEEL STANCHION MIN. 12" INSIDE POST, EMBED MIN. 15" IN MALL/FOOTING
 - GLASS BOTTOM RAIL
 - BOTTOM RAIL MOUNTED WITH CONSTRUCTION ADHESIVE / PROVIDE 2" GAP AT FINISHED GRADE FOR PAVING INSTALLATIONS
 - GLASS VINYL
 - TECHWALL POCKET FILLER
 - CONCRETE FOOTING FOR FENCE POST
 - FINISH GRADE/ FINISH SURFACE
 - COMPACTED SUBGRADE PER SOILS REPORT
 - 3/4" X 1" GALV. STEEL CHANNEL PER PLAN
 - 1/2" X 1 1/2" - 11 GALVANIZED STEEL
 - 4" X 4" X 1/4" MALL GALVANIZED STEEL POST
 - HEAVY DUTY SELF LOCKING KEYED LATCH W/ LEVER TYPE HANDLE AND KNOX BOX PER FIRE DEPT. STANDARDS, INSTALL STAINLESS STEEL PUSHBAR PANK HARDWARE CAL-ROYAL #800, 42" FROM TOP OF DECK, ON POOL/SPA SIDE OF GATE.
 - SELF CLOSING SPRING LOADED, KANT-SLAM CLOSURE WELDED ON HINGE SIDE
 - KEY FOB READER BY OTHERS, PROVIDE ELECTRICAL AND COMMUNICATION CABLES. KEY FOB SHOULD BE PLACED SO THAT BOTTOM OF FOB IS 42" FROM GRADE.
 - ELECTRICAL CONDUIT FOR KEY FOB READER
 - STEEL KICKPLATE MOUNTED ON PUSH-SIDE OF GATE, COLOR TO MATCH FENCING

NOTE:
- CONTRACTOR TO USE TRX BOARD ON ALL STRAIGHT CONDITIONS. USE REDWOOD FENDER BOARD ON ALL CURVED CONDITIONS.
- INSTALL PER MANUFACTURER'S RECOMMENDATION

NOTE:
- ALL GLASS FENCE EXTERIOR FRAMEWORK TO BE POWDER COATED BROWN (STANDARD COLOR)

NOTE:
- APPLY GRAFONNE VV-10 ANTI-GRAFFITI COATING TO ALL MASONRY SURFACES, AVAIL FROM GRAFONNE INC. (800) 560-8400
- FENCE POST SHALL BE CENTERED ON CURB/BLOCK WALL
- WHEN FENCE POSTS SHALL BE SET TO ALLOW BOTTOM RAIL TO SIT ON TOP OF MALL CAP
- KEEP REBAR 3" CLEAR ON ALL SIDES

NOTE:
- HERE SEATING IS PROVIDED, SYNTHETIC TURF MUST COMPLY WITH FHWS ANSI ANTI-FRISK SECTION 4.5.5 CARPET, AND MUST BE ON A STABLE AND FIRM SUBGRADE

NOTE:
- SEE CONSTRUCTION PLAN FOR COLOR AND FINISH OF PAVING. CONCRETE STEPS & CHEEKWALL SHALL MATCH THE ADJACENT PAVING
- RISER HEIGHT MAY VARY FROM 5" TO 7" DEPENDING ON THE DIFFERENCE IN ELEVATION BETWEEN LANDINGS (SEE CIVIL ENGINEER'S PLAN FOR NUMBER OF RISERS); HOWEVER RISERS IN A GIVEN SET OF STAIRS SHALL HAVE A CONSISTENT HEIGHT.
- HANDRAIL SHALL BE SET IN CHEEKWALL, THERE SHALL BE NO PART OF HANDRAIL IN DIRT
- HANDRAIL HEIGHT SHALL BE 34" MIN. & 38" MAX.
- TACK WELDED TO SUPPORT - ALL METAL CONNECTIONS SHALL BE CONTINUOUSLY WELDED & GROUND SMOOTH
- ALL STEEL SHALL FINISH W/ (1) COAT OF METAL PRIMER AND (2) COATS OF FRAZZLE 'ARO-THANE 180' PAINT, COLOR 'UL 325' IN

NOTE:
- ALL HANDRAIL COMPONENTS SHALL HAVE ALL CORNERS AND EDGES GRANDED TO A 1/8" RADIUS, THERE SHALL BE NO SHARP STEEL COMPONENTS.

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 - ARTIFICIAL TURF
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 - PORTION OF CURB DROPPED TO FINISH GRADE TO ALLOW ACCESS SEE PLAN FOR LOCATION
 - COMPACTED SUBGRADE PER SOILS REPORT
 - 3" PERFORATED DRAIN PIPE IN SILT SLEEVE TO HAVE 1/2" PER FOOT MINIMUM SLOPE. CONNECT TO OUTLET OR STORM DRAIN.
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CONSTRUCTION NOTES

GENERAL CONSTRUCTION NOTE
All materials and methods of installation shall be per 'Scribble' Standard Specifications for Public Works Construction, 2005 Edition, unless otherwise noted.

GRADING AND DRAINAGE NOTES

- 1. ALL SURFACE DRAINAGE TO BE AWAY FROM ALL FOOTINGS, FOUNDATIONS AND BUILDING WALLS AT MINIMUM OF 28.
2. CROSS SLOPE WALLS AND PAVING 2% MINIMUM UNLESS OTHERWISE NOTED.

CONCRETE FLATWORK

- 1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 3,000 PSI. CEMENT SHALL BE TYPE I. USE ONLY 5/8" AGGREGATE.
2. REINFORCING SHALL COMPLY WITH ASTM A615, GRADE 60 OR TO NOTES ON DETAILS.

REINFORCED MASONRY

- 1. CONCRETE BLOCK UNITS SHALL BE MEDIUM HEIGHT AND COMPLY WITH ASTM 90, GRADE II. PROVIDE DEEP-CUT BOND BEAM UNITS.
2. RETAINING WALLS AND WALLS BELOW GRADE SHALL BE GRADED SOLID.

METAL FENCING / GATES

- 1. FENCING SHALL BE SEAMLESS STEEL TUBING (UNLESS OTHERWISE SPECIFIED), GRADE B, CONFORMING TO ASTM A513-BL. REFER TO PLANS FOR GALVANIZED OR POWDER COATING.
2. LANDSCAPE CONTRACTOR SHALL SECURE ALL FIELD MEASUREMENTS REQUIRED FOR PROPER AND ADEQUATE FABRICATION AND INSTALLATION.

TILE/PAVERS

- 1. CONTRACTOR SHALL SUBMIT A SAMPLE OF EACH TYPE OF TILE/PAVER AND GROUT COLOR INDICATED ON PLANS TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE STARTING WORK.
2. CERAMIC TILE GROUT SHALL BE ONE (1) PART PORTLAND CEMENT AND ONE (1) PART GRADED SAND WITH COLOR AND WATERPROOFING ADDITIVES.

CARPENTRY

- 1. ALL LUMBER SHALL BE DOUGLAS FIR, NO. 2 GRADE OR BETTER, UNLESS OTHERWISE INDICATED.
2. ALL LUMBER SHALL BE MILLED, RESAWN, UNLESS OTHERWISE INDICATED.

HANDICAP PARKING AND SIGNAGE

- 1. THE MAXIMUM SLOPE OF THE PARKING SURFACE AT THE ACCESSIBLE SPACE IN ANY DIRECTION IS 1/4" PER FT. (2.08%), PER SECTION 102B-4.4.
2. ACCESSIBLE PARKING SPACES ARE TO BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH SPACE, CONSISTING OF:
A. A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON DARK BLUE BACKGROUND.

POOL & SPA

- 1. ALL POOL AND SPA CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL AND STATE CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL HEALTH AND ANY OTHER REQUIRED PERMITS AND THE STRUCTURAL AND EQUIPMENT DETAILING REQUIRED TO OBTAIN THESE PERMITS.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING POOL AND SPA DEPTH, CONSTRUCTION AND EQUIPMENT LOCATIONS FOR LANDSCAPE ARCHITECTS REVIEW PRIOR TO CONSTRUCTION.

FHA ACCESSIBILITY GUIDELINES

- ADDITIONAL ACCESSIBLE ROUTE NOTES FOR ACCESSIBILITY COMPLIANCE WITH FHA DM 1993, ICC/ANSI A117.1 - 2003, AND 2010 ADA STD.
1. ACCESSIBLE ROUTES SHALL COMPLY WITH FHA DM 1993 REQUIREMENTS 1.2, 1.4, 4.1, 4.2, 4.3, 4.4, 4.5, 4.6, 4.7, 4.8, 4.9, 4.10, 4.11, 4.12, 4.13, 4.14, 4.15, 4.16, 4.17, 4.18, 4.19, 4.20, 4.21, 4.22, 4.23, 4.24, 4.25, 4.26, 4.27, 4.28, 4.29, 4.30, 4.31, 4.32, 4.33, 4.34, 4.35, 4.36, 4.37, 4.38, 4.39, 4.40, 4.41, 4.42, 4.43, 4.44, 4.45, 4.46, 4.47, 4.48, 4.49, 4.50, 4.51, 4.52, 4.53, 4.54, 4.55, 4.56, 4.57, 4.58, 4.59, 4.60, 4.61, 4.62, 4.63, 4.64, 4.65, 4.66, 4.67, 4.68, 4.69, 4.70, 4.71, 4.72, 4.73, 4.74, 4.75, 4.76, 4.77, 4.78, 4.79, 4.80, 4.81, 4.82, 4.83, 4.84, 4.85, 4.86, 4.87, 4.88, 4.89, 4.90, 4.91, 4.92, 4.93, 4.94, 4.95, 4.96, 4.97, 4.98, 4.99, 5.00.

HANDICAP RAMPS AND RAILS

- 1. ONE IN EVERY 8 ACCESSIBLE SPACES ARE SERVED BY AN ACCESSIBLE 48" IN WIDTH AND DESIGNATED AS VAN ACCESSIBLE, PER SECTION 102B-4.2.
2. IF ANY PROPOSED WALKS SLOPE 1:20 (5%) THEY MUST COMPLY WITH RAMP REQUIREMENTS OF SECTION 103B.5, PER SECTION 103B.7-3.
3. A 60" X 60" LEVEL AREA MUST BE PROVIDED AT AREAS WHERE A DOOR OR GATE SWINGS TOWARD THE WALK IN THE ACCESSIBLE ROUTE OF TRAVEL, PER SECTION 103B.7-5.

CONSTRUCTION SPECIFICATIONS

PORTLAND CEMENT CONCRETE
PART 1 - GENERAL
1.1 RELATED DOCUMENTS
A. Drawings and general provisions of Contract, apply to this section.

1.2 SUMMARY

- A. Extent of Portland cement concrete paving is shown on drawings, including curbs, gutters, walkways and pavement.
B. Prepared sub-base is specified in drawings.

1.3 SUBMITTALS

- A. Provide samples, manufacturer's product data, test reports, and materials' certifications as required in referenced sections for concrete and joint fillers and sealers.

1.4 QUALITY ASSURANCE

- A. Codes and Standards: Comply with local governing regulations if more stringent than herein specified.

1.5 JOB CONDITIONS

- A. Traffic Control: Maintain access for vehicular and pedestrian traffic as required for other construction activities.

PART 2 - PRODUCT

2.1 MATERIALS

- A. Forms: Steel, wood, or other suitable material of size and strength to resist movement during concrete placement and to retain horizontal and vertical alignment until removal. Use straight forms, free of distortion and defects.

- 1. Use flexible spring steel forms or laminated boards to form radius bends as required.
2. Coat forms with a non-staining form release agent that will not discolor or deface surface of concrete.

- B. Reinforcing Bars: Deformed steel bars, ASTM A 615, Grade 60.

- C. Liquid-Membrane Forming and Sealing Curing Compound: Comply with ASTM C 309, Type I, Class A unless other type acceptable to Architect. Moisture loss no more than 0.055 gr/sq. cm. when applied at 200 sq. ft./gal.

- 1. Available Products: Subject to compliance with requirements, products which may be incorporated in the work include, but are not limited to, the following:

- 2. Products: Subject to compliance with requirements, provide one of the following:

- "Masterseal"; Master Builders
"Ac-H 3 Key Sealer"; Anti-Hydro Waterproofing Co.
"Ecocrete"; Euclid Chemical Co.
"Clear Seal"; A.C. Horn
"J-20 Acrylic Cure"; Dayton Superior
"Sure Cure"; Kaufman Products, Inc.
"AR-30"; K.R. Meadows
"Spartan-Cote"; The Burke Co.
"Sealure"; Toth Div. - Carboline
"Kure-N-Seal"; Sonneborn-Contech
"Polyseal"; Upco Chemical/USM Corp.
"LM Cure"; L & M Construction Chemicals
"Klearseal"; Setcon Industries
"LR-152"; Protex Industries
"Hardtop"; Gifford - Hill

- 3. Bonding Compound: Polyvinyl acetate or acrylic base, rewettable type.
1. Available Products: Subject to compliance with requirements, products which may be incorporated in the work include, but are not limited to, the following:

- "J-40 Bonding Agent"; Dayton Superior Corp.
"Watercrete"; Larsen Products
"Introlak"; K.R. Meadows
"Everbond"; L & M Construction Chemicals
"Eucofield"; Euclid Chemical Co.
"Hornfield"; A.C. Horn
"Sonoprete"; Sonneborn-Contech
"Acrylic Bondcrete"; The Burke Co.

- D. Epoxy Adhesive: ASTM C 881, 2-component material suitable for use on dry or damp surfaces. Provide material "Type", "Grade", and "Class" to suit project requirements.

- 1. Available Products: Subject to compliance with requirements, products which may be incorporated in the work include, but are not limited to, the following:

- "Epoxyite"; A.C. Horn
"Edoco 2118 Epoxy Adhesive"; Edoco Technical Prod.
"Silkador HI-Mod"; Silka Chemical Co.
"Patch and Bond Epoxy"; The Burke Co.
"Sure-Poxy"; Kaufman Products, Inc.

2.2 CONCRETE MIX, DESIGN AND TESTING

- A. Design mix to produce normal-weight concrete consisting of Portland cement, aggregate, water-reducing or high-range water-reducing admixture (superplasticizer), air-entraining admixture, and water to produce the following properties:

- 1. Compressive Strength: 3000 psi, minimum at 28 days, unless otherwise indicated.
2. Slump Limit: 8 inches minimum for concrete containing high-range water-reducing admixture (superplasticizer) 3 inches for other concrete.

- 3. Air Content: 5 to 8 percent.

PART 3 - EXECUTION

3.1 SURFACE PREPARATION

- A. Remove loose material from compacted sub-base surface immediately before placing concrete. Pre-roll prepared sub-base surface to check for unstable areas and need for additional compaction. Do not begin paving work until such conditions have been corrected and are ready to receive paving.

3.2 FORM CONSTRUCTION

- A. Set forms to required grades and lines, braced and secured. Install forms to allow continuous progress of work and so that forms can remain in place at least 24 hours after concrete placement.

- B. Check completed form work for grade and alignment to following tolerances:

- 1. Top of forms not more than 1/8 inch in 10 feet.
2. Vertical face on longitudinal axis, not more than 1/4 inch in 10 feet.
3. Clean forms after each use and coat with form release agent as required to ensure separation from concrete without damage.
D. Slope step treads at 1/4 inch per foot to drain.

3.3 REINFORCEMENT

- A. Locate, place and support reinforcement as specified in drawings.

3.4 CONCRETE PLACEMENT

- A. Do not place concrete until sub-base and forms have been checked for line and grade. Moisten sub-base if required to provide a uniform dampened condition at time concrete is placed. Do not place concrete around manholes or other structures until they are at required finish elevation and alignment.

- B. Place concrete by methods that prevent segregation of mix. Consolidate concrete along face of forms and adjacent to transverse joints with internal vibrator. Keep vibrator away from joint assemblies, reinforcement, or side forms. Use only square-faced shovels for hand-spread and consolidation. Consolidate with care to prevent dislocation of reinforcing, dowels, and joint devices.

- 1. Use bonding agent at locations where fresh concrete is placed against hardened or partially hardened concrete surfaces.

- 2. Deposit and spread concrete in a continuous operation between transverse joints as far as possible. If interrupted for more than 1/2 hour, place a construction joint.

- 3. When adjacent pavement lanes are placed in separate pours, do not operate equipment on concrete until pavement has attained sufficient strength to carry loads without injury.

3.5 JOINTS

- A. General: Construct expansion, weakened-plane (contraction), and construction joints true to line with face perpendicular to surface of concrete. Construct transverse joints at right angles to the centerline, unless otherwise indicated.

- 1. When joining existing structures, place transverse joint to align with previously placed joints unless otherwise indicated.

- B. Weakened-Plane (Contraction) Joints: Provide weakened-plane (contraction) joints, sectioning concrete into areas as shown on drawings. Construct weakened-plane joints for a depth equal to at least 1/4 concrete thickness, as follows:

- 1. Tooled Joints: Form weakened-plane joint in fresh concrete by grooving top portion with a recommended cutting tool and finishing edges with a jointer.

- C. Construction Joints: Place construction joints at end of placements and at locations where placement operations are stopped for more than 1/2 hour, except where such placements terminate at expansion joints.

- C. Construction Joints: Place construction joints at end of placements and at locations where placement operations are stopped for more than 1/2 hour, except where such placements terminate at expansion joints.

- D. Expansion Joints: Provide pre-molded joint filler for expansion joints abutting concrete curbs, catch basins, manholes, inlets, structures, walls, and other fixed objects, unless otherwise indicated.

- 1. Locate expansion joints as indicated on drawings.
2. Extend joint fillers full width and depth of joint, not less than 1/2 inch or more than 1 inch below finished surface where joint sealer is indicated.

- 3. Furnish joint fillers in one-piece lengths for full width and depth of joint wherever possible. Where more than one length is required, face or clip joint filler section together.

- 4. Protect top edge of joint filler during concrete placement with a metal cap or other temporary material. Remove protection after concrete has been placed on both sides of joint.

3.6 CONCRETE FINISHING

- A. After striking-off and consolidating concrete, smooth surface by screeding and floating. Use hand methods only where mechanical floating is not possible. Adjust floating to compact surface and produce uniform texture.

- B. After floating, test surface for trueness with a 10-ft. straightedge. Distribute concrete as required to remove surface irregularities, and re-float repaired areas to provide a continuous smooth finish.

- C. Work edges of slabs, gutters, back top edge of curb, and formed joints with an edging tool, and round to 1/2-radius, unless otherwise indicated. Eliminate tool marks on concrete surface.

- D. After completion of floating and when excess moisture or surface sheen has disappeared, complete brooming and finish surface as follows:

- 1. Broom finish by drawing a fine-hair broom across concrete surface perpendicular to line of traffic. Repeat operation if required to provide a fine line texture acceptable to Landscape Architect.

- 2. On inclined slab surfaces, provide a coarse, non-slip finish by scoring surface with a stiff-bristled broom, perpendicular to line of traffic.

- E. Do not remove forms for 24 hours after concrete has been placed. After form removal, clean ends of joints and jointing and minor honeycombed areas. Remove and replace areas or sections with major defects, as directed by Landscape Architect.

3.7 CURING

- A. Protect and cure finished concrete paving. Use membrane-forming curing and sealing compound or approved moist-curing methods.

- B. Anti-spalling Treatment: Apply treatment to concrete surfaces no sooner than 28 days after placement; to clean, dry concrete free of oil, dirt, and other foreign material. Apply curing and sealing compound at a maximum coverage rate of 300 S.F. per gallon. Apply anti-spalling compound in 2 sprayed applications. First application at rate of 40 sq. yards per gallon; second application, 60 sq. yards per gallon. Allow complete drying between applications.

3.8 REPAIRS AND PROTECTIONS

- A. Repair or replace broken or defective concrete, as directed by Architect.

- B. Drill test cores where directed by Architect when necessary to determine magnitude of cracks or defective areas. Fill drilled core holes in satisfactory pavement areas with Portland cement concrete bonded to pavement with epoxy adhesive.

- C. Protect concrete from damage until acceptance of work. Exclude traffic from pavement for at least 14 days after placement. When construction traffic is permitted, maintain pavement as clean as possible by removing surface stains and spillage of materials as they occur.

- 1. Sweep concrete pavement and wash free of stains, discolorations, dirt, and other foreign material just before final inspection.

END OF SECTION

ROOT BARRIER NOTE:

ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 17' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

gmp LANDSCAPE ARCHITECTURE & PLANNING
1015 Sacramento Valley Blvd
San Diego, CA 92107
(619) 594-9977
www.gmpinc.com



CONSTRUCTION NOTES & SPECIFICATIONS

SOLANA HIGHLANDS
CITY OF SOLANA BEACH
16 FENTON
SAN DIEGO, CA

Table with columns for REVISIONS, DRAWN, APPROVED, PLOT DATE, JOB NO., and SCALE.

Underground Service Alert Call 811
TWO WORKING DAYS BEFORE YOU DIG
"CAUTION" Remember that the USA Center notifies only those utilities belonging to the carrier. There could be other utilities present at the work site. The carrier will inform you of whom they will notify.

FILE NAME: G:\14-PROJECTS\14-006-COOLAND\ARCH\CD\CD-ARTIST\14-006_C-SUP_ARTIST.DWG

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL DESCRIPTION	PSI	DETAIL
	HUNTER HP CORNER PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. 1-TURF/GRASS ADJ ARG 45-45. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	R-GL-10
	HUNTER HP STRIP PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. 1ST-NOTIFY LEFT STRIP, 50%-BROWN SIDE STRIP, 50%-COPPER RIGHT STRIP ON PRS40 BODY. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER HP5000 PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. HAHARON ADJ ARG 40 TO 210, L-LIGHT BLUE 210 TO 270 ARG, O-LIVE 360 ARG ON PRS40 BODY. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER HP2000 PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. K-BLACK ADJ ARG 40-210, S-GREEN ADJ ARG 210-270, R-RED 360 ARG ON PRS40 BODY. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER HP3000 PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. B-BLUE ADJ ARG 40-210, Y-YELLOW ADJ ARG 210-270, A-GRAY 360 ARG ON PRS40 BODY. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER HP500SR PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE OR * ORANGE ADJ ARG 40 TO 210. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER HP65 PROS-XX-PRS40-CV-R (RM) 6 (TURF) OR 12 (SHRUB) POP-UP WITH CHECK VALVE, ON PRS40 BODY WITH PURPLE CAP, HP ROTATOR NOZZLE. HAHARON ADJ ARG 40 TO 210, L-LIGHT BLUE AND GRAY 210 TO 270 ARG, O-LIVE AND GRAY 360 ARG ON PRS40 BODY. SHRUB RISER CAN BE USED ON SPRINKLERS/ROTORS WHERE LOCATED A MINIMUM 10'-AWAY FROM ANY HARDSCAPE AND PEDESTRIAN USE AREAS.	40	
	HUNTER RZ16-SLEEVE-12-CV-R (RM) 1/2" LONG RZ16 WITH FILTER FABRIC SLEEVE, 256PM OR 306PM BUBBLER OPTIONS, CHECK VALVE, 1/2" SPIN JOINT FOR CONNECTION TO 1/2" PIPE, WITH RECLAIMED CAP.	30	TAL-10

SYMBOL	MANUFACTURER/MODEL DESCRIPTION	DETAIL
	HUNTER ICZ-101-40 (RM) DRIP CONTROL ZONE KIT 1" 1/2 GLOBE VALVE WITH 1" NYOD FILTER SYSTEM. PRESSURE REG. 40PSI. FLOW 2 TO 20 GPM. USE ICZ-101F-40-R FOR LESS THAN 2 GPM. 150 MESH STAINLESS STEEL SCREEN. INSTALL ONE VALVE PER JIMBO REG. VALVE BOX WITH LOCKING PURPLE COVER AND RCV HEAT BRANDED ON COVER. VALVES SHALL BE INSTALLED IN MANIFOLDS ISOLATED FROM THE MAINLINE BY A BALL VALVE, LINE SIZE.	VAL-01
	HUNTER ICZ-61-40 (RM) DRIP CONTROL ZONE KIT 1/2" 1/2 GLOBE VALVE WITH 1" NYOD FILTER SYSTEM. PRESSURE REG. 40PSI. FLOW RANGE: 20 TO 60 GPM. 120 MESH STAINLESS STEEL SCREEN. INSTALL ONE VALVE PER JIMBO REG. VALVE BOX WITH LOCKING PURPLE COVER AND RCV HEAT BRANDED ON COVER. VALVES SHALL BE INSTALLED IN MANIFOLDS ISOLATED FROM THE MAINLINE BY A BALL VALVE, LINE SIZE.	VAL-01
	PIPE TRANSITION POINT ABOVE GRADE	YH-VL-10 Y-ZA-11
	FLUSH VALVE PROVIDE A PLD-LOG CAP AT END OF DRIP DISCHARGE HEADER. INSTALL FLUSH VALVE INSIDE A SEPARATE VALVE BOX, ONE AT EACH END OF THE TUBING RUNS IN EACH DIRECTION. INSTALL 18" FROM PAVING. ALSO PROVIDE ECO-INDICATOR ALONG EXHAUST MANIFOLD OF EACH DRIP IRRIGATION END LINE. CONNECT TO PVC EXHAUST LATERAL WITH TEE AND USE SPIN JOINT	AA-11
	HUNTER PFD-AVR AIRVACUUM RELIEF VALVE, PFD-AVR, INSTALLED WITH A COMBINATION TEE. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER, MULTIPLE ARVS SHALL BE REQUIRED PER ROW, VERIFY QUANTITY PRIOR TO STARTING WORK, INSTALL VALVE BOX 18" FROM PAVING AND AT HIGH POINT OF PLANTER AREA	BB-11
	AREA TO RECEIVE DRILINE HUNTER HDL-06-12-R (RM) HDL-06-12-R, HUNTER DRILINE WITH 0.6 GPM FLOW, LIGHT BROWN TUBING WITH PURPLE STRIPING, EMITTERS AT 12" O.C., DRILINE LATERALS SPACED AT 14" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PFD BARBED OR PLD-LOG FITTINGS. IN-LINE PRESSURE COMPENSATING LANDSCAPE DRILINE WITH BUILT-IN CHECK VALVE, 0.6 GPM EMITTERS AT 12" O.C., DRILINE LATERALS SPACED AT 14" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. IN RESISTANT, USE PLD-LOG FITTINGS. ALL TUBING SHALL BE INSTALLED 5" BELOW MELLOW GRADE. 1/4" WIRE STAKES FIVE (5) FEET ON CENTER, VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK.	VL-10
	HUNTER 10V-6-FS-R-AS-ADJ (RM) 1", 1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION WITH NPT THREADED INLET/OUTLET WITH FILTER SENTRY, RECLAIMED WATER ID, AND PURPLE HANDLE. INSTALL ONE VALVE PER STD. REG. VALVE BOX WITH LOCKING PURPLE COVER AND RCV HEAT BRANDED ON COVER. VALVES SHALL BE INSTALLED IN MANIFOLDS ISOLATED FROM THE MAINLINE BY A BALL VALVE LINE SIZE.	VAL-01
	HUNTER HG-4LRC (RM) 1", 1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION WITH NPT THREADED INLET/OUTLET WITH FILTER SENTRY, RECLAIMED WATER ID, AND PURPLE HANDLE. INSTALL ONE VALVE PER STD. REG. VALVE BOX WITH LOCKING PURPLE COVER AND RCV HEAT BRANDED ON COVER. VALVES SHALL BE INSTALLED IN MANIFOLDS ISOLATED FROM THE MAINLINE BY A BALL VALVE LINE SIZE.	VAL-01

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL DESCRIPTION	PSI	DETAIL
	NELSON 1645 (RM) 1" BRASS QUICK COUPLER VALVE WITH ACME THREADS FOR SLOW FLOW CONTROL, WITH LOCKING RUBBER COVER AND PURPLE CAP WITH RECLAIMED WATER MARKING. INSTALL IN 1/2" ROUND VALVE BOX WITH LOCKING PURPLE COVER AND RCV HEAT BRANDED ON COVER. INSTALL GCV ON A 1/2" SUB-CUT OFF MAINLINE. EACH GCV SHALL BE ISOLATED FROM THE MAINLINE BY A 1/2" BALL VALVE AND INSTALLED AT 200' O.C. PER CITY REQUIREMENTS.	60-101	
	LAGO FITNESS TUV-50 (RM) BALL VALVE 1", 1/2", 2", AND 3" PLASTIC FULL BLOCK TRUE UNION BALL VALVE. SHUT OFF/ISOLATION VALVE TO ELIMINATE WATER HAMMER. INSTALL SAME SIZE AS MAINLINE. INSTALL IN VALVE BOX WITH PURPLE LID, HEAT BRANDED ON COVER AND RECLAIMED WATER ID PURPLE TAG.	60-101	
	HUNTER EV-FS-R (MASTER VALVE RM) 1", 1/2", 2", AND 3" BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY FACTORY INSTALLED OPTION. INSTALL IN A 'JIMBO' SIZED VALVE BOX WITH LOCKING PURPLE COVER AND 1/4" HEAT BRANDED ON COVER AND RECLAIMED WATER ID PURPLE TAG.	60-101	
	MATCO-MORCA 5295 (CHECK VALVE) 1/2"-2" WHITE PVC IN-LINE CHECK VALVE. SOLVENT ENDS. STAINLESS STEEL SPRING LOADED. SAME SIZE AS MAINLINE PIPE.	VAL-11	
	ZURN 45XL (BACKFLOW) REDUCED PRESSURE BACKFLOW DEVICE NY MODEL, 1/2" NYE STRAINER. ALL PIPING BETWEEN METER AND BACKFLOW DEVICE SHALL BE 1/2" COPPER OR RED BRASS. INSTALL IN A VIT STRONGBOX STAINLESS STEEL BACKFLOW ENCLOSURE #888C-XSS, SIZED TO FIT BACKFLOW.	VAL-01	
	ITS CONTROLLER ASSEMBLY IRRIGATION CONTROLLER ASSEMBLY IN STAINLESS STEEL ENCLOSURE. SEE TABLES FOR MODEL AND STATION COUNT. CONTROLLER SHALL HAVE A DESIGNATED RECTANGULAR PULL BOX INSTALLED AT PEDestal BASE. CONTACT DARYL GREEN AT IMPERIAL TECHNICAL SERVICES (ITS) PHONE: (644) 504-7811	VAL-01	
	ITS CONTROLLER ASSEMBLY IRRIGATION CONTROLLER ASSEMBLY IN STAINLESS STEEL ENCLOSURE. SEE TABLES FOR MODEL AND STATION COUNT. CONTROLLER SHALL HAVE A DESIGNATED RECTANGULAR PULL BOX INSTALLED AT PEDestal BASE. CONTACT DARYL GREEN AT IMPERIAL TECHNICAL SERVICES (ITS) PHONE: (644) 504-7811	VAL-01	
	HUNTER SOLAR-SYNC SOLAR RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, INSTALL AS NOTED, WIRED.	VAL-01	
	HUNTER HFS-50 (FLOW SENSOR) FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1/2" SCHEDULE 80 SENSOR BODY, 24 VAC, 2 AMP. WIRE TO CONTROLLER USING PITTED CABLE IN 1" CONDUIT, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. MULTIPLE FLOW SENSORS REQUIRE SEPARATE CONDUIT RUNS.	VAL-01	
	BOOSTER PUMP - BARRETT ENGINEERED PUMPS MODEL #BPCO-3-2-25VFD, SEE SYSTEM D MODEL DESIGN PARAMETERS FOR MODEL NUMBER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS. INSTALL 1" CONDUIT FROM CONTROLLER TO PUMP STATION WITH TWO PILOT WIRES AND ONE COMMON WIRE. PROVIDE ELECTRICAL SERVICE AS REQUIRED.	U-12	
	EZ-FLO FERTILIZING SYSTEMS E200-FX ONE SYSTEM FEEDS ALL ZONES, DRIP OR SPRINKLER. INSTALL DIRECTLY IN THE IRRIGATION SYSTEM MAIN LINE AFTER THE BACK FLOW PREVENTER. COUPLING CONNECTION PER MAINLINE SIZE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS IN CARSON #180-24 1/2" PIPE SUPER JUMBO RECTANGULAR XL VALVE BOX. CONTRACTOR TO FILL TANK WITH FRESH 102030 AT BEGINNING OF PLANT INSTALLATION AND SHALL PROVIDE A FILL TANK UPON MAINTENANCE TURNOVER. TANK CAPACITY: 4.6	VAL-01	
	2-WIRE CONTROL WIRE CONTROL WIRE SHALL BE #14F AND DIRECT BURIAL (UL APPROVED), COLOR CODE WIRE PER CONTROLLER, PROVIDE A MINIMUM OF THREE SEPARATE SPARE PILOT WIRES TO THE END OF EACH MAINLINE. ROUTE SPARE WIRES INTO EACH VALVE MANIFOLD LOCATION, BUNDLE AND TAPE ALL WIRE AND TAPE TO MAINLINE. LEAVE SPARE WIRE ENDS IN THE LAST VALVE MANIFOLD BOX ON THE MAINLINE. IRRIGATION COMMON WIRE SHALL BE #12F AND DIRECT BURIAL (UL APPROVED).	W-0-PL-10	
	3H DERY-6 PRE-FILLED WIRE CONNECTORS, USE ON ALL WIRE CONNECTIONS IN VALVE OR PULL BOXES ONLY	VAL-10	
	CARSON VALVE BOXES SIZE PER EQUIPMENT LEGEND, WITH T-COVER LIDS AND CAPTIVE BOLT AND LOCK-KIT. FOR ROUND DRIP EMITTERS USE MODEL 510, T-ECO SHALL BE MODEL 108, 1/2" ROUND SHALL BE MODEL 410, 1/2" STANDARD RECT. SHALL BE MODEL 114, 1/2" JUMBO RECT. SHALL BE MODEL 1220, SUPER JUMBO SHALL BE MODEL 1824, AND SUPER JUMBO XL SHALL BE MODEL 1730. VALVE BOXES SHALL HAVE GREEN HDPE BODY AND GREEN LIDS IN TURF AND SHRUB BEDS, AND TAN LIDS IN ROCK MULCH. USE PURPLE FOR RECYCLED WATER SYSTEMS. FOR USE IN NON-VEHICULAR TRAFFIC SITUATIONS ONLY. DO NOT INSTALL IN CONCRETE OR ASPHALT.	VAL-10	
	ELECTRICAL SERVICE DO VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY LOCATION IN THE FIELD.	NA	
	PULL BOX PULL BOXES FOR WIRE SLEEVES SHALL BE LOCATED APPROXIMATELY 500' O.C. AND AT THE ENDS OF ALL SLEEVES UNDER PAVING. PULL BOXES SHALL BE 10" ROUND WITH LOCKING LID	VAL-01	
	RM SIGN LOCATION OF RECYCLED WATER 'DO NOT DRINK' SIGN PER WATER DISTRICT STANDARDS.	VAL-11	
	STANDARD CONTROL WIRE CONTROL WIRE SHALL BE #14F AND DIRECT BURIAL (UL APPROVED), COLOR CODE WIRE PER CONTROLLER, PROVIDE A MINIMUM OF THREE SEPARATE SPARE PILOT WIRES TO THE END OF EACH MAINLINE. ROUTE SPARE WIRES INTO EACH VALVE MANIFOLD LOCATION, BUNDLE AND TAPE ALL WIRE AND INSTALL ADJACENT TO MAINLINE. LEAVE SPARE WIRE ENDS IN THE LAST VALVE MANIFOLD BOX ON THE MAINLINE. IRRIGATION COMMON WIRE SHALL BE #12F AND DIRECT BURIAL (UL APPROVED).	NA	

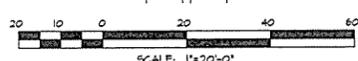
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL DESCRIPTION	PSI	DETAIL
	TEST STATION (RM) CROSS CONNECTION TEST STATION, QUICK COUPLER WITH ACME THREADS AND LOCKING COVER PER WATER DISTRICT STANDARDS	60-101	CC-02-01
	VALCON 5000 SERIES ANTI DRAIN VALVE USED ON ALL SPRINKLERS WITH LOW HEAD DRAINAGE UNCONTROLLABLE BY FACTORY INTEGRAL SPRINKLER HEAD CHECK VALVE.	60-101	
	MATTIS #115 NYE STRAINER (RM) MODEL #115 NYE STRAINER, WITH 304 STAINLESS STEEL 20 MESH SCREEN, INSTALL WITHIN PURPLE JIMBO BOX.	60-101	
	WILKINS #500-HLR PRESSURE REDUCING VALVE (RM) 500-HLR SERIES PRESSURE REDUCING VALVE WITH 40 TO 125 PSI SPRING RANGE SIZE AND PRESSURE SETTINGS AS NOTED. INSTALL IN PURPLE VALVE BOX WITH LOCKING LID.	60-101	
	WATER METER 1/2"	NA	
	WATER METER 1"	NA	
	POINT OF CONNECTION CONNECTION TO BUILDING	NA	
	IRRIGATION LATERAL LINE, GREENLINE NEST - PVC SCHEDULE 40-HP 1/2" & SMALLER - SCH40 NY SCH40 SOLVENT WELD FITTINGS	VAL-01	
	IRRIGATION LATERAL LINE, GREENLINE NEST - PVC CLASS 35 SDR 13.5-HP 2'-3" - PURPLE CL. 35 NY SCH40 SOLVENT WELD FITTINGS, 2 1/2"-3" FITTINGS SHALL BE THRUST BLOCKED	VAL-01	
	IRRIGATION MAINLINE, GREENLINE NEST - PVC SCHEDULE 40 1/2" & SMALLER - SCH40 NY SCH40 SOLVENT WELD FITTINGS	66-111	
	IRRIGATION MAINLINE, GREENLINE NEST - PVC SCHEDULE 40-HP 1/2" & SMALLER - PURPLE SCH40 NY SCH40 SOLVENT WELD FITTINGS	66-111	
	IRRIGATION MAINLINE, GREENLINE NEST - PVC CLASS 35 SDR 13.5-HP 2'-3" - PURPLE CL. 35 NY SCH40 SOLVENT WELD FITTINGS, 2 1/2"-3" FITTINGS SHALL BE THRUST BLOCKED	VAL-01	
	PIPE SLEEVE, GREENLINE NEST - PVC SCHEDULE 40	VAL-01	

VALVE CALLOUT



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCRUISE THE ROOT BALL.



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4000 Sawdust Valley Blvd
San Diego, CA 92121
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1 (858) 558-0177

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LANDSCAPE ARCHITECTURE & PLANNING



IRRIGATION LEGEND

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
165 FENTON
SAN DIEGO, CA

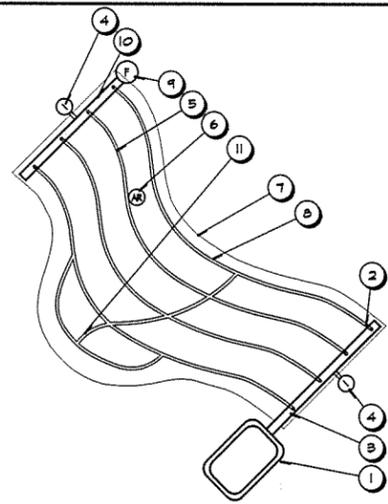
REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: RS
APPROVED: HH
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

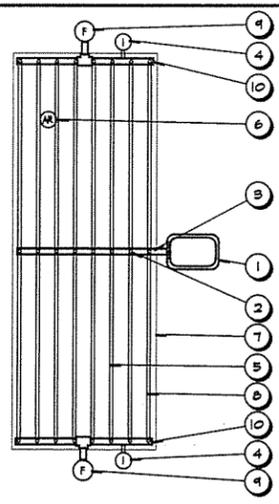
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SHEET 21 OF 38



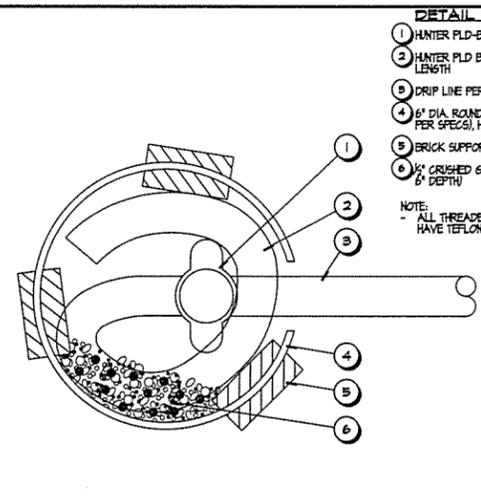
- DETAIL LEGEND**
- 1 DRIP VALVE ASSEMBLY (SEE LEGEND)
 - 2 DRIP TUBING START CONNECTION
 - 3 PVC SUPPLY HEADER
 - 4 HUNTER ECO INDICATOR
 - 5 DRIP TUBING PER LEGEND NOT TO EXCEED 200 LINEAR FEET BETWEEN HEADERS
 - 6 AIR RELIEF VALVE PER LEGEND, INSTALL AT HIGHEST POINT ON ZONE
 - 7 AREA PERIMETER
 - 8 PERIMETER LATERALS 2' TO 4' FROM EDGE
 - 9 FLUSH VALVE PER LEGEND, PLUMB TO EXHAUST HEADER
 - 10 PVC EXHAUST HEADER
 - 11 BLANK TUBING HEADER CENTERED ON MOUND OR BERM
- NOTE:
- ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

Y DRIP LAYOUT - ODD CURVES
SCALE: 1" = 1'



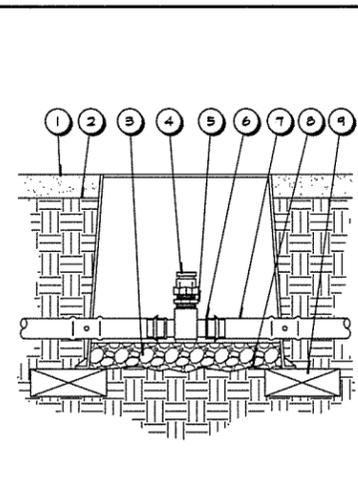
- DETAIL LEGEND**
- 1 DRIP VALVE ASSEMBLY (SEE LEGEND)
 - 2 DRIP TUBING START CONNECTION
 - 3 PVC SUPPLY HEADER
 - 4 HUNTER ECO INDICATOR
 - 5 DRIP TUBING PER LEGEND NOT TO EXCEED 200 LINEAR FEET BETWEEN HEADERS
 - 6 AIR RELIEF VALVE PER LEGEND, INSTALL AT HIGHEST POINT ON ZONE
 - 7 AREA PERIMETER
 - 8 PERIMETER LATERALS 2' TO 4' FROM EDGE
 - 9 FLUSH VALVE PER LEGEND, PLUMB TO EXHAUST HEADER
 - 10 PVC EXHAUST HEADER
- NOTE:
- ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

Z DRIP LAYOUT - CENTER FEED
SCALE: 1" = 1'



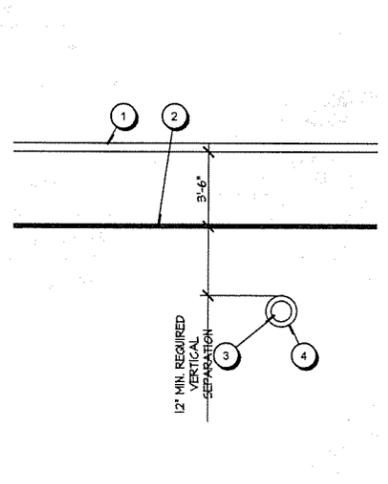
- DETAIL LEGEND**
- 1 HUNTER PLD-BV
 - 2 HUNTER PLD BLANK TUBING 24" LENGTH
 - 3 DRIP LINE PER PLAN
 - 4 6" DIA. ROUND VALVE BOX (INSTALL PER SPECS), HEAT BRAND TV ON LID
 - 5 BRICK SUPPORTS (THREE)
 - 6 3/4" CRUSHED GRAVEL SUMP (MINIMUM 6" DEPTH)
- NOTE:
- ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

AA FLUSH VALVE - HUNTER PLD
SCALE: 1" = 1'



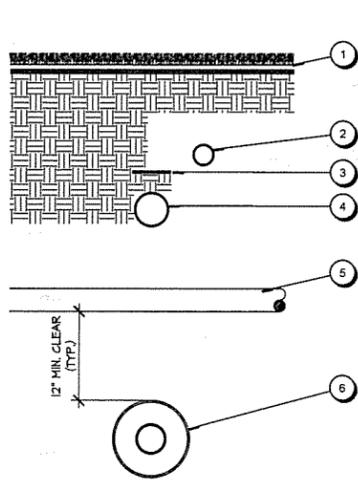
- DETAIL LEGEND**
- 1 TOP OF MULCH
 - 2 FINISHED GRADE
 - 3 3/4" WASHED GRAVEL, 1 CUBIC FOOT
 - 4 AIR RELIEF VALVE
 - 5 3/4" MFT x 1/2" FFI BUSHING
 - 6 PLD-OTS-TBTEE FITTING
 - 7 PROFESSIONAL LANDSCAPE DRIPLENE
 - 8 FILTER FABRIC
 - 9 BRICK SUPPORTS (THREE)
- NOTE:
- LOCATE AIR RELIEF VALVE(S) AT HIGHEST POINT(S) OF ZONE.
- MULTIPLE AIR RELIEF VALVES MAY BE NECESSARY.
- ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

BB DRIP AIR RELIEF VALVE
SCALE: 1" = 1'



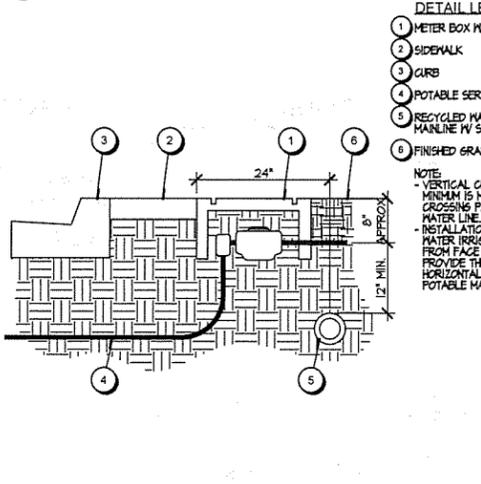
- DETAIL LEGEND**
- 1 STREET SURFACE
 - 2 POTABLE MAINLINE (SEE IMPROVEMENT DRAWINGS)
 - 3 RECYCLED WATER IRRIGATION MAINLINE
 - 4 IRRIGATION SLEEVE
- NOTE:
- ALL RECYCLED WATER IRRIGATION PIPING AND SLEEVES SHALL BE PURPLE AND LABELED AS SPECIFIED IN THE "STANDARD SPECIFICATIONS FOR PRIVATE IRRIGATION SYSTEMS WATER DISTRICT" RULES AND REGULATIONS FOR CONSTRUCTION OF RECLAIMED WATER MAINS OCTOBER 1993.

CC POTABLE MAINLINE CROSSING
SCALE: 1" = 1'



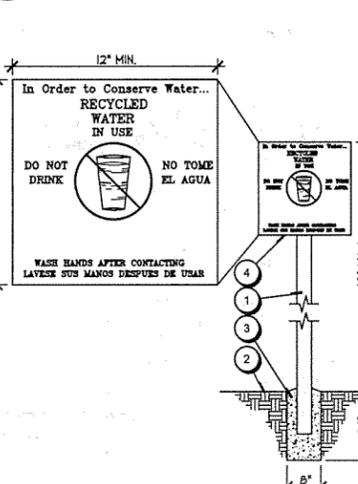
- DETAIL LEGEND**
- 1 FINISHED GRADE
 - 2 PURPLE LATERAL NON-PRESSURE RECYCLED WATER PIPE FROM IRRIGATION HEAD TO IRRIGATION HEAD, WHENEVER THE LINES CROSS THE POTABLE PIPE NO SLEEVE IS REQUIRED.
 - 3 3" WIDE DETECTABLE MARKER TAPE
 - 4 PURPLE COLORED PRESSURE MAINLINE PIPE
 - 5 POTABLE WATER LINE
 - 6 RECYCLED PRESSURE MAINLINE AND SLEEVE
- NOTE:
- WHERE POTABLE LINES AND CONSTANT PRESSURE RECYCLED WATER LINES CROSS, THE RECYCLED LINES SHALL BE INSTALLED BELOW THE POTABLE LINE IN A PURPLE COLORED PVC SLEEVE. THE SLEEVE SHALL EXTEND 10 FEET ON EITHER SIDE OF THE POTABLE LINE FOR A TOTAL OF 20 FEET.

CD POTABLE & RECYCLED WATER CROSSING
SCALE: 1" = 1'



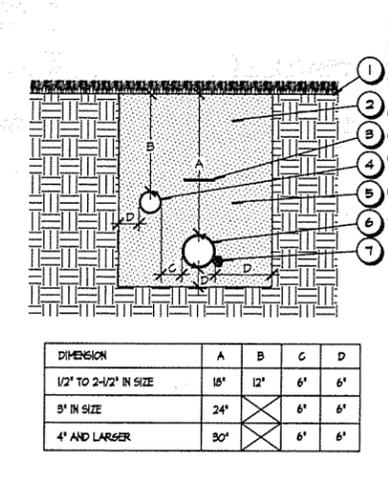
- DETAIL LEGEND**
- 1 METER BOX 1/4" METER
 - 2 SIDEWALK
 - 3 CURB
 - 4 POTABLE SERVICE LINE
 - 5 RECYCLED WATER IRRIGATION MAINLINE 1/4" SLEEVE
 - 6 FINISHED GRADE
- NOTE:
- VERTICAL CLEARANCE OF 12" MINIMUM IS MANDATORY WHEN CROSSING PATH OF A POTABLE WATER LINE.
- INSTALLATION OF RECLAIMED WATER IRRIGATION MAINLINE 24" FROM FACE OF SIDEWALK SHALL PROVIDE THE NECESSARY 10" HORIZONTAL CLEARANCE FROM POTABLE MAINLINE IN THE STREET.

CE POTABLE SERVICE LINE CROSSING
SCALE: 1" = 1'



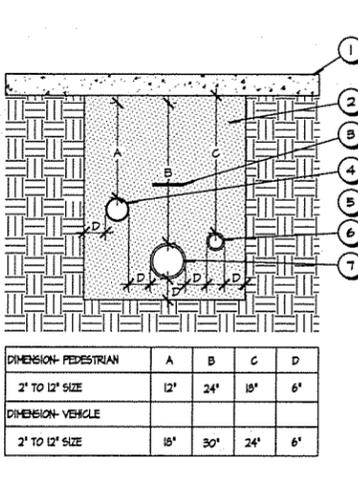
- DETAIL LEGEND**
- 1 MOOD POST
 - 2 FINISHED GRADE
 - 3 CONCRETE FOOTING, SLOPE TOP TO DRAIN
 - 4 RECYCLED WATER SIGN
- NOTES:
- SIGN SHALL BE MANUFACTURED OF 280" MIN ALUMINUM SHEET OR 280" ABS PLASTIC.
- SIGN SHALL INCORPORATE PURPLE BACKGROUND WITH WHITE LETTERS AND SYMBOLS.
- SIGN SHALL BE MOUNTED ON A 4"x4" PRESSURE TREATED MOOD POST 36" FROM FINISH GRADE.
- ATTACH THE SIGN TO THE POST USING VALIDAL PROOF HARDWARE.
- SET POST IN 8"x24" CONCRETE BLOCK.

CF RECYCLED WATER SIGN
SCALE: 1" = 1'



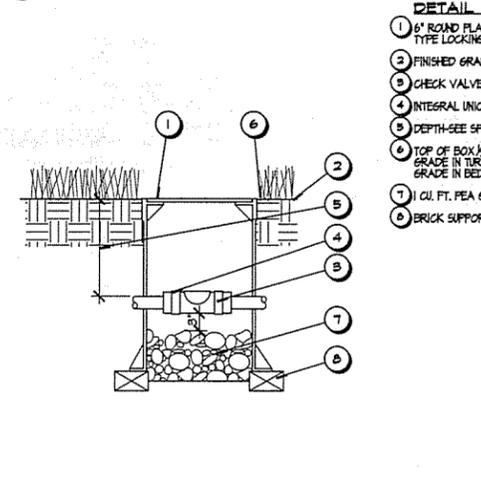
- DETAIL LEGEND**
- 1 FINISHED GRADE
 - 2 SAND BACKFILL COMPACTED TO THE DENSITY OF EXISTING SOIL
 - 3 DETECTABLE MARKING TAPE 12" ABOVE MAINLINE (MINIMUM)
 - 4 LATERAL LINES, SEE SPECS.
 - 5 UNDISTURBED SOIL
 - 6 PRESSURE MAINLINE, SEE SPECIFICATIONS
 - 7 TAPE CONTROL WIRES TO MAINLINE 10 FEET ON CENTER
- NOTE:
- BACKFILL SHOULD BE PLACED IN 6" LAYERS AND TAMPED.

CG PIPE INSTALLATION - POTABLE
SCALE: 1" = 1'



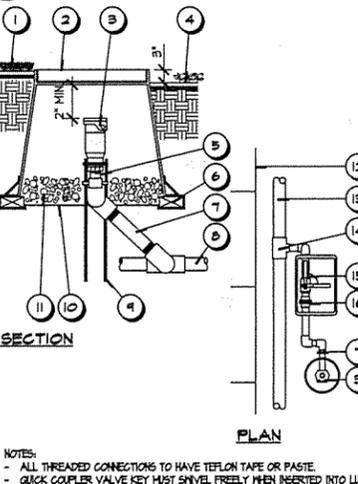
- DETAIL LEGEND**
- 1 PAVING
 - 2 SAND BACKFILL COMPACTED TO THE DENSITY OF EXISTING SOIL
 - 3 DETECTABLE MARKING TAPE 12" ABOVE MAINLINE SLEEVE (MINIMUM)
 - 4 LATERAL LINE SLEEVES, SEE LEGEND FOR SPECS
 - 5 UNDISTURBED SOIL
 - 6 CONTROL WIRE SLEEVE, SEE LEGEND FOR SPECS
 - 7 MAINLINE SLEEVE, SEE LEGEND FOR SPECS
- NOTES:
- SLEEVES TO BE THICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED.
- DETECTABLE MARKING TAPE SHALL BE PROVIDED FOR ALL PRESSURE MAINLINES. STANDARD 3/4" THICKNESS, 3" WIDTH WITH ALUMINUM CORE, PERMANENTLY PRINTED AND ALPHA UNIFORM COLOR CODE.
- EXTEND ALL SLEEVES 12" MINIMUM PAST HARDSCAPE EDGES.
- BACKFILL SHOULD BE PLACED IN 6" LAYERS AND TAMPED.
- CONTRACTOR SHALL INSTALL PULL BOX 6' FROM THE END OF EACH SIDE OF ANY ROAD CROSSINGS.

CH SLEEVE INSTALLATION - POTABLE
SCALE: 1" = 1'



- DETAIL LEGEND**
- 1 6" ROUND PLASTIC VALVE BOX, 1" TYPE LOCKING LID
 - 2 FINISHED GRADE
 - 3 CHECK VALVE
 - 4 INTEGRAL UNIONS
 - 5 DEPTH-SEE SPECIFICATIONS
 - 6 TOP OF BOX 1/4" ABOVE FINISHED GRADE IN TURF, 2" ABOVE FINISHED GRADE IN BEDS
 - 7 1 CU. FT. PEA GRAVEL
 - 8 BRICK SUPPORTS (2 REQ.)

CI CHECK VALVE
SCALE: 1" = 1'



- DETAIL LEGEND**
- 1 FINISHED GRADE IN TURF AREAS
 - 2 PLASTIC ROUND VALVE BOX WITH BOLT DOWN COVER, USE STAINLESS BOLT NUT AND WASHER, HEAT BRAND 1/2" ONTO LID.
 - 3 QUICK COUPLER VALVE SEE LEGEND FOR SPEC.
 - 4 FINISHED GRADE IN SHRUB AREAS
 - 5 BRASS NIPPLE, THREADED IN PLACE
 - 6 (4) BRICK SUPPORTS
 - 7 LASCO SCH. 40 TRIPLE SPONGE JOINT ASSEMBLY WITH MALE BRASS STABILIZER ELBOW
 - 8 MAINLINE, SEE SPECS.
 - 9 #4 x 36" REBAR STAKES, (1 of 2)
 - 10 LANDSCAPE FABRIC
 - 11 3/4" ROCK, 1 CUBIC FT.
 - 12 HARDSCAPE EDGE
 - 13 INSTALL MAINLINE 18" OFF OF HARDSCAPE EDGE
 - 14 SCH. 80 PVC UNION
 - 15 BALL TYPE ISOLATION VALVE
 - 16 SCH. 80 PVC UNION
- NOTES:
- ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.
- QUICK COUPLER VALVE KEY MUST SHIMMEL FREELY WHEN INSERTED INTO LUG TRACK.

CJ POTABLE QUICK COUPLER VALVE
SCALE: 1" = 1'

CG PIPE INSTALLATION - POTABLE
SCALE: 1" = 1'

CH SLEEVE INSTALLATION - POTABLE
SCALE: 1" = 1'

CI CHECK VALVE
SCALE: 1" = 1'

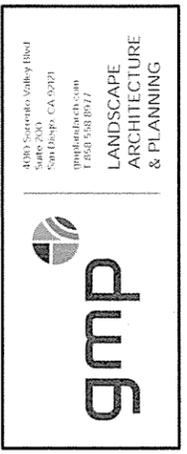
CJ POTABLE QUICK COUPLER VALVE
SCALE: 1" = 1'

DIMENSION	A	B	C	D
1/2" TO 2-1/2" IN SIZE	18"	12"	6"	6"
3" IN SIZE	24"		6"	6"
4" AND LARGER	30"		6"	6"

DIMENSION- PEDESTRIAN	A	B	C	D
2' TO 12' SIZE	12"	24"	18"	6"
DIMENSION- VEHICLE				
2' TO 12' SIZE	18"	30"	24"	6"

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, HALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL BUCKLE THE ROOT BALL.

Underground Service Alert
Call: **811**
TWO WORKING DAYS BEFORE YOU DIG
CAUTION: Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of whom they will notify.



IRRIGATION DETAILS

SOLANA HIGHLANDS
CITY OF SOLANA BEACH
HG FENTON
SAN DIEGO, CA

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: RS
APPROVED: HM
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

IRRIGATION SPECIFICATIONS

SECTION 02811 LANDSCAPE IRRIGATION

PART 1 - GENERAL

1.01 SUMMARY
A. SECTION INCLUDES: IRRIGATION SYSTEMS
B. THE WORK SHALL INCLUDE ALL MATERIALS, LABOR, SERVICES, TRANSPORTATION AND EQUIPMENT NECESSARY TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS, IN THESE SPECIFICATIONS, AND AS NECESSARY TO COMPLETE THE CONTRACT.

1.02 CONSTRUCTION DRAWINGS
A. DUE TO THE SCALE OF THE DRAWINGS IT IS NOT POSSIBLE TO INDICATE ALL DETAILS, FITTINGS, SIZES, ETC. WHICH ARE NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE MANUFACTURER AND FOR PROVIDING THE SAME TO THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE MANUFACTURER AND FOR PROVIDING THE SAME TO THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO THE START OF CONSTRUCTION.

1.03 QUALITY ASSURANCE
A. PROVIDE AT LEAST ONE ENGLISH SPEAKING PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS CONTRACT TO ASSIST THE LANDSCAPE ARCHITECT AND THE CITY IN THE INSPECTION OF THE WORK AND TO ASSIST IN THE CONTRACTOR'S RECOMMENDED METHODS OF INSTALLATION AND WHO SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.

1.04 SUBMITTALS
A. MATERIALS LIST
B. SHOW MANUFACTURER'S NAME AND MODEL NUMBER FOR EACH ITEM FURNISH COMPLETE CATALOG CUTS AND NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNERS.

1.05 EXISTING CONDITIONS
A. THE CONTRACTOR SHALL BE FAMILIAR WITH THE LOCATION, SIZE AND DETAIL OF POINTS OF CONNECTION TO THE EXISTING SYSTEM.
B. IRRIGATION DESIGN IS BASED ON THE AVAILABLE STATIC WATER PRESSURE SHOWN ON THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.

1.06 INSPECTIONS
A. THE CONTRACTOR SHALL PERMIT THE LANDSCAPE ARCHITECT, OWNERS AUTHORIZED REPRESENTATIVE AND CITY INSPECTOR TO INSPECT THE WORK AT ANY TIME DURING THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE SAFE ACCESS FOR SUCH INSPECTIONS.
B. WHERE THE SPECIFICATIONS REQUIRE WORK TO BE TESTED BY THE CONTRACTOR IT SHALL NOT BE COVERED OR HIDDEN UNTIL THE TEST HAS BEEN COMPLETED AND THE RESULTS HAVE BEEN REVIEWED AND ACCEPTED BY THE CONTRACTOR, LANDSCAPE ARCHITECT, OWNERS AUTHORIZED REPRESENTATIVE AND CITY INSPECTOR.

1.07 STORAGE AND HANDLING
A. USE ALL MEANS NECESSARY TO PROTECT IRRIGATION SYSTEM MATERIALS BEFORE, DURING AND AFTER INSTALLATION. MATERIALS SHALL BE STORED IN A MANNER WHICH WILL PROTECT THEM FROM DAMAGE AND FROM BEING STOLEN.
B. EXERCISE CARE IN HANDLING, LOADING, UNLOADING AND STORING PLASTIC PIPE AND FITTINGS UNDER COVER UNTIL LAY FLAT TO AVOID INDEBENDING AND CONCENTRATED EXTERNAL LOADS.

1.08 CLEANUP AND DISPOSAL
A. REMOVE ALL WASTE, TRASH AND DEBRIS IN ACCORDANCE WITH APPLICABLE LAWS AND ORDINANCES AND AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND CITY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BURNING OF WASTE AND DEBRIS IN ACCORDANCE WITH APPLICABLE LAWS AND ORDINANCES AND AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND CITY INSPECTOR.
B. AT THE TIME OF COMPLETION THE ENTIRE SITE SHALL BE CLEARED OF TOOLS, EQUIPMENT, RUBBISH AND DEBRIS WHICH SHALL BE DISPOSED OF OFF-SITE IN A LEGAL DISPOSAL AREA.

1.09 TURNOVER ITEMS
A. RECORD DRAWINGS
B. THE CONTRACTOR SHALL SUBMIT ONE SET OF CONTRACT DRAWINGS ALL CHANGES IN THE WORK CONSTITUTING DEPARTURES FROM THE ORIGINAL DRAWINGS TO THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO THE START OF CONSTRUCTION.

1.10 CONTROLLER
A. THE CONTROLLER SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE A CHART SHOWING THE AREA COVERED BY EACH AUTOMATIC CONTROLLER. CHART SHALL SHOW THE AREA COVERED BY EACH AUTOMATIC CONTROLLER. CHART SHALL SHOW THE AREA COVERED BY EACH AUTOMATIC CONTROLLER.

2. WHEN COMPLETED AND APPROVED, THE CHART SHALL BE HERMETICALLY SEALED BETWEEN TWO PIECES OF PLASTIC, EACH PIECE BEING A MINIMUM 20 MILS IN THICKNESS.
A. OPERATION AND MAINTENANCE MANUALS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO THE START OF CONSTRUCTION. THE MANUALS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT AND THE CITY PRIOR TO THE START OF CONSTRUCTION.

2.01 EQUIPMENT
A. THE ABOVE EQUIPMENT SHALL BE TURNED OVER TO OWNERS AUTHORIZED REPRESENTATIVE AT THE FINAL INSPECTION.
B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EQUIPMENT AND MATERIALS FROM DAMAGE AND FROM BEING STOLEN.

2.02 GUARANTEE
A. THE ENTIRE SPRINKLER SYSTEM INCLUDING ALL WORK DONE UNDER THIS CONTRACT SHALL BE UNCONDITIONALLY GUARANTEED AGAINST ALL DEFECTS AND FAILURES OF MATERIAL AND WORKMANSHIP FOR A PERIOD OF TWO YEARS FROM THE DATE OF COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EQUIPMENT AND MATERIALS FROM DAMAGE AND FROM BEING STOLEN.

2.03 METAL PIPE AND FITTINGS
A. BRASS PIPE SHALL BE 65 PERCENT RED BRASS, ANS, IPS STANDARD 125 POUNDS, SCHEDULE 40 SCHEDULED PIPE.
B. BRASS FITTINGS SHALL BE MEDIUM BRASS, SCHEDULED 125-POUND CLASS.

2.04 PLASTIC PIPE AND FITTINGS
A. PIPE SHALL BE MARKED CONTINUOUSLY WITH MANUFACTURER'S NAME, NOMINAL PIPE SIZE, SCHEDULE OR CLASS, P.V.C. TYPE AND DATE OF MANUFACTURE.
B. ALL PLASTIC PIPE SHALL BE EXTRUDED OF AN IMPROVED PVC VIRSIN PIPE COMPOUND IN ACCORDANCE WITH ASTM D2241 OR ASTM D1584.

2.05 BACKFLOW PREVENTION UNITS
A. THE BACKFLOW PREVENTION UNIT SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
B. THE BACKFLOW PREVENTION UNIT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY LOCAL CODES.

2.06 VALVES
A. GATE VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
B. BALL VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
C. BALL VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.

2.07 QUICK COUPLER VALVES
A. QUICK COUPLER VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
B. QUICK COUPLER VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.

2.08 AUTOMATIC CONTROL VALVES
A. AUTOMATIC CONTROL VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
B. AUTOMATIC CONTROL VALVES SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.

2.09 VALVE BOXES
A. VALVE BOXES SHALL BE FABRICATED FROM A DURABLE, WEATHER-RESISTANT PLASTIC MATERIAL RESISTANT TO SUNLIGHT AND CHEMICAL ACTION OF SOILS.
B. THE VALVE BOX COVER SHALL BE GREEN IN COLOR AND SECURED WITH BOLTS.

2.10 IRRIGATION CONTROLLER
A. CONTROLLER SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
B. THE CONTROLLER ENCLOSURE SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.

2.11 IRRIGATION HEADS
A. SPRINKLER HEADS SHALL BE OF THE MANUFACTURER, SIZE, TYPE, WITH RADIUS OF THROW, OPERATING PRESSURE, AND DISCHARGE RATE INDICATED ON THE DRAWINGS.
B. POP-UP HEADS AND RISER HEADS SHALL BE USED AS INDICATED ON THE DRAWINGS.

2.12 ELECTRICAL SERVICE
A. ELECTRICAL SERVICE SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE DRAWINGS.
B. ELECTRICAL SERVICE SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE DRAWINGS.

2.13 TRENCHING
A. EXCAVATIONS SHALL BE STRAIGHT WITH VERTICAL SIDES, EVEN GRADE, AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH.
B. EXCAVATIONS SHALL BE STRAIGHT WITH VERTICAL SIDES, EVEN GRADE, AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH.

2.14 BACKFILLING
A. BACKFILL MATERIAL ON ALL LINES SHALL BE THE SAME AS ADJACENT SOIL FREE OF DEBRIS, LITTER, AND ROCKS OVER 1/4" IN DIAMETER.
B. BACKFILL MATERIAL ON ALL LINES SHALL BE THE SAME AS ADJACENT SOIL FREE OF DEBRIS, LITTER, AND ROCKS OVER 1/4" IN DIAMETER.

2.15 PIPING
A. PIPING UNDER EXISTING PAVEMENT MAY BE INSTALLED BY JACKING, BORING, OR HYDRAULIC DRIVING.
B. PIPING UNDER EXISTING PAVEMENT MAY BE INSTALLED BY JACKING, BORING, OR HYDRAULIC DRIVING.

2.16 P.V.C. PIPE
A. P.V.C. PIPE SHALL BE INSTALLED IN A MANNER WHICH WILL PROVIDE FOR EXPANSION CONTRACTION AS RECOMMENDED BY THE PIPE MANUFACTURER.
B. P.V.C. PIPE SHALL BE INSTALLED IN A MANNER WHICH WILL PROVIDE FOR EXPANSION CONTRACTION AS RECOMMENDED BY THE PIPE MANUFACTURER.

2.17 PLASTIC TO METAL CONNECTIONS
A. FOR PLASTIC TO METAL CONNECTIONS, WORK THE METAL CONNECTIONS FIRST, USE A NON-HARDENING PIPE DOPE ON ALL METAL CONNECTIONS.
B. FOR PLASTIC TO METAL CONNECTIONS, WORK THE METAL CONNECTIONS FIRST, USE A NON-HARDENING PIPE DOPE ON ALL METAL CONNECTIONS.

2.18 ELECTRICAL SERVICE
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2.22 ELECTRICAL SERVICE
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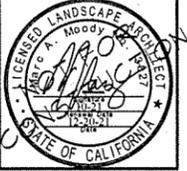
2.25 ELECTRICAL SERVICE
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2.26 ELECTRICAL SERVICE
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ROOT BARRIER NOTE: ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

Underground Service Alert 811 Call: TWO WORKING DAYS BEFORE YOU DIG

6084 Carondelet Valley Blvd Suite 2000 San Diego, CA 92121 (619) 593-8977



PROJECT TITLE: IRRIGATION SPECIFICATIONS

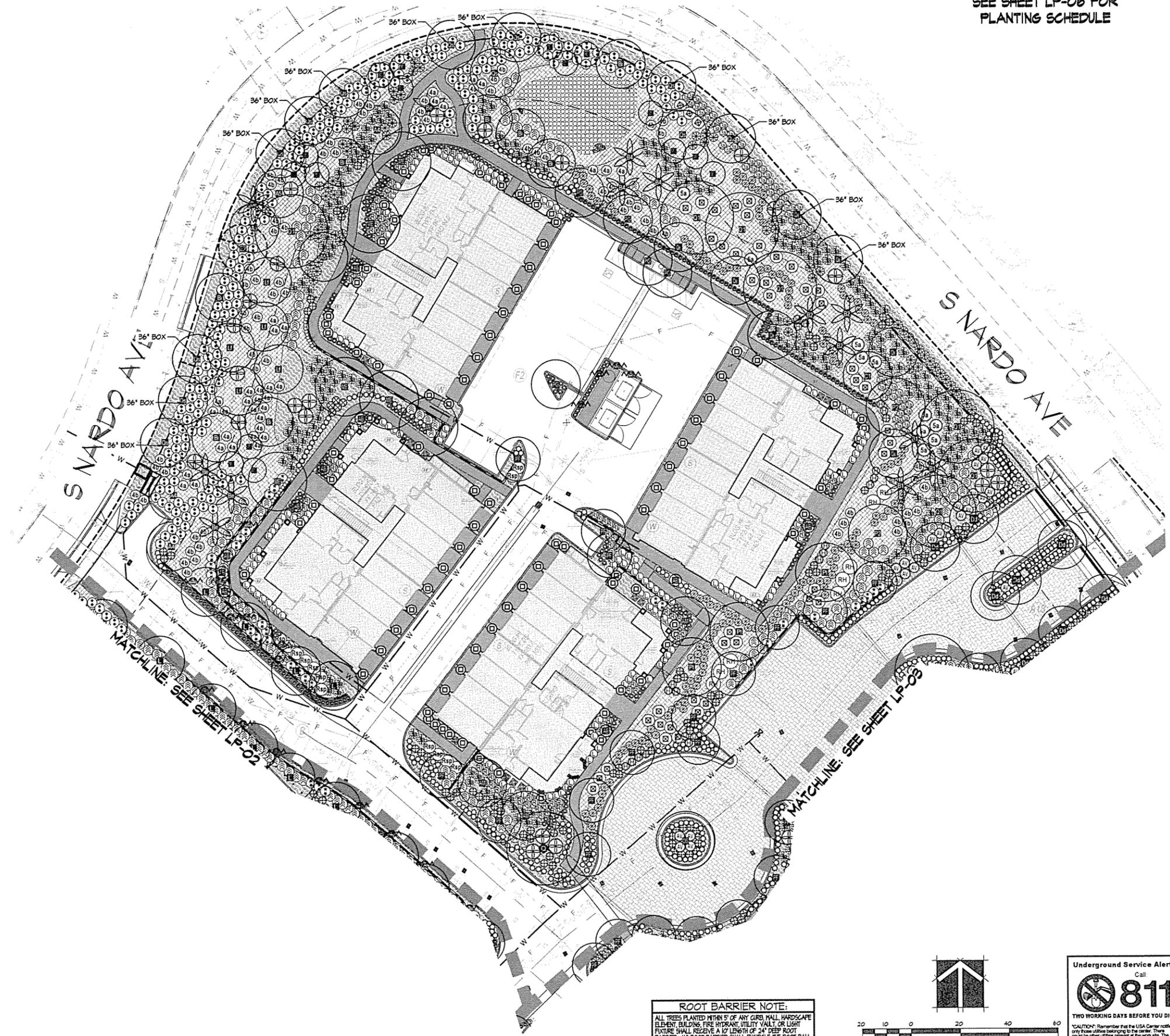
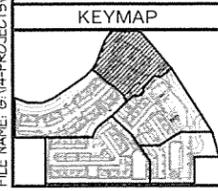
SOLANA HIGHLANDS CITY OF SOLANA BEACH HG FENTON SAN DIEGO, CA

Table with 2 columns: REVISIONS, and 2 columns: DRAWING, RS

Scale: 1" = 10' SHEET 28 OF 38

FILE NAME: G:\14-PRO-ECTS\14-006-COOL-AND-ARCH\CD-APTS\14-006-1-SUP-APTS.DWG

FILE NAME: G:\14-PROJECTS\14-006-COOLANDARCH\CD-APTS\14-006 P-5HT APTS.DWG



SEE SHEET LP-06 FOR PLANTING SCHEDULE

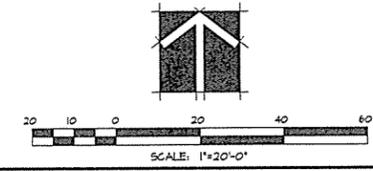
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S NARDO AVE

MATCHLINE: SEE SHEET LP-02

MATCHLINE: SEE SHEET LP-03

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY WALL, OR LIGHT FIXTURE SHALL RECEIVE A 12' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCLOSE THE ROOT BALL.



Underground Service Alert
Call **811**
THY WORKING DAYS BEFORE YOU DIG
CAUTION: Remember that the USA Center notifies only those utilities subscribing to the center. There could be other utilities present at the work site. The center will inform you of whom they will notify.

1400 Sacramento Valley Blvd
Suite 200
San Diego, CA 92108
gmplandscape.com
Phone: 619.594.7474



LANDSCAPE
ARCHITECTURE
& PLANNING



SHEET TITLE:
PLANTING PLAN

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
HG FENTON
SAN DIEGO, CA

REVISIONS

DRAWN	RS
APPROVED	HM
PLOT DATE	12/20/2021
JOB NO.	14-006-00
SCALE	SEE SHEET

LP-01

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	H X S	NORTHEAST ZONE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SIZE	SIZE	SIZE	SIZE	SIZE	REMARKS
14	14	ALOE BAINESII	ALOE	L	25'X15'		6	ACACIA ANEURA	MULGA	15 GAL	L	20'X15'				
41	41	AREBUTUS X 'MARINA'	AREBUTUS STANDARD	L	25'X25'		6	ACACIA CULTRIFORMIS	KNIFE ACACIA	15 GAL	L	20'X15'				
5	5	AREBUTUS X 'MARINA'	AREBUTUS MULTI-TRUNK	L	25'X25'		12	BANKSIA INTEGRIFOLIA	COAST BANKSIA	15 GAL	L	50'X20'				
21	21	LOPHOSTEMON CONFERTUS	BRISBANE BOX	M	50'X20'		4	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'				
44	44	METROSIDEROS EXCELSA	NEW ZEALAND XMAS TREE	M	35'X30'		5	BRAHEA EDULIS	GUADALUPE PALM	4' B.T.H.	L	25'X15'				
10	10	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE MULTI	L	30'X30'		5	LYONOTHAMNUS F. ASPLENIFOLIUS	CATALINA IRONWOOD	15 GAL	L	35'X20'				
1	1	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	L	30'X30'		20	MELALEUCA NESOPHILA	PINK MELALEUCA	15 GAL	L	20'X15'				
42	42	PARKINSONIA 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	L	20'X20'		21	QUERCUS SUBER	CORK OAK	24' BOX	L	50'X40'				
31	31	PHOENIX D. MEDJOL'	DATE PALM	L	50'X20'											
12	12	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	M	60'X30'		4	PINUS TORREYANA	TORREY PINE	15 GAL	L	60'X30'				
82	82	PODOCARPUS GRACILIOR	FERN PINE	M	35'X20'		3	QUERCUS BERBERIDIFOLIA	SCRUB OAK	15 GAL	VL	20'X20'				
3	3	QUERCUS AGRIFOLIA	COAST LIVE OAK MULTI	VL	50'X40'		6	QUERCUS TOMENTELLA	ISLAND LIVE OAK	15 GAL	L	40'X30'				
1	1	QUERCUS AGRIFOLIA	COAST LIVE OAK	VL	50'X40'		4	RHUS LANCEA	AFRICAN SUMAC	24' BOX	L	30'X20'				
EAST/POOL/ENTRY ZONE																
2	2	ARAUCARIA COLUMNARIS	COOK PINE	M	80'X20'		4	AREBUTUS X 'MARINA'	STRAWBERRY TREE STD.	24' BOX	L	25'X25'				
10	10	BRAHEA ARMATA	MEXICAN BLUE PALM	L	35'X15'		12	BRAHEA ARMATA	MEXICAN BLUE PALM	8' B.T.H.	L	35'X15'				
4	4	BRAHEA EDULIS	GUADALUPE PALM	L	25'X15'		4	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL	VL	25'X20'				
6	6	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI	L	18'X15'		5	HESPEROCYPARIS FORBESII	TEGATE CYPRESS	15 GAL	VL	25'X20'				
2	2	CHILOPSIS LINEARIS	DESERT WILLOW	VL	25'X20'		21	PINUS TORREYANA	TORREY PINE	15 GAL	L	60'X30'				
10	10	DRACAENA DRACO	DRAGON TREE	L	25'X20'		5	PRINUS ILICIFOLIA LYONII	CATALINA CHERRY	15 GAL	L	30'X20'				
22	22	PINUS TORREYANA	TORREY PINE	L	60'X30'		1	QUERCUS BERBERIDIFOLIA	SCRUB OAK	15 GAL	VL	20'X20'				
5	5	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	M	60'X30'		15	QUERCUS DUMOSA	COASTAL SHRUB OAK	15 GAL	VL	20'X20'				
14	14	QUERCUS AGRIFOLIA	COAST LIVE OAK	VL	50'X40'											
5	5	QUERCUS BERBERIDIFOLIA	SCRUB OAK	VL	20'X20'		4	BANKSIA INTEGRIFOLIA	COAST BANKSIA	15 GAL	L	50'X20'				
2	2	QUERCUS DUMOSA	COASTAL SHRUB OAK	VL	20'X20'		2	BRAHEA ARMATA	MEXICAN BLUE PALM	4' B.T.H.	L	35'X15'				
14	14	QUERCUS ENGELMANNII	ENGELMANN OAK	VL	50'X40'		4	DRACAENA DRACO	DRAGON TREE	24' BOX	VL	25'X20'				
EXIST. TREES																
1	1	ACACIA SPECIES	EXISTING ACACIA	L			8	PODOCARPUS GRACILIOR	FERN PINE	24' BOX	M	40'X20'				
5	5	PINUS CANARIENSIS	CANARY ISLAND PINE	L			1	RHUS LANCEA	AFRICAN SUMAC	24' BOX	L	30'X20'				
2	2	PINUS PINEA	ITALIAN STONE PINE	L												
3	3	PINUS RADIATA	MONTEREY PINE	M												
NORTH ZONE																
5	5	ACACIA ANEURA	MULGA	L	20'X15'		214	ARCTOSTAPHYLOS M. 'DR. HURD'	DR. HURD MANZANITA	5 GAL	L	15'X10'				
3	3	ACACIA CULTRIFORMIS	KNIFE ACACIA	L	20'X15'		682	ARCTOSTAPHYLOS X 'PACIFIC MIST'	PACIFIC MIST MANZANITA	5 GAL	L					
4	4	ALOE BARBERAE	TREE ALOE	L	25'X10'		854	BOUSAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUS.	5 GAL	L					
4	4	BEAUCAEREA RECURVATA	PONY TAIL PALM	L	20'X10'		184	CEANOETHUS X 'CONCHA'	CONCHA MILD LILAC	5 GAL	L	7'X10'				
2	2	BRACHYCHITON RUPESTRIS	QUEENSLAND BOTTLE TREE	L	35'X20'		719	DIANELLA REVOLUTA 'LITTLE REV'	SPREADING FLAX LILY	1 GAL	L					
1	1	BURSERA FASCIATOIDES	FRAGRANT BURSERA	VL	6'X15'		444	DIANELLA T. 'VARIASATA'	FLAX LILY	1 GAL	M					
2	2	BURSERA MICROPHYLLA	ELEPHANT TREE	VL	12'X8'		52	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	1 GAL	L					
10	10	DRACAENA DRACO	DRAGON TREE	VL	25'X20'		205	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	1 GAL	L					
							56	FURCRAEA FOETIDA 'MEDIOPICTA'	MAURITIUS HEMP	5 GAL	L	7'X10'				
							60	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	VL	14'X8'				

249	LAVANDULA A. NIKO' TM	LAVENDER	1 GAL	L		
50	LEUCOSPERMUM X 'BRANDI'	BRANDI ROYAL HYN. PINGUSHION	1 GAL	L		
85	LEUCOSPERMUM X 'HIGH GOLD'	NODDING PINGUSHION	5 GAL	L		
1058	LIGUSTRUM J. 'TEXANUM'	WAX LEAF PRIVET	5 GAL	M	8'X4'	MAINTAIN AT 4-6' HT.
576	PODOCARPUS M. MAKI'	PODOCARPUS COLUMN	15 GAL	M	9'X4'	MAINTAIN AT 3' WIDTH X 3' DEPTH HEIGHT NOT TO BLOCK LIGHTS
261	RHAPHIOLEPIS I. 'SPRINGTIME'	SPRINGTIME INDIAN HAWTHORNE	5 GAL	L	6'X5'	
46	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL	VL	10'X8'	
273	ROSA F. 'ICEBERG'	ICEBERG ROSE	5 GAL	M		
231	ROSMARINUS O. 'PROSTRATUS'	DWARF ROSEMARY	5 GAL	L		
67	SALVIA GRESSII	AUTUMN SAGE	5 GAL	L		
103	STRELITZIA REGINAE	BIRD OF PARADISE	15 GAL	M		

SUCCULENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SIZE	SIZE	SIZE	SIZE
424	424	AGAVE ATTENUATA	AGAVE	5 GAL	L			
20	20	AGAVE ATTENUATA BLUE GLOW	BLUE AGAVE	5 GAL	L			
144	144	AGAVE VILMORINIANA	OCTOPUS AGAVE	15 GAL	L			
3	3	ALOE ARBORESCENS	TREE ALOE	1 GAL	L			
15	15	ALOE FEROX	BITTER TREE ALOE	15 GAL	L			
1252	1252	ALOE STRIATA	CORAL ALOE	5 GAL	L			
11	11	DASYLIRION WHEELERI	DESERT SPOON	5 GAL	L			
231	231	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	VL			
13	13	KALANCHOE BEHARENSIS	FELT PLANT	5 GAL	L			
45	45	YUCCA ROSTRATA	BIG BEND YUCCA	5 GAL	VL	14'X6'		

VINE/S PALIER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SIZE	SIZE
50	50	BOUSAINVILLEA 'SAN DIEGO RED'	BOUSAINVILLEA	15 GAL	L	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SIZE	SIZE
101,901 SF	101,901 SF	BACCHARIS PILLULARIS	DWARF COYOTE BRUSH	FLAT	L	12' o.c.
12,874 SF	12,874 SF	CAREX TUMILICOLA	BERKELEY SEDGE	1 GAL	L	18' o.c.
1,325 SF	1,325 SF	PASPALUM VAGINATUM TM	PLATINUM TE PASPALUM	500	M	
12,087 SF	12,087 SF	SENECIO MANDRALISCAE	BLUE CHALK STICKS	FLATS	L	12' o.c.

NOTE:
 HAND SEED/OVERSEED A 100 S.F. AREA WITHIN EACH OF THE TREE ZONES NOTED IN THE LEGEND WITH A MIXTURE OF ASCLEPIAS FASCICULARIS - NARROW LEAF MILKWEED, ASCLEPIAS ERIOCARPA - INDIAN MILKWEED, ASCLEPIAS EROSA - DESERT MILKWEED AT 1/4 LB OF EACH SEED TYPE PER 1000 S.F. EXACT LOCATIONS SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT IN THE FIELD. SEEDING SHALL TAKE PLACE BEFORE FLATTED GROUND COVER IS PLANTED SO AS TO WORK SEED INTO SOIL AS PLANTING TAKES PLACE.

CITY OF SOLANA BEACH PLANTING NOTES

A. ANY AREAS THAT ARE GRADED OR DISTURBED MUST BE LANDSCAPED TO PREVENT EROSION. PLANTING AND IRRIGATION MUST COMPLY WITH CITY WATER EFFICIENT REGULATIONS.
 B. ALL SLOPE AREAS GREATER THAN 3:1 MUST HAVE REINFORCED STRAW MATTING AND DEEP ROOTED GROUND COVER SPACED AT 12" O.C.
 C. 3" OF TOP DRESS MULCH MUST BE INSTALLED TO ALL AREAS WHERE EXPOSED SOIL IS PRESENT.
 D. A COMPLETE AGRONOMIC SOILS TEST MUST BE PERFORMED PRIOR TO PLANTING AND THE RECOMMENDED AMENDMENTS REVIEWED BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO PLANTING. THE TEST MUST INCLUDE PH, ORGANIC MATTER PERCENTAGE, INFILTRATION RATE, AND A COMPLETE CHEMICAL ANALYSIS (NH4, NO3, N, P, K, Ca, Mg, SO4, Na, B, Cu, Zn, Mn, Fe). THE FOLLOWING TESTS ARE ALSO RECOMMENDED: TOTAL EXCHANGE CAPACITY (TEC), EFFECTIVE CATION EXCHANGE (ECE), AND SODIUM ABSORPTION RATION (SAR). MAYPOINT ANALYTICAL AND WALLACE LABORATORIES ARE SOURCES FOR THIS TEST.
 E. THE SOIL PREP MUST INCLUDE, AT A MINIMUM, 4 CUBIC YARDS OF COMPOST/1000 SF INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL WHICH HAVE A SLOPE OF 3:1 OR LESS.
 F. AT THE TIME OF COMPLETION OF THE INSTALLATION, A CERTIFICATION OF COMPLETION, USING THE CITY'S FORM AND SIGNED BY THE LICENSED PROFESSIONAL WHO PREPARED THE LANDSCAPE PLANS, WILL BE REQUIRED. THE FOLLOWING MUST BE SUBMITTED WITH THE CERTIFICATION OF COMPLETION:
 FOLLOWS:
 1) A COPY OF THE AGRONOMIC SOILS REPORT.
 2) A MAINTENANCE SCHEDULE FOR PLANTING AND IRRIGATION
 3) AN IRRIGATION SCHEDULE THAT DELINEATES IRRIGATION TIMES AND WATER USAGE CONSISTANT WITH THE APPROVED PLAN'S, ESTIMATED TOTAL WATER USE (ETWU), AND CURRENT SANTA FE IRRIGATION DISTRICT REQUIREMENTS.

ROOT BARRIER NOTE:
 ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 12" LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENIRCLE THE ROOT BALL.



4080 Serrano Valley Blvd
 Suite 200
 San Diego, CA 92121
 619.444.1111
 gmp.com



SHEET TITLE:
PLANTING LEGEND

PROJECT CLIENT:
SOLANA HIGHLANDS
 CITY OF SOLANA BEACH
 HG FENTON
 SAN DIEGO, CA

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: RS
 APPROVED: MH
 PLOT DATE: 12/20/2021
 JOB NO.: 14-004-00
 SCALE: SEE SHEET

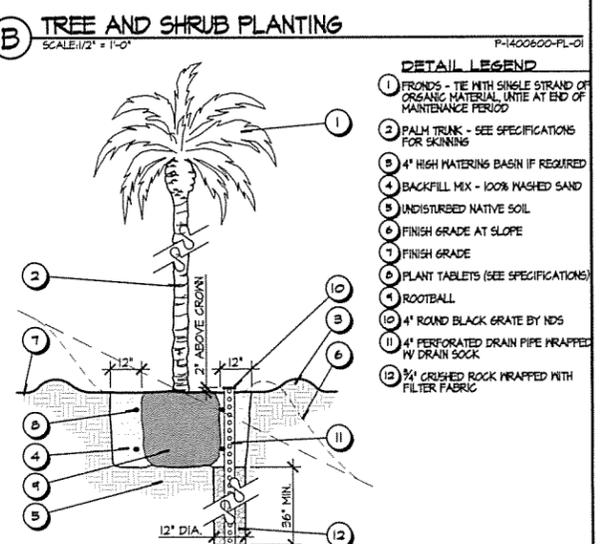
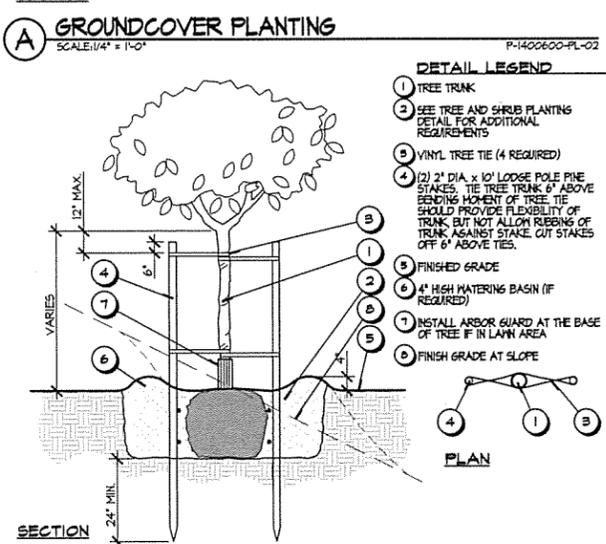
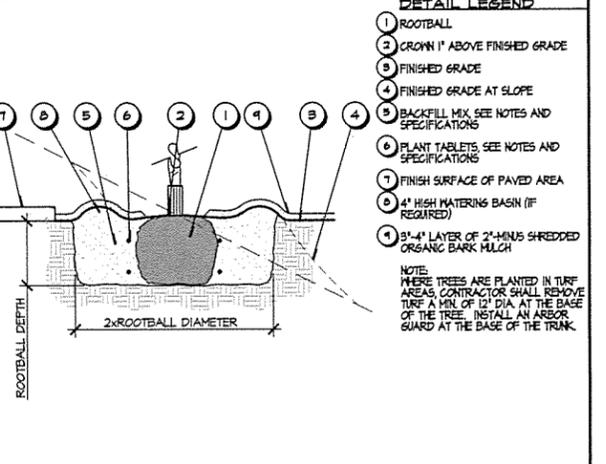
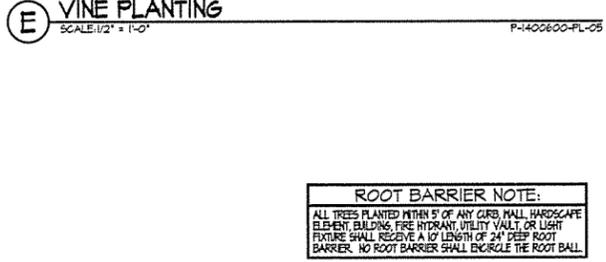
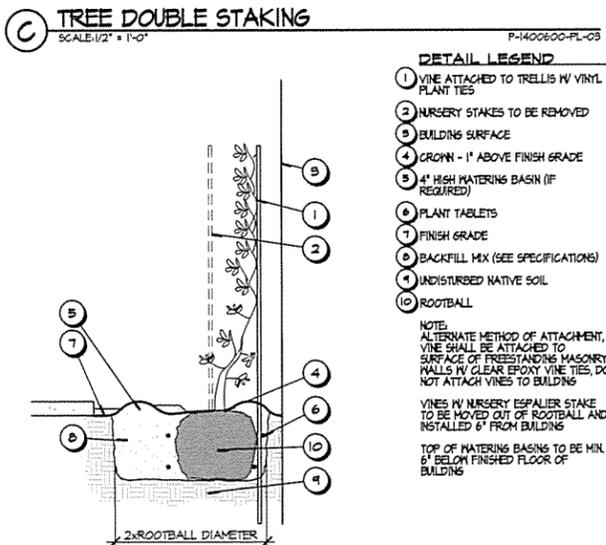
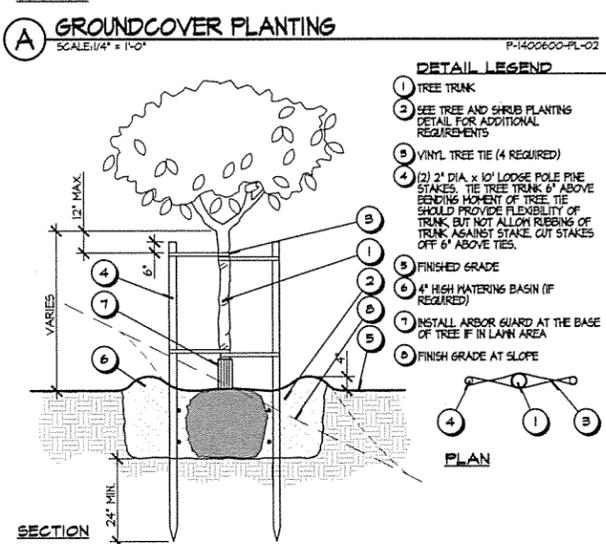
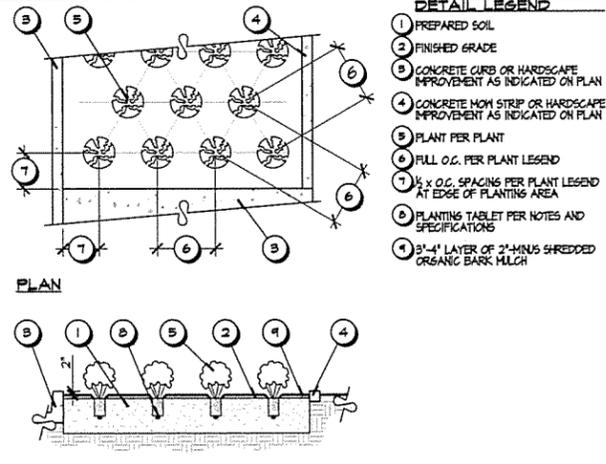
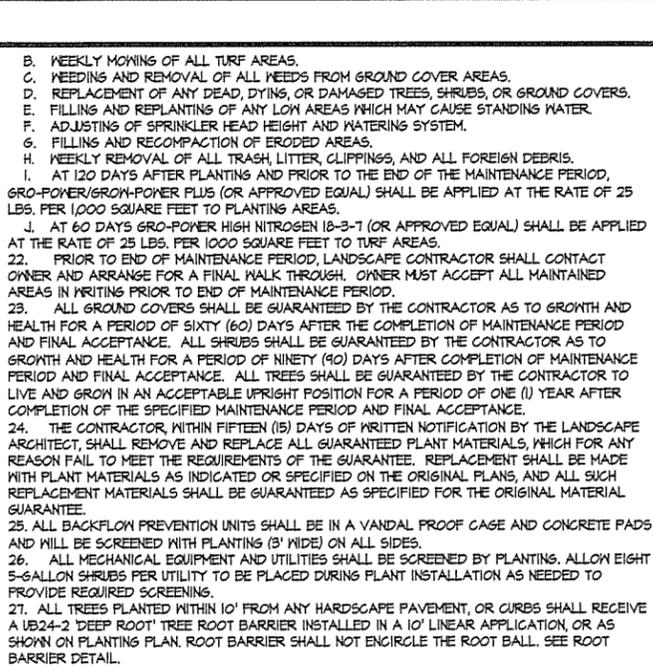
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PLANTING NOTES

- I. A. THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED.
- B. QUANTITIES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- C. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
2. LANDSCAPE CONTRACTOR SHALL APPLY AN ORGANIC CONTACT HERBICIDE, WHERE WEEDS ARE PRESENT, PER MANUFACTURERS SPECIFICATIONS A MINIMUM OF TEN (10) DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE PROCEEDING WITH WORK. AS AN ALTERNATIVE WEEDS MAY ALSO BE REMOVED MANUALLY FROM THE ROOTS.
3. LANDSCAPE CONTRACTOR SHALL SUBMIT A SOIL ANALYSIS REPORT FROM AN AUTHORIZED TESTING AGENCY TO THE LANDSCAPE ARCHITECT BEFORE BEGINNING WORK. THE SOIL TEST SHALL SPECIFY ORGANIC FERTILIZERS.
4. PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
5. ALL AREAS TO BE PLANTED, WHICH HAVE A SLOPE OF LESS THAN 10%, SHALL BE CROSS-RIPPED TO A DEPTH OF SIX (6) INCHES AND THE FOLLOWING AMENDMENTS SPREAD EVENLY AND THOROUGHLY BLENDED IN PER 1000 SQUARE FEET (QUANTITIES SUBJECT TO CHANGE PER SOIL ANALYSIS):
 - A. 4 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS
 - B. 150 LBS. GRO-POWER 5-3-1 (OR APPROVED EQUAL) ORGANIC FERTILIZER
 - F. EACH PLANT SHALL RECEIVE "GRO-POWER" (OR APPROVED EQUAL) PLANT TABLETS AS FOLLOWS:

A. ROOTED CUTTINGS/4" POT	-	(1) 7 GRAM
B. 1 GAL. CONTAINER	-	(2-3) 7 GRAM
C. 5 GAL. CONTAINER	-	(6-8) 7 GRAM
D. 15 GAL. CONTAINER	-	(12-15) 7 GRAM
E. 24" BOX TREE	-	(14-16) 7 GRAM
F. 36" BOX TREE	-	(18-20) 7 GRAM
7. PLANT BACK FILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME. THE CONTRACTOR SHALL NOT USE SOILS THAT MAY BE HARMFUL TO PLANT MATERIAL.
8. PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINER.
9. PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF TWO YEARS.
10. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS.
11. STAKE ALL TREES PER STANDARD DETAIL.
12. REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT FENCES WITH GALV. NAILS AND GREEN NURSERY TAPE OR AS SHOWN IN DETAILS.
13. REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
14. PLANTS SHALL NOT BE PLACED WITHIN TWELVE (12") INCHES OF SPRINKLER HEADS.
15. SHRUBS SHOWN IN PLANT AREAS SHALL BE UNDER-PLANTED WITH GROUND COVER SHOWN BY ADJACENT SYMBOL, TO WITHIN 12" OF MAIN PLANT STEM.
16. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 2% DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, AND WALLS. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER.
17. FINISHED GRADES SHALL BE ONE (1) INCH BELOW THE TOP OF CURBS, SILLS, AND WALKWAYS IN ALL AREAS. WHERE SOD IS LAID NEXT TO THESE IMPROVEMENTS-FINISH GRADE BEFORE LAYING SOD SHALL BE 1-1/2" BELOW THE TOP.
18. THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS.
19. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF SIXTY (60) DAYS AFTER COMPLETION. ALL AREAS SHALL BE KEPT CLEAN, WATERED, AND WEED FREE.
20. AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED IN A GOOD WORKMANSHIP MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.
21. THE MAINTENANCE PERIOD SHALL INCLUDE THE FOLLOWING SCOPE OF WORK:
 - A. DAILY WATERING OF ALL PLANT MATERIAL.
 - B. WEEKLY MOWING OF ALL TURF AREAS.
 - C. WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AREAS.
 - D. REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS, OR GROUND COVERS.
 - E. FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER.
 - F. ADJUSTING OF SPRINKLER HEAD HEIGHT AND WATERING SYSTEM.
 - G. FILLING AND RECOMPACTION OF ERODED AREAS.
 - H. WEEKLY REMOVAL OF ALL TRASH, LITTER, CLIPPINGS, AND ALL FOREIGN DEBRIS.
 - I. AT 120 DAYS AFTER PLANTING AND PRIOR TO THE END OF THE MAINTENANCE PERIOD, GRO-POWER/GROW-POWER PLUS (OR APPROVED EQUAL) SHALL BE APPLIED AT THE RATE OF 25 LBS. PER 1000 SQUARE FEET TO PLANTING AREAS.
 - J. AT 60 DAYS GRO-POWER HIGH NITROGEN 18-3-1 (OR APPROVED EQUAL) SHALL BE APPLIED AT THE RATE OF 25 LBS. PER 1000 SQUARE FEET TO TURF AREAS.
 - K. PRIOR TO END OF MAINTENANCE PERIOD, LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A FINAL WALK THROUGH. OWNER MUST ACCEPT ALL MAINTAINED AREAS IN WRITING PRIOR TO END OF MAINTENANCE PERIOD.
 - L. ALL GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY (60) DAYS AFTER THE COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF NINETY (90) DAYS AFTER COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE.
 - M. THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS OF WRITTEN NOTIFICATION BY THE LANDSCAPE ARCHITECT, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS, WHICH FOR ANY REASON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIAL GUARANTEE.
 - N. ALL BACKFLOW PREVENTION UNITS SHALL BE IN A VANDAL PROOF CAGE AND CONCRETE PADS AND WILL BE SCREENED WITH PLANTING (3" WIDE) ON ALL SIDES.
 - O. ALL MECHANICAL EQUIPMENT AND UTILITIES SHALL BE SCREENED BY PLANTING. ALLOW EIGHT 5-GALLON SHRUBS PER UTILITY TO BE PLACED DURING PLANT INSTALLATION AS NEEDED TO PROVIDE REQUIRED SCREENING.
 - P. ALL TREES PLANTED WITHIN 10' FROM ANY HARDSCAPE PAVEMENT, OR CURBS SHALL RECEIVE A UB24-2 "DEEP ROOT" TREE ROOT BARRIER INSTALLED IN A 10' LINEAR APPLICATION, OR AS SHOWN ON PLANTING PLAN. ROOT BARRIER SHALL NOT ENCIRCLE THE ROOT BALL. SEE ROOT BARRIER DETAIL.



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

Underground Service Alert
Call **811**
TWO WORKING DAYS BEFORE YOU DIG
CAUTION: Remember that the USA Center notifies only those utilities belonging to the caller. There could be other utilities present at the work site. The center will inform you of whom they will notify.

4080 Sanovito Valley Blvd
San Diego, CA 92122
619.584.0177
gmp
LANDSCAPE ARCHITECTURE & PLANNING

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
125221
12/20/2021

SHEET TITLE:
PLANTING DETAILS & NOTES

PROJECT CLIENT:
SOLANA HIGHLANDS
CITY OF SOLANA BEACH
HG FENTON
SAN DIEGO, CA

REVISIONS

DRAWN: RS
APPROVED: HM
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

LP-07

SHEET 35 OF 38

PLANTING SPECIFICATIONS

LANDSCAPING
PART 1 - GENERAL
1.1 RELATED DOCUMENTS

SECTION
1.2 SUMMARY
A. THIS SECTION INCLUDES THE FOLLOWING:

1. TREES
2. SHRUBS
3. VINES
4. PLANTS/GROUNDCOVERS
5. SOIL AMENDMENTS
6. FERTILIZERS AND MULCHES
7. STAKES
8. LANDSCAPE EDGING

1.3 SUBMITTALS
A. GENERAL: SUBMIT EACH ITEM IN THIS ARTICLE ACCORDING TO THE CONDITIONS OF THE CONTRACT.

B. PRODUCT CERTIFICATES SIGNED BY MANUFACTURERS CERTIFYING THAT THEIR PRODUCTS COMPLY WITH SPECIFIED REQUIREMENTS.

1. MANUFACTURER'S CERTIFIED ANALYSIS FOR STANDARD PRODUCTS.
2. ANALYSIS FOR OTHER MATERIALS BY A RECOGNIZED LABORATORY MADE ACCORDING TO METHODS ESTABLISHED BY THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS, WHERE APPLICABLE.
3. LABEL DATA SUBSTANTIATING THAT PLANTS, TREES, SHRUBS, AND PLANTING MATERIALS COMPLY WITH SPECIFIED REQUIREMENTS.

C. MATERIAL TEST REPORTS FROM QUALIFIED INDEPENDENT TESTING AGENCY INDICATING AND INTERPRETING TEST RESULTS RELATIVE TO COMPLIANCE OF THE FOLLOWING MATERIALS WITH REQUIREMENTS INDICATED.
1. ANALYSIS OF EXISTING SURFACE SOIL.
2. ANALYSIS OF IMPORTED TOPSOIL.

D. PLANTING SCHEDULE INDICATING ANTICIPATED DATES AND LOCATIONS FOR EACH TYPE OF PLANTING.

1.4 QUALITY ASSURANCE

A. INSTALLER QUALIFICATIONS: ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED LANDSCAPING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL LANDSCAPE ESTABLISHMENT.

1. INSTALLER'S FIELD SUPERVISION: REQUIRE INSTALLER TO MAINTAIN AN EXPERIENCED FULL-TIME SUPERVISOR ON THE PROJECT SITE DURING TIMES THAT LANDSCAPING IS IN PROGRESS.

B. PROVIDE QUALITY SIZE, GENUS, SPECIES AND VARIETY OF TREES, SHRUBS AND OTHER PLANT MATERIALS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK.

C. PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE NOTIFYING LANDSCAPE ARCHITECT, ALLOW 48 HOURS NOTICE.

1.5 DELIVERY, STORAGE, AND HANDLING

A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERIES AND WHILE STORED AT SITE.

B. TREES AND SHRUBS: DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SHEARING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY. DO NOT DROP TREES AND SHRUBS DURING DELIVERY.

C. DELIVER TREES, SHRUBS, VINES, GROUND COVERS, AND OTHER PLANT MATERIAL AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED AFTER DELIVERY, SET PLANTING MATERIALS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.

1. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
2. WATER ROOT SYSTEMS OF TREES, SHRUBS AND VINES AND OTHER PLANT MATERIALS STORED ON SITE WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST CONDITION.

1.6 PROJECT CONDITIONS

A. UTILITIES: DETERMINE LOCATION OF ABOVE GRADE AND UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID DAMAGE. HAND EXCAVATE, AS REQUIRED. MAINTAIN GRADE STAKES UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.

B. EXCAVATION: WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY LANDSCAPE ARCHITECT BEFORE PLANTING.

1.7 COORDINATION AND SCHEDULING

A. COORDINATE INSTALLATION OF PLANTING MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED.

1.8 WARRANTY

A. GENERAL WARRANTY: THE SPECIAL WARRANTY SPECIFIED IN THIS ARTICLE SHALL NOT DEPRIVE THE OWNER OF OTHER RIGHTS THE OWNER MAY HAVE UNDER OTHER PROVISIONS OF THE CONTRACT DOCUMENTS AND SHALL BE IN ADDITION TO, AND RUN CONCURRENTLY WITH, OTHER WARRANTIES MADE BY THE CONTRACTOR UNDER REQUIREMENTS OF THE CONTRACT DOCUMENTS.

B. SPECIAL WARRANTY: WARRANT THE FOLLOWING LIVING PLANTING MATERIALS FOR A PERIOD OF ONE YEAR FOR TREES AND 90 DAYS FOR SHRUBS, GROUNDCOVERS AND PLANTS. AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

C. REMOVE AND REPLACE DEAD PLANTING MATERIALS IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.

D. REPLACE PLANTING MATERIALS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.

1.9 TREE, SHRUB AND VINE MAINTENANCE

A. MAINTAIN TREES, SHRUBS AND VINES BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS. MAINTAIN TREES AND SHRUBS FOR THE FOLLOWING PERIOD:
1. MAINTENANCE PERIOD: 3 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

2.1 TREE, SHRUB AND VINE MATERIAL

A. GENERAL: FURNISH NURSERY-GROWN TREES AND SHRUBS CONFORMING TO ANSI Z60.1 WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY-BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFOLIATION SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

B. GRADE: PROVIDE TREES AND SHRUBS OF SIZES AND GRADES CONFORMING TO ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

C. LABEL AT LEAST 1 TREE AND 1 SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

2.2 SHADE AND FLOWERING TREES

A. SHADE TREES: SINGLE-STEM TREES WITH STRAIGHT TRUNK, WELL-BALANCED CROWN, AND INTACT LEADER, OF SIZE INDICATED, CONFORMING TO ANSI Z60.1 FOR TYPE OF TREES REQUIRED.
1. BRANCHING HEIGHT: 1/2 OF TREE HEIGHT.

B. SMALL TREES: SMALL UPRIGHT OR SPREADING TYPE, BRANCHED OR PRUNED NATURALLY ACCORDING TO SPECIES AND TYPE, AND WITH RELATIONSHIP OF CALIPER, HEIGHT, AND BRANCHING RECOMMENDED BY ANSI Z60.1, AND STEM FORM AS FOLLOWS:
1. FORM: MULTISTEM, CLUMP, WITH 2 OR MORE MAIN STEMS.

C. CONTAINER-GROWN TREES WILL MEET ANSI Z60.1 LIMITATIONS FOR CONTAINER STOCK.

2.3 BROADLEAF EVERGREENS

A. FORM AND SIZE: NORMAL-QUALITY, WELL-BALANCED, BROADLEAF EVERGREENS, OF TYPE, HEIGHT, SPREAD, AND SHAPE REQUIRED, CONFORMING TO ANSI Z60.1.

2.4 PLANTS/GROUNDCOVERS

A. SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF SEED SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED IN THE "SCHEDULE OF SEED MIXTURES" INDICATED ON PLANS.

B. PROVIDE GROUND COVER PLANTS ESTABLISHED AND WELL ROOTED IN FLAT REMOVABLE CONTAINERS AND WITH NOT LESS THAN THE MINIMUM NUMBER AND LENGTH OF RUNNERS REQUIRED BY ANSI Z60.1 FOR THE POT SIZE SHOWN OR LISTED.

2.5 TURF

A. THE SOD SHALL CONSIST OF LIVE, GROWING, MATURE GRASS AS SPECIFIED ON THE PLANTING LEGEND OBTAINED FROM A LOCAL REPUTABLE SOD FARM. THE SOD SHALL BE CUT FROM THE FIELD WITH A MINIMUM OF ONE-HALF INCH OF SOIL THAT COMPLETELY COVERS THE ROOTS OF THE SOD. THE SOD SHALL HAVE A HEALTHY, VIGILANT ROOT SYSTEM OF COMPLETE, THICKLY MATTED ROOTS THROUGHOUT.

B. THE SOD SHALL ARRIVE VIGOROUS AND HAVE A LUSH APPEARANCE, UNIFORM TEXTURE AND DARK-GREEN COLOR THROUGHOUT WITH NO DEAD OR DRY EDGES.

C. THE SOD SHALL BE SUFFICIENTLY DENSE TO BEAR HANDLING AND PLACEMENT WITHOUT TEARING.

D. THE SOD SHALL BE FREE OF DISEASE AND HARMFUL INSECTS, OBNOXIOUS WEEDS OR OTHER GRASSES AND SHALL NOT CONTAIN ANY OTHER MATTER DELETTERIOUS TO ITS GROWTH OR WHICH MIGHT AFFECT ITS SUBSISTENCE OR HARDINESS WHEN TRANSPLANTED.

2.6 SOIL AMENDMENTS

A. LIME: ASTM C 602, CLASS T, AGRICULTURAL LIMESTONE CONTAINING A MINIMUM 80 PERCENT CALCIUM CARBONATE EQUIVALENT, WITH A MINIMUM 45 PERCENT PASSING A NO. 8 (2.36 MM) SIEVE AND A MINIMUM 15 PERCENT PASSING A NO. 60 (250 MICROMETER) SIEVE.
1. PROVIDE LIME IN THE FORM OF DOLOMITIC LIMESTONE.

B. ALUMINUM SULFATE: COMMERCIAL GRADE, UNADULTERATED.

C. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED SAND, FREE OF TOXIC MATERIALS.

D. PERLITE: HORTICULTURAL PERLITE, SOIL AMENDMENT GRADE.

E. PEAT HUMUS: FINELY DIVIDED OR GRANULAR TEXTURE, WITH A PH RANGE OF 6 TO 7.5, COMPOSED OF PARTIALLY DECOMPOSED MOSS PEAT (OTHER THAN SPHAGNUM), PEAT HUMUS, OR REED-SEDGE PEAT.

F. PEAT HUMUS: FOR ACID-TOLERANT TREES AND SHRUBS, PROVIDE MOSS PEAT WITH A PH RANGE OF 3.2 TO 4.5, COARSE FIBROUS TEXTURE, MEDIUM-DIVIDED SPHAGNUM MOSS PEAT OR REED-SEDGE PEAT.

G. SAND/STOCK OR GROUND-BARK HUMUS: DECOMPOSED, NITROGEN-TREATED, OF UNIFORM TEXTURE, FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIALS.
1. WHEN SITE TREATED, MIX WITH AT LEAST 0.15 LB (2.4 KG) OF AMMONIUM NITRATE OR 0.25 LB (4 KG) OF AMMONIUM SULFATE PER CU. FT. (CU. M) OF LOOSE SAND/STOCK OR GROUND BARK.

H. MANURE: WELL-ROTTED, UNLEACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAND/STOCK, OR OTHER BEDDING MATERIALS, FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, HELL SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.

I. HERBICIDES: EPA REGISTERED AND APPROVED, OF TYPE RECOMMENDED BY MANUFACTURER.

J. WATER: AS PROVIDED BY LOCAL WATER PURVEYOR.

2.6 FERTILIZER

A. BOTANICAL: COMMERCIAL, RAW, FINELY GROUND, MINIMUM OF 4 PERCENT NITROGEN AND 20 PERCENT PHOSPHORIC ACID.

B. SUPERPHOSPHATE: COMMERCIAL, PHOSPHATE MIXTURE, SOLUBLE, MINIMUM OF 20 PERCENT AVAILABLE PHOSPHORIC ACID.

C. COMMERCIAL FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASE NITROGEN, 50 PERCENT DERIVED FROM NATURAL ORGANIC SOURCES OR UREA-FORM, PHOSPHORUS, AND POTASSIUM IN THE FOLLOWING COMPOSITION:
1. COMPOSITION: 1 LB PER 1000 SQ. FT. (0.5 KG PER 100 SQ. M) OF ACTUAL NITROGEN, 4 PERCENT PHOSPHORUS, AND 2 PERCENT POTASSIUM, BY WEIGHT.
2. COMPOSITION: NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A QUALIFIED SOIL-TESTING AGENCY.

D. SLOW-RELEASE FERTILIZER: GRANULAR FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN THE FOLLOWING COMPOSITION:
1. COMPOSITION: 5 PERCENT NITROGEN, 10 PERCENT PHOSPHORUS, AND 5 PERCENT POTASSIUM, BY WEIGHT.
2. COMPOSITION: 20 PERCENT NITROGEN, 10 PERCENT PHOSPHORUS, AND 10 PERCENT POTASSIUM, BY WEIGHT.
3. COMPOSITION: NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED IN SOIL REPORTS FROM A QUALIFIED SOIL-TESTING AGENCY.
4. AGRIFORM (OR EQUAL) PLANTING TABLETS SHALL BE TIGHTLY COMPRESSED, LONG-LASTING AND SLOW-RELEASE. HEIGHTS OF 3, 10, AND 21 GRAMS LISTED IN THE GUARANTEED ANALYSIS.

2.7 MULCHES

A. ORGANIC MULCH: ORGANIC MULCH FREE FROM DELETTERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE OF THE FOLLOWING:
1. TYPE: GROUND OR SHREDDED BARK.

B. PEAT MULCH: PROVIDE PEAT MOSS IN NATURAL, SHREDDED, OR GRANULATED FORM, OF FINE TEXTURE, WITH A PH RANGE OF 4 TO 6 AND A WATER-ABSORBING CAPACITY OF 100 TO 2000 PERCENT.

C. FIBER MULCH: BIODEGRADABLE DYED-WOOD CELLULOSE-FIBER MULCH, NONTXIC, FREE OF PLANT GROWTH-OR GERMINATION-INHIBITORS, WITH MAXIMUM MOISTURE CONTENT OF 15 PERCENT AND A PH RANGE OF 4.5 TO 6.5.

D. INSTALL 3" DEPTH OF MULCH IN ALL NON-TURF PLANTING AREAS LESS STEEP THAN 3:1.

2.8 MISCELLANEOUS LANDSCAPE MATERIALS

A. STAKES

1. UPRIGHT STAKES: ROUGH-SAWN SOUND, NEW HARDWOOD, REDWOOD, OR PRESSURE-PRESERVATIVE-TREATED SOFTWOOD, FREE OF KNOTS, HOLES, CROSS GRAIN, AND OTHER DEFECTS; 2 INCHES DIAMETER BY LENGTH INDICATED, POINTED AT ONE END.
2. HOSE CHAINING GUARD: REINFORCED RUBBER OR PLASTIC HOSE AT LEAST 1/2 INCH (13 MM) IN DIAMETER, BLACK, CUT TO LENGTHS REQUIRED TO PROTECT TREE TRUNKS DAMAGE.

B. HERBICIDES AND INSECTICIDES

1. ALL JOB SITE PESTICIDE APPLICATION SHALL BE MADE BY PERSONNEL CAPABLE OF IDENTIFYING THE PEST

SPECIES TO BE CONTROLLED, KNOWLEDGEABLE OF CONTROL TECHNIQUES AND ABLE TO APPLY PESTICIDES AT PRESCRIBED RATES AND TIMES OF APPLICATION, AS REQUIRED TO ACHIEVE THE REQUIRED CONTROL UNDER THE JOB SITE CONDITIONS, WITHOUT DANGER TO PEOPLE, PETS, OR OTHER NON-TARGET ANIMALS OR VEGETATION.

C. ROOT BARRIER

1. ROOT BARRIERS ARE TO BE USED ON ALL TREES WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE. USE DEEP ROOT LB-24-2 INTERLOCKING LINEAR BARRIER OF LENGTH AND DEPTH AS INDICATED ON THE DRAWINGS.

D. ARBOR GUARD

1. INSTALL TREE TRUNK PROTECTOR FOR ALL TREES INSTALLED IN LAWN AREAS. TRUNK PROTECTOR SHALL ENCIRCLE ENTIRE BASE OF TREE TRUNK TO A HEIGHT OF 4" ABOVE FINISH GRADE. TRUNK PROTECTOR SHALL BE MADE OF A HARD PLASTIC MATERIAL TO PREVENT DAMAGE FROM WEED WHIPPERS AND LAWN MOWERS. PROTECTORS SHALL HAVE HOLES TO ALLOW THE TREE TRUNK TO BREATHE AND PREVENT HOLD.

E. TREE TIES

1. TREE TIES SHALL BE MADE OF BLACK VINYL MATERIAL WHICH AND SHALL CONFORM TO ASTM-D-412 STANDARDS FOR TENSILE AND ELONGATION STRENGTH. TIES ARE TO BE SECURED TO TREE STAKE USING A GALVANIZED NAIL.

PART 3 - EXECUTION

3.1 EXAMINATION

A. EXAMINE AREAS TO RECEIVE LANDSCAPING FOR COMPLIANCE WITH REQUIREMENTS AND FOR CONDITIONS AFFECTING PERFORMANCE OF WORK OF THIS SECTION. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

3.2 NEED ABATEMENT

A. UPON THE COMPLETION OF THE IRRIGATION SYSTEM AND AFTER ALL EXISTING WEEDS AND GROWTH HAVE BEEN REMOVED FROM THE PLANTING AREA, PERFORM THE FOLLOWING NEED ABATEMENT PROGRAM. WATER ALL AREAS FOUR (4) TIMES DAILY FOR TWENTY-ONE (21) CONSECUTIVE DAYS AND UNTIL WEED SEEDS HAVE GERMINATED. CEASE WATERING FOR THREE (3) DAYS. APPLY A NON-SELECTIVE HERBICIDE (ROUND-UP) PER MANUFACTURER'S RECOMMENDATIONS TO ERADICATE THE GERMINATED WEEDS. ALLOW HERBICIDE TO KILL ALL WEEDS. RAKE OR HOE OFF ALL DEAD WEEDS TO A DEPTH OF 1/4 INCH BELOW THE SURFACE OF THE SOIL. IF PERENNIAL WEEDS OR GRASSES STILL EXIST, REWATER FOUR (4) TIMES DAILY FOR FOURTEEN (14) CONSECUTIVE DAYS UNTIL NEW GROWTH APPEARS. REAPPLY A HERBICIDE WITH A DYE INDICATOR. REMOVE WEEDS AFTER HERBICIDE HAS HAD SUFFICIENT TIME TO KILL.

3.3 PREPARATION

A. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, AND SECURE ARCHITECT'S ACCEPTANCE BEFORE THE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUIRED.

3.4 PLANTING SOIL PREPARATION

A. MIX SOIL AMENDMENTS AND FERTILIZERS WITH SITE SOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. AMENDMENTS WILL BE MODIFIED FROM THOSE NOTED BASED ON SOILS REPORTS PERFORMED BY CONTRACTOR MIX (S).

B. FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.

C. FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.

D. PLANT BACKFILL SHALL BE PER SOIL TEST PERFORMED BY A SOIL TESTING LABORATORY PRE-APPROVED BY THE CITY OF SOLANA BEACH. THE TEST SHALL INDICATE BUT NOT BE LIMITED TO THE FOLLOWING:
a. ORGANIC MATTER CONTENT
b. N, P, K
c. PH
d. EC
e. SOIL TEXTURE (SILT, CLAY, SAND)
f. RECOMMENDATIONS FOR AMENDMENTS, LEACHING AND MAINTENANCE FERTILIZATIONS.

THE RESULTS AND RECOMMENDATIONS OF THE SOIL TESTING LABORATORY SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF SOLANA BEACH. THE APPROVED RECOMMENDATIONS FOR AMENDMENTS AND BACKFILL SHALL BE INCORPORATED INTO THE LANDSCAPE PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL BECOME PART OF THE APPROVED PLANS. PRODUCTS SPECIFIED BY PRODUCT NAME BY THE SOIL LAB, IN THE RECOMMENDATIONS MAY BE SUBSTITUTED WITH OR EQUAL PRODUCTS APPROVED BY THE CITY OF SOLANA BEACH.

3.5 GROUND COVER AND PLANTING BED PREPARATION

A. LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF 6 INCHES (150 MM). REMOVE STONES LARGER THAN 1-1/2 INCHES (38 MM) IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATERIALS.

B. SPREAD PLANTING SOIL MIXTURE TO DEPTH REQUIRED TO MEET THICKNESS, GRADES, AND ELEVATIONS SHOWN AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. PLACE SOIL MIXTURE IN TWO (2) LIFTS AND INSURE PROPER COMPACTION OF PLANTING BEDS.

C. EACH PLANT SHALL RECEIVE ONE (1) 5 GRAM 'AGRIFORM' (OR EQUAL) PLANT TABLET.

3.6 EXCAVATION FOR TREES AND SHRUBS

A. PITS AND TRENCHES: EXCAVATE WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO ASSIST DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
1. CONTAINER-GROWN TREES AND SHRUBS: EXCAVATE TO THICE CONTAINER WIDTH, AND TO DEPTH OF ROOTBALL IN CONTAINER.
1. EXCAVATION AND PLANTING OF TREES SHALL BE COMPLETED PRIOR TO INSTALLATION OF DRAIN LINE.

B. OBSTRUCTIONS: NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

1. HARDPAN LAYER: DRILL 6-INCH (150 MM) DIAMETER HOLES INTO FREE-DRAINING STRATA OR TO A DEPTH OF 10 FEET (3 M), WHICHEVER IS LESS, AND BACKFILL WITH FREE-DRAINING MATERIAL.

C. DRAINAGE: NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.

D. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE OUT, BEFORE PLACING SETTING LAYER AND POSITIONING TREES AND SHRUBS.

3.7 PLANTING TREES, SHRUBS AND VINES

A. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL LEVEL TO ADJACENT FINISH GRADES AS INDICATED.

1. CAREFULLY REMOVE CONTAINERS SO AS NOT TO DAMAGE ROOT BALLS.
2. PLACE BACKFILL AROUND BALL IN LAYERS, TAPPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN FIT IS APPROXIMATELY 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.

B. DISH AND TAMP TOP OF BACKFILL TO FORM A 3-INCH (75-MM) HIGH MOUND AROUND THE RIM OF THE PIT. DO NOT COVER TOP OF ROOT BALL WITH BACKFILL.

3.8 TREE, SHRUB AND VINE PRUNING

A. PRUNE THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY ARCHITECT. DO NOT CUT TREE LEADERS; REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES. PRUNE SHRUBS TO RETAIN NATURAL CHARACTER. SHRUB SIZES INDICATED ARE SIZE AFTER PRUNING. VINES ARE TO BE ALLOWED TO SPREAD/CLIMB AND SHOULD NOT BE PRUNED BACK HEAVILY.

3.9 TREE AND SHRUB STAKING

A. UPRIGHT STAKING AND TYING: STAKE TREES OF 15 GALLON AND LARGER. USE A MINIMUM OF 2 STAKES OF LENGTH REQUIRED TO PENETRATE AT LEAST 24 INCHES BELOW BOTTOM OF BACKFILLED EXCAVATION AND TO EXTEND AT LEAST 12 INCHES ABOVE GRADE. SET VERTICAL STAKES AND SPACE TO AVOID PENETRATING BALLS OR ROOT MASSES. SUPPORT TREES WITH 2 STANDS OF THE WIRE ENCASED IN HOSE SECTIONS AT CONTACT POINTS WITH TREE TRUNK. STAKING AND TYING OF TREE IS NOT INTENDED TO IMMOBILIZE TREE. INSTALL TO ALLOW SLACK IN TIES, AVOIDING RIGID RESTRAINT OF TREE.

3.10 VINE TYING

A. STANDARD NURSERY STAKE SHALL BE REMOVED FROM ALL VINES AND THE VINES SHALL BE TRAINED AND FASTENED TO THE WALLS/FENCES AS DIRECTED BY THE LANDSCAPE ARCHITECT.

B. USE STANDARD GREEN PLANT TIE TAPE TO TIE TRAIN VINE TO TRELLIS OR FENCE

C. PLANT ANCHOR KITS MAY BE USED ON MASONRY SURFACES. KIT SHALL CONSIST OF ANCHOR CAP, GLUE AND PLANT TIE.

3.11 PLANTING PLANTS

A. SPACE PLANTS AS INDICATED ON DRAWINGS.

B. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS, AND BACKFILL WITH PLANTING SOIL. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD WATER. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT GROWING WITH NET SOIL.

3.12 TURF INSTALLATION

A. SOIL PREPARATION
1. PRIOR TO PLANTING SOD, REMOVE ALL ROCKS AND DEBRIS, ERADICATE AND PHYSICALLY REMOVE ALL VEGETATION AND WEEDS, DEAD OR ALIVE, FROM THE SITE.

2. ROTOTILL OR SPADE THE AREA TO A DEPTH OF 4 TO 6 INCHES. ELIMINATE DRAINAGE PROBLEMS BY HAVING SOIL SLOPE AWAY FROM FOUNDATIONS, ETC.

3. INCORPORATE ORGANIC MATTER (HUMUS, REDWOOD, SAND, ETC.), GYPSUM, LIME AND FERTILIZER AS RECOMMENDED BY AN APPROVED SOILS REPORT TO A DEPTH OF 3 TO 4 INCHES, IN THE DESERT SOUTHWEST, INCORPORATE SOIL AMENDMENTS INTO THE TOP 2 TO 4 INCHES OF THE SOIL PROFILE.

4. RAKE AND SMOOTH THE SOIL, REMOVING ROCKS, ROOTS, AND LARGE CLODS. ROLL THE AREA LIGHTLY WITH A LAWN ROLLER 1/3 FULL OF WATER, LEAVING THE GRADE 1 INCH BELOW FINISH GRADE.

5. WATER THE PREPARED AREA TO A DEPTH OF 6 INCHES TO SETTLE SOIL AND PROVIDE A MOIST BASE FOR TURF.

B. SODDING

1. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE TESTED AND FULLY FUNCTIONAL.
2. SOD SHALL BE HARVESTED WITHIN 24 HOURS PRIOR TO DELIVERY AND PLANTED WITHIN THREE DAYS AFTER HARVEST.

3. INSTALL SOD IMMEDIATELY UPON DELIVERY. IN HOT WEATHER, PROTECT UNLAI D SOD BY PLACING STACKS IN SHADE COVERING WITH MOIST BURLAP SACKING AND SPRINKLING.

4. BEGIN INSTALLING SOD ALONG THE LONGEST STRAIGHT LINE, SUCH AS A DRIVEWAY OR SIDEWALK, BUTT AND PUSH EDGES AND ENDS AGAINST EACH OTHER TIGHTLY, WITHOUT STRETCHING, AVOID GAPS OR OVERLAPS. STAGGER THE JOINTS IN EACH ROW IN A BRICK-LIKE FASHION USING A LARGE SHARP KNIFE TO TRIM CORNERS, ETC. AVOID LEAVING SMALL STRIPS AT OUTER EDGES AS THEY WILL NOT RETAIN MOISTURE. ON SLOPES, LAY THE TURF PIECES HORIZONTALLY ACROSS THE SLOPE. ON 2:1 SLOPES OR GREATER, STAKE SOD TO HOLD IN PLACE WITH 1/2" X 1" X 12" PEGS AT TWO-FOOT SPACINGS. TO AVOID CAUSING INDENTATIONS OR AIR POCKETS, AVOID WALKING OR KNEELING ON THE TURF WHILE IT IS BEING INSTALLED OR JUST AFTER WATERING. DO NOT LAY WHOLE LAWN BEFORE WATERING. WHEN A CONVENIENTLY LARGE AREA HAS BEEN SODDED, WATER LIGHTLY TO PREVENT DRYING.

5. AFTER INSTALLING THE TURF, ROLL THE ENTIRE AREA TO IMPROVE TURF-TO-SOIL CONTACT AND REMOVE AIR POCKETS.

6. BEGIN WATERING WITHIN 30 MINUTES OF INSTALLATION.

3.13 MULCHING

A. MULCH BACKFILLED SURFACES OF PITS, TRENCHES PLANTED AREAS, AND OTHER AREAS INDICATED. 3" LAYER SHALL BE INSTALLED IN SHRUB AREA WITH GRADE LESS THAN 3:1. SUBMIT SAMPLE TO CITY INSPECTOR FOR APPROVAL.

3.14 CLEANUP AND PROTECTION

A. DURING LANDSCAPING, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

B. PROTECT LANDSCAPING FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

3.15 DISPOSAL OF SURPLUS AND WASTE MATERIALS

A. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH,

HYDROZONE LEGEND

- | SYMBOL | DESCRIPTION |
|--------|---|
| | 1. LANDSCAPE AREAS WITH LOW WATER USE DROUGHT TOLERANT PLANTINGS - DRIP IRRIGATION - 49,344 SF. |
| | 2. LANDSCAPE AREAS WITH LOW WATER USE DROUGHT TOLERANT PLANTINGS - MP ROTATOR IRRIGATION HEADS - 91,068 SF. |
| | 3. LANDSCAPE AREAS WITH MODERATE WATER USE PLANTINGS - MP ROTATOR IRRIGATION HEADS - 14,118 SF. |
| | 4. LANDSCAPE AREAS WITH MODERATE USE, DROUGHT TOLERANT PLANTINGS - DRIP IRRIGATION - 29,079 SF. |
| | 5. ARTIFICIAL TURF AREA - 6,192 |
- TOTAL LANDSCAPE AREA - 194,751 SF.

NOTES:
 - ALL LANDSCAPE AREAS IRRIGATED WITH RECYCLED WATER AND CALCULATED AS SPECIAL LANDSCAPE AREA.
 - HIGHEST WATER USE PLANT SHOWN IN A HYDRO-ZONE DETERMINES THE PLANT FACTOR FOR THAT HYDROZONE.
 - SPRAY AND MP ROTATORS MAY NOT BE USED IN AREAS WITHIN 2' OF HARDSCAPE AND IN ANY AREA THAT IS 8' OR LESS WIDE IN ANY DIRECTION.



ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Applicant Last Name: _____ Project Plan Check Number: _____ Project Address: _____

The project's Estimated Total Water Use is calculated using the following formula: $ETWU = (ETO) \times (0.62) \left(\frac{PF \times HA}{IE} + SLA \right)$

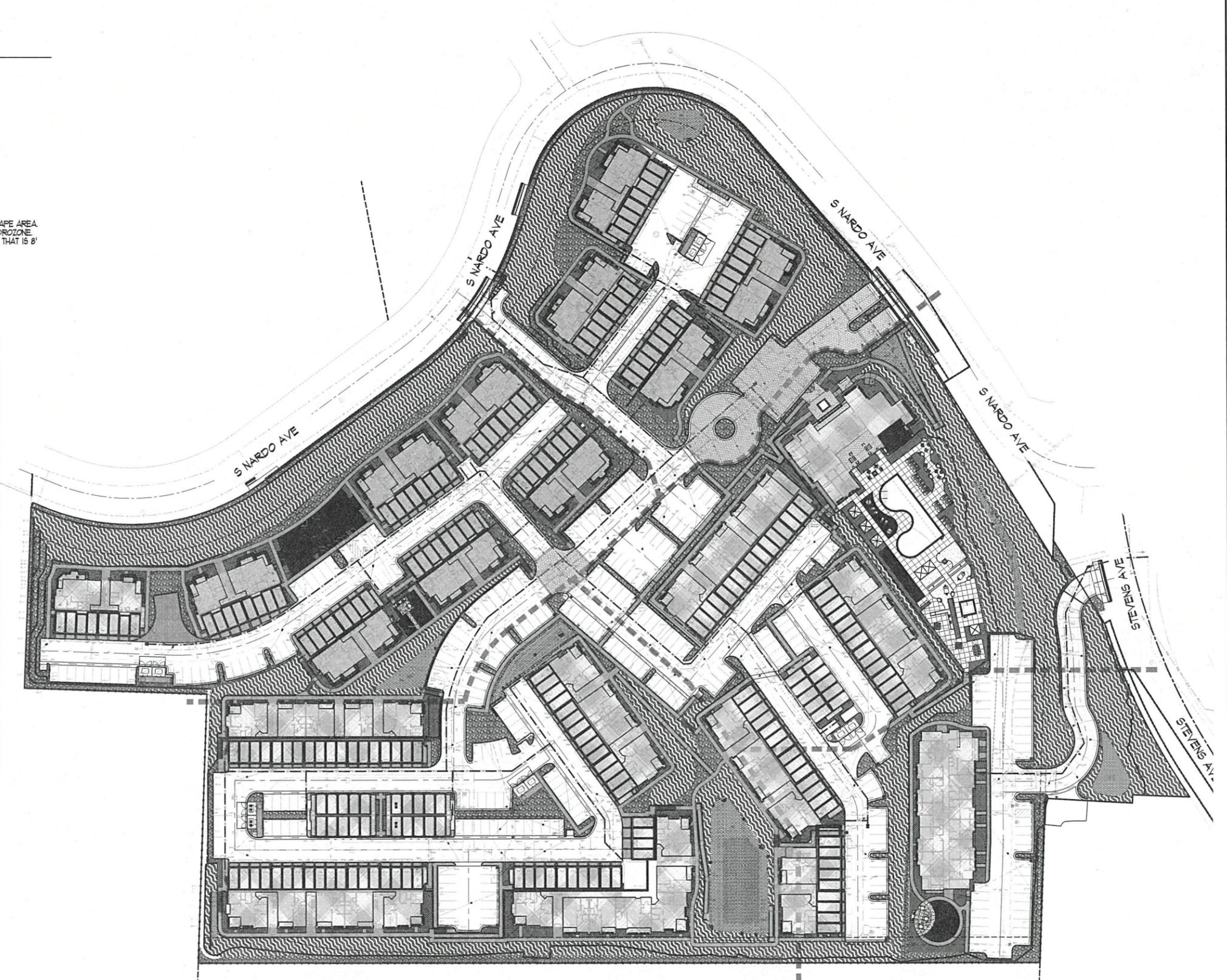
ETWU = Estimated total water use per year (gallons per year)
 ETo = Evapotranspiration rate (inches per year)
 PF = Plant Factor from WUCOLS (see Definitions)
 HA = Hydro-zone Area (square feet). Define hydro-zones by water use: very low, low, moderate and high
 SLA = Special Landscape Area (square feet). Edible plants, irrigated with recycled water, & turf used for active play
 0.62 = Conversion Factor (to gallons per square foot)
 IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

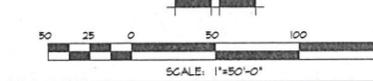
Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)				SLA
	1	2	3	4	
Evapotranspiration Rate (ETo) See "A" below	Use 41 (west of I-5) / 47 (east of I-5)				
Conversion Factor - 0.62	0.62				
(Line 1 x Line 2)	25.42 (west of I-5) / 29.14 (east of I-5)				
Plant Factor (PF) See "B" below					
Hydrozone Area (HA) - in square feet					194,751
(Line 4 x Line 5)					
Irrigation Efficiency (IE) See "C" below					
(Line 6 + Line 7)					
TOTAL of all Line 8 boxes + SLA					194,751
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year) Total shall not exceed MAWA below					4,950,570

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
 Evapotranspiration adjustment factor (ETAF) use .55 residential .45 non-residential

$25.42 \left(\frac{194,751}{25.42 \text{ or } 29.14} \right) + (1 - ETAF) \times 194,751 = \text{MAWA } 4,950,570$



ROOT BARRIER NOTE:
 ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 48" LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCRUIZE THE ROOT BALL.



Underground Service Alert
 Call **811**
 TWO WORKING DAYS BEFORE YOU DIG
 CAUTION: Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of whom they will notify.

4000 Sorentino Valley Blvd
 San Diego, CA 92121
 gmp@sanbarch.com
 619.598.0177



SHEET TITLE:
 HYDROZONE PLAN

PROJECT CLIENT:
 SOLANA HIGHLANDS
 CITY OF SOLANA BEACH
 HG FENTON
 SAN DIEGO, CA

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN: RS
APPROVED: HM
PLOT DATE: 12/20/2021
JOB NO.: 14-006-00
SCALE: SEE SHEET

LX-01

SHEET 31 OF 38

TRAFFIC CALMING PLAN

SOUTH NARDO AVENUE

REVITALIZING SOLANA HIGHLANDS

GENERAL NOTES

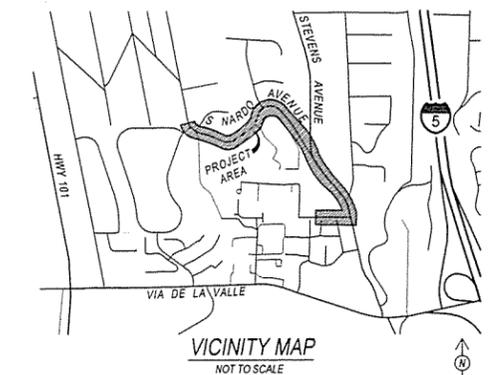
- A PERMIT SHALL BE OBTAINED FROM THE CITY OF SOLANA BEACH ENGINEERING DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE STRUCTURAL SECTION SHALL BE APPROVED BY THE CITY OF SOLANA BEACH AND AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
- ALL UNDERGROUND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF BERM, CURB, CROSS GUTTER AND PAVING.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER, WHICH IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- LOCATIONS AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- THE CONTRACTOR SHALL NOTIFY DIG ALERT AT 811 PRIOR TO STARTING WORK AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES.
- NO PAVING SHALL BE DONE UNTIL EXISTING POWER POLES ARE RELOCATED OUTSIDE THE AREAS TO BE PAVED.
- PRIVATE ROAD IMPROVEMENTS SHOWN HEREON ARE FOR INFORMATION ONLY. CITY ENGINEER'S SIGNATURE HEREON DOES NOT CONSTITUTE APPROVAL OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS (IF APPLICABLE).
- THE CONTRACTOR SHALL REQUEST FROM THE CITY ENGINEER'S OFFICE A PRE-CONSTRUCTION MEETING AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE FOR SUCH A MEETING.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT THE UTILITY AGENCIES AND ADVISE THEM OF THE PROPOSED IMPROVEMENTS AND BEAR THE COST OF RELOCATIONS, IF NEEDED.
- POWER SOURCES AND RUNS SERVING STREETLIGHTS SHALL BE SHOWN ON THE "AS-BUILT" IMPROVEMENT DRAWINGS. ALL SOURCES SHALL BE LOCATED WITHIN THE DEDICATED RIGHT OF WAY OR WITHIN EASEMENT DEDICATED TO THE CITY OF SOLANA BEACH.

PAVING NOTES

- FINAL STREET STRUCTURAL SECTION SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF BASE MATERIAL. THE DESIGN SHALL BE BASED ON THE "R" VALUE METHOD AND SHALL INCLUDE ALL SUPPORTING CALCULATIONS AND TEST RESULTS. THE TRAFFIC INDEX (T.I.) AND MINIMUM STRUCTURAL SECTIONS SHALL BE USED IN ACCORDANCE WITH THE CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS STREET STRUCTURAL SECTION DESIGN TABLE.
- A COMPACTION REPORT FROM A REGISTERED CIVIL ENGINEER, CERTIFYING ALL ROADWAY AND UTILITY TRENCHING HAS BEEN COMPACTED TO THE MINIMUM REQUIREMENTS SPECIFIED IN THE STANDARD SPECIFICATION FOR PUBLIC WORK CONSTRUCTION AND THE RECOMMENDATIONS OF THE SOIL ENGINEERING CONTAINED IN THE PROJECT'S SOILS REPORT.

TRAFFIC CONTROL NOTE

TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR FOR HIS WORK. TRAFFIC CONTROL SHALL CONFORM TO THE CALTRANS TRAFFIC MANUAL, TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE, AND THE REGIONAL STANDARD DRAWINGS. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN AND RECEIVE CITY APPROVAL FOR TRAFFIC CONTROL THAT DIFFERS FROM THOSE PLANS INCLUDED IN THE REGIONAL STANDARD DRAWINGS.



STANDARD REQUIREMENTS

- ALL WORK, UNLESS OTHERWISE SPECIFIED, SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION AND SUPPLEMENTS OF THE "STANDARD SPECIFICATIONS OF PUBLIC WORKS CONSTRUCTION", SAN DIEGO REGIONAL STANDARD DRAWINGS AND CITY OF SOLANA BEACH ENGINEERING CONSTRUCTION STANDARDS.
- WORK ZONE TRAFFIC CONTROLS THROUGHOUT PERMIT CONSTRUCTION SHALL CONFORM TO THE LATEST CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES".
- BEFORE WORK ON ANY SEWER LINE BEGINS, A PERMIT MUST BE ISSUED BY THE SOLANA BEACH ENGINEERING DEPARTMENT. FOR INFORMATION ON SEWER PERMITS, PLEASE CALL (858) 720-2470.
- PARKING RESTRICTIONS, AS APPROVED BY CITY ENGINEER, SHALL REQUIRE A MINIMUM OF 48 HOURS NOTICE, EXCLUDING HOLIDAYS AND WEEKENDS.
- TRAFFIC LANE RESTRICTIONS AND DETOURS MAY OCCUR ONLY BETWEEN THE HOURS OF 6:00 A.M. AND 3:00 P.M. AND ARE SUBJECT TO REVIEW OF THE CITY ENGINEER. EXCAVATIONS SHALL BE BACKFILLED OR OTHER ADEQUATE MEANS PROVIDED TO MAINTAIN EXISTING TRAFFIC LANES OTHER THAN DURING THESE HOURS.
- ONE LANE OF TRAFFIC IN EACH DIRECTION SHALL BE MAINTAINED AT ALL TIMES ON ALL MAJOR AND SECONDARY HIGHWAYS.
- A MINIMUM 4' WIDE PEDESTRIAN WALKWAY, CLEAR OF ANY OBSTRUCTION SHALL BE MAINTAINED WHEREVER SIDEWALKS EXIST AND MUST BE MAINTAINED WITH SAFETY FENCING OR BARRIER SEPARATION FROM ADJACENT EXCAVATION WHEN LEFT UNMANNED.
- ANY DAMAGE TO TRAFFIC CONTROL EQUIPMENT, TRAFFIC STRIPING OR RAISED PAVEMENT MARKERS SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE INSPECTOR. THE REPLACEMENT OF DAMAGED TRAFFIC EQUIPMENT, STRIPING OR RAISED PAVEMENT MARKERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND BE DONE AS SOON AS PRACTICAL AFTER COMPLETION OF WORK.
- A.C. PAVEMENT SHALL BE COLD PLANED ONE FOOT BEYOND THE EDGE OF THE TRENCH PER CITY DWG. M-3. CONCRETE SECTIONS TO BE REPLACED SCORELINE TO SCORELINE.
- PERMANENT PAVEMENT REPAIRS SHALL BE MADE WITHIN 25 DAYS AFTER EXCAVATION WORK IS COMPLETED. INSPECTOR'S APPROVAL IS REQUIRED BEFORE PERMANENT REPAIRS ARE MADE.
- WHEN PERMITTEE TUNNELS UNDER EXISTING CURBS, GUTTERS AND SIDEWALKS, THE EXCAVATED TRENCH SHALL BE BACKFILLED WITH CEMENT GROUT AS PRESCRIBED IN THE STANDARD SPECIFICATIONS.
- WHEN COMPACTION TESTS ARE REQUIRED, ALL COSTS ARE TO BE BORNE BY THE PERMITTEE.
- A ONE-SACK CEMENT AND SLURRY MIXTURE MAY BE REQUIRED FOR COMPACTION WHERE EXCAVATION INTERFERES WITH TRAFFIC FLOW OR WHERE WORK IS WITHIN THE ROADWAY PORTION OF AN INSPECTION.
- TREE TRUNKS SHALL BE CUT TO WITHIN 4' OF CURB HEIGHT AND SAID TRUNK AND ALL ROOTS SHALL BE GROUND TO A DEPTH OF 18" BELOW GRADE BY A MECHANICAL STUMP GRINDER TO THE SATISFACTION OF THE PUBLIC WORKS SUPERINTENDENT. ALL WOOD CHIPS SHALL BE REMOVED AND THE HOLE FILLED AND COMPACTED WITH TOPSOIL.

AS-BUILT

UPON COMPLETION, AND PRIOR TO RELEASING THE SECURITIES, THE ENGINEER OF WORK SHALL "AS-BUILT" THE ORIGINAL MYLAR PLANS. INITIALLY, TWO COPIES OF RED-LINED PLANS SHOWING ALL "AS-BUILT" INFORMATION, INCLUDING ALL NEW UNDERGROUND FACILITIES (MAIN LINES, SERVICES AND LATERALS), IS TO BE SUBMITTED TO THE ENGINEERING DEPARTMENT. WHEN THE RED-LINES ARE APPROVED, THE ORIGINAL MYLAR PLANS WILL BE CHECKED OUT TO THE ENGINEER. THE ENGINEER SHALL MAKE THE CHANGES, SIGN EACH SHEET UNDER "AS-BUILT", AND RETURN ORIGINAL MYLARS TO THE CITY.

ENGINEER OF WORK AS-BUILT CERTIFICATE

I, _____, HEREBY DECLARE THAT THE PREPARATION OF THESE AS-BUILT DRAWINGS AND THAT THE INFORMATION SHOWN IS BASED ON ACTUAL SITE INVESTIGATIONS AND SURVEYS OF THE IMPROVEMENTS BETWEEN THE DATES OF _____ AND _____ TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE. THE INFORMATION SHOWN ON THESE PLANS PROVIDE AN ACCURATE AND CORRECT REPRESENTATION OF THE AS-BUILT CONDITIONS.

BY: _____ DATE: _____
RCE # _____ EXP _____

DECLARATION OF RESPONSIBLE CHARGE

I, _____, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2017-120. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

BY: MICHAEL H. SMITH
RCE # 65090 EXP 09/30/23

PASCO LARET SUITER & ASSOCIATES
535 N HIGHWAY 101, SUITE A
SOLANA BEACH, CA 92078
858-259-8212



SPECIAL SEWER CONSTRUCTION NOTES

- PIPE BEDDING AND BACKFILL: GRAVEL SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SUBSECTION 306-1.2.1 AND BE PLACED IN ACCORDANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING SP-02. THE UPPER ZONE BACKFILL SHALL BE 9% MINIMUM RELATIVE COMPACTED TO NINETY FIVE PERCENT (95% COMPACTION).
- MANHOLE EXTERIOR SURFACE: THE EXTERIOR SURFACE OF MANHOLES SHALL BE COATED WITH A WATERPROOFING AGENT CONSISTING OF A COAL TAR EMULSION. THE WATERPROOFING SHALL BE KOP-COAT BITUMASTIC NO. 300M OR APPROVED EQUAL. THE WATERPROOFING SHALL BE APPLIED NO LESS THAN TWO (2) COATS TO ACHIEVE A TOTAL DRY THICKNESS OF 25 TO 35 MILS. THE EXTERIOR SURFACE SHALL BE PREPARED AND WATERPROOFING SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- MANHOLE INTERIOR SURFACE: THE INTERIOR SURFACE OF MANHOLES SHALL BE LINED WITH AN EPOXYURETHANE LINING. THE EPOXYURETHANE LINING SHALL BE SANCON 100 POLYURETHANE SYSTEM, OR APPROVED EQUAL. THE LINING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- SEWER LINE JOINTS SHALL NOT BE INSTALLED BELOW WATER MAINS.
- TRENCH RESURFACING SHALL BE PER SOLANA BEACH STANDARD DRAWING M-3A.

STORM DRAIN MARKERS:

- ALL NEW OR REPLACED STORM DRAIN INLETS SHALL HAVE A TILE PERMANENTLY AFFIXED ON THE CURB FACE OF EACH SIDE OF THE INLET OPENING WITH THE FOLLOWING MESSAGE ON IT: "NO DUMPING, THIS DRAINS TO OCEAN," INCLUDING A FISH STENCIL.
- THE SIZE, COLOR AND DESIGN SHALL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER. THE TILE MARKER SHALL CONSIST OF A HEAT-FIRED, VITREOUS, CERAMIC BASE AND A HEAT-FIRED, OPAQUE, GLAZED SURFACE. THE BOTTOMS OF THE TILE MARKER SHALL BE FREE FROM GLOSS OR GLAZE AND SHALL HAVE A NUMBER OF INTEGRALLY FORMED PROTRUSIONS PROJECTING FROM THE SURFACE IN A UNIFORM PATTERN.
- THE TILE MARKER SHALL BE APPLIED WITH AN EPOXY ADHESIVE TO MEET SERVICE REQUIREMENTS FOR HIGHWAY CONSTRUCTION. THE PORTION OF CURB FACE SURFACE TO WHICH THE TILE MARKER IS TO BE BONDED BY THE ADHESIVE SHALL BE FREE OF DIRT, CURING COMPOUND, GREASE, OIL, MOISTURE, LOOSE OR UNSOUND LAYERS, PAINT AND OTHER MATERIAL WHICH WOULD ADVERSELY AFFECT THE BOND OF THE ADHESIVE.

PROPERTY INFORMATION

SITE ADDRESS: 701 SOUTH NARDO AVENUE, SOLANA BEACH, CA 92075
OWNER/PERMITTEE: FENTON SOLANA HIGHLANDS, LLC, 7577 MISSION VALLEY ROAD #200, SAN DIEGO, CA 92108

ASSESSOR PARCEL NUMBERS: 298-280-33, 298-184-22, 298-281-10
TM STEVENS, LLC, 600 WEST BROADWAY, SAN DIEGO CA 92101

LEGAL DESCRIPTION

PARCEL 1: APN 298-280-33-00
LOTS 1, 2 AND 3 OF TURF CLUB VIEW, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6672, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 25, 1970.

PARCEL 2: APN 298-281-18-00
THE NORTHERLY 122.31 FEET OF LOT 13 OF EDEN GARDENS SUBDIVISION, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AS PER MAP NO. 1757 THEREOF, OF SAN DIEGO COUNTY RECORDS TOGETHER WITH THAT PORTION OF LOT 13, EDEN GARDENS IN THE CITY OF SOLANA BEACH, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1757, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 27, 1923, EXCEPTING PORTIONS OF LOTS 13 AND 14 OF THE EDEN GARDENS SUBDIVISION, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1757 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 27, 1923.

PARCEL 3: APN 298-184-22-00
ALL THAT PORTION OF LOT 14 EDEN GARDENS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1757 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY LYING SOUTHERLY OF ROAD SURVEY NO. 714 EXCEPTING THAT PORTION DEEDED TO THE CITY OF SOLANA BEACH BY DEED RECORDED JULY 12, 1995 AS DOCUMENT NO. 295095 OF OFFICIAL RECORDS AND THOSE PORTIONS OF LOTS 13 AND 14 OF THE EDEN GARDENS SUBDIVISION, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1757 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 27, 1923.

TOPOGRAPHIC SURVEY

PASCO LARET SUITER & ASSOCIATES
535 N HIGHWAY 101, SUITE A
SOLANA BEACH, CA 92075

BENCHMARK

FOUND 2.5' CITY OF SOLANA BEACH BRASS DISC ON CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT
ELEVATION 104.95 (NGVD29)

EMRA NOTE

ALL PRIVATE LANDSCAPING AND IRRIGATION IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY SHALL BE AUTHORIZED UNDER AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT (EMRA). ALL OTHER TRAFFIC CALMING MEASURES INSTALLED BY THESE PLANS ARE PUBLIC IMPROVEMENTS AND NOT PART OF AN EMRA.

ABBREVIATION LEGEND

AC	ASPHALT CONCRETE	LP	LOW POINT
BLDG	BUILDING	MH	MANHOLE
BMP	BEST MANAGEMENT PRACTICES	MIN	MINIMUM
BS	BOTTOM OF STAIR	MOD	MODIFIED
BVC	BEGIN VERTICAL CURVE	PCC	PORTLAND CEMENT CONCRETE
BW	BACK OF WALK / BOTTOM OF WALL	PL	PROPERTY LINE
DWG	DRAWING	PVI	POINT OF VERTICAL INTERSECTION
EG	EXISTING GRADE	PVT	PRIVATE
ESMT	EASEMENT	R/W	RIGHT-OF-WAY
EVC	END VERTICAL CURVE	SD	STORM DRAIN
EX	EXISTING	SDG&E	SAN DIEGO GAS & ELECTRIC
FF	FINISHED FLOOR	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SEWER MANHOLE
FL	FLOW LINE	STA	STATION
FS	FINISH SURFACE	TC	TOP OF CURB
FTG	FOOTING	TF	TOP OF FOOTING
GB	GRADE BREAK	TS	TOP OF STAIR
HH	HANDHOLE	TW	TOP OF WALL
HP	HIGH POINT		

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

- STANDARD SPECIFICATIONS
- SAN DIEGO REGIONAL STANDARD DRAWINGS
 - CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
 - STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

- STANDARD DRAWINGS
- SAN DIEGO REGIONAL STANDARD DRAWINGS
 - STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION	STD. DWG.	SYMBOL
SUBJECT PROPERTY / PROJECT BOUNDARY		---
ADJACENT PROPERTY LINE / RIGHT-OF-WAY		---
CENTERLINE OF ROAD		---
EXISTING LOT LINE		---
PROPOSED SETBACK		---
PROPOSED EASEMENT		---
PROPOSED PARCEL LINE		---
EXISTING CONTOUR LINE		---
PROPOSED CONTOUR LINE		---
CUT/FILL LINE		
CUT/FILL SLOPE @ 2:1 MAX		
PROPOSED PAD ELEVATION		PAD=120.0

PROPOSED PCC PAVEMENT	
PROPOSED AC PAVEMENT	
PROPOSED SIDEWALK	
PROPOSED FLUSH CURB	
PROPOSED 6" PCC CURB AND GUTTER	SDRSO G-2, G-6
PROPOSED DRIVEWAY	SDRSO G-14
CURB RAMPS	SDRSO G-27, G-28, G-30, G-32A + B

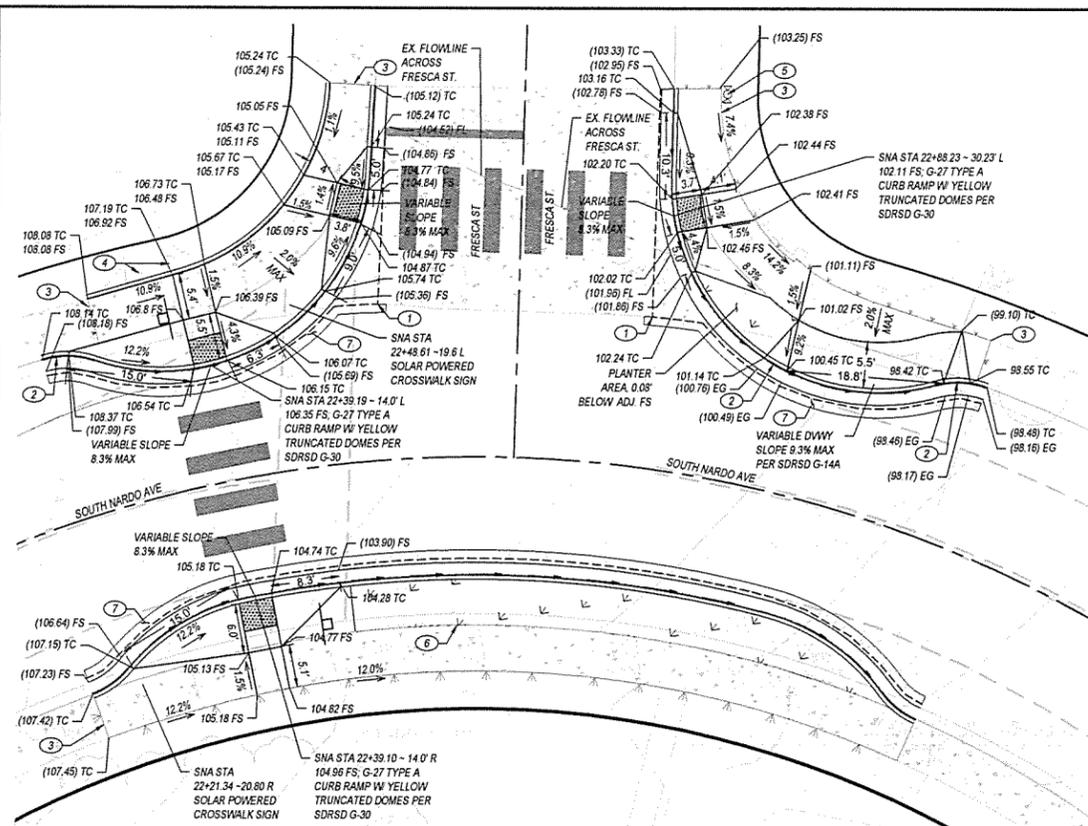
EXISTING GAS MAIN	
EXISTING OVERHEAD UTILITY LINE	
EXISTING UTILITY POLE	
EXISTING WATER MAIN	
EXISTING SEWER MAIN	
EXISTING STORM DRAIN	
EXISTING FIRE HYDRANT	

SHEET INDEX

SHEET DESCRIPTION	SHEET NUMBER
TITLE SHEET	1
NOTES & DETAILS	2
IMPROVEMENT PLAN & PROFILE	3-8

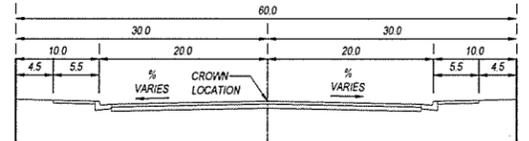
PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.pisaeengineering.com
COASTAL COMMISSION PERMIT NO. _____

SOLANA BEACH FIRE DEPARTMENT	SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
BY: _____ DATE: _____ FIRE CHIEF	REVIEWED BY: _____ DATE: _____ DISTRICT REPRESENTATIVE	JAS DRAWN BY: _____ DATE: _____ MICHAEL SMITH RCE # 65090 EXP: 09/30/23				BY: _____ DATE: _____	BY: MOHAMMAD SAMMAK, CITY ENGINEER R.C.E. 37146 EXP: 6/30/22	DESCRIPTION: 2.5' CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV. 104.95 (NGVD 29) DATUM: M.S.L.	IMPROVEMENT PLANS FOR: SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS 701 S NARDO AVE		CG-XXXX SHEET 1 OF 8

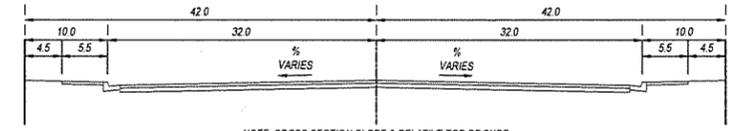


DETAIL: SOUTH NARDO AVE (SNA) CURB RETURN INTERSECTION
SCALE: 1" = 10'

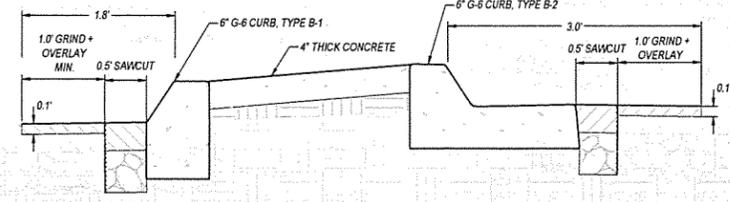
- NOTES**
- 1 SAWCUT AT EXIST. CONST. JOINT
 - 2 DRIVEWAY TAPER
 - 3 MATCH EXISTING CONST. JOINT
 - 4 ELECTROILER TO PROTECT-IN-PLACE
 - 5 FIRE HYDRANT AND CONCRETE SLAB TO BE PROTECTED-IN-PLACE
 - 6 REMOVE EXISTING CURB AND GUTTER BEHIND NEW ROADWAY TAPER
 - 7 SAWCUT, GRIND & OVERLAY PER DETAIL THIS SHEET



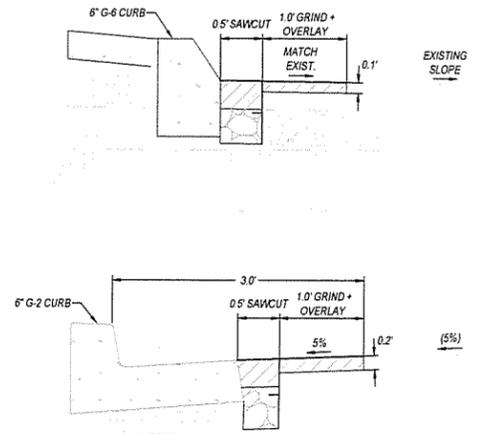
TYPICAL SECTION: SOUTH NARDO AVENUE
NTS



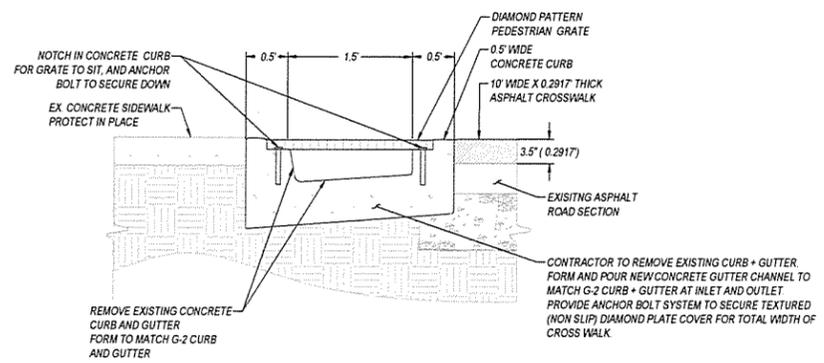
TYPICAL SECTION: STEVENS AVENUE
NTS



DETAIL: MEDIAN WITH CURB, CURB AND GUTTER, AND ASPHALT RESTORATION
NTS



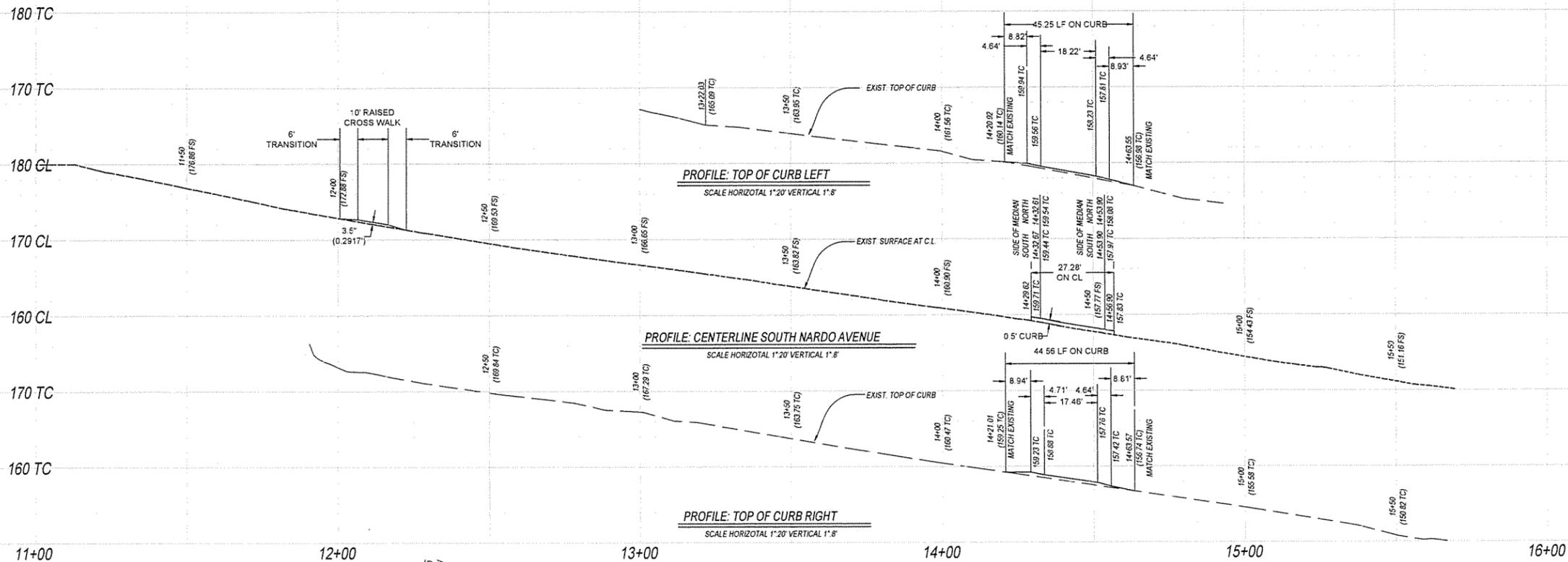
DETAIL: SAWCUT, GRIND & OVERLAY (TYP)
NTS



DETAIL: RAISED CROSSWALK AT CURB FACE
NTS

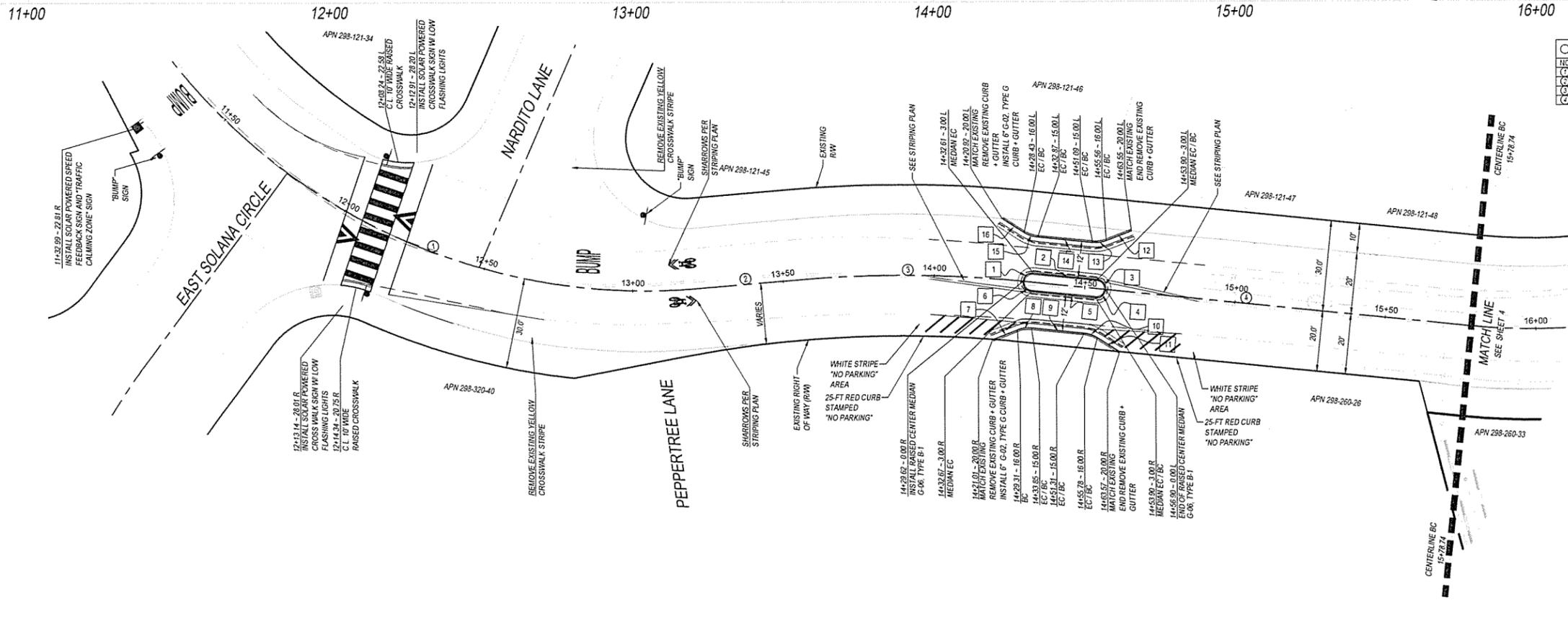
PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com
COASTAL COMMISSION PERMIT NO. _____

ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
JAS	BY: _____ DATE: _____					BY: _____ DATE: _____	BY: _____ DATE: _____	DESCRIPTION: 2.5' CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV: 104.95 (NGVD 29)	IMPROVEMENT PLANS FOR: SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS		CG-XXXX
DRAWN BY:	MICHAEL SMITH RCE # 65090 EXP: 09/30/23					BY: MOHAMMAD SAMMAK, CITY ENGINEER R.C.E.: 37146 EXP: 6/30/22		DATUM: M.S.L.	701 S NARDO AVE		SHEET 2 OF 8

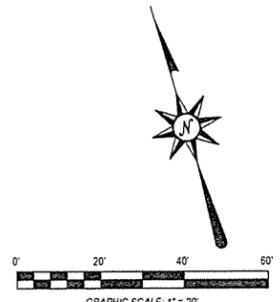


CENTERLINE DATA						
NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
1	S 44° 33' 32" E	221.77'	67° 20' 37"	200.00'	235.07'	C.L. S. NARDO AVE
2	S 78° 13' 51" E	33.68'				C.L. S. NARDO AVE
3	S 72° 54' 32" E	74.20'	10° 38' 38"	400.00'	74.31'	C.L. S. NARDO AVE
4	S 67° 35' 13" E	149.36'				C.L. S. NARDO AVE

CURB DATA						
NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
1	N 67° 03' 09" E	4.26'	90° 32' 27"	3.00'	4.74'	6" TYPE B-1 CURB PER G-6
2	S 21° 40' 38" E	21.29'				6" TYPE B-1 CURB PER G-6
3	S 21° 59' 46" E	4.29'	91° 21' 44"	3.00'	4.78'	6" TYPE B-1 CURB PER G-6
4	S 68° 34' 31" W	4.30'	81° 36' 08"	3.00'	4.80'	6" TYPE B-1 CURB PER G-6
5	N 67° 43' 24" W	21.24'				6" TYPE B-1 CURB PER G-6
6	N 71° 42' 29" W	4.37'	93° 32' 06"	3.00'	4.90'	6" TYPE B-1 CURB PER G-6
7	N 85° 23' 06" E	8.94'				6" TYPE G CURB & GUTTER PER G-2
8	S 81° 07' 10" E	4.67'	26° 59' 29"	10.00'	4.71'	6" TYPE G CURB & GUTTER PER G-2
9	S 67° 37' 25" E	17.46'				6" TYPE G CURB & GUTTER PER G-2
10	S 54° 23' 28" E	4.60'	26° 33' 54"	10.00'	4.64'	6" TYPE G CURB & GUTTER PER G-2
11	S 41° 03' 31" E	6.81'				6" TYPE G CURB & GUTTER PER G-2
12	S 85° 45' 28" W	8.93'				6" TYPE G CURB & GUTTER PER G-2
13	N 80° 57' 35" W	4.60'	26° 33' 54"	10.00'	4.64'	6" TYPE G CURB & GUTTER PER G-2
14	N 67° 40' 38" W	18.22'				6" TYPE G CURB & GUTTER PER G-2
15	N 54° 23' 41" W	4.60'	26° 33' 54"	10.00'	4.64'	6" TYPE G CURB & GUTTER PER G-2
16	N 41° 09' 44" W	6.82'				6" TYPE G CURB & GUTTER PER G-2

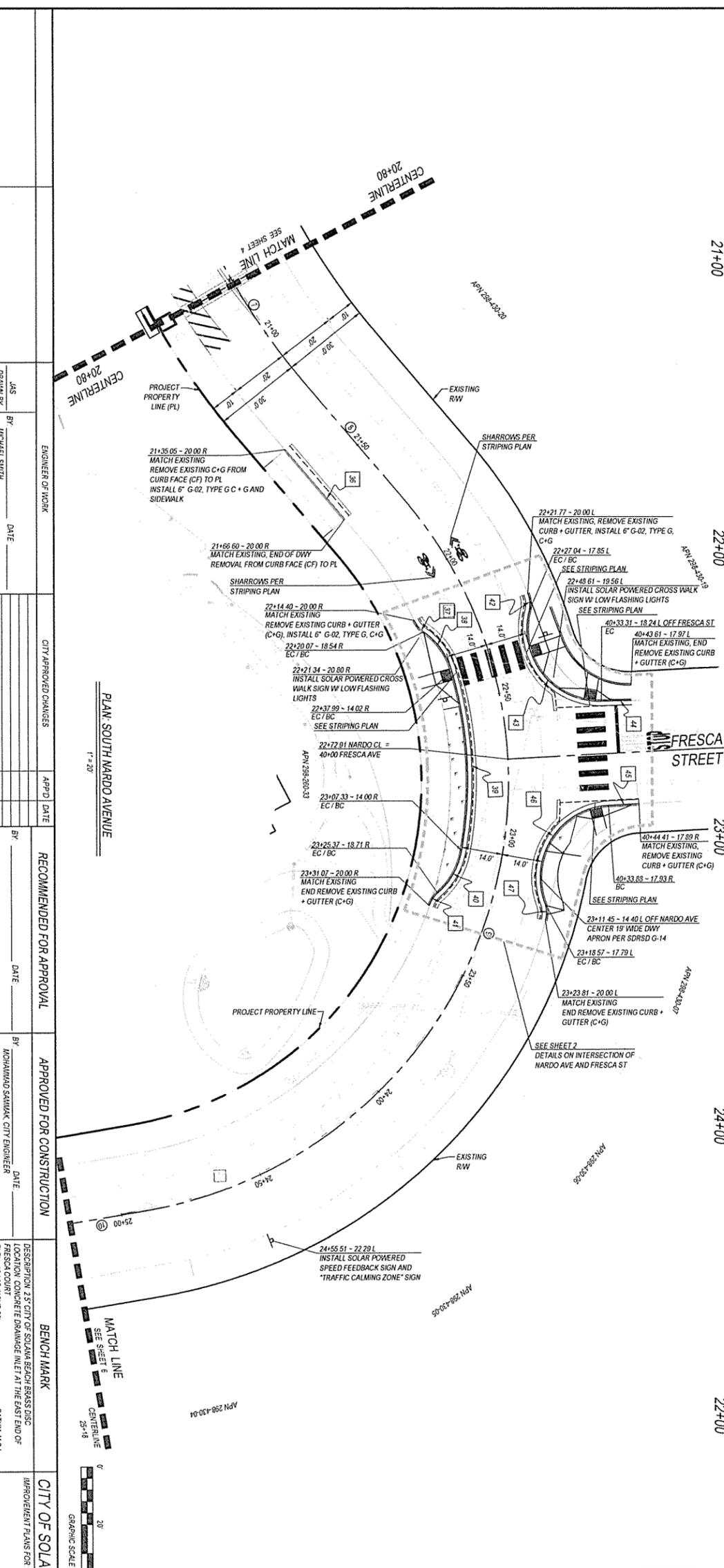
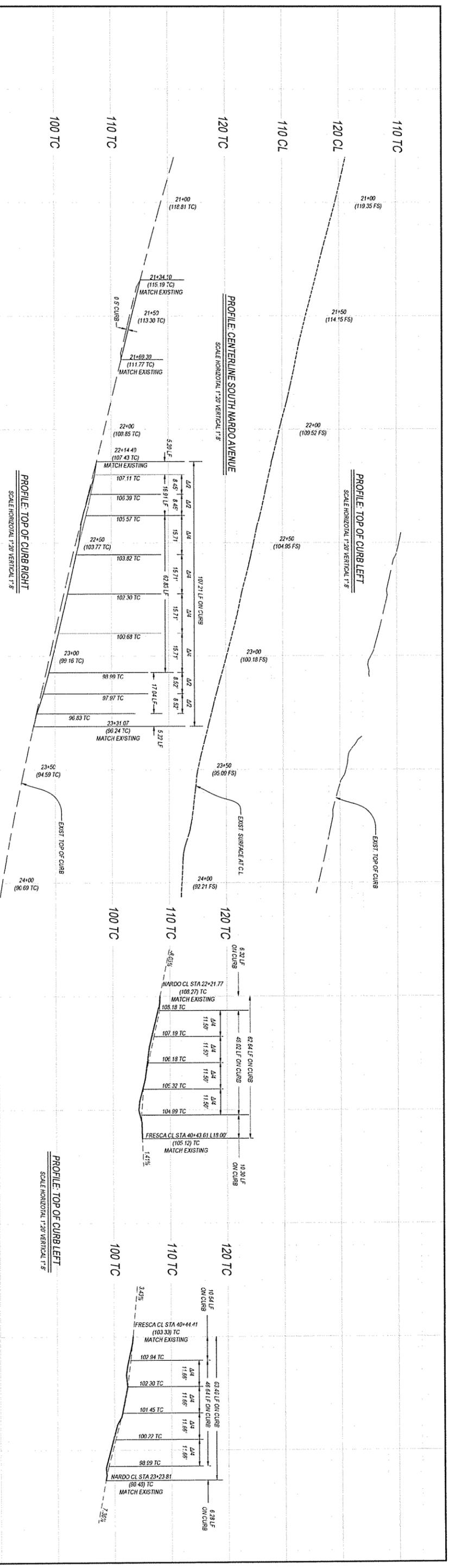


PLAN: SOUTH NARDO AVENUE
1" = 20'



PREPARED BY:
PASCO LARET SUIER
& ASSOCIATES
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ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
JAS DRAWN BY BY MICHAEL SMITH RCE # 65090 DATE EXP: 09/30/23				BY: _____ DATE: _____	BY: MOHAMMAD SAMMAK, CITY ENGINEER R.C.E. 37146 DATE: _____ EXP: 6/30/22	DESCRIPTION: 2" CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV. 104.55 (NGVD 29) DATUM: M.S.L.	IMPROVEMENT PLANS FOR SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS 701 S NARDO AVE		CG-XXXX SHEET 3 OF 8



NO.	DESCRIPTION	START	END	LENGTH	REMARKS
1	EXISTING CENTERLINE	20+00	24+00	40.00	
2	EXISTING CURB LEFT	20+00	24+00	40.00	
3	EXISTING CURB RIGHT	20+00	24+00	40.00	
4	EXISTING GUTTER	20+00	24+00	40.00	
5	NEW CURB LEFT	20+00	24+00	40.00	
6	NEW CURB RIGHT	20+00	24+00	40.00	
7	NEW GUTTER	20+00	24+00	40.00	
8	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
9	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
10	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
11	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
12	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
13	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
14	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
15	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
16	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
17	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
18	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
19	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	
20	NEW SOLAR POWERED SIGN	20+00	24+00	40.00	

ENGINEER OF WORK
 JAS
 MICHAEL SMITH
 RCE # 65903
 DATE: EXP 09/30/23

CITY APPROVED CHANGES

RECOMMENDED FOR APPROVAL

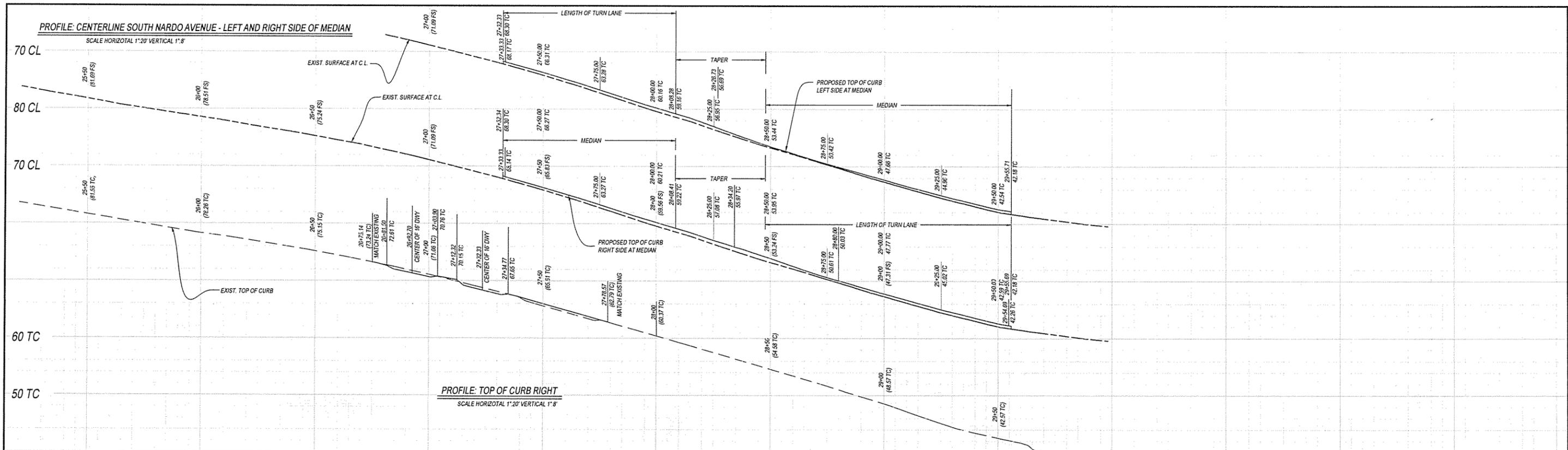
APPROVED FOR CONSTRUCTION

BENCH MARK
 LOCATION: 235 CITY OF SOLANA BEACH BRASS DISC
 ELEV: 104.55 (NAD 83)

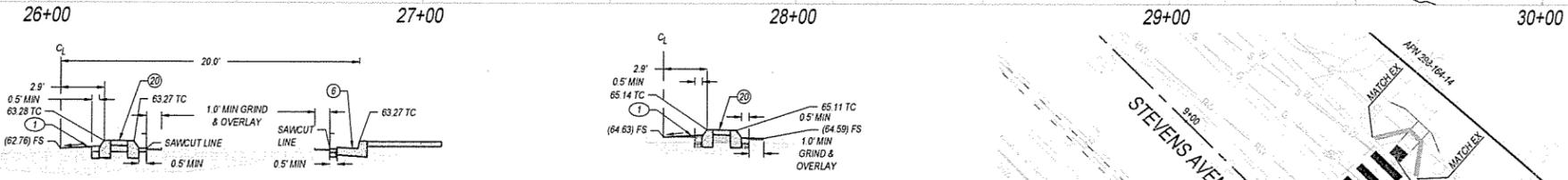
CITY OF SOLANA BEACH
 IMPROVEMENT PLANS FOR
SOUTH NARDO AVE & STEVENS AVE
 REVITALIZING SOLANA HIGHLANDS

ENGINEERING DEPARTMENT
 DRAWING NO. CG-XXXX
 SHEET 5 OF 8
 PLSA 1782

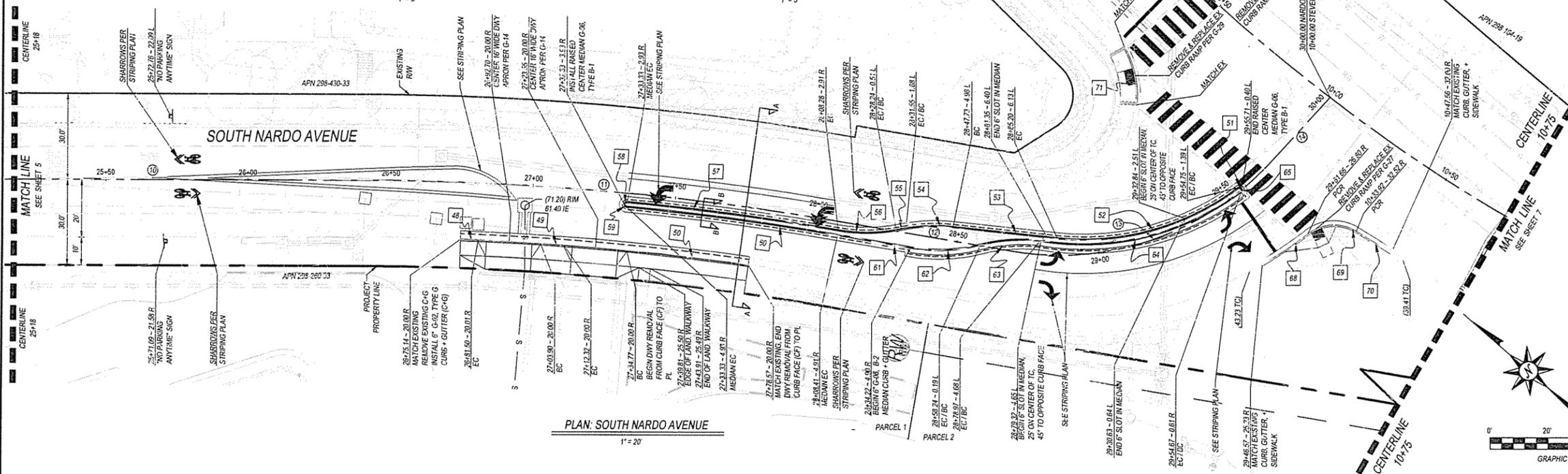
PREPARED BY:
PASCO LARET SUTER & ASSOCIATES
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NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
(3)	S 41°15'10" E	149.57'				EXISTING CENTERLINE
(1)	S 36°27'33" E	167.13'	9°35'13"	1000.00'	167.32'	EXISTING CENTERLINE
(2)	S 31°39'57" E	61.07'				EXISTING CENTERLINE
(3)	S 60°16'55" E	95.79'	57°14'04"	100.00'	99.69'	EXISTING CENTERLINE
(4)	S 66°54'01" E	30.61'				EXISTING CENTERLINE

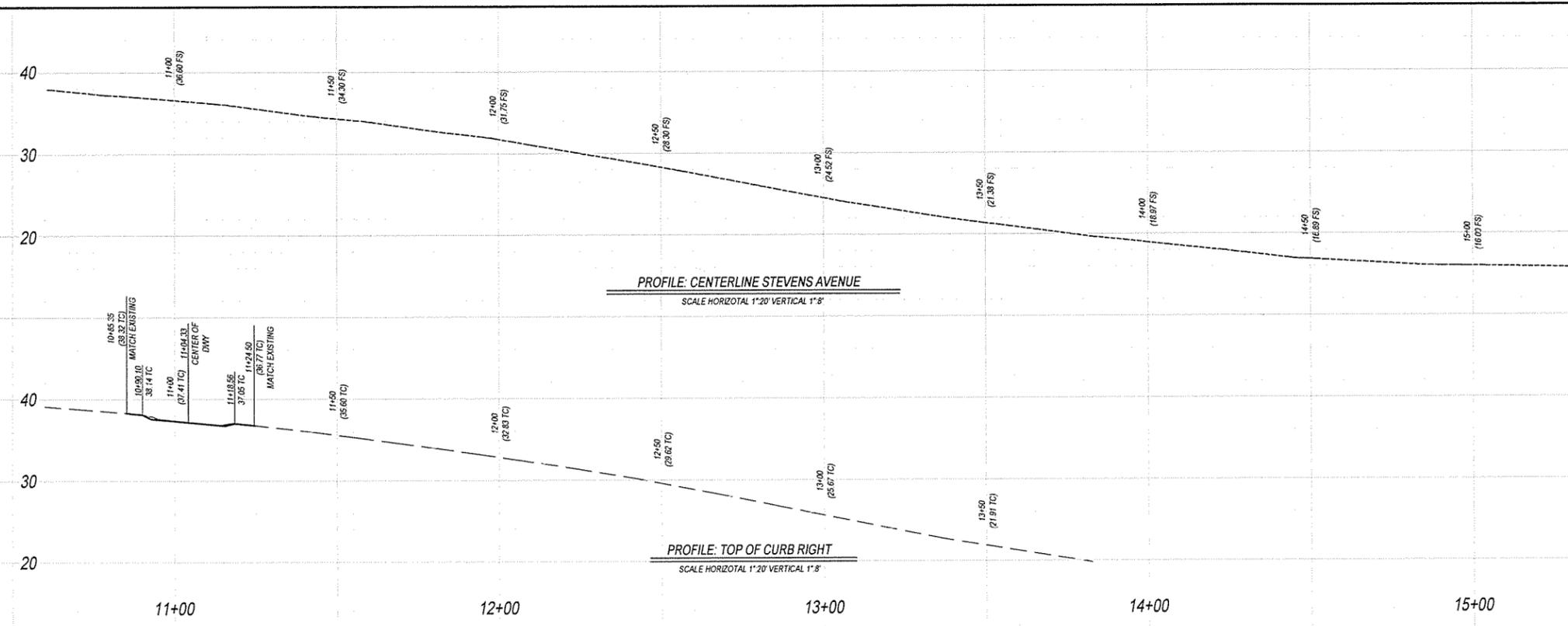


NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
48	S 39°07'13" E	6.23'	0°21'50"	900.00'	6.23'	6" TYPE 'G' CURB & GUTTER PER G-2
49	S 37°24'48" E	8.25'	0°28'55"	900.00'	8.25'	6" TYPE 'G' CURB & GUTTER PER G-2
50	S 34°37'52" E	42.97'	2°30'35"	900.00'	42.93'	6" TYPE 'G' CURB & GUTTER PER G-2
51	N 34°45'49" W	1.37'	63°43'09"	1.00'	1.51'	6" TYPE B-1 CURB PER G-5
52	N 58°42'13" W	65.75'	42°50'21"	90.01'	67.30'	6" TYPE B-1 CURB PER G-5
53	N 35°17'04" W	35.52'				6" TYPE B-1 CURB PER G-6
54	N 43°11'45" W	16.52'	15°49'21"	60.00'	16.57'	6" TYPE B-1 CURB PER G-6
55	N 51°08'26" W	3.51'				6" TYPE B-1 CURB PER G-6
56	N 41°23'34" W	20.25'	18°25'44"	60.00'	20.35'	6" TYPE B-1 CURB PER G-6
57	N 33°48'59" W	74.71'	4°17'40"	997.01'	74.73'	6" TYPE B-1 CURB PER G-6
58	N 81°00'33" W	1.41'	50°03'27"	1.00'	1.57'	6" TYPE B-1 CURB PER G-6
59	S 08°52'27" W	1.41'	69°55'33"	1.00'	1.57'	6" TYPE B-1 CURB PER G-6
60	S 33°49'48" E	74.69'	4°18'07"	995.00'	74.71'	6" TYPE B-1 CURB PER G-6
61	S 31°40'42" E	25.81'				6" TYPE B-1 CURB PER G-5
62	S 43°38'18" E	24.58'	24°12'53"	55.54'	24.74'	6" TYPE 'G' CURB & GUTTER PER G-2
63	S 45°14'45" E	20.85'	20°01'22"	60.00'	20.97'	6" TYPE 'G' CURB & GUTTER PER G-2
64	S 54°54'03" E	72.58'	48°26'41"	92.01'	74.59'	6" TYPE 'G' CURB & GUTTER PER G-2
65	N 55°14'11" E	1.45'	89°16'51"	1.00'	1.63'	6" TYPE 'G' CURB & GUTTER PER G-2
66	S 75°25'39" E	18.08'	08°59'28"	158.31'	19.07'	6" TYPE 'G' CURB & GUTTER PER G-2
68	S 44°23'26" E	17.01'	68°03'52"	15.00'	18.08'	6" TYPE 'G' CURB & GUTTER PER G-2
70	S 09°51'30" E	14.38'				6" TYPE 'G' CURB & GUTTER PER G-2
71	N 33°28'17" E	19.12'	31°54'43"	35.00'	19.37'	6" TYPE 'G' CURB & GUTTER PER G-2



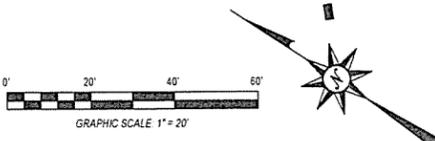
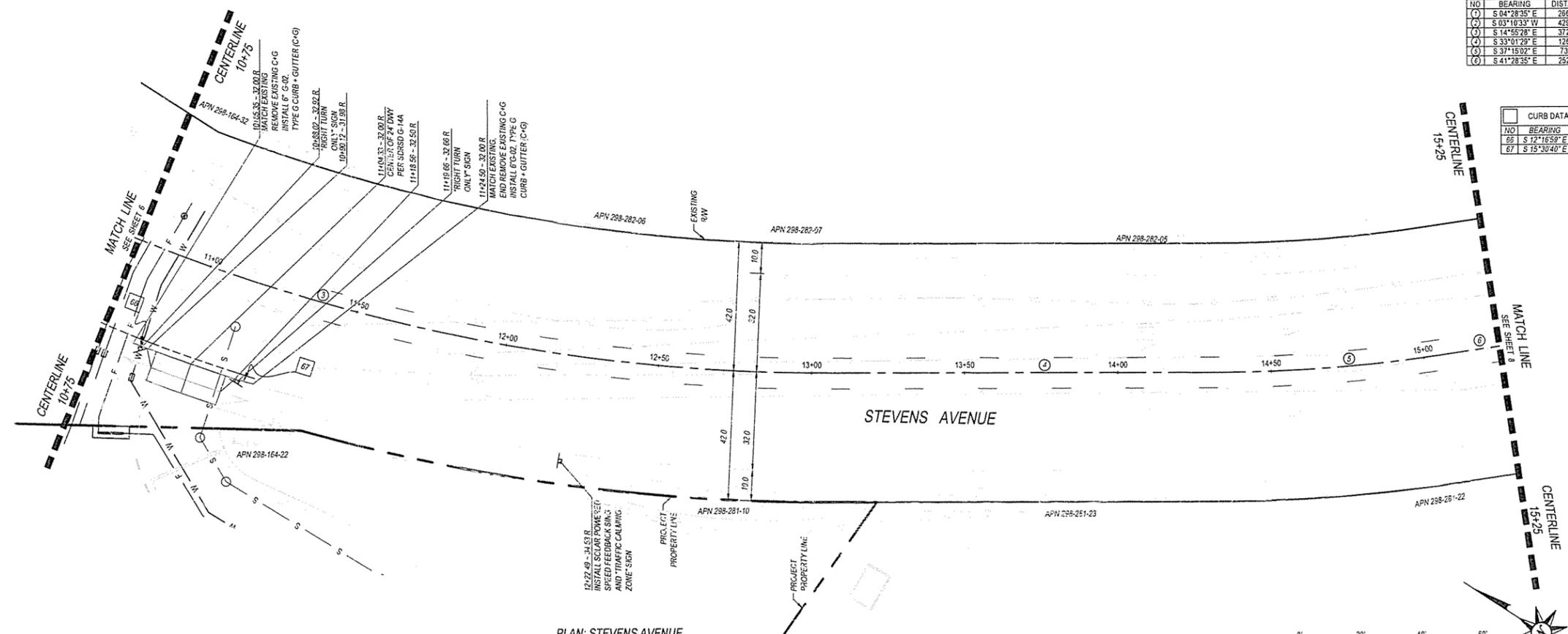
PREPARED BY:
PASCO LARET SUITER
& ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.pascoengineering.com
COASTAL COMMISSION PERMIT NO.

ENGINEER OF WORK	CITY APPROVED CHANGES	APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
JAS DRAWN BY MICHAEL SMITH RCE # 65090 DATE EXP. 09/30/23			BY: _____ DATE: _____ BY: _____ DATE: _____	BY: MOHAMMAD SAMMAK, CITY ENGINEER R.C.E. 37146 DATE: _____ EXP. 6/30/22	DESCRIPTION: 2.5" CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV: 104.55 (NGVD 29) DATUM: M.S.L.	IMPROVEMENT PLANS FOR: SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS	701 S NARDO AVE	CG-XXXX SHEET 6 OF 8



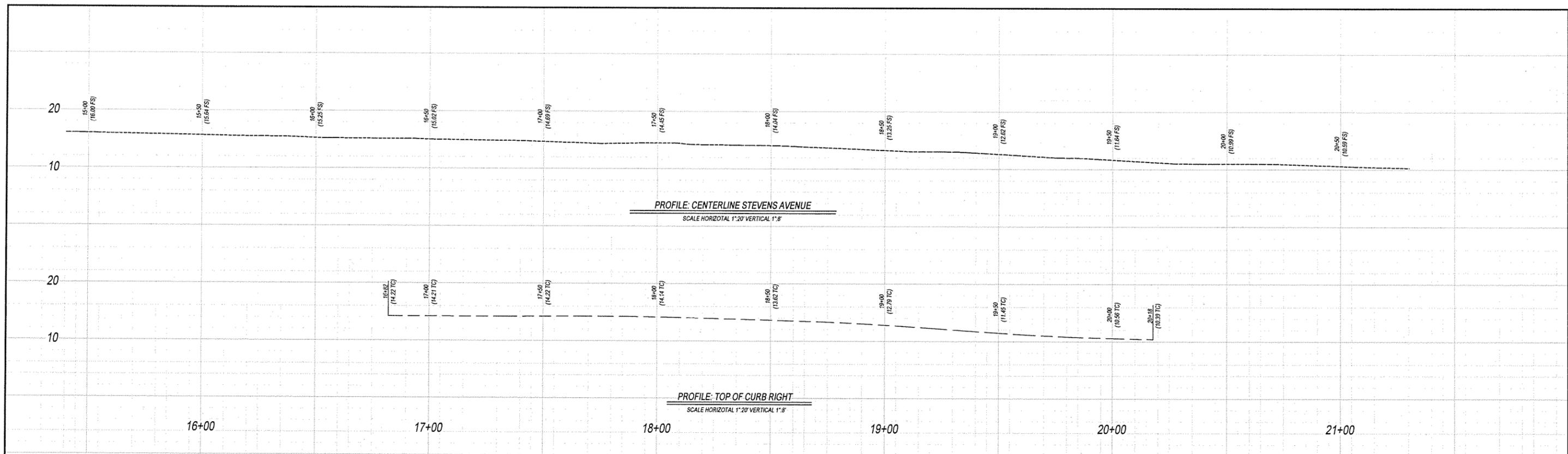
CENTERLINE DATA						
NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
1	S 04°28'35" E	266.31'	15°18'15"	1000.00'	267.11'	EXISTING CENTERLINE
2	S 03°10'33" W	429.27'				EXISTING CENTERLINE
3	S 14°55'28" E	372.82'	36°12'02"	600.00'	379.09'	EXISTING CENTERLINE
4	S 33°01'29" E	326.03'				EXISTING CENTERLINE
5	S 37°15'02" E	73.69'	8°27'05"	500.00'	73.75'	EXISTING CENTERLINE
6	S 41°28'35" E	252.52'				EXISTING CENTERLINE

CURB DATA						
NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
66	S 12°16'58" E	5.01'	0°27'15"	632.00'	5.01'	6" TYPE 'G' CURB & GUTTER PER G-2
67	S 15°30'40" E	6.25'	0°34'00"	631.92'	6.25'	6" TYPE 'G' CURB & GUTTER PER G-2

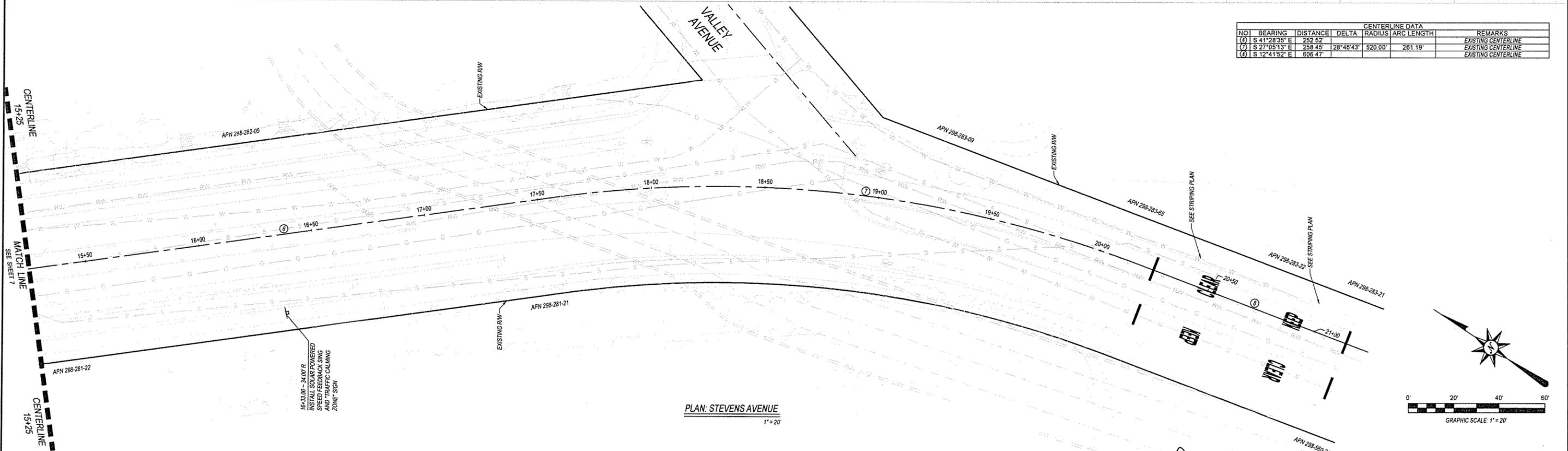


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PASCO LARET SUITER & ASSOCIATES
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ENGINEER OF WORK	CITY APPROVED CHANGES	APP'D DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
JAS DRAWN BY BY MICHAEL SMITH RCE # 65050 DATE EXP 09/30/23			BY: _____ DATE: _____ BY: _____ DATE: _____	BY: MOHAMMAD SAMMAK, CITY ENGINEER R.C.E. 37146 DATE: _____ EXP: 6/30/22	DESCRIPTION: 2.5' CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV. 104.55 (NGVD 29) DATUM: M.S.L.	IMPROVEMENT PLANS FOR SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS 701 S NARDO AVE		CG-XXXX SHEET 7 OF 8



CENTERLINE DATA						
NO	BEARING	DISTANCE	DELTA	RADIUS	ARC LENGTH	REMARKS
1	S 41°28'35" E	252.52'				EXISTING CENTERLINE
2	S 27°05'13" E	258.45'	28°48'43"	520.00'	261.19'	EXISTING CENTERLINE
3	S 12°41'52" E	606.47'				EXISTING CENTERLINE



PLAN: STEVENS AVENUE
1" = 20'

ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	ENGINEERING DEPARTMENT	DRAWING NO.
JAS	BY: _____ DATE: _____					BY: _____ DATE: _____	BY: _____ DATE: _____	DESCRIPTION: 2.5' CITY OF SOLANA BEACH BRASS DISC LOCATION: CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT ELEV: 104.95 (NGVD 29)	IMPROVEMENT PLANS FOR:		
DRAWN BY	MICHAEL SMITH RCE # 65090 EXP: 09/30/23					BY: _____ DATE: _____	MOHAMMAD SAMMAK, CITY ENGINEER R.C.E.: 37146 EXP: 6/30/22	DATUM: M.S.L.	SOUTH NARDO AVE & STEVENS AVE REVITALIZING SOLANA HIGHLANDS		CG-XXXX
									701 S NARDO AVE		SHEET 8 OF 8

PREPARED BY:
PASCO LARET SUITER
& ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com
COASTAL COMMISSION PERMIT NO. _____

RESOLUTION 2022-006

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT MODIFICATION AND STRUCTURE DEVELOPMENT PERMIT WAIVER FOR THE PREVIOUSLY APPROVED SOLANA HIGHLANDS RESIDENTIAL COMMUNITY AND AFFORDABLE SENIOR HOUSING PROJECT AT 661-781 SOUTH NARDO AVENUE AND 821 STEVENS AVENUE.

APPLICANT: H.G. Fenton

CASE NO.: DRP Mod 2020-002

WHEREAS, H.G. Fenton (hereinafter referred to as “Applicant”) submitted an application for a Development Review Permit (DRP), Structure Development Permit (SDP), Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver subject to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Applicant also requested approval of a Vesting Tentative Parcel Map (VTPM) which would modify the property from three lots to two lots; and

WHEREAS, at the duly and properly noticed public hearing held on December 5, 2018, and the continued public hearing held on December 17, 2018, the City Council received and considered evidence concerning the proposed application as revised; and

WHEREAS, the public hearings were conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, the City Council of the City of Solana Beach certified the Final Environmental Impact Report (FEIR), and adopted a Mitigation Monitoring and Reporting Program (MMRP) and Findings of Fact for the Solana Highlands Revitalization Project (the “Project”) in accordance with the California Environmental Quality Act and the State CEQA Guidelines via Resolution 2018-131; and

WHEREAS, the Solana Beach City Council approved a Development Review Permit (DRP), Structure Development Permit (SDP), and Vesting Tentative Parcel Map (VTPM) and all related entitlements to construct the Project under Resolution 2018-132; and

WHEREAS, following City Council approval in 2018, the Applicant obtained California Coastal Commission approval of Coastal Development Permit # 06-19-0109 for the Project in May 2019; and

WHEREAS, following Coastal Commission approval, the Applicant initiated preparation of construction and engineering plans and submitted applications for ministerial building permits to the City in December 2019 for certain building, grading and public improvement elements of the Project; and

WHEREAS, City Staff and the Applicant coordinated on the permit processing effort to discuss and review comments on the Project plans intermittently throughout 2020 until processing efforts were slowed / hampered by COVID-19-related restrictions and protocols and related staff work modifications; and

WHEREAS, during 2020 and continuing until the present time, input from the community was solicited by the Applicant on several key Project-related topics including landscaping, traffic calming measures and Applicant-initiated revisions to Buildings 13, 19 (Clubhouse) and 24; and

WHEREAS, in April 2021, the Applicant submitted a formal application to modify discrete elements of the previously approved Project (DRP/SDP 17-14-29) to Buildings 13, 19 (Clubhouse), and 24 and to finalize the Project landscape plan, traffic calming plan, and to request additional time to complete the onsite parking management plan; and

WHEREAS, the Applicant has stated that their intent with the Project modifications is to ensure that each element remains consistent with the goals and intent of City Council-imposed Conditions of Approval contained in Resolution 2018-132; and

WHEREAS, the Applicant requests consideration of a modification of the City Council Condition of Approval requiring that Building 13 be lowered by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum elevation of building 13 to 134.9 MSL. The Applicant requests the condition be revised to lower the maximum building height of the easterly 47 feet of Building 13 to 130.5 MSL and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18 and waive the story pole requirement for this modification as no new view impairment would occur; and

WHEREAS, the Applicant requests consideration of a modification to Building 19 (Clubhouse) on three sides to allow a second-floor balcony, open on three sides with a roof, and an exterior staircase, which would project outside of the previously permitted horizontal envelope and waive the story pole requirement for these modifications as no new view impairments would occur; and

WHEREAS, the Applicant requests consideration of a modification to the site plan to shift Building 24 approximately 60' feet east and waive the story pole requirement for this modification as no new view impairment would occur; and

WHEREAS, the Applicant requests consideration of a modification to City Council Condition of Approval requiring submittal of an onsite Parking Plan to the City Manager on or before March 1, 2020 to allow additional time to develop the parking plan and submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023; and

WHEREAS, the Applicant requests consideration of refinements to the originally

approved traffic calming plan reflecting an iterative review process with the community and the input of the City Engineer and the Solana Beach Fire Department; and

WHEREAS, the Applicant requests consideration of a modification of a portion of City Council Condition of Approval XXVI requiring separate City Council approval of a Final “Conceptual” Landscape Plan. The Applicant requests that a Final Landscape Plan be approved by the City Council essentially skipping an interim approval of a Final “Conceptual” Landscape Plan. The Applicant also requests that the requirement for 10, 84-inch box trees be removed from the Project; and

WHEREAS, the above described six (6) proposed modifications requested by the Applicant are refinements to the approved Project that are the result of ongoing dialogue with the community and do not change the fundamental elements of the Project previously approved by the City Council on December 17, 2018 including the number of residential units or parking spaces to be constructed which remain unchanged from 2018; and

WHEREAS, City Council Resolution 2018-131 and Resolution 2018-132 remain intact, relevant and applicable to the Project modifications unless otherwise expressly modified herein; and

WHEREAS, this new Resolution is intended to supplement, and not replace, the original approving Resolution 2018-132 and has been intentionally streamlined to focus only on the Project modifications in an effort to provide clarity and avoid unnecessary duplication and redundancy; and

WHEREAS, at the duly and properly noticed public hearing held on March 9, 2022 the City Council received and considered evidence concerning the proposed Project modifications; and

WHEREAS, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, this decision is based upon the oral and written evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That an Environmental Impact Report (EIR) was prepared for this Project in conformance with the California Environmental Quality Act of 1970 (CEQA). The EIR was prepared as a Project EIR pursuant to Section 15161 of the State CEQA Guidelines. The FEIR was contained in two volumes and consists of the following parts plus the Findings of Fact approved by the City Council under Resolution 2018-131 on December 17, 2021. Following Project approval by the City Council, a

Notice of Determination (Section 15375) was filed by the City with the San Diego County Clerk.

The modifications to the Project do not raise any new environmental issues or increase the level of impact previously disclosed in the Final EIR Certified by the City Council in December 2018 under Resolution 2018-131. Therefore, no new or subsequent environmental review is required due to the scope and nature of the modifications as proposed, pursuant to the State CEQA Guidelines Section 15162.

3. That the Applicant request for a DRP Modification and SDP Waiver for the above described modifications to the approved Solana Highlands residential development Project conditionally approved based upon the following Findings and subject to the following Conditions:
4. FINDINGS

Based on the totality of the record, the City Council makes the following findings:

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed Project modifications are consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The proposed Project modifications are consistent with the General Plan, which designates the property as High Density Residential (HR). Multi-family residential development under this category will range between 13 and 20 dwelling units per acre. The approved Project includes 260 residential units which equates to 19.4 dwelling units per acre. The proposed Project modifications remain consistent with the General Plan, which designates the property as High Density Residential (HR) and remain consistent with General Plan policies in the City's Land Use (LU) Element for residential land uses.

- II. The Project modifications remain consistent with General Plan programs and goals in the City's 6th Cycle Housing Element, including regional housing needs assessment / local share goals and affordable housing goals. The proposed Project modifications remain compliant with the development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- (1) Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of

surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

No significant adverse effects upon neighboring properties have been identified or are anticipated to occur from the Project implementation, and the Project has been extensively redesigned to protect view impacts. As conditioned, the proposed Project gives consideration to the protection of surrounding areas from potential adverse effects and provides protection of the property from adverse surrounding influences. Additionally, the City Council has certified the FEIR for this Project and has found that Project impacts either will not occur, will be less than significant, or will be less than significant with mitigation in all the topic areas analyzed.

- (2) Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.

The Project includes a total of 24 buildings including one affordable senior housing building (Building 25) and one clubhouse/leasing center (Building 19). All parking would be provided onsite in either the form of a garage or surface parking including covered and uncovered and includes 233 garages, 22 covered spaces and 270 open/guest spaces.

Fifteen of the 24 buildings would be two stories in height and nine of the Buildings would be three stories in height. In general, the buildings located along South Nardo Avenue would be two stories and the buildings that are internal to the site would be three stories. The affordable senior building would also be three stories and is located at the southeast corner of the site.

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the Project would include a small private park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the Project is located, including required setbacks, maximum FAR, and building height. The proposed Project modifications meet or exceeds all required setbacks, and is below the maximum allowable FAR.

Required parking and landscaping standards are contained in the City's Off Street Parking Design Manual (OSPDM).

The highest point of the Project is 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with the Project 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location. As required by State law, the City will waive development standards for height of buildings, retaining walls, and walls and fences that would otherwise physically preclude development of the property with the permitted density bonus.

- (3) Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.

Per SBMC 17.56.040, the proposed development is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species.

The final landscaping plan for the Project includes 247,583 square feet of landscaped area which is equal to approximately 43% of the project site. During construction of the proposed Project, it is anticipated that all of the existing trees, shrubs and other vegetation would be removed as part of the proposed Project due to the extent of grading that is proposed on site to lower pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of five (5) California Sycamores would replace the existing mature 5 California Sycamores on site is in accordance with City LCP requirements for native tree mitigation. The proposed changes to the buffer landscaping are in response to concerns raised by adjacent residents expressing concerns regarding the viability of transplanted 84-inch box trees and potential impact on hillside / slope stability as well as smaller size container trees ability to grow faster after transplantation.

In lieu of ten (10) 84-inch box Coast Live Oaks along the southern edge of the project site, the planting plan includes twenty-three (23) 36-inch Coast Live Oaks in the East and North-East Zones. Along

the southern project boundary, screening will be provided by fifteen (15) Coastal Shrub Oaks in 24-inch box containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include fourteen (14) Torrey Pines and various other tree species. In total, more than two hundred fifty (250) 24-inch box or larger trees will be located within the buffer zones in a combination of oak, palm and other native and drought tolerant tree species selected with the benefit of community input.

The Project would include the installation of mature (boxed) trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. Larger shade trees would include approximately 716 trees in total including 15-gallon trees and 24-inch box trees

The landscape plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting device linking the various pieces of the project site and design styles. The landscape plan uses plant material to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture. Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed Project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's final landscape plan has been reviewed by the City's third-party landscape architect who has recommended approval. The Applicant would be required to submit detailed construction landscape drawings that would be reviewed by the City's third-party landscape architect for conformance with the final plan approved by Council. Additional Conditions of Approval have been added to ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health and include an engineering review by EsGil of all Final Landscape Plan Construction Drawings. In addition, the City's third-party landscape architect would perform inspections during the Project construction. A separate condition requires that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- (4) Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

Residential projects in the City are required to comply with parking standards in SBMC 17.52. The parking requirements for the affordable senior housing element are per the State bonus density code (CGC 65915(p)). Although this maximum required parking ratio could apply to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site (e.g., 228 units).

The proposed Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52.

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site.

Vehicular access to the site would be provided from two driveway locations on South Nardo Avenue. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Avenue and Stevens Avenue.

All entrances would provide full movement driveways allowing inbound and outbound movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to and from the project site would be provided via new and/or improved perimeter sidewalks along South Nardo Avenue and Stevens Avenue.

- (5) Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Grading is proposed in the amount of 187,000 cubic yards with approximately 160,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 39 to 150 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department has included a condition of approval that the Applicant shall participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit beach compatible sands / sediment exports on city beaches if the Applicant's soil engineer determines that any or all of the soil to be exported is compatible with beach sediments in accordance with the City's SCOUP permits.

- (6) Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).

Conditional approval of this Project includes the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

- (7) Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a

total of 65,000 square feet. The proposed Project provides a total of 65,434 square feet of open space.

The proposed Project includes passive usable open space areas. Additionally, the proposed Project would include a small park area, along South Nardo Avenue.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the modifications to the previously approved development review permit.

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of project approval, the Applicant was required to obtain a Coastal Development Permit from the CCC which was issued in May 2019 under CDP # 06-19-0109

- IV. If the proposed Project modifications also require a permit or approval to be issued by a State or federal agency, the City Council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

The FEIR that was certified for this Project does not include mitigation measures that require permits or approval from other agencies. The Mitigation Monitoring and Reporting Program (MMRP) was adopted for this Project as a part of certification of the FEIR. All applicant proposed project design features are included as conditions of project approval.

B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

1. The Applicant for the Project modifications went through an extensive Structure Development Permit for the Project approved by the Council in 2018 under Resolution 2018-132.
2. With the proposed modifications, the Applicant requested and received approval by the City Council of a Structure Development Permit waiver for the following modifications to Buildings 13, 19 and 24: 1) Building 13 to be modified as follows - the maximum building height of the easterly 47 feet of Building 13 will be lowered to 130.5 MSL and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18. 2) Building 19 (Clubhouse) to be modified on three sides (front, rear and street side) to allow second-floor balconies open on three sides with a roof, and an exterior staircase which would project outside of

the previously permitted horizontal building envelope. 3) Building 24 to be shifted approximately 60' feet east.

3. There is no significant cumulative view impairment caused by granting the application. There have been no new or proposed projects in the area that would contribute to cumulative view impairment impacts. As described in the staff report the Applicant revised the (now approved) Project to address all potential private view impairments.
4. The proposed structures are compatible with the immediate neighborhood character. The Applicant has designed the Project with similar architectural features, materials, roof types and colors that can be found in the surrounding neighborhoods. The Applicant will be required to show compliance with the approved maximum height and three-dimensional building envelope that was approved by the SDP, subject to the approved modifications to Buildings 13, 19 and 24 noted above, at the time of submittal for a building permit and also prior to requesting a framing inspection.

5. CONDITIONS

The conditions contained within the original Resolutions of approval 2018-131 and 2018-132 are still in effect except as expressly modified by this Resolution as shown below.

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the maximum building height of the structure does not exceed 149.5 above Mean Sea Level (MSL), measured at Story Pole #39 and 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 as measured from the lower of the existing or proposed grade, and is in conformance with the plans as approved by the City Council on December 17, 2018 and as modified and as approved by the City Council under this Resolution and the certified story pole plot plan and certifying the maximum building height of all framing and structures do not exceed the heights referred to herein and in the Project plans.

II. BUILDING HEIGHTS.

- a. Finished Building Heights. The maximum finished height of all buildings and structures of the Project shall not exceed the maximum finished heights submitted by the Applicant to the City and presented to the View Assessment Commission on October 16, 2018 and

November 20, 2018 concerning the Structure Development Permit for the Project (the “Modifications to Project Plans”) to address the applications for View Assessment filed for the Project. The maximum finished heights include but are not limited to installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning equipment) and related screening of each roof or roof section. The “Initial Project Plans” and “Modifications to Project Plans” are collectively referred to as the “Project Plans”

- i. The Applicant shall modify Building 13 maximum height to lower the maximum building height of the easterly 47 feet of Building 13 to 130.5 MSL and allow the remaining westerly approximately 144’ feet of Building 13 to be constructed to the height of 139.9’ MSL as originally depicted and certified by story pole certification dated 6/14/18.
- b. Confirmation of Building Heights Before Framing Inspection. Within sixteen (16) months after the City Council’s approval of the Development Review Permit for this Project (as conditioned by the City Council), but no later than March 1, 2023, the Applicant shall prepare and submit to the City Manager a chart in the form and content acceptable to the City Manager which, at a minimum sets forth the following information for each roof or roof section of each building or structure in the Project:
 - (i) The building number for each building as set forth on the Preliminary Grading Plan (or identify the structure if no number) and the height of those story poles and the height of the ridge(s) of each roof and roof section of each building or structure and the applicable story pole number for each roof ridgeline;
 - (ii) The maximum height based on Mean Sea Level (MSL) elevation of the completed framing for each ridge of each roof and roof section of each building or structure before installation of anything on the rough framing, including installation of roofing materials or other materials or equipment; and
 - (iii) The maximum finished height based on Mean Sea Level (MSL) elevation for each ridge of each roof and roof section of each building or structure after installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning mechanical equipment) and related screening of each roof and roof section.

The foregoing maximum heights shall be consistent with the maximum finished heights set forth in the Project Plans.

III. PARKING.

Parking Management Plan. The Applicant shall prepare a written Parking Management Plan and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023, for approval. The Parking Management Plan shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.

IV. LANDSCAPE PLAN.

The Applicant has submitted to the City Council a Final Landscape Plan dated December 20, 2021, which is part of the proposed project modifications under consideration by the City Council.

The Final Landscape Plan shall comply with the following requirements:

- a. Mix. The mix of trees shall be at least 70% or more evergreen and no more than 30% deciduous.
- b. Quantity. At a minimum, the quantity of trees and other vegetation shown on the Landscape Plan shall be maintained. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.
- c. Quality. Trees and other vegetation shall be the same or better architectural significance and design value (as these terms are customarily used by landscape design professionals from time to time during the life of this Project) and quality as shown on the Final Landscape Plan.
- d. Requirement to Maintain Landscape Trees and Vegetation. The Applicant shall maintain the landscape buffer zones with trees and vegetation as specified in the Landscape Zone Plan that have a level of architectural significance and design value and quality that is substantially the same or better than as shown on the Final Landscape Plan. Such trees and other vegetation shall not be removed unless concurrently replaced.

- e. **Removal and Replacement.** Trees and other vegetation shall not be removed without concurrently replacing same. When replacing trees and other vegetation, the Applicant shall maintain the same or better level of architectural significance, design value and quality shown on the Final Landscape Plan. Also, when replacing trees, the Applicant shall replace with equal or larger size of the trees as indicated in the Landscape Zone Plan and Final Landscape Plan.
- f. **Height of Trees at Maturity.** The Final Landscape Plan shall specify the selection of the species of trees, including the height of trees at maturity, and placement of the trees throughout the Project, including in all landscape buffer areas on the Project perimeter, and shall avoid blocking views of residences located on South Nardo Avenue that filed view claims concerning this Project.
- c. **Landscaping and tree heights** shall demonstrate that, at maturity, trees shall not exceed the height of Building 12 within the view corridor between Buildings 2 and 3, Buildings 11 and 12 and Buildings 13, 14 and 17. The Final Landscape Plan shall be reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health prior to building permit issuance.
- d. **Engineering review** shall be conducted by EsGil for Final Landscape Plan Construction Drawings prior to building permit issuance.

B. Engineering Department Conditions:

I. PUBLIC IMPROVEMENTS/TRAFFIC CALMING PLAN

The following engineering conditions (1 thru 13 under Public Improvements) are required to improve the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program in satisfaction of the Traffic Impact Fee (TIF) requirement. The Applicant shall construct and install the improvements set forth on the Off-Site Improvement Plan dated December 3, 2018 (the "Off-Site Improvement Plan") as modified by the Traffic Calming Plan exhibit dated January 2022 submitted by the Applicant to the City concerning the Development Review Permit for the Project. The Applicant shall obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer as follows:

- (1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These Enhancements may include but not be limited to:
 - (a) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane, one outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install “Keep Clear” legend on Valley Avenue at Turfwood driveway.
 - (b) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.
 - (c) Installation of a “Solar Powered Electronic Speed Sign” on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.
 - (d) The Applicant shall monitor the traffic pattern and delay at the Turfwood Lane Access to the Valley Avenue four times (two times during morning and two times during afternoon peak hours) within one year after full implementation of the above measure. Upon completion of the field observation and monitoring efforts, a report prepared by a professional traffic engineer shall be delivered to the City Engineering office. If additional enhancement is warranted, the Applicant shall implement the Project’s share of the required improvements at a cost not to exceed \$50,000 to the satisfaction of the City Engineer.
- (2) The Applicant shall reconstruct the southwesterly curb return at the intersection of Nardo Avenue and Stevens Avenue. The Applicant shall place thermoplastic continental pedestrian crossing striping at the north and west side of the intersection. The Applicant shall replace the pedestrian ramps at the northwest corner and east side of the intersection to the satisfaction of the City Engineer.
- (3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.
- (4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require

elimination of on-street parking along South Nardo on both sides of the street.

- (5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered pedestrian crossing flashing sign with corresponding signage.
- (6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally, the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.
- (7) The Applicant shall place thermoplastic continental pedestrian crossing striping on Nardo Avenue north side of Solana Circle and on Solana Circle west side of Nardo Avenue to the satisfaction of the City Engineer. City will perform appropriate analysis and report to the City Council. If directed by the City Council, City Staff would facilitate the installation of new stop signs on south Nardo Avenue at Nardito Lane and Solana Circle with corresponding signs and legends.
- (8) The applicant Shall Construct two Chokers (Physically narrowing the road width by extending the curbs and installing a short median section) between Nardito Lane and Fresca Street with corresponding signs and pavement legends to the satisfaction of the City Engineer.
- (9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.
- (10) Construct all sewer lateral connections to the City sewer main consistent with City Standards.
- (11) Construct all proposed driveway entrances to the Project on South Nardo Avenue and Valley Avenue consistent with City Standards.

- (12) Construct all storm drain connections to the City curb or storm drain system consistent with City Standards.
 - (13) The existing sewer main serving this property, proposed to be replaced, shall be abandoned in the public right-of-way by plugging the street manhole connection and plugging the pipe at the right-of-way line. The sewer connection(s) for 821 Stevens Avenue shall be capped at the main.
 - (14) Connect to the existing recycled waterline on Stevens Avenue. The applicant shall coordinate with Santa Fe Irrigation District, San Elijo Joint Powers Authority and County Health Department for this extension project. All irrigation system including the ones in the public right of way shall be provided by recycled water.
 - (15) The Applicant shall continue to work with City Staff to develop the Traffic Calming Plan referenced herein. Upon completion, the Traffic Calming Plan shall be subject to future consideration and approval by the City Council.
6. **ENFORCEMENT:** Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings. The conditions of approval for the Project modifications shall remain in place until such time they may be amended or superseded by subsequent City Council action.
 7. **EXPIRATION:** The vesting tentative map shall expire 24 months after the date of Coastal Commission CDP final permit issuance and may be extended as provided by State law or Section 16.12.110, whichever provides the longest extension. All other approvals granted by this resolution shall expire 60 months after the date of Coastal Commission permit issuance and may be extended as provided by Section 17.72.110.
 8. **INDEMNIFICATION AGREEMENT:** The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and the Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter.

However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.

9. NOTICE TO APPLICANT: Developer is hereby notified, as required by Government Code Section 66020, that the approved plans and the conditions of approval and ordinances governing fees and exactions in effect at the time the Project modifications are approved constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the Project. As of the date of approval of Project modifications, the 90-day period has begun in which developer may protest any dedications, reservations, fees or other exactions imposed by the City. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Failure to file a protest in compliance with all of the requirements of Government Code Section 66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 9^h day of March 2022, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

RESOLUTION 2022-006

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT MODIFICATION AND STRUCTURE DEVELOPMENT PERMIT WAIVER FOR THE PREVIOUSLY APPROVED SOLANA HIGHLANDS RESIDENTIAL COMMUNITY AND AFFORDABLE SENIOR HOUSING PROJECT AT 661-781 SOUTH NARDO AVENUE AND 821 STEVENS AVENUE.

APPLICANT: H.G. Fenton

CASE NO.: DRP Mod 2020-002

WHEREAS, H.G. Fenton (hereinafter referred to as "Applicant") submitted an application for a Development Review Permit (DRP), Structure Development Permit (SDP), Affordable Housing Plan, Density Bonus with Development Standards Waiver, and Fee Waiver subject to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Applicant also requested approval of a Vesting Tentative Parcel Map (VTPM) which would modify the property from three lots to two lots; and

WHEREAS, at the duly and properly noticed public hearing held on December 5, 2018, and the continued public hearing held on December 17, 2018, the City Council received and considered evidence concerning the proposed application as revised; and

WHEREAS, the public hearings were conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, the City Council of the City of Solana Beach certified the Final Environmental Impact Report (FEIR), and adopted a Mitigation Monitoring and Reporting Program (MMRP) and Findings of Fact for the Solana Highlands Revitalization Project (the "Project") ~~Solana Highlands project~~ in accordance with the California Environmental Quality Act and the State CEQA Guidelines via Resolution 2018-131; and

WHEREAS, the Solana Beach City Council approved a Development Review Permit (DRP), Structure Development Permit (SDP), and Vesting Tentative Parcel Map (VTPM) and all related entitlements to construct the ~~Solana Highlands Revitalization Project (the "Project")~~ Project under Resolution 2018-132; and

WHEREAS, following City Council approval in 2018, the Applicant obtained California Coastal Commission approval of Coastal Development Permit # 06-19-0109 for the Project in May 2019; and

WHEREAS, following Coastal Commission approval, the Applicant initiated preparation of construction and engineering plans and submitted applications for ministerial building permits to the City in December 2019 for certain building, grading and public improvement elements of the pProject; and

WHEREAS, City Staff and the Applicant coordinated on the permit processing effort to discuss and review comments on the pProject plans intermittently throughout 2020 until processing efforts were slowed / hampered by COVID-19-related restrictions and protocols and related staff work modifications; and

WHEREAS, during 2020 and continuing until the present time, input from the community was solicited by the Applicant on several key pProject-related topics including landscaping, traffic calming measures and Applicant-initiated revisions to Buildings 13, 19 (Clubhouse) and 24; and

WHEREAS, in April 2021, the Applicant submitted a formal application to modify discrete elements of the previously approved pProject (DRP/SDP 17-14-29) to approved/proposed Buildings 13, 19 (Clubhouse), and 24 and to finalize the pProject landscape plan, traffic calming plan, and to request additional time to complete the onsite parking management plan; and

WHEREAS, the Applicant has stated that their intent with the pProject modifications is to ensure that each element remains consistent with the goals and intent of City Council-imposed Conditions of Approval contained in Resolution 2018-132; and

WHEREAS, the Applicant requests consideration of a modification of the City Council Condition of Approval requiring that Building 13 be lowered by six (6) inches from the revised story pole plan elevation submitted October 2, 2018, limiting the maximum elevation of building 13 to 134.9 MSL. The Applicant requests the condition be revised to lower the maximum building height of the easterly 47 feet of Building 13 by an additional 3.0 feet (to 130.51.9 MSL) and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18 and waive the story pole requirement for this modification as no new view impairment would occur; and

WHEREAS, the Applicant requests consideration of a modification to Building 19 (Clubhouse) on three sides to allow a second-floor balcony, open on three sides with a roof, and an exterior staircase, which would project outside of the previously permitted horizontal envelope and waive the story pole requirement for these modifications as no new view impairments would occur; and

WHEREAS, the Applicant requests consideration of a modification to the site plan to shift Building 24 approximately 60' feet east and waive the story pole requirement for this modification as no new view impairment would occur; and

WHEREAS, the Applicant requests consideration of a modification to City Council Condition of Approval requiring submittal of an onsite Parking Plan to the City Manager on or before March 1, 2020 to allow additional time to develop the parking plan and ~~The Applicant requests they be allowed to~~ submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023; and

WHEREAS, the Applicant requests consideration of refinements to the originally approved traffic calming plan reflecting an iterative review process with the community and the input of the City Engineer and the Solana Beach Fire Department; and

WHEREAS, the Applicant requests consideration of a modification of a portion of City Council Condition of Approval XXVI requiring separate City Council approval of a Final “Conceptual” Landscape Plan. The Applicant requests that a Final Landscape Plan be ~~reviewed and~~ approved by the City Council essentially skipping an interim approval of a Final “Conceptual” Landscape Plan. The Applicant also requests that the requirement for 10, 84-inch box trees be removed ~~from the pProject requirements~~; and-

WHEREAS, the above described six (6) proposed modifications requested by the Applicant are refinements to the approved pProject that are the result of ongoing dialogue with the community and do not change the fundamental elements of the pProject previously approved by the City Council on December 17, 2018 including the number of residential units or parking spaces to be constructed which remain unchanged from 2018; and

WHEREAS, City Council Resolution 2018-131 and Resolution 2018-132 remain intact, relevant and applicable to the ~~Solana Highlands pProject~~ modifications unless otherwise expressly modified herein; and

WHEREAS, this new Resolution is intended to supplement, and not replace, the original approving Resolution 2018-132 and has been intentionally streamlined to focus only on the pProject modifications in an effort to provide clarity and avoid unnecessary duplication and ~~redundancy~~; and

WHEREAS, at the duly and properly noticed public hearing held on ~~March~~ February 9, 2022 the City Council received and considered evidence concerning the proposed ~~pProject~~ modifications; and

WHEREAS, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, this decision is based upon the oral and written evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That an Environmental Impact Report (EIR) was prepared for this Project in conformance with the California Environmental Quality Act of 1970 (CEQA). The EIR was prepared as a Project EIR pursuant to Section 15161 of the State CEQA Guidelines. The FEIR was contained in two volumes and consists of the following

parts plus the Findings of Fact approved by the City Council under Resolution 2018-131 on December 17, 2021. Following ~~p~~P~~roject~~ approval by the City Council, a Notice of Determination (Section 15375) was filed by the City with the San Diego County Clerk.

The ~~proposed project~~ modifications to the ~~p~~P~~roject~~ do not raise any new environmental issues or increase the level of impact previously disclosed in the Final EIR Certified by the City Council in December 2018 under Resolution 2018-131. Therefore, no new or subsequent environmental review is required due to the scope and nature of the modifications as proposed, pursuant to the State CEQA Guidelines Section 15162.

3. That the Applicant request for a DRP Modification and SDP Waiver for the above described modifications to the approved Solana Highlands residential development ~~p~~P~~roject~~ ~~consisting of 260 residences (including 32 affordable senior units) consisting of studios, one and two bedrooms, 10,287 square feet of clubhouse/leasing office space, 247,583 square feet of landscaped area, 716 trees, 65,434 square feet of open space, 525 on-site parking spaces including 233 garages, 22 covered spaces and 270 open/guest spaces, is~~ conditionally approved based upon the following Findings and subject to the following Conditions:

4. FINDINGS

Based on the totality of the record, the City Council makes the following findings:

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed ~~p~~P~~roject~~ ~~modifications are~~is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The proposed ~~p~~P~~roject~~ ~~modifications are~~is consistent with the General Plan, which designates the property as High Density Residential (HR). Multi-family residential development under this category will range between 13 and 20 dwelling units per acre. ~~Other compatible uses such as accessory dwelling units, home occupations, religious institutions, educational institutions, parks and recreation facilities, and public utilities are permitted or conditionally permitted. Assuming maximum development and an average household size of 2.4 persons per unit, population densities in these areas could be as high as approximately 48 persons per acre. Most of Solana Beach's high density residential development is located in the southwestern portion of the city (i.e., along the coastal bluffs south of the Plaza and in the area generally bounded by Via de la Valle, Solana Circle, Nardo Avenue, and Stevens Avenue).~~The ~~approved p~~P~~roject~~ ~~includes~~is proposing 260 residential

units ~~which equates to~~ 19.4 dwelling units per acre. The proposed Project ~~modifications remain~~ ~~may be found~~ consistent with the General Plan, which designates the property as High Density Residential (HR) and ~~remain~~ ~~may be found to be~~ consistent with ~~the following~~ General Plan policies in the City's Land Use (LU) Element for residential land uses.:

~~**Policy LU-1.1:** Encourage the development and protection of healthy residential neighborhoods by ensuring sensitive transitions between those neighborhoods and adjoining areas and preventing deterioration through rehabilitation and maintenance efforts.~~

~~Project Consistency:~~ The project has been subject to a view assessment process to ensure sensitive transitions between the project and adjacent neighborhoods and has undergone substantial changes, as described in the staff report, to create appropriate transitions.

~~**Policy LU-1.2:** The City's land use plan shall include residential land uses comprising a range of housing types, locations, and densities.~~

~~Project Consistency:~~ The City's general plan and housing element include a range of housing types, locations, and densities,

~~**Policy LU-1.3:** In order to protect the rental housing stock, protect purchasers of dwelling units, assure consistency with the general plan density requirements, assure adequate parking, and assure adequate public facilities, conversion of existing apartments to condominiums or other similar forms of subdivision shall be regulated pursuant to City zoning and subdivision ordinances. The regulations shall ensure that conversion of apartments to condominiums or other similar types of subdivisions will meet current standards for the construction of new condominiums or other similar types of multi-family dwellings within the city.~~

~~—Project Consistency:~~ No condominium conversion is proposed as part of this project.

~~**Policy LU-1.4:** Pursue opportunities to improve and protect existing residential neighborhoods by enhancing the pedestrian and bicycle experience, implementing traffic calming measures where appropriate, and providing convenient access to schools, parks, beaches, and other amenities and services.~~

~~Project Consistency:~~ As described in the staff report, the project includes 50 bicycle parking spaces and will construct extensive traffic calming measures and pedestrian safety measures on streets adjacent to the project.

~~**Policy LU-6.6:** Promote infill development, redevelopment, rehabilitation, and reuse efforts that protect and contribute positively to existing neighborhoods and surrounding areas.~~

~~Project Consistency: The project is located on an existing developed infill site that will be reused and, through extensive landscaping and new construction, contribute positively to the surrounding area.~~

~~**Policy LU-6.7:** Promote appropriate transitions in building height and bulk, which are sensitive to the visual and physical character of adjacent neighborhoods.~~

~~Project Consistency: As described in the staff report, the project has been subject to an extensive view assessment process and has proposed major design changes to ensure that it is sensitive to the visual and physical character of the adjacent neighborhoods.~~

The ~~p~~**P**roject ~~modifications remain~~is consistent with ~~the following~~ General Plan programs and goals in the City's 6th Cycle Housing Element, including regional housing needs assessment / local share goals and affordable housing goals, ~~including:~~

- ~~(1) Continuing to implement the density bonus and affordable housing ordinances.~~
- ~~(2) Addressing and mitigating constraints to housing development by approving development standards and waivers needed for project construction and a fee waiver.~~
- ~~(3) Providing 32 affordable housing units for the elderly (seniors) as an identified "Special Needs Group" in the Housing Element. The continued affordability of these units will be ensured for 55 years, and that the rents be limited to those affordable to low income households.~~
- ~~(4) Meeting the local share of the Regional Housing Needs Assessment (RHNA) as established by SANDAG by providing a portion of the lower income units that are the City's share of the regional housing need.~~
- ~~(5) Developing a site with the 260 units that were identified as the site's potential in the City's Housing Element.~~

~~(6) Redeveloping an older apartment complex to preserve neighborhood quality.~~

~~The proposed project is also consistent with the requirements of Title 17 in that the proposed project density of 260 units is permitted with a density bonus. As designed the project meets the minimum lot area of 10,000 square feet in that each lot will be 1.25 acres and 11.64 acres in size, respectively. The proposed buildings will have a minimum front yard setback of 25 feet, side yard setback of 10 feet and rear yard setback of 25 feet as required in the HR zone. Per the City's parking ordinance, the project requires 494 parking spaces. The applicant is consistent with the parking ordinance requirement by proposing 525 parking spaces on-site. The parking provided for the affordable senior units is consistent with Section 65915(p) of the Government Code and the City's density bonus ordinance.~~

II. The proposed ~~p~~Project modifications development remain ~~ent~~ compliant ~~es~~ with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

(1) Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

~~The subject lot is located within the High Residential Density (HR) Zone. According to SBMC 17.20.010 this zone allows 13 to 20 dwelling units/net acre and is intended for multiple family attached units such as apartments and condominium buildings. Such areas are located in close proximity to major community facilities, commercial centers and transportation routes. It is intended that development in this zone utilize innovative site planning, and provide on-site recreational amenities.~~

No significant adverse effects upon neighboring properties have been identified or are anticipated to occur from the ~~p~~Project implementation, and the ~~p~~Project has been extensively redesigned to protect view impacts. As conditioned, the proposed ~~p~~Project gives consideration to the protection of surrounding areas from potential adverse effects and provides protection of the property from adverse surrounding influences. Additionally, the City Council has certified the FEIR for this ~~p~~Project and has found that ~~p~~Project

impacts either will not occur, will be less than significant, or will be less than significant with mitigation in all the topic areas analyzed.

- (2) Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.

The Project includes a total of 24 buildings including one affordable senior housing building (Building 25) and one clubhouse/leasing center (Building 19). All parking would be provided onsite in either the form of a garage or surface parking including covered and uncovered and includes 233 garages, 22 covered spaces and 270 open/guest spaces.

Fifteen of the 24 buildings would be two stories in height and nine of the Buildings would be three stories in height. In general, the buildings located along South Nardo Avenue would be two stories and the buildings that are internal to the site would be three stories. The affordable senior building would also be three stories and is located at the southeast corner of the site.

~~The project includes a total of 260 units with a breakdown as follows:~~

~~(a) 12 studio apartments that are 420 square feet in size~~

~~(b) 128 one-bedroom apartments ranging in size from 517 to 954 square feet~~

~~(c) 120 two-bedroom apartments ranging in size from 731 to 1,212 square feet.~~

~~Each unit proposes private open space in the form of patios for the units on the ground floor and balconies for the units on the second floor.~~

Project amenities on site would include a recreation facility/clubhouse building and associated recreation facilities such as a pool, spa, barbecue areas, walking paths, and passive usable open space. Additionally, the pProject would include a small private park along South Nardo Avenue to reduce effects to public and private views in proximity to the existing greenspace on site.

The SBMC includes development standards for high density residential development based on the zone in which the pProject is located, including required setbacks, maximum FAR, and building

height. The proposed Project [modifications](#) [meets](#) or exceeds all required setbacks, and is below the maximum allowable FAR.

Required parking and landscaping standards are contained in the City's Off Street Parking Design Manual (OSPDM).

The highest point of the Project is 149.5 above Mean Sea Level (MSL), measured at Story Pole #39, with the Project 25 feet at that location. The maximum height of the Project is 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 where the project site elevation is 116 feet above MSL at that location. As required by State law, the City will waive development standards for height of buildings, retaining walls, and walls and fences that would otherwise physically preclude development of the property with the permitted density bonus.

- (3) Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.

Per SBMC 17.56.040, the proposed development is subject to the City's Water Efficient Landscape Regulations. The existing site contains developed areas and vegetation consisting of both native trees and non-native ornamental trees, shrubs and other plant species.

The final landscaping plan for the Project [includes approximately](#) [proposes](#) 247,583 square feet of landscaped area which is equal to approximately 43% of the project site. During construction of the proposed Project, it is anticipated that all of the existing trees, shrubs and other vegetation would be removed as part of the proposed Project due to the extent of grading that is proposed on site to lower pad elevations.

The Project has been conditioned to comply with the LCP LUP Policy 3.53 regarding mitigation for native tree species removed from a project site. The inclusion of five (5) California Sycamores would replace the existing mature 5 California Sycamores on site in accordance with City LCP requirements for native tree mitigation. The proposed changes to the buffer landscaping are in response to concerns raised by adjacent residents expressing concerns regarding the viability of transplanted 84-inch box trees and potential impact on hillside / slope stability as well as smaller size container trees ability to grow faster after transplantation.

In lieu of ten ~~(10)~~ 84-inch ~~box~~ Coast Live Oaks along the southern edge of the project site, the planting plan includes twenty-three ~~2436~~-inch Coast Live Oaks in the East and North-East Zones. Along the southern project boundary, screening will be provided by 11 Coastal Shrub Oaks in 15-gallon containers that are more appropriate for slope planting. Other prominent screening trees in the South Zone include 15 Torrey Pines and various other tree species. More than sixty 24-inch box trees will be located within the buffer zones in a combination of oak, palm and other native and drought tolerant tree species selected with the benefit of community input.

The Project would include the installation of mature (boxed) trees to reduce visual and aesthetic effects from the loss of the existing vegetation on site. Larger shade trees would include approximately 716 trees in total including 15-gallon trees and 24-inch box trees

The landscape plan includes the use of native species and/or drought-tolerant plant material. No invasive or potentially invasive species would be used. Planting is intended to be a connecting device linking the various pieces of the project site and design styles. The landscape plan uses plant material to help define spaces, create/encourage circulation paths, emphasize entry points, and provide softness and scale to the architecture. Evergreen, deciduous, and flowering material are proposed throughout the site and mature native trees are proposed. New landscaping would use significantly less water than the current landscaping, as the proposed ~~p~~Project would use reclaimed water for all landscape uses and would also comply with all California landscape water-usage standards.

The Applicant's final landscape plan has been reviewed by the City's third-party landscape architect who has recommended approval ~~of the landscape plan~~. The Applicant would be required to submit detailed construction landscape drawings that would be reviewed by the City's third-party landscape architect for conformance with the final plan ~~approved by Council~~. Additional Conditions of Approval have been added to ensure that the Final Landscape Plan is reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health and include an engineering review by EsGil of ~~all Final Landscape Plan Construction Drawings, Sheets LC-01 through LC-13~~. In addition, the City's third-party landscape architect would perform inspections during the ~~p~~Project construction ~~phase of the project~~. A separate condition requires that native or drought-tolerant and non-invasive

plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- (4) Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.

Residential projects in the City are required to comply with parking standards in SBMC 17.52. The parking requirements for the affordable senior housing element are per the State bonus density code (CGC 65915(p)). Although this maximum required parking ratio could apply to the entire property, the Applicant is complying with SBMC Chapter 17.52 for the market-rate portion of the site (e.g., 228 units).

The proposed Project meets or exceeds the parking requirements for automobile and motorcycle parking as outlined in SBMC 17.52. ~~The proposed project includes 525 onsite parking spaces, 50 bicycle spaces, 17 motorcycle spaces and 9 accessible spaces.~~

Pedestrian paths are provided throughout the site to facilitate internal pedestrian circulation across and within the site.

Vehicular access to the site would be provided from two driveway locations on South Nardo Avenue. In addition, direct access to the affordable senior housing building would be provided from the existing curb cut serving the existing multi-family units off Stevens Avenue located south of the intersection of South Nardo Avenue and Stevens Avenue.

All entrances would provide full movement driveways allowing inbound and outbound movements. The Project driveways are proposed to be unsignalized.

Pedestrian access to and from the project site would be provided via new and/or improved perimeter sidewalks along South Nardo Avenue and Stevens Avenue.

- (5) Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in

connection with the proposed development shall be planned and executed to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

Grading is proposed in the amount of 187,000 cubic yards with approximately 160,000 cubic yards of soil to be exported off-site. The project site varies from an elevation of approximately 39 to 150 feet above MSL, sloping upward from southeast to northwest. The majority of the proposed grading is intended to facilitate a general lowering of elevations on the site to address the potential for private view impairment and to facilitate internal circulation for pedestrians as well as vehicles.

The Engineering Department has included a condition of approval that the Applicant shall participate in the Sand Compatibility and Opportunistic Use Program (SCOUP) and deposit beach compatible sands / sediment exports on city beaches if the Applicant's soil engineer determines that any or all of the soil to be exported is compatible with beach sediments in accordance with the City's SCOUP permits.

- (6) Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).

Conditional approval of this Project includes the requirement that all new exterior lighting fixtures be in conformance with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures will be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A minimum lighting level of 0.2 foot-candles is required for all parking areas. All lights provided to illuminate any loading space or parking area shall be designed, adjusted, and shielded to avoid casting light toward public roads and adjoining residential properties.

- (7) Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.

The Project is a high-density residential development within the HR Zone and, pursuant to the SBMC, requires common usable open space in the amount of 250 square feet per residential unit for a total of 65,000 square feet. The proposed ~~p~~P~~r~~oject provides a total of 65,434 square feet of open space.

~~In addition, as designed, each of the proposed residential units has its own patio (first floor units) or balcony (for second floor units) that is directly accessed from the residence.~~

The proposed ~~p~~P~~r~~oject includes passive usable open space areas. Additionally, the proposed ~~p~~P~~r~~oject would include a small park area, along South Nardo Avenue.

~~The site currently has a recorded easement as part of the County of San Diego's approval of Special Use Permit No. P. 68-187 prior to the City's incorporation. The language of the recorded easement specifically allows for amendments to the original Special Use Permit (SUP) as well as additional activities authorized by the Grantee. By virtue of city incorporation, the City now holds the recorded easement's Grantee interest. As such, the site is subject to the City's zoning regulations. Provided that all the required findings for issuance of the City's Development Review Permit (DRP) can be made, it would constitute the Grantee's authorization and act as an amendment to the SUP or supersede the SUP in its entirety.~~

~~Portions of the property that is the subject of this application are subject to a Grant of Open Space Easement recorded July 6, 1970 in the Official Records of San Diego County for the benefit of the County of San Diego as Grantee. The City is now the Grantee as the successor in interest to the County upon incorporation.~~

~~The Open Space Easement provides that:~~

~~(i) no portion of the Open Space shall be graded, excavated or filled except in compliance with said Special Use Permit No. P 68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof and (ii) no natural or artificial improvements shall be constructed, installed, erected, permitted or maintained (other than the natural and artificial improvements complying with said Special Use Permit No.~~

~~68-187 (as the same may be from time to time amended) or an authorization by Grantee in implementation thereof).~~

~~The City's requirements for a Development Review Permit and a Structure Development Permit are equivalent to the Special Use Permit approved by the County in 1970, and the City's approval of the Development Review Permit and the Structure Development Permit constitutes an amendment to Special Use Permit No. 68-187, allowing development and grading of the site as shown on the approved plans. The City as Grantee hereby authorizes the amendment of the Grant of Open Space Easement to permit grading, excavation, and fill and construction, installation, erection, permission, and maintenance of those natural and artificial improvements as shown on the approved plans for the Development Review Permit and the Structure Development Permit.~~

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the modifications to the previously approved development review permit.

~~All required permits and approvals required by the City, including the SDP, VTPM and Affordable Housing Plan, Fee Waiver, and Density Bonus with Waiver of Development Standards are being processed concurrently with the Development Review Permit.~~

The Project is also located within the Coastal Zone as the entire City of Solana Beach is within the Coastal Zone. As a condition of project approval, the Applicant was required to obtain a Coastal Development Permit from the CCC which was issued in May 2019 under CDP # 06-19-0109

- IV. If the proposed development pProject modifications also requires a permit or approval to be issued by a State or federal agency, the City Council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

The FEIR that was certified for this pProject does not include mitigation measures that require permits or approval from other agencies. The Mitigation Monitoring and Reporting Program (MMRP) was adopted for this pProject as a part of certification of the FEIR. All applicant proposed project design features are included as conditions of project approval.

B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

1. The Applicant for the Project modifications went through an extensive Structure Development Permit for the pProject approved by the Council in 2018 under Resolution 2018-132.
 2. With the proposed modifications, the Applicant requested and received approval by the City Council of a Structure Development Permit waiver for the following modifications to Buildings 13, 19 and 24: 1) Building 13 to be modified as follows - the maximum building height of the easterly 47 feet of Building 13 will be lowered ~~by an additional 3.0 feet (to 130.54.9 MSL)~~ and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18. 2) Building 19 (Clubhouse) to be modified on three sides (front, rear and street side) to allow second-floor balconies open on three sides with a roof, and an exterior staircase which would project outside of the previously permitted horizontal building envelope. 3) Building 24 to be shifted approximately 60' feet east.
 3. There is no significant cumulative view impairment caused by granting the application. There have been no new or proposed projects in the area that would contribute to cumulative view impairment impacts. As described in the staff report the Applicant revised the (now approved) pProject to address all potential private view impairments.
 4. The proposed structures are compatible with the immediate neighborhood character. The Applicant has designed the pProject with similar architectural features, materials, roof types and colors that can be found in the surrounding neighborhoods. The Applicant will be required to show compliance with the approved maximum height and three-dimensional building envelope that was approved by the SDP, subject to the approved modifications to Buildings 13, 19 and 24 noted above, at the time of submittal for a building permit and also prior to requesting a framing inspection.
5. CONDITIONS

The conditions contained within the original Resolutions of approval 2018-131 and 2018-132 are still in effect except as expressly modified by this Resolution as shown below.

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the maximum building height of the structure does not exceed 149.5

above Mean Sea Level (MSL), measured at Story Pole #39 and 47.1' above the lowest point of the existing/proposed grade at Story Pole #86 as measured from the lower of the existing or proposed grade, and is in conformance with the plans as approved by the City Council on December 17, 2018 and as modified and as approved by the City Council under this Resolution ~~on January 12, 2022~~ and the certified story pole plot plan and certifying the maximum building height of all framing and structures do not exceed the heights referred to herein and in the Project plans.

II. BUILDING HEIGHTS.

- a. Finished Building Heights. The maximum finished height of all buildings and structures of the Project shall not exceed the maximum finished heights ~~set forth on the Initial Project Plans and the modification thereto for Building #12 (lowers the finished height), Building #13 (lowers the finished height), and Building #10 (expands the building envelope without increasing the finished height)~~ submitted by the Applicant to the City and presented to the View Assessment Commission on October 16, 2018 and November 20, 2018 concerning the Structure Development Permit for the Project (the "Modifications to Project Plans") to address the applications for View Assessment filed for the Project. The maximum finished heights include but are not limited to installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning equipment) and related screening of each roof or roof section. The "Initial Project Plans" and "Modifications to Project Plans" are collectively referred to as the "Project Plans"
 - i. The Applicant shall modify Building 13 maximum height to lower the maximum building height of the easterly 47 feet of Building 13 ~~by an additional 3.0 feet (to 130.51.9 MSL)~~ and allow the remaining westerly approximately 144' feet of Building 13 to be constructed to the height of 139.9' MSL as originally depicted and certified by story pole certification dated 6/14/18.
- b. Confirmation of Building Heights Before Framing Inspection. Within sixteen (16) months after the City Council's approval of the Development Review Permit for this Project (as conditioned by the City Council), but no later than March 1, 2023, the Applicant shall prepare and submit to the City Manager a chart in the form and content acceptable to the City Manager which at a minimum sets forth the following information for each roof or roof section of each building or structure in the Project:
 - (i) The building number for each building as set forth on the Preliminary Grading Plan (or identify the structure if no number)

and the height of those story poles and the height of the ridge(s) of each roof and roof section of each building or structure and the applicable story pole number for each roof ridge;

- (ii) The maximum height based on Mean Sea Level (MSL) elevation of the completed framing for each ridge of each roof and roof section of each building or structure before installation of anything on the rough framing, including installation of roofing materials or other materials or equipment; and
- (iii) The maximum finished height based on Mean Sea Level (MSL) elevation for each ridge of each roof and roof section of each building or structure after installation of roofing materials, parapet walls, if any, mechanical equipment (including heating, ventilation, and air conditioning mechanical equipment) and related screening of each roof and roof section.

The foregoing maximum heights shall be consistent with the maximum finished heights set forth in the Project Plans.

- c. ~~Roof Slopes. The slopes of the roofs shall not be decreased or increased.~~

~~EXTERIOR MATERIALS.~~

~~Materials Approved. When constructing the buildings in the Project, the Applicant shall use exterior materials that are of the same type and design and have the same appearance, finish, and architectural design significance and are substantially the same or better quality as the exterior materials shown in the plans, illustrations, photographs, photo and electronic simulations, renderings, and other visual and graphic images submitted by the Applicant to the City Council to obtain approval of this Project. The Project, including the affordable senior housing units, shall be constructed with the same design type and same or better quality materials as shown on such visual and graphic images as approved by the City under this Resolution.~~

III. PARKING.

- a. ~~Addition of Parking Spaces on Lot B. The Applicant has proposed a total of five hundred twenty five (525) total parking spaces for the Project allocated as follows: 488 spaces for Lot A; and 37 spaces for Lot B. The Applicant has subsequently agreed to add six (6) additional parking spaces on Lot B for a total of 43 spaces on Lot B. The six (6) additional spaces shall be added at the north side of the~~

~~proposed parking area for Lot B. The six (6) additional parking spaces shall be designated as “visitor” parking.~~

- ~~b. Quantity of Parking Spaces for the Project. All references to “parking spaces” mean parking for cars and trucks, not motorcycles. The Applicant has proposed a total of 525 parking spaces for the Project. With the six (6) additional visitor parking spaces for Lot B as provided in Subsection (a) above, the Project and Project Plans shall provide a total of five hundred thirty-one (531) parking spaces (a cumulative total for tenants and visitors) for the Project (includes Lot A [market rate apartments] and Lot B [affordable senior apartments]). All parking spaces shall be in compliance with the City’s Off-Street Parking Manual.~~
- ~~c. The zoning applicable to the Project based on the type of apartments (e.g., amount of bedrooms in each apartment) and quantity of apartments in the Project requires a total of 494 parking spaces (this is the total for both tenants and visitors, and includes ADA parking spaces). The Project shall provide a total of 531 parking spaces. Thus, in order for the Applicant to provide 531 parking spaces, the Project and Project Plans shall provide the 494 parking spaces required by zoning plus an additional 37 extra parking spaces.~~
- ~~d. The 531 parking spaces are allocated as follows:~~
- ~~e. (i) 488 Lot A; and~~
- ~~f. (ii) 43 Lot B.~~
- ~~g. LOT A. There shall be a total of four hundred eighty-eight (488) parking spaces on Lot A, and these parking spaces shall be allocated as follows:~~
- ~~h. There will be a maximum of 343 reserved parking spaces available for tenants, at least 88 unreserved parking spaces available for tenants, and 57 visitor parking spaces. Thus, the 488 parking spaces are allocated as follows:~~
- ~~i. 343 maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)~~
- ~~j. minimum unreserved parking spaces for tenants~~
- ~~k. 57 visitor parking spaces (228 apartments = 57 visitor spaces)~~
- ~~l. = 488 total parking spaces on Lot A~~

- ~~m. **LOT B.** There shall be a total of forty three (43) parking spaces on Lot B, and these parking spaces shall be allocated as follows:~~
- ~~n. There will be a maximum of 37 reserved parking spaces available for tenants, no unreserved parking spaces for tenants, and 6 visitor parking spaces. Thus, the 43 parking spaces are allocated as follows:~~
- ~~o. 37 — maximum reserved parking spaces for tenants (based on 1 space for studio apartment, 1 space for one bedroom, and 2 spaces for two bedrooms)~~
- ~~p. minimum reserved parking spaces for tenants~~
- ~~q. 6 — visitor parking spaces~~
- ~~r. = 43 — total parking spaces on Lot B~~
- ~~s. **Reserved Parking Spaces for Tenants.** The Applicant shall assign reserved parking spaces for tenants of the Project as provided herein. However, the Applicant shall not reserve for or assign to any tenant more reserved parking spaces than as follows: 1 parking space for a studio apartment; 1 parking space for a one bedroom apartment; and 2 parking spaces for a two bedroom apartment. The Applicant shall not reserve any “visitor” parking spaces on the Project.~~

~~The Applicant shall prepare a written parking plan (the “**Parking Plan**”) and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the Parking Plan to the City Manager on or before September 1, 2023 for approval thereafter by the City Council.~~

~~With regard to the parking spaces on Lot A, the Applicant shall assign one (1) garage parking space to each apartment (to the extent there are sufficient quantity of garages, noting there are more apartments than garages) for the exclusive use of that apartment so that all garage parking spaces on Lot A are assigned to specific apartments. After assigning all garage parking spaces to specific apartments, then the Applicant shall assign one (1) covered carport parking space to each apartment that does not have a garage parking space assigned to the apartment (to the extent there are sufficient quantity of carport parking spaces, noting that there are more apartments than garages and carport parking spaces combined). After all garage parking spaces and carport parking spaces have been assigned to~~

~~apartments, then the Applicant shall assign one (1) uncovered parking space to each of the remaining apartments that do not have a garage or carport parking space assigned to that apartment. In addition, if an apartment is a two-bedroom apartment, then the second reserved parking space assigned to a two-bedroom apartment will be an uncovered parking space.~~

~~The garages that are located in the building where the apartment is located will be assigned first to the apartments located in that same building and then to the apartments located closest thereto. The same principal will be used to assign reserved carport parking spaces and reserved uncovered parking spaces.~~

~~The apartment and the garage and/or covered carport parking space and/or uncovered parking space(s) assigned to each specific apartment for the exclusive reserved use of the tenant of that apartment shall constitute single premises for the purpose of the rental of that apartment.~~

~~Tenants who have apartments with assigned reserved parking space(s) (either garage, carport, and/or uncovered parking space) shall be required by their lease to park in their assigned reserved parking spaces and not in the unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and/or towing for violations.~~

~~For the purpose of example and not for limitation, if the tenant of a two-bedroom apartment consists of two occupants with two vehicles and the tenant's apartment has a reserved garage parking space and a reserved uncovered parking space assigned to the tenant's two bedroom apartment, then the tenant shall park in the garage and reserved uncovered parking space and shall not park in an unreserved parking space. However, if there are three occupants of the two-bedroom apartment and the assigned garage and reserved uncovered parking spaces are being used by two of the occupants, then the third occupant will park in an unreserved uncovered parking space.~~

~~The purpose of the requirements herein is to have each garage and covered carport parking space assigned to a specific apartment to ensure that all garages and covered carport parking spaces in the Project will be used for parking before the unreserved tenant parking spaces are used, thereby making available to tenants of the Project as many unreserved uncovered parking spaces as possible for the shared use of all tenants of the Project. With parking spaces available~~

~~in the Project, tenants are discouraged from parking off site in the neighborhood surrounding the Project.~~

~~1) Request by the Applicant for Conversion of Unreserved Parking Spaces to become Reserved Parking Spaces on Lot A. The existing development on the Property that will be demolished to construct the Project does not have sufficient parking spaces for the tenants and visitors of the Property. Consequently, many tenants and visitors to the Property park on the streets in the neighborhood near the Property. This has caused a shortage of parking in the neighborhood and other negative impacts.~~

~~The Applicant has represented to the residents of the neighborhood and area near the Property and the City Council that the 531 parking spaces to be provided by the Project will provide a sufficient quantity of parking spaces for tenants and visitors of the Project so that they can park on the Property, not on the streets of the surrounding neighborhood. However, if the Applicant wants to increase the amount of uncovered reserved parking spaces on Lot A by converting some of the “unreserved” uncovered parking spaces to become “reserved” uncovered parking spaces (Applicant shall not increase the amount of reserved parking spaces on Lot B), then the Applicant may request approval from the City Council to convert up to thirty one (31) of the eighty eight (88) total unreserved uncovered parking spaces to become reserved uncovered parking spaces.~~

~~In addition to the foregoing, the opportunity for the Applicant to request modification of the Parking Plan as provided herein shall include the opportunity for the Applicant to request modification of the allocation of reserved and unreserved parking spaces for tenants of the Project and consideration of other issues concerning the management of tenant and visitor parking for the Project in order to achieve the goal of preventing tenants and visitors of the Project from parking on South Nardo Avenue and on the streets in the surrounding neighborhoods.~~

~~In connection with the Applicant's request, the Applicant shall submit a proposed modified Parking Plan which identifies and changes such unreserved uncovered parking spaces to become reserved uncovered parking spaces (the "**Modified Parking Plan**") to the City Council for approval. The Modified Parking Plan shall be accompanied by documentary analysis, data, and information which establish and demonstrate that the Applicant's proposed Modified Parking Plan will not cause, encourage, or otherwise result in tenants or visitors of the Project parking on the streets in the neighborhood adjacent to the Project and will eliminate and prevent on-street parking by tenants and visitors. The goal and actual effect of any Modified Parking Plan shall be to have all tenants and visitors of the Project park in the Project, not on nearby streets, and eliminate or prevent their on-street parking and the reasons or incentives for tenants and visitors to park on the streets. The Modified Parking Plan shall demonstrate that it will achieve this goal and produce the actual desired result and thereafter it shall actually achieve this goal.~~

~~If the Applicant elects to request an increase in the amount of reserved uncovered parking spaces by converting unreserved uncovered parking spaces as provided herein, then the Applicant shall submit the Modified Parking Plan and supporting analysis and documents required herein to the City Manager on or before September 1, 2023 for consideration and approval thereafter by the City Council.~~

~~Unreserved Parking Spaces for Tenants. All unreserved parking spaces shall remain open for parking by all tenants of the Project who do not have a reserved parking space for their use as provided herein. The leases for tenants shall provide that tenants shall use their reserved parking spaces first before using any unreserved parking spaces. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.~~

~~Visitor Parking Spaces. The visitor parking spaces shall be marked with signage as "visitor parking." The size, design, and location of signage for visitor parking shall be in compliance with the City's Off Street Parking Manual and approved by City Manager. The visitor parking spaces shall be distributed evenly throughout the Project as approved by City Manager. The Applicant shall not reserve any "visitor" parking spaces on the Project.~~

- ~~a. Tenants Shall Not Park in Visitor Parking Spaces. Tenants shall not be permitted to park in visitor parking spaces. The leases for tenants of the Project shall provide that tenants shall not park in parking spaces with signage stating the space is "visitor" parking. Notwithstanding the foregoing, tenants may park in visitor parking spaces only between the hours of 11:00 p.m. and 8:00 am. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.~~
- ~~b. No Charge for Parking. There shall not be any charge or fee to park in the Project, whether for any tenant of the Project (reserved or unreserved parking spaces) or their respective invitees, guests, and visitors. There shall not be any charge or fee for any parking spaces for tenants (reserved or unreserved), whether the parking spaces are provided as required by zoning or not, any parking spaces for visitors, and for any parking spaces constructed in the Project that exceed the total amount of spaces required by zoning.~~
- ~~c. The foregoing prohibition against the Applicant charging for any parking spaces in the Project shall not apply to the Applicant charging a higher rent for each apartment that includes exclusive reserved use of a specific identified garage and/or covered carport parking space assigned to that specific apartment for the exclusive use of that apartment. However, in order to permit this exemption from the prohibition against charging for parking spaces, each garage and uncovered carport parking space in the Project shall be assigned to a specifically identified apartment for the exclusive use of that apartment, with one garage or covered carport parking space assigned to each apartment as provided in Subsection (c) above. The garage parking spaces and covered carport parking spaces shall be assigned to the extent of the quantity of garages and covered carport parking spaces in the Project (i.e., there are more apartments than garages and carport parking spaces).~~
- ~~d. Access to Parking. There shall not be any gate, barrier, or other restriction to access any driveway/vehicle access to the Project.~~
- ~~e. No Assignment to Third Party. No parking spaces in the Project shall be assigned, sold, conveyed, transferred to any third party owner or otherwise reserved for any tenant beyond the amount of parking spaces allocated to the tenant's type of apartment as provided herein.~~
- ~~f. Garages Shall be Used for Parking. All leases and rental agreements for tenants or occupants of the Project shall provide that garages and~~

~~covered parking spaces in carports shall be used for vehicle parking and incidental storage of personal property. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties for violations.~~

~~g. All garages shall be pre-wired for electric vehicle charging as identified in exhibit provided to City Council on December 17, 2018~~

~~h. A minimum of 15 electric vehicle (EV) charging stations shall be installed consistent with the exhibit provided by City Council on December 17, 2018. Tenants shall not be permitted to park in EV parking spaces unless used for charging purposes. The leases for tenants of the Project shall provide that tenants shall not park in EV parking spaces with signage stating the space is "EV" parking. Notwithstanding the foregoing, tenants may park in EV parking spaces only between the hours of 11:00 p.m. and 8:00 a.m. if such spaces are not in use during this time period. The Applicant shall strictly enforce this requirement by providing appropriate enforcement provisions and remedies in the leases, including monetary penalties and towing for violations.~~

~~i. Fifty-seven (57) guest parking spaces shall be marked as permanent guest spaces and may not be assigned or reserved for any tenant, occupant or employee.~~

~~IV. Parking Management Plan. A The Applicant shall prepare a written Parking Management Plan and identify thereon which garages, carport parking spaces, and uncovered parking spaces are assigned to each apartment as reserved parking spaces for each apartment and the location of all unreserved tenant parking spaces and visitor parking spaces in the Project. The Applicant shall submit the onsite Parking Management Plan to the City Manager on or before September 1, 2023 for approval. The Parking Management Plan, as approved by the City Council, shall be in place to prevent resident use of adjacent street parking. The Parking Management Plan shall contain provisions in tenant leases that clearly restrict the garage space use from impeding the ability to park an automobile in the garage and allow garages to be inspected periodically.~~

~~V.~~IV. LANDSCAPE PLAN.

The Applicant has submitted to the City Council a Final Landscape Plan dated December 20, 2021, which is part of the proposed pProject modifications under for consideration by the City Council ~~concerning the Development Review Permit Modification Request for the Project.~~ The

Applicant has also submitted a Landscape Zone Plan dated February 24, 2022, which identifies landscape species and material for identified Landscape Buffer Areas which shall be incorporated into the Final Landscape Plan.

The Final Landscape Plan shall comply with the following requirements:

- a. Mix. The mix of trees shall be at least 70% or more evergreen and no more than 30% deciduous.
- b. Quantity. At a minimum, the quantity of trees and other vegetation shown on the Landscape Plan shall be maintained. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.
- c. Quality. Trees and other vegetation shall be the same or better architectural significance and design value (as these terms are customarily used by landscape design professionals from time to time during the life of this Project) and quality as shown on the Final Landscape Plan.
- d. Requirement to Maintain Landscape Trees and Vegetation. The Applicant shall maintain the landscape buffer areas with trees and vegetation as specified in the Landscape Zone Plan that shall be incorporated into that have a level of architectural significance and design value and quality that is substantially the same or better than as shown on the Final Landscape Plan. Such trees and other vegetation shall not be removed unless concurrently replaced.
- e. Removal and Replacement. Trees and other vegetation shall not be removed without concurrently replacing same. When replacing trees and other vegetation, the Applicant shall maintain the same or better size and species level of architectural significance, design value and quality shown on the Final Landscape Plan. Also, when replacing trees, the Applicant shall replace with equal or larger size of the trees as indicated in the Landscape Zone Plan and Final Landscape Plan.
- f. Height of Trees at Maturity. Final Landscape Plan. The Applicant shall submit the "Final Landscape Plan" for consideration and approval by the City Council. The Final Landscape Plan shall specify the sSelection of the species of trees, (including the height of trees at maturity,) and placement of the trees throughout the Project, including in all landscape buffer areas on the pProject exterior perimeter, for the Final Landscape Plan and shall avoid consider and mitigate potential for blocking views of residences located on South Nardo Avenue that filed view claims concerning this Project.

~~(i) Landscaping and tree heights shall be specifically addressed as part of the Final Landscape Plan and shall demonstrate that, at maturity, trees and landscape shall not exceed the height of Building 12 within the view corridor between Buildings 2 and 3, Buildings 11 and 12 and Buildings 13, 14 and 17.~~

~~(ii) LANDSCAPE BUFFER AREAS.~~

~~(iii) Landscape Buffer Areas. The "landscape buffer area" means the area between the facades of the buildings in the Project that are located along the boundary line of the Property and the adjacent boundary line of the Property or the edge of the sidewalk at a public street that is closest to the building facades, whichever is closer to the building facades. Where there is a parking area along the perimeter of the Project, the Landscape buffer area is the area between the boundary line of the Property or the edge of the sidewalk at a public street that is closest to the parking area and the edge of the paved parking area. However, at various locations along the perimeter of the Project on the south and west sides of the Project there is no sidewalk, and the landscape buffer areas consists of the area between the building facades (or edge of the paved parking area) and the boundary line of the Property.~~

~~(iv) There is a landscape buffer area around the entire perimeter of the Project, except at the three locations where a driveway crosses the landscape buffer area. The landscape buffer areas are provided by the placement of the buildings and structures set back from the property boundary lines as depicted on the Project Plans, including the Site Plan (Sheet O-1.1) and Preliminary Conceptual Landscape Plan (Sheet L-0.1) that are part of the Project Plans.~~

~~(v) The landscape buffer areas are shown on the Project Plans, including the Site Plan and Preliminary Grading Plan therein. The landscape buffer area shall be increased as described herein and specifically depicted and identified on the Site Plan and the updated final Landscape Plan that are part of the Project Plans.~~

~~(vi) The landscape buffer areas shall be planted with trees and other vegetation as provided herein to screen the Project from the public streets, adjoining properties, and other properties in the area of the Project. The landscape buffer areas shall be planted with trees and vegetation that provide at least ninety percent (90%) coverage of the landscape buffer area.~~

- ~~(vii) — Modify Landscape Buffer Areas. The minimum width of the landscape buffer areas between Building #25 and the parking area located east of Building #25 and the property to the south, and at Building #6 shall be expanded as follows:~~
- ~~(viii) — Building #25 — a minimum twenty five (25) feet wide;~~
- ~~(ix) Parking area east of Building #25 — twenty (20) feet wide;~~
- ~~(x) Remove hardscape improvements in Landscape Buffer area on north side of Building #6.~~
- ~~(xi) Requirement to Maintain Minimum Size of Landscape Buffer Areas. The dimensions (i.e., distance east to west, and north to south) and useable area of the landscape buffer areas as set forth herein shall be maintained and shall not be reduced. No portion of any landscape buffer area shall be converted to patios, decks, walkways, driveways, or other non-landscape uses, except as provided in subsection (d) below entitled “Exceptions to Landscape Buffer Area.”~~
- ~~(xii) — Exceptions to Landscape Buffer Area. Except as expressly permitted herein, no patios, decks, walkways, seating, or other hardscape improvements, or other non-landscape uses are permitted in any of the landscape buffer areas referenced herein:~~
- ~~(xiii) — Two Driveways Along South Nardo Avenue and One Driveway on Stevens Avenue. There shall not be more than three (3) driveways/vehicle entrances to the Project. There are two driveways that provide access to the Project along South Nardo Avenue and one driveway on Stevens Avenue that serves Building #25; and~~
- ~~(xiv) — Walkways in the Landscape Buffer Areas Next to and Along the Building Facades. Allow one walkway in the landscape buffer areas next to the building facades. These walkways are shown on the Preliminary Grading Plan. These walkways provide access to the apartments in these residential apartment buildings. These walkways shall not be wider than four (4) feet, including any built-in benches, seating, planters, or other improvements associated with or concerning the walkway.~~
- ~~(xv) — Pocket Park on South Nardo Avenue. There shall be an open space park area located along and contiguous with South Nardo Avenue between Building #2 and Building #4 as identified on the Preliminary Grading Plan. The minimum dimensions of the area~~

~~of the park are fifty three (53) lineal feet measured generally from north to south (approximately perpendicular to South Nardo Avenue) and ninety five (95) lineal feet measured generally from east to west. This open space area will be used as a park for residents and visitors of the Project. The entire area of this park area will be landscaped with grass and other vegetation as set forth on the Landscape Plan that provide at least ninety percent (90%) coverage of the area. There shall not be any hardscaped area or other improvements constructed or installed within this park area, except the area for installation of a small patio and barbeque, not to exceed a total of two hundred (200) square feet, at the location(s) shown on the Project Plans.~~

- c. The Final Landscape Plan shall be reviewed and approved by the Santa Fe Irrigation District/San Elijo Joint Powers Authority (JPA) and the County of San Diego Department of Environmental Health prior to building permit issuance.
- d. Engineering review shall be conducted by EsGil for Final Landscape Plan Construction Drawings ~~contained on Sheets LC-01 through and LC-13~~ prior to building permit issuance.

B. Engineering Department Conditions:

I. PUBLIC IMPROVEMENTS/TRAFFIC CALMING PLAN

The following engineering conditions (1 thru 13 under Public Improvements) are required to improve the existing roadway network adjacent to and in general vicinity of the proposed project boundary consistent with the City's circulation element and implementing certain recommendations of the City's Comprehensive Active Transportation Strategies (CATS) Program in satisfaction of the Traffic Impact Fee (TIF) requirement. The Applicant shall construct and install the improvements set forth on the Off-Site Improvement Plan dated December 3, 2018 (the "Off-Site Improvement Plan") as modified by the Traffic Calming Plan exhibit dated January 2022 submitted by the Applicant to the City concerning the Development Review Permit for the Project. The Applicant shall obtain an Engineering permit for construction of public improvements to the satisfaction of the City Engineer as follows:

- (1) The applicant shall be responsible for enhancement to the operation of Turfwood driveway access at Valley Avenue. These Enhancements may include but not be limited to:
 - (a) Striping the Turfwood driveway for a distance of approximately 50 feet from Valley Avenue to accommodate one inbound lane, one

outbound left turn lane, and one outbound right turn lane. Additionally, the applicant shall install "Keep Clear" legend on Valley Avenue at Turfwood driveway.

- (b) Working with the City Engineer and the adjacent property owner to improve the sight visibility line for vehicles exiting Turfwood Lane. If the adjacent property owner is uncooperative, the applicant is not obligated to provide any improvements outside of the existing right of way.
 - (c) Installation of a "Solar Powered Electronic Speed Sign" on Southbound Stevens Avenue or other means to calm traffic approaching Turfwood driveway access.
 - (d) The Applicant shall monitor the traffic pattern and delay at the Turfwood Lane Access to the Valley Avenue four times (two times during morning and two times during afternoon peak hours) within one year after full implementation of the above measure. Upon completion of the field observation and monitoring efforts, a report prepared by a professional traffic engineer shall be delivered to the City Engineering office. If additional enhancement is warranted, the Applicant shall implement the pProject's share of the required improvements at a cost not to exceed \$50,000 to the satisfaction of the City Engineer.
- (2) The Applicant shall reconstruct the southwesterly curb return at the intersection of Nardo Avenue and Stevens Avenue. The Applicant shall place thermoplastic continental pedestrian crossing striping at the north and west side of the intersection. The Applicant shall replace the pedestrian ramps at the northwest corner and east side of the intersection to the satisfaction of the City Engineer.
 - (3) On west side of Valley Avenue, south of Nardo Avenue provide appropriate regulatory signs to prohibit left turn out of the proposed driveway for the senior housing complex.
 - (4) On south Nardo Avenue west of Stevens Avenue install a raised concrete median and corresponding signage, striping, and pavement legends to channelize traffic. This may require elimination of on-street parking along South Nardo on both sideS of the street.
 - (5) On northwest, southwest, and northeast corner of South Nardo Avenue and Fresca Street, install concrete curb extensions. This will require elimination of two (2) on-street parking spaces along south side of Nardo Avenue. The proposed curb extensions shall

be designed to accommodate ADA compatible pedestrian ramps on both sides of Nardo Avenue. The applicant shall also install thermoplastic continental crosswalk for pedestrian crossing at the stop-controlled north leg of South Nardo Avenue/Fresca Street and a solar powered pedestrian crossing flashing sign with corresponding signage.

- (6) On Nardo Avenue install raised concrete chokers with sufficient lengths and widths. The applicant shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for maintenance of any landscaping and irrigation system in these features. Additionally the applicant shall install two "Solar Powered Electronic Speed Signs" within this segment of Nardo Avenue.
- (7) The Applicant shall place thermoplastic continental pedestrian crossing striping on Nardo Avenue north side of Solana Circle and on Solana Circle west side of Nardo Avenue to the satisfaction of the City Engineer. City will perform appropriate analysis and report to the City Council. If directed by the City Council, City Staff would facilitate the installation of new stop signs on south Nardo Avenue at Nardito Lane and Solana Circle with corresponding signs and legends.
- (8) The applicant Shall Construct two Chokers (Physically narrowing the road width by extending the curbs and installing a short median section) between Nardito Lane and Fresca Street with corresponding signs and pavement legends to the satisfaction of the City Engineer.
- (9) On both sides of South Nardo between Solana Circle and Stevens Avenue install Sharrow marking pavement legends.
- (10) Construct all sewer lateral connections to the City sewer main consistent with City Standards.
- (11) Construct all proposed driveway entrances to the ~~p~~P Project on South Nardo Avenue and Valley Avenue consistent with City Standards.
- (12) Construct all storm drain connections to the City curb or storm drain system consistent with City Standards.
- (13) The existing sewer main serving this property, proposed to be replaced, shall be abandoned in the public right-of-way by plugging the street manhole connection and plugging the pipe at the right-of-way line. The sewer connection(s) for 821 Stevens Avenue shall be capped at the main.

- (14) Connect to the existing recycled waterline on Stevens Avenue. The applicant shall coordinate with Santa Fe Irrigation District, San Elijo Joint Powers Authority and County Health Department for this extension project. All irrigation system including the ones in the public right of way shall be provided by recycled water.
 - (15) The Applicant shall continue to work with City Staff to develop the Traffic Calming Plan referenced herein. Upon completion, the Traffic Calming Plan shall be subject to future consideration and approval by the City Council.
6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings. The conditions of approval for the ~~p~~Project modifications shall remain in place until such time they may be amended or superseded by subsequent City Council action.
 7. EXPIRATION: The vesting tentative map shall expire 24 months after the date of Coastal Commission CDP final permit issuance and may be extended as provided by State law or Section 16.12.110, whichever provides the longest extension. All other approvals granted by this resolution shall expire 60 months after the date of Coastal Commission permit issuance~~approval~~ and may be extended as provided by Section 17.72.110.
 8. INDEMNIFICATION AGREEMENT: The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and the Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by Applicant.
 9. NOTICE TO APPLICANT: Developer is hereby notified, as required by Government Code Section 66020, that the approved plans and the conditions of approval and ordinances governing fees and exactions in effect at the time the ~~p~~Project modifications are ~~is~~-approved constitute written notice of the description of the

dedications, reservations, amount of fees and other exactions related to the ~~p~~Project. As of the date of ~~project~~ approval of Project modifications, the 90-day period has begun in which developer may protest any dedications, reservations, fees or other exactions imposed by the City. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Failure to file a protest in compliance with all of the requirements of Government Code Section 66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 49^h day of ~~March~~ February 2022, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

From: Mike Nunn <nunm639@gmail.com>
Sent: Wednesday, January 26, 2022 1:27 PM
To: Joseph Lim
Subject: Fwd: HG Fenton project discussion at this evening's city council meeting — Case No. DRP MOD 20-002 for DRP/SDP/VTM 17-14-29

Begin forwarded message:

From: Mike Nunn [REDACTED]
Subject: HG Fenton project discussion at this evening's city council meeting — Case No. DRP MOD 20-002 for DRP/SDP/VTM 17-14-29
Date: January 26, 2022 at 1:22:14 PM PST
To: clerkoffice@cosb.org
Cc: Phil Weber [REDACTED] >

This note is to express our support of using the view assessment process to evaluate changes proposed by HG Fenton. We (Phil Weber and Mike Nunn) live at [REDACTED] Nardito Lane and were involved in the prior view assessment for the Solana Highlands renewal project. Our claims of potential loss of view, together with those of others, led to significant changes in the original project design through the city's view assessment process .

HG Fenton has now requested a change to the approved plan, including a 5 ft increase in height for 139.9 ft of one of the buildings, and moving a second building into a new area where views might be impacted. We would request that these changes be treated the same as any other change in structure heights in the city: that story poles be put in place so neighbors can assess the impact that these modifications will have on the surrounding community. ... If any other home were going to increase in height by 5 feet, story poles would be required for the change. If any other building were going to be moved by 60 feet, we would need to evaluate it. And if a large balcony, with a modification to the roof line were to be added to a house, that would also need by evaluated by our city's view assessment process.

We urge the city council to follow the laws and codes of the City of Solana Beach, enforce the view assessment process, and deny the applicants request to proceed without full evaluation of their proposed changes to previously approved plans.

Thank you,

Michael Nunn, PhD
[REDACTED] Nardito Lane
Solana Beach, CA 92075





STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Finance
SUBJECT: **Council Consideration of Resolution 2022-025 Approving the Adoption of Mid-Year Budget Adjustments for Fiscal Year 2021-22, Authorizing the Creation of the Information Technology Director Position and Job Description, and Approving Adjustments to the Fiscal Year 2021-2022 Salary Schedules**

BACKGROUND:

During the course of any year, as new budgetary information becomes available, Staff presents that information to the Council for consideration when adjustments are recommended to the Adopted Budget.

In addition, it is the responsibility of the City Manager to consistently engage in organizational analysis of various City operations to improve efficiency and effectiveness and ensure the most economical means of conducting business is achieved. Section 2.08.070, Section D, of the Solana Beach Municipal Code (SBMC), "Powers and Duties (of City Manager)" Administrative Reorganization of Offices, states:

It shall be the duty and responsibility of the City Manager to conduct studies and effect such administrative reorganization of offices, positions or units under the City Manager's direction as may be indicated in the interest of efficient, effective, and economical conduct of the City's business.

Staff is recommending the following:

1. Revising appropriations to the Fiscal Year 2021-22 Annual Budget (Exhibit A).
2. Creation of the Information Technology (IT) Director position in order to provide growth and advancement opportunities within the city.
3. Addition of the IT Director position to pay grade M-8 of the Executive and Management Salary Schedule (Exhibit B).
4. Approval of adjustments to the FY 2021-2022 Part-time/Temporary/Seasonal Salary Schedule (Exhibit C).

CITY COUNCIL ACTION:

This item is before the City Council for consideration of Resolution 2022-025 (Attachment 1) approving the adoption of mid-year budget adjustments for Fiscal Year (FY) 2021-22, authorizing the creation of the IT Director position and job description, and approving adjustments to the 2021-22 Salary Schedules.

DISCUSSION:

The City of Solana Beach's (City) Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council without a budget amendment. In addition, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations. Due to the economic impacts created by the COVID-19 pandemic in FY 2020-21, the recovery in FY 2021-22 Budget has been and continues to be of particular interest.

Staff is recommending the City Council authorize the Finance Director/City Treasurer to amend the FY 2021-22 Adopted Budget for certain revenue and expenditure appropriations. Additionally, Staff recommends approval for the creation of the IT Director position and updates to the FY 2021-22 Executive Management and Management salary schedule (Exhibit B) as well as the Part-Time/Seasonal/Temporary salary schedule (Exhibit C). Specific salary schedule changes and amendments to the FY 2021-22 Adopted Budget are discussed below in detail and categorized by General Fund and other funds.

General Fund Amendments

General Fund – Revenues

Staff analyzed revenues received by the City through December 2021. A trend analysis was performed to compare actual receipts received versus the annual budget. Any significant variances were analyzed in detail and projected through the end of the fiscal year. In a few cases, budget adjustments are being recommended based on other separate analyses or projections.

General Fund Amendments – Revenues

- **Property Tax**
Collections for this revenue category are ahead of estimates through December. The County of San Diego has adjusted the projected collections due to higher than projected collections from delinquencies and levy adjustments. Staff is recommending Property Tax revenue be increased by \$80,000 from \$9,047,000 to \$9,127,000.
- **Real Property Transfer Tax**
Collections for this revenue category are ahead through December as compared to original budget estimates. Staff is recommending Real Property Transfer Tax revenue be increased by \$150,000 from \$200,000 to \$350,000.
- **Sales Tax**
Collections of Sales Tax revenue continue to rebound from previous year lows. Staff met with HDL advisors, who are projecting a continued brisk recovery in FY 22 in the restaurant, general consumer goods, and fuel sectors. Based on information from HDL,

Staff is recommending Sales Tax revenue be increased by \$570,000 from \$3,560,300 to \$4,130,300.

- Transient Occupancy Tax
In the beginning of the year, Staff conservatively estimated revenue from hotel and short-term vacation rental transient occupancy tax (TOT) based on on-going COVID-19 impacts. The City has experienced higher than anticipated TOT from both Hotels and short-term vacation rentals. Due to this, Staff is recommending short-term vacation rental TOT revenue be increased by \$75,000 from \$475,000 to \$550,000 and hotel TOT revenue be increased by \$150,000 from \$900,000 to \$1,050,000.
- Building Permits Revenue
Due to a few large one-time project submittals from Solana 101, Staff is proposing a budget increase to Building Permits of \$57,500. This adjustment would increase Building Permits budgeted revenue from \$310,000 to \$367,500.
- Building Plan Check Fees
Building Plan Check Fees through December 2021 are lower than estimated in the adopted budget. Staff is proposing a budget decrease to Building Plan Check Fees of \$50,000 based the trend analysis and input from the Community Development Department. This adjustment would decrease Building Plan Check Fees budgeted revenue from \$320,000 to \$270,000.
- Interest Revenue
The Adopted Budget included \$165,000 for interest revenue that would be received on its investments held with the Local Agency Investment Fund (LAIF) and Chandler Asset Management. Due to a continued low interest rate environment, Staff is recommending interest revenue be decreased by \$25,000 to \$140,000.
- Planning Application & Public Hearing Fees
The Adopted Budget appropriated \$157,500 for Planning Application & Public Hearing fee revenue. Based on elevated activity in planning submittals and public hearings, Staff is recommending an increase in this revenue category by \$107,500 to a total of \$265,000.
- Fines and Penalties
The Adopted Budget appropriated \$110,000 for California Vehicle Code (CVC) Fines revenue, \$90,000 for Parking Citations, and \$175,000 for Redflex Citations. Due largely to effects of the COVID-19 pandemic and a partial year suspension of parking violation enforcement, Staff is recommending a decrease in these revenue accounts by \$160,000, bringing CVC Fines to \$70,000, Parking Citations to \$30,000, and Redflex Citations to \$100,000.
- Public Facilities Fees
Staff is recommending an increase in this revenue category by \$60,000 due to one-time project fee submittals from Solana 101. The recommended increase would bring the budgeted revenue for this category to \$125,000.

- General Fund Transfers-In – ARPA Funds**
 When the FY 2021-22 Budget was adopted, the City was operating under the US Department of Treasury interim guidance regarding its allocation of \$3,180,686 and the eligible uses of those funds from the American Rescue Plan Act (ARPA). This guidance established a methodology for recipients to calculate its reduction of revenue, for each calendar year affected by COVID-19, as an eligible use of ARPA funds. Recently, the Treasury released its final guidance for ARPA funds. As part of the final guidance, jurisdictions now have a standard deduction for revenue replacement of \$10 million. This means that cities may claim revenue losses up to \$10 million without applying the calculation methodology established under the interim guidance. Our original revenue loss calculation for calendar year 2020 was \$2,239,400 and the adopted budget in FY 22 was set accordingly, with the remaining \$941,300 of the total allocation to be applied in FY 23. Now that the City will no longer need to perform the revenue loss calculation, Staff is recommending reducing the General Fund transfers-in budget by \$650,000 to match the actual ARPA funds received in FY 22 of \$1,590,350. The remaining \$1,590,350 will then be recognized as revenue in FY 23 when the final allocation of funds is received.

A summary of the recommended changes for General Fund revenues are listed in the table below:

Proposed Revenue Budget Adjustments	
General Fund - Mid Year	
Fiscal Year 2021-22	
<u>Account</u>	<u>Additions/ (Deletions)</u>
Property Tax	\$ 80,000
Real Property Transfer Tax	150,000
Sales & Use Tax	570,000
Transient Occupancy Tax (TOT)	150,000
Short Term Vacation Rental TOT	75,000
Business Registration	55,000
Building Permits	57,500
Building Plan Check Fees	(50,000)
Planning Application & Public Hearing Fees	107,500
Engineering Plan Check Fees	(40,000)
Public Facilities Fees	60,000
Interest	(25,000)
CVC Fines	(40,000)
Parking Citations	(60,000)
Redflex Citations	(75,000)
Operational Revenues	\$ 1,015,000
General Fund Transfers-In	(650,000)
General Fund Transfers-In	\$ (650,000)
Total General Fund Revenues	\$ 365,000

General Fund Amendments – Expenditures

Staff has analyzed expenditures through December 2021 against budgeted expenditures. Based on this analysis, Staff is recommending increases to General Fund expenditure accounts totaling \$358,000.

Professional Services

The largest expenditure adjustment is an increase of \$100,000 for building services. This increase is for services provided by EsGil, whose compensation is based on building permit and plan check revenue received.

Staff is requesting an increase of \$28,200 in the Information Technology department. This increase is for City facilities internet service of \$26,000 and \$2,200 for Adobe Sign licenses to expand the City's ability to route and collect electronic signatures on documents.

An appropriation of \$6,000 is being requested for temporary staffing in the Finance Department. The additional staffing is to assist finance staff with processing Business Certificate and Short-Term Vacation Rental license renewals.

Equipment and Supplies Expenditures

Due to unbudgeted costs related to COVID-19, Staff is asking for an increase in the amount of \$6,000 in the Civil Defense department. These funds are for additional face masks that were needed during both the Delta variant and the recent Omicron COVID surges.

City Hall lobby furniture has reached the end of its useful life. Staff is requesting \$5,000 to replace and install new furniture in the City Hall lobby.

The FY 2021-22 adopted budget included \$43,500 for community grants. On June 23, 2021, City Council approved \$55,000 in community grants due to additional donated funds received in the current fiscal year. Staff is requesting to formally appropriate the difference, \$11,500, in the community grants expense account.

Salaries & Benefits

The Finance Department has analyzed costs associated with Salaries and Fringe Benefits through the end of December 2021. The following changes to Salaries and Fringe Benefits are being requested as follows:

- With an increased need for Information Technology services, Staff is requesting \$65,135 for the addition of a Network Systems Engineer position. This position would support the development and administration of the City's local and wide area network, including network testing, support, preventative maintenance, and hardware and software configuration. Of the total, \$61,880 would be in the General Fund.
- Due to increased demand on services provided by the Human Resources Department, there is an operational need to add a Senior Human Resources Analyst position. This position would provide support to a variety of HR duties, including recruitment, salary and benefit administration, workers compensation, and employee relations. The impact in this fiscal year is an addition of \$55,345 in salary and benefits, of which \$52,575 will be in the General Fund.

- Due to increased workload, the Finance department has been working more overtime than projected. Staff is requesting an increase of \$2,000 to their overtime budget.
- Continued part-time support has been included in the City Clerks department. The department is currently progressing through a records retention and destruction project and software conversion. The fiscal impact of the additional services is \$20,000 in the current fiscal year.
- Due to increased workload and responsibilities for the Senior Management Analyst, staff has included a budget increase of \$12,675 in the City Manager's department for the current fiscal year.
- Recruiting and retaining Lifeguards and Recreation Leaders has become increasingly difficult for the City. Today's employment market is extremely competitive due to an ongoing workforce shortage. Many employers are finding it very challenging to attract, hire and retain employees. This competitive market has forced both private and public employers to reevaluate the entry level pay and recruitment techniques to attract applicants. As a Public entity, these challenges are even more relevant. A comparison of City of Solana Beach's salaries compared to other public agencies in San Diego County indicates that the City's part-time/temporary/seasonal salary schedule is no longer competitive and allowable work hours are also limited by the California Public Employee Retirement System (CalPERS) for part-time employees.

The Marine Safety department usually hires 10 to 15 part-time Lifeguards annually to support day to day operations and to provide support to the City's very popular Junior Lifeguard program. Lifeguards respond to emergencies and are responsible to protect life and property along City managed beaches.

Additionally, each summer, the Recreation department hires 4 to 5 part-time Recreation Leaders to assist in the operation and execution of the City's summer day camps. Prior to the pandemic, recruiting and hiring qualified employees for these positions was not an issue. Currently, due to the low applicant pool, the Recreation department is struggling to find and hire qualified Recreation Leaders. The Recreation Leaders are critical in running the City's popular day camp programs.

In an effort to improve the City's ability provide a high level of programs and services and to attract and retain qualified Part-Time/Temporary/Seasonal employees, Staff has included an increase to the starting compensation for these positions. The starting wages for Lifeguards and Recreation leaders has been increased from \$15.45 per hour to \$17.76 per hour. These starting pay changes will also increase the hourly rate for the other positions throughout the Part-time/Temporary/Seasonal salary schedule. Staff estimates this change will have a fiscal impact in FY 2021-22 of \$30,295, with \$17,450 in the General Fund and \$12,845 in the Camp Programs Fund.

Reclassifications

- Due to increased demand on services provided by the Community Services Department and City Manager's Department, there is a need to increase the staffing level of the Management Assistant from 3/4 time to full-time. This would be retroactively effective to the pay period ending January 14, 2022. The impact in this fiscal year is an addition of \$12,987 in salary and fringe benefits.
- To better align responsibilities and functions with job duties, Staff recommends reclassifying two positions in the Finance Department. The Fiscal Services Specialist position is being reclassified to Accountant and the Administrative Assistant III position is

being reclassified to a Fiscal Services Specialist I. These reclasses would be retroactively effective to the pay period ending January 14, 2022, and would have a fiscal impact on the current year of \$6,900, of which \$5,360 would be in the General Fund.

- Staff recommends creating and adopting an IT Director position (Attachment 2) to allow growth and advancement opportunities, as well as provide flexibility in recruitment of new employees based on skills and qualifications.

The IT Director differs from the IT Manager classification in that the IT Director has responsibilities, which include performing diverse, specialized, and complex work involving significant accountability and decision-making responsibility. The incumbent organizes and oversees day-to-day activities and is responsible for providing advanced professional-level support to the City Manager in a variety of areas. Successful performance of the work requires an extensive professional background as well as skill in coordinating departmental work. This class has overall responsibility for all leadership and operation of the Department and for application, development, implementation, policy, and procedures. The IT Director position is a FLSA exempt, at-will position under the Executive Management Employees' salary schedule pay grade M-8 (Exhibit B). The fiscal impact in the current fiscal year is \$18,180, of which \$16,360 belongs to the General Fund.

A summary of the recommended changes for General Fund expenditures are listed in the following table:

**Proposed Expenditure Budget Adjustments
 General Fund - Mid Year
 Fiscal Year 2021-22**

<u>Account</u>	<u>Additions/ (Deletions)</u>
Salary and Benefits	
Administration	\$ 12,655
City Clerk Department	20,000
Community Services	12,990
Finance	7,390
Human Resources	52,575
Information Technology	78,240
Marine Safety	17,450
Professional Services	
Building Services	100,000
Finance	6,000
Information Technology	28,200
Equipment	
City Facilities	5,000
Special Department Supplies	
Civil Defense	6,000
Other	
Community Grants	11,500
Total Operational Expenditures	\$ 358,000

Other Fund Amendments

The following amendments increasing expenditures to other funds are also recommended. All wage and benefit amendments are allocations for the changes previously discussed in the General Fund Salaries and Benefits section:

<u>Fund Name</u>	<u>Description</u>	<u>Amount</u>
Revenue Adjustments		
Transnet	Record Transnet Loan Allocation	\$ 325,105
Development Impact	Impact Fees Revenue	1,195,000
Total Revenue Adjustments		\$ 1,520,105
Expenditure Adjustments		
Asset Replacement	Marine Safety - Tower Base Repairs	\$ 13,400
Asset Replacement	Marine Safety - Personal Water Craft	\$ 4,000
Asset Replacement	Information Technology - Computer Replacements	12,500
Self Insurance	Wages & Benefits	1,235
Transnet	Record Transnet Loan Debt Service	325,105
Federal Grants	ARPA Funds Adjustment	(650,000)
Camp Programs	Wages & Benefits	12,845
CIP Fund	Fletcher Cove Playground Design	30,000
CIP Fund	City Hall Maintenance	10,000
Santitation	Wages & Benefits	8,175
Total Expenditure Adjustments		\$ (232,740)
Total Other Funds		\$ 1,752,845

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

The adopted FY 2021-22 Budget initially projected a General Fund surplus of \$1,555,440. Throughout the first eight months of the fiscal year, the budget has been adjusted by various resolutions to a projected surplus of \$1,337,406. With the FY 2021-22 mid-year adjustments to revenues and expenditures as discussed above, the General Fund Budget would realize an increase of revenues of \$365,000 against expenditure increases of \$358,00, thereby increasing the projected operating surplus by \$7,000 to \$1,344,406. With the inclusion of an estimated PARS Section 115 Trust contribution of \$455,000, the contribution amount Council authorized from the fiscal year 2020-21 General Fund surplus, the net projected change in General Fund Balance for Fiscal Year 2021-22 is \$889,406. These changes are shown on the following table:

Adopted General Fund Revenues	\$	22,694,100
Budget Adjustments & Transfers		121,540
Mid-Year Revenue Adjustments		365,000
Total General Fund Revenues**	\$	23,180,640
Adopted General Fund Expenditures	\$	(21,138,660)
Budget Adjustments & Transfers		(339,574)
Mid-Year Expenditure Adjustments		(358,000)
Total General Fund Expenditures	\$	(21,836,234)
Projected FY 2021-22 Surplus(Deficit)	\$	1,344,406
FY 21 Surplus - PARS Contribution		(455,000)
Net Projected Change In General Fund Balance	\$	889,406

**Note: FY 2021-22 General Fund Revenues include \$1,589,400 of American Rescue Act Plan (ARPA) funds.

WORK PLAN:

Fiscal Sustainability

OPTIONS:

- Approve Staff Recommendation
- Deny Staff Recommendation

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council adopt Resolution 2022-025:

1. Authorizing creation of the Information Technology (IT) Director position and job description.
2. Approving adjustments to the FY 2021-2022 Part-time/Temporary/Seasonal Salary Schedule and the FY 2021-2022 Executive and Management Salary Schedule.
3. Approving revised appropriations in the Fiscal Year 2021-22 Adopted Budget.
4. Authorize the City Treasurer to amend the FY 2021/2022 Adopted Budget accordingly.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2022-025
2. Information Technology Director Job Description

RESOLUTION 2022-025

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, REVISING APPROPRIATIONS IN THE FISCAL YEAR 2021-22 BUDGET AND APPROVING FY 2021-2022 SALARY SCHEDULE ADJUSTMENTS

WHEREAS, during the course of the fiscal year, new information becomes available to Staff which require adjustments to be made to the adopted budget; and

WHEREAS, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations; and

WHEREAS, the City's Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council, without a budget amendment; and

WHEREAS, the City Manager, in coordination with the Finance Director, reviewed and analyzed the expenditures of the Fiscal Year 2020/21 Adopted Budget and recommend certain amendments be made to the General Fund as well as other funds; and

WHEREAS, the City Council authorizes all salary and compensation plans (Section 8.10 of the City's Personnel Rules and Regulations); and

WHEREAS, the City Council must approve a salary and compensation plan for employees including executive management, mid-management, management and confidential, the Solana Beach Employees Association – Miscellaneous (SBEA-MISC), the Solana Beach Employees Association – Marine Safety Unit (SBEA-MSU), the Solana Beach Fire Association (SBFA), and the Part-Time/Seasonal/Employee groups to coincide with fiscal appropriations each fiscal year; and

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Solana Beach, California, does hereby resolve as follows:

1. That the above recitations are true and correct.
2. That the City Treasurer is authorized to amend appropriations in the 2021-22 fiscal year budget as further set forth in the attached Exhibit A.
3. That the City Council authorizes an adjustment to the Fiscal Year 2021-22 Executive and Management Salary Schedule to add the Information

Technology Director to pay grade M-8 as further set forth in the attached Exhibit B.

4. That the City Council authorizes adjustments to the Fiscal Year 2021-22 Part-Time/Seasonal/Temporary Salary Schedule as further set forth in the attached Exhibit C.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Solana Beach, California, this 9th day of March 2022, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

Exhibit A
Resolution 2022-025

GENERAL FUND

<u>Revenues</u>	<u>Account</u>	<u>Additions/ (Deletions)</u>
	Property Tax	\$ 80,000
	Real Property Transfer Tax	150,000
	Sales & Use Tax	570,000
	Transient Occupancy Tax (TOT)	150,000
	Short Term Vacation Rental TOT	75,000
	Business Registration	55,000
	Building Permits	57,500
	Building Plan Check Fees	(50,000)
	Planning Application & Public Hearing Fees	107,500
	Engineering Plan Check Fees	(40,000)
	Public Facilities Fees	60,000
	Interest	(25,000)
	CVC Fines	(40,000)
	Parking Citations	(60,000)
	Redflex Citations	(75,000)
	Operational Revenues	\$ 1,015,000
	General Fund Transfers-In	(650,000)
	General Fund Transfers-In	\$ (650,000)
	Total General Fund Revenues	\$ 365,000

<u>Expenditures</u>		
Administration	Salary and Benefits	\$ 12,655
City Clerk Department	Salary and Benefits	20,000
Community Services	Salary and Benefits	12,990
Finance	Salary and Benefits	7,390
Human Resources	Salary and Benefits	52,575
Information Technology	Salary and Benefits	78,240
Marine Safety	Salary and Benefits	17,450
Building Services	Professional Services	100,000
Finance	Professional Services	6,000
Information Technology	Professional Services	28,200
City Facilities	Equipment	5,000
Civil Defense	Special Department Supplies	6,000
City Council	Community Grants	11,500
	Total Operational Expenditures	\$ 358,000

OTHER FUNDS

<u>Revenues</u>		
Transnet	Record Transnet Loan Allocation	\$ 325,105
Development Impact	Impact Fees Revenue	1,195,000
	Total Revenue Adjustments	\$ 1,520,105

<u>Expenditure Adjustments</u>		
Asset Replacement	Marine Safety - Tower Base Repairs	\$ 13,400
Asset Replacement	Marine Safety - Personal Water Craft	\$ 4,000
Asset Replacement	Information Technology - Computer Replacements	12,500
Self Insurance	Wages & Benefits	1,235
Transnet	Record Transnet Loan Debt Service	325,105
Federal Grants	ARPA Funds Adjustment	(650,000)
Camp Programs	Wages & Benefits	12,845
CIP Fund	Fletcher Cove Playground Design	30,000
CIP Fund	City Hall Maintenance	10,000
Sanitation	Wages & Benefits	8,175
	Total Expenditure Adjustments	\$ (232,740)

Total Other Funds	\$ 1,752,845
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SALARY SCHEDULE 1
 JULY 2, 2021
 Updated March 9, 2022

Pay Grade	Job Classifications	Frequency	Minimum	25th Percentile	Midpoint	75th Percentile	Maximum
M1	Management Analyst	Annual	\$62,959	\$72,403	\$81,846	\$91,290	\$100,734
	Human Resources Analyst	Monthly	\$5,247	\$6,034	\$6,821	\$7,608	\$8,394
	Recreation Supervisor	Bi-weekly	\$2,623	\$3,017	\$3,410	\$3,804	\$4,197
	Executive Assistant to City Manager/Council Public Works Supervisor	Hourly	\$30.27	\$34.81	\$39.35	\$43.89	\$48.43
M2	Deputy City Clerk	Annual	\$72,025	\$81,028	\$90,031	\$99,034	\$108,037
	Senior Human Resources Analyst	Monthly	\$6,002	\$6,752	\$7,503	\$8,253	\$9,003
	Senior Management Analyst	Bi-weekly	\$3,001	\$3,376	\$3,751	\$4,126	\$4,502
		Hourly	\$34.63	\$38.96	\$43.28	\$47.61	\$51.94
M3	Network System Engineer	Annual	\$79,227	\$89,131	\$99,034	\$108,937	\$118,841
	Senior Accountant	Monthly	\$6,602	\$7,428	\$8,253	\$9,078	\$9,903
	Senior Civil Engineer	Bi-weekly	\$3,301	\$3,714	\$4,126	\$4,539	\$4,952
	Senior Planner	Hourly	\$38.09	\$42.85	\$47.61	\$52.37	\$57.14
M4	Human Resources Manager	Annual	\$87,150	\$98,044	\$108,937	\$119,831	\$130,725
	Information Technology Manager	Monthly	\$7,262	\$8,170	\$9,078	\$9,986	\$10,894
	Principal Civil Engineer	Bi-weekly	\$3,631	\$4,085	\$4,539	\$4,993	\$5,447
	Principal Planner Public Works Operations Manager Recreation Manager	Hourly	\$41.90	\$47.14	\$52.37	\$57.61	\$62.85
M4-A	Assistant to the City Manager	Annual	\$95,865	\$107,848	\$119,831	\$131,814	\$143,797
	Finance Manager	Monthly	\$7,989	\$8,987	\$9,986	\$10,985	\$11,983
		Bi-weekly	\$3,994	\$4,494	\$4,993	\$5,492	\$5,992
		Hourly	\$46.09	\$51.85	\$57.61	\$63.37	\$69.13
M5	Fire Battalion Chief (2912 annual hours)	Annual	\$70,797	\$79,647	\$88,497	\$97,347	\$106,196
		Monthly	\$5,900	\$6,637	\$7,375	\$8,112	\$8,850
		Bi-weekly	\$2,950	\$3,319	\$3,687	\$4,056	\$4,425
		Hourly	\$34.04	\$38.29	\$42.55	\$46.80	\$51.06
M6	Marine Safety Captain	Annual	\$105,451	\$118,633	\$131,814	\$144,996	\$158,177
		Monthly	\$8,788	\$9,886	\$10,985	\$12,083	\$13,181
		Bi-weekly	\$4,394	\$4,943	\$5,492	\$6,041	\$6,591
		Hourly	\$50.70	\$57.04	\$63.37	\$69.71	\$76.05
M6-A	Fire Battalion Chief (2080 annual hours)	Annual	\$109,028	\$122,657	\$136,285	\$149,914	\$163,543
		Monthly	\$9,086	\$10,221	\$11,357	\$12,493	\$13,629
		Bi-weekly	\$4,543	\$5,111	\$5,679	\$6,246	\$6,814
		Hourly	\$52.42	\$58.97	\$65.52	\$72.07	\$78.63
M7	Deputy Fire Chief	Annual	\$111,535	\$128,265	\$144,996	\$161,726	\$178,456
		Monthly	\$9,295	\$10,689	\$12,083	\$13,477	\$14,871
		Bi-weekly	\$4,647	\$5,344	\$6,041	\$6,739	\$7,436
		Hourly	\$53.62	\$61.67	\$69.71	\$77.75	\$85.80
M8	Administrative Services Director/Assistant City Manager	Annual	\$122,689	\$141,092	\$159,495	\$177,899	\$196,302
	City Clerk	Monthly	\$10,224	\$11,758	\$13,291	\$14,825	\$16,358
	City Engineer/Public Works Director	Bi-weekly	\$5,112	\$5,879	\$6,646	\$7,412	\$8,179
	Community Development Director	Hourly	\$58.98	\$67.83	\$76.68	\$85.53	\$94.38
	Fire Chief						
	Finance Director/City Treasurer Human Resources Director Information Technology Director						

PART-TIME/TEMPORARY/SEASONAL EMPLOYEES

SALARY SCHEDULE 6

Updated March 9, 2022

July 14, 2021

Pay Grade		Job Classification	Step A	Step B	Step C	Step D	Step E
PTS	41	Lifeguard Intern	\$15.00	\$15.75	\$16.54	\$17.36	\$18.23
		Junior Lifeguard Intern					
		Junior Lifeguard Instructor I (non-lifeguard)					
PTS	58	Lifeguard	\$17.76	\$18.65	\$19.59	\$20.56	\$21.59
		Junior LG Instructor II					
		Management Intern					
		Temporary Administrative Assistant					
		Parking Enforcement Officer					
PTS	63	Lifeguard + EMT	\$18.67	\$19.60	\$20.58	\$21.61	\$22.69
		Junior LG Instructor II + EMT					
		Recreation Leader II					
PTS	75	Temporary Maintenance Worker I	\$21.04	\$22.09	\$23.20	\$24.35	\$25.57
PTS	76	Temporary Firefighter/Paramedic	\$21.25	\$22.31	\$23.43	\$24.60	\$25.83
PTS	77	Temporary Planning Technician	\$21.46	\$22.53	\$23.66	\$24.84	\$26.09
		Temporary Engineering Technician					
PTS	82	Temporary Administrative Technician	\$22.56	\$23.68	\$24.87	\$26.11	\$27.42
		Jr. Lifeguard Administrative Technician					
PTS	83	Recreation Leader III	\$22.78	\$23.92	\$25.12	\$26.37	\$27.69
		Senior Lifeguard					
PTS	86	Temporary Code Compliance Officer Assistant	\$23.47	\$24.65	\$25.88	\$27.17	\$28.53
PTS	88	Senior Lifeguard + EMT	\$23.94	\$25.14	\$26.40	\$27.72	\$29.10
PTS	102	Temporary Management Assistant	\$27.52	\$28.90	\$30.34	\$31.86	\$33.45
PTS	123	Temporary Fire Prevention Technician	\$33.92	\$35.62	\$37.40	\$39.27	\$41.23

**CITY OF SOLANA BEACH
INFORMATION TECHNOLOGY DIRECTOR
AT-WILL**

Class specifications are intended to present a descriptive list of the range of duties performed by employees in the class. Specifications are not intended to reflect all duties performed within the job.

DEFINITION

Under general direction, plans, organizes, oversees, coordinates, and manages Information Systems programs and activities; provides management, direction and leadership in information and telecommunications systems applications, development, and operations; provides advice and counsel to management and user departments concerning the application of information systems. Develops budgets and manages contracts for technology products and services. Supervises computer network, internal and external software application, and technology support staff and consultants.

Receives general direction from the City Manager, or designee. Exercise direct and general supervision over Information Technology staff.

CLASS CHARACTERISTICS

This is an executive management position, which reports to the City Manager or designee. The Information Technology Director manages all Information Technology activities, including the development of city wide user requirements and network infrastructure, telecommunications, database administration, business systems application development, maintenance of file servers, and oversees day-to-day activities. The Director is responsible for providing professional-level support to the City Manager in a variety of areas. Responsibilities include performing diverse, specialized, and complex work involving significant accountability and decision-making responsibility. Successful performance of the work requires a highly skilled Information Technology professional with the ability to manage and coordinate departmental work. This class has overall responsibility for all functions of the Department and for developing, implementing, and interpreting policy. The Information Technology Director is a part of the Executive Management Team and is a FLSA exempt, at-will position.

ESSENTIAL JOB FUNCTIONS

The duties and responsibilities listed below are intended only as examples of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related to or a logical assignment to the class.

- Plan, organize and direct the city's Information Systems programs and activities, including but not limited to: information processing, and telecommunications.
- Provide guidance and counsel to management in the examination and definition of objectives for existing and proposed systems and in the design of improved information and telecommunication systems.
- Analyze and define city's information and telecommunication systems requirements.
- Develop and recommend department policies and procedures and direct their implementation upon approval.

City of Solana Beach
Information Technology Director

- Recommend the location, type, size and equipment for information and telecommunications systems installations.
- Direct the preparation and administration of the recommended departmental work program and annual budget. Recommend department staffing consistent with the workload.
- Manage employees through other supervisors; set goals and objectives; select, train, motivate staff; assess performance and make salary recommendations.
- Direct the preparation and implementation of policies, procedures and standards relating to information and telecommunication systems.
- Maintain professional contacts with other organizations, research bodies and equipment manufacturers concerning information systems applications and equipment.
- Direct the continuing review of present systems and methods and the formulation of new and revised systems, examining techniques in use and determining appropriate changes to effect improvements, reduce costs and enhance efficiency on an organization-wide basis.
- Plans, manages, and oversees the daily functions, operations, and activities of the Information Technology Division, including the development of city wide user requirements and network infrastructure, telecommunications, database administration, business systems application development, maintenance of file servers and personal computers, and the administration and operation of other related systems and equipment.
- Manages citywide or departmental technology projects, hardware infrastructure and business applications. Researches, selects, implements, trains and deploys technology projects.
- Participates in the development and implementation of goals, objectives, policies, and priorities for the Information Technology Department; recommends within departmental policy, appropriate service and staffing levels; recommends and administers policies and procedures.
- Prepares and monitors technology budget including operating budget, technology capital replacement budget, and other accounts related to technology in other Departments and Divisions. Manages contracts with hardware and software vendors and consultants.
- Develops and standardizes procedures and methods to improve and continuously monitor the efficiency and effectiveness of assigned programs, service delivery methods, and procedures; assesses and monitors workload, administrative and support systems, and internal reporting relationships; identifies opportunities for improvement and recommends to the City Manager and Assistant City Manager.
- Directs and coordinates the work plan for the City; meets with staff to identify and resolve problems; assigns work activities, projects and programs; monitors work flow; reviews and evaluates work products, methods and procedures.
- Participates in the selection of, trains, motivates, and evaluates assigned staff; provides or coordinates staff training; works with employees on performance issues in coordination with Human Resources; implements discipline in consultation with the City Manager and Assistant City Manager.
- Leads and oversees development, modification, and implementation of the City's Information Technology processes and procedures; investigates, evaluates and oversees administration of new applications and hardware/software upgrades related to all computer technology, City phone systems, the internet and intranet.
- Maintains and updates the City's website, and supports GIS Technology functions.
- Manages and oversees the operating system for the file servers and arranges for installation, upgrades, and troubleshooting of operating system programming problems.
- Provides customer support, including application, computer, phone support and troubleshooting.

City of Solana Beach
Information Technology Director

- Monitors the development and implementation of new network and computerized systems and procedures; works with end users to develop specifications; decides or recommends feasibility of development projects; and evaluates capacity to implement in-house or outsource.
- Manages technology assets, including development of replacement schedules, inventory and disposal.
- Provides consulting advice and technical expertise to City departments regarding hardware/software needs analysis, evaluation of proposed solutions, systems integration, and solutions implementations; identifies and recommends appropriate standards or specialized hardware and/or software to meet the City's needs.
- Ensures safety and security of information system assets and protects systems from inappropriate access or destruction; monitors network security and performance; identifies unauthorized access and potential security risks; participates in projects to enhance network security operations.
- Develops and reviews staff reports related to assigned activities and services; presents reports to various commissions, committees, and boards as needed.
- Provides highly complex staff assistance to the City Manager or Assistant City Manager; prepares and presents staff reports and other necessary correspondence.
- Conducts a variety of organizational studies, investigations, and operational studies; recommends modifications to assigned programs, policies, and procedures, as appropriate.
- Attends and participates in professional group meetings; stays abreast of new trends and innovations in the field of public agency information technology systems; researches emerging products and enhancements and their applicability to City needs.
- Receives, investigates, and responds to difficult and sensitive problems and complaints in a professional manner; identifies and reports findings and takes necessary corrective action.
- Maintains attendance and punctuality that is observant of scheduled hours on a regular basis.
- Remains available 24/7 for emergency incidents and also in non-traditional work hours for presence at various special events and meetings.
- Regulates compliance of cable and telecommunication franchises.
- Performs other duties as assigned.

QUALIFICATIONS GUIDELINES

Experience:

Eight (8) years of responsible experience in information technology systems management, network administration, or database management, with five (5) years of supervisory, management, and/or administrative experience.

Education:

A Bachelor's Degree or equivalent education (i.e., minimum completed California units = 120 semester/180 quarter) from an accredited educational institution with major coursework in business or public administration, computer science, or a related field. A master's degree is highly desirable.

CompTIA A+ Certification and/or Microsoft Certification highly desirable (A+, Network+, Server+, MCSE, MCSA, MCDST)

KNOWLEDGE AND ABILITIES

Knowledge of:

- Administrative principles and practices, including goal setting, program development, implementation, and evaluation and project management.
- Hardware and software characteristics of various computer systems and a general understanding of system features and their integration capabilities.
- Systems design and development processes, including needs analysis, feasibility studies, software design, programming, beta testing, installation, evaluation, and operational management.
- Principles and practices of budget administration; contract administration and evaluation.
- Principles and practices of employee supervision, including work planning, assignment, review and evaluation and the training of staff in work procedures.
- Applicable Federal, State, and local laws, codes and regulations concerning the operation of the IT department.
- The latest telecommunications legislation and laws pertaining to cable franchises, public, government and education access channels, including basic knowledge of franchise compliance and FCC and CPUC rules and regulations.
- Organization and management practices as applied to the development, analysis, and evaluation of programs and operational needs of the assigned divisions.
- Emerging trends and developments, current literature, and sources of information in the field of communications and information technology, including use of new technologies.
- Recordkeeping principles and procedures.
- Technology security principles and best practices.
- IT trends and best practices.
- Techniques for effectively representing the City in contacts with governmental agencies, community groups, and various business, professional, educational, regulatory, and legislative organizations.
- Techniques for providing a high level of customer service by effectively dealing with the public, vendors, contractors and City staff.

Ability to:

- Recommend and implement goals, objectives, and practices for providing effective and efficient services.
- Manage and monitor complex projects, on-time and within budget.
- Prepare and monitor project budgets.
- Plan, organize, schedule, assign, review, and evaluate the work of staff.
- Evaluate and develop improvements in operations, procedures, policies, or methods.
- Research, analyze, and evaluate new service delivery methods, procedures, and techniques.
- Prepare clear and concise reports, correspondence, policies, procedures, and other written materials.
- Analyze, interpret, summarize and present administrative and technical information and data in an effective manner.
- Interpret, explain, and ensure compliance with City policies and procedures, complex laws, codes, regulations, and ordinances.

**City of Solana Beach
Information Technology Director**

- Conduct complex research projects, evaluate alternatives, make sound recommendations, and prepare effective technical staff reports.
- Be available 24/7 for emergency incidents and also in non-traditional work hours for presence at various special events and meetings.
- Effectively represent the department and the City in meetings with governmental agencies, community groups, and various businesses, professional, and regulatory organizations, and in meetings with individuals.
- Establish and maintain a variety of filing, recordkeeping, and tracking systems.
- Organize and prioritize a variety of projects and multiple tasks in an effective and timely manner; organize own work, set priorities, and meet critical time deadlines.
- Operate modern office equipment including computer equipment and specialized software applications programs.
- Use English effectively to communicate in person, over the telephone, and in writing.
- Use tact, initiative, prudence, and independent judgment within general policy, procedural, and legal guidelines.
- Establish, maintain, and foster positive and harmonious working relationships with those contacted in the course of work.

Special Requirements:

- The applicant selected will be subject to a criminal history investigation through the California Department of Justice (DOJ) and a thorough background check. A waiver for reference and background information must be completed.
- Possession of a valid Class "C" California driver's license with a satisfactory driving record.
- City of Solana Beach employees are designated Disaster Service Workers through state law (California Government Code Section 3100-3109). Employment with the City requires the affirmation of a loyalty oath to this effect. Employees are required to complete all Disaster Service Worker-related training as assigned, and to return to work as ordered in the event of an emergency.

PHYSICAL AND MENTAL DEMANDS/WORKING CONDITIONS

The physical and mental demands herein are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform these essential job functions.

- Environment: Standard office environment. Occasional exposure to temperature swings from indoor to outdoor temperatures; exposure to dust from atmosphere and volumes of paper; infrequent exposure to extreme heat and humidity in unairconditioned facilities; extreme noise working at off-site locations; mechanical and electrical hazards of equipment; fumes and odors of burned wiring. Work environment is an 80-hour biweekly work period, with unscheduled breaks. Duties may require working varying hours and days. Work is performed in City Hall and at a number of off-site locations; some work may be performed by telecommuting. Work characteristics are both formal and informal; both autonomous and team-oriented; having both routine and variable tasks; with variable pace and pressure.
- Physical: Primary functions require sufficient physical ability to work in an office setting and operate office equipment. Continuous fine finger dexterity to manipulate small tools and equipment; Frequent walking, standing, sitting, side-to-side turning of neck; firm grasp to lift and move equipment; Occasional bending and stooping, squatting, reaching at and above shoulder height, pushing/pulling, twisting at waist, upward and downward flexion of neck; lifting of objects weighing up to 25 lbs. from below waist to above shoulder level and transporting distances up to one city block; Infrequent kneeling; lifting of objects weighing 2650 lbs. from below waist to chest level with or without assistance and transporting distances up to 30 feet; lifting of objects weighing 51-75 lbs. from below waist to waist level with or without assistance and transporting distances up to 10 feet.
- Vision: See in the normal visual range with or without correction; vision sufficient to read computer screens and printed documents and to operate equipment.
- Hearing: Hear in the normal audio range with or without correction.
- Environment: Normal office setting with some travel to attend meetings. Incumbents may be required to work at both indoor and outdoor environments; individuals may be exposed to noise, dust and inclement weather conditions.
- Other factors: Incumbents may be required to work extended hours including evenings and weekends. Incumbents may be required to travel outside City boundaries to attend meetings and to use a personal vehicle in the course of employment.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 9, 2022
ORIGINATING DEPT: Finance
SUBJECT: **Quarterly Investment Report**

BACKGROUND:

California Government Code Section 53600 requires timely reporting of local agency investment transactions and portfolio to the agency's legislative body.

This item is before Council to receive a presentation and to accept and file the Cash and Investment Report for the quarter ended December 31, 2021.

DISCUSSION:

The investment objectives for the City of Solana Beach are 1) to provide safety to ensure the preservation of capital in the overall portfolio, 2) to provide sufficient liquidity for cash needs and 3) to generate a market rate of return consistent with the Investment Policy. The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to or above the return on the benchmark yield. In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the Investment Policy and all applicable regulations governing the funds.

The attached Quarterly Cash and Investment Report ensures that the City complies with Section 53600. The City's investment portfolio complies with the City's Investment Policy that is approved annually by the City Council. The majority of City funds are invested in Chandler Asset Management (Chandler), Public Agency Retirement Services (PARS), and Local Agency Investment Fund (LAIF).

Staff from Chandler, PARS, and Highmark Capital, the manager of the City's PARS Trust Fund, will be at the meeting on March 9th to provide an economic update and overview of the performance of the City's assets and the PARS Trust Fund.

CITY COUNCIL ACTION:

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

None

WORK PLAN:

N/A

OPTIONS:

- Receive reports
- Provide direction

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council accepts and files the attached Cash and Investment Report for the quarter ended December 31, 2021.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Cash and Investment Report – December 31, 2021
2. Chandler Asset Quarterly Investment Report- December 31, 2021
3. PARS Trust Monthly Statement – December 31, 2021

**City of Solana Beach
Cash and Investment Report
December 31, 2021**

Type of Investment	Custodian	Maturity	Current Stated Yield	Percent of Portfolio	Cost Value (Rounded)	Market Value (Rounded)	Current Quarter Yield	Quarter Interest Earned (Rounded)	Fiscal Year to Date Interest Earned (Rounded)
General Checking Account	Union Bank of California	On Demand	⁽¹⁾ N/A	17.90%	\$ 8,201,527	\$ 8,201,527	N/A	N/A	N/A
Payroll Account	Union Bank of California	On Demand	⁽¹⁾ N/A	0.85%	389,125	389,125	N/A	N/A	N/A
Worker's Comp - Checking	Union Bank of California	On Demand	⁽¹⁾ N/A	0.05%	23,740	23,740	N/A	N/A	N/A
Successor Agency - Checking	Union Bank of California	On Demand	⁽¹⁾ N/A	0.52%	237,746	237,746	N/A	N/A	N/A
SEA Lockbox	River City Bank	On Demand	⁽¹⁾ N/A	0.30%	137,548	137,548	N/A	N/A	N/A
SEA Reserve	River City Bank	On Demand	⁽¹⁾ N/A	0.78%	358,495	358,495	0.15%	31	62
Local Agency Investment Fund	State of CA	On Demand	⁽¹⁾ N/A	8.93%	4,093,301	4,093,301 ⁽²⁾	0.23%	2,356	12,329
Chandler Asset Management (CMA) Investment Portfolio	US Bank	1 to 3 years	N/A	60.37%	27,665,797	27,689,508 ⁽⁵⁾	0.70%	89,300	⁽⁶⁾⁽⁷⁾ 238,358
Public Agency Retirement Services (PARS)	US Bank	Varied	N/A	10.30%	4,722,771	5,213,814 ⁽³⁾	3.04%	191,565	⁽⁷⁾ 232,003
Wells Fargo Advantage Money Market RDA Refunding Bond Series 2017	Wells Fargo Bank (Cash with Fiscal Agent)	Varied	N/A	0.00%	13	13 ⁽⁴⁾	N/A	-	-
Total Cash and Investments					<u>100.00%</u>	<u>\$ 45,830,063</u>	<u>\$ 46,344,817</u>	<u>\$ 283,252</u>	<u>\$ 482,751</u>

⁽¹⁾ Funds may be withdrawn with 24 hours notice

⁽²⁾ Source: Monthly Pooled Money Investment Account Market Valuation as reported by LAIF (if available)

⁽³⁾ Source: US Bank Asset Summary

⁽⁴⁾ Source: fiscal agent month-end statements.

⁽⁵⁾ Source: CMA US Bank statements

⁽⁶⁾ Includes accrued interest

⁽⁷⁾ Includes realized investment gains/losses of current quarter

I certify that this report accurately reflects all pooled investments and is in compliance with Government Code Section 53640-53646 as amended January 1, 1996, as well as the investment policy of the City of Solana Beach as approved annually by the City Council.

Furthermore, I certify that sufficient investment liquidity and anticipated revenues are available to meet the City's budgeted expenditure requirements for the next six months.

Date: 1/31/2022


Approved by:
Ryan Smith
Finance Director/Treasurer


Prepared by:
Catherine Wong
Senior Accountant

City of Solana Beach

Period Ending December 31, 2021

CHANDLER ASSET MANAGEMENT, INC. | 800.317.4747 | www.chandlerasset.com

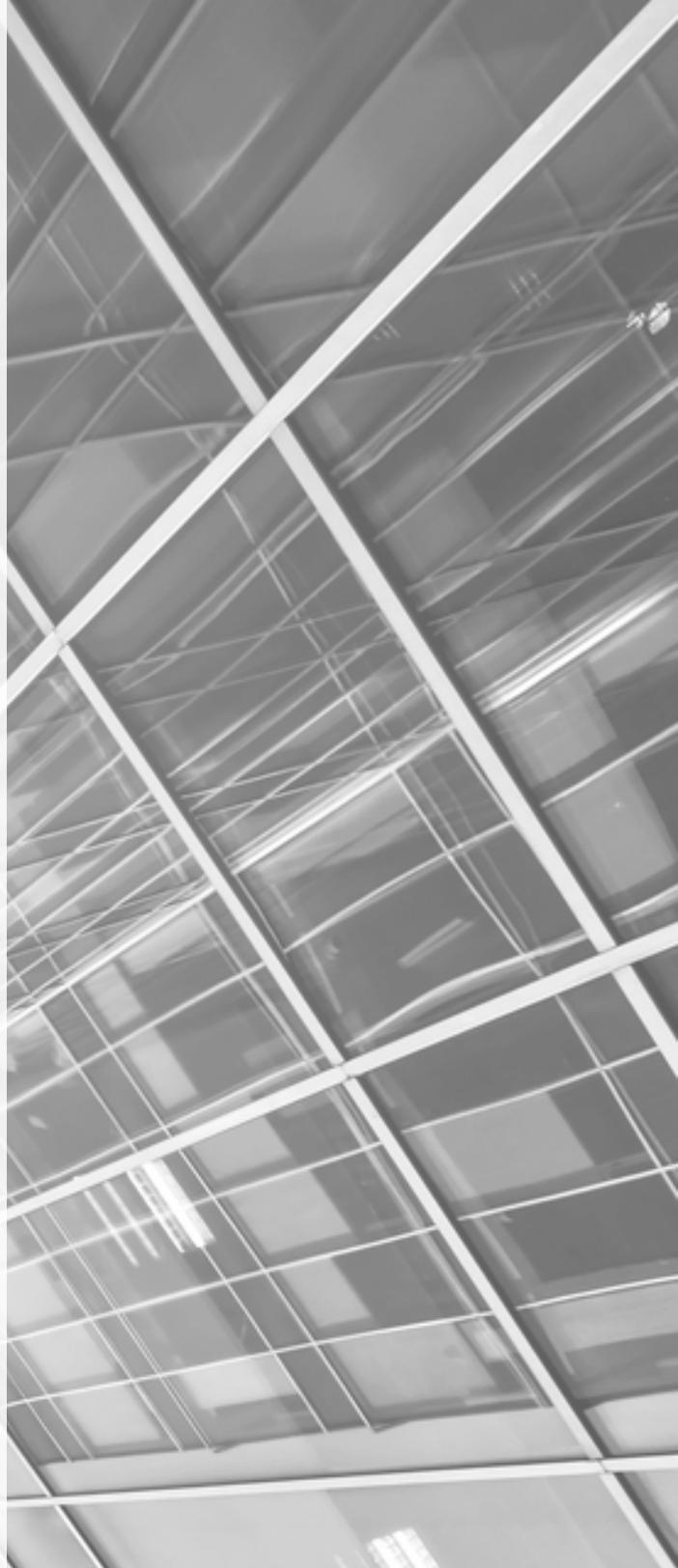
SECTION 1

Economic Update

SECTION 2

Account Profile

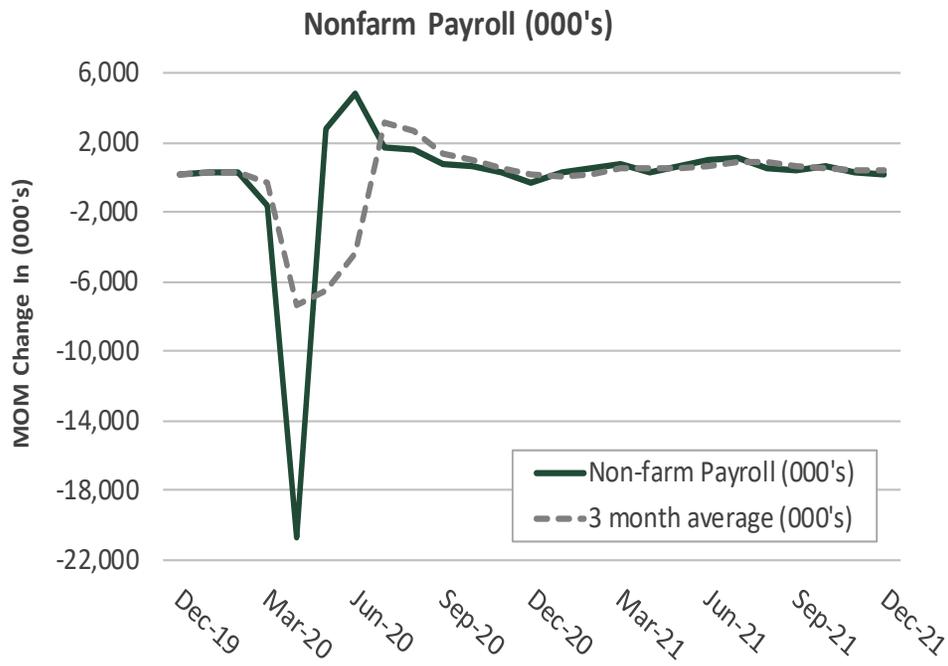
Section 1 | Economic Update



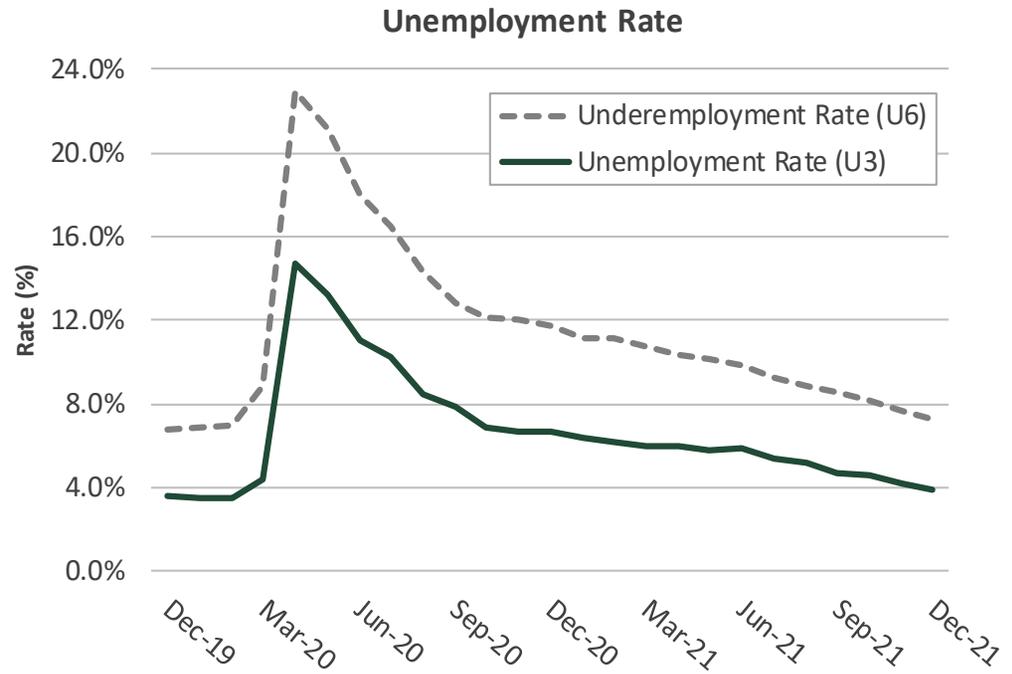
Economic Update

- We believe economic growth is likely to moderate but remain above-trend in 2022, as US fiscal support begins to wane, and the Federal Reserve becomes less accommodative. We expect continued improvement in the labor market, particularly an increase in the participation rate, will help drive economic growth this year as the health situation improves. Consumer spending, the largest component of US GDP, should also remain solid, supported by healthy consumer balance sheets and an improving labor market, in our view. We anticipate inventory rebuilding will likely be a significant driver of US GDP growth in the second half of the year as well. Our outlook is predicated on an improving global health backdrop, though risks to the downside remain. Over the near-term, we believe the omicron variant will hinder economic growth and we expect financial market volatility will be elevated. Inflation readings continue to run hot, but we believe inflation may be at or near a peak and pricing pressures are likely to abate as we move through the year.
- The Federal Open Market Committee (FOMC) kept the fed funds target rate unchanged in December, in a range of 0.0%-0.25%, but announced plans to accelerate the pace of their tapering process. The Fed will reduce the magnitude of their monthly asset purchases by \$30 billion in January, doubling the pace of the monthly reduction in asset purchases that began in November. Should the Fed continue to reduce their monthly asset purchases at the new pace, their bond-buying program would end this spring (late-March or mid-April). The FOMC's updated Summary of Economic Projections indicates that policymakers may be prepared to hike the fed funds rate three times in 2022 (based on the median estimate), up from the previous projection of just one 25 basis point hike. The Fed's updated projections suggest that these hikes would be amid a backdrop of strong economic growth. With inflation now more elevated and prolonged than originally anticipated, we believe the Fed's decision to accelerate the tapering process is prudent. However, we do not believe that monetary policy is on a pre-set course and expect the Fed will adjust policy if necessary, depending on developments in the economy.
- In December, the 2-year Treasury yield increased nearly 17 basis points to 0.73%, the 5-year Treasury yield increased ten basis points to 1.26%, and the 10-year Treasury yield increased about seven basis points to 1.51% in the month. So far in January, we have seen a relatively swift move upward in Treasury yields across the curve.

Employment



Source: US Department of Labor

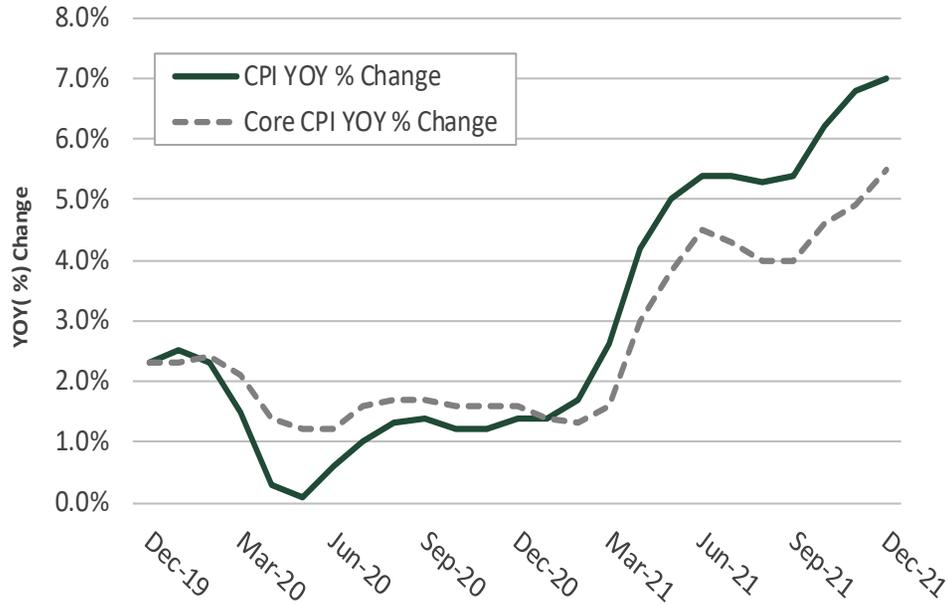


Source: US Department of Labor

Job growth slowed in December, with US nonfarm payroll growth of just 199,000 in the month versus the consensus forecast of 450,000, but the unemployment rate still declined to 3.9%, the lowest level since February 2020. On a trailing 3-month and 6-month basis, payrolls increased an average of 365,000 and 508,000 per month, respectively, which still compares favorably to the average job gains in the five years leading up to the pandemic of about 196,000 per month. We believe a variety of factors are keeping some workers out of the labor force for now, which continues to hold back job growth despite strong demand from employers. The labor participation rate was unchanged in December at 61.9% and remains lower than the pre-pandemic level of 63.4%. The employment-population ratio increased to 59.5% in December from 59.3% in November, but also remains below the pre-pandemic level of 61.2%. The U-6 underemployment rate, which includes those who are marginally attached to the labor force and employed part time for economic reasons, declined to 7.3% in December from 7.7% in November (versus 7.0% in February 2020). Annualized average hourly earnings rose 0.6% month-over-month and were up 4.7% year-over-year in December versus 5.1% in November.

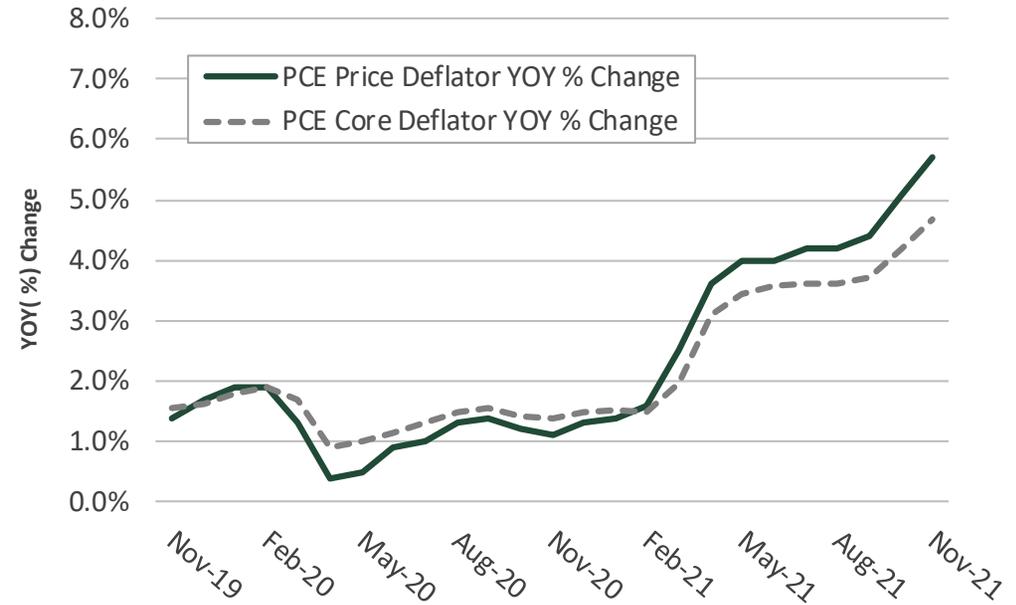
Inflation

Consumer Price Index (CPI)



Source: US Department of Labor

Personal Consumption Expenditures (PCE)

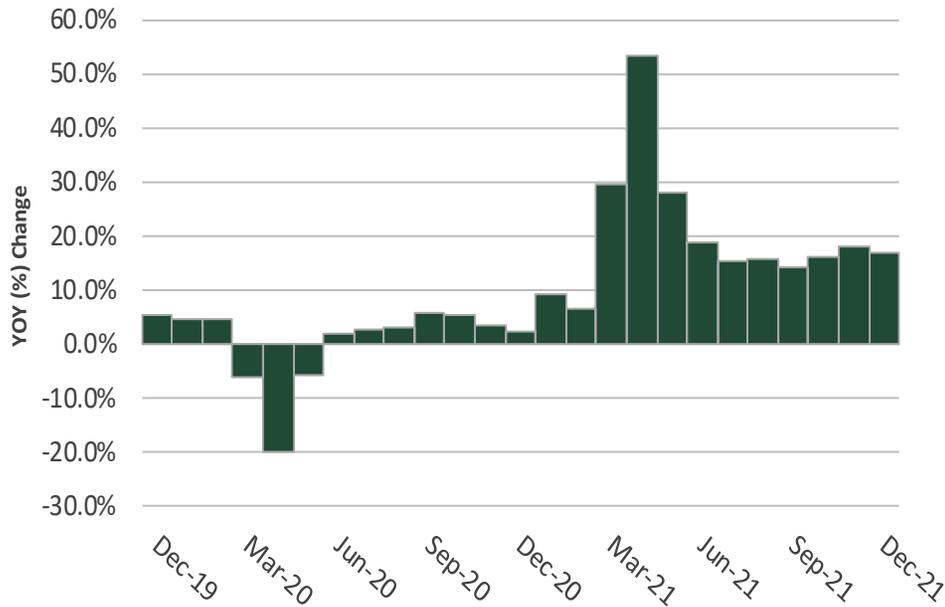


Source: US Department of Commerce

The Consumer Price Index (CPI) was up 7.0% year-over-year in December, versus up 6.8% year-over-year in November. Core CPI (CPI less food and energy) was up 5.5% year-over-year in December, versus up 4.9% in November. Pricing pressures were widespread in December, with notable gains for used cars and trucks, new vehicles, food, and rent. The Personal Consumption Expenditures (PCE) index was up 5.7% year-over-year in November, up from 5.1% in October. Core PCE was up 4.7% year-over-year in November, versus up 4.2% in October. Current inflation readings continue to run well above the Fed’s longer-run target of around 2.0%. While we believe year-over-year inflation may be at or near a peak, and pricing pressures are likely to abate as we move through the year, we expect inflationary pressures will remain elevated over the near-term.

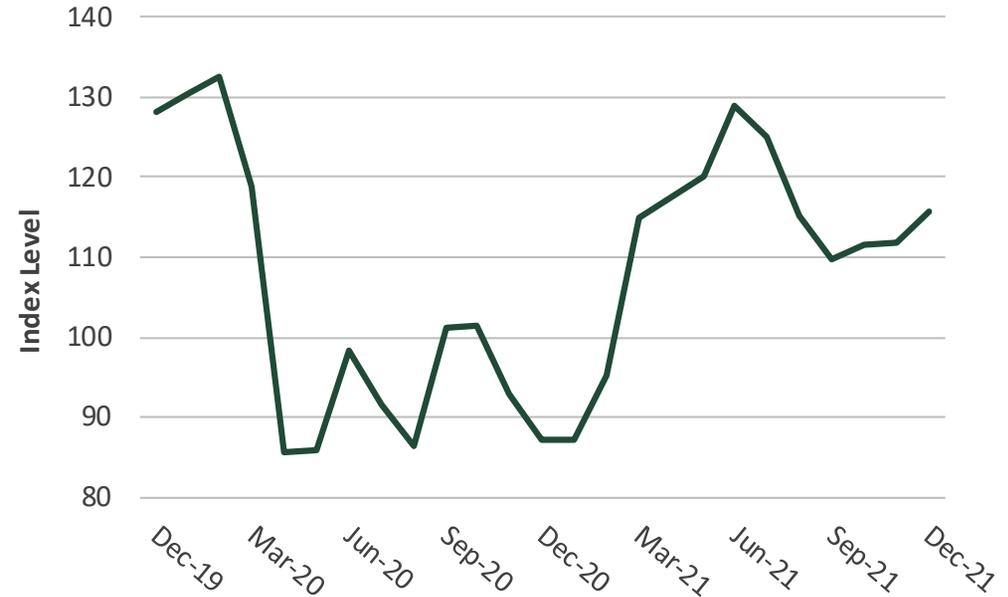
Consumer

Retail Sales YOY % Change



Source: US Department of Commerce

Consumer Confidence

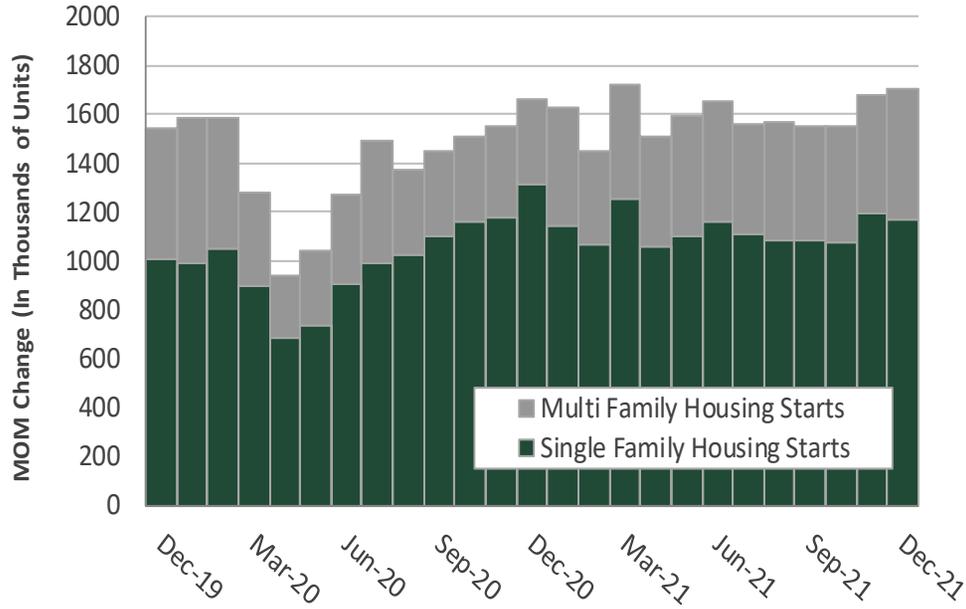


Source: The Conference Board

On a year-over-year basis, retail sales were up 16.9% in December versus up 18.2% in November. On a month-over-month basis, retail sales were softer than expected in December, down 1.9% versus expectations of down 0.1%, following a modest gain of just 0.2% in November. Excluding vehicles and gas, retail sales were down 2.5% month-over-month. In our view, the data suggests that consumers started shopping early in the holiday season and that high gas prices are likely taking some wallet share. We believe the surge in Omicron virus cases likely hindered December sales as well. We remain constructive on the outlook for consumer spending this year, but we believe the current surge in virus cases is likely to take a toll on January retail sales. Looking further ahead, we believe high levels of consumer savings along with improvement in the health situation and continued improvement in the labor market, should provide a healthy tailwind for consumer spending. The Consumer Confidence index increased to 115.8 in December from 111.9 in November. The improvement came despite the arrival of the omicron variant and still elevated inflation.

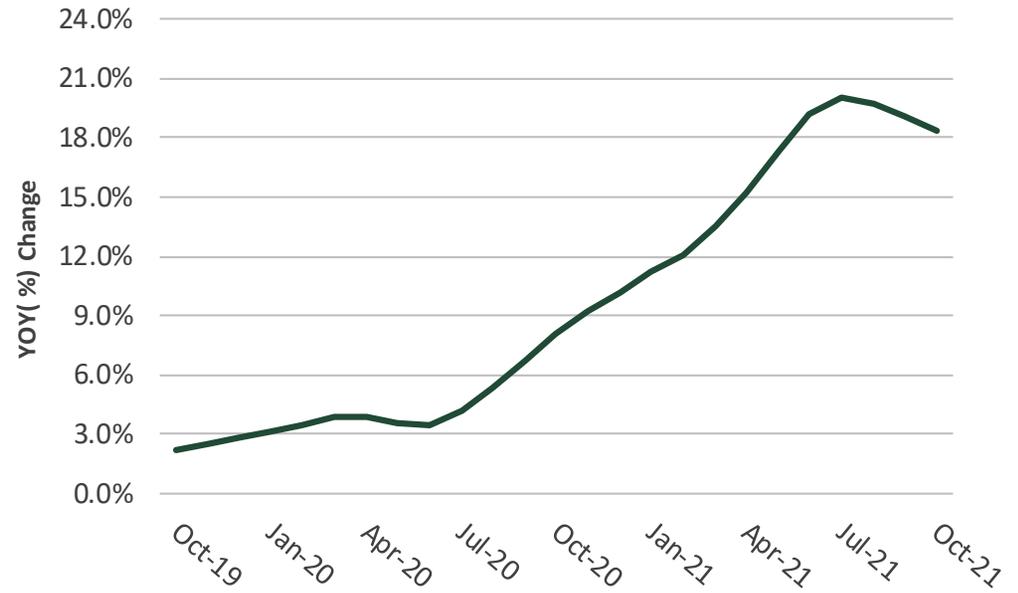
Housing

Housing Starts



Source: US Department of Commerce

S&P/Case-Shiller 20 City Composite Home Price Index



Source: S&P

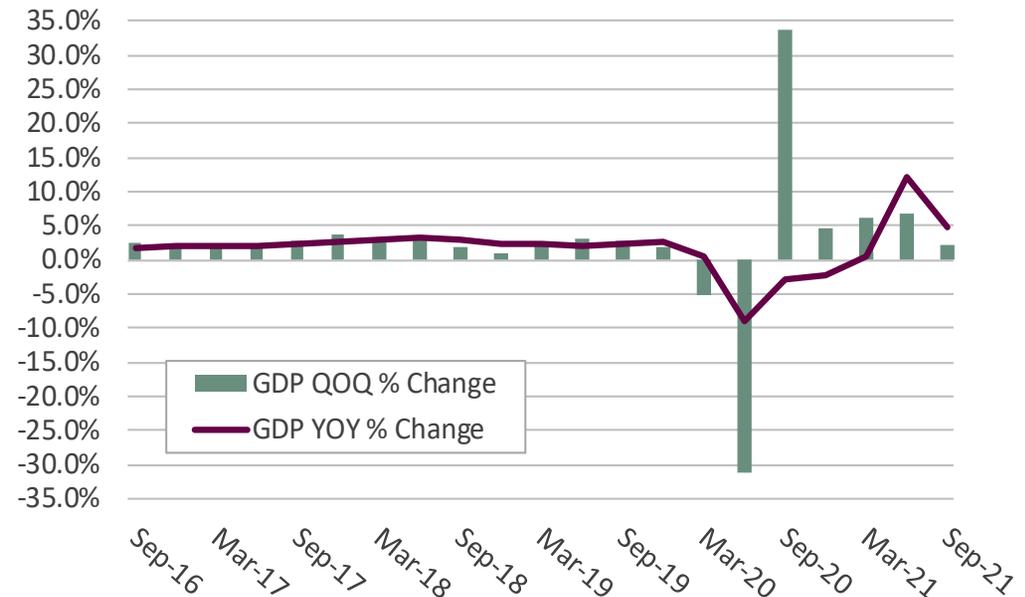
Total housing starts increased 1.4% in December to an annual pace of 1,702,000. Single-family starts declined 2.3% while multi-family starts increased 10.6%, month-over-month. On a year-over-year basis total housing starts were up 2.5% in December. According to the Case-Shiller 20-City home price index, home prices were up 18.4% year-over-year in October versus up 19.1% year-over-year in September, suggesting the acceleration in home prices is easing. However, tight supply will likely continue to support prices.

Gross Domestic Product (GDP)

Components of GDP	12/20	3/21	6/21	9/21
Personal Consumption Expenditures	2.3%	7.4%	7.9%	1.4%
Gross Private Domestic Investment	4.0%	-0.4%	-0.7%	2.1%
Net Exports and Imports	-1.7%	-1.6%	-0.2%	-1.3%
Federal Government Expenditures	-0.2%	0.8%	-0.4%	-0.4%
State and Local (Consumption and Gross Investment)	0.1%	0.0%	0.0%	0.5%
Total	4.5%	6.3%	6.7%	2.3%

Source: US Department of Commerce

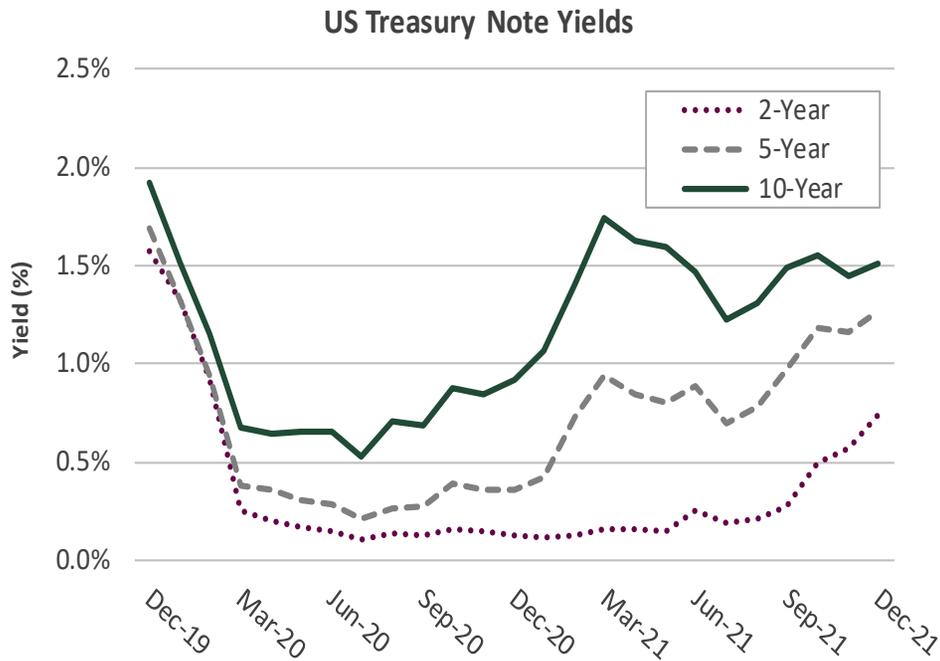
Gross Domestic Product (GDP)



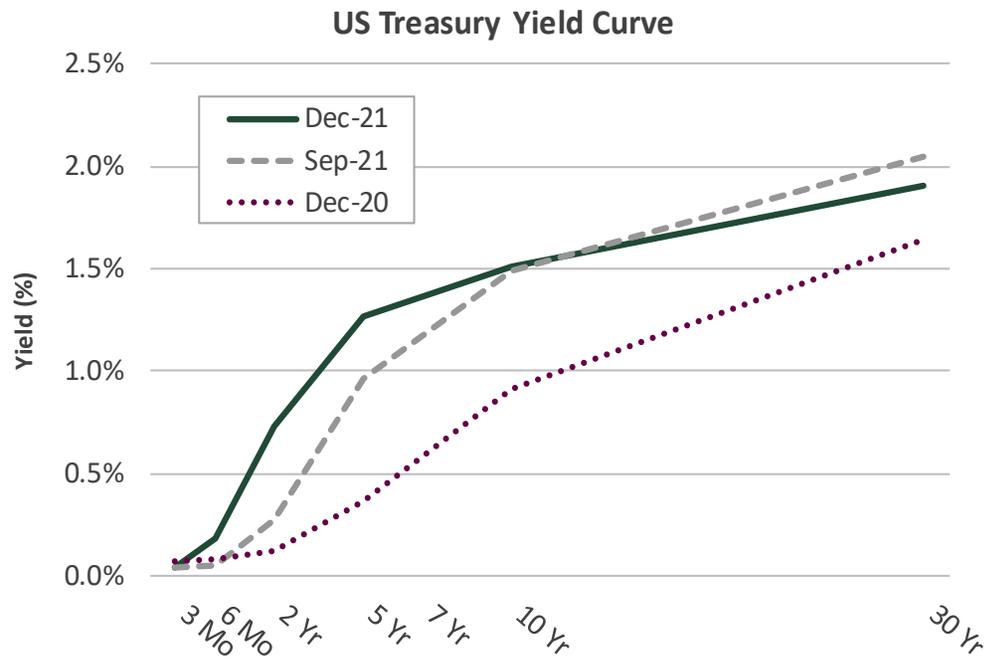
Source: US Department of Commerce

Real US gross domestic product (GDP) growth decelerated in the third quarter of 2021 amid widespread supply chain disruptions and a surge in the Covid Delta variant. However, third quarter growth was slightly better than previously estimated. According to the final estimate, third quarter GDP grew at an annualized rate of 2.3% in the third quarter, revised up from the second estimate of 2.1% and the advance estimate of 2.0%. This follows a much stronger pace of growth in the first half of 2021, with first and second quarter annualized GDP growth up 6.3% and 6.7%, respectively. The consensus estimate is 5.9% GDP growth in the fourth quarter, and 2.9% GDP growth in the current quarter. We anticipate the recent surge of omicron cases in the US will hamper current quarter economic growth.

Bond Yields



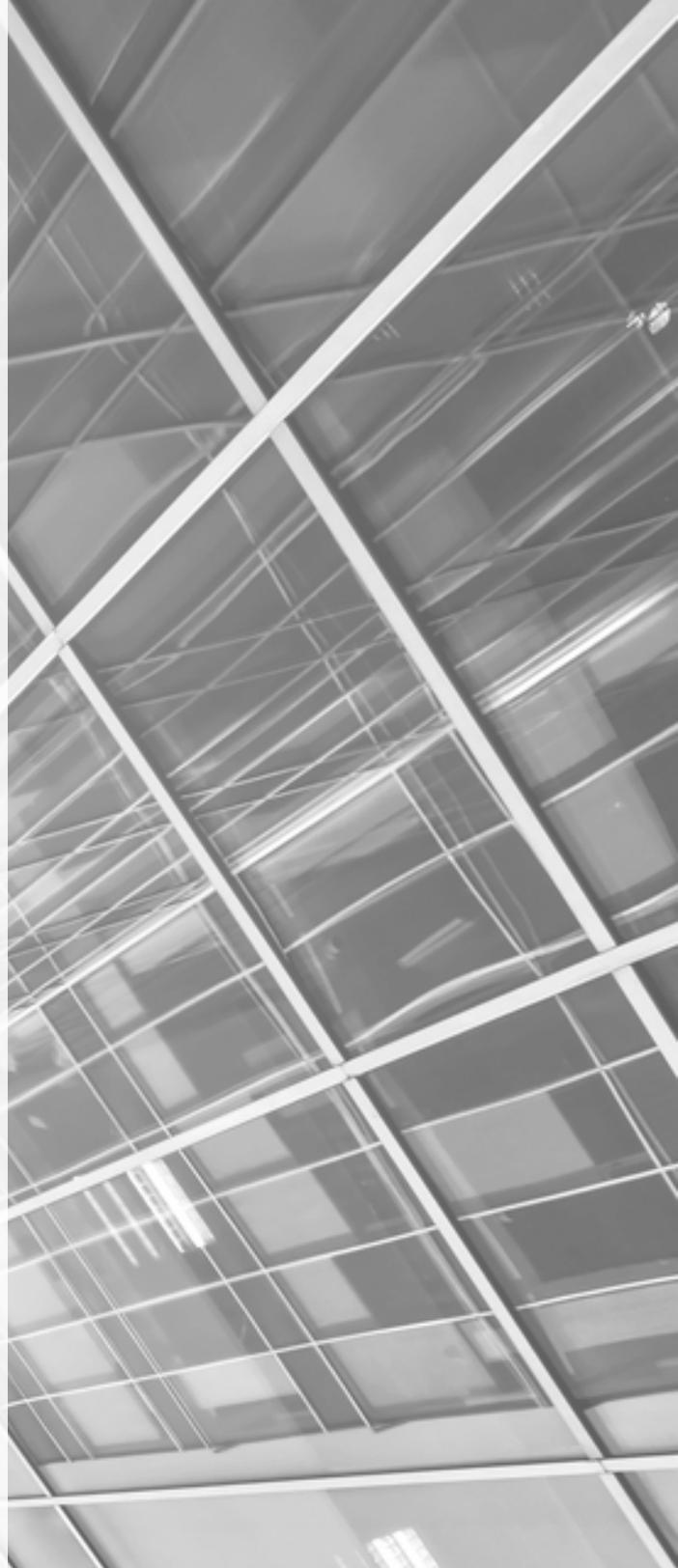
Source: Bloomberg



Source: Bloomberg

At the end of December, the 2-year Treasury yield was about 61 basis points higher and the 10-Year Treasury yield was about 60 basis points higher, year-over-year. The spread between the 2-year Treasury yield and 10-year Treasury yield was 78 basis points at year-end compared to the average historical spread (since 2002) of about 135 basis points.

Section 2 | Account Profile



Investment Objectives

The investment objectives for the City of Solana Beach, in order of priority, are to provide safety to ensure the preservation of capital in the overall portfolio, provide sufficient liquidity for cash needs, and a market rate of return consistent with the investment program.

Chandler Asset Management Performance Objective

The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to or above the return on the benchmark index.

Strategy

In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the investment policy and all regulations governing the funds.

City of Solana Beach

Assets managed by Chandler Asset Management are in full compliance with state law and the City's investment policy.

Category	Standard	Comment
U.S. Treasuries	No limitations; Full faith and credit of the U.S. are pledged for the payment of principal and interest	Complies
Federal Agencies	30% max per Agency/GSE issuer; 20% max callable agency securities; Federal agencies or U.S. government-sponsored enterprise obligations, participations, or other instruments, including those issued or fully guaranteed as to principal and interest by federal agencies or U.S. government sponsored enterprises.	Complies
Supranational Obligations	"AA" rating category or higher by a Nationally Recognized Statistical Rating Organization ("NRSRO"); 30% max; 10% max per issuer; USD denominated senior unsecured unsubordinated obligations; Issued or unconditionally guaranteed by International Bank for Reconstruction & Development (IBRD), International Finance Corporation (IFC), or Inter-American Development Bank (IADB)	Complies
Municipal Securities (CA, Local Agency)	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Include obligations of the City, State of California, and any local agency within the State of California	Complies
Municipal Securities (CA, Other States)	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Bonds of any of the other 49 states in addition to California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled, or operated by a state, or by a department, board, agency, or authority of any of the other 49 states, in addition to California.	Complies
Corporate Medium Term Notes	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Issuer is a corporation organized and operating within the U.S. or by depository institutions licensed by the U.S. or any state and operating within the U.S.	Complies
Asset-Backed, Mortgage-Backed, Mortgage Pass-Through Securities, and Collateralized Mortgage Obligations	"AA" rating category or higher by a NRSRO; 20% max (combined ABS/MBS/CMO); 5% max per Asset-Backed or Commercial Mortgage security issuer; There is no issuer limitation on any Mortgage security where the issuer is the U.S. Treasury or a Federal City/GSE; Asset-Backed, Mortgage-Backed, Mortgage Pass-Through Securities, and Collateralized Mortgage Obligations from issuers not defined in section 3 (US Treasuries) and 4 (Federal Agencies) of the Authorized Investments section of the policy	Complies
Negotiable Certificates of Deposit (NCD)	The amount of NCD insured up to the FDIC limit does not require any credit ratings; Any amount above FDIC insured limit must be issued by institutions with "A-1" short-term debt rating or higher by a NRSRO; or "A" long-term rating category or higher by a NRSRO; 30% max (combined with CDARS); 5% max per issuer; Issued by a nationally or state-chartered bank, or a federal or state association, a state or federal credit union, or by a federally-licensed or state-licensed branch of a foreign bank.	Complies
Certificate of Deposit Placement Service (CDARS)	30% max (combination of Certificates of Deposit, including CDARS)	Complies
FDIC Insured Time Deposits (Non-negotiable CD/TD)	Non-Negotiable Certificates of Deposit in state or federally chartered banks, savings and loans, or credit unions; The amount per institution is limited to maximum covered under FDIC; 20% max combined FDIC & Collateralized CD/TD	Complies
Collateralized Time Deposits (Non-negotiable CD/TD)	Non-Negotiable Certificates of Deposit in state or federally chartered banks, savings and loans, or credit unions in excess of insured amounts which are fully collateralized with securities in accordance with California law; 20% max combined FDIC & Collateralized CD/TD	Complies
Collateralized Bank Deposits	City's deposits with financial institutions will be collateralized with pledged securities per California Government Code	Complies
Banker's Acceptances	"A-1" short-term debt rated or higher by a NRSRO; or "A" long-term debt rating category or higher by a NRSRO; 40% max; 5% max per issuer; 180 days max maturity	Complies
Commercial Paper	25% max; 5% max per issuer; 270 days maturity; 10% max of the outstanding paper of any single issuer; Issued by an entity that meets all of the following conditions in either (a) or (b): a. Securities issued by corporations: (i) organized and operating within the U.S. with assets > \$500 million; (ii) "A-1" rated or better by a NRSRO; (iii) "A" rating or better by a NRSRO, if issuer has other debt obligations. b. Securities issued by other entities: (i) organized within the U.S. as a special purpose corporation, trust, or limited liability company; (ii) must have program-wide credit enhancements including, but not limited to, overcollateralization, letters of credit, or a surety bond; (iii) rated "A-1" or better by a NRSRO	Complies

City of Solana Beach

Assets managed by Chandler Asset Management are in full compliance with state law and the City's investment policy.

Category	Standard	Comment
Money Market Mutual Funds	Registered with SEC under Investment Company Act of 1940 and issued by diversified management companies and meet either of the following criteria: (i) Highest rating by two NRSROs; or (ii) Retained an investment adviser registered or exempt from SEC registration with > 5 years experience managing money market mutual funds with AUM >\$500 million; (iii) 20% max per Money Market Mutual Fund; 20% max combined Money Market Mutual Funds and Mutual Funds	Complies
Mutual Funds	Invest in securities as authorized under CGC, Section 53601 (a) to (k) and (m) to (q) inclusive and meet either of the following criteria: (i) Highest rating by two NRSROs; or (ii) Retained an investment adviser registered or exempt from SEC registration with > 5 years experience investing in securities authorized by CGC, Section 53601 and with AUM >\$500 million; (iii) 10% max per Mutual Fund; 20% max combined Money Market Mutual Funds and Mutual Funds	Complies
Local Agency Investment Fund (LAIF)	Maximum amount permitted by LAIF; Not used by investment adviser	Complies
Investment Trust of California (CaITRUST)	Joint powers authority (JPA) organized and managed by the Investment Trust of California JPA for the benefit of local agencies, pursuant to CGC; Not used by investment adviser	Complies
Repurchase Agreements	102% Collateralized; 1 year max maturity; Not used by investment adviser	Complies
Prohibited	Investments not specifically described in the policy; Futures and Options; Inverse floaters; Ranges notes, Mortgage-derived or Interest-only strips; Zero interest accrual securities, if held to maturity; Under a provision sunseting January 1, 2026, securities backed by U.S. Government that could result in a zero- or negative-interest accrual if held to maturity are permitted; Trading securities for the sole purpose of speculating on the future direction of interest rates; Purchasing or selling securities on margin; Reverse repurchase agreements; Securities lending or any other form of borrowing or leverage; Foreign currency denominated securities; Purchases of securities issued by fossil fuel companies that directly source the majority (more than 50%) of their revenue from oil, gas, and or coal production.	Complies
Credit Risk/ Downgrade	If securities owned by the City are downgraded to a level below the requirements of the policy, making the security ineligible for additional purchases, the following steps will be taken: -Any actions taken related to the downgrade by the investment manager will be promptly communicated to the Treasurer; -If a decision is made to retain the security, the credit situation will be monitored and reported to the City Council.	Complies
Duration	typically plus or minus 20% of Benchmark Index	Complies
Max Per Issuer	5% max per issuer, except U.S. Government, its Agencies and GSEs, Supranationals, Money Market Mutual Funds, LAIF, other LGIP, or where otherwise specified in the investment policy	Complies
Maximum Maturity	5 years, except as otherwise stated in the policy	Complies

Portfolio Characteristics

As of December 31, 2021

City of Solana Beach

	12/31/2021		9/30/2021
	Benchmark*	Portfolio	Portfolio
Average Maturity (yrs)	1.85	2.01	1.97
Average Modified Duration	1.82	1.85	1.78
Average Purchase Yield	n/a	1.05%	1.18%
Average Market Yield	0.68%	0.70%	0.33%
Average Quality**	AAA	AA/Aa1	AA+/Aa1
Total Market Value		27,754,043	27,894,029

*ICE BofA 1-3 Yr US Treasury & Agency Index

**Benchmark is a blended rating of S&P, Moody's, and Fitch. Portfolio is S&P and Moody's respectively.

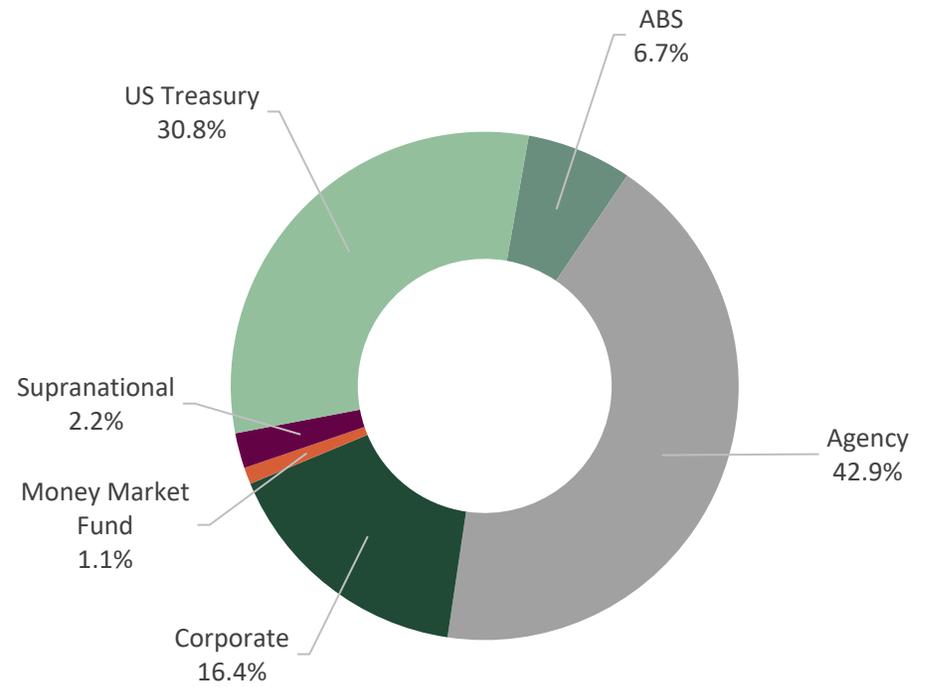
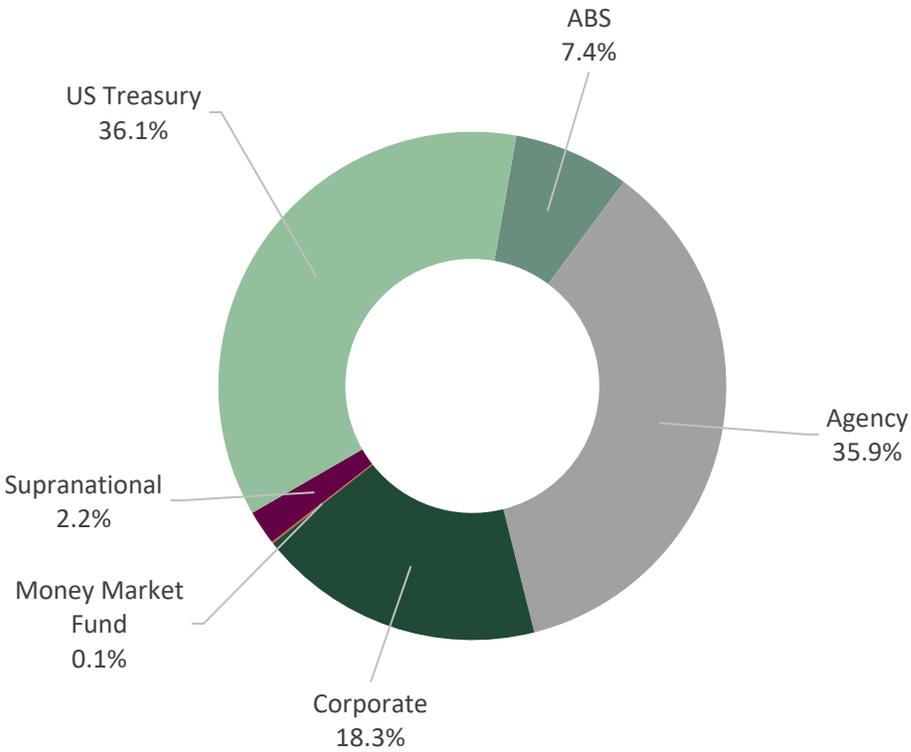
Sector Distribution

As of December 31, 2021

City of Solana Beach

December 31, 2021

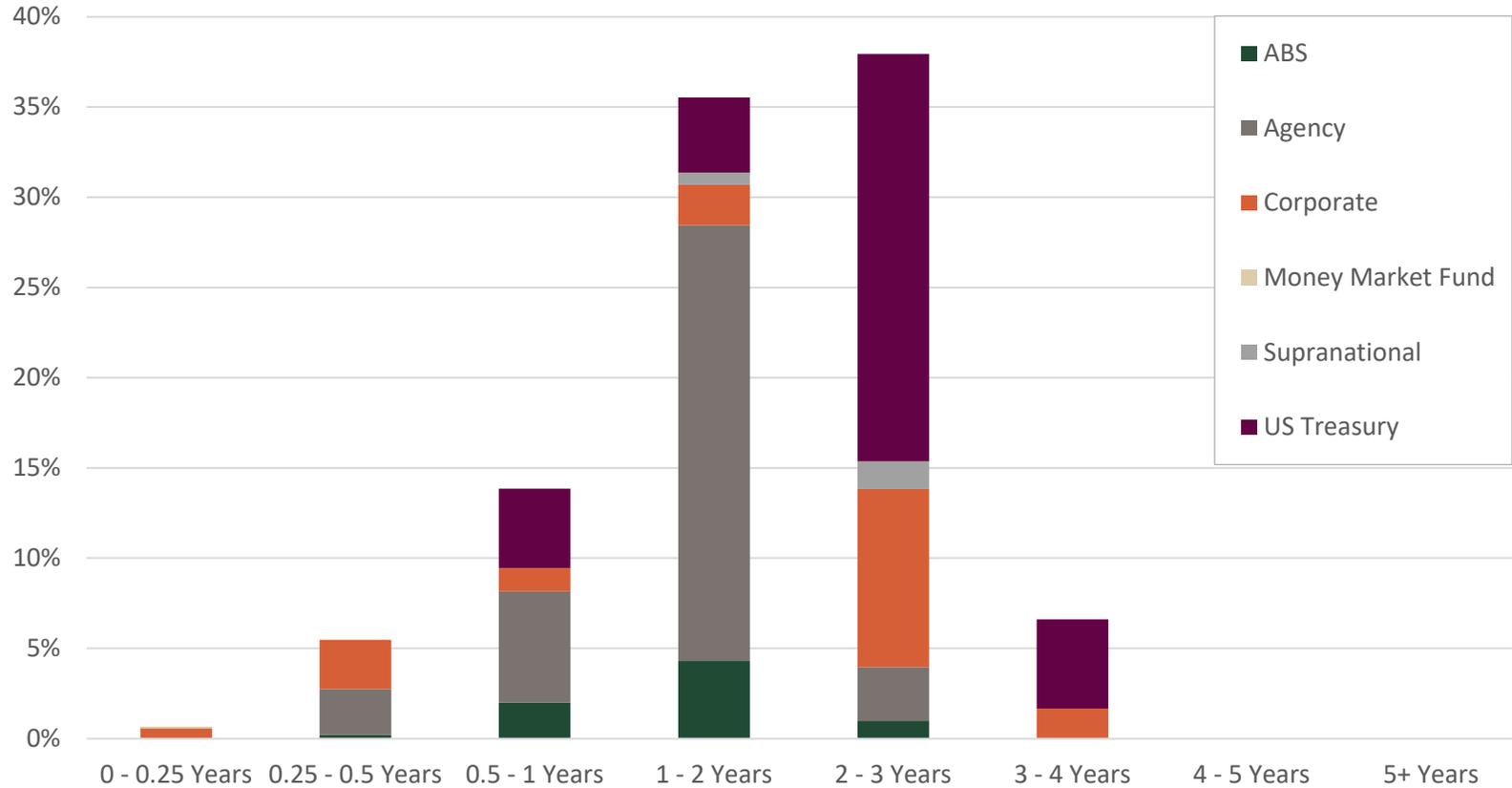
September 30, 2021



Duration Allocation

As of December 31, 2021

City of Solana Beach



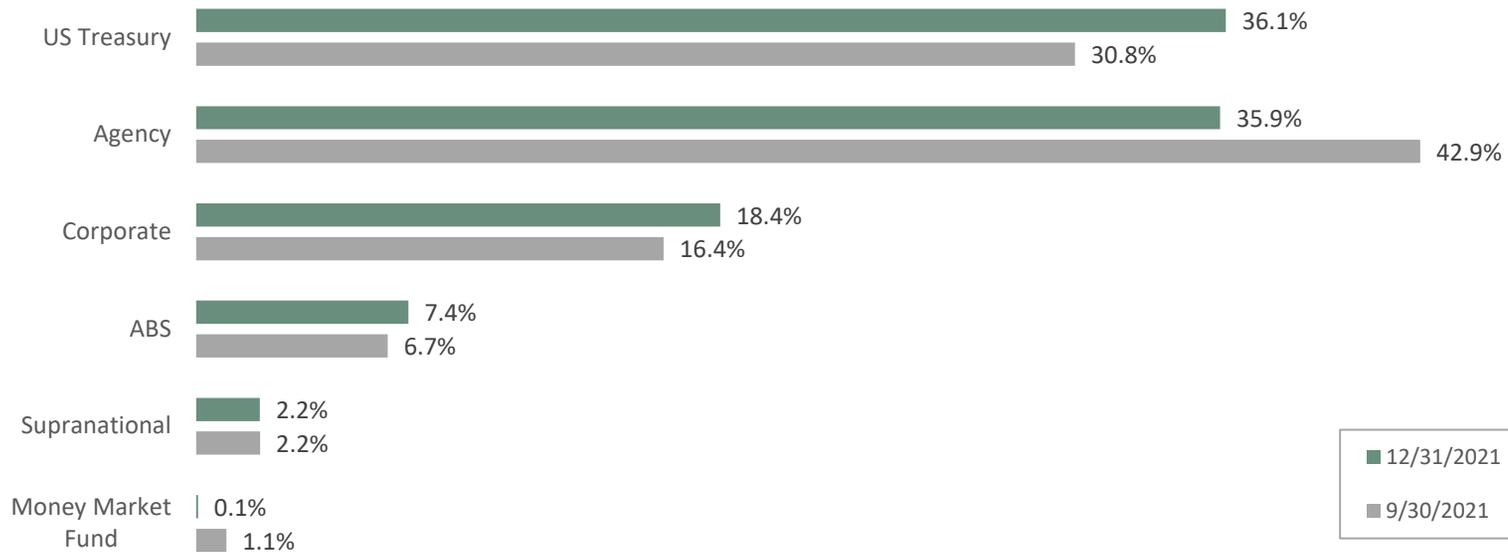
	0 - 0.25	0.25 - 0.50	0.50 - 1	1 - 2	2 - 3	3 - 4	4 - 5	5+
12/31/21	0.6%	5.5%	13.8%	35.5%	37.9%	6.6%	0.0%	0.0%

Portfolio Allocation & Duration Changes

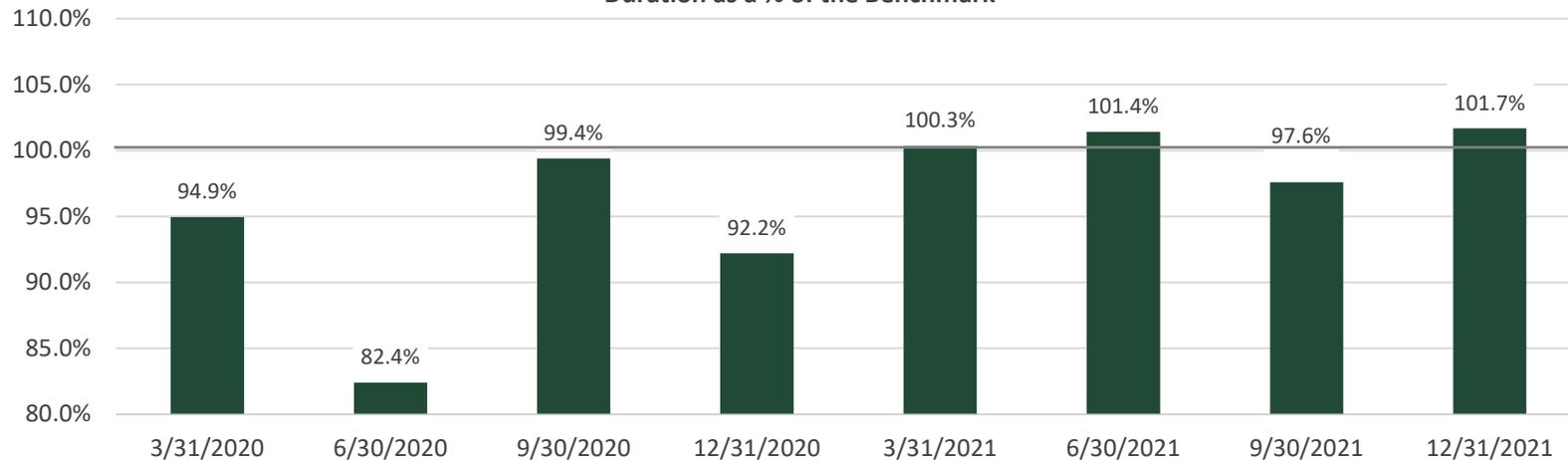
As of December 31, 2021

City of Solana Beach

Portfolio Allocation



Duration as a % of the Benchmark

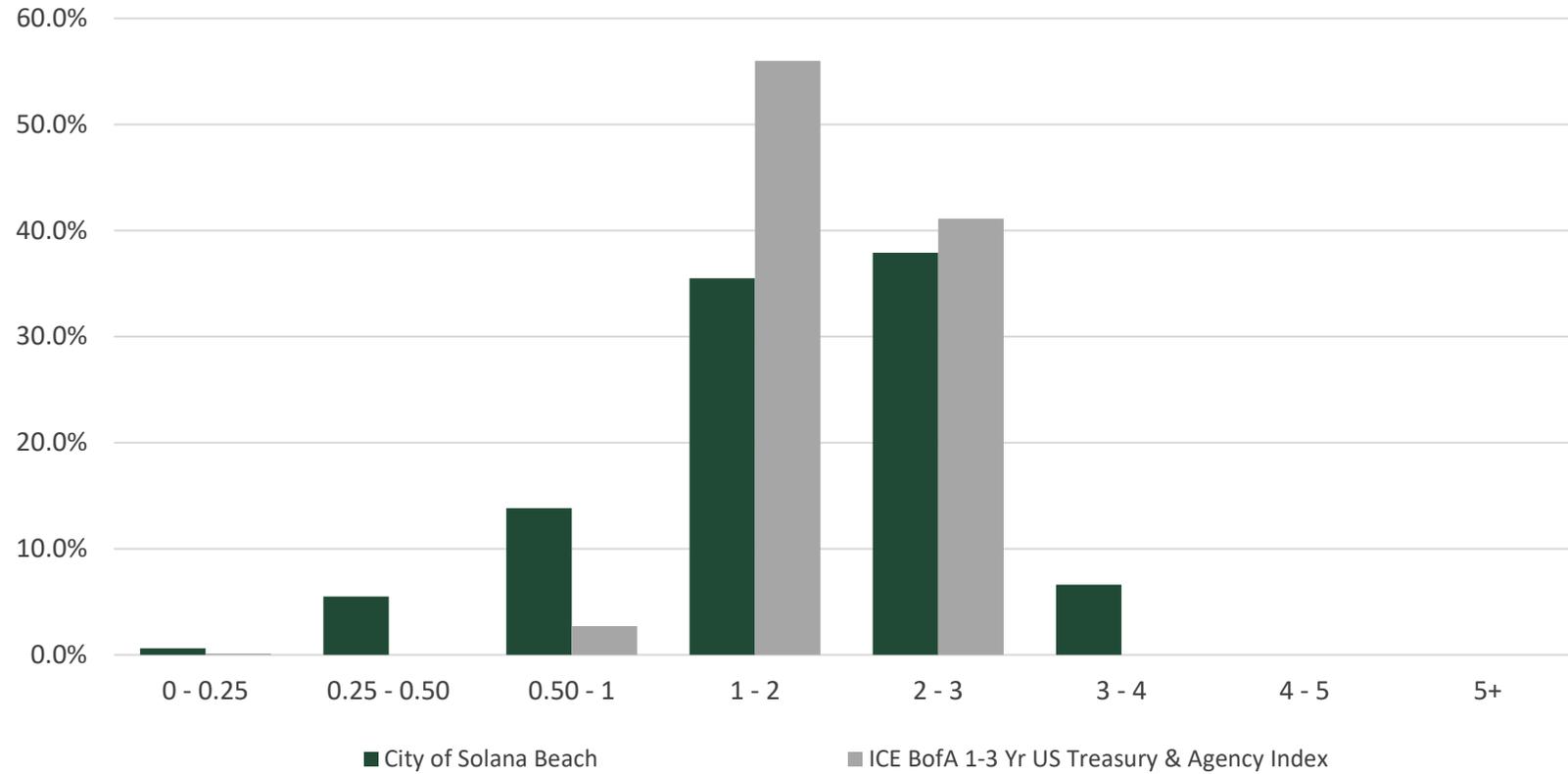


Benchmark: ICE BofA 1-3 Yr US Treasury & Agency Index

Duration Distribution

As of December 31, 2021

City of Solana Beach
Portfolio Compared to the Benchmark as of December 31, 2021



	0 - 0.25	0.25 - 0.50	0.50 - 1	1 - 2	2 - 3	3 - 4	4 - 5	5+
Portfolio	0.6%	5.5%	13.8%	35.5%	37.9%	6.6%	0.0%	0.0%
Benchmark*	0.1%	0.0%	2.7%	56.0%	41.1%	0.0%	0.0%	0.0%

*ICE BofA 1-3 Yr US Treasury & Agency Index

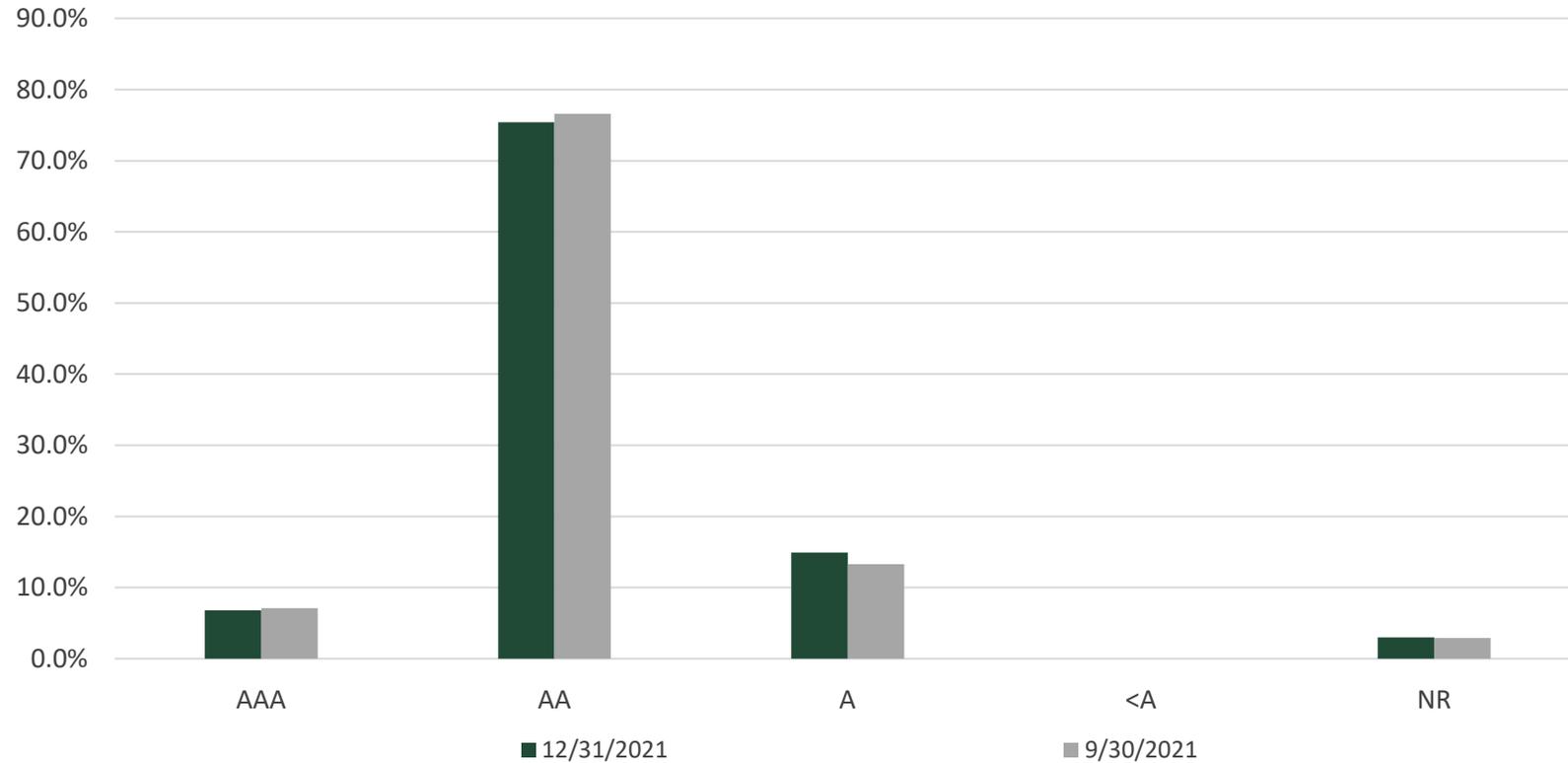
City of Solana Beach – Account #10471

Issue Name	Investment Type	% Portfolio
Government of United States	US Treasury	36.06%
Federal Farm Credit Bank	Agency	11.43%
Federal Home Loan Bank	Agency	8.79%
Federal Home Loan Mortgage Corp	Agency	8.14%
Federal National Mortgage Association	Agency	7.50%
Honda ABS	ABS	1.88%
Toyota ABS	ABS	1.68%
JP Morgan Chase & Co	Corporate	1.66%
Inter-American Dev Bank	Supranational	1.55%
United Parcel Service	Corporate	1.45%
John Deere ABS	ABS	1.43%
Deere & Company	Corporate	1.30%
Bank of New York	Corporate	1.30%
Berkshire Hathaway	Corporate	1.28%
Amazon.com Inc	Corporate	1.25%
Caterpillar Inc	Corporate	1.21%
US Bancorp	Corporate	1.13%
Charles Schwab Corp/The	Corporate	1.08%
Bank of Montreal Chicago	Corporate	1.07%
Apple Inc	Corporate	0.95%
Royal Bank of Canada	Corporate	0.93%
Bank of America Corp	Corporate	0.91%
Toronto Dominion Holdings	Corporate	0.89%
Paccar Financial	Corporate	0.75%
Intl Bank Recon and Development	Supranational	0.68%
GM Financial Automobile Leasing Trust	ABS	0.68%
Toyota Motor Corp	Corporate	0.55%
Nissan ABS	ABS	0.52%
Mercedes-Benz Auto Lease Trust	ABS	0.46%
United Health Group Inc	Corporate	0.45%
BMW Vehicle Lease Trust	ABS	0.30%
GM Financial Securitized Term Auto Trust	ABS	0.25%
Hyundai Auot Receivables	ABS	0.23%
Salesforce.com Inc	Corporate	0.20%
First American Govt Oblig Fund	Money Market Fund	0.07%
TOTAL		100.00%

Quality Distribution

As of December 31, 2021

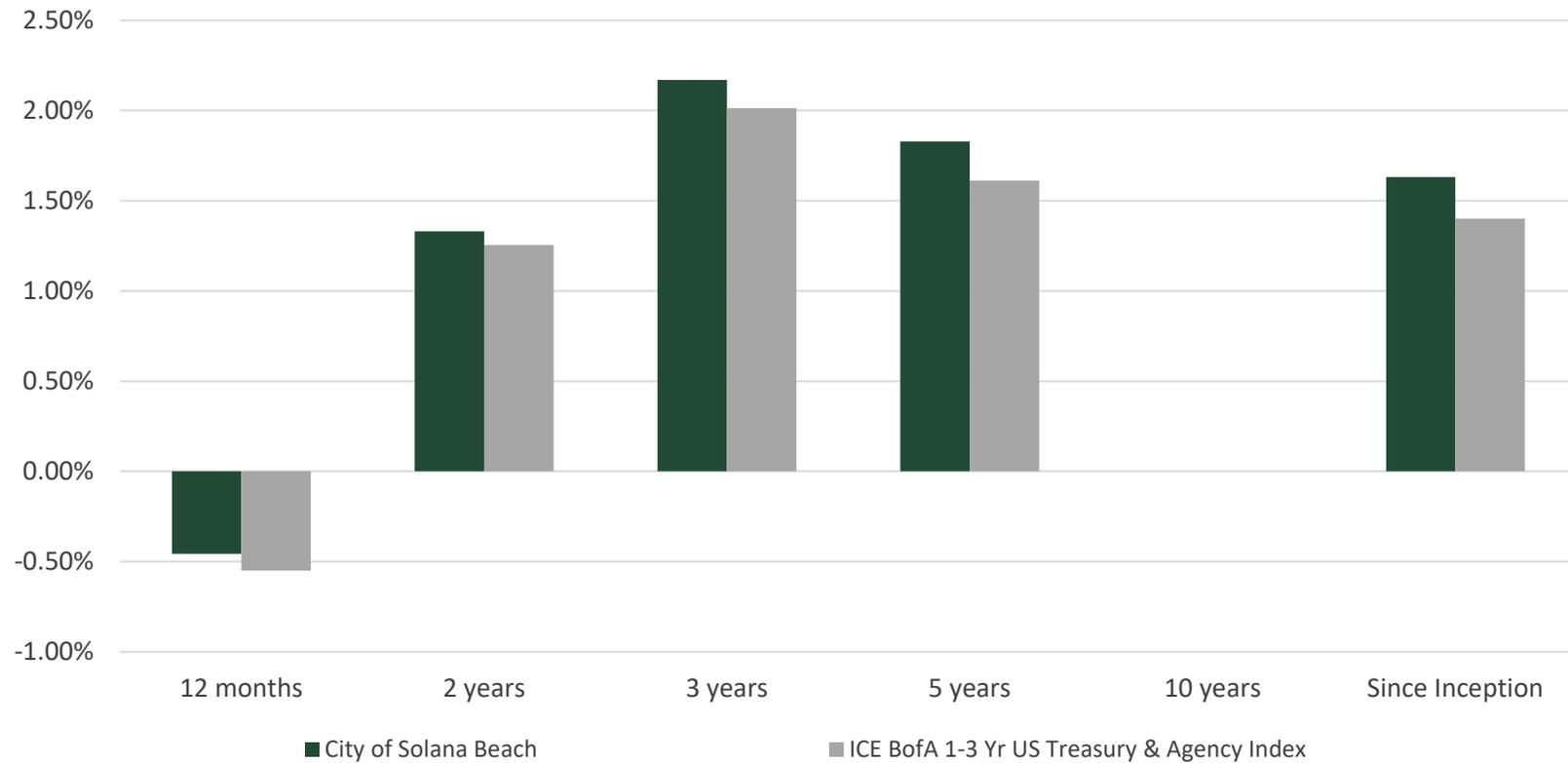
City of Solana Beach
December 31, 2021 vs. September 30, 2021



	AAA	AA	A	<A	NR
12/31/21	6.8%	75.4%	14.9%	0.0%	3.0%
09/30/21	7.1%	76.6%	13.3%	0.0%	2.9%

Source: S&P Ratings

City of Solana Beach Total Rate of Return Annualized Since Inception 03/31/2016



TOTAL RATE OF RETURN	<i>Annualized</i>						
	3 months	12 months	2 years	3 years	5 years	10 years	Since Inception
City of Solana Beach	-0.49%	-0.46%	1.33%	2.17%	1.83%	N/A	1.63%
ICE BofA 1-3 Yr US Treasury & Agency Index	-0.53%	-0.55%	1.25%	2.01%	1.61%	N/A	1.40%

Total rate of return: A measure of a portfolio's performance over time. It is the internal rate of return, which equates the beginning value of the portfolio with the ending value; it includes interest earnings, realized and unrealized gains and losses in the portfolio.

Investment Comparison

As of December 31, 2021

City of Solana Beach

	LAIF EARNINGS ESTIMATE*	GROSS INCOME EARNED CHANDLER-MANAGED PORTFOLIO	INCOME EARNED CHANDLER-MANAGED PORTFOLIO**
Apr 2016 - Dec 2016	\$113,770	\$185,849	\$169,455
2017	\$327,563	\$439,162	\$410,891
2018	\$628,152	\$553,633	\$524,542
2019	\$716,012	\$600,606	\$573,809
2020	\$339,385	\$513,751	\$488,476
Jan 2021	\$10,665	\$36,364	\$34,336
Feb 2021	\$8,559	\$34,489	\$32,461
Mar 2021	\$8,305	\$34,032	\$32,005
Apr 2021	\$7,597	\$32,984	\$30,957
May 2021	\$7,333	\$31,866	\$29,838
Jun 2021	\$5,918	\$30,107	\$28,050
Jul 2021	\$5,286	\$30,637	\$28,551
Aug 2021	\$5,311	\$29,064	\$26,977
Sep 2021	\$4,838	\$27,347	\$25,261
Oct 2021	\$4,872	\$26,333	\$24,250
Nov 2021	\$4,732	\$24,374	\$22,294
Dec 2021	\$5,056	\$23,922	\$21,844
Total:	\$2,203,354	\$2,654,520	\$2,503,997

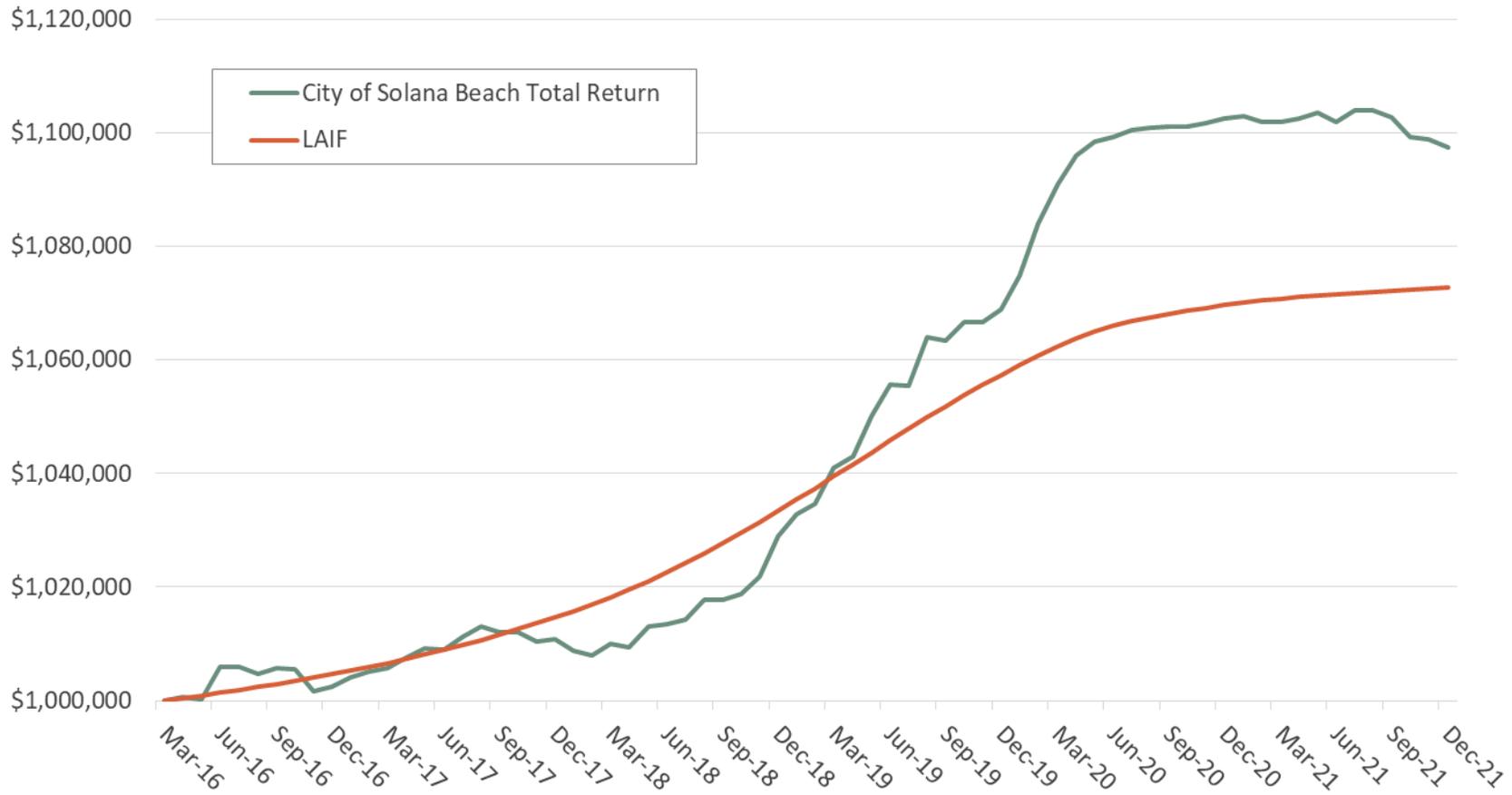
*LAIF earnings estimate calculated using daily yield

**Income earned net of Chandler fees

Growth of a Dollar

As of December 31, 2021

City of Solana Beach



Historical Return of \$1 Million Invested on March 31, 2016

As of 12/31/2021	Dollar Value	Return
City of Solana Beach Total Return	\$1,097,450	1.63%
LAIF	\$1,072,747	1.23%

Important Disclosures

As of December 31, 2021

2022 Chandler Asset Management, Inc, An Independent Registered Investment Adviser.

Information contained herein is confidential. Prices are provided by IDC, an independent pricing source. In the event IDC does not provide a price or if the price provided is not reflective of fair market value, Chandler will obtain pricing from an alternative approved third party pricing source in accordance with our written valuation policy and procedures. Our valuation procedures are also disclosed in Item 5 of our Form ADV Part 2A.

Performance results are presented gross-of-advisory fees and represent the client's Total Return. The deduction of advisory fees lowers performance results. These results include the reinvestment of dividends and other earnings. Past performance may not be indicative of future results. Therefore, clients should not assume that future performance of any specific investment or investment strategy will be profitable or equal to past performance levels. All investment strategies have the potential for profit or loss. Economic factors, market conditions or changes in investment strategies, contributions or withdrawals may materially alter the performance and results of your portfolio.

Index returns assume reinvestment of all distributions. Historical performance results for investment indexes generally do not reflect the deduction of transaction and/or custodial charges or the deduction of an investment management fee, the incurrence of which would have the effect of decreasing historical performance results. It is not possible to invest directly in an index.

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This report is provided for informational purposes only and should not be construed as a specific investment or legal advice. The information contained herein was obtained from sources believed to be reliable as of the date of publication, but may become outdated or superseded at any time without notice. Any opinions or views expressed are based on current market conditions and are subject to change. This report may contain forecasts and forward-looking statements which are inherently limited and should not be relied upon as indicator of future results. Past performance is not indicative of future results. This report is not intended to constitute an offer, solicitation, recommendation or advice regarding any securities or investment strategy and should not be regarded by recipients as a substitute for the exercise of their own judgment.

Fixed income investments are subject to interest, credit and market risk. Interest rate risk: the value of fixed income investments will decline as interest rates rise. Credit risk: the possibility that the borrower may not be able to repay interest and principal. Low rated bonds generally have to pay higher interest rates to attract investors willing to take on greater risk. Market risk: the bond market in general could decline due to economic conditions, especially during periods of rising interest rates.

Ratings information have been provided by Moody's, S&P and Fitch through data feeds we believe to be reliable as of the date of this statement, however we cannot guarantee its accuracy.

Security level ratings for U.S. Agency issued mortgage-backed securities ("MBS") reflect the issuer rating because the securities themselves are not rated. The issuing U.S. Agency guarantees the full and timely payment of both principal and interest and carries a AA+/Aaa/AAA by S&P, Moody's and Fitch respectively.

ICE BofA 1-3 Yr US Treasury & Agency Index

The ICE BofA 1-3 Year US Treasury & Agency Index tracks the performance of US dollar denominated US Treasury and nonsubordinated US agency debt issued in the US domestic market. Qualifying securities must have an investment grade rating (based on an average of Moody's, S&P and Fitch). Qualifying securities must have at least one year remaining term to final maturity and less than three years remaining term to final maturity, at least 18 months to maturity at time of issuance, a fixed coupon schedule, and a minimum amount outstanding of \$1 billion for sovereigns and \$250 million for agencies.

TRUSTED SOLUTIONS. LASTING RESULTS.

Monthly Account Report for the Period
12/01/2021 to 12/31/2021

Ryan Smith

CITY OF SOLANA BEACH
City of Solana Beach PARS PAPEBT

Plan Summary

Beginning Plan Value as of 12/01/2021	\$4,507,622.49
Change in Plan Value	\$706,191.75
Ending Plan Value as of 12/31/2021	\$5,213,814.24

Activity Summary by Source

Source	Balance on 12/01/2021	Contributions	Earnings	Expenses	Distributions	Transfers	Balance on 12/31/2021
OPEB	\$1,257,398.02	\$138,000.00	\$23,641.34	\$(622.36)	\$0.00	\$0.00	\$1,418,417.00
PENSION	\$3,250,224.47	\$485,075.00	\$61,715.71	\$(1,617.94)	\$0.00	\$0.00	\$3,795,397.24
Totals	\$4,507,622.49	\$623,075.00	\$85,357.05	\$(2,240.30)	\$0.00	\$0.00	\$5,213,814.24

Transactions for the Period

Source	Date	Description	Amount
OPEB	12/23/2021	AGENCY CONTRIBUTIONS	\$138,000.00
OPEB	12/31/2021	ACCOUNT GAINS/(LOSSES)	\$23,641.34
OPEB	12/31/2021	ASSET MGMT FEES	\$(360.40)
OPEB	12/31/2021	TRUST ADMINISTRATOR FEES	\$(261.96)
PENSION	12/23/2021	AGENCY CONTRIBUTIONS	\$485,075.00
PENSION	12/31/2021	ACCOUNT GAINS/(LOSSES)	\$61,715.71
PENSION	12/31/2021	ASSET MGMT FEES	\$(940.81)
PENSION	12/31/2021	TRUST ADMINISTRATOR FEES	\$(677.13)

Investment Selection

Source	Selected Investment
OPEB	HighMark PLUS Moderate
PENSION	HighMark PLUS Moderate

Investment Objective

Selected Investment	Description
HighMark PLUS Moderate	The dual goals of the Moderate Strategy are growth of principal and income. It is expected that dividend and interest income will comprise a significant portion of total return, although growth through capital appreciation is equally important. The portfolio will be allocated between equity and fixed income investments.

TRUSTED SOLUTIONS. LASTING RESULTS.

Monthly Account Report for the Period
12/01/2021 to 12/31/2021

Ryan Smith

CITY OF SOLANA BEACH
City of Solana Beach PARS PAPEBT

Investment Performance

Source	1-Month	3-Month	1-Year	Annualized Return			Inception Date
				3-Years	5-Years	10-Years	
OPEB	1.83%	3.04%	9.10%	12.71%	8.95%	-	03/01/2016
PENSION	1.83%	3.04%	9.10%	12.73%	8.99%	-	03/01/2016

Information as provided by US Bank, Trustee for PARS. Investments are NOT insured by the FDIC or by any other Federal Government Agency, are NOT Bank deposits, are NOT guaranteed by the Bank or any Bank affiliate, and MAY lose value, including possible loss of principal. Past performance does not guarantee future results. Account balances are inclusive of Trust Administration, Trustee and Investment Management fees if applicable. Performance returns may not reflect the deduction of applicable fees, which could reduce returns. Annualized Return is the return on an investment over a period other than one year multiplied or divided to give a comparable one-year return. Information is deemed reliable but may be subject to change. The plan's Rate of Return may differ from the rate of return in the above linked document. Reasons for the difference may include the timing of transactions into and out of the plan, the duration of time the plan's funds reside in the sweep account and differences in the methodology used to calculate performance.

WHY THE PARS DIVERSIFIED MODERATE PORTFOLIO?

Comprehensive Investment Solution

HighMark® Capital Management, Inc.'s (HighMark) diversified investment portfolios are designed to balance return expectations with risk tolerance. Key features include: sophisticated asset allocation and optimization techniques, four layers of diversification (asset class, style, manager, and security), access to rigorously screened, top tier money managers, flexible investment options, and experienced investment management.

Rigorous Manager Due Diligence

Our manager review committee utilizes a rigorous screening process that searches for investment managers and styles that have not only produced above-average returns within acceptable risk parameters, but have the resources and commitment to continue to deliver these results. We have set high standards for our investment managers and funds. This is a highly specialized, time consuming approach dedicated to one goal: competitive and consistent performance.

Flexible Investment Options

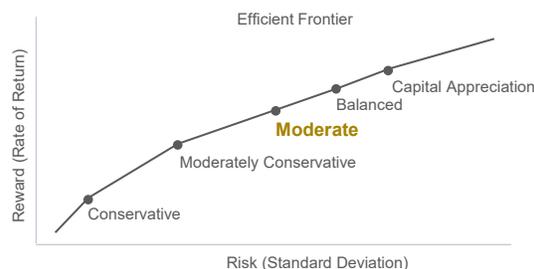
In order to meet the unique needs of our clients, we offer access to flexible implementation strategies: HighMark Plus utilizes actively managed mutual funds while Index Plus utilizes index-based securities, including exchange-traded funds. Both investment options leverage HighMark's active asset allocation approach.

Risk Management

The portfolio is constructed to control risk through four layers of diversification – asset classes (cash, fixed income, equity), investment styles (large cap, small cap, international, value, growth), managers and securities. Disciplined mutual fund selection and monitoring process helps to drive return potential while reducing portfolio risk.

INVESTMENT OBJECTIVE

To provide current income and moderate capital appreciation. It is expected that dividend and interest income will comprise a significant portion of total return, although growth through capital appreciation is equally important.



ASSET ALLOCATION — MODERATE PORTFOLIO

	Strategic Range	Policy	Tactical
Equity	40 - 60%	50%	53%
Fixed Income	40 - 60%	45%	46%
Cash	0 - 20%	5%	1%

ANNUALIZED TOTAL RETURNS (Gross of Investment Management Fees, but Net of Embedded Fund Fees)

HighMark Plus Composite (Active)

Current Quarter*	3.13%
Blended Benchmark**,**	3.75%
Year To Date*	9.31%
Blended Benchmark**,**	10.20%
1 Year	9.31%
Blended Benchmark**	10.20%
3 Year	13.26%
Blended Benchmark**	13.25%
5 Year	9.56%
Blended Benchmark**	9.40%
10 Year	8.39%
Blended Benchmark**	8.40%

Index Plus Composite (Passive)

Current Quarter*	3.76%
Blended Benchmark**,**	3.75%
Year To Date*	10.18%
Blended Benchmark**,**	10.20%
1 Year	10.18%
Blended Benchmark**	10.20%
3 Year	12.93%
Blended Benchmark**	13.25%
5 Year	9.05%
Blended Benchmark**	9.40%
10 Year	8.08%
Blended Benchmark**	8.40%

* Returns less than one year are not annualized. **Breakdown for Blended Benchmark: From 10/1/2012 – Present: 26.5% S&P500, 5% Russell Mid Cap, 7.5% Russell 2000, 3.25% MSCI EM (net), 6% MSCI EAFE (net), 33.50% Bloomberg US Agg, 10% ICE BofA 1-3 Yr US Corp/Govt, 1.50% ICE BofA US High Yield Master II, 1.75% Wilshire REIT, and 5% FTSE 1 Mth US T-Bill. From 4/1/2007 – 9/30/2012: the blended benchmark was 43% S&P 500; 2% Russell 2000, 5% MSCI EAFE (net), 15% ICE BofA 1-3 Year Corp./Govt, 30% Bloomberg US Agg, 5% FTSE 1 Mth US T-Bill. Prior to April 2007: the blended benchmark was 50% S&P 500, 15% ICE BofA 1-3Yr Corp/Govt, 30% Bloomberg US Agg, and 5% FTSE 1 Mth US T-Bill.

ANNUAL RETURNS (Gross of Investment Management Fees, but Net of Embedded Fund Fees)

HighMark Plus Composite (Active)

2008	-22.88%
2009	21.47%
2010	12.42%
2011	0.55%
2012	12.25%
2013	13.06%
2014	4.84%
2015	0.14%
2016	6.45%
2017	13.19%
2018	-4.03%
2019	17.71%
2020	12.92%
2021	9.31%

Index Plus Composite (Passive)

2008	-18.14%
2009	16.05%
2010	11.77%
2011	2.29%
2012	10.91%
2013	12.79%
2014	5.72%
2015	-0.52%
2016	7.23%
2017	11.59%
2018	-4.03%
2019	17.52%
2020	11.23%
2021	10.18%

PORTFOLIO FACTS

HighMark Plus (Active)

Composite Inception Date	10/2004
No of Holdings in Portfolio	20

Index Plus (Passive)

Composite Inception Date	05/2006
No of Holdings in Portfolio	13

HOLDINGS

HighMark Plus (Active)

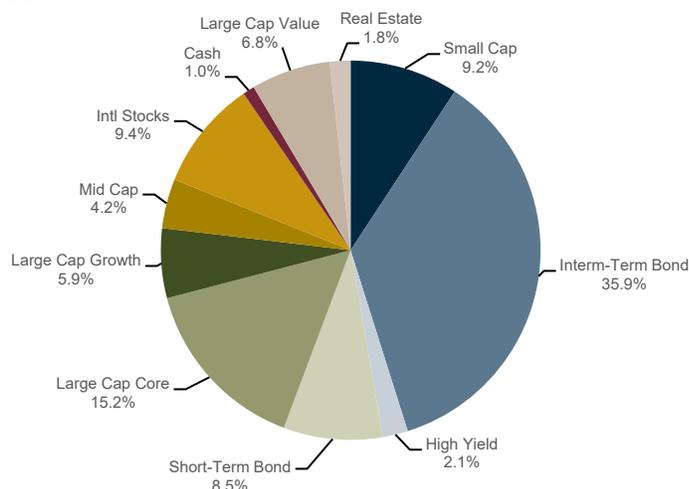
Columbia Contrarian Core I3
Vanguard Growth & Income Adm
Dodge & Cox Stock Fund
iShares S&P 500 Value ETF
Harbor Capital Appreciation - Retirement
T. Rowe Price Growth Stock - I
iShares Russell Mid-Cap ETF
Vanguard Real Estate ETF
Undiscovered Managers Behavioral Value-R6
Victory RS Small Cap Growth - R6
DFA Large Cap International Portfolio
Dodge & Cox International Stock
MFS International Growth - R6
Hartford Schroders Emerging Markets Eq
Vanguard Short-Term Invest-Grade Adm
PIMCO High Yield Instl
PIMCO Total Return Fund - Inst
PGIM Total Return Bond - R6
DoubleLine Core Fixed Income - I
First American Government Obligations Z

Index Plus (Passive)

iShares Core S&P 500 ETF
iShares S&P 500 Value ETF
iShares S&P 500 Growth ETF
iShares Russell Mid-Cap ETF
Vanguard Real Estate ETF
iShares Russell 2000 Value ETF
iShares Russell 2000 Growth ETF
iShares Core MSCI EAFE ETF
Vanguard FTSE Emerging Markets ETF
Vanguard Short-Term Invest-Grade Adm
iShares Core U.S. Aggregate
Vanguard High-Yield Corp Adm
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Holdings are subject to change at the discretion of the investment manager.

STYLE



The performance records shown represent size-weighted composites of tax exempt accounts that meet the following criteria: Accounts are managed by HighMark with full investment authority according to the PARS Moderate active and passive objectives.

The adviser to the PARS portfolios is US Bank, and HighMark serves as sub-adviser to US Bank to manage these portfolios. US Bank may charge clients as much as 0.60% annual management fee based on a sliding scale. US Bank pays HighMark 60% of the annual management fee for assets sub-advised by HighMark under its sub-advisory agreement with US Bank. The 0.36% paid to HighMark, as well as other expenses that may be incurred in the management of the portfolio, will reduce the portfolio's returns. Assuming an investment for five years, a 5% annual total return, and an annual sub-advisory fee rate of 0.36% deducted from the assets at market at the end of each year, a \$10 million initial value would grow to \$12.53 million after fees (Net-of-Fees) and \$12.76 million before fees (Gross-of-Fees). Gross returns are presented before management and custodial fees but after all trading expenses and reflect the reinvestment of dividends and other income. A client's return will be reduced by the advisory fees and other expenses it may incur as a client. Additional information regarding the firm's policies and procedures for calculating and reporting performance results is available upon request. Performance results are calculated and presented in U.S. dollars and do not reflect the deduction of investment advisory fees, custody fees, or taxes but do reflect the deduction of trading expenses. Returns are calculated based on trade-date accounting.

Blended benchmarks represent HighMark's strategic allocations between equity, fixed income, and cash and are rebalanced monthly. Benchmark returns do not reflect the deduction of advisory fees or other expenses of investing but assumes the reinvestment of dividends and other earnings. An investor cannot invest directly in an index. The unmanaged S&P 500 Index is representative of the performance of large companies in the U.S. stock market. The MSCI EAFE Index is a free float-adjusted market capitalization index designed to measure developed market equity performance, excluding the U.S. and Canada. The MSCI Emerging Markets Index is a free float-adjusted market capitalization index that is designed to measure equity market performance in the global emerging markets. The Russell Midcap Index measures the performance of the mid-cap segment of the U.S. equity universe. The Russell 2000 Index measures the performance of the small-cap segment of the U.S. equity universe. The ICE BofA US High Yield Master II Index tracks the performance of below investment grade U.S. dollar-denominated corporate bonds publicly issued in the U.S. domestic market. Wilshire REIT index measures U.S. publicly traded Real Estate Investment Trusts. The unmanaged Bloomberg U.S. Aggregate Bond Index is generally representative of the U.S. taxable bond market as a whole. The ICE BofA 1-3 Year U.S. Corporate & Government Index tracks the bond performance of the ICE BofA U.S. Corporate & Government Index, with a remaining term to final maturity less than 3 years. The unmanaged FTSE 1-Month U.S. Treasury Bill Index tracks the yield of the 1-month U.S. Treasury Bill.

HighMark Capital Management, Inc. (HighMark), an SEC-registered investment adviser, is a wholly owned subsidiary of MUFG Union Bank, N.A. (MUB). HighMark manages institutional separate account portfolios for a wide variety of for-profit and nonprofit organizations, public agencies, and public and private retirement plans. MUB, a subsidiary of MUFG Americas Holdings Corporation, provides certain services to HighMark and is compensated for these services. Past performance does not guarantee future results. Individual account management and construction will vary depending on each client's investment needs and objectives. **Investments employing HighMark strategies are NOT insured by the FDIC or by any other Federal Government Agency, are NOT Bank deposits, are NOT guaranteed by the Bank or any Bank affiliate, and MAY lose value, including possible loss of principal.**

HIGHMARK CAPITAL MANAGEMENT

350 California Street
Suite 1600
San Francisco, CA 94104
800-582-4734

ABOUT THE ADVISER

HighMark® Capital Management, Inc. (HighMark) has over 100 years (including predecessor organizations) of institutional money management experience with \$10.1 billion in assets under management and \$10.1 billion in assets under advisement*. HighMark has a long term disciplined approach to money management and currently manages assets for a wide array of clients.

ABOUT THE PORTFOLIO MANAGEMENT TEAM

Andrew Brown, CFA®

Senior Portfolio Manager
Investment Experience: since 1994
HighMark Tenure: since 1997
Education: MBA, University of Southern California; BA, University of Southern California

Salvatore "Tory" Milazzo III, CFA®

Senior Portfolio Manager
Investment Experience: since 2004
HighMark Tenure: since 2014
Education: BA, Colgate University

J. Keith Stribling, CFA®

Senior Portfolio Manager
Investment Experience: since 1985
HighMark Tenure: since 1995
Education: BA, Stetson University

Christiane Tsuda

Senior Portfolio Manager
Investment Experience: since 1987
HighMark Tenure: since 2010
Education: BA, International Christian University, Tokyo

Anne Wimmer, CFA®

Senior Portfolio Manager
Investment Experience: since 1987
HighMark Tenure: since 2007
Education: BA, University of California, Santa Barbara

Randy Yurchak, CFA®

Senior Portfolio Manager
Investment Experience: since 2002
HighMark Tenure: since 2017
Education: MBA, Arizona State University; BS, University of Washington

Asset Allocation Committee

Number of Members: 17
Average Years of Experience: 26
Average Tenure (Years): 14

Manager Review Group

Number of Members: 8
Average Years of Experience: 20
Average Tenure (Years): 9

*Assets under management ("AUM") include assets for which HighMark provides continuous and regular supervisory and management services. Assets under advisement ("AUA") include assets for which HighMark provides certain investment advisory services (including, but not limited to, investment research and strategies) for client assets of its parent company, MUFG Union Bank, N.A.