



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# **AGENDA**

## **Joint REGULAR Meeting**

**Wednesday, November 19, 2025 \* 6:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

---

### **PUBLIC MEETING ACCESS**

The Regular Meetings of the City Council are held at 6:00pm on Wednesdays and are broadcast live. Please check the City's website for the meeting schedule or any special meetings. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### **WATCH THE MEETING**

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### **AGENDA MATERIALS**

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org). Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

### **PUBLIC COMMENTS**

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

#### **COUNCIL DISCLOSURE**

*Pursuant to the Levine Act (Gov't Code Section 84308), any party to a permit, license, contract (other than competitively bid, labor or personal employment contracts) or other entitlement before the Council is required to disclose on the record any contribution, including aggregated contributions, of more than \$250 made by the party or the party's agents within the preceding 12 months to any Council Member. Participants and agents are requested to make this disclosure as well. The disclosure must include the name of the party or participant and any other person making the contribution, the name of the recipient, the amount of the contribution, and the date the contribution was made.*

#### **SPECIAL ASSISTANCE NEEDED**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode  
and engage in conversations outside the Council Chambers.

#### **CITY COUNCILMEMBERS**

**Lesa Heebner**  
Mayor

**Kristi Becker**  
Deputy Mayor / Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

**Jewel Edson**  
Councilmember District 3

Alyssa Muto  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

---

#### **SPEAKERS:**

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

#### **READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

#### **CALL TO ORDER AND ROLL CALL:**

#### **CLOSED SESSION REPORT:**

#### **FLAG SALUTE:**

## **APPROVAL OF AGENDA:**

### **PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

- First Responders Acknowledgement

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction. None at the posting of this agenda

### **ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

### **CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

### **CITY MANAGER / CITY ATTORNEY REPORTS:**

*An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

#### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on October 22, 2025.

#### **Item A.1. Report (click here)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **A.2. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for October 18, 2025 – October 31, 2025.

### **[Item A.2. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **A.3. 2025 Sewer and Storm Drain Project – Notice of Completion.** (File 1040-26)

Recommendation: That the City Council

1. Adopt **Resolution 2025-118**:
  - a. Authorizing the City Council to accept, as complete, the 2025 Sewer and Storm Drain Project, Bid No. 2025-02, performed by Bert W. Salas.
  - b. Authorizing the City Clerk to file a Notice of Completion for the project.

### **[Item A.3. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **A.4. Trailer Mounted Water Pump.** (0850-40)

Recommendation: That the City Council

1. Adopt **Resolution 2025-121** authorizing the City Manager to purchase a new trailer mounted water pump in the amount of \$71,387.61.

### **[Item A.4. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)**

## **B. PUBLIC HEARINGS:** (B.1. – B.2.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

**B.1. Public Hearing: 121 West Plaza St., Applicant: Urich, Application: DRP25-001, SDP25-001, DUP25-002, APN: 298-010-44.** (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP, a DUP and administratively issue an SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-120** conditionally approving a DRP, SDP, and DUP to construct a 704 square-foot second-story Live/Work Unit located above a single-story commercial building currently occupied by a dental office at 121 West Plaza Street, Solana Beach.

[Item B.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**B.2. Public Hearing: 453 Canyon Dr., Applicant: Baker, Application: DRP25-003, APN: 263-194-01.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-123** conditionally approving a DRP to construct an interior remodel and 789 square footage living area addition and a new 481 square foot attached garage to an existing one-story single-family residence and perform associated site improvements at 453 Canyon Drive, Solana Beach.

[Item B.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**C. STAFF REPORTS: (C.1. – C.2.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

### **C.1. Public Safety End of Year Status Report.** (File 0250-00, 0260-00, 0270-00)

Recommendation: That the City Council

1. Receive presentation and file report.

#### **[Item C.1. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

### **C.2. State Legislative Update.** (File 0480-05)

Recommendation: That the City Council

1. Discuss and provide policy direction to Staff.

#### **[Item C.2. Report \(click here\)](#)**

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## **LEGISLATIVE POLICY AND CORRESPONDENCE:**

### **WORK PLAN COMMENTS:**

*Adopted June 18, 2025*

### **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

### **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

#### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1<sup>st</sup> Alternate-Zito, 2<sup>nd</sup> Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

**STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

**CITIZEN COMMISSION(S)**

- a. Climate & Resiliency Commission – Zito, Becker

**ADJOURN:**

---

***Next Regularly Scheduled Meeting is December 10, 2025***

*Always refer to the City's website for an updated schedule or contact City Hall.*

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) 858-720-2400

---

**AFFIDAVIT OF POSTING**

STATE OF CALIFORNIA  
COUNTY OF SAN DIEGO  
CITY OF SOLANA BEACH } §

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the November 19, 2025 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on November 14, 2025 at 9:50 a.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., November 19, 2025, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk  
City of Solana Beach, CA

---

**UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate & Resiliency Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



**CITY OF SOLANA BEACH**  
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT**  
**AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**

# **MINUTES**

**Joint Meeting - Closed Session**

**Wednesday, October 22, 2025 5:00 p.m.**

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

**Minutes contain formal actions taken at a City Council meeting.**

## **CALL TO ORDER AND ROLL CALL:**

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson  
Absent: None  
Also Present: Alyssa Muto, City Manager  
Johanna Canlas, City Attorney

## **PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY):**

*Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.*

## **CLOSED SESSION:**

### **1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)

Two (2) Potential cases

### **2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Pursuant to Government Code Section 54956.9(d)(2)

One (1) Potential case

**ACTION: No reportable action.**

## **ADJOURN:**

Mayor Heebner adjourned the meeting at 5:45 p.m.

Approved: \_\_\_\_\_

Angela Ivey, City Clerk

**AGENDA ITEM A.1.**



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

## MINUTES

Joint REGULAR Meeting

Wednesday, October 22, 2025 \* 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

**Action Minutes contain formal actions taken at a City Council meeting.**

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained on the City's websites records archives or by submitting a [Records Request](#).

### CITY COUNCILMEMBERS

**Lesa Heebner**  
Mayor

**Kristi Becker**  
Deputy Mayor / Councilmember District 2

**Jill MacDonald**  
Councilmember District 4

**David A. Zito**  
Councilmember District 1

**Jewel Edson**  
Councilmember District 3

Alyssa Muto  
City Manager

Johanna Canlas  
City Attorney

Angela Ivey  
City Clerk

---

### CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:00 p.m.

Present: Lesa Heebner, Kristi Becker, Jill MacDonald, David A. Zito, Jewel Edson

Absent: None

Also Alyssa Muto, City Manager

Present: Johanna Canlas, City Attorney

Angela Ivey, City Clerk

Orelia DeBraal, Public Works Dir.

Rachel Jacobs, Finance Dir.

Joseph Lim, Community Development Dir.

**CLOSED SESSION REPORT:** No reportable action.

### FLAG SALUTE:

**PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

- Red Ribbon Week Recognition

Peggy Walker, San Dieguito Alliance for Drug Free Youth.

Mayor Heebner presented proclamations to Earl Warren Middle School, Skyline Elementary, Solana Vista Elementary, St. James Academy, Torrey Pines High School, and The Changers and handed to school attendees.

- Community Resource Center – Domestic Violence Awareness

Mayor Heebner presented a proclamation to John Van Cleef, Chief Executive Officer, Community Resource Center.

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

- SDG&E – Wildfire Safety & PSPS Preparedness

Joe Gabaldon, SDG&E, presentation.

### **APPROVAL OF AGENDA:**

**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Zito to approve the agenda. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

### **ORAL COMMUNICATIONS:**

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Diana Kutlow - Senator Catherine Blakespear's legislative update.

### **CITY COUNCIL COMMUNITY ANNOUNCEMENTS - COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on various activities. These items are not agendaized for official City business with no action or substantive discussion.*

### **CITY MANAGER / CITY ATTORNEY REPORTS:**

*An opportunity for the City Manager and City Attorney to make brief announcements or report on various activities. These items are not agendaized for official City business with no action or substantive discussion.*

### **A. CONSENT CALENDAR:** (Action Items) (A.1. - A.5.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

*All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.*

#### **A.1. Minutes of the City Council.**

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on September 10, 2025.

**Motion:** Moved by Councilmember Edson and second by Councilmember Zito to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

#### **A.2. Register Of Demands. (File 0300-30)**

Recommendation: That the City Council

1. Ratify the list of demands for September 06, 2025 – October 03, 2025.

**Motion:** Moved by Councilmember Edson and second by Councilmember Zito to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

#### **A.3. Quarterly Budget Report – Fiscal Year 2026. (File 0350-44)**

Recommendation: That the City Council

1. Receive the quarterly report listing changes made to the FY 2026 General Fund Adopted Budget.

**Motion:** Moved by Councilmember Edson and second by Councilmember Zito to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

#### **A.4. HVAC Units and HVAC Control System. (File 0700-25)**

Recommendation: That the City Council

1. Adopt **Resolution 2025-108:**
  - a. Approving the purchase of five HVAC units and one HVAC control system, for \$72,750, with a contingency amount of \$3,250, for a total amount of \$76,000.
  - b. Authorizing the City Manager to execute an Amendment to the Professional Services Agreement with Seaside Heating and Air.

**Motion:** Moved by Councilmember Edson and second by Councilmember Zito to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

#### **A.5. On-Call, As-Needed Facility Repair Services. (File 0700-25)**

Recommendation: That the City Council

1. Adopt **Resolution 2025-109:**

- a. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with Real Estate Consulting and Services, Inc., to install water refill stations at City Hall and Fletcher Cove Community Center during Fiscal Year 2025/26, which would increase the Agreement by \$6,691.85 for a total amount not to exceed \$56,691.85 for Fiscal Year 2025/26 only.
- b. Authorizing the City Treasurer to amend the FY 2025/26 Adopted Budget accordingly.

**Motion:** Moved by Councilmember Edson and second by Councilmember Zito to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

## **B. PUBLIC HEARINGS:** (B.1. – B.4.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

### **B.1. Public Hearing: Introduce (1<sup>st</sup> Reading) Ordinance 540 – Building and Fire Code Updates.** (File 0250-70)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Introduce **Ordinance 540** (1st Reading) amending Title 15 of the Solana Beach Municipal Code.

Staff presentation.

Mayor Heebner opened the public hearing. Council disclosures.

**Motion:** Moved by Councilmember Zito and second by Deputy Mayor Becker to close the public hearing. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

### **B.2. Public Hearing: SANDAG 2025 Regional Transportation Improvement Program (RTIP) Amendment.** (File 0150-55)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Consider adoption of **Resolution 2025-113** approving an amendment to the to the SANDAG 2025 Regional Transportation Improvement Program (RTIP) of projects for Fiscal Years 2025 through 2029, to adjust and increase *TransNet* funding in the Pavement Resurfacing project.
3. Authorize the City Treasurer to amend the Adopted Budget accordingly.

Mayor Heebner opened the public hearing. Council disclosures.

**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**Motion:** Moved by Deputy Mayor Becker and second by Councilmember Edson to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**B.3. Public Hearing: 730 Ramona Pl., Applicant: Runager, Application: DRP24-016, SDP24-009, APN: 298-391-08.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-095** conditionally approving a DRP/SDP to construct a new 4,047 square foot two-story residence with two attached garages totaling 1,006 square feet, and perform associated site improvements at 730 Ramona Place, Solana Beach.

Staff presentation.

Mayor opened the public hearing. Council disclosures.

Andrew Crocker, applicant representative.

Public Speakers: Lori Slaff – construction parking traffic and view blockage (pictures), Jennifer Kao – pickleball court, which was no longer in the plans.

Council discussion.

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Edson and second by Deputy Mayor Becker to approve recommendation adding conditions restricting a future pickle ball court to Council approval and to grade for construction parking on the property before the project begins. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

Mayor Heebner recessed the meeting at 7:22 p.m. for a break and reconvened at 7:33 p.m.

**B.4. Public Hearing: 0 Ida Ave., Applicant: Solana Residences LLC, Application: DRP23-008, SDP23-010, SMAP24-001, APN: 298-293-20. (File 0600-40)**

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP, a SUB and administratively issue an SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2025-114** conditionally approving a DRP, SDP, and Minor SUB to construct four attached, multi-family condominium dwelling units with four private driveways and attached two-car garages and perform associated site improvements on a vacant lot on the east side of Ida Avenue between 748 and 804 Ida Avenue, Solana Beach.

Staff presentation.

Mayor Heebner opened the public hearing. Council disclosures.

Brian Church, applicant representative.

Speaker: Ryan Hastings – guest parking concerns, window facing their pool.

Council discussion.

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to approve recommendation with additional conditions including that the garage be mandated for parking only and obscure the bathroom window that is facing the next property. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

## **C. STAFF REPORTS: (C.1. – C.2.)**

*Submit speaker slips to the City Clerk.*

*All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.*

### **C.1. General Fund Update (Unaudited) for Fiscal Year 2025.** (File 0330-30)

Recommendation: That the City Council

1. Accept and file the General Fund Update for Fiscal Year (FY) 2025.
2. Provide direction to Staff regarding whether to use an amount of the projected General Fund surplus to fund the PARS Irrevocable Trust for Pensions as part of a budget appropriation to the General Fund Unreserved Fund Balance, and other funds as determined by the Finance Department, in FY25.
3. Provide direction to Staff regarding whether to use an amount of the projected General Fund surplus to add funding to the Asset Replacement Fund as part of a budget appropriation to the General Fund Unreserved Fund Balance in FY25.
4. Provide direction to Staff regarding whether to use an amount of the projected General Fund surplus to add funding to the Facilities Replacement Fund as part of a budget appropriation to the General Fund Unreserved Fund Balance in FY25.
5. Adopt Resolution 2025-112 authorizing the City Treasurer to amend the FY25 budget accordingly.

Staff presentation.

Discussion.

**Motion:** Moved by Councilmember Zito and second by Councilmember Edson to approve recommendation. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

### **C.2. Lomas Santa Fe - East Improvement Project Update.** (File 0820-15)

Recommendation: That the City Council

1. Receive this final report and provide additional input and comments as needed on the Lomas Santa Fe-East Improvement Project.
2. ~~Authorize the City Manager to take any action necessary to advertise the Lomas Santa Fe-East Improvement Project for construction bids.~~
3. Adopt **Resolution 2025-115** authorizing the City Manager to execute an amendment to the Professional Services Agreement, for an increase of \$230,000, with Michael Baker International for the completion of the bid documents and design-related construction support services for the Lomas Santa Fe-East Improvement Project, which would extend from Santa Helena to Highland Drive. The amendment would also extend the term of the agreement so that the new end date is December 31, 2027.

**Motion:** Moved by Councilmember MacDonald and second by Councilmember Edson to approve only the resolution at this time. **Approved 5/0.** Ayes: Heebner, Becker, MacDonald, Zito, Edson. Noes: None. Motion carried unanimously.

**LEGISLATIVE POLICY AND CORRESPONDENCE:** None

**WORK PLAN COMMENTS:**

*Adopted June 18, 2025*

**COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

**COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

**REGIONAL COMMITTEES:** (outside agencies, appointed by this Council)

**STANDING COMMITTEES:** (All Primary Members) (*Permanent Committees*)

**CITIZEN COMMISSION(S)**

**ADJOURN:**

Mayor Heebner adjourned the meeting at 9:22 p.m.

Approved: \_\_\_\_\_  
Angela Ivey, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** Finance – Rachel Jacobs, Finance Director  
**SUBJECT:** Register of Demands

---

## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

### **Register of Demands: 10/18/25 through 10/31/25**

|                                                   |                  |           |                            |
|---------------------------------------------------|------------------|-----------|----------------------------|
| Check Register - Disbursement Fund (Attachment 1) |                  | \$        | 776,407.65                 |
| Net Payroll Staff Q09                             | October 24, 2025 |           | 255,251.71                 |
| <b>TOTAL</b>                                      |                  | <b>\$</b> | <b><u>1,031,659.36</u></b> |

## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for October 18, 2025, through October 31, 2025, reflects total expenditures of \$1,031,659.36 from various City sources.

## **WORK PLAN:** N/A

## **OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

|                                     |
|-------------------------------------|
| CITY COUNCIL ACTION: _____<br>_____ |
|-------------------------------------|

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council:

1. Ratify the above register of demands.



---

Alyssa Muto, City Manager

Attachments:

1. Check Register – Disbursement Fund



# City of Solana Beach

## Register of Demands

10/18/2025 - 10/31/2025

| Department<br>Vendor                    | Description                               | Date       | Check/EFT<br>Number | Amount              |
|-----------------------------------------|-------------------------------------------|------------|---------------------|---------------------|
| <b>100 - GENERAL FUND</b>               |                                           |            |                     |                     |
| STERLING HEALTH SERVICES, INC.          | QC04 FSA CONTRIBUTIONS                    | 10/23/2025 | 9002503             | \$441.67            |
| STERLING HEALTH SERVICES, INC.          | Q08 FSA/DCA CONTRIBUTIONS                 | 10/23/2025 | 9002503             | \$2,656.96          |
| STERLING HEALTH SERVICES, INC.          | Q08 FSA/DCA CONTRIBUTIONS                 | 10/23/2025 | 9002503             | \$1,572.87          |
| MISSION SQUARE PLAN 302817              | Payroll Run 1 - Warrant Q09               | 10/23/2025 | 9002498             | \$9,445.29          |
| SOLANA BEACH FIREFIGHTERS ASSOC         | Payroll Run 1 - Warrant Q09               | 10/23/2025 | 9002502             | \$1,080.00          |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$40,769.40         |
| LAS BRISAS HOMEOWNERS ASSOCIATION       | RFND: GRD22-0011                          | 10/30/2025 | 108981              | \$157,090.75        |
| LAS BRISAS HOMEOWNERS ASSOCIATION       | RFND: INTEREST GRD22-0011                 | 10/30/2025 | 108981              | \$19,818.95         |
| SOLANA BEACH PRESBYTERIAN CHURCH        | RFND: ENC25-0064                          | 10/30/2025 | 108995              | \$766.00            |
| SOLANA BEACH PRESBYTERIAN CHURCH        | RFND: ENC25-0064                          | 10/30/2025 | 108995              | \$13.56             |
| BRENT GORDON & JENNIFER SAYLES          | RFND: GRD23-0008                          | 10/30/2025 | 108969              | \$26,382.00         |
| BRENT GORDON & JENNIFER SAYLES          | RFND: GRD23-0008                          | 10/30/2025 | 108969              | \$2,203.25          |
| SANDRA COMRIE                           | RFND: SB0653868                           | 10/30/2025 | 108992              | \$42.50             |
| WENJING KANG                            | RFND: SB0653768                           | 10/30/2025 | 109000              | \$42.50             |
| MORGAN BURGER                           | RFND: STVR0005801 & STVR0005802-CITATIONS | 10/30/2025 | 108985              | \$600.00            |
| CHRISTINA DIBENEDETTO                   | RFND: SB0653449                           | 10/30/2025 | 108970              | \$42.50             |
| CALPERS                                 | Q09 CALPERS 457                           | 10/22/2025 | 990120390           | \$6,258.63          |
| DEPARTMENT OF CONSERVATION              | JUL-SEP 25 SMIP FEE                       | 10/30/2025 | 108977              | \$1,284.64          |
| STERLING HEALTH SERVICES, INC.          | Q09 FSA/DCA CONTRIBUTIONS                 | 10/30/2025 | 9002514             | \$2,656.96          |
| STERLING HEALTH SERVICES, INC.          | Q09 FSA/DCA CONTRIBUTIONS                 | 10/30/2025 | 9002514             | \$1,572.87          |
| NANCY PFEIFFER                          | RFND: FCCC 10/11/25                       | 10/30/2025 | 108986              | \$500.00            |
| MICHAEL TUCKER                          | RFND: SB0653872                           | 10/30/2025 | 108983              | \$42.50             |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$1,555.78          |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$9,478.54          |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$178.91            |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$16,510.62         |
| INSTATAX                                | Q09 TAX INPUT                             | 10/22/2025 | 990120391           | \$3,412.51          |
| CALPERS                                 | Q09 CALPERS 457                           | 10/22/2025 | 990120390           | \$23.41             |
| <b>TOTAL GENERAL FUND</b>               |                                           |            |                     | <b>\$306,443.57</b> |
| <b>1005200 - CITY MANAGER</b>           |                                           |            |                     |                     |
| KFORCE INC.                             | TEMP EXEC ASST FOR CM-09/18/25            | 10/30/2025 | 9002511             | \$3,389.52          |
| KFORCE INC.                             | TEMP EXEC ASST FOR CM-09/25/25            | 10/30/2025 | 9002511             | \$3,649.36          |
| KFORCE INC.                             | TEMP EXEC ASST FOR CM-10/02/25            | 10/30/2025 | 9002511             | \$3,031.51          |
| KFORCE INC.                             | TEMP EXEC ASST FOR CM-10/09/25            | 10/30/2025 | 9002511             | \$3,580.89          |
| VERIZON WIRELESS SD                     | 962428212-00001 - 08/29/25-09/28/25       | 10/30/2025 | 108999              | \$38.36             |
| KFORCE INC.                             | TEMP EXEC ASST FOR CM-09/11/25            | 10/30/2025 | 9002511             | \$3,375.49          |
| <b>TOTAL CITY MANAGER</b>               |                                           |            |                     | <b>\$17,065.13</b>  |
| <b>1005300 - GENERAL FUND - FINANCE</b> |                                           |            |                     |                     |
| TYLER TECHNOLOGIES INC                  | MUNIS ANNUAL MAINT 7/1/25 - 6/30/26       | 10/30/2025 | 108997              | \$57,640.97         |
| DAVIS FARR, LLP                         | SEP 25- AUDIT SVC                         | 10/23/2025 | 108951              | \$6,696.60          |
| <b>TOTAL GENERAL FUND - FINANCE</b>     |                                           |            |                     | <b>\$64,337.57</b>  |
| <b>1005350 - SUPPORT SERVICES</b>       |                                           |            |                     |                     |

|                                       |                                      |            |         |                    |
|---------------------------------------|--------------------------------------|------------|---------|--------------------|
| CULLIGAN OF SAN DIEGO                 | SEP 25-WATER / OCT 25-EQUIPMENT-CH   | 10/23/2025 | 108950  | \$251.77           |
| CULLIGAN OF SAN DIEGO                 | SEP 25-WATER / OCT 25-EQUIPMENT-LC   | 10/23/2025 | 108950  | \$41.63            |
| CULLIGAN OF SAN DIEGO                 | OCT 25-EQUIPMENT-PW                  | 10/23/2025 | 108950  | \$75.10            |
| STAPLES CONTRACT & COMMERCIAL         | PAPER/LEGAL PADS                     | 10/23/2025 | 108961  | \$143.84           |
| STAPLES CONTRACT & COMMERCIAL         | POST ITS/PENS/TABS/LEGAL PADS        | 10/23/2025 | 108961  | \$77.89            |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$254.64           |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$284.84           |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$260.23           |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$284.84           |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$54.83            |
| XEROX CORPORATION                     | SEP 25 - XEROX                       | 10/30/2025 | 109004  | \$341.56           |
| <b>TOTAL SUPPORT SERVICES</b>         |                                      |            |         | <b>\$2,071.17</b>  |
| <b>1005400 - HUMAN RESOURCES</b>      |                                      |            |         |                    |
| DEPARTMENT OF JUSTICE                 | SEP 25-FINGERPRINT APPS              | 10/23/2025 | 108952  | \$64.00            |
| <b>TOTAL HUMAN RESOURCES</b>          |                                      |            |         | <b>\$64.00</b>     |
| <b>1005450 - INFORMATION SERVICES</b> |                                      |            |         |                    |
| WESTERN AUDIO VISUAL                  | AV MAINTENANCE SVC                   | 10/30/2025 | 109001  | \$499.00           |
| COX COMMUNICATIONS INC                | 0013410039730701 - 10/19/25-11/18/25 | 10/30/2025 | 108973  | \$295.21           |
| VERIZON WIRELESS SD                   | 670601022-00001 - 08/24/25-09/23/25  | 10/30/2025 | 108999  | \$128.05           |
| SCOTT SAMPAIO                         | REIMB: MISAC CONFRENCE PARKING       | 10/30/2025 | 108994  | \$40.00            |
| <b>TOTAL INFORMATION SERVICES</b>     |                                      |            |         | <b>\$962.26</b>    |
| <b>1005550 - PLANNING</b>             |                                      |            |         |                    |
| UT SAN DIEGO - NRTH COUNTY            | PH: DRP24-012 & MOD25-009            | 10/30/2025 | 108998  | \$971.09           |
| <b>TOTAL PLANNING</b>                 |                                      |            |         | <b>\$971.09</b>    |
| <b>1005560 - BUILDING SERVICES</b>    |                                      |            |         |                    |
| ESGIL CORPORATION                     | SEP 25-BLDG REVIEW & INSPECTIONS     | 10/30/2025 | 9002508 | \$35,051.27        |
| <b>TOTAL BUILDING SERVICES</b>        |                                      |            |         | <b>\$35,051.27</b> |
| <b>1005590 - CODE ENFORCEMENT</b>     |                                      |            |         |                    |
| WEX FLEET UNIVERSAL                   | 09/08/25 - 10/07/25 - AUTO FUEL      | 10/30/2025 | 109003  | \$192.28           |
| DEPARTMENT OF JUSTICE                 | SEP 25-FINGERPRINT APPS              | 10/23/2025 | 108952  | \$64.00            |
| DATATICKET INC.                       | AUG 25-PARKING CITATION SERVICES     | 10/30/2025 | 108976  | \$125.00           |
| DATATICKET INC.                       | AUG 25-PARKING CITATION SERVICES     | 10/30/2025 | 108976  | \$1,198.88         |
| DATATICKET INC.                       | SEP 25-PARKING CITATION SERVICES     | 10/30/2025 | 108976  | \$1,505.65         |
| <b>TOTAL CODE ENFORCEMENT</b>         |                                      |            |         | <b>\$3,085.81</b>  |
| <b>1006110 - LAW ENFORCEMENT</b>      |                                      |            |         |                    |
| SAN DIEGO COUNTY SHERIFFS OFFICE      | JUL-DEC 25- CAL-ID PROGRAM           | 10/30/2025 | 108991  | \$1,288.80         |
| <b>TOTAL LAW ENFORCEMENT</b>          |                                      |            |         | <b>\$1,288.80</b>  |
| <b>1006120 - FIRE DEPARTMENT</b>      |                                      |            |         |                    |
| WEX FLEET UNIVERSAL                   | 09/08/25 - 10/07/25 - AUTO FUEL      | 10/30/2025 | 109003  | \$137.31           |
| NORTH COUNTY DISPATCH (JPA)           | FY 26 Q2-DISPATCH                    | 10/30/2025 | 108987  | \$26,949.00        |
| CULLIGAN OF SAN DIEGO                 | OCT-NOV 25-WATER                     | 10/30/2025 | 108974  | \$50.00            |
| REGIONAL COMMS SYS MS 056 RCS         | SEP 25- CAP CODES                    | 10/30/2025 | 108989  | \$32.50            |
| REGIONAL COMMS SYS MS 056 RCS         | SEP 25-FIRE RADIOS                   | 10/30/2025 | 108989  | \$1,342.00         |
| REGIONAL COMMS SYS MS 056 RCS         | SEP 25-SHERIFF RADIOS                | 10/30/2025 | 108989  | \$823.50           |
| WEX BANK                              | SEP 25-FUEL & CR TAX                 | 10/30/2025 | 109002  | \$2,090.09         |
| VERIZON WIRELESS SD                   | 962428212-00001 - 08/29/25-09/28/25  | 10/30/2025 | 108999  | \$653.11           |
| ROADONE INC                           | TRAINING TOWING - FS                 | 10/30/2025 | 108990  | \$700.00           |
| FIRE STATS LLC                        | SEP 25-MAINT                         | 10/30/2025 | 108980  | \$212.50           |
| FIRE ETC.                             | SWIVIL SHUTOFF VALVES                | 10/30/2025 | 108979  | \$1,413.75         |
| PALOMAR COLLEGE                       | FALL 25 CLASS-71381                  | 10/30/2025 | 108988  | \$710.00           |

|                                         |                                            |            |         |                    |
|-----------------------------------------|--------------------------------------------|------------|---------|--------------------|
| WEX BANK                                | AUG 25-FUEL & CR TAX                       | 10/30/2025 | 109002  | \$1,477.64         |
| <b>TOTAL FIRE DEPARTMENT</b>            |                                            |            |         | <b>\$36,591.40</b> |
| <b>1006170 - MARINE SAFETY</b>          |                                            |            |         |                    |
| WEX FLEET UNIVERSAL                     | 09/08/25 - 10/07/25 - AUTO FUEL            | 10/30/2025 | 109003  | \$1,040.33         |
| ACE UNIFORMS LLC                        | SHORTS/SEWINGS                             | 10/23/2025 | 9002489 | \$159.46           |
| ACE UNIFORMS LLC                        | HATS/EMBROD                                | 10/23/2025 | 9002489 | \$1,398.06         |
| VERIZON WIRELESS SD                     | 962428212-00001 - 08/29/25-09/28/25        | 10/30/2025 | 108999  | \$152.04           |
| SUNBELT RENTALS, INC.                   | ARTIC LOADER/LOADER FORK ATTACHMENT        | 10/30/2025 | 108996  | \$1,972.76         |
| CULLIGAN OF SAN DIEGO                   | SEP 25-WATER-MS                            | 10/30/2025 | 108975  | \$58.00            |
| <b>TOTAL MARINE SAFETY</b>              |                                            |            |         | <b>\$4,780.65</b>  |
| <b>1006510 - ENGINEERING</b>            |                                            |            |         |                    |
| WEX FLEET UNIVERSAL                     | 09/08/25 - 10/07/25 - AUTO FUEL            | 10/30/2025 | 109003  | \$129.78           |
| WEST COAST CIVIL, INC                   | FY26 WEST COAST CIVIL ENGINEERING SERVICES | 10/23/2025 | 108963  | \$3,750.00         |
| UNDERGROUND SVC ALERT OF SOCIAL INC     | SEP 25-DIG ALERT                           | 10/23/2025 | 9002504 | \$126.00           |
| STAPLES CONTRACT & COMMERCIAL           | WHITEBOARD                                 | 10/23/2025 | 108961  | \$211.18           |
| VERIZON WIRELESS SD                     | 362455526-00001 - 09/02/25-10/01/25        | 10/30/2025 | 108999  | \$44.96            |
| <b>TOTAL ENGINEERING</b>                |                                            |            |         | <b>\$4,261.92</b>  |
| <b>1006520 - ENVIRONMENTAL SERVICES</b> |                                            |            |         |                    |
| WEX FLEET UNIVERSAL                     | 09/08/25 - 10/07/25 - AUTO FUEL            | 10/30/2025 | 109003  | \$377.55           |
| MISSION LINEN & UNIFORM INC             | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/23/2025 | 108955  | \$16.55            |
| POOPBAGS.COM LLC                        | FY26 DOG WASTE BAGS                        | 10/23/2025 | 108957  | \$4,893.21         |
| MIKHAIL OGAWA ENGINEERING, INC.         | SEP 25- STORMWATER PROGRAM                 | 10/23/2025 | 9002497 | \$18,589.29        |
| CLEAN EARTH ENVIROMENTAL SOLUTIONS      | SEP 25- HHW COLLECTION                     | 10/23/2025 | 9002492 | \$1,523.34         |
| IDRAINS LLC                             | J-VACUUM / H-CLEAN CDS                     | 10/30/2025 | 108966  | \$2,375.00         |
| MISSION LINEN & UNIFORM INC             | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/30/2025 | 108984  | \$16.55            |
| VERIZON WIRELESS SD                     | 362455526-00001 - 09/02/25-10/01/25        | 10/30/2025 | 108999  | \$44.96            |
| <b>TOTAL ENVIRONMENTAL SERVICES</b>     |                                            |            |         | <b>\$27,836.45</b> |
| <b>1006530 - STREET MAINTENANCE</b>     |                                            |            |         |                    |
| WEX FLEET UNIVERSAL                     | 09/08/25 - 10/07/25 - AUTO FUEL            | 10/30/2025 | 109003  | \$342.16           |
| MISSION LINEN & UNIFORM INC             | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/23/2025 | 108955  | \$27.09            |
| NORTH COUNTY DISPATCH (JPA)             | FY26/Q2 PW NORTH COUNTY DISPATCH           | 10/23/2025 | 108956  | \$149.25           |
| MISSION LINEN & UNIFORM INC             | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/30/2025 | 108984  | \$27.09            |
| BFS GROUP OF CALIFORNIA LLC             | SAND BAGS                                  | 10/30/2025 | 108978  | \$167.17           |
| TRAFFIC SUPPLY, INC                     | MARKING PAINT                              | 10/30/2025 | 9002515 | \$75.95            |
| VERIZON WIRELESS SD                     | 362455526-00001 - 09/02/25-10/01/25        | 10/30/2025 | 108999  | \$44.96            |
| <b>TOTAL STREET MAINTENANCE</b>         |                                            |            |         | <b>\$833.67</b>    |
| <b>1006540 - TRAFFIC SAFETY</b>         |                                            |            |         |                    |
| REDFLEX TRAFFIC SYSTEMS, INC            | SEP 25-RED LIGHT CAMERA ENFORCEMENT        | 10/23/2025 | 9002501 | \$8,115.87         |
| TRAFFIC SUPPLY, INC                     | SIGNS                                      | 10/30/2025 | 9002515 | \$481.04           |
| ALL CITY MANAGEMENT SERVICES, INC       | CROSSING GUARDS-09/28/25-10/11/25          | 10/30/2025 | 9002507 | \$13,242.25        |
| VERIZON WIRELESS SD                     | 362455526-00001 - 09/02/25-10/01/25        | 10/30/2025 | 108999  | \$32.11            |
| <b>TOTAL TRAFFIC SAFETY</b>             |                                            |            |         | <b>\$21,871.27</b> |
| <b>1006550 - STREET CLEANING</b>        |                                            |            |         |                    |
| PRIDE INDUSTRIES                        | SEP 25- TRASH ABATEMENT SERVICES           | 10/23/2025 | 108958  | \$2,228.24         |
| <b>TOTAL STREET CLEANING</b>            |                                            |            |         | <b>\$2,228.24</b>  |
| <b>1006560 - PARK MAINTENANCE</b>       |                                            |            |         |                    |
| MISSION LINEN & UNIFORM INC             | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/23/2025 | 108955  | \$20.32            |
| HD SUPPLY, INC.                         | LINERS                                     | 10/23/2025 | 108954  | \$627.18           |
| HD SUPPLY, INC.                         | BLEACH                                     | 10/23/2025 | 108954  | \$329.15           |
| SANTA FE IRRIGATION DISTRICT            | 005979-005 - 08/02/25-10/01/25             | 10/23/2025 | 108959  | \$497.58           |

|                                  |                                            |            |         |            |
|----------------------------------|--------------------------------------------|------------|---------|------------|
| WEX FLEET UNIVERSAL              | 09/08/25 - 10/07/25 - AUTO FUEL            | 10/30/2025 | 109003  | \$70.79    |
| BFS GROUP OF CALIFORNIA LLC      | COMPRESSED AIR/DECKFORCE 3X10              | 10/23/2025 | 108953  | \$23.76    |
| ARTURO ZERMENO                   | MILEAGE: 10/04-10/05/25                    | 10/30/2025 | 108967  | \$72.80    |
| VERIZON WIRELESS SD              | 362455526-00001 - 09/02/25-10/01/25        | 10/30/2025 | 108999  | \$64.22    |
| SANTA FE IRRIGATION DISTRICT     | 005506-018 - 09/01/25-09/30/25             | 10/23/2025 | 108959  | \$250.37   |
| SANTA FE IRRIGATION DISTRICT     | 005506-019 - 09/01/25-09/30/25             | 10/23/2025 | 108959  | \$1,486.13 |
| CONSOLIDATED ELECTRICAL DIST INC | LAMPS                                      | 10/23/2025 | 9002493 | \$183.18   |
| MISSION LINEN & UNIFORM INC      | FY26 UNIFORM SERVICES FOR PUBLIC WORKS     | 10/30/2025 | 108984  | \$20.32    |
| BFS GROUP OF CALIFORNIA LLC      | GLOVES/SAFETY GLASSES/EAR PLUGS/RESPO MASK | 10/30/2025 | 108978  | \$180.42   |

**TOTAL PARK MAINTENANCE****\$3,826.22****1006570 - PUBLIC FACILITIES**

|                                       |                                                 |            |         |             |
|---------------------------------------|-------------------------------------------------|------------|---------|-------------|
| BFS GROUP OF CALIFORNIA LLC           | SHEET METAL ELBOWS/DUCT TAPE                    | 10/23/2025 | 108953  | \$57.32     |
| BFS GROUP OF CALIFORNIA LLC           | TEFLON TAPE/GAS CONNECTOR                       | 10/23/2025 | 108953  | \$37.46     |
| REAL ESTATE CONSULTING & SERVICES INC | INSTALL: KTCH CABNTS/CNTR TOPS/BCKSPLSH-FS      | 10/23/2025 | 9002500 | \$17,960.00 |
| PRIDE INDUSTRIES                      | SEP 25- TRASH ABATEMENT SERVICES                | 10/23/2025 | 108958  | \$2,228.24  |
| SYMONS FIRE PROTECTION                | FY26- ANNUAL FIRE ALARM INSPECTION-LCCC         | 10/23/2025 | 108962  | \$790.00    |
| SYMONS FIRE PROTECTION                | FY26- ANNUAL FIRE ALARM/SPRINKLER INSPECTION-CH | 10/23/2025 | 108962  | \$1,900.00  |
| LEE'S LOCK & SAFE INC                 | LOCK REPAIR                                     | 10/30/2025 | 108982  | \$231.00    |
| BFS GROUP OF CALIFORNIA LLC           | GLOVES                                          | 10/30/2025 | 108978  | \$73.37     |
| BFS GROUP OF CALIFORNIA LLC           | RECEPTACLE/CAULKING/TEST PLUG                   | 10/30/2025 | 108978  | \$81.16     |
| 24 HOUR ELEVATOR, INC                 | OCT 25- ELEVATOR PREVENTATIVE MAINT/REPAIR      | 10/30/2025 | 108964  | \$214.41    |
| REAL ESTATE CONSULTING & SERVICES INC | FY26 ON-CALL AS-NEEDED HANDYMAN                 | 10/30/2025 | 9002513 | \$2,845.00  |
| CINTAS CORPORATION NO. 2              | FIRST AID SUPPLIES-PW                           | 10/30/2025 | 108971  | \$173.01    |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-FC                  | 10/30/2025 | 9002509 | \$47.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-CH                  | 10/30/2025 | 9002509 | \$62.00     |
| HABITAT PROTECTION, INC               | OCT 25-PEST/RODENT CONTROL-PW                   | 10/30/2025 | 9002509 | \$78.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-LCCC                | 10/30/2025 | 9002509 | \$78.00     |
| BFS GROUP OF CALIFORNIA LLC           | PAINT BRUSH/COVER/BATTERIES                     | 10/30/2025 | 108978  | \$41.59     |
| BFS GROUP OF CALIFORNIA LLC           | SIMPLE GREEN                                    | 10/30/2025 | 108978  | \$28.25     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-SEASCAPE SUR        | 10/30/2025 | 9002509 | \$47.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-DEL MAR SHORES      | 10/30/2025 | 9002509 | \$47.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-FS                  | 10/30/2025 | 9002509 | \$46.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-TIDE PARK           | 10/30/2025 | 9002509 | \$71.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-FCCC                | 10/30/2025 | 9002509 | \$78.00     |
| HABITAT PROTECTION, INC               | OCT 25- PEST/RODENT CONTROL-MS                  | 10/30/2025 | 9002509 | \$78.00     |
| SYMONS FIRE PROTECTION                | FY26- ANNUAL FIRE SPRINKLER INSPECTION-FCCC     | 10/23/2025 | 108962  | \$632.00    |
| SYMONS FIRE PROTECTION                | FY26- ANNUAL FIRE ALARM/SPRINKLER INSPECTION-FS | 10/23/2025 | 108962  | \$1,738.00  |
| WEX FLEET UNIVERSAL                   | 09/08/25 - 10/07/25 - AUTO FUEL                 | 10/30/2025 | 109003  | \$117.99    |
| STANDARD PLUMBING SUPPLY COMPANY      | GAS LINE CONNECTOR/GAS BALL VALVE CONNECTOR     | 10/23/2025 | 108960  | \$71.69     |
| STANDARD PLUMBING SUPPLY COMPANY      | GAS CONNECTOR                                   | 10/23/2025 | 108960  | \$36.63     |

**TOTAL PUBLIC FACILITIES****\$29,889.12****1007110 - GF-RECREATION**

|                                 |                       |            |         |          |
|---------------------------------|-----------------------|------------|---------|----------|
| ABLE PATROL & GUARD INC         | SEP 25-FCCC GAURD SVC | 10/23/2025 | 108948  | \$513.00 |
| CALIFORNIA OFFICE CLEANING, INC | SEP 25-FCCC SVC       | 10/23/2025 | 9002491 | \$450.00 |

**TOTAL GF-RECREATION****\$963.00****1205460 - SELF INSURANCE RETENTION**

|                |                                          |            |         |          |
|----------------|------------------------------------------|------------|---------|----------|
| KYLE KOSZEWNIK | REIMB: PRISM CONFERENCE - 09/29-09/30/25 | 10/30/2025 | 9002512 | \$103.86 |
|----------------|------------------------------------------|------------|---------|----------|

**TOTAL SELF INSURANCE RETENTION****\$103.86****1255465 - WORKERS COMPENSATION**

|                                            |                                                        |            |         |                    |
|--------------------------------------------|--------------------------------------------------------|------------|---------|--------------------|
| CORVEL ENTERPRISE COMP INC                 | AUG 25- CLAIMS SERVICES                                | 10/30/2025 | 108972  | \$114.00           |
| CORVEL ENTERPRISE COMP INC                 | SEP 25- CLAIMS SERVICES                                | 10/30/2025 | 108972  | \$250.00           |
| CORVEL ENTERPRISE COMP INC                 | AUG 25- CLAIMS SERVICES                                | 10/30/2025 | 108972  | \$80.00            |
| CORVEL ENTERPRISE COMP INC                 | SEP 25- CLAIMS SERVICES                                | 10/30/2025 | 108972  | \$1,601.00         |
| <b>TOTAL WORKERS COMPENSATION</b>          |                                                        |            |         | <b>\$2,045.00</b>  |
| <b>1355300 - ASSET REPLACEMENT-FINANCE</b> |                                                        |            |         |                    |
| TYLER TECHNOLOGIES INC                     | MUNIS ANNUAL MAINT 7/1/25 - 6/30/26                    | 10/30/2025 | 108997  | \$17,458.73        |
| <b>TOTAL ASSET REPLACEMENT-FINANCE</b>     |                                                        |            |         | <b>\$17,458.73</b> |
| <b>1406510 - FACILITIES MAINT-CIP</b>      |                                                        |            |         |                    |
| THE REINHART CORP                          | FIRESTATION VEHICLE EXHAUST MODS                       | 10/30/2025 | 108965  | \$8,204.43         |
| <b>TOTAL FACILITIES MAINT-CIP</b>          |                                                        |            |         | <b>\$8,204.43</b>  |
| <b>1605360 - OPEB OBLIGATION</b>           |                                                        |            |         |                    |
| MIDAMERICA                                 | NOVEMBER 25                                            | 10/23/2025 | 9002496 | \$7,935.00         |
| <b>TOTAL OPEB OBLIGATION</b>               |                                                        |            |         | <b>\$7,935.00</b>  |
| <b>2037510 - HIGHWAY 101 LANDSC #33</b>    |                                                        |            |         |                    |
| KOPPEL & GRUBER PUBLIC FINANCE             | Q1-ASSESS DISTRICT BENEFIT FEE<br>PROCESSING/REPORTING | 10/23/2025 | 9002495 | \$850.26           |
| <b>TOTAL HIGHWAY 101 LANDSC #33</b>        |                                                        |            |         | <b>\$850.26</b>    |
| <b>2047520 - MID 9C SANTA FE HILLS</b>     |                                                        |            |         |                    |
| SANTA FE IRRIGATION DISTRICT               | 005979-006 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$2,370.17         |
| SANTA FE IRRIGATION DISTRICT               | 005979-007 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$2,068.67         |
| SANTA FE IRRIGATION DISTRICT               | 005979-009 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$1,485.77         |
| SANTA FE IRRIGATION DISTRICT               | 005979-010 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$911.14           |
| SANTA FE IRRIGATION DISTRICT               | 005979-011 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$937.94           |
| SANTA FE IRRIGATION DISTRICT               | 005979-012 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$187.54           |
| SANTA FE IRRIGATION DISTRICT               | 005979-026 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,002.77         |
| KOPPEL & GRUBER PUBLIC FINANCE             | Q1-ASSESS DISTRICT BENEFIT FEE<br>PROCESSING/REPORTING | 10/23/2025 | 9002495 | \$56.77            |
| SANTA FE IRRIGATION DISTRICT               | 005979-029 - 08/16/25-10/15/25                         | 10/30/2025 | 108993  | \$956.47           |
| SANTA FE IRRIGATION DISTRICT               | 005979-020 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,043.81         |
| SANTA FE IRRIGATION DISTRICT               | 005979-021 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,942.13         |
| SANTA FE IRRIGATION DISTRICT               | 005979-022 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,294.61         |
| SANTA FE IRRIGATION DISTRICT               | 005979-023 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,312.85         |
| SANTA FE IRRIGATION DISTRICT               | 005979-024 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,043.81         |
| SANTA FE IRRIGATION DISTRICT               | 005979-025 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$779.33           |
| SANTA FE IRRIGATION DISTRICT               | 005979-014 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,011.89         |
| SANTA FE IRRIGATION DISTRICT               | 005979-015 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$779.33           |
| SANTA FE IRRIGATION DISTRICT               | 005979-016 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$669.89           |
| SANTA FE IRRIGATION DISTRICT               | 005979-017 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$52.56            |
| SANTA FE IRRIGATION DISTRICT               | 005979-018 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$171.12           |
| SANTA FE IRRIGATION DISTRICT               | 005979-019 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$453.84           |
| <b>TOTAL MID 9C SANTA FE HILLS</b>         |                                                        |            |         | <b>\$20,532.41</b> |
| <b>2057530 - MID 9E ISLA VERDE</b>         |                                                        |            |         |                    |
| KOPPEL & GRUBER PUBLIC FINANCE             | Q1-ASSESS DISTRICT BENEFIT FEE<br>PROCESSING/REPORTING | 10/23/2025 | 9002495 | \$29.19            |
| <b>TOTAL MID 9E ISLA VERDE</b>             |                                                        |            |         | <b>\$29.19</b>     |
| <b>2077550 - MID 9H SAN ELIJO #2</b>       |                                                        |            |         |                    |
| KOPPEL & GRUBER PUBLIC FINANCE             | Q1-ASSESS DISTRICT BENEFIT FEE<br>PROCESSING/REPORTING | 10/23/2025 | 9002495 | \$30.81            |
| <b>TOTAL MID 9H SAN ELIJO #2</b>           |                                                        |            |         | <b>\$30.81</b>     |
| <b>2087580 - COASTAL RAIL TRAIL MAINT</b>  |                                                        |            |         |                    |

|                                                |                                                        |            |         |                     |
|------------------------------------------------|--------------------------------------------------------|------------|---------|---------------------|
| SANTA FE IRRIGATION DISTRICT                   | 005506-020 - 09/01/25-09/30/25                         | 10/23/2025 | 108959  | \$1,934.75          |
| KOPPEL & GRUBER PUBLIC FINANCE                 | Q1-CRT & STREETLIGHT ASSMT DIST                        | 10/23/2025 | 9002495 | \$437.50            |
| <b>TOTAL COASTAL RAIL TRAIL MAINT</b>          |                                                        |            |         | <b>\$2,372.25</b>   |
| <b>2117600 - STREET LIGHTING DISTRICT</b>      |                                                        |            |         |                     |
| KOPPEL & GRUBER PUBLIC FINANCE                 | Q1-CRT & STREETLIGHT ASSMT DIST                        | 10/23/2025 | 9002495 | \$788.70            |
| VERIZON WIRELESS SD                            | 362455526-00001 - 09/02/25-10/01/25                    | 10/30/2025 | 108999  | \$12.84             |
| <b>TOTAL STREET LIGHTING DISTRICT</b>          |                                                        |            |         | <b>\$801.54</b>     |
| <b>213 - DEVELOPER PASSTHRU</b>                |                                                        |            |         |                     |
| BLACK ROCK POOLS                               | RFND: REV24-0096                                       | 10/30/2025 | 108968  | \$1,512.50          |
| BLACK ROCK POOLS                               | RFND: REV24-0096                                       | 10/30/2025 | 108968  | \$51.44             |
| <b>TOTAL DEVELOPER PASSTHRU</b>                |                                                        |            |         | <b>\$1,563.94</b>   |
| <b>2135550 - DEVELOPER PASS-THRU- PLANNING</b> |                                                        |            |         |                     |
| HARRIS & ASSOC. INC.                           | PROF SVC-08/24/25-09/27/25- DRP24-016                  | 10/30/2025 | 9002510 | \$2,465.81          |
| <b>TOTAL DEVELOPER PASS-THRU- PLANNING</b>     |                                                        |            |         | <b>\$2,465.81</b>   |
| <b>2146120 - FIRE MITIGATION FEES</b>          |                                                        |            |         |                     |
| KOPPEL & GRUBER PUBLIC FINANCE                 | Q1-ASSESS DISTRICT BENEFIT FEE<br>PROCESSING/REPORTING | 10/23/2025 | 9002495 | \$648.72            |
| THE REINHART CORP                              | FIRESTATION VEHICLE EXHAUST MODS                       | 10/30/2025 | 108965  | \$14,000.00         |
| ACE UNIFORMS LLC                               | BOOTS                                                  | 10/30/2025 | 9002506 | \$432.95            |
| ACE UNIFORMS LLC                               | BOOTS                                                  | 10/30/2025 | 9002506 | \$378.82            |
| <b>TOTAL FIRE MITIGATION FEES</b>              |                                                        |            |         | <b>\$15,460.49</b>  |
| <b>2505570 - COASTAL BUSINESS/VISITORS</b>     |                                                        |            |         |                     |
| EXTERIOR PRODUCTS INC                          | FY 26-CITY STREET BANNER PROGRAM                       | 10/23/2025 | 9002494 | \$15,516.89         |
| <b>TOTAL COASTAL BUSINESS/VISITORS</b>         |                                                        |            |         | <b>\$15,516.89</b>  |
| <b>2706120 - PUBLIC SAFETY- FIRE</b>           |                                                        |            |         |                     |
| VERIZON WIRELESS SD                            | 962428212-00001 - 08/29/25-09/28/25                    | 10/30/2025 | 108999  | \$159.09            |
| <b>TOTAL PUBLIC SAFETY- FIRE</b>               |                                                        |            |         | <b>\$159.09</b>     |
| <b>459 - MISC. CAPITAL PROJECTS</b>            |                                                        |            |         |                     |
| BERT W SALAS INC                               | FY24 SEWER & STORM DRAIN REHAB RET                     | 10/23/2025 | 9002490 | (\$3,710.15)        |
| <b>TOTAL MISC. CAPITAL PROJECTS</b>            |                                                        |            |         | <b>(\$3,710.15)</b> |
| <b>4596510 - MISC.CAPITALPROJECTS-ENG</b>      |                                                        |            |         |                     |
| BERT W SALAS INC                               | FY24 SEWER & STORM DRAIN REHAB PROJECT                 | 10/23/2025 | 9002490 | \$8,590.00          |
| <b>TOTAL MISC.CAPITALPROJECTS-ENG</b>          |                                                        |            |         | <b>\$8,590.00</b>   |
| <b>509 - SANITATION</b>                        |                                                        |            |         |                     |
| BERT W SALAS INC                               | FY24 SEWER & STORM DRAIN REHAB RET                     | 10/23/2025 | 9002490 | (\$1,890.44)        |
| MISSION LINEN & UNIFORM INC                    | FY26 UNIFORM SERVICES FOR PUBLIC WORKS                 | 10/23/2025 | 108955  | \$11.29             |
| IDRAINS LLC                                    | C- SEWER LINE CLEANING-14,243                          | 10/23/2025 | 108949  | \$8,973.09          |
| WEX FLEET UNIVERSAL                            | 09/08/25 - 10/07/25 - AUTO FUEL                        | 10/30/2025 | 109003  | \$141.58            |
| SANTA FE IRRIGATION DISTRICT                   | 005979-008 - 08/02/25-10/01/25                         | 10/23/2025 | 108959  | \$115.80            |
| MISSION LINEN & UNIFORM INC                    | FY26 UNIFORM SERVICES FOR PUBLIC WORKS                 | 10/30/2025 | 108984  | \$11.29             |
| VERIZON WIRELESS SD                            | 362455526-00001 - 09/02/25-10/01/25                    | 10/30/2025 | 108999  | \$12.84             |
| <b>TOTAL SANITATION</b>                        |                                                        |            |         | <b>\$7,375.45</b>   |
| <b>5096510 - SANITATION-CIP-ENG</b>            |                                                        |            |         |                     |
| BERT W SALAS INC                               | FY24 SEWER & STORM DRAIN REHAB PROJECT                 | 10/23/2025 | 9002490 | \$74,203.00         |
| BERT W SALAS INC                               | FY24 SEWER & STORM DRAIN CONTINGENCY                   | 10/23/2025 | 9002490 | \$29,218.84         |
| <b>TOTAL SANITATION-CIP-ENG</b>                |                                                        |            |         | <b>\$103,421.84</b> |
| <b>6527810 - SUCCESSOR AGENCY</b>              |                                                        |            |         |                     |
| DAVIS FARR, LLP                                | SEP 25- AUDIT SVC                                      | 10/23/2025 | 108951  | \$303.40            |
| <b>TOTAL SUCCESSOR AGENCY</b>                  |                                                        |            |         | <b>\$303.40</b>     |
| <b>6768560 - SO SOLANA SEWER DISTR-DS</b>      |                                                        |            |         |                     |

KOPPEL & GRUBER PUBLIC FINANCE

Q1-ASSESS DISTRICT BENEFIT FEE  
PROCESSING/REPORTING

10/23/2025

9002495

\$474.80

**TOTAL SO SOLANA SEWER DISTR-DS**

**\$474.80**

**REPORT TOTAL:**

**\$776,407.65**



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** Engineering Department – Jason Jung, Senior Civil Engineer  
**SUBJECT:** **Authorizing the City Clerk to File a Notice of Completion for the 2025 Sewer and Storm Drain Project**

---

### **BACKGROUND:**

The construction contract for the 2025 Sewer and Storm Drain Project, Bid No. 2025-02, was awarded to Bert W. Salas on March 12, 2025. Construction of the project was completed in October 2025.

This item is before the City Council for consideration of Resolution 2025-118 reporting the final project costs, accepting the project as complete and directing the City Clerk to file a Notice of Completion.

### **DISCUSSION:**

The City of Solana Beach maintains approximately 53 miles of sewer pipelines and 15 miles of storm drain infrastructure, which are essential to protecting public health and the environment. Regular rehabilitation and replacement projects are necessary to address aging facilities, prevent failures, and ensure compliance with regulatory requirements.

At the City Council meeting on March 12, 2025, the City Council adopted Resolution 2025-005, awarding a construction contract for the 2025 Sewer & Storm Drain Replacements Project, Bid 2025-02, to Bert W. Salas, Inc. Bert W. Salas, Inc. completed the project in accordance with the approved plans and specifications to the satisfaction of the City Engineer. With the City Council's approval of the Notice of Completion, the City will release the 5% retention (\$45,506.38) 35 days after approval.

The final project cost was less than anticipated. During construction, the contractor identified an alternative repair that adequately conveyed stormwater, eliminating the need to construct a new inlet box at Highland Drive. Sealcoating the roads was also removed

COUNCIL ACTION:

---

---

from the scope because the existing pavement was in good condition. These streets will be included in future pavement management projects to minimize disruption to residents.

The following are highlights of the project:

#### Sewer Replacement and Construction

- Replaced 310 linear feet of 6" sewer pipe and constructed a sewer manhole along Pacific Avenue at the intersection of Hill Street.
- Replaced 33 linear feet of 8" sewer pipe and constructed a sewer clean-out at the end of Brookdale Place.
- Replaced 300 linear feet of 6" sewer pipe along Glenmont Drive north of the intersection with Lynwood Avenue.
- Replaced four manhole covers along Pole Road near the San Elijo Lagoon.

#### Storm Drain Replacement and Construction

- Replaced 51 linear feet of elliptical Corrugated Metal Pipe (CMP) crossing under Barbara Avenue.
- Replaced 238 linear feet of circular CMP along Stevens Avenue near the intersection of Valley Avenue.
- Constructed a curb inlet and replaced 65 linear feet of circular CMP crossing under Highland Drive at the intersection of Oranado Lane.
- Constructed two curb inlets and replaced 29 linear feet of circular CMP crossing under Glencrest Drive.
- Replaced 90 linear feet of circular CMP crossing under Valley Avenue.
- Replaced a deteriorated curb inlet on Ridgeline Place.

There were two change orders during construction of the project:

- Change Order No. 1, in the amount of \$29,218.84, was to address unforeseen site conditions and utility conflicts encountered during construction on Glenmont Drive. The sanitary sewer main was found to be 4.5 feet deeper than indicated in the bid documents, and a previously unknown concrete thrust block, which is used to stabilize pressurized water lines, was discovered on a Santa Fe Irrigation District water line. The thrust block required the contractor to modify the construction sequence and begin work upstream of the conflict. This change order compensates for the additional labor, equipment, and shoring necessary to complete the work safely.
- Change Order No. 2, in the amount of \$3,158.14, was executed to replace a deteriorated sanitary sewer manhole cover. The cover had significantly deteriorated over the past year and was not in this condition at the time of project design or bid. The change order covers the additional labor, materials, and equipment required to complete the repair.

**CEQA COMPLIANCE STATEMENT:**

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(c) of the State CEQA Guidelines.

**FISCAL IMPACT:**

The Fiscal Year (FY) 2024/25 Capital Improvement Program (CIP) budget included \$860,000 for Sanitary Sewer Pipeline Rehabilitation (Account 5096510.66610) and \$840,000 for Storm Drain Improvements (Account 4596510.66610).

Both projects were performed within the CIP Budgets authorized. Table 1 lists the base bid amounts, authorized contingencies and final costs:

**Table 1: Project Costs**

| Item                | Sewer               | Storm Drain         | Total                |
|---------------------|---------------------|---------------------|----------------------|
| Base Bid            | \$457,930.00        | \$470,099.00        | \$ 928,029.00        |
| Contingency (15%)   | \$ 69,000.00        | \$ 70,000.00        | \$ 139,000.00        |
| Construction Budget | \$526,930.00        | \$540,099.00        | \$1,067,029.00       |
| Actual Cost         | \$449,470.98        | \$460,656.58        | \$ 910,127.56        |
| <b>Savings</b>      | <b>\$ 77,459.02</b> | <b>\$ 79,442.42</b> | <b>\$ 156,901.44</b> |

The remaining unspent encumbrance of \$77,459.02 for the Sanitary Sewer Pipeline Replacement project will remain in the Sanitation Fund and the remaining unspent encumbrance of \$79,442.42 for the Storm Drain Improvement project will remain in the Miscellaneous CIP Fund for FY 2026 unexpected capital or equipment needs.

**WORK PLAN:**

As outlined under the Environmental Sustainability and Energy section of the FY 2025/26 Council Work Plan, the City continues to advance improvements to its storm drain infrastructure. Sewer and storm drain projects are included in the Capital Improvement Plan and are combined under a single construction contract to minimize excavation and reduce community impacts. Ongoing rehabilitation helps prevent system failures, protects water quality, and extends the useful life of critical infrastructure.

**OPTIONS:**

- Approve Staff recommendation.
- Deny Staff recommendation and provide direction.

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2025-118:

1. Authorizing the City Council to accept, as complete, the 2025 Sewer and Storm Drain Project, Bid No. 2025-02, performed by Bert W. Salas.
2. Authorizing the City Clerk to file a Notice of Completion for the project.



---

Ayssa Muto, City Manager

Attachments:

1. Resolution 2025-118

## RESOLUTION 2025-118

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ACCEPTING AS COMPLETE THE 2025 SEWER AND STORM DRAIN PROJECT, BID NO. 2025-02 AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION**

**WHEREAS**, at the City Council meeting on March 12, 2025, the City Council adopted Resolution 2025-005, awarding a construction contract for the 2025 Sewer & Storm Drain Replacements Project, Bid 2025-02, to Bert W. Salas, Inc.; and

**WHEREAS**, the 2025 Sewer and Storm Drain Project has been completed in accordance with the plans and specifications included as part of the public works contract with Bert W. Salas to the satisfaction of the City Engineer; and

**WHEREAS**, two change orders were executed during construction. Change Order No. 1 compensated the contractor for the unforeseen site conditions and utility conflicts encountered during construction on Glenmont Drive. The sanitary sewer main was found to be 4.5 feet deeper than indicated in the bid documents, and a previously unknown concrete thrust block, which is used to stabilize pressurized water lines, was discovered on a Santa Fe Irrigation District water line. The thrust block required the contractor to modify the construction sequence and begin work upstream of the conflict. Change Order No. 2 compensated the contractor to replace a deteriorated sanitary sewer manhole cover. The cover had significantly deteriorated over the past year and was not in this condition at the time of project design or bid.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts, as complete, the 2025 Sewer and Storm Drain Project, Bid No. 2025-02, performed by Bert W. Salas.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.

**PASSED AND ADOPTED** this 19<sup>th</sup> day of November 2025, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

---

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

ATTEST:

\_\_\_\_\_  
ANGELA IVEY, City Clerk



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** Public Works Department – Luis Carrillo, Deputy Director of Public Works  
**SUBJECT:** **Authorizing the Purchase of a Trailer Mounted Water Pump**

---

### **BACKGROUND:**

The Public Works Department currently operates a 2012 Godwin trailer-mounted water pump. This water pump is primarily used to divert wet-weather stormwater from the desilting basin located within the San Elijo Lagoon, adjacent to the train tracks. The portable water pump plays a critical role during rain events by helping to protect the sewer lines and the access road leading to the Solana Beach Pump Station.

This item is before the City Council for consideration of Resolution 2025-121 (Attachment 1) authorizing the City Manager to purchase a new trailer mounted water pump in the amount of \$71,387.61.

### **DISCUSSION:**

The existing water pump is over 13 years old and has exceeded its expected service life. In recent years, the unit has experienced frequent mechanical breakdowns, resulting in increased maintenance costs and reduced reliability. Due to its strategic placement near the San Elijo Lagoon, the water pump is exposed to harsh coastal environmental conditions, which have accelerated its deterioration.

It is essential for this equipment to always be fully operational and readily available, particularly during heavy rain events. An unreliable water pump poses a significant risk to the City's infrastructure, as a failure could lead to flooding, damage to sewer lines, and limited access to the Solana Beach Pump Station.

The proposed replacement water pump will include several key features designed to improve performance and reduce community impacts. The new unit will be equipped with

COUNCIL ACTION:

---

---

a silenced, sound-attenuated enclosure to minimize noise levels, ensuring that nearby residents are not adversely affected during operation. Additionally, the pump's engine will be specified with horsepower under 50 HP, keeping it compliant with the Air Pollution Control District (APCD) requirements. Because the engine horsepower is below this threshold, the City will not be required to register the equipment with the California Air Resources Board (CARB) and it will not fall under the Diesel Off-Road Online Reporting System (DOORS) registration program.

The existing water pump will be retained within the City's equipment inventory to serve as a secondary unit for emergency use.

#### Procurement Method

If approved, the water pump will be purchased using the General Services Administration (GSA) Federal Acquisition Service, a cooperative purchasing agreement that allows local agencies to procure equipment using pre-negotiated federal contracts. These contracts are competitively solicited and awarded through a formal federal bidding process to ensure fair and reasonable pricing. The contract for this procurement has been awarded to Xylem Dewatering Solutions, Inc. under Contract No. 47QSMS24D00C6.

The City's purchasing ordinance, Section 3.08.130(C) of the Solana Beach Municipal Code, authorizes "public agencies" to participate in cooperative purchasing agreements. The City participates in several cooperative purchasing organizations; these organizations establish and provide nationwide competitively solicited purchasing contracts for use by participating public agencies.

#### **CEQA COMPLIANCE STATEMENT:**

All work covered by this agreement is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(b) of the State CEQA Guidelines.

#### **FISCAL IMPACT:**

The trailer mounted water pump is exclusively for maintenance and protection of the City's infrastructure. There are sufficient funds available in the Miscellaneous Capital Project - Equipment Account (4596510.66400) to fund the purchase of the new pump, in the amount of \$71,387.61.

#### **WORK PLAN:**

While not specifically identified in the Fiscal Year 2025/26 Work Plan, the replacement of critical equipment supports the ongoing maintenance and reliability of City-owned facilities and infrastructure. Proactively addressing essential infrastructure systems helps minimize deferred maintenance and advances the City's goals of ensuring reliable, efficient, and sustainable operations.

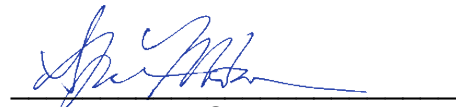
**OPTIONS:**

- Adopt Staff recommendations.
- Reject Staff recommendation and provide direction.

**CITY STAFF RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2025-121:

1. Authorizing the City Manager to purchase a new trailer mounted water pump in the amount of \$71,387.61 from Misc. CIP Equipment Account 4596510.66400.

  
Alyssa Muto, City Manager

**Attachments:**

1. Resolution 2025-121

## RESOLUTION 2025-121

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE PURCHASE OF A TRAILER MOUNTED WATER PUMP

**WHEREAS**, the Public Works Department currently operates a 2012 Godwin trailer-mounted water pump. This equipment is primarily used to divert wet-weather stormwater from the desilting basin located within the San Elijo Lagoon. The portable water pump plays a critical role during rain events by helping to protect the sewer lines and the access road leading to the Solana Beach Pump Station; and

**WHEREAS**, the existing water pump is over 13 years old and has exceeded its expected service life. In recent years, the unit has experienced frequent mechanical breakdowns, resulting in increased maintenance costs and reduced reliability; and

**WHEREAS**, the proposed replacement water pump will include several key features designed to improve performance and reduce community impacts. The new unit will be equipped with a silenced, sound-attenuated enclosure to minimize noise levels, ensuring that nearby residents are not adversely affected during operation; and

**WHEREAS**, Staff recommends authorizing the purchase of a trailer mounted water pump, utilizing General Services Administration (GSA) Federal Acquisition Service Contract No. 47QSMS24D00C6 as the procurement method.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council authorizes the City Manager to purchase a new trailer mounted water pump in the amount of \$71,387.61 from Misc. CIP Equipment Account 4596510.66400.

**PASSED AND ADOPTED** this 19<sup>th</sup> day of November 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

---

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk



## STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** Community Development Department – Katie Benson, Senior Planner  
**SUBJECT:** **Public Hearing: Request for a DRP, SDP, and DUP to Construct a 704 Square-Foot Second-Story Live/Work Unit at 121 West Plaza Street, Solana Beach (Applicant: David Urich; Application: DRP25-001/SDP25-001/DUP25-002; APN: 298-010-44; Resolution No. 2025-120)**

---

### **BACKGROUND:**

The Applicant, David Urich, is requesting City Council approval of a Development Review Permit (DRP), Structure Development Permit (SDP), and Director's Use Permit (DUP) to construct a 704 square-foot second-story Live/Work Unit. The proposed unit would be located above a single-story commercial building currently occupied by a dental office at 121 West Plaza Street. The 1,750 square-foot lot is located in the General Commercial Zone. The property is also located within the Plaza District of the Highway 101 Corridor Specific Plan (HWY 101 CSP) and the Visitor Serving Commercial Overlay I (VSCO I) of the Local Coastal Program Land Use Plan (LUP).

There is no proposed grading associated with the project. The proposed maximum building height is 25.96 feet measured above the pre-existing grade with the maximum roof elevation of 87.13 feet above Mean Sea Level (MSL).

An application for a DRP shall be required for any structure or site development which meets the criteria listed in Solana Beach Municipal Code (SBMC) Section 17.68.040(B)(1)(a-n). The project meets the following criteria for the requirement of a DRP:

- (I) Construction in excess of 500 square feet on a Commercial property.

The project requires an SDP pursuant to SBMC Section 17.63.040(A) because the proposed structure exceeds 16 feet in height measured above the pre-existing grade. The project also requires a DUP pursuant to SBMC Section 17.60.170(C) for the proposal of a Live/Work Unit.

|                                                       |
|-------------------------------------------------------|
| <b>CITY COUNCIL ACTION:</b><br><br>_____<br><br>_____ |
|-------------------------------------------------------|

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request for a DRP, SDP, and DUP as contained in Resolution 2025-120 (Attachment 1). The project plans are included in Attachment 2.

## **DISCUSSION:**

The subject property is located on the south side of West Plaza Street and is currently developed with a 1,370 square-foot single-story commercial building occupied by a dental office and does not include any off-street parking spaces. The existing dental office is a legal nonconforming structure due to a lack of required off-street parking for the existing legal use. The property fronts the West Plaza Street public parking lot to the north and is otherwise surrounded by other commercial developments, notably Pillbox Tavern to the east and Saddle Bar to the west. The adjacent commercial developments also lack any off-street parking.

The existing development consists of 1,370 square feet of office area and 101 square feet of exterior enclosed area on the west side of the building. The proposal includes the construction of a 704 square-foot Live/Work Unit consisting of an open concept kitchen, living, and dining room, one bedroom, one bathroom, and partially covered deck areas. Additionally, the proposal includes the conversion of 75 square feet of office area in the rear southwest corner of the building to an exterior staircase, which would provide access to the Live/Work Unit. Below is a rendering of the proposed project. It should be noted that the drawing does not depict the existing single-story Saddle Bar building to the west but does include the two-story Pillbox Tavern building to the east.



Pursuant to SBMC Section 17.16.060, additions to nonconforming structures are permissible, provided such additions *do not increase the size or degree of the existing nonconformity*. The parking requirements outlined in SBMC Section 17.52.040 do not specify individual parking requirements for Live/Work units as the use is incidental to the primary commercial use. If approved, the proposed addition of a Live/Work Unit to the existing legal structural nonconforming (with respect to required off-street parking) dental office building would not require additional off-street parking and therefore, it could be determined that it does not increase the size or degree of the existing parking nonconformity.

The proposed addition is subject to the DRP and SDP, and the proposed Live/Work Unit is subject to the DUP. Pursuant to SBMC Section 17.72.010 D, developments which require more than one land use permit shall be consolidated into one project with a comprehensive review and approval. Therefore, the DUP, otherwise considered by the Community Development Director, shall be considered by the City Council with the DRP and SDP.

Table 1, below, provides a comparison of the SBMC applicable zoning regulations with the Applicant's proposed design.

| Table 1                                                                                                                |                |                                                                  |                                            |                                    |
|------------------------------------------------------------------------------------------------------------------------|----------------|------------------------------------------------------------------|--------------------------------------------|------------------------------------|
| LOT INFORMATION                                                                                                        |                |                                                                  |                                            |                                    |
| Property Address:                                                                                                      | 121 W Plaza St | Zoning Designation:                                              | C                                          |                                    |
| Lot Size:                                                                                                              | 1,750 sf       | Overlay Zone(s):                                                 | Plaza District (HWY 101 CSP), VSCO I (LUP) |                                    |
| Max. Allowable FAR (1.2):                                                                                              | 2,100 sf       | Existing Dev:                                                    | Dental Office*                             |                                    |
| Proposed Floor Area:                                                                                                   | 2,100 sf       | * Legal non-conforming structure due to no off-street parking    |                                            |                                    |
| Max. Allowable Height:                                                                                                 | 26 ft          |                                                                  |                                            |                                    |
| Max. Height with DRP:                                                                                                  | 25.96 ft       |                                                                  |                                            |                                    |
| PROPOSED PROJECT INFORMATION                                                                                           |                |                                                                  |                                            |                                    |
| Proposed Floor Area Breakdown:                                                                                         |                | Setbacks:                                                        | Required                                   | (E) Office (P) Unit (Roof/Deck)*** |
| (E) Ground Floor Office                                                                                                | 1,370 sf       | Front (N)                                                        | 0'                                         | 0' 9' (0'/0')                      |
| (E) Exterior Enclosed Area                                                                                             | 101 sf         | Side (E)                                                         | 0'                                         | 0' 3' (22"/0')                     |
| (P) Conversion to Stairs                                                                                               | - 75 sf        | Side (W)                                                         | 0'                                         | 0' 3' (0'/0')                      |
| (P) Upper Level Live/Work Unit                                                                                         | 704 sf         | Rear (S)                                                         | 0'                                         | 5' 19' (11'/0')                    |
| Gross Floor Area:                                                                                                      | 2,100 sf       | *** (P) Live/Work Unit Living Area (Roof Eave or Trellis / Deck) |                                            |                                    |
| Required Off-Street Parking:                                                                                           | 7 spaces       | Required Land Use Permits:                                       |                                            |                                    |
| E/P Off-Street Parking:                                                                                                | 0 spaces**     | DRP – 500 sf + addition to Commercial property                   |                                            |                                    |
| ** No additional parking required for a Live/Work Unit. No increase to the size or degree of the nonconforming parking |                | SDP – construction in excess of 16'                              |                                            |                                    |
|                                                                                                                        |                | DUP – Live/Work Unit                                             |                                            |                                    |

Staff has prepared draft findings for approval of the DRP in the attached Resolution 2025-120 for the City Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and recommended conditions of approval from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-120.

**Development Review Permit Compliance (SBMC Section 17.68.40):**

It is the purpose and intent of the DRP regulations to provide for the review of certain classes of development projects which due to their scale, proximity to environmentally sensitive resource areas, or unique design features as permitted by a zone or specific plan, require special discretionary consideration to ensure consistency with the general plan and the intent of the zone in which the property is located. These regulations are intended to encourage site and structural development which (1) respects the physical and environmental characteristics of the site, (2) ensures safe and convenient access and circulation for pedestrians and vehicles, and (3) exemplifies the best professional design practices. The Council may approve, or conditionally approve, a DRP only if each of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-120 provides the full discussion of the findings.

- 1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.*
- 2. The proposed development complies with the applicable development review criteria.*
- 3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*
- 4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

**DRP Finding #1**

**General Plan Consistency**

The proposed Project may be found consistent with the General Plan, which designates the property as General Commercial and is intended for resident and visitor serving commercial and retail uses with other uses permitted or conditionally permitted. The proposed Project may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

- Policy LU-3.2 Enable residents to reduce their commutes by allowing and encouraging the creation of live/work units for artists, craftspeople, and other professions, promoting home occupations and telecommuting, and supporting other means of achieving a jobs/housing balance.

The referenced Land Use Policy references Live/Work Units as a mechanism to reduce commutes and balance between the needs for housing and jobs within the City.

### Specific Plans and Special Overlays

The subject property is located within the boundaries of the Plaza District of the HWY 101 CSP as well as the VSCO I of the LUP. Additionally, the entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of construction permits.

### Highway 101 Corridor Specific Plan

In 2003, the City Council originally adopted the HWY 101 CSP and subsequently amended the plan in 2006, and 2018. The HWY 101 CSP specifies development standards including minimum off-street parking, maximum gross floor area, maximum building height, and minimum setbacks that supersede the underlying development standards outlined in the SBMC. Analysis of the project's consistency with the HWY 101 CSP and SBMC development standards are provided later in this report.

### Local Coastal Plan/Land Use Plan Consistency

The City Council adopted the LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered to be advisory rather than mandatory at this time. The purpose of the LUP is to implement the State's goals for the coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike.

The property is designated General Commercial, which is intended to provide for commercial activities and services of a more intensive nature and includes both visitor serving land uses and land uses likely to be patronized by residents. The property is also located within the VSCO I, which is intended to reserve sufficient land in appropriate locations exclusively for high-priority commercial, recreation and visitor-serving uses. The designation provides land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who visit and recreate at the coast. Allowable uses include hotels, motels, restaurants, music venues, entertainment attractions, retail, and specialty/artisan retail commercial uses. Mixed use development with office or residential above the ground level is also permitted. Existing uses may remain and any future redevelopment shall be consistent with the VSCO I overlay requirements.

- Policy 5.45: Existing, lawfully established structures that are not located on property located between the sea and its inland extent and the first public road paralleling the sea (or lagoon) that were built prior to the adopted date of the LUP that do not conform to the provisions of the LCP shall be considered non-conforming structures. Non-conforming uses or structures may not be increased or expanded into additional locations or structures. Such structures may be maintained and repaired as long as the improvements do not increase the size or degree of non-conformity. This section shall not be interpreted to allow the reconstruction of a non-conforming structure unless destroyed by a disaster as defined in Public Resources Code § 30610(g)(2)(A). Additions and improvements to such structures may be permitted provided that such additions or improvements do not increase the size or degree of the non-conformity.

The existing dental office use has been in operation since prior to the adoption of the LUP. Live/Work Units are not expressly referenced in the LUP. However, it could be found that the use, as conditionally permitted in the SBMC and referenced in the General Plan, is an incidental use to the dental office and not an expansion of the existing use in conformance with the nonconforming provisions of the LUP.

#### Zoning Ordinance Consistency

SBMC Section 17.20.010(A) specifies that the General Commercial Zone is intended to provide for commercial activities and services of a more intensive nature. These uses would be located primarily along major transportation routes and would include major shopping facilities and service centers. In addition, the general commercial zone is intended to accommodate and promote tourist-oriented commercial uses along Highway 101.

Medical offices, including the existing dental office, are permissible in the General Commercial Zone. Pursuant to SBMC Section 17.60.170, Live/Work building and units are permissible in the General Commercial Zone subject to a DUP and the following development regulations:

1. The minimum total square footage of an individual live/work unit shall be 500 square feet.
2. New live/work buildings (excluding conversions) shall provide a minimum of four units.
3. Any commercial zone in which a live/work use is located shall remain a commercial zone and the occupant of the live/work use by selecting this type of occupancy accepts the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone. The director of community development or city council may include conditions to this effect which would be recorded as part of the conditional use permit.
4. The living space shall not be rented or sold separately from the working space.

5. Vehicular parking and loading spaces shall be established by the conditional use permit based on the proposed uses and by review of a parking/loading report prepared by the applicant.
6. All building, fire, electrical, mechanical and other applicable codes shall be adhered to including the American Disabilities Act unless specifically exempted by said codes. City staff shall exercise discretion in interpreting such codes to encourage live/work projects, but shall not compromise public health, safety and welfare standards.

The proposed 704 square-foot Live/Work Unit meets the minimum size, is an addition to an existing legal nonconforming commercial development, and as conditioned would meet the Live/Work Unit regulations.

SBMC Section 17.24.030 as well as the HWY 101 CSP Chapter 4.2 outline property development regulations, which are analyzed below.

#### Minimum Yards/Setbacks:

The HWY101 CSP and SBMC specify zero lot lines for the Commercial Zone. The existing building includes zero lot lines on the front (north), east side and west side and a five-foot setback on the rear (south). The proposed second-floor Live/Work Unit is setback 9 feet from the front, 3 feet from the east side, 3 feet from the west side, and 19 feet from the rear. The surrounding deck area, deck railings, and portions of the roof (eaves and trellises) include zero lot lines. As designed, the project complies with the minimum setbacks.

#### Maximum Floor Area Ratio:

The maximum allowable floor area ratio for the Commercial Zone is 1.2:1 (or 120 percent of the gross lot area). The maximum allowable floor area for the 1,750 square-foot lot is 2,100 square feet.

The gross floor area of the existing development includes the 1,370 square-foot dental office and a 101 square-foot enclosed exterior area. The proposed project includes the conversion of 75 square feet of the dental office to an exterior staircase that would not count as gross floor area as well as the addition of a 704 square-foot Live/Work unit on the second floor. The total proposed gross floor area would be 2,100 square feet, which is also the maximum allowable for the property.

#### Maximum Building Height:

The maximum building height in the General Commercial Zone is 26 feet. The maximum elevation of the proposed project would be 25.96 feet or 87.13 feet above MSL.

The proposed addition would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed later in this report.

As a condition of approval, the Applicant would be required to submit a height certification prepared by a licensed land surveyor prior to the framing inspection.

**Required Off-Street Parking:**

The minimum required off-street parking for the non-mixed use development in the Plaza District of the HWY 101 CSP is 3.35 spaces per 1,000 square feet of floor area per Table 3-8. The existing 1,370 square-foot dental office requires 5 off-street parking spaces. The proposed 75 square-foot reduction of the dental office also requires 5 off-street parking spaces. No off-street parking spaces are provided under the existing conditions or with the proposed project.

Pursuant to SBMC Section 17.60.170, Live/Work is an allowable incidental (accessory) use to a light industrial or commercial use. The parking requirements outlined in SBMC Section 17.52.040 do not specify individual parking requirements for Live/Work units as the use is incidental to the primary light industrial or commercial use. The existing dental office located on the subject site is a legal commercial use and a legal nonconforming structure due to a lack of required off-street parking for the dental office. Pursuant to SBMC Section 17.16.060, additions to nonconforming structures are permissible, provided such additions *do not increase the size or degree of the existing nonconformity*. It could be found that the proposed addition of a Live/Work Unit to the existing dental office would not generate the need for additional off-street parking as the occupant is required to work at the ground floor business and therefore, not increase the size or degree of the existing parking nonconformity.

**DRP Finding #2**

The development review criteria topics referenced in DRP Finding #2 and SBMC Section 17.68.040(F) are listed below with further discussion as to how they relate to the proposed Project:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

**Relationship with Adjacent Land Uses:**

The property is located within the General Commercial Zone. Surrounding properties are also located in the General Commercial Zone and are developed with a mix of one- and two-story commercial developments including a single-story bar to the west, a bar and grill with permitted outdoor dining and second-floor office space to the east, and a retail store and massage establishment with second-floor residential units to the south. With the development standards prescribed for a Live/Work Unit, the Applicant accepts the existing surrounding uses, including the Saddle Bar and Pillbox Tavern.

The exterior walls of the proposed Live/Work Unit would be setback 3 feet from east and west side property lines and over 19 feet from the rear property line. The proposed Live/Work Unit includes only clearstory windows on the east elevation to provide privacy between the unit and the adjacent office spaces.

As designed and conditioned, the proposed Live/Work Unit could be found to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

#### Building and Structure Placement:

The proposed 704 square-foot second-story Live/Work Unit is 40 percent of the 1,750 square-foot lot. The solid massing of the unit is setback at least 9 feet from the front property line, 19 feet from the rear property line, between 3 and 5 feet from the west side property line, and 3 feet from the east side property line. A deck would wrap around the majority of the living unit with a partial solid and glass railing along the north and west sides and a solid guardrail on the east side. The attached open trellis extends to the front property line and is setback 11 feet from the rear property line. The attached trellis extends to the west side property line at the northwest corner of the property adjacent to the single-story commercial building (Saddle Bar), and the roof eave steps back further from the property line toward the rear of the proposed structure. The roof eave and attached trellises are setback between 22 and 31 inches from the east side property line and adjacent two-story commercial building (Pillbox Tavern).

Given these design aspects, the proposed addition could be found to be sited and designed to visually and functionally enhance the intended use by providing relief of massing from adjacent properties.

#### Landscape:

The existing site and proposed project do not include landscaping.

#### Roads, Pedestrian Walkways, Parking, and Storage Areas:

The Applicant has identified two options for the occupant to access the proposed Live/Work Unit. The first would be from the Plaza Street public sidewalk, through the dental office to the rear (south) side of the subject property, and up the exterior staircase. The second would be from the South Acacia Street public sidewalk, through a pedestrian gate, across an existing easement for ingress and egress along the north side of the property immediately to the south (118 South Acacia Street), across the shared property line, and up the exterior staircase. The existing easement documentation provided by the Applicant for access at 118 South Acacia Street is for ingress and egress in the benefit of the subject property and allows for the gate to prevent vehicular traffic with a key provided to the owner of the subject property.

The air conditioning units located at the southeast corner of the deck area include appropriate screening. The project does not include other roads, pedestrian walkways, parking, or storage areas.

Grading:

The project does not include grading.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project includes a private deck surrounding the Live/Work Unit, but open spaces are not required for the proposed project. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

**DRP Finding #3**

The Project requires a DRP, SDP, and DUP. The Applicant has satisfied the requirements of the SDP, which is explained in detail later in this report. The analysis of the findings for the DUP is also included later in this report.

**DRP Finding #4**

The project is located within the Coastal Zone, and as a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of a building permit.

**Structure Development Permit (SDP) Compliance:**

The proposed structure would exceed 16 feet in height measured above the pre-existing grade; therefore, the project must comply with all View Assessment requirements of SBMC Chapter 17.63, and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor and submitted on August 13, 2025, which showed the proposed maximum building height of 25.96 feet measured above the existing grade with the maximum roof elevation of 87.13 feet above MSL. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by October 9, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP and DUP, the SDP would be approved administratively.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum building height of 25.96 feet measured above the existing grade with the maximum roof elevation of 87.13 feet above MSL.

### **Director's Use Permit:**

Finally, in addition to the zoning requirements noted above, the proposed Live/Work Unit is subject to the City Council approval of a DUP. "Live/work" is defined in SBMC Section 17.60.170(B) as *an occupancy by an individual or a family maintaining a common household consisting of one or more rooms or floors in a building originally designed for industrial or commercial occupancy, or in a new building specifically designed for live/work use and includes the following:*

1. *Cooking and sanitary facilities in accordance with applicable standards as adopted by the city of Solana Beach; and*
2. *Adequate working space reserved for that sole purpose and used by one or more persons residing therein.*

The proposed Live/Work Unit includes adequate cooking and sanitary facilities and, as conditioned, would be limited to occupancy by one or more persons working on the ground floor commercial use.

The three findings required to approve a DUP, as contained in SBMC Section 17.68.010(F), are provided below. If the findings cannot be made, the Council shall deny the DUP. Resolution 2025-120 provides the full discussion of the findings.

1. *That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located.*
2. *That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*
3. *That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC 17.68.020.*

### **DUP Finding #1**

The proposed Live/Work Unit could be found to be consistent with the purpose and intent of the Live/Work Use by providing an on-site dwelling unit occupied by one or more persons working on the current commercial use. The proposed Live/Work Unit could also be found to be consistent with Policy LU-3.2 of the City's adopted General Plan.

Policy LU-3.2 Enable residents to reduce their commutes by allowing and encouraging the creation of live/work units for artists, craftspeople, and other professions, promoting home occupations and telecommuting, and supporting other means of achieving a jobs/housing balance.

### **DUP Finding #2**

As conditioned, the proposed Live/Work Unit could be found to not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in

the vicinity. Following the third Live/Work regulation, *the occupant of the live/work use by selecting this type of occupancy accepts the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone.* As a condition of approval, the occupant of the Live/Work Unit accepts the conditions and activities in the commercial area and would be limited in submitting complaints to Code Enforcement regarding the surrounding commercial activities such as the adjacent bar and restaurant as well as public parking in the Plaza Street public parking lot, existing and future permitted outdoor dining areas, deliveries and refuse pickup, and other conditions typically created by permitted commercial uses.

### **DUP Finding #3**

Pursuant to SBMC Section 17.60.170, Live/Work building and units are permissible in the General Commercial Zone subject to a DUP and the following development regulations:

1. The minimum total square footage of an individual live/work unit shall be 500 square feet.
2. New live/work buildings (excluding conversions) shall provide a minimum of four units.
3. Any commercial zone in which a live/work use is located shall remain a commercial zone and the occupant of the live/work use by selecting this type of occupancy accepts the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone. The director of community development or city council may include conditions to this effect which would be recorded as part of the conditional use permit.
4. The living space shall not be rented or sold separately from the working space.
5. Vehicular parking and loading spaces shall be established by the conditional use permit based on the proposed uses and by review of a parking/loading report prepared by the applicant.
6. All building, fire, electrical, mechanical and other applicable codes shall be adhered to including the American Disabilities Act unless specifically exempted by said codes. City staff shall exercise discretion in interpreting such codes to encourage live/work projects, but shall not compromise public health, safety and welfare standards.

The proposed 704 square-foot Live/Work Unit exceeds the 500 square-foot minimum size. The proposal is an addition to an existing commercial building and, therefore, not subject to the four-unit minimum. The subject property will maintain the General Commercial Zoning designation and, as conditioned, the Applicant and any future tenant will accept the conditions found in the area. As conditioned, occupancy of the Live/Work Unit will be limited to person or person(s) working on the ground floor commercial business. The existing development is legal nonconforming due to the lack of off-street parking, and the proposed Live/Work Unit could be found to not increase the size or

degree of the nonconforming parking because the occupant of the Live/Work Unit would be required to work at the ground-floor business. Should the project be approved, detailed construction plans would be reviewed for compliance with all building, fire, electrical, mechanical and other applicable codes prior to the issuance of a Building Permit.

**Property Frontage and Public Right-of-Way Improvements:**

This property frontage is improved with a sidewalk abutting the Plaza Street public parking lot. No additional street improvements are required.

**Public Hearing Notice:**

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on October 23, 2025.

The Applicant provided a letter to the City Council, which is included in Attachment 3 as well as communication sent to the property owners/representatives of 118 South Acacia Street, which is included in Attachment 4. Correspondence from the adjacent property owners of 117 Plaza Street (Fletcher) and 118 South Acacia Street (Niedernhofer) is included in Attachment 5.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines. Class 3 consists of the construction and location of limited numbers of new, small facilities or structures, installation of small equipment and facilities in small structures and the conversion of small structures from one use to another where only minor modification are made in the exterior of the structure. Examples of this exemption include, but are not limited to:

2. A duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed not for more than six dwelling units.

The proposed project consists of the construction of one dwelling unit in the form of a Live/Work Unit and is, therefore, exempt from CEQA.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2025-120.

- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP, SDP, and DUP.
- Deny the project if all required findings for the DRP, SDP, and DUP cannot be made.

**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum objective requirements under the SBMC, could be found to be consistent with the General Plan and could be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP, a DUP and administratively issue an SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-120 conditionally approving a DRP, SDP, and DUP to construct a 704 square-foot second-story Live/Work Unit located above a single-story commercial building currently occupied by a dental office at 121 West Plaza Street, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



---

Alyssa Muto, City Manager

**Attachments:**

1. Resolution 2025-120 – DRP/SDP/DUP
2. Project Plans Dated August 13, 2025
3. Applicant Letter to Council
4. Applicant Communication with 118 South Acacia
5. Neighbor Correspondence

## **RESOLUTION 2025-120**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT, STRUCTURE DEVELOPMENT PERMIT, AND DIRECTOR'S USE PERMIT TO CONSTRUCT 704 SQUARE-FOOT SECOND-STORY LIVE/WORK UNIT AT 121 WEST PLAZA STREET, SOLANA BEACH, APN: 298-010-44**

**APPLICANT: DAVID URICH**

**APPLICATION: DRP25-001 / SDP25-001 / DUP25-002**

**WHEREAS**, David Urich (hereinafter referred to as "Applicant"), has submitted an application for a Development Review Permit (DRP), Structure Development Permit (SDP), and Director's Use Permit (DUP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on November 19, 2025, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP, SDP, and DUP to construct a 704 square-foot second-story Live/Work Unit located above a single-story commercial building currently occupied by a dental office at 121 West Plaza Street is conditionally approved based upon the following Findings and subject to the following Conditions:
- III. FINDINGS
  - A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project is found consistent with the General Plan, which designates the property as General Commercial and is intended for resident and visitor serving commercial and retail uses with other uses permitted or conditionally permitted. The proposed Project may be found to be consistent with the following General Plan policies in the City's Land Use (LU) Element for residential land uses:

- Policy LU-3.2 Enable residents to reduce their commutes by allowing and encouraging the creation of live/work units for artists, craftspeople, and other professions, promoting home occupations and telecommuting, and supporting other means of achieving a jobs/housing balance.

The referenced Land Use Policy references Live/Work Units as a mechanism to reduce commutes and balance between the needs for housing and jobs within the City.

Specific Plans and Special Overlays:

The subject property is located within the boundaries of the Plaza District of the HWY 101 CSP as well as the VSCO I of the LUP. Additionally, the entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of construction permits.

Highway 101 Corridor Specific Plan

The City Council originally adopted the HWY 101 CSP on June 19, 2003, and subsequently amended the plan on July 28, 2006, and June 27, 2018. The HWY 101 CSP specifies development standards including minimum off-street parking, maximum gross floor area, maximum building height, and minimum setbacks that supersede the underlying development standards outlined in the SBMC. Analysis of the project's consistency with the HWY 101 CSP and SBMC development standards are provided below.

Local Coastal Plan/Land Use Plan Consistency

The City Council adopted the LUP on February 27, 2013 (amended and certified on June 11, 2014). Although the LUP has been certified by the California Coastal Commission, the Local Implementation Plan (LIP) portion of the LCP has not yet been certified; as such, the provisions of the LUP are considered to be advisory rather than mandatory at this time. The purpose of the LUP is to implement the State's goals for the

coastal zone. The City's LUP provides long-term goals that promote the beneficial use of lands in the City and the beach and shoreline for residents and visitors alike.

The property is designated General Commercial, which is intended to provide for commercial activities and services of a more intensive nature and includes both visitor serving land uses and land uses likely to be patronized by residents. The property is also located within the VSCO I, which is intended to reserve sufficient land in appropriate locations exclusively for high-priority commercial recreation and visitor serving uses. The designation provides land to meet the demand for goods and services required primarily by the tourist population, as well as local residents who visit and recreate at the coast. Allowable uses include hotels, motels, restaurants, music venues, entertainment attractions, retail, and specialty/artisan retail commercial uses. Mixed use development with office or residential above the ground level is also permitted. Existing uses may remain and any future redevelopment shall be consistent with the VSCO I overlay requirements.

- Policy 5.45: Existing, lawfully established structures that are not located on property located between the sea and its inland extent and the first public road paralleling the sea (or lagoon) that were built prior to the adopted date of the LUP that do not conform to the provisions of the LCP shall be considered non-conforming structures. Non-conforming uses or structures may not be increased or expanded into additional locations or structures. Such structures may be maintained and repaired as long as the improvements do not increase the size or degree of non-conformity. This section shall not be interpreted to allow the reconstruction of a non-conforming structure unless destroyed by a disaster as defined in Public Resources Code § 30610(g)(2)(A). Additions and improvements to such structures may be permitted provided that such additions or improvements do not increase the size or degree of the non-conformity.

The existing dental office use has been in operation since prior to the adoption of the LUP. Live/Work Units are not expressly referenced in the LUP. However, it is found that the use, as conditionally permitted in the SBMC and referenced in the General Plan, is an incidental use to the dental office and not an expansion of the existing use in conformance with the nonconforming provisions of the LUP.

Zoning Ordinance Consistency:

SBMC Section 17.20.010(A) specifies that the General Commercial Zone is intended to provide for commercial activities and services of a more intensive nature. These uses would be located primarily along major transportation routes and would include major shopping facilities

and service centers. In addition, the general commercial zone is intended to accommodate and promote tourist-oriented commercial uses along Highway 101.

Medical offices, including the existing dental office, are permissible in the General Commercial Zone. Pursuant to SBMC Section 17.60.170, Live/Work building and units are permissible in the General Commercial Zone subject to a DUP and the following development regulations:

1. The minimum total square footage of an individual live/work unit shall be 500 square feet.
2. New live/work buildings (excluding conversions) shall provide a minimum of four units.
3. Any commercial zone in which a live/work use is located shall remain a commercial zone and the occupant of the live/work use by selecting this type of occupancy accepts the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone. The director of community development or city council may include conditions to this effect which would be recorded as part of the conditional use permit.
4. The living space shall not be rented or sold separately from the working space.
5. Vehicular parking and loading spaces shall be established by the conditional use permit based on the proposed uses and by review of a parking/loading report prepared by the applicant.
6. All building, fire, electrical, mechanical and other applicable codes shall be adhered to including the American Disabilities Act unless specifically exempted by said codes. City staff shall exercise discretion in interpreting such codes to encourage live/work projects, but shall not compromise public health, safety and welfare standards.

The proposed 704 square-foot Live/Work Unit meets the minimum size, is an addition to an existing legal nonconforming commercial development, and as conditioned meets the Live/Work Unit regulations.

SBMC Section 17.24.030 as well as the HWY 101 CSP Chapter 4.2 outline property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

The HWY 101 CSP and SBMC specify zero lot lines for the Commercial Zone. The existing building includes zero lot lines on the front (north), east side and west side and a five-foot setback on the rear (south). The proposed second-floor Live/Work Unit is setback 9 feet from the front, 3 feet from the east side, 3 feet from the west side, and 19 feet from the rear. The surrounding deck area, deck railings, and portions of the roof (eaves and trellises) include zero lot lines. As designed, the project complies with the minimum setbacks

#### Maximum Floor Area Ratio:

The maximum allowable floor area ratio for the Commercial Zone is 1.2:1 (or 120 percent of the gross lot area). The maximum allowable floor area for the 1,750 square-foot lot is 2,100 square feet.

The gross floor area of the existing development includes the 1,370 square-foot dental office and a 101 square-foot enclosed exterior area. The proposed project includes the conversion of 75 square feet of the dental office to an exterior staircase that would not count as gross floor area as well as the addition of a 704 square-foot Live/Work unit on the second floor. The total proposed gross floor area is 2,100 square feet, which is also the maximum allowable for the property.

#### Maximum Building Height:

The maximum building height in the General Commercial Zone is 26 feet. The maximum elevation of the proposed project is 25.96 feet or 87.13 feet above MSL.

The proposed addition would exceed 16 feet in height from the pre-existing grade. Therefore, the project is subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. Compliance with those provisions is discussed in the SDP Section.

As a condition of approval, the Applicant would be required to submit a height certification prepared by a licensed land surveyor prior to the framing inspection.

#### Required Off-Street Parking:

The minimum required off-street parking for the non-mixed-use development in the Plaza District of the HWY 101 CSP is 3.35 spaces per 1,000 square feet of floor area per Table 3-8. The existing 1,370 square-foot dental office requires 5 off-street parking spaces. The proposed 75 square-foot reduction of the dental office also requires 5 off-street parking spaces. No off-street parking spaces are provided under the existing conditions or with the proposed project.

Pursuant to SBMC Section 17.60.170, Live/Work is an allowable incidental (accessory) use to a light industrial or commercial use. The parking requirements outlined in SBMC Section 17.52.040 do not specify individual parking requirements for Live/Work units as the use is incidental to the primary light industrial or commercial use. The existing dental office located on the subject site is a legal commercial use and a legal nonconforming structure due to a lack of required off-street parking for the dental office. Pursuant to SBMC Section 17.16.060, additions to nonconforming structures are permissible, provided such additions *do not increase the size or degree of the existing nonconformity*. The proposed addition of a Live/Work Unit to the existing dental office would not require additional off-street parking and therefore, would not increase the size or degree of the existing parking nonconformity.

*II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040(F):*

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the General Commercial Zone. Surrounding properties are also located in the General Commercial Zone and are developed with a mix of one- and two-story commercial developments including a single-story bar to the west, a bar and grill with permitted outdoor dining and second-floor office space to the east, and a retail store and massage establishment with second-floor residential units to the south. With the development standards prescribed for a Live/Work Unit, the Applicant accepts the existing surrounding uses, including the Saddle Bar and Pillbox Tavern.

The exterior walls of the proposed Live/Work Unit would be setback 3 feet from east and west side property lines and over 19 feet from the rear property line. The proposed Live/Work Unit includes only clearstory windows on the east elevation to provide privacy between the unit and the adjacent office spaces.

As designed and conditioned, the proposed Live/Work Unit could be found to be compatible in terms of scale, apparent bulk, and massing and complementary to existing development in the immediate vicinity.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed 704 square-foot second-story Live/Work Unit is 40 percent of the 1,750 square-foot lot. The solid massing of the unit is setback at least 9 feet from the front property line, 19 feet from the rear property line, between 3 and 5 feet from the west side property line, and 3 feet from the east side property line. A deck would wrap around the majority of the living unit with a partial solid and glass railing along the north and west sides and a solid guardrail on the east side. The attached open trellis extends to the front property line and is setback 11 feet from the rear property line. The attached trellis extends to the west side property line at the northwest corner of the property adjacent to the single-story commercial building (Saddle Bar), and the roof eave steps back further from the property line toward the rear of the proposed structure. The roof eave and attached trellises are setback between 22 and 31 inches from the east side property line and adjacent two-story commercial building (Pillbox Tavern).

Given these design aspects, the proposed addition could be found to be sited and designed to visually and functionally enhance the intended use by providing relief of massing from adjacent properties.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The existing site and proposed project do not include landscaping.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The Applicant has identified two options for the occupant to access the proposed Live/Work Unit. The first is from the Plaza Street public sidewalk, through the dental office to the rear (south) side of the subject property, and up the exterior

staircase. The second is from the South Acacia Street public sidewalk, through a pedestrian gate, across an existing easement for ingress and egress along the north side of the property immediately to the south (118 South Acacia Street), across the shared property line, and up the exterior staircase. The existing easement documentation provided by the Applicant for access at 118 South Acacia Street is for ingress and egress in the benefit of the subject property and allows for the gate to prevent vehicular traffic with a key provided to the owner of the subject property.

The air conditioning units located at the southeast corner of the deck area include appropriate screening. The project does not include other roads, pedestrian walkways, parking, or storage areas.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project does not include grading.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project includes a private deck surrounding the Live/Work Unit, but open spaces are not required for the proposed project.

As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit and Director's Use Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of a Building Permit.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure would exceed 16 feet in height measured above the pre-existing grade; therefore, the project must comply with all View Assessment requirements of SBMC Chapter 17.63, and the Applicant was required to complete the SDP process. The Story Pole Height Certification was certified by a licensed land surveyor and submitted on August 13, 2025, which showed the proposed maximum building height of 25.96 feet measured above the existing grade with the maximum roof elevation of 87.13 feet above MSL. Notices were mailed to property owners and occupants within 300 feet of the project site establishing a deadline to file for View Assessment by October 9, 2025. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP and DUP, the SDP would be approved administratively.

As a condition of approval, a height certification prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the maximum building height of 25.96 feet measured above the existing grade with the maximum roof elevation of 87.13 feet above MSL.

- C. In accordance with Section 17.68.010 (Conditional (Director's) Use Permit) of the Solana Beach Municipal Code, the City Council finds the following:

- I. That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zones in which the site is located;*

The proposed Live/Work Unit is found to be consistent with the purpose and intent of the Live/Work Use by providing an on-site dwelling unit occupied by an employee of the current commercial use. The proposed Live/Work Unit is also found to be consistent with Policy LU-3.2 of the City's adopted General Plan.

Policy LU-3.2 Enable residents to reduce their commutes by allowing and encouraging the creation of live/work units for artists, craftspeople, and other professions, promoting home occupations and telecommuting, and supporting other means of achieving a jobs/housing balance.

- II. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity;*

As conditioned, the proposed Live/Work Unit is found to not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. As conditioned, the Applicant will provide a signed affidavit under penalty of perjury accepting the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the General Commercial Zone. The affidavit shall also accept that complaints submitted to Code Enforcement regarding these permitted conditions will be investigated, but consideration will be given to the legal uses. Following the third Live/Work regulation, the Applicant and the occupant of the live/work unit, by selecting this type of occupancy, accepts the conditions and activities found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone. As a condition of approval, the occupant of the Live/Work Unit would be limited in submitting complaints to Code Enforcement regarding the surrounding commercial activities such as the adjacent bar and restaurant as well as public parking in the Plaza Street public parking lot, permitted outdoor dining areas, deliveries and refuse pickup, and other conditions typically created by permitted commercial uses.

- III. That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC 17.68.020;*

Pursuant to SBMC Section 17.60.170, Live/Work buildings and units are permissible in the General Commercial Zone subject to a DUP and the following development regulations:

- 1. The minimum total square footage of an individual live/work unit shall be 500 square feet.*

2. New live/work buildings (excluding conversions) shall provide a minimum of four units.
3. Any commercial zone in which a live/work use is located shall remain a commercial zone and the occupant of the live/work use by selecting this type of occupancy accepts the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the zone. The director of community development or city council may include conditions to this effect which would be recorded as part of the conditional use permit.
4. The living space shall not be rented or sold separately from the working space.
5. Vehicular parking and loading spaces shall be established by the conditional use permit based on the proposed uses and by review of a parking/loading report prepared by the applicant.
6. All building, fire, electrical, mechanical and other applicable codes shall be adhered to including the American Disabilities Act unless specifically exempted by said codes. City staff shall exercise discretion in interpreting such codes to encourage live/work projects, but shall not compromise public health, safety and welfare standards.

The proposed 704 square-foot Live/Work Unit exceeds the 500 square-foot minimum size. The proposal is an addition to an existing commercial building, and therefore, not subject to the four-unit minimum. The subject property will maintain the General Commercial Zoning designation and, as conditioned, the Applicant and any future tenant will accept the conditions found in the area. As conditioned, occupancy of the Live/Work Unit will be limited to person or persons working on the ground floor commercial business. The existing development is legal nonconforming due to the lack of off-street parking, and the proposed Live/Work Unit is found to not increase the size or degree of the nonconforming parking because the occupant of the Live/Work Unit would be required to work at the ground-floor business. Should the project be approved, detailed construction plans will be reviewed for compliance with all building, fire, electrical, mechanical and other applicable codes prior to the issuance of a Building Permit

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. The building construction plan shall be in substantial conformance with the project plans presented to the City Council on November 19, 2025 and located in the project file with a submittal date of August 13, 2025.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certificate prepared by a licensed land surveyor certifying that the maximum height of the proposed addition will not exceed 25.96 feet above the proposed grade or 87.13 feet above MSL in conformance with the plans as approved by the City Council.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VII. The Applicant shall submit a Construction Parking and Staging Plan to be reviewed by the Planning, Engineering, and Fire Departments and approved by the City Manager or her designee prior to the issuance of the Building Permit.
- VIII. The Applicant shall give advanced notice to adjacent property owners of construction and any related impacts.
- IX. Prior to the issuance of the Building Permit, the Applicant shall provide a signed affidavit under penalty of perjury accepting the conditions found in the area including, but not limited to, noise, pollution, fumes, dirt, traffic and odors to the extent that they are permitted by law in the General Commercial Zone. The affidavit shall also accept that complaints submitted to Code Enforcement regarding these permitted conditions will be investigated, but consideration will be given to the legal uses. This includes the surrounding commercial activities such

as the adjacent bar and restaurant as well as public parking in the Plaza Street public parking lot, permitted outdoor dining areas, deliveries and refuse pickup, and other conditions typically created by permitted commercial uses.

- X. Prior to the issuance of the Building Permit, the Applicant shall record a covenant with the County Assessor limiting the living space to not be rented or sold separately from the working space in a form acceptable to the City Attorney consistent with SBMC Section 17.60.170(D)(4).
- XI. The Applicant shall provide annual verification to the Community Development Director that the occupant of the Live/Work Unit works at the ground-floor business.
- XII. The Live/Work Unit shall not be rented as a Short-Term Vacation Rental or subleased.
- XIII. The property owner shall comply with all local, state, and federal laws.
- XIV. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. RESPONSE MAPS: Any new development, which necessitates updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates in one of the following formats (AutoCad DWG, DXF, ESRI shapefile, ESRI personal geodatabase, or XML format) and shall be charged a reasonable fee for updating all response maps per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the 2022 California Fire Code Chapter 5 and the Solana Beach Fire Department.
- III. FIRE HYDRANTS AND FIRE FLOWS: A letter from the water agency serving the area shall be provided that states the required fire flow is available per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code.

- IV. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2022 California Fire Code Chapter 5.
- V. AUTOMATIC FIRE SPRINKLER SYSTEM: Structures shall be protected by an automatic fire sprinkler system designed and installed by a C-16 licensed contractor. Plans for the automatic fire sprinkler system shall be submitted as a Deferred Submittal and approved by the Solana Beach Fire Department prior to installation.
- VI. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2025 California Building Code Chapter 15 Section 1505.

C. Engineering Department Conditions:

- I. Best Management Practices (BMP's) shall be developed and implemented to always manage storm water and non-storm water discharges from the site.
- II. If applicable, the Applicant shall pay a Regional Transportation Congestion Program (RTCIP) Fee prior to Building Permit Issuance is required of this project. The current rate for a single-family dwelling unit is \$3,800.
- III. Per current rates, the Applicant shall pay, in full, the one-time sewer capacity fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit Issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed residential unit would increase the property's EDU assignment by 1.0 EDU. The cost the Applicant is responsible for is \$4,500.00 concurrently with Building Permit Issuance (1.0 EDU multiplied by \$4,500.00).
- IV. The Applicant shall pay a Traffic Impact Fee (TIF) associated with the construction of the new single-family residence prior to Building Permit Issuance. The current fee rate for a Single Family is \$19,089 per dwelling unit.
- V. The Applicant shall apply for an Encroachment permit for temporary construction in the City parking lot within the public right-of-way as a

last resort after all other options for temporary construction parking have been examined.

- VI. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan (WMP) shall be submitted.
- VII. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the Solana Beach Municipal Code which allows otherwise.

D. City Council Conditions:

- I. N/A

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit, Structure Development Permit, and Director's Use Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter.

However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** this 19<sup>th</sup> day of November, 2025, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



URICH LIVE-WORK PROJECT  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075  
7/22/2025 5:03:34 PM

# URICH LIVE-WORK PROJECT

## GENERAL PROJECT APPLICATION SUBMITTAL: DIRECTOR'S USE PERMIT, STRUCTURE DEVELOPMENT PERMIT & DEVELOPMENT REVIEW PERMIT

### TYPICAL ABBREVIATIONS

|       |                        |        |                          |         |                            |         |                           |
|-------|------------------------|--------|--------------------------|---------|----------------------------|---------|---------------------------|
| AB    | ANCHOR BOLT            | FDN    | FOUNDATION               | NIC     | NOT IN CONTRACT            | SC      | SOLID CORE                |
| AFF   | ABOVE FLOOR FINISH     | FN     | FINISHED                 | NOM     | NORMAL                     | SC CONC | SEALED CONCRETE           |
| AL    | ALTERNATE              | FLR    | FLOOR                    | NON-COM | NON-COMBUSTIBLE            | SD      | STORM DRAIN               |
| AN    | ANODIZED               | FLU    | FLUORESCENT              | NTS     | NOT TO SCALE               | SECT    | SECTION                   |
| ARCH  | ARCHITECT              | FP     | FIREPROOF                | OC      | ON CENTER                  | SIM     | SIMILAR                   |
| AT    | ACUSTICAL TILE         | FURR   | FURRING                  | OD      | OUTSIDE DIAMETER           | S N D   | SANITARY NAPKIN DISPENSER |
| BD    | BOARD                  | GA     | GALVANIZED               | OH      | OPPOSITE HAND              | S N DPL | SANITARY NAPKIN DISPOSAL  |
| BFG   | BELOW FINISHED CEILING | GALGBD | GYPSPUM BOARD            | OPNG    | OPENING                    | S P     | SPECIFICATIONS            |
| BLDG  | BUILDING               | GC     | GENERAL CONTRACTOR       | OPP     | OPPOSITE                   | SS      | STAINLESS STEEL           |
| BLK   | BLOCK                  | GI     | GALVANIZED IRON          | OVHD    | OVERHEAD                   | S & P   | SHELF AND POLE            |
| BLKG  | BLOCKING               | GL     | GLASS                    | P       | PARTITION                  | S/S     | SERVICE SINK              |
| BM    | BEAM                   | GMU    | GLASS MESH MORTAR UNIT   | P A     | PLANTING AREA              | STD     | STANDARD                  |
| BOT   | BOTTOM                 | GR     | GRADE                    | PART    | PARTITION                  | STL     | STEEL                     |
| BTWN  | BETWEEN                | HDCP   | HANDICAPPED              | PART BD | PARTICLE BOARD             | STRUC   | STRUCTURAL                |
| BUR   | BUILT-UP ROOF          | HOW    | HOLLOW METAL             | PC      | PRECAST CONCRETE           | SUSP    | SUSPENDED                 |
| CB    | CONCRETE BLOCK         | HORIZ  | HORIZONTAL               | PL      | POURED IN PLACE            | T       | TREAD                     |
| CHAN  | CHANNEL                | HR     | HOUR                     | PL      | PLATE                      | T & B   | TOP & BOTTOM              |
| CI    | CAST IRON              | HT     | HEIGHT                   | P LAM   | PLASTIC LAMINATE           | T & G   | TONGUE & GROOVE           |
| CLG   | CEILING                | HVAC   | HEATING, VENT, AIR COND  | PLYWD   | PLYWOOD                    | TEL     | TELEPHONE                 |
| CMP   | CORRUGATED METAL PIPE  | HWH    | HOT WATER HEATER         | PNL     | PANEL                      | TEMP    | TEMPERED                  |
| CMU   | CONCRETE MASONRY UNIT  | ID     | INSIDE DIAMETER          | PR      | PAIR                       | TO      | TRASH DISPOSAL            |
| COL   | COLUMN                 | INSUL  | INSULATION OR INSULATING | PSF     | POUNDS PER SQUARE FEET     | TLT     | TOILET                    |
| CONC  | CONCRETE               | INT    | INTERIOR                 | PSI     | POUNDS PER SQUARE INCHES   | TOC     | TOP OF CONCRETE           |
| CONST | CONSTRUCTION           | INV    | INVERT                   | PT      | POST TENSIONED             | TOW     | TOP OF WALL               |
| CONT  | CONTINUOUS             | JAN    | JANITOR                  | QT      | QUARRY TILE                | TOW D   | TOWEL DISPENSER           |
| CONTR | CONTRACTOR             | JOIST  | JOIST                    | RA      | RISER OR RADIUS            | TOS     | TOP OF STEEL              |
| CPTIC | CARPET                 | JT     | JOINT                    | RB      | RUBBER BASE                | TOW DPL | TOWEL DISPOSAL            |
| CT    | CERAMIC TILE           | KO     | KNOCKOUT                 | RD      | ROOF DRAIN                 | TRANSF  | TRANSFORMER               |
| DBL   | DOUBLE                 | LAM    | LAMINATED                | RE      | REFER/REFERENCE            | TYP     | TYPICAL                   |
| DET   | DETAIL                 | LAV    | LAVATORY                 | REFL    | REFLECTED OR REFLECTIVE    | VAT     | VINYL ASBESTOS TILE       |
| DM    | DIMENSION              | LH     | LEFT HAND                | REIN    | REINFORCING                | VB      | VAPOR BARRIER             |
| DN    | DOWN                   | LL     | LIVE LOAD                | REDD    | REQUIRED                   | VERT    | VERTICAL                  |
| DWG   | DRAWING                | LWC    | LIGHT WEIGHT CONCRETE    | REV     | REVISION, REVISED          | VIF     | VERIFY IN FIELD           |
| E     | EXISTING               | MAS    | MASONRY                  | RF      | RAISED FLOOR               | VWC     | VINYL WALL COVERING       |
| EA    | EACH                   | MATL   | MATERIAL                 | RM      | ROOM                       | W       | WITH                      |
| EJ    | EXPANSION JOINT        | MAX    | MAXIMUM                  | RO      | ROUGH OPENING              | WO      | WITHOUT                   |
| EL    | ELEVATION              | MECH   | MECHANICAL               | ROW     | RIGHT OF WAY               | WC      | WATER CLOSET              |
| ELEC  | ELECTRICAL             | MFCR   | MANUFACTURER             | R T DPL | RECESSED TRASH DISPOSAL    | WD      | WOOD                      |
| EQ    | EQUAL                  | MISC   | MISCELLANEOUS            | R TOW D | RECESSED TOWEL DISPENSER   | WF      | WALL FABRIC               |
| EQUIP | EQUIPMENT              | MO     | MASONRY OPENING          | SAC     | SUSPENDED ACOUSTIC CEILING | WP      | WATERPROOFING             |
| EXP   | EXPANSION              | M      | METAL                    | SAT     | SPLASHBLOCK                | WNDW    | WINDOW                    |
| EXT   | EXTERIOR               | N      | NORTH                    | SB      |                            | WWF     | WELDED WIRE FABRIC        |
| FD    | FLOOR DRAIN            |        |                          |         |                            |         |                           |

### PROJECT DIRECTORY

|                                                                                                                                            |
|--------------------------------------------------------------------------------------------------------------------------------------------|
| <b>PROPERTY OWNER</b>                                                                                                                      |
| 125 W. PLAZA STREET PARTNERS, LLC<br>125 PLAZA STREET, SOLANA BEACH, CA 92075<br>(656) 350-9977                                            |
| <b>ARCHITECT / APPLICANT</b>                                                                                                               |
| DREW HUBBELL<br>HUBBELL & HUBBELL ARCHITECTS<br>1970 SIXTH AVE. SAN DIEGO, CA 92101<br>(619) 231-0446<br>drew@hubbellandhubbell.com        |
| <b>PROJECT DESIGNER / APPLICANT</b>                                                                                                        |
| MYKAELE SCARPACE<br>HUBBELL & HUBBELL ARCHITECTS<br>1970 SIXTH AVE. SAN DIEGO, CA 92101<br>(619) 231-0446<br>mykaela@hubbellandhubbell.com |
| <b>SURVEYOR</b>                                                                                                                            |
| ROBERT DOMINGO<br>J&B ENGINEERS, SURVEYORS<br>13070 DANIELSON ST SUITE G, POWAY, CA, 92064<br>(858) 513-1741<br>surveying@jbsurveyors.com  |

### BUILDING DEPARTMENT INFORMATION

PROJECT ADDRESS:

121 W. PLAZA STREET, SOLANA BEACH, CA 92075

PROPOSED USE:

(E) DENTAL OFFICE WITH A (P) LIVE/WORK UNIT

SCOPE OF WORK:

- GROUND LEVEL EXISTING COMMERCIAL BUILDING TO REMAIN
- EXCEPT WHERE REMOVING 75 SF AT SOUTH END
- (1396 SF TOTAL FIRST FLOOR COMMERCIAL)
- CONSTRUCTING (N) UNENCLOSED STAIRS AT AREA REMOVED
- UPPER LEVEL 704 SF PROPOSED 1-BED, 1-BATH LIVE WORK UNIT W/713 SF DECK

ASSESSOR PARCEL NUMBER:

298-010-44-00

LEGAL DESCRIPTION:

TR 1749 BLK 16 LOT 8 N 70 FT\*

WATER DISTRICT:

SANTA FE IRRIGATION DISTRICT

ZONE:

C-GENERAL COMMERCIAL

OVERLAY ZONES:

SCENIC AREA OVERLAY ZONE  
HIGHWAY 101 SPECIFIC PLAN – PLAZA DISTRICT

LOT SIZE:

1,750 SF

PARKING SPACES:

PARKING ANALYSIS TABLE:

|          |                                 | USE FLR AREA       | PARKING REQ              | SPACES PROVIDED      |
|----------|---------------------------------|--------------------|--------------------------|----------------------|
| EXISTING | DENTAL OFFICE                   | 1,370 SF           | 1,200.7 SPACES           | 0 SPACES             |
| PROPOSED | DENTAL OFFICE<br>LIVE/WORK UNIT | 1,295 SF<br>704 SF | 1,200.7 SPACES<br>0, N/A | 0 SPACES<br>0 SPACES |

PROPOSED BUILDING CONSTRUCTION TYPE:

TYPE V-B

NUMBER OF STORIES:

EXISTING 1 STORY  
PROPOSED 2 STORIES

BUILDING HEIGHT:

ALLOWED 26' - 0"  
EXISTING 14' - 8"  
PROPOSED 26' - 0"

SETBACKS

|       | REQUIRED | (E) GROUND LVL | (P) SECOND LVL |
|-------|----------|----------------|----------------|
| FRONT | 0' - 0"  | 0' - 0"        | 0' - 0"        |
| SIDE  | 0' - 0"  | 0' - 0"        | 0' - 0"        |
| REAR  | 0' - 0"  | 5' - 0"        | 5' - 0"        |

GROSS FLOOR AREA CALCULATION:

|                                          |          |
|------------------------------------------|----------|
| (E) GRND FLR OFFICE                      | 1,370 SF |
| EXISTING COVERED AREA                    | 101 SF   |
| EXISTING GROSS FLR AREA                  | 1,471 SF |
| (E) GRND FLR OFFICE                      | 1,370 SF |
| EXISTING COVERED AREA                    | 101 SF   |
| PROPOSED OFFICE COVERSION TO EXT. STAIRS | -75 SF   |
| PROPOSED UPPER LEVEL LIVE/WORK UNIT      | 704 SF   |
| PROPOSED TOTAL FLOOR AREA                | 2,100 SF |

FAR:

ALLOWABLE FAR: 1.20

ALLOWED BASED ON FAR: 1,750 x 1.20 = 2,100 SF

EXISTING: 1,370 / 1,750 = 0.78

PROPOSED: 2,100 / 1,750 = 1.20

FIRE SPRINKLERS:

EXISTING NO  
PROPOSED YES

### SHEET INDEX

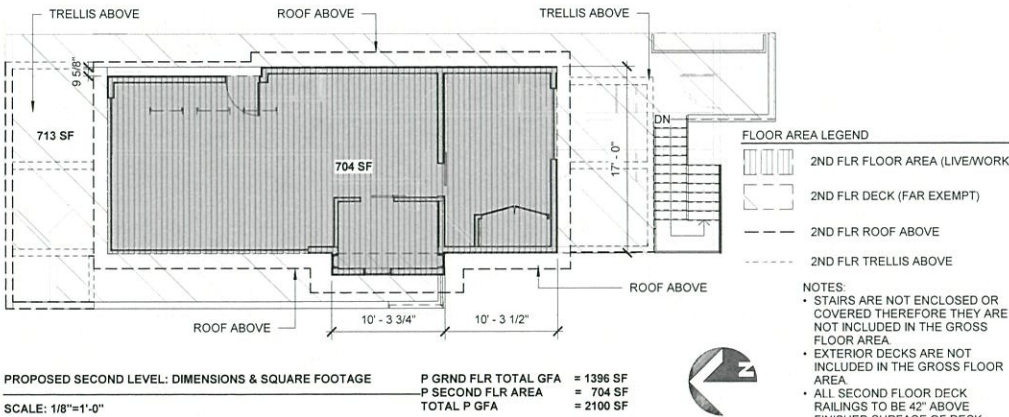
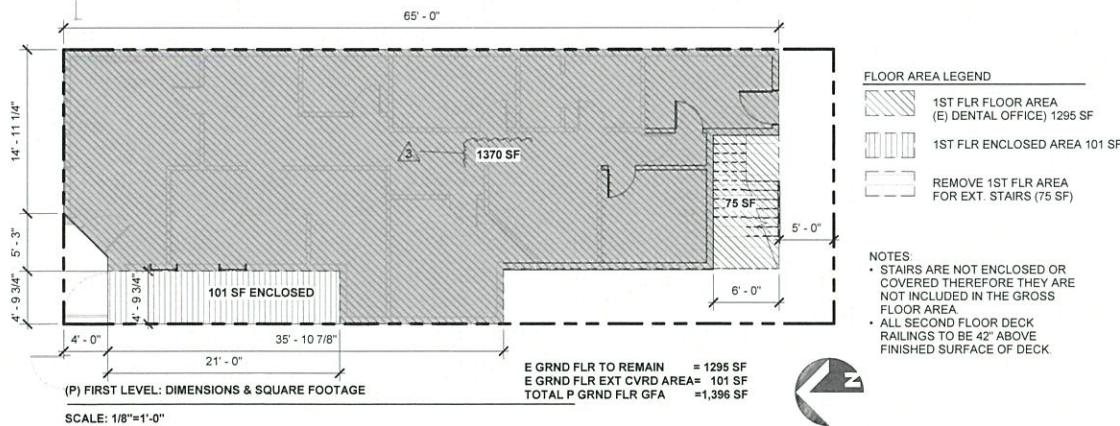
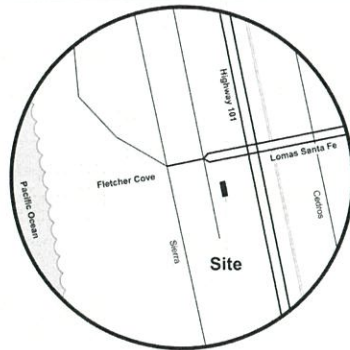
|      |                                        |
|------|----------------------------------------|
| G001 | TITLE SHEET                            |
| A000 | 3D VIEW                                |
| A001 | SURVEY, SITE INFORMATION & SITE PHOTOS |
| A100 | PROPOSED SITE PLAN                     |
| A105 | (E) FIRST FLOOR PLAN                   |
| A106 | STORY POLE PLAN                        |
| A110 | FLOOR PLANS                            |
| A200 | EXTERIOR ELEVATIONS                    |
| A300 | PROPOSED BUILDING SECTIONS             |
| A400 | AXON VIEWS                             |

### APPLICABLE CODE

ALONG WITH THE SOLANA BEACH MUNICIPAL CODE, THIS PROJECT WILL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA RESIDENTIAL CODE AND/OR CALIFORNIA BUILDING CODE, AS APPLICABLE
- 2022 GREEN BUILDING STANDARDS CODE
- 2022 ELECTRICAL CODE
- 2022 PLUMBING CODE
- 2022 FIRE CODE
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

### VICINITY MAP



HUBBELL & HUBBELL  
1970 SIXTH AVE, SAN DIEGO, CA 92101  
(619)-231-0446

G001



# URICH LIVE-WORK PROJECT



8/11/2025 2:37:41 PM

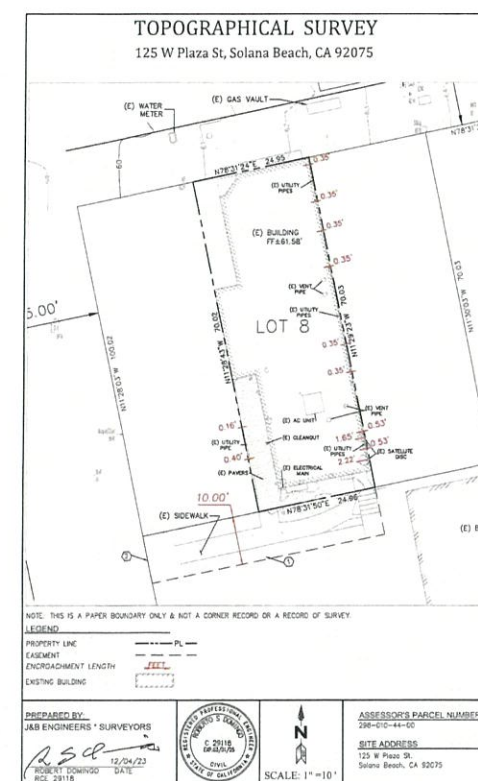
**URICH LIVE-WORK PROJECT**  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



NO. DESCRIPTION DATE

**HUBBELL & HUBBELL**  
1970 SIXTH AVE., SAN DIEGO, CA 92101  
(619) 231-0446

A000



8/11/2025 2:38:11 PM

**URICH LIVE-WORK PROJECT**  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



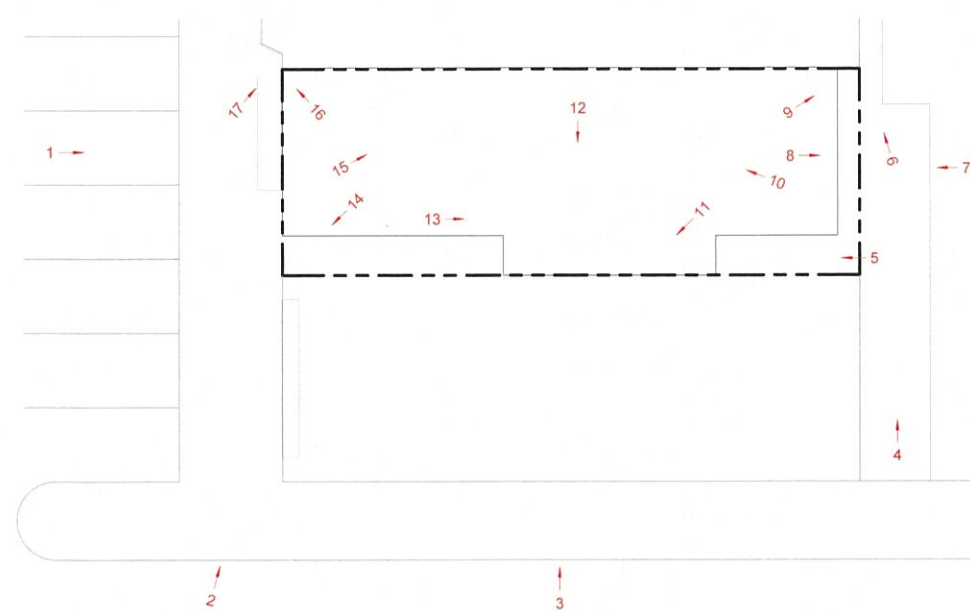
| NO | DESCRIPTION | DATE |
|----|-------------|------|
|----|-------------|------|

**HUBBELL & HUBBELL**  
1970 SIXTH AVE, SAN DIEGO, CA 92101  
(619)-231-0446

A001

DRP25-001(4) Project Plans SDP Set 08.13.25.pdf

## KEY PLAN



## EXISTING SITE PHOTOS



- ### LEGEND

|     |          |
|-----|----------|
| (E) | EXISTING |
|-----|----------|

(P) \_\_\_\_\_

|      |   |           |
|------|---|-----------|
| AXXX | X | ELEVATION |
|------|---|-----------|

 NORTH

## GRADING

|        |      |
|--------|------|
| CUT:   | 0 CY |
| FILL:  | 0 CY |
| TOTAL: | 0 CY |

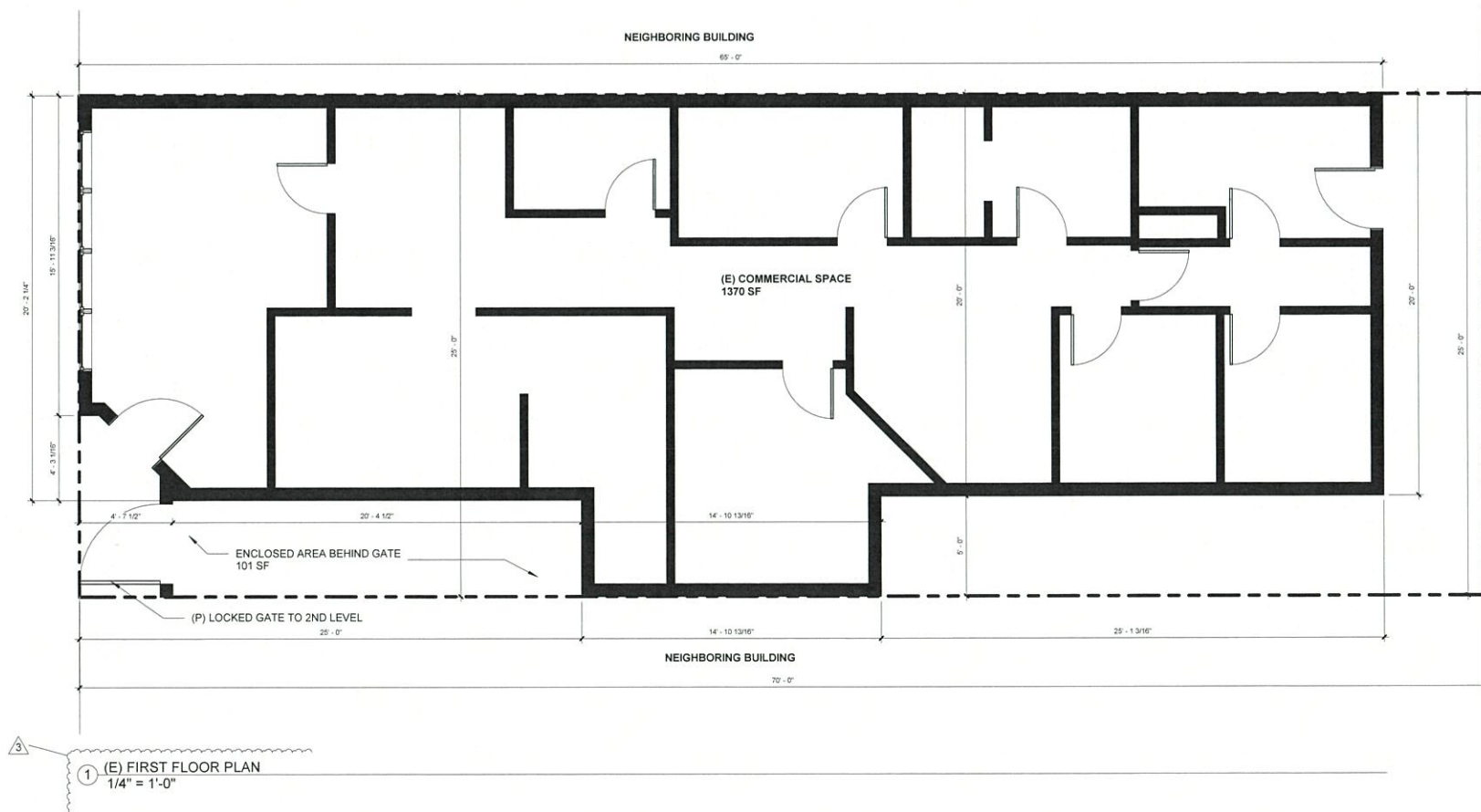
## LANDSCAPE

NO LANDSCAPING ON SITE.



LOMAS  
SANTA  
FE DR

① PROPOSED SITE PLAN  
1/8" = 1'-0"



1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALLS SURFACES.
2. KITCHEN NOTES:
  - A. COUNTER - MINIMUM 30" CLEAR
  - B. SINK - MINIMUM 18-INCH, 1.5-INCH DRAIN, AND GARBAGE DISPOSAL
  - C. REFRIGERATOR - MINIMUM 5 CUBIC FT.
  - D. COOKING APPLIANCE - MINIMUM TWO-BURNER STOVE (HARD WIRED WITH GAS OR 220 VOLT OUTLET)
3. CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505
4. SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS):
  - A. SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT.
  - B. SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 12 SECTION 1204.
5. ADDRESS NUMBERS:
  - A. APPROVED ADDRESS NUMBER SHALL BE PLACED AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM WITH DIRECTION OF APPROACH.
  - B. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" INCH STROKE FOR COMMERCIAL BUILDINGS.
  - C. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHALL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS PER THE 2022 CA FIRE CODE CHAPTER 5 SECTION 505.1
6. AUTOMATIC FIRE SPRINKLERS:
  - A. PER 2022 CALIFORNIA FIRE CODE, SECTION 903.2.8, AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.
  - B. STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED BY A C-16 LICENSED CONTRACTOR. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2 (NEW) OR SECTION 903.2.01 (ADDITIONS, REMODELS) OR SECTION 903.2.02 (NEW COMMERCIAL).
7. BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO ALWAYS MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE.
8. THE CONTRACTOR SHALL APPLY FOR AN ENCROACHMENT PERMIT FOR TEMPORARY CONSTRUCTION IN THE CITY PARKING LOT WITHIN IN PUBLIC ROW AS A LAST RESORT AFTER ALL OTHER OPTIONS FOR TEMPORARY CONSTRUCTION SETTING HAVE BEEN EXAMINED.
9. ALL CONSTRUCTION DEMOLITION MATERIALS SHALL BE RECYCLED ACCORDING TO THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING PROGRAM AND AN APPROVED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED.
10. CONSTRUCTION FENCING SHALL BE LOCATED ON THE SUBJECT PROPERTY UNLESS THE APPLICANT HAS OBTAINED AN ENCROACHMENT PERMIT IN ACCORDANCE WITH CHAPTER 11.20 OF THE SBMC WHICH ALLOWS OTHERWISE.
11. THE EXISTING FRONTAGE OF THIS PROPERTY IS IMPROVED WITH 6" CURB, GUTTER, AND SIDEWALK. THE PARKING LOT OUT FRONT IS A CITY PARKING LOT AND CONSIDERED PUBLIC ROW. THIS PROJECT WILL NOT REQUIRE ANY IMPROVEMENTS AS PART OF THE CONDITIONS OF THIS PROJECT.

LEGEND

- PL — PROPERTY LINE
- (E) EXISTING
- (P) PROPOSED
- X  
Axxx SECTION
- Axxx X ELEVATION
- NORTH

GRADING

CUT: 0 CY  
FILL: 0 CY  
TOTAL: 0 CY

LANDSCAPE

NO LANDSCAPING ON SITE.



8/11/2025 3:01:15 PM

URICH LIVE-WORK PROJECT  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



| NO. | DESCRIPTION      | DATE    |
|-----|------------------|---------|
| 1   | CORRECTION REV 1 | 7/22/25 |
| 3   | CORR REV 3       |         |

HUBBELL & HUBBELL  
1970 SIXTH AVE, SAN DIEGO, CA 92101  
(619)-231-0446

A105



# CITY OF SOLANA BEACH

535 SOUTH HIGHWAY 101 • SOLANA BEACH • CALIFORNIA 92075 • (858) 720-2400 • FAX (858) 755-1782

## STORY POLE HEIGHT CERTIFICATION

Date: AUG. 9, 2025

Assessor's Parcel No.: 186-601-62-298-010-44

Site Address: 121 W PLAZA ST.

Owner's Name: DRP25-001 121 W PLAZA ST

This is to certify that on AUGUST 9, 2025 the story poles located on the above referenced site were surveyed by the undersigned, and found to be in conformance with the attached story pole plot plan. In addition, the following measurements were found:

Highest point of the story poles: 87.13' #6 (M.S.L.)

Pre-existing grade: 61.17' (M.S.L.) - Rele #6 ON ROOF, ELEV = 71.51'

Finished grade elevation: 61.17' (M.S.L.)

Finished floor elevation:        (M.S.L.)

TOTAL MAXIMUM HEIGHT: 25.96'

PLEASE NOTE: The story poles must show and include the total height must include roofing materials. At framing inspection, a Height Certification will be required which must be in exact conformance with the maximum height shown on Story Pole Height Certification.

For additional information, please contact me at 760-224-7653 (phone number)

David Ulrich  
Licensed Land Surveyor

Seal of Registration:

\*Mean Sea Level (MSL) — all measurements must utilize an established benchmark that will not change over the course of the project. EXIST. FIN. F.R. SITE, ELEV. = 61.58'

Page 1 of 1

### C-STORY POLES, INC.

Chris Collins PLS 8591  
POB 230972 Encinitas, CA 92023  
(760) 224-7653 chris@storypoles.com

David Ulrich  
125 West Plaza Street  
W.O. CSP 25-1806  
CC, RM

8/3/2025

| SP# | BASE ELEV | PLAN ELEV | C/F LENGTH | DESCRIPTION *               |
|-----|-----------|-----------|------------|-----------------------------|
| 1*  | 73.81     | 87.10     | F- 13.29   | UPR                         |
|     | 73.81     | 86.60     | F- 12.79   | LWR                         |
| 2   | 61.86     | 86.32     | F- 24.46   | 0.22 curb to FS             |
| 3** | 70.43     | 86.24     | F- 15.81   | UPR                         |
|     | 70.43     | 85.66     | F- 15.23   | MID                         |
|     | 70.43     | 77.08     | F- 6.65    | LWR                         |
| 4** | 70.28     | 86.24     | F- 15.96   | UPR                         |
|     | 70.28     | 85.82     | F- 15.54   | MID                         |
|     | 70.28     | 77.08     | F- 6.80    | LWR                         |
| 5   | 61.63     | 86.32     | F- 24.69   |                             |
| 6*  | 71.51     | 87.13     | F- 15.62   | UPR                         |
|     | 71.51     | 86.62     | F- 15.11   | LWR                         |
| 7   | 73.68     | 87.13     | F- 13.45   |                             |
| 8*  | 73.71     | 86.60     | F- 12.89   | UPR <u>USED OR 1.7' O/S</u> |
|     | 73.71     | 77.08     | F- 3.37    | LWR                         |
| 9*  | 61.08     | 85.66     | F- 24.58   | UPR <u>USED OR 2' O/S</u>   |
|     | 61.08     | 77.08     | F- 16.00   | LWR                         |
| 10* | 75.17     | 85.66     | F- 10.49   | UPR                         |
|     | 75.17     | 77.08     | F- 1.91    | LWR                         |
| 11* | 61.50     | 85.82     | F- 24.32   | UPR                         |
|     | 61.50     | 77.08     | F- 15.58   | LWR                         |
| 12* | 71.43     | 85.82     | F- 14.40   | UPR                         |
|     | 71.43     | 77.08     | F- 5.66    | LWR                         |
| 13  | 71.60     | 86.62     | F- 15.02   |                             |
| 14  | 71.39     | 77.08     | F- 5.69    |                             |
| 15  | 71.35     | 73.08     | F- 1.73    |                             |
| 16  | 61.17     | 77.08     | F- 15.92   |                             |
| 17  | 69.62     | 77.08     | F- 7.46    |                             |

| STORYPOLE# | PEG   | BASE ELEV | PLAN ELEV | C/F LENGTH | TOTAL HT FT |
|------------|-------|-----------|-----------|------------|-------------|
| 1 UPR      | 61.17 | 73.81     | 87.1      | F-13.89    | 25.93       |
| 1 LWR      | N/A   | 73.81     | 86.6      | F-12.79    | N/A         |
| 2 UPR      | 61.17 | 61.86     | 86.32     | F-24.46    | 25.15       |
| 3 UPR      | 61.17 | 70.43     | 86.24     | F-15.81    | 25.07       |
| 3 MID      | N/A   | 70.43     | 85.66     | F-15.23    | 24.49       |
| 3 LWR      | N/A   | 70.43     | 77.08     | F-6.65     | N/A         |
| 4 UPR      | 61.17 | 70.28     | 86.24     | F-15.96    | 25.07       |
| 4 MID      | N/A   | 70.28     | 85.82     | F-15.54    | N/A         |
| 4 LWR      | N/A   | 70.28     | 77.08     | F-6.80     | N/A         |
| 5 UPR      | 61.17 | 61.63     | 86.32     | F-24.69    | 25.51       |
| 6 UPR      | 61.17 | 71.51     | 87.13     | F-15.62    | 25.96       |
| 6 LWR      | N/A   | 71.51     | 86.62     | F-15.11    | N/A         |
| 7 UPR      | 61.17 | 73.68     | 87.13     | F-13.45    | 25.96       |
| 8 UPR      | 61.17 | 73.71     | 86.6      | F-12.89    | 25.43       |
| 8 LWR      | N/A   | 73.71     | 77.08     | F-3.37     | N/A         |
| 9 UPR      | 60.84 | 61.08     | 85.66     | F-24.58    | 24.82       |
| 9 LWR      | N/A   | 61.08     | 77.08     | F-16.00    | N/A         |
| 10 UPR     | 61.17 | 75.17     | 85.66     | F-10.49    | 24.49       |
| 10 LWR     | N/A   | 75.17     | 77.08     | F-1.91     | N/A         |
| 11 UPR     | 60.78 | 61.5      | 85.82     | F-24.32    | 25.04       |
| 11 LWR     | N/A   | 61.5      | 77.08     | F-15.58    | N/A         |
| 12 UPR     | 61.17 | 71.43     | 85.82     | F-14.40    | 24.65       |
| 12 LWR     | N/A   | 71.43     | 77.08     | F-5.66     | N/A         |
| 13         | 61.53 | 71.6      | 86.62     | F-15.02    | 25.09       |
| 14         | N/A   | 71.39     | 77.08     | F-5.69     | N/A         |
| 15         | N/A   | 71.35     | 73.08     | F-1.73     | N/A         |
| 16         | N/A   | 61.17     | 77.08     | F-15.92    | N/A         |
| 17         | N/A   | 69.62     | 77.08     | F-7.46     | N/A         |

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALLS SURFACES.
- KITCHEN NOTES:
  - COUNTER - MINIMUM 30" CLEAR
  - SINK - MINIMUM 18-INCH, 1.5-INCH DRAIN, AND GARBAGE DISPOSAL
  - REFRIGERATOR - MINIMUM 5 CUBIC FT
  - COOKING APPLIANCE - MINIMUM TWO-BURNER STOVE (HARD WIRED WITH GAS OR 220 VOLT OUTLET)
- CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505
- SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS):
  - SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT.
  - SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 12 SECTION 1204
- ADDRESS NUMBERS:
  - APPROVED ADDRESS NUMBER SHALL BE PLACED AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM WITH DIRECTION OF APPROACH
  - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" INCH STROKE FOR COMMERCIAL BUILDINGS
  - ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHALL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS PER THE 2022 CA FIRE CODE CHAPTER 9 SECTION 905.1
- AUTOMATIC FIRE SPRINKLERS:
  - PER 2022 CALIFORNIA FIRE CODE, SECTION 903.2.8, AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA
  - STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED BY A C-16 LICENSED CONTRACTOR. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2 (NEW) OR SECTION 903.2.01 (ADDITIONS, REMODELS) OR SECTION 903.2.02 (NEW COMMERCIAL)
- BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO ALWAYS MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE.
- THE CONTRACTOR SHALL APPLY FOR AN ENCROACHMENT PERMIT FOR TEMPORARY CONSTRUCTION IN THE CITY PARKING LOT WITHIN IN PUBLIC ROW AS A LAST RESORT AFTER ALL OTHER OPTIONS FOR TEMPORARY CONSTRUCTION SETTING HAVE BEEN EXAMINED.
- ALL CONSTRUCTION DEMOLITION MATERIALS SHALL BE RECYCLED ACCORDING TO THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING PROGRAM AND AN APPROVED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED.
- CONSTRUCTION FENCING SHALL BE LOCATED ON THE SUBJECT PROPERTY UNLESS THE APPLICANT HAS OBTAINED AN ENCROACHMENT PERMIT IN ACCORDANCE WITH CHAPTER 11.20 OF THE SBMC WHICH ALLOWS OTHERWISE.
- THE EXISTING FRONTAGE OF THIS PROPERTY IS IMPROVED WITH 6" CURB, GUTTER, AND SIDEWALK. THE PARKING LOT OUT FRONT IS A CITY PARKING LOT AND CONSIDERED PUBLIC ROW. THIS PROJECT **WILL NOT** REQUIRE ANY IMPROVEMENTS AS PART OF THE CONDITIONS OF THIS PROJECT.

### LEGEND

- PL — PROPERTY LINE
- (E) EXISTING
- (P) PROPOSED
- X SECTION
- AXXX ELEVATION
- NORTH

### GRADING

CUT: 0 CY  
FILL: 0 CY  
TOTAL: 0 CY

### LANDSCAPE

NO LANDSCAPING ON SITE



8/11/2025 2:40:05 PM

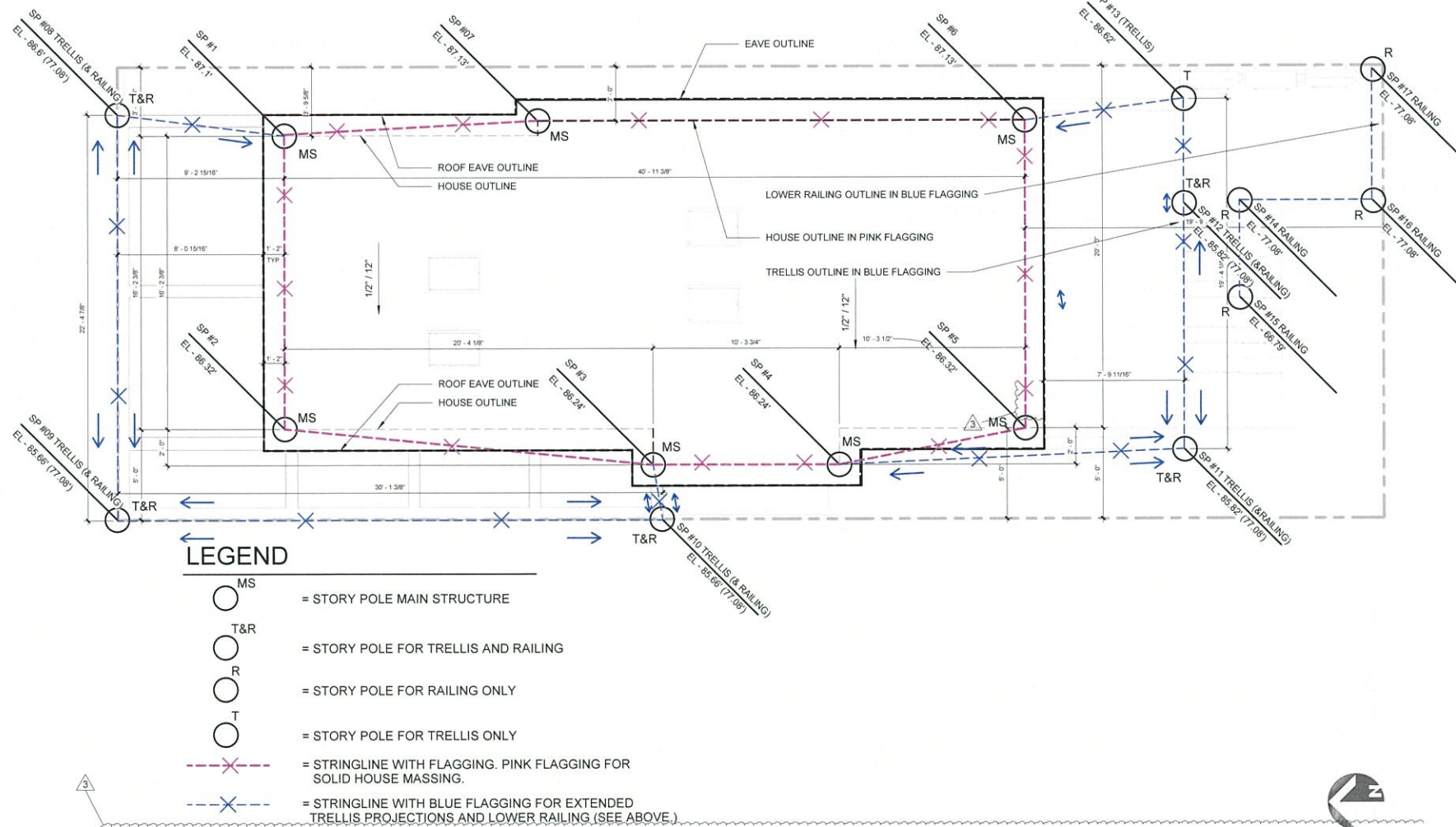
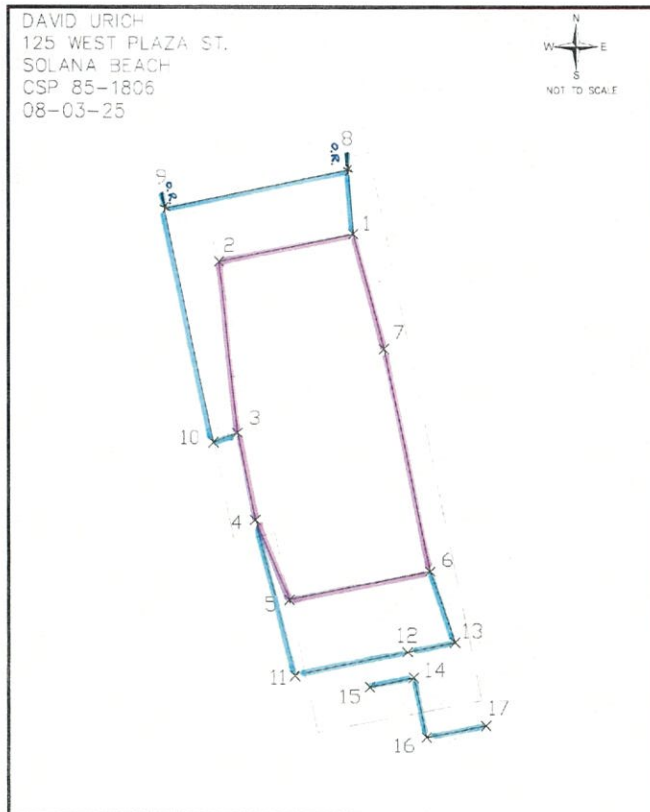
URICH LIVE-WORK PROJECT  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



NO. DESCRIPTION DATE  
1 CORRECTION REV 1 7/22/25  
3 CORR REV 3

HUBBELL & HUBBELL  
1970 SIXTH AVE., SAN DIEGO, CA 92101  
(619) 231-0446

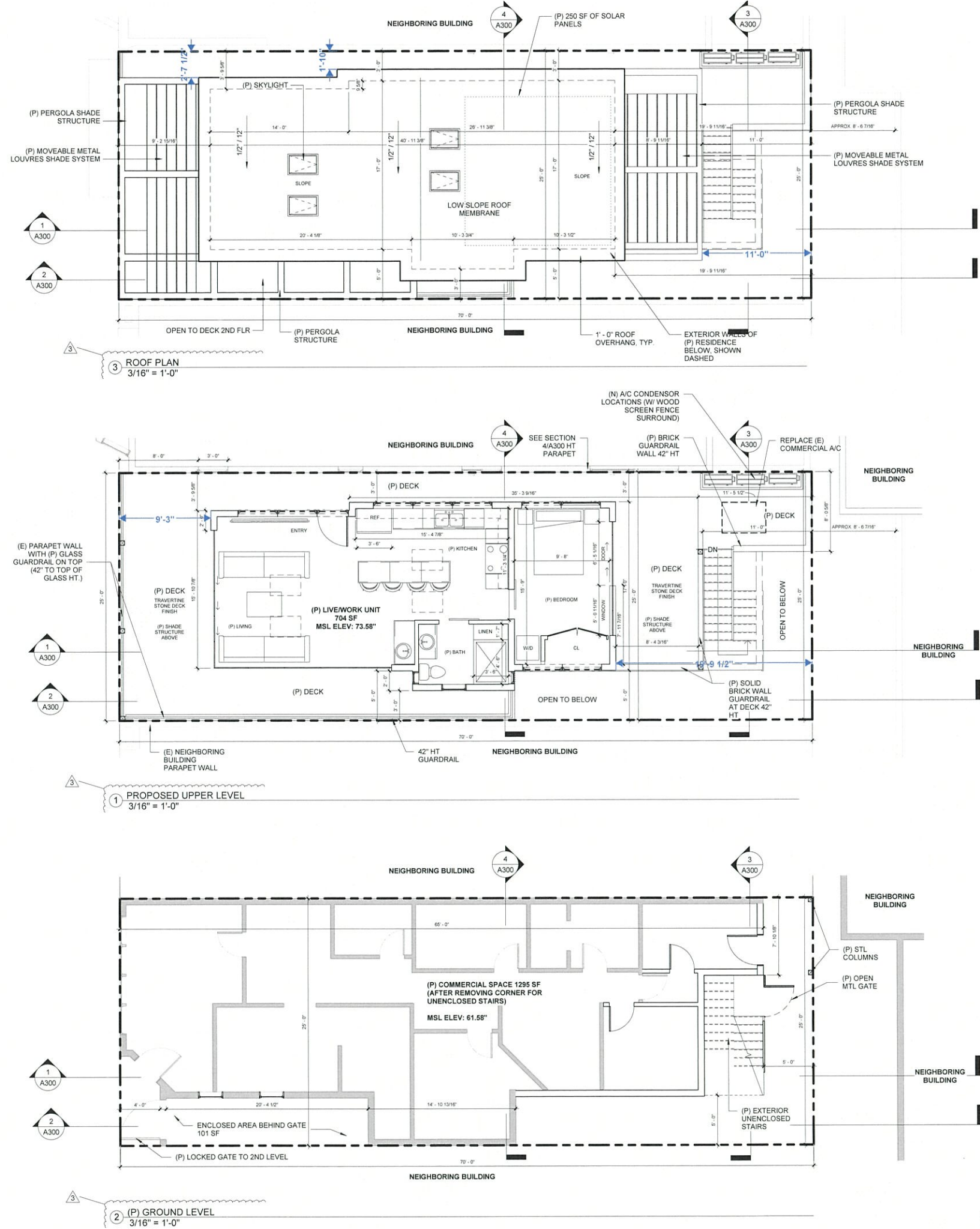
A106



1 STORY POLE PLAN ROOF  
1/4" = 1'-0"

January 2019

Page 21 of 25



- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALLS SURFACES.
- KITCHEN NOTES:**
  - COUNTER - MINIMUM 30" CLEAR
  - SINK - MINIMUM 18-INCH, 1.5-INCH DRAIN, AND GARBAGE DISPOSAL
  - REFRIGERATOR - MINIMUM 5 CUBIC FT.
  - COOKING APPLIANCE - MINIMUM TWO-BURNER STOVE (HARD WIRED WITH GAS OR 220 VOLT OUTLET)
- CLASS "A" ROOF:** ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT AND PER THE 2022 CALIFORNIA BUILDING CODE CHAPTER 15 SECTION 1505
- SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS):**
  - SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT.
  - SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS AND PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 12 SECTION 1204
- ADDRESS NUMBERS:**
  - APPROVED ADDRESS NUMBER SHALL BE PLACED AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM WITH DIRECTION OF APPROACH
  - NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" INCH STROKE FOR COMMERCIAL BUILDINGS
  - ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHALL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS PER THE 2022 CA FIRE CODE CHAPTER 5 SECTION 505.1
- AUTOMATIC FIRE SPRINKLERS:**
  - PER 2022 CALIFORNIA FIRE CODE, SECTION 903.2.8, AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA
  - STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED BY A C-16 LICENSED CONTRACTOR. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED AS DEFERRED SUBMITTAL AND APPROVED BY THE SOLANA BEACH FIRE DEPARTMENT PRIOR TO INSTALLATION PER THE SOLANA BEACH MUNICIPAL CODE TITLE 15 BUILDING AND CONSTRUCTION CHAPTER 15.32 FIRE CODE SECTION 15.32.230 SECTION 903.2 (NEW) OR SECTION 903.2.01 (ADDITIONS, REMODELS) OR SECTION 903.2.02 (NEW COMMERCIAL)
- BEST MANAGEMENT PRACTICES** SHALL BE DEVELOPED AND IMPLEMENTED TO ALWAYS MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE.
- THE CONTRACTOR SHALL APPLY FOR AN **ENCROACHMENT PERMIT** FOR TEMPORARY CONSTRUCTION IN THE CITY PARKING LOT WITHIN IN PUBLIC ROW AS A LAST RESORT AFTER ALL OTHER OPTIONS FOR TEMPORARY CONSTRUCTION SETTING HAVE BEEN EXAMINED.
- ALL **CONSTRUCTION DEMOLITION** MATERIALS SHALL BE RECYCLED ACCORDING TO THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING PROGRAM AND AN APPROVED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED.
- CONSTRUCTION FENCING** SHALL BE LOCATED ON THE SUBJECT PROPERTY UNLESS THE APPLICANT HAS OBTAINED AN ENCROACHMENT PERMIT IN ACCORDANCE WITH CHAPTER 11.20 OF THE SBMC WHICH ALLOWS OTHERWISE.
- THE EXISTING FRONTAGE OF THIS PROPERTY IS IMPROVED WITH 6" CURB, GUTTER, AND SIDEWALK. THE PARKING LOT OUT FRONT IS A CITY PARKING LOT AND CONSIDERED PUBLIC ROW. THIS PROJECT **WILL NOT REQUIRE ANY IMPROVEMENTS** AS PART OF THE CONDITIONS OF THIS PROJECT.

LEGEND

- PL — PROPERTY LINE
- (E) EXISTING
- (P) PROPOSED
- X AXXX SECTION
- AXXX X ELEVATION
- NORTH

GRADING

CUT: 0 CY  
FILL: 0 CY  
TOTAL: 0 CY

LANDSCAPE

NO LANDSCAPING ON SITE



8/11/2025 3:01:25 PM

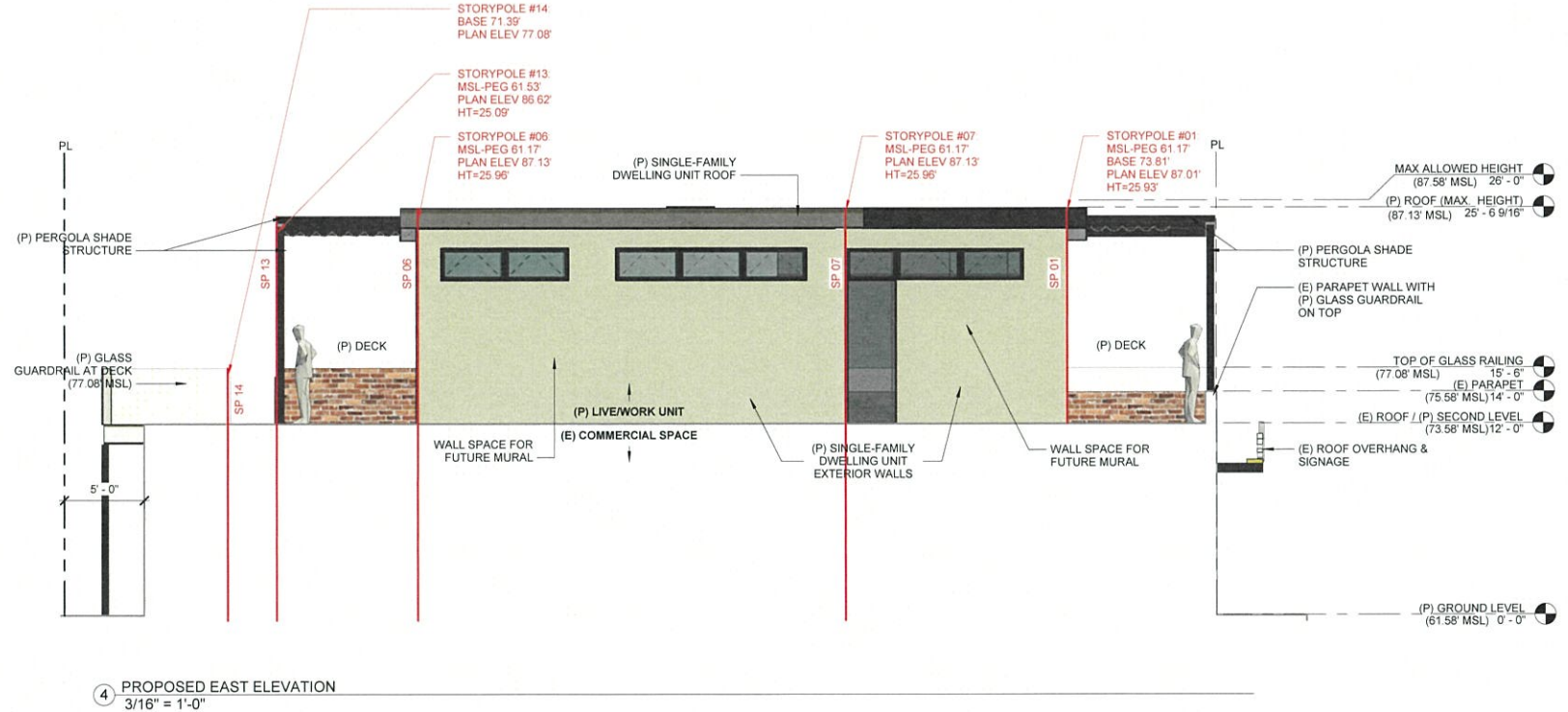
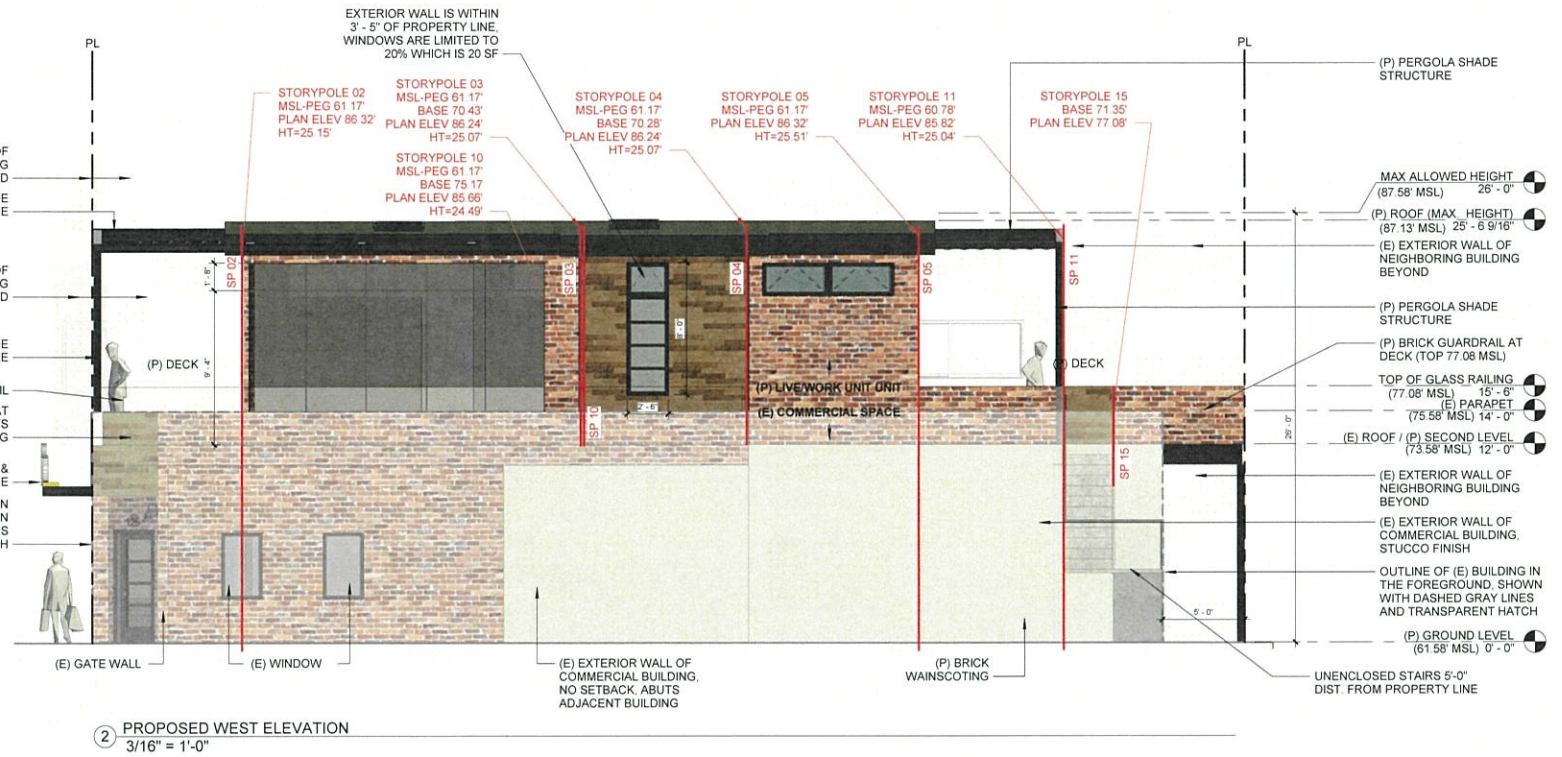
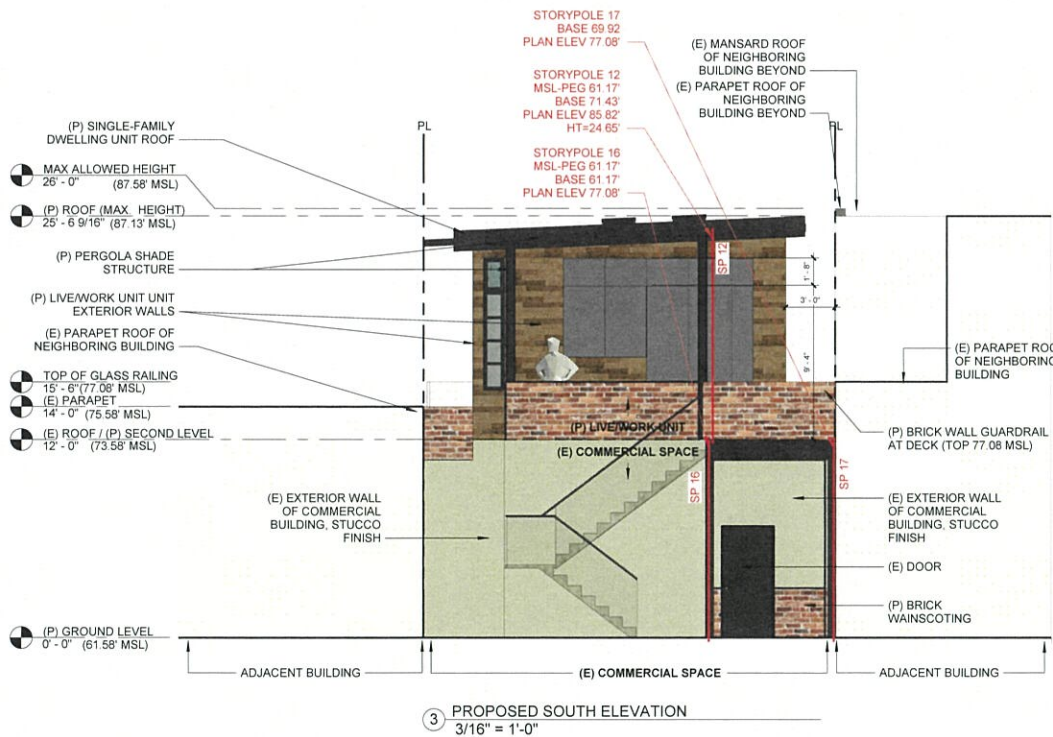
**URICH LIVE-WORK PROJECT**  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



| NO. | DESCRIPTION      | DATE    |
|-----|------------------|---------|
| 1   | CORRECTION REV 1 | 8/10/25 |
| 2   | CORRECTION REV 2 | 7/22/25 |
| 3   | CORR REV 3       |         |

**HUBBELL & HUBBELL**  
1970 SIXTH AVE., SAN DIEGO, CA 92101  
(619)-231-0446

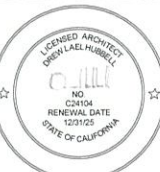
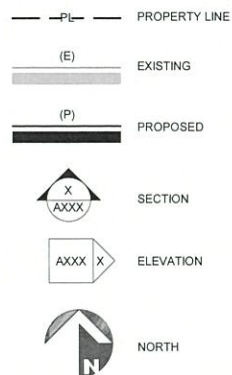
A110



#### ELEVATION & SECTION NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

#### LEGEND



8/11/2025 2:39:00 PM

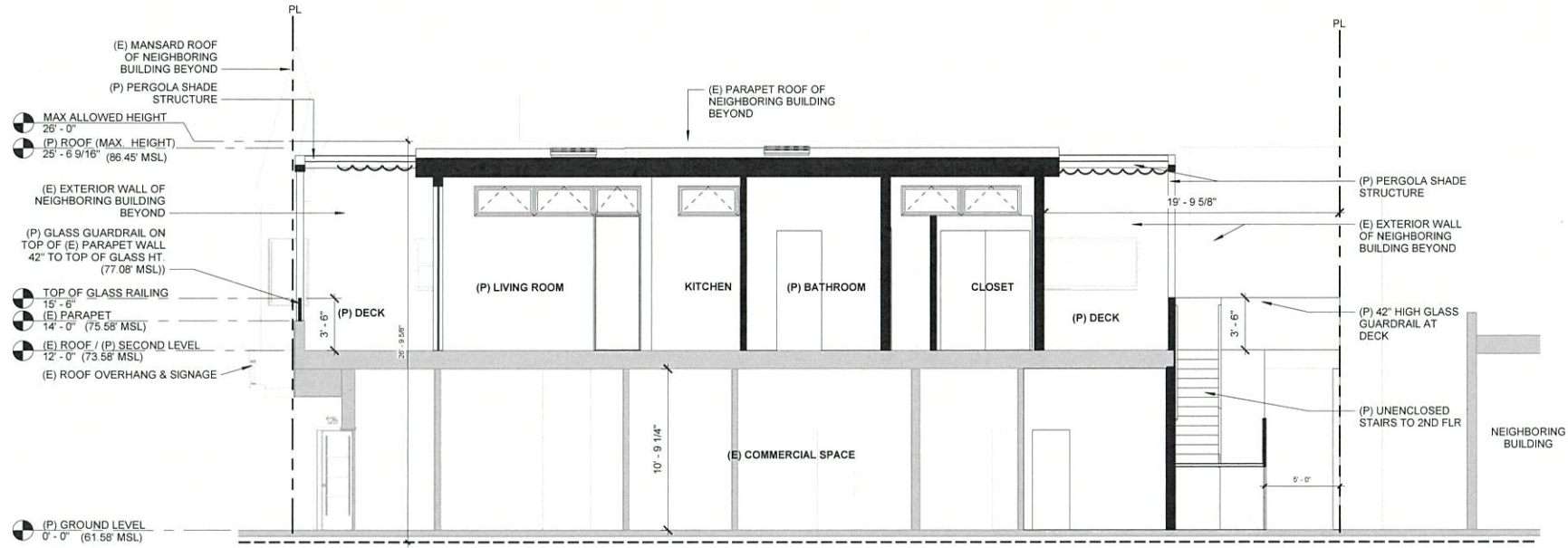
**URICH LIVE-WORK PROJECT**  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075

NO. DESCRIPTION DATE

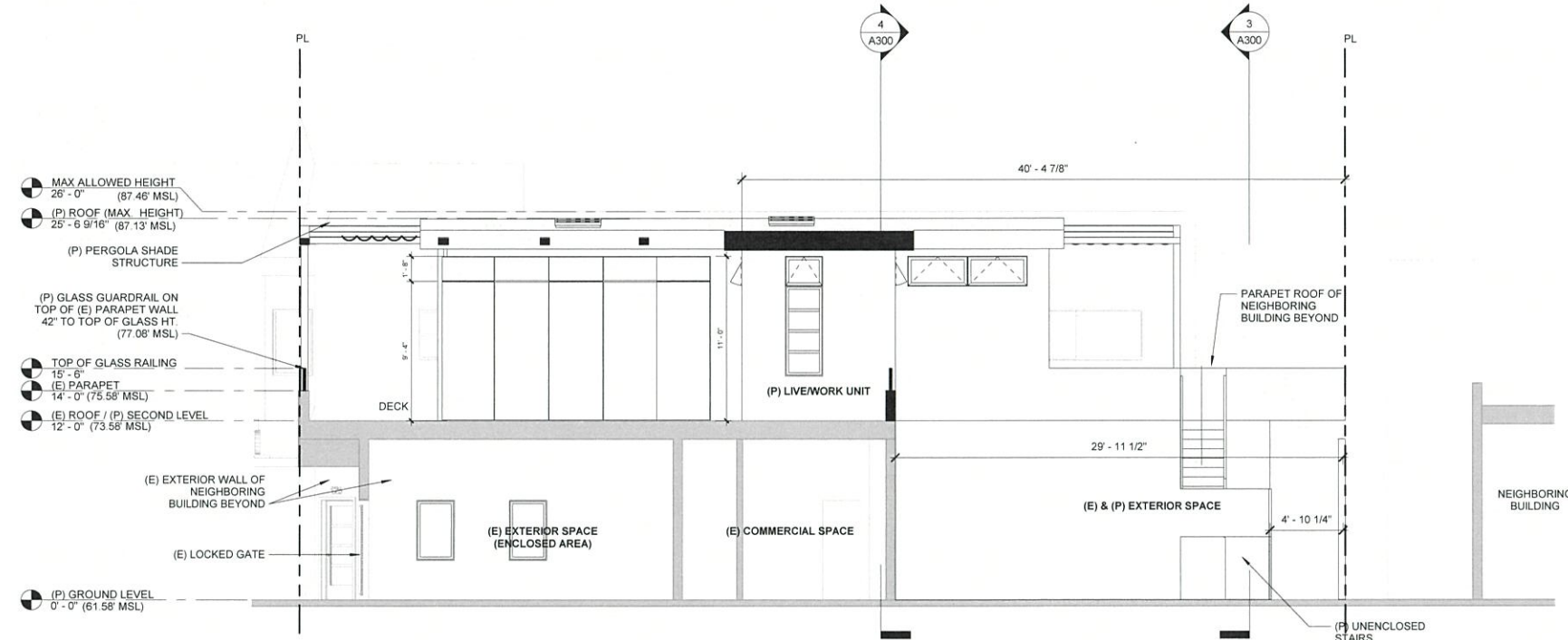
1 CORRECTION REV 1

**HUBBELL & HUBBELL**  
1970 SIXTH AVE., SAN DIEGO, CA 92101  
(619)-231-0446

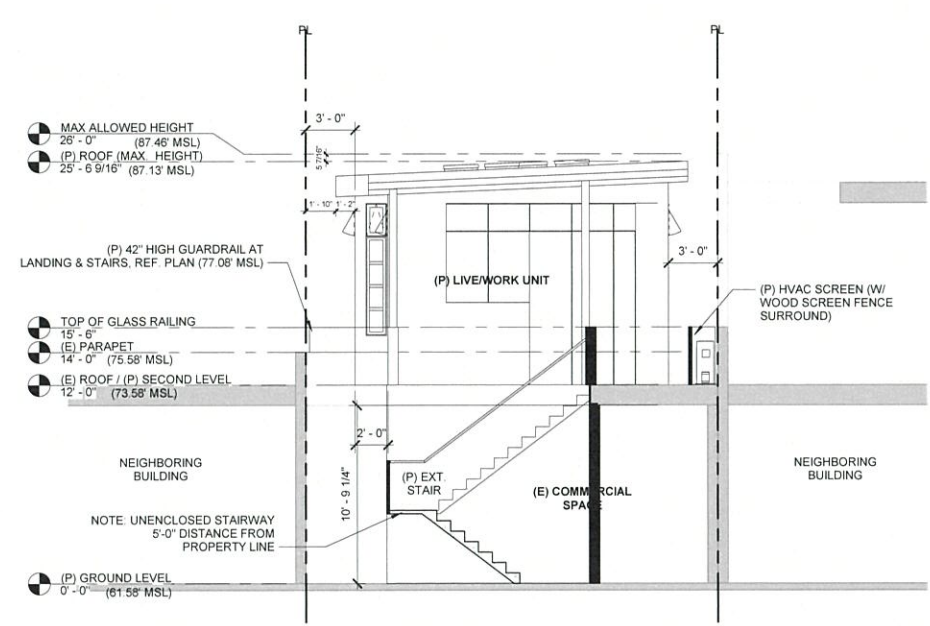
A200



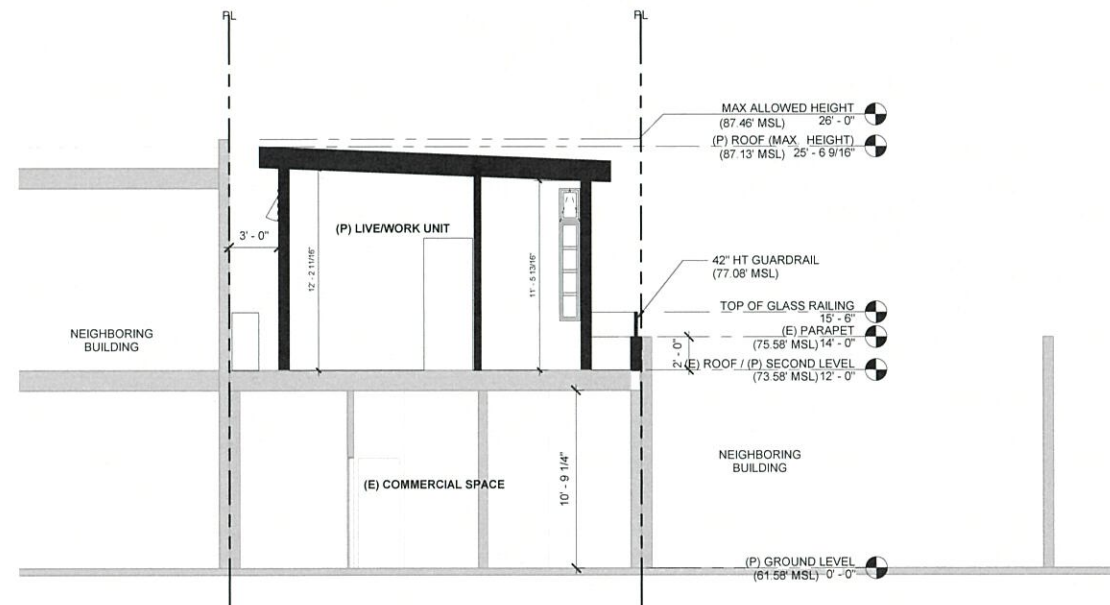
1 PROPOSED SECTION - NORTH / SOUTH  
3/16" = 1'-0"



2 PROPOSED SECTION - NORTH / SOUTH THRU ENCLOSED AREA  
3/16" = 1'-0"



3 PROPOSED SECTION - EAST / WEST - THROUGH STAIR  
3/16" = 1'-0"



4 PROPOSED SECTION - EAST / WEST  
3/16" = 1'-0"

ELEVATION & SECTION NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED

LEGEND

- PL — PROPERTY LINE
- (E) EXISTING
- (P) PROPOSED
- X  
A XXX SECTION
- A XXX X ELEVATION
- NORTH



8/11/2025 3:01:49 PM

URICH LIVE-WORK PROJECT  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075

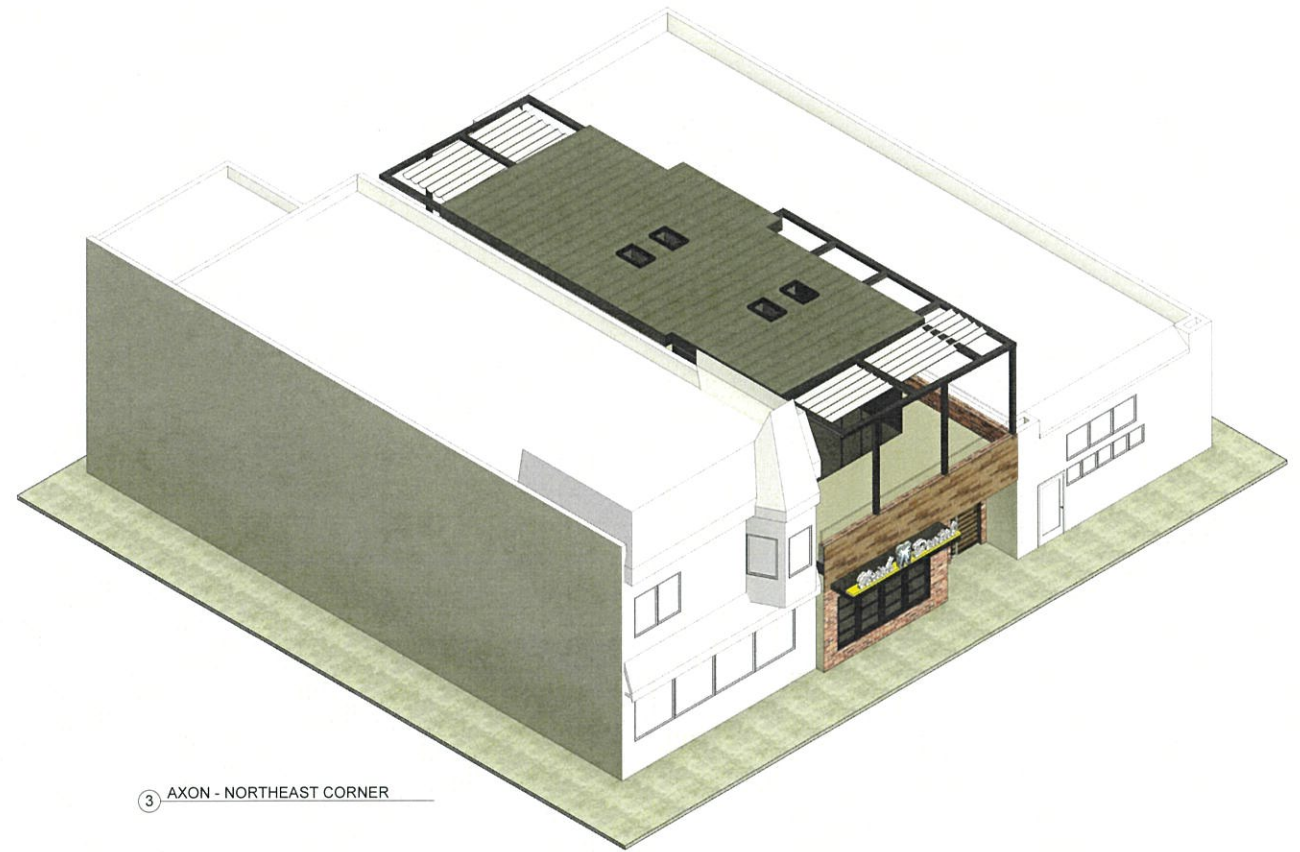
| NO. | DESCRIPTION      | DATE    |
|-----|------------------|---------|
| 1   | CORRECTION REV 1 |         |
| 3   | CORR REV 3       | 7/22/25 |

HUBBELL & HUBBELL  
1970 SIXTH AVE, SAN DIEGO, CA 92101  
(619)-231-0446

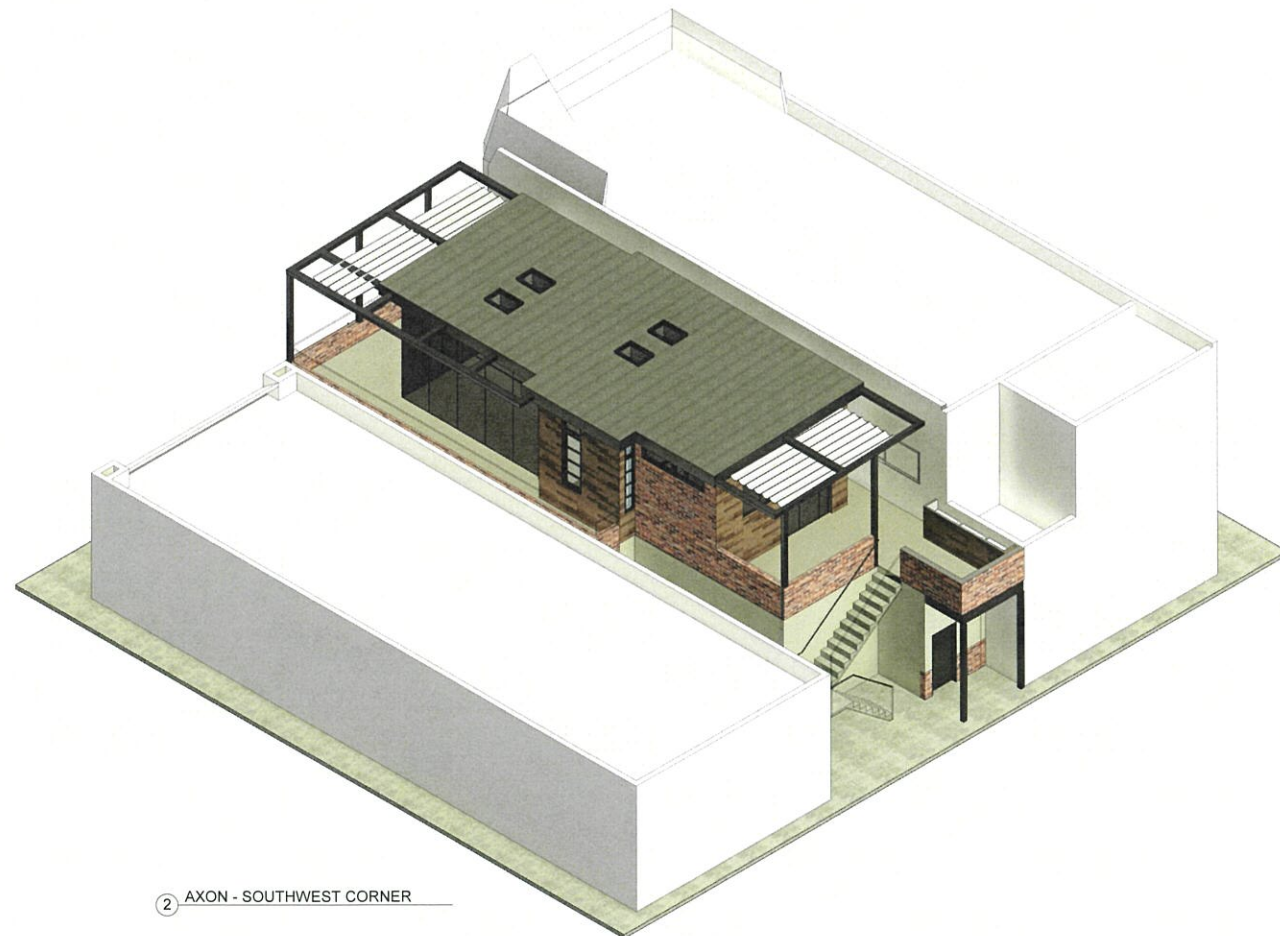
A300



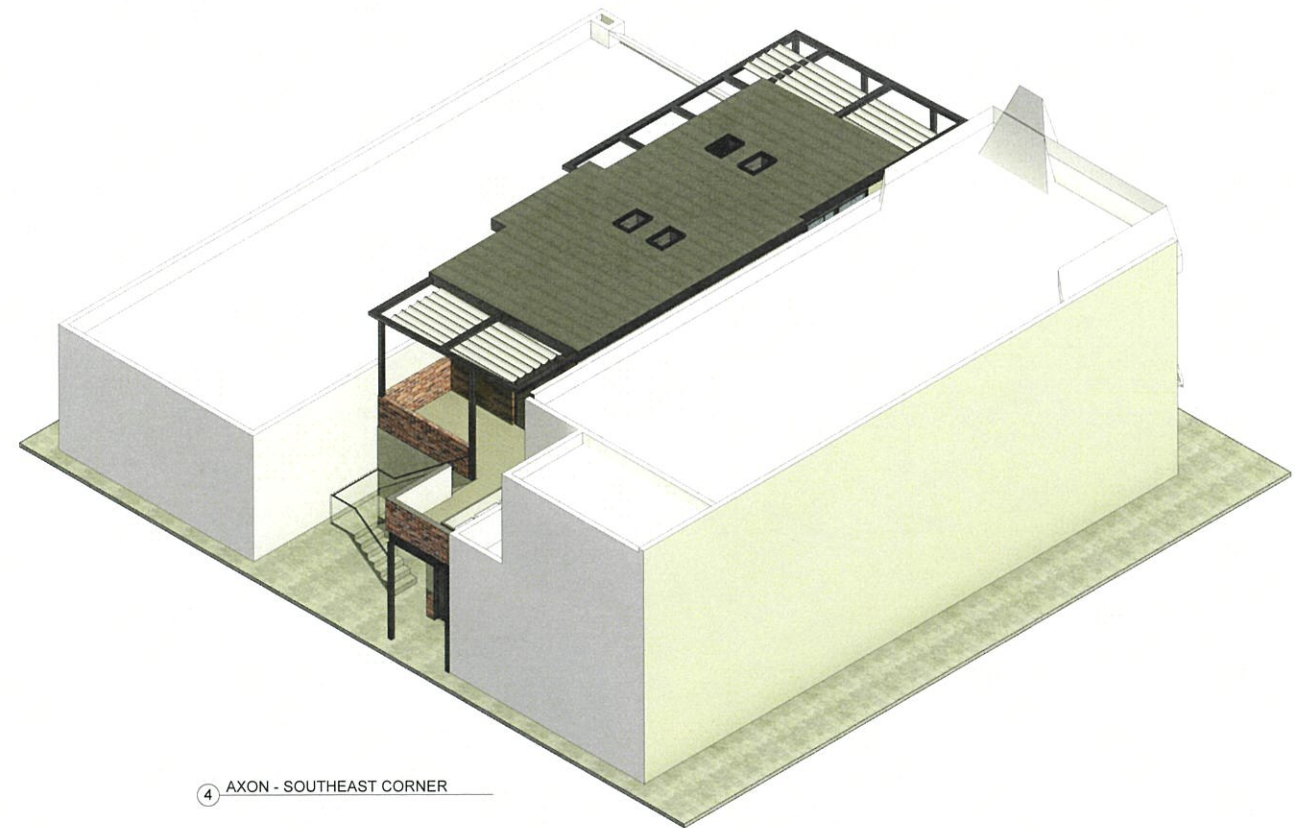
① AXON - NORTHWEST CORNER



③ AXON - NORTHEAST CORNER



② AXON - SOUTHWEST CORNER



④ AXON - SOUTHEAST CORNER



8/11/2025 3:02:24 PM

**URICH LIVE-WORK PROJECT**  
121 W. PLAZA STREET, SOLANA BEACH, CA 92075



NO. DESCRIPTION DATE

**HUBBELL & HUBBELL**  
1970 SIXTH AVE., SAN DIEGO, CA 92101  
(619) 231-0446

A400



1140 South Coast Hwy 101  
Encinitas, CA 92024  
Tel 760-942-8505  
Fax 760-942-8515  
[www.coastlawgroup.com](http://www.coastlawgroup.com)

**November 10, 2025**

Katie Benson  
Senior Planner  
Community Development Department  
City of Solana Beach  
Solana Beach, CA 92075

**VIA ELECTRONIC MAIL**

[kbenson@cosb.org](mailto:kbenson@cosb.org)

**RE: Proposed Live/Work Development at 121/125 West Plaza Street**  
DRP25-001/SDP25-001/DUP25-002

Dear Ms. Benson:

Please accept the following on behalf of Dr. David Urich, project applicant and owner of the property at 121/125 West Plaza Street, Solana Beach. The project before the City Council includes a Development Review Permit, Structure Development Permit, and Director's Use Permit for construction of a live/work loft space of approximately 675 square feet above the existing dental office (the "Project").

As a preliminary matter, the dental office commercial use is considered legally non-conforming due to the absence of private off-street parking. The adjacent City-owned parking lot provides parking for Dr. Urich's patients as well as customers of the adjacent commercial uses and the general public. Notwithstanding this parking non-conformity, the proposed construction of the live/work residential use is not considered an intensification of use due to the parking exemption provisions of Assembly Bill 2097. (Ca. Gov't Code sec. 65863.2; Solana Beach Municipal Code sec. 17.16.110.C.1).

To assist the City Council's consideration of the land use permits requested, please consider the following:

**Development Review Permit Findings**

Pursuant to section 17.68.040 of the municipal code, the Development Review Permit (DRP) regulations facilitate respect for the physical and environmental characteristics of the area, ensure safe and convenient access and circulation for pedestrians and vehicles, and reflect high level professional design practices. The proposed project easily achieves each of these goals.

The Project is an extremely small second-story infill project that naturally complements the development pattern surrounding the existing single-story structure. There are other two-story buildings immediately to the east and south-east, as well as across the street to the west. The proposed loft does not implicate any environmental resources, nor does it impede or impact pedestrian or vehicle travel. The proposed design, much like the recently completed façade on the

dental office, reflects a notable improvement when compared to many of the antiquated and unimproved buildings located in this commercial zone.

In addition to meeting the overarching goals for a DRP, the proposed municipal code findings in sub-section 17.68.040 can be met as follows:

Finding: The proposed development is consistent with the general plan and all applicable requirements of this title, including special regulations, overlay zones, and specific plans.

Response: The Project is consistent with all chapters of the general plan and zoning ordinance. In particular, the provision of an infill residential use in this location helps to maintain a balanced land use pattern with a mix of compatible uses that ultimately preserves the city's residential and recreational character as noted in the Land Use Element and does so while maintaining the City's small town coastal community charm. It respects the beachside setting, does not impact scenic views, and does not create conflict with adjacent land uses. And, as with any new housing in the City, the project contributes to the City's ability to meet the goals and requirements of its Housing Element.

Located in the General Commercial zone, the Project meets the municipal code's recommendation that residential development "shall be encouraged in a mixed-use integrated development." Further, the residential use above the dental office is within 50% of the gross allowable floor area limit and preserves the street level pedestrian oriented commercial frontages. The residential use is entirely consistent with the (C) commercial zone designation.

Findings: The proposed development complies with the development review criteria set forth in subsection F of Municipal Code section 17.68.04.

Responses: The subsection F required findings can all be made as follows:

1. Relationship with Adjacent Land Uses. The live/work loft is designed to complement existing development in the immediate vicinity of the dental office and the surrounding commercial neighborhood. As noted above, development of the upper portion of the structure consistent with the prior high-quality redevelopment of the dental office façade will present a marked upgrade to the sometimes-dilapidated surrounding structures of this older beach commercial area. Notably, the small second story residential addition is designed with substantial porosity, thereby ensuring it is compatible in scale, apparent bulk, and massing with the surrounding structures.
2. Building and Structure Placement. The second story Project is sited and designed to minimize adverse impacts on the surrounding properties and will be a visual and functional improvement to the neighborhood.

3. Landscaping. There is no vegetation proposed for removal and no new landscaping is required.
4. Roads, Pedestrian Walkways, Parking, and Storage Areas. As the proposed development is only a small second story residential unit, the Project will not negatively impact any common access roads or pedestrian walkways. The residential use is exempt from parking requirements as previously noted.
5. Grading. The Project does not include grading.
6. Lighting. Light fixtures for the residential unit are designed to assure safe and convenient nighttime access yet will be appropriately shielded to preclude transmission of undesirable light or glare to the surrounding area.
7. Usable Open Space. No usable open space is required with the Project. However, the Project provides the opportunity for a residence in close proximity to the City's free recreational resources at Fletcher Cove.

Given the foregoing, the City Council has sufficient evidence upon which to rely to make the findings required for issuance of a Development Review Permit.

### **Structure Development Permit**

A Structure Development Permit (SDP) is required for the addition to an existing structure exceeding sixteen feet above existing grade. The SDP process provides potentially affected neighbors with the opportunity to apply for view assessment if they believe the proposed addition will impact a private or public view. Because the Project includes a second story exceeding the 16-ft threshold, City staff provided required notice in the vicinity of the Project. No application for view assessment was received within the statutory 30-day notice period, and therefore any new claims of view impairment are to be deemed waived.

Nonetheless, the Project can meet all of the SDP Findings requirements noted in Municipal Code section 17.63.040(F):

1. Finding: The applicant for the structure development permit has made a reasonable attempt to resolve the view impairment issues with the person(s) requesting view assessment. Written evidence of a good faith voluntary offer to meet and discuss view issues, or of a good faith voluntary offer to submit the matter to mediation, is hereby deemed to be a reasonable attempt to resolve the view impairment issues.

Response: No view impairment issues were raised in response to the notice duly mailed to neighbors; no view assessment was requested. Generalized view impact concern was raised by one neighbor after expiration of the notice period, but after further investigation it was determined no primary views would be affected.

2. Finding: The proposed structure does not significantly impair a view from public property (parks, major thoroughfares, bike ways, walkways, equestrian trails) which has been identified in the city's general plan, local coastal program, or city designated viewing areas.

Response: No views identified in the City's general plan, local coastal program, or city designated viewing areas will be impacted. The proposed Project is a small second story addition in an area where there exist numerous buildings with second stories and no designated or protected public views to protect.

3. Finding: The structure is designed and situated in such a manner as to minimize impairment of views.

Response: The Project is a small second story addition to an existing structure in an already developed area of the City. The Project is designed with appropriate articulation to minimize the perception of bulk and scale, and to provide light and views through the development. No evidence of view impairment has been presented, and thus it can be presumed that the project minimizes impacts.

4. Finding: There is no significant cumulative view impairment caused by granting the application. Cumulative view impairment shall be determined by: (a) Considering the amount of view impairment caused by the proposed structure; and (b) considering the amount of view impairment that would be caused by the construction on other parcels of structures similar to the proposed structure.

Response: The Project does not contribute to any existing view impairment, nor would it exacerbate or cause view impairments if others similarly constructed improvements. To the east and the south of the Project, developments with second stories already exist. None of these buildings enjoy significant views. The building to the west of the Project could also develop a second story without impacting existing views. No cumulative view impact would occur if the Project is approved.

5. Finding: The proposed structure is compatible with the immediate neighborhood character.

Response: As noted, numerous other buildings in the area, including immediately adjacent to the Project, are two stories, reflecting both commercial and residential uses.

The Project's architecture, materials, and overall design will add to the small beach-town mixed use character of the neighborhood.

In light of the foregoing, despite the fact that no request for view assessment was made, the Project could easily meet the required Findings for an SDP.

### **Conditional/Developer Use Permit Findings**

The Project, because it is a live/work residential use in the General Commercial zone, requires a Director's Use Permit (a form of Conditional Use Permit issues by the Director of Community Development). The Solana Beach Municipal section 17.68.010(F) Conditional Use Permit findings are also required for a Director's Use Permit.

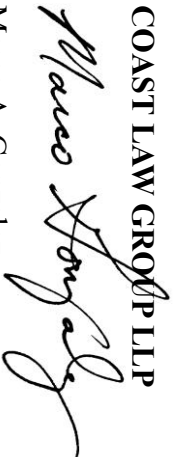
The Director's Use Permit ("DUP") requirement is for projects that need special consideration for their site, design, or operating characteristics to ensure they are compatible with the surrounding area. As noted above, the proposed development is consistent with the City's general plan, as well as the zoning ordinance and General Commercial (C) zone requirements. No aspect of the proposed use would be detrimental to the public health, safety, or welfare of the City, nor would the small residence materially injure any properties or improvements in its vicinity. As such, all of the required findings for a DUP can be made.

### **Conclusion**

Dr. Urich has made himself and his Project plans available to his neighbors for more than ten months and he continues to engage in discussions with anyone who so desires. As noted above, this small addition to his dental office is entirely consistent with the relevant planning and zoning regulations, and the Project is designed both to minimize impacts, and to generally improve the current state of construction in the immediate vicinity. We therefore respectfully request that you approve the Project at the November 19, 2025, City Council meeting.

Please do not hesitate to contact me with any questions or concerns regarding the foregoing.

Sincerely,

COAST LAW GROUP LLP  
  
Marco A. Gonzalez

CC: Client

**From:** [Marco Gonzalez](#)  
**To:** [Katie Benson](#)  
**Cc:** [David Urich](#)  
**Subject:** 121/125 West Plaza: Communications with Neighbors Pre-Hearing  
**Date:** Tuesday, November 11, 2025 2:06:34 PM

---

**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Katie

We would like to make sure staff is aware that we had a video conference with Dr. Urich's neighbors and their counsel regarding concerns with the proposed live/work residency at 121/125 West Plaza St. The email below was sent to the neighbors' counsel as a follow up to the call and accurately summarizes the discussion. To the extent feasible, we would appreciate inclusion of this communication in the documents provided to Councilmembers ahead of the hearing.

Thank you,

Marco Gonzalez

---

**Marco A. Gonzalez**  
(He/Him)  
Managing Partner  
**COAST LAW GROUP LLP**  
**Phone** (760) 942-8505 x102  
**Direct Line:** (760) 942-9870  
1140 S Coast Hwy. 101, Encinitas, CA 92024

---

**From:** Marco Gonzalez  
**Sent:** Tuesday, November 11, 2025 2:01 PM  
**To:** Steve Blake <steve@blakelawca.com>  
**Cc:** [REDACTED]; John Niedernhofer <john@culturebrewingco.com>; Monica Ubungen <monica@blakelawca.com>; David Urich <drurich@urichdental.com>  
**Subject:** RE: 121-125 Plaza St. Development

Hello Steve:

Thank you for coordinating the discussion earlier today regarding Dr. Urich's proposed redevelopment of his dental office to include an upstairs residential unit.

**ATTACHMENT 4**

Though we were unable to reach a substantive agreement at this time, we believe the call was useful to express the scope of concerns your clients have regarding the project. What we took away from the call was the impression that your clients are most concerned with potential impacts to their tenants from construction activity associated with the project, particularly the use of the pedestrian access easement by construction workers and the staging of equipment, materials, or a dumpster in the easement or in close proximity to your commercial tenant. We also heard that your clients are worried about the prospect of the residential unit being used by a family with kids, or by an individual that would host numerous people, and generally that Dr. Urich or his tenants would impact the quiet enjoyment of your tenants. You also noted concerns with security associated with the gate to the easement. Finally, your clients expressed frustration that they did not receive personal notice of the project from Dr. Urich as it evolved from the concept he disclosed to one of them nearly a year ago.

Dr. Urich's position is that your clients were notified of the project nearly a year ago, and that story poles were erected on the property in early August. We have no reason to believe the City failed to give appropriate notice of your clients' right to request a view assessment, but that no such request was made. Our position regarding the pedestrian easement is that it is only limited by the express language of the easement amendment, *to wit*, that access must be taken by foot. And while Dr. Urich believes he is within his rights to temporarily utilize the easement for construction workers building the residential unit, he also agrees that there will likely be benefits to all parties if construction activity is focused on the front of the building. However, we stressed that there are commercial uses on either side of Dr. Urich whose concerns must also be considered and addressed, and that our goal is to minimize disruption and impact to all parties. We strongly disagree that a single tenant inhabiting the new unit will be disruptive to the quiet enjoyment of your residential or commercial tenant.

We would, however, like to reiterate our commitment to working with you and your tenants to address various potential impacts with construction that could occur. As identified during our call, these include, but may not be limited to: noise, dust, the number of trips through the easement, the timing of trips through the easement, and the transportation (on foot) of construction materials and equipment through the easement. We believe that ample time exists post entitlement approval to consider this scope of potential impacts and to reach a reasonable agreement to minimize such disruptions. We believe it is necessary to have this discussion after a general contractor has been hired, and the logistics of demolition and construction are known with greater certainty. We believe these are "neighbor to neighbor" civil issues, and not relevant to the City's consideration of whether the project meets applicable municipal code and general plan

requirements.

We understand this representation of willingness to cooperate on an agreement post-approval may not be sufficient to earn your clients' support for the project. However, we would like to clear that Dr. Urich will not hold any opposition you choose to express at the upcoming hearing against you in further discussions and negotiations. We understand all parties must do what they believe is reasonable to protect their property rights.

Again, thank you for your and your clients' efforts earlier today. Please feel free to contact me should you wish to discuss these matters further before next week's hearing. I will be out of town Thursday through Sunday, but can be reached on my cell phone at: 619-985-9751.

Sincerely,

Marco Gonzalez

---

**Marco A. Gonzalez**

(He/Him)

Managing Partner

**COAST LAW GROUP LLP**

**Phone** (760) 942-8505 x102

**Direct Line:** (760) 942-9870

1140 S Coast Hwy. 101, Encinitas, CA 92024

**From:** [Grant Fletcher](#)  
**To:** [Katie Benson](#); [Joseph Lim](#)  
**Subject:** 115 W Plaza Grievances pertaining to proposed Urich construction/121 W Plaza  
**Date:** Monday, September 29, 2025 2:34:45 PM

---

CAUTION: External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The following is our observations and is backed and supported by all neighbors,tenants,etc:

Project is:

\*We believe the proposed structure will and is inconsistent with the discretionary DUP and SDP and will be found so by counsel and staff as the points mentioned are discussed.

\*Unsuitable for for location for noise,traffic,privacy for both parties in a historically designated commercial block.

\*We note prior HIPPA privacy concerns with previous therapist tenant who we lost as a complication from Urich

\*Previous city code violations on his rooftop resulting in citing and removal and cease and desist

\*Adversarial relations with our tenants and surrounding uses, contractors and owner

\*As a proposed "bachelor pad" there are privacy issues and further problems anticipated given Urich's history and living above 2 active bars/restraunts

\*Prospect of this pending construction making impossible to rent our upper unit -14 months vacant

\*Proposed construction,noise,mess and congestion next to active businesses/disruption for tenants and neighbors..No one adjacent on board with proposal.

\*Parking for residential purposes,guests,plus parking for the dental practice,employees,ect may further add to the problem as parking already an issue

\*Will not allow ongoing maintenance/access to west side of our 1920's historical building

\*Blocks natural light,views,emergency escape access to 4 upper level windows...ocean views from 3 windows...black out on entire building by a wall.Vitually zero space practical use setback for emergency escapes.. Due to roof configuration,A/C units etc, more skylights not an option

\*Will devalue building and diminish rentability,pricing,and income and our ongoing sustainability as commercial, in the marketplace.Already has limited our markets and killed deals by the visuals/storypoles,and shear notion

\*Would ask any counsel person or city staffer..Would you want or be happy with, this proposed project... infringing on your home,tenants, or income property? Has a direct economic effect

\*No upside for the city,us,or Mr Urich.Only strong potential for future hassels,quarreling,boundry disputes...Major privacy issues on all sides.Pits Urich against all neighbors,with a conflicting residential use where it clearly doesnt belong. He gets a unrentable bachelor pad ...What do we or the neighborhood get? Pretty much a ongoing hassel and devaluation

\*Urich was aware buying his property of its limits , as he had been only a tenant..We (who owned our building way prior to Mr Urich's purchase by Ed Stringer),would never have bought knowing the intent to build and block us....huge valuation game changer,as I was a former RE appraiser and understand the impactsI even advised Urich it was a bad idea to proceed,but clearly was desperate to to do this at any or anyone elses cost.

\*Most RE agents said this proposal is the worst case scenario,and I believe thy are correct

\*I will have legal counsel on standby....

Grant Fletcher

Owner 115-117 W Plaza SB



**From:** [Grant Fletcher](#)  
**To:** [Katie Benson](#); [Stephanie Karnavas](#)  
**Subject:** To COSB counsel adendum to previous submittal OBO 115-7 W Plaza  
**Date:** Thursday, November 6, 2025 12:41:07 PM

---

CAUTION: External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Additional observations directed to COSB counsel related to Ulrich proposal

The fact that City staff may be intimidated some time ago by Mr Ulrich's counsel to push this project through with no regard to the impacts bore by our property and surrounding properties and business. Communication has been slight at best. Most property owners uneducated about proposed impacts, timing, etc

The fact there is only one sole beneficiary under restrictions..Mr Ulrich., making no significant contribution to housing mandates. Its all a front.

This plan defies intent of ordinances, mixed use, and 101 specific plan, and skirts definition of "live work". Per issues raised by my counsel.

Defies multiple owners rights, views, intent of use, easements, and tenants quiet use.

Defies hostile neighborhood outcry on subject.

Violates the simple premise that this is about not whether Ulrich could, its whether he should in regard to neighborhood impacts. Ulrich's approach was deceptive and quite legally threatening. Thus, he has no conscience, but counsel has an obligation to its constituents to have one and do the right thing. Deny this permit.

Grant Fletcher/Owner 115-7 W Plaza SB

**From:** [Grant Fletcher](#)  
**To:** [Katie Benson](#); [Stephanie Karnavas](#)  
**Subject:** Final thoughts in review of Ulrich Project impacts 115-7 W Plaza  
**Date:** Friday, November 7, 2025 7:56:50 AM

---

CAUTION: External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Final Argument

Please consider this:

Currently our upper 1500 square foot space is used as office professional, precluding us per planning, from filing a view assessment (which we wanted to do, and would likely have prevailed).

The upper unit of our building was previously used as a residential apartment prior to my ownership. With some minor modifications it could again be used as residential dwelling capable of supporting upwards of twelve users as currently has roughly 6 spaces kitchenette, restroom, etc. At some point we may wish to convert back to that use. Mr Ulrich's project takes away that opportunity and diminishes the likelihood of finding those who would take the space based on view and light with its proximity to the beach. These units could and would contribute to the desired housing concerns of the city. Ulrich's project takes away those views, light, escape routes, etc for perpetuity, and diminishes that asset for both commercial or residential use.

Ulrich takes our views, and solely benefits for a tiny, self-serving, unsuitable, restrictive use benefitting really no one. I feel as owner violated, unheard, and biased in this process, as if the decision was made long ago without process, and staff under legal pressure to do so. This before real discretionary review by counsel. Makes one feel that this important decision/review is irrelevant. My hope upon review counsel will acknowledge the pushback, and the basic unfairness of the situation and reevaluate.

w

Grant Fletcher/Owner 115-7 W Plaza SB [REDACTED]

\*\*\* I welcome counsel to do an onsite review

**From:** [John Niedernhofer](#)  
**To:** [Katie Benson](#)  
**Cc:** [Michael Mahoney](#)  
**Subject:** Fwd: 121 W. Plaza Street development (SB)  
**Date:** Thursday, October 23, 2025 4:10:22 PM

---

You don't often get email from [john@culturebrewingco.com](mailto:john@culturebrewingco.com). [Learn why this is important](#)

**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Katie - thank you for your time today. During our discussion you indicated that you would send us a link or other material related to registering our questions and concerns to the proposed changes of occupancy to the adjacent building at 121 W. Plaza St. That was only several hours ago, so we will remain on the lookout for your note in event there is information about a different process to register questions and concerns, or if additional items occur to us. However, in the interim, the following include some of our questions and concerns:

- 1) what has the Applicant represented to the City of SB regarding a purported easement in their favor from 118 Acacia? If they have represented that there is any easement, we - the owners of 118 Acacia - are not familiar with it, and request a copy of it. Since this project changes the nature and occupancy of the Applicant property, and the owners of 118 Acacia were not notified by the owners of the Applicant property, any existing easement to the benefit of the Applicant property is deemed null and void; it is either disavowed or withdrawn.
- 2) Our residential tenant at 118 Acacia would presumably have a negative view impact, which may create liability to our tenant. We are unable to evaluate this without more information, and allowed an opportunity to discuss with tenants and the Applicant.
- 3) Primary construction ingress / egress would be through the rear of the building. Otherwise, construction materials such as drywall, roofing material would either need to be carried through the dental clinic operations, or by crane to the roof. We need more information, and time to work through it with Dr. Urich.
- 4)) Tenant access - and their guest access - would presumably be through the rear. Otherwise it would need to be through the Dental office space. Furniture and fixtures, groceries, and guests of the tenant would all need to be paraded through the dental office - which is not practical and seems absurd that the Applicant proposed it and that it was accepted at face value the the City of SB..
- 5)) you advised the Applicant assured that second floor tenants would ONLY be employees of the Dental Practice on the first floor. That seems difficult to enforce or verify. To wit, suppose employment of the tenant is terminated during a lease term? Does that require the tenant immediately surrender occupancy and vacate? I cannot imagine a lease that states such, would be agreed upon, nor that it would be legally enforceable.
- 6) any occupant or guest of the second story of the Applicant property should be expected to take the path of least resistance for ingress and egress, which would be by traversing through the 118 Acacia Property. If they should suffer some injury while on the property of 118

Acacia, they might allege the owners or tenants of 118 Acacia are liable for the injury. That is untenable. We cannot be put in that position for obvious reasons.

These are just some of questions and concerns that have arisen in the several hours since we adjourned our meeting with you. Thank you again for granting us this meeting in short notice.

We request that the DRP for this project be moved back to a later date for us to gather more information and work through towards solutions. Otherwise the existing process will involve needless conjecture and friction, and we will stand by a position that the Applicant should solve ingress and egress to the second floor unit - should it be allowed - through modifications to their own premises, not by imposing unwelcome and non approved traffic through a neighbor property.

Thank you for your consideration.

John Niedernhofer  
john@culturebrewingco.com  
[REDACTED]

On Oct 23, 2025, at 12:44 PM, Michael Mahoney  
[REDACTED] > wrote:

Katie - thank you again for your time. John is copied on this so you have his email too when you send the follow up info we discussed.

On Wed, Oct 22, 2025 at 9:28 AM Michael Mahoney  
<[REDACTED]> wrote:

Ok, can we plan on 11:30 please? Can you please send me a link if you're planning zoom, teams, etc..?

On Wed, Oct 22, 2025 at 9:27 AM Katie Benson  
<[kbenson@cosb.org](mailto:kbenson@cosb.org)> wrote:

Hi Michael,

I am not available today, but will be tomorrow – Thursday at 9:30, 11:30, 1:30, 2:30, 04 3:30 to schedule a call.

**Katie Benson** (she/her)

Senior Planner | Community Development Department

City of Solana Beach | [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

635 S Highway 101, Solana Beach, CA 92075

(858) 720-2448 | [kbenson@cosb.org](mailto:kbenson@cosb.org)

All Planning/Building services are by appointment

Upcoming City Hall closures: Oct 10, 24, Nov 7, 11, 21, 27, 28

Upcoming out of office dates: Nov 10

---

**From:** Michael Mahoney [REDACTED]  
**Sent:** Wednesday, October 22, 2025 9:22 AM  
**To:** Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)>  
**Subject:** Re: 121 W. Plaza Street development (SB)

You don't often get email from [REDACTED]. [Learn why this is important](#)

**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Katie -

Just left you a message as well, but I'd like to jump on that zoom call or meet at your office today if possible. I still have no visual understanding of what is being built and how it will impact my property, so am trying to fast track this ASAP in advance of this planned city council meeting. Please let me know when you're available. Thanks.

On Tue, Oct 14, 2025 at 3:48 PM Katie Benson  
<[kbenson@cosb.org](mailto:kbenson@cosb.org)> wrote:

Hi Michael,

Thanks for reaching out. No applications for View Assessment were received during the 30-day deadline, which is the notice you are referring to. The project is now ready for consideration by the City Council and is tentatively scheduled for the November 5<sup>th</sup> City Council meeting. I will be able to confirm placement on the 11/5 agenda next week. In the meantime, if you have any questions about the project or want to see the project plans, we can schedule a meeting or Zoom call.

Thanks,

Katie

**Katie Benson** (she/her)

Senior Planner | Community Development Department

City of Solana Beach | [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

635 S Highway 101, Solana Beach, CA 92075

(858) 720-2448 | [kbenson@cosb.org](mailto:kbenson@cosb.org)

All Planning/Building services are by appointment

Upcoming City Hall closures: Oct 10, 24, Nov 7, 11, 21, 27, 28

Upcoming out of office dates: Nov 10

---

**From:** Michael Mahoney <[REDACTED]>

**Sent:** Friday, October 10, 2025 10:26 AM

**To:** Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)>

**Subject:** 121 W. Plaza Street development (SB)

You don't often get email from [REDACTED]. [Learn why this is important](#)

**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Katie -

I own the neighboring property to at 118 S. Acacia in Solana Beach and received the letter regarding David Urich's proposed 2nd story live/work development. I'm not sure when the city meeting will be where neighbors and the community can attend. Can you please let me know so I can mark on my calendar as I would absolutely like to attend. Thanks.

**From:** John Niedernhofer  
**To:** Katie Benson  
**Cc:** Michael Mahoney; Joseph Lim  
**Subject:** Re: 121 W. Plaza Street development (SB)  
**Date:** Thursday, October 23, 2025 6:24:57 PM

You don't often get email from john@culturebrewingco.com. [Learn why this is important](#)

CAUTION: External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Katie - an update - we located the title report from our acquisition of 118 Acacia, and after a limited review we do NOT see any easement to the benefit of 121 W. Plaza Street. As such, since there is a proposed change and expansion of the use of the 121 West Plaza premises, we do not consent to the proposed change of use. Further, if there is a prescriptive, implied or recorded easement, we feel it is inapplicable to the proposed change and expansion of the use of 121 West Plaza.

As such, we feel it best to defer this item to a later Council meeting as an agenda item until we can work through the issues with our neighbors and with the City.

Thank you.

On Oct 23, 2025, at 5:43 PM, John Niedernhofer <john@culturebrewingco.com> wrote:

Katie - Thank you for your continued attention to this matter and responsiveness. It appears that our notes crossed paths a little over an hour ago.

We urgently appeal to you to delay this item to a later Council meeting date, as maintaining this on the agenda will force a process of unnecessary friction that would be much better handled in advance of a public Hearing. There are two distinct issues - View impact, and access to the premises. We have concerns about both. I understand that we were tardy in addressing the View Assessment. However, please note our objections based on view impact, regardless of the Assessment process.

Further please note that we have questions and concerns about the City's View Assessment process. No information was provided to us about the proposed project, so we are left with only representations made orally to us by Applicant - which now appear to potentially be misrepresentations - or conjecture about the project. Our concerns are below.

- Providing a 30 day opportunity to request a View Assessment without providing any information about the proposed Project strikes us as a flawed process. Further, it is unclear if a timely View Assessment request would have revealed the rear entrance to the proposed second floor structure of the Applicant.

- When we spoke this afternoon, you said that the decision on moving forward with a Nov. 5 Hearing date and any related notice would take place this coming Monday. Now you have accelerated that to tomorrow, despite us noting that we had many questions and concerns to be worked through. Why did you accelerate the decision and communication on the date?

- Please explain how the City accepted the Applicant's representation that any tenant would be an employee of the dental practice or an employee of any future business in its place?

- Please have your City Attorney explain how that is legally possible to place that restriction on any future tenant via a lease agreement under CA landlord/tenant law?

- At the risk of the obvious, if the employee terminates regardless of the reason, they will no longer have upstairs access through the dental clinic. This will force exclusive access through our private property. Any guest of the Tenant will presumptively not have access through the downstairs business and will be forced to access to the rear by entering our premises without our knowledge or consent, and without the knowledge or consent of any of our tenants. The City places us in an untenable position by preliminarily approving sole Tenant access at the rear of the building.

- Please ask the City Attorney to explain how the City plans to verify second floor tenant employment on an ongoing basis.

- Please ask the City Attorney how we can reassure out tenants' safety of person and belongings, if we have no control over coming and going of Tenants and their guests through property that we have contractually - through standard for commercial and residential lease agreements - agreed to provide exclusive right of occupancy? Will the City indemnify us?

- Similarly, if the City of SB has eliminated our ability to govern who is authorized to traverse our property, will the City indemnify us for any resultant claim of pedestrian injury on our premises for a neighbor tenant guest?

- I note the embedded assumption that there is "likely a recorded or prescriptive easement".

- It seems appropriate and necessary for the City to confirm that there is an easement before moving forward with the proposed project.

- If there is an easement burdening our property, it would only contemplate existing use. The project changes the use, which would necessitate a renegotiation of an easement. We do not consent to this.

- if there is an easement, we declare it null and void.

- it appears that by assuming there is an existing easement, and expanding the use and scope of any easement - whether recorded or prescriptive - The City is effectively taking property rights of a private citizen and granting them to another private citizen without their consent. That seems well out of the City's purview and authority.

Katie - I am writing this in haste in response to startling news learned this afternoon. I hope there is no tone in my note, but in my haste and concern, forgive me if my words seem strident. My ask of you is to please delay the Council's Hearing of this matter to a later Agenda date. I anticipate that if you raise this to the Applicant, that we are seeking a brief delay to better understand the issues and to seek common ground and work through points of concern, they will be agreeable. Otherwise I expect this will be unnecessarily messy to work through. Meanwhile we will see if we have contact information for the Applicant to appeal to him for a brief delay and dialogue about what is proposed.

Thank you for your consideration.

On Oct 23, 2025, at 4:04 PM, Katie Benson <kbenson@cosb.org> wrote:

Hi Michael and John,

I confirmed with the Community Development Director, Joseph Lim, that Staff cannot accept an Application for View Assessment after the 30-day window established by the SDP Notice, which was mailed September 9, 2025 with a deadline to file by October 9, 2025. You are still able to express your concerns with the project relative to view impairment when addressing the City Council, but opportunity to file an application for View Assessment or for the project to be considered by the View Assessment Commission has passed.

The project is scheduled to be heard by the City Council on November 5, 2025 (Public Hearing Notice attached and will be mailed tomorrow). That meeting date cannot be delayed as Staff is required to offer the Applicant their Due Process.

With regard to access, the Live/Work Unit occupant will be required to be an employee of the dental office (or any future business) and will have access from the public sidewalk at Plaza Street, through the dental office, and up the exterior stairs at the rear (south) side of the property. My understanding is that the dental office is required to have two points of egress, and there is likely either a recorded or prescriptive easement over your property for that egress. Whether that walkway is used for regular ingress and egress for the Live/Work Unit is a civil matter.

[Live/Work Units](#) are conditionally allowable use that are incidental to the associated commercial use. There are specific regulations outlined in [SBMC 17.60.170\(D\)](#). The Live/Work use is subject to the discretionary approval of a [Director's Use Permit \(DUP\)](#). The project is also subject to the discretionary approval of a [Development Review Permit \(DRP\)](#) and [Structure Development Permit \(SDP - View Assessment\)](#).

#### [Development Review Permit \(DRP\) Findings](#)

17.68.040 (H) City Council Determination and Findings. The city council may approve or conditionally approve a development review permit only if all of the following findings can be made:

1. The proposed development is consistent with the general plan and all applicable requirements of this title, including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria set forth in subsection F of this section.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

[17.68.040 \(F\) Development Review Criteria](#). Development plans shall be reviewed for compliance with the following specific criteria:

1. [Relationship with Adjacent Land Uses](#). The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.
2. [Building and Structure Placement](#). Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.
3. [Landscaping](#). The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.
4. [Roads, Pedestrian Walkways, Parking, and Storage Areas](#). Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.
5. [Grading](#). To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.
6. [Lighting](#). Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).
7. [Usable Open Space](#). Recreational facilities proposed within required usable open space areas shall be located and designed to maintain essential open space values. Consideration shall be given to type and quantity of such uses, including but not limited to golf courses, picnic and barbecue areas, tot lots, open playing fields, swimming pools and spas, and court facilities.

#### [Conditional/Director's Use Permit CUP/DUP Findings: 17.68.010 \(F\)](#)

1. Before granting a conditional use permit, the planning director or city council shall make all of the following findings:
  - a. That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located.
  - b. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
  - c. That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC [17.68.020](#).
2. If the conditional use permit is for the purpose of permitting an expansion, restoration, or extension of a nonconforming use or structure then only the findings of Chapter [17.16](#) SBMC must be made.

#### [11/5/2025 City Council Meeting](#)

I will need correspondence by Monday, October 27, 2025 in order to ensure it is included as a referenced attachment to the staff report. Correspondence received after that date will still be provided to the City Council, but separately from the staff report and project materials. As I mentioned on the phone, the earlier you can get your written concerns before the Council, the more opportunity they will have to consider your concerns and perhaps visit your property.

The City Council meeting will be held at 6:00PM at the City Hall Council Chambers. If you wish to speak, you will want to arrive a few minutes early and submit a speaker slip to the City Clerk. If you want to present a PowerPoint, I will need to bring a PDF copy of your presentation on a USB drive. Please let me know if you any questions about the Council meeting process. I would be happy to schedule another call to clarify.

Thanks,  
Katie

**Katie Benson** (she/her)  
Senior Planner | Community Development Department  
City of Solana Beach | [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)  
635 S Highway 101, Solana Beach, CA 92075  
(858) 720-2448 | [kbenson@cosb.org](mailto:kbenson@cosb.org)

All Planning/Building services are by appointment  
Upcoming City Hall closures: Oct 10, 24, Nov 7, 11, 21, 27, 28  
Upcoming out of office dates: Nov 10

---

**From:** John Niedernhofer <[john@culturebrewingco.com](mailto:john@culturebrewingco.com)>  
**Sent:** Thursday, October 23, 2025 1:15 PM  
**To:** Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)>  
**Cc:** Michael Mahoney [REDACTED]  
**Subject:** Re: 121 W. Plaza Street development (SB)

You don't often get email from [john@culturebrewingco.com](mailto:john@culturebrewingco.com). [Learn why this is important](#)  
**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Katie - Please consider this our formal request to allow for an extension of the 30 day View Assessment period through tomorrow. As we discussed, we only recently - earlier this week - received the Notice from the City; this was due to delays associated with a change of our business mailing address and associated USPS mail forwarding delays. We are not suggesting that the City of SB was late in mailing. However, more significantly we were shocked to learn that Dr. Ulrich has proposed rear access via an Easement we granted. We are not aware of any Easement we granted from 118 Acacia to the benefit of the Applicant. Further, we had been reassured by Dr. Ulrich that our property would not be impacted. We learned today that ingress / egress would be through the rear of the Applicants property. We are concerned about liability to our residential and commercial tenants.

If you will allow this, we will drop off the completed View Assessment request form and a \$700 check today or tomorrow.

If I have further questions, are you available tomorrow? I recall from unrelated matters that the City Staff is unavailable every other Friday. Also can you please forward to us the information you offered regarding the DRP process and registering concerns for the file?

Lastly, since there is only one business day left before this is added to the Nov. 5 City Council agenda, we ask that you please defer this item to the following month agenda. That would allow us to become more informed about the proposed project and allow for an opportunity to work through questions and concerns directly with the applicant in an effort to find common ground solutions.

Thank you. If you have any questions on our end, please email, text or call me.

John Niedernhofer  
[john@culturebrewingco.com](mailto:john@culturebrewingco.com)  
[REDACTED]

On Oct 23, 2025, at 12:44 PM, Michael Mahoney <[REDACTED]> wrote:

Katie - thank you again for your time. John is copied on this so you have his email too when you send the follow up info we discussed.

On Wed, Oct 22, 2025 at 9:28 AM Michael Mahoney <[REDACTED]> wrote:

Ok, can we plan on 11:30 please? Can you please send me a link if you're planning zoom, teams, etc..?

On Wed, Oct 22, 2025 at 9:27 AM Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)> wrote:

Hi Michael,

I am not available today, but will be tomorrow – Thursday at 9:30, 11:30, 1:30, 2:30, 04 3:30 to schedule a call.

**Katie Benson** (she/her)  
Senior Planner | Community Development Department  
City of Solana Beach | [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)  
635 S Highway 101, Solana Beach, CA 92075  
(858) 720-2448 | [kbenson@cosb.org](mailto:kbenson@cosb.org)

All Planning/Building services are by appointment  
Upcoming City Hall closures: Oct 10, 24, Nov 7, 11, 21, 27, 28  
Upcoming out of office dates: Nov 10

---

**From:** Michael Mahoney <[REDACTED]>  
**Sent:** Wednesday, October 22, 2025 9:22 AM  
**To:** Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)>  
**Subject:** Re: 121 W. Plaza Street development (SB)

You don't often get email from [REDACTED]. [Learn why this is important](#)  
**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Katie -

Just left you a message as well, but I'd like to jump on that zoom call or meet at your office today if possible. I still have no visual understanding of what is being built and how it will impact my property, so am trying to fast track this ASAP in advance of this planned city council meeting. Please let me know when you're available. Thanks.

On Tue, Oct 14, 2025 at 3:48 PM Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)> wrote:

Hi Michael,

Thanks for reaching out. No applications for View Assessment were received during the 30-day deadline, which is the notice you are referring to. The project is now ready for consideration by the City Council and is tentatively scheduled for the November 5<sup>th</sup> City Council meeting. I will be able to confirm placement on the 11/5 agenda next week. In the meantime, if you have any questions about the project or want to see the project plans, we can schedule a meeting or Zoom call.

Thanks,  
Katie

**Katie Benson** (she/her)  
Senior Planner | Community Development Department  
City of Solana Beach | [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)  
635 S Highway 101, Solana Beach, CA 92075  
(858) 720-2448 | [kbenson@cosb.org](mailto:kbenson@cosb.org)

All Planning/Building services are by appointment  
Upcoming City Hall closures: Oct 10, 24, Nov 7, 11, 21, 27, 28  
Upcoming out of office dates: Nov 10

**From:** Michael Mahoney <[REDACTED]>  
**Sent:** Friday, October 10, 2025 10:26 AM  
**To:** Katie Benson <[kbenson@cosb.org](mailto:kbenson@cosb.org)>  
**Subject:** 121 W. Plaza Street development (SB)

You don't often get email from [REDACTED] [Learn why this is important](#)  
**CAUTION:** External e-mail. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Katie -

I own the neighboring property to at 118 S. Acacia in Solana Beach and received the letter regarding David Ulrich's proposed 2nd story live/work development. I'm not sure when the city meeting will be where neighbors and the community can attend. Can you please let me know so I can mark on my calendar as I would absolutely like to attend. Thanks.

<PH Notice\_121 W Plaza - Ulrich Live-Work (11.05.25).pdf>



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** Community Development Department – Corey Andrews, City Planner  
**SUBJECT:** **Public Hearing: Request for a DRP to Construct an Interior Remodel and Square Footage Addition Including a New Garage at an Existing Single-Story Single-Family Residence and Perform Associated Site Improvements at 453 Canyon Drive. (Applicant: Dan and Elizabeth Baker; Application: DRP25-003; APN: 263-194-01; Resolution No. 2025-123)**

---

## **BACKGROUND:**

The property owners, Dan and Elizabeth Baker (herein referred to as “Applicant”), are requesting City Council (Council) approval of a Development Review Permit (DRP) to construct a 789 square foot living area addition, a new attached 481 square foot garage and perform associated site improvements including 120 cubic yards of cut, 80 cubic yards of fill and 555 cubic yards of removal and recompaction on property at 453 Canyon Drive. The maximum building height of the proposed addition would be 13.45 feet in height, or 267.90 MSL, measured above the existing and proposed grade of 254.45 MSL.

A DRP is required for grading in excess of 100 cubic yards and a proposed development in excess of 60 percent of the maximum allowable floor area. The proposed addition would not exceed 16 feet in height measured from the pre-existing grade; therefore, the project is not subject to View Assessment and the approval of a Structure Development Permit is not required.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant’s request as contained in Resolution 2025-123 (Attachment 1).

## **DISCUSSION:**

COUNCIL ACTION:

---

---

The 12,600 square-foot lot is located within the Low Residential (LR) Zone and the Scaled Residential Overlay Zone (SROZ). The rectangular lot is located on the south side of Canyon Drive and would be accessed by a new driveway in the center of the lot. The topography slopes upward as you move diagonally from the northwest corner starting at 250.80 MSL and ending at 259 MSL at the southeast corner of the lot. The property is currently developed with a 2,431 square foot single-story single-family residence and other site improvements.

The Applicant is proposing to construct a 789 square foot living area addition and a new 481 square foot attached garage and perform site improvements including grading, construction of a pool and spa and a detached 800 square foot Accessory Dwelling Unit (ADU) in the southeast corner of the property that is not subject to the City Council's purview of the DRP and does not count toward the gross floor area calculation for the project. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicant's proposed design.

| <b>Table 1</b>                                                                                                     |                 |                                                                                                                                                   |                                 |
|--------------------------------------------------------------------------------------------------------------------|-----------------|---------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|
| <b>LOT INFORMATION</b>                                                                                             |                 |                                                                                                                                                   |                                 |
| <b>Property Address:</b>                                                                                           | 453 Canyon Dr.  | <b>Zoning Designation:</b>                                                                                                                        | ER-2 (1-2 du/ac)                |
| <b>Lot Size (Gross):</b>                                                                                           | 12,600 sf       | <b># Units Allowed:</b>                                                                                                                           | 1 D/U, 1 ADU, 1 JADU            |
| <b>Max. Allowable Floor Area:</b>                                                                                  | 4,155 sf        | <b># Units Ex/Proposed:</b>                                                                                                                       | 1 D/U, 1 ADU                    |
| <b>Proposed Floor Area:</b>                                                                                        | 3,301 sf        | <b>Setbacks: (d)</b>                                                                                                                              | <b>Required</b> <b>Proposed</b> |
| <b>Below Max. Floor Area by:</b>                                                                                   | 854 sf          | Front (N)                                                                                                                                         | 25 ft 25 ft                     |
| <b>Max. Allowable Height:</b>                                                                                      | 25 ft           | Interior Side (W)                                                                                                                                 | 5 ft 5 ft-10in                  |
| <b>Max. Proposed Height:</b>                                                                                       | 13.45 ft        | Interior Side (E)                                                                                                                                 | 5 ft 7 ft-5in                   |
| <b>Existing/Proposed Grade:</b>                                                                                    | 254.45 MSL      | Rear (S)                                                                                                                                          | 25 ft 62 ft                     |
| <b>PROPOSED PROJECT INFORMATION</b>                                                                                |                 |                                                                                                                                                   |                                 |
| <b>Proposed Floor Area Breakdown:</b>                                                                              |                 | <b>Required Permits:</b>                                                                                                                          |                                 |
| Existing Living Area                                                                                               | 2,431 sf        | <b>DRP</b> for grading in exceedance of 100 cubic yards and proposed total floor area to exceed 60% of maximum allowable floor area for the site. |                                 |
| First Floor Addition                                                                                               | 789 sf          |                                                                                                                                                   |                                 |
| Garage                                                                                                             | 481 sf          |                                                                                                                                                   |                                 |
| Subtotal                                                                                                           | 3,701 sf        |                                                                                                                                                   |                                 |
| Off-Street Parking Exemption                                                                                       | - 400 sf        |                                                                                                                                                   |                                 |
| <b>Total Proposed Floor Area:</b>                                                                                  | <b>3,301 sf</b> |                                                                                                                                                   |                                 |
| <b>Required Parking:</b> 2 (SFR)                                                                                   |                 | <b>Existing Development:</b> Recently demolished                                                                                                  |                                 |
| <b>Proposed Parking:</b> 2 Garage, 1 Exterior                                                                      |                 | Single-family residence with attached garage                                                                                                      |                                 |
| <b>Proposed Fences and Walls:</b> Yes                                                                              |                 |                                                                                                                                                   |                                 |
| <b>Proposed Accessory Structure:</b> Yes                                                                           |                 |                                                                                                                                                   |                                 |
| <b>Proposed Grading:</b> 120 CY of excavation, 80 CY of fill, 40 CY of export, and 555 CY of removal/recompaction, |                 |                                                                                                                                                   |                                 |

Staff has prepared draft findings for approval of the project in the attached Resolution 2025-123 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect

the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting. The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2025-123.

**Development Review Permit Compliance (SBMC Section 17.68.40):**

A DRP is required because the aggregate grading quantity would exceed 100 cubic yards, and the total proposed floor area would exceed 60 percent of the maximum allowable for the property. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2025-123 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

**DRP Finding #1**

**General Plan Consistency**

The proposed project may be found consistent with the General Plan, which designates the property as Low Residential and is intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods.

**Specific Plans and Special Overlays**

The property is located in the SROZ and subject to its specific development regulations. The property is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

### Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized by detached single-family homes on previously subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

#### Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “d”, which requires a 25-foot front yard setback, 5-foot street and interior side yard setbacks, and a 25-foot rear yard setback. The proposed residence would be located entirely within the buildable area.

#### Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 12,600 square-foot lot is as follows:

|                               |          |
|-------------------------------|----------|
| 0.50 for first 6,000 sf       | 3,000 sf |
| 0.175 for 6,000 to 15,000 sf  | 1,155 sf |
| Maximum Allowable Floor Area: | 4,155 sf |

The proposed project includes a 789 square-foot addition to the living area of the existing 2,431 square-foot single-story residence as well as the construction of a new attached 481 square-foot two-car garage. The subtotal of the proposed gross floor area would be 3,701 square feet. The proposal also includes an 800 square-foot detached single-story ADU, which does not count toward the gross floor area calculation.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space. The proposed garage would provide two unobstructed parking spaces, therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the exemption, the total gross floor area of the project would be 3,301 square feet, which is 854 square feet below the maximum allowable for the property.

#### Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The tallest point of the existing residence is 16.23 feet above the pre-existing grade. A portion of the existing roofline will remain. The maximum height (or tallest portion) of the proposed addition would be 13.45 feet in height, or 267.90 MSL, measured above the existing and proposed grade of 254.45 MSL.

As designed, the proposed residence will not exceed 16 feet in height from the pre-existing grade. Therefore, the project is not subject to the requirements of SBMC Chapter 17.63 – View Assessment and the approval of an SDP. If the Applicant subsequently

decides to modify the roofline outside of the existing building envelope in excess of 16 feet in height as measured from the pre-existing grade, a Structure Development Permit would be required.

#### Required Off-Street Parking:

A single-family residence requires two off-street parking spaces pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). The Applicant is proposing to construct a new attached garage that would provide two unobstructed 9-foot by 19-foot parking spaces. The project plans also voluntarily show a detached ADU, for which one uncovered off-street parking space is required and shown on the proposed driveway as permitted by State Law.

#### Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade.

Currently, the plans show that the existing wall in the front yard would be adjusted to accommodate the new driveway and the existing retaining wall in the rear yard would be modified to accommodate the construction of the new pool and detached ADU. A perimeter fence is proposed in order to comply with building and safety code for the proposed swimming pool. A 42-inch fenced trash enclosure is proposed in the front yard setback. The plans currently show fences and walls in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

#### Water Efficient Landscape:

The project is subject to the current Water Efficient Landscape Ordinance (WELO) of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. If the project is approved, the Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan and the WELO. In addition, the City's consultant will perform an inspection during the construction phase of the project to verify compliance.

## **DRP Finding #2**

The development review criteria topics referenced in **DRP Finding #2** are listed below with further discussion as to how they relate to the proposed Project:

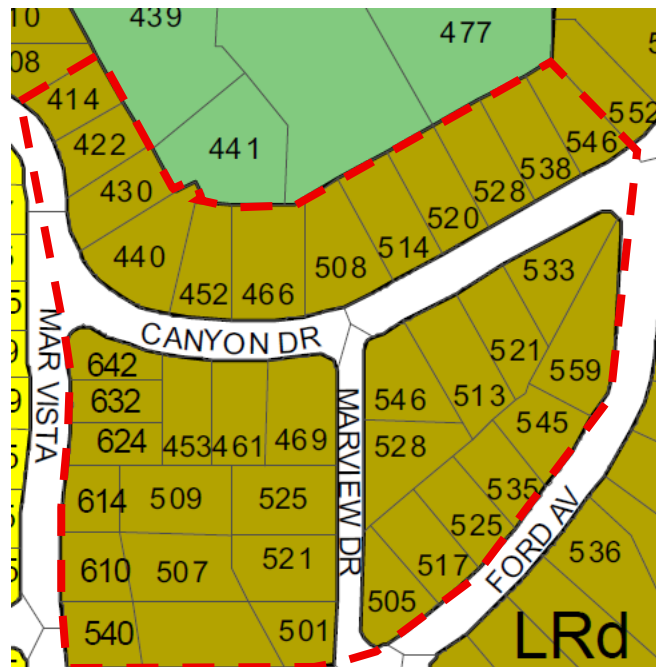
1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

### **Relationship with Adjacent Land Uses:**

The property and the surrounding neighborhood are located in the LR Zone and are developed with one-and two-story single-family residences.

### **Neighborhood Comparison:**

Staff compared the proposed project to 37 nearby properties located on Canyon Drive, Marvista Drive, Marview Drive and Ford Avenue, as shown on the map on the next page.



The properties evaluated in this comparison are also located in the LR Zone and SROZ. The surrounding properties are developed with single-family homes ranging in size from 1,534 square feet to 5,380 square feet. The existing square footage information is obtained through the County Assessor records. It should be noted that the County Assessor does not include garages, covered patios or courtyards, accessory buildings, or unfinished basements in the total square footage. Accordingly, the building area of the

proposed project has been calculated for comparison purposes by deleting the clear story area, courtyard area, and the garage:

|                                                 |                       |
|-------------------------------------------------|-----------------------|
| Project Gross Building Area:                    | 3,701 ft <sup>2</sup> |
| Delete Clear Story Areas                        | - ft <sup>2</sup>     |
| Delete Courtyard                                | - ft <sup>2</sup>     |
| Delete Attached Garage:                         | - 481 ft <sup>2</sup> |
| Project Area for Comparison to Assessor's Data: | 3,220 ft <sup>2</sup> |

Table 2, below, is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

| <b>Table 2</b> |                         |                |              |                        |                   |
|----------------|-------------------------|----------------|--------------|------------------------|-------------------|
| #              | Property Address        | Lot Size In SF | Existing SF  | Proposed / Approved SF | Max. Allowable SF |
| 1              | 414 Canyon Drive        | 9,951          | 1,972        |                        | 3,691             |
| 2              | 422 Canyon Drive        | 10,687         | 3,367        |                        | 3,820             |
| 3              | 430 Canyon Drive        | 13,055         | 2,197        |                        | 4,235             |
| 4              | 440 Canyon Drive        | 19,038         | 3,829        |                        | 4,979             |
| 5              | 452 Canyon Drive        | 13,095         | 2,026        |                        | 4,242             |
| 6              | 466 Canyon Drive        | 19,500         | 1,914        |                        | 5,025             |
| 7              | 508 Canyon Drive        | 17,992         | 1,728        |                        | 4,874             |
| 8              | 514 Canyon Drive        | 14,731         | 4,285        |                        | 4,528             |
| 9              | 520 Canyon Drive        | 14,114         | 3,728        |                        | 4,420             |
| 10             | 528 Canyon Drive        | 14,184         | 5,233        |                        | 4,432             |
| 11             | 538 Canyon Drive        | 14,135         | 3,331        |                        | 4,424             |
| 12             | 546 Canyon Drive        | 11,818         | 2,746        |                        | 4,018             |
| <b>13</b>      | <b>453 Canyon Drive</b> | <b>12,600</b>  | <b>2,431</b> | <b>3,220</b>           | <b>4,155</b>      |
| 14             | 461 Canyon Drive        | 13,461         | 2,040        |                        | 4,306             |
| 15             | 469 Canyon Drive        | 17,454         | 3,912        |                        | 4,820             |
| 16             | 513 Canyon Drive        | 16,947         | 1,923        |                        | 4,770             |
| 17             | 521 Canyon Drive        | 14,367         | 4,264        |                        | 4,464             |
| 18             | 533 Canyon Drive        | 14,909         | 2,749        |                        | 4,559             |
| 19             | 559 Ford Avenue         | 19,977         | 2,255        |                        | 5,073             |
| 20             | 545 Ford Avenue         | 11,908         | 1,934        |                        | 4,034             |
| 21             | 535 Ford Avenue         | 11,275         | 3,211        |                        | 3,923             |
| 22             | 525 Ford Avenue         | 11,980         | 3,896        |                        | 4,047             |
| 23             | 517 Ford Avenue         | 12,866         | 2,110        |                        | 4,202             |
| 24             | 505 Ford Avenue         | 12,567         | 4,550        |                        | 4,149             |
| 25             | 642 Marvista Drive      | 8,751          | 2,234        |                        | 4,481             |
| 26             | 632 Marvista Drive      | 9,180          | 3,211        |                        | 3,557             |
| 27             | 624 Marvista Drive      | 9,369          | 3,501        |                        | 3,590             |
| 28             | 614 Marvista Drive      | 8,934          | 3,135        |                        | 3,513             |
| 29             | 610 Marvista Drive      | 10,371         | 1,674        |                        | 3,765             |
| 30             | 600 Marvista Drive      | 19,669         | 2,186        |                        | 5,042             |

|    |                    |        |       |  |       |
|----|--------------------|--------|-------|--|-------|
| 31 | 540 Marvista Drive | 11,323 | 2,901 |  | 3,932 |
| 32 | 546 Marview Drive  | 12,499 | 1,606 |  | 4,137 |
| 33 | 528 Marview Drive  | 12,499 | 2,180 |  | 4,137 |
| 34 | 525 Marview Drive  | 16,061 | 2,186 |  | 4,681 |
| 35 | 521 Marview Drive  | 15,314 | 5,358 |  | 4,606 |
| 36 | 501 Marview Drive  | 10,432 | 3,083 |  | 3,776 |
| 37 | 509 Marview Lane   | 17,070 | 5,380 |  | 4,782 |
| 38 | 507 Marivew Lane   | 16,917 | 1,534 |  | 4,766 |

#### Building and Structure Placement:

The property is located within the LR Zone and the Scaled Residential Overlay Zone (SROZ) as are the properties located in the immediate surrounding neighborhood on Canyon Drive, Marvista Drive, Marview Drive and Ford Avenue. These properties are developed with a mix and one-and two-story single-family residences. The project, as designed, could be found consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The maximum proposed floor area would be 854 square feet below the maximum allowable for the property.

#### Landscape:

The proposed landscape planting plan includes multiple existing and proposed trees that range in height from 20-40 feet as well as multiple shrubs and groundcover.

Should the Council approve the project, the Applicant would be required to submit a landscape construction plan in substantial conformance with the planting plan presented to the Council. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require Council approval of a Modification to the DRP. Additionally, any replaced plant species must be consistent with the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

#### Roads, Pedestrian Walkways, Parking, and Storage Areas:

The design includes the construction of a 481 square foot attached garage at the center of the northern side of the residence which would be accessed by the new driveway at the center of the lot. Two parking spaces that are 9 feet wide by 19 feet in length and free of obstruction would be provided within the garage. Pedestrian access to the property would be provided from a pathway on the west side of the proposed driveway to the entry

way just west of the new garage. A fenced trash and recycling storage area is proposed in the northwest corner of the lot.

#### Grading:

The Applicant is proposing approximately 120 cubic yards of cut, 80 cubic yards of fill, 555 cubic yards of removal and recompaction and export of 40 cubic yards.

Grading is required to provide a flat building pad for the proposed additions and site improvements on the lot including the redesigned driveway, detention basin, necessary right-of-way improvements as well as flat usable yard area in the rear yard.

#### Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

#### Usable Open Space:

The project consists of the construction of an interior remodel and square footage addition to an existing single-family residence on a developed residential lot. Usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

#### **Property Frontage and Public Right-of-Way Improvements:**

The property frontage currently contains improvements such as a City standard 9-inch sloping curb and a Decomposed Granite (D.G.) dual use path. If approved, the Applicant will be required to reconstruct the D.G. path, which currently shows visible signs of erosion.

#### Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on November 6, 2025. Staff has not received correspondence from neighbors regarding the proposed project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2025-123 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2025-123.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2025-123 conditionally approving a DRP to construct an interior remodel and 789 square footage living area addition and a new 481 square foot attached garage to an existing one-story single-family residence and perform associated site improvements at 453 Canyon Drive, Solana Beach.

**CITY MANAGER’S RECOMMENDATION:**

Approve Department Recommendation.



---

Alyssa Muto, City Manager

Attachments:

1. Resolution 2025-123
2. Project Plans

## RESOLUTION 2025-123

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT FOR A SQUARE FOOTAGE ADDITION AND REMODEL AND SITE IMPROVEMENTS AT 453 CANYON DRIVE, SOLANA BEACH, CA.

**APPLICANT:** Dan and Elizabeth Baker

**APPLICATION:** DRP25-003

**APN:** 236-194-01

**WHEREAS**, Dan and Elizabeth Baker (referred to as “Applicant”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on November 19, 2025, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP to add 789 square feet to the living area, a new 481 square foot garage addition and to perform site improvements including grading, landscaping and the construction of a pool, spa and fire pit to the existing single-family residence at 453 Canyon Drive is conditionally approved based upon the following Findings and subject to the following Conditions:

#### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project is found to be consistent with the General Plan, which designates the property Low Residential and is intended for residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that this zone is intended for residential development in areas characterized by detached single-family homes on previously subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

#### Specific Plans and Special Overlays:

The entire City of Solana Beach is located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

The property is located within the boundaries of the Scaled Residential Overlay Zone (SROZ)

#### Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the property are determined by the setback designator indicated on the City of Solana Beach official zoning map. The setback designator for the subject property is “d”, which requires a 25-foot front yard setback, 5-foot street and interior side yard setbacks, and a 25-foot rear yard setback. The proposed residence would be located entirely within the buildable area.

#### Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 12,600 square-foot lot is as follows:

|                               |          |
|-------------------------------|----------|
| 0.50 for first 6,000 sf       | 3,000 sf |
| 0.175 for 6,000 to 15,000 sf  | 1,155 sf |
| <hr/>                         |          |
| Maximum Allowable Floor Area: | 4,155 sf |

The proposed project includes a 789 square-foot addition to the living area of the existing 2,431 square-foot single-story residence as well as the construction of a new attached 481 square foot two-car garage. The subtotal of the proposed gross floor area would be 3,701 square feet.

The proposal also includes an 800 square-foot detached single-story ADU, which does not count toward the gross floor area calculation.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage and unobstructed, 200 square feet of floor area is exempted for each required space. The proposed garage would provide two unobstructed parking spaces, therefore, the project is afforded a 400 square-foot exemption from the gross floor area calculation. With the exemption, the total gross floor area of the project would be 3,301 square feet, which is 854 square feet below the maximum allowable for the property.

#### Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The tallest point of the existing residence is 16.23 feet above the pre-existing grade. A portion of the existing roofline will remain. The maximum height (or tallest portion) of the proposed addition would be 13.45 feet in height, or 267.90 MSL, measured above the existing and proposed grade of 254.45 MSL. If the Applicant subsequently decides to modify the roofline outside of the existing building envelope in excess of 16 feet in height as measured from the pre-existing grade, a Structure Development Permit would be required.

#### Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). Three unobstructed 9-foot by 19-foot parking spaces are proposed within the attached garage.

#### Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

Currently, the plans show that the existing wall in the front yard would be adjusted to accommodate the new driveway and the existing retaining wall in the rear yard would be modified to accommodate the construction of the new pool and detached ADU. A perimeter fence is proposed in order to comply with building and safety code for the

proposed swimming pool. A 42-inch fenced trash enclosure is proposed in the front yard setback.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

#### Landscape:

Compliance with the current water efficient landscaping regulations of SBMC Chapter 17.56 and submittal of a Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet. The Applicant provided a conceptual landscape plan (including a planting plan and water use calculations) that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for substantial conformance with the conceptual plan and consistency with the water efficient landscape regulations. In addition, the City's third-party landscape architect will perform an inspection during the construction phase of the project to verify consistency.

*II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone and the Scaled Residential Overlay Zone (SROZ) as are the properties located in the immediate surrounding neighborhood on Canyon Drive, Marvista Drive, Marview Drive and Ford Avenue. These properties are developed with a mix and one-and two-story single-family residences. The project, as designed, could be found consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The

maximum proposed floor area would be 854 square feet below the maximum allowable for the property.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed residence would be located within the buildable area of the lot. The tallest portion of the residence would be 13.45 feet, or 267.90 MSL, as measured from existing/proposed grade of 254.45. It should be noted that an existing section of the roof exceeds 16 feet in height, however it is not proposed to be modified with this project. The driveway access would be reconstructed in the center of the lot and provide access to the proposed attached garage in the northeast corner of the lot.

The proposed living area addition would be west of the proposed garage and is made up of a new primary bedroom suite and a new entry to the residence. The existing residence to remain would be remodeled and is made up of an open concept living/dining/kitchen room, a study, den, laundry room, powder room and two additional bedrooms with ensuite bathrooms. Yard improvements including grading, landscaping, hardscape, a pool and spa, and a firepit seating area are proposed. The proposed residence could be found to be designed to minimize adverse impacts on the surrounding properties.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The landscape planting plan includes multiple existing and proposed trees that range in height from 20-40 feet as well as multiple shrubs and groundcover.

The Applicant is required to submit a landscape construction plan in substantial conformance with the planting plan presented to the Council. Any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the conceptual plan approved by the Council in order to be approved ministerially by Staff. Increases in trees or shrub mature heights or adding new planting locations would require Council approval of a Modification to the DRP. Any replaced plant species must be consistent with the water use requirements of the plants

replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. Native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The design includes the construction of 481 square feet attached garage at the center of the northern side of the residence which would be accessed by the new driveway at the center of the lot. Two parking spaces that are 9 feet wide by 19 feet in length and free of obstruction would be provided within the garage. Pedestrian access to the property would be provided from a pathway on the west side of the proposed driveway to the entry way just west of the new garage. A fenced trash and recycling storage area is proposed in the northwest corner of the lot.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The Applicant is proposing approximately 120 cubic yards of cut, 80 cubic yards of fill, 555 cubic yards of removal and recompaction and export of 40 cubic yards.

Grading is required to provide a flat building pad, and site improvements on the lot including the redesigned driveway, detention basin as well as flat usable yard area in the rear yard.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities*

*or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures shall comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a new single-family residence and site improvements; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. The Applicant is required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to the issuance of Building or Grading Permits.

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on November 19,

2025, and located in the project file with a submittal date of November 10, 2025.

- III. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- IV. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- V. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the conceptual landscape plan included in the project plans presented to the City Council on November 19, 2025, prior to Building Permit issuance and consistent with the building construction and grading plans. The Applicant shall obtain and submit landscape security in a form prescribed by the City Engineer in addition to the grading security. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. The landscape security deposit shall be released when applicable regulations have been satisfied, and the installation has passed inspection by the City's third-party landscape professional.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VIII. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- IX. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be

limited only to selective use at the discretion of the City.

- X. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. All **BUILDINGS AND FACILITIES:** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend **within 150 feet** of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility per the 2022 California Fire Code Chapter 5 Section 503.1.1. **Hose pull exceeds 150 feet, fire sprinklers in areas otherwise omitted are required for mitigation.**
- II. **ADDRESS NUMBERS FOR STRUCTURES LOCATED OFF ROADWAY:** Where structures are located off a roadway on long easements/driveways, a monument marker shall be placed at the entrance where the easement/driveway intersects the main roadway. Permanent address numbers with height conforming to Fire Department standards shall be affixed to this marker per 2022 California Fire Code Chapter 5 Section 505.2.
- III. **AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed by a C-16 licensed contractor. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).

C. Engineering Department Conditions:

- I. The Applicants shall obtain an Encroachment Permit in accordance with SBMC Section 11.20 for all work being done in the public right-of-way including, but not limited to, the below frontage improvements.

The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:

- a. Reconstruction of the bonded and compacted Decomposed Granite path for walking and parking purposes, graded at 2% from the property line toward the street.
  - b. Construction of the 4-inch PVC sidewalk underdrain
  - c. Demolition of the existing concrete driveway approach and concrete walkway
  - d. Construction of the concrete driveway approach
  - e. Construction of the 9-inch by 9-inch by 12-inch concrete curb along the property frontage with transitions to the existing improvements on both ends to the satisfaction of the City Engineer.
- II. Per current rates, the Applicant shall pay in full the associated Transportation Impact Fee (TIF) per the City of Solana Beach 2025 Fee Schedule. The TIF applied will be a percentage of the fee rate for a Single-Family residence as shown on the [City of Solana Beach Fee Schedule](#); this percentage being the ratio of the ADU to Main Residence floor area. The Applicant will be responsible for paying a TIF rated at \$4,742.61, due at the time of Building Permit issuance.
  - III. Reconstruction of the Decomposed Granite path for walking and parking purposes will be required before the release of the Grading Bond and Security Deposit.
  - IV. Prior to release of the Grading Bond and Security Deposit, an easement shall be recorded for maintenance of the detention basin by the property owner(s) in perpetuity.
  - V. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
  - VI. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
  - VII. Grading
    - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer.

On-site grading design and construction shall be in accordance with Chapter 15. 40 of the Solana Beach Municipal Code.

- b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
- c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre- existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.
- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction- related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. Cut and fill slopes shall be set back from site boundaries and building in accordance with SBMC Section 15.40.140 and to the satisfaction of the City Engineer.
- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan

submittal. Inspection fees shall be paid prior to issuance of the grading permit.

- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain haul permit for import/export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage stormwater and non-stormwater discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation, grading and other construction related activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. The Applicant shall show all proposed onsite private drainage facilities intended to discharge water runoff. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001, requirements shall be implemented in the drainage design.
- n. No increased cross lot drainage shall be allowed.
- o. Prior to the foundation inspection, the Applicant shall submit a building pad certification statement from a soils engineer and an

engineer or land surveyor licensed in Land Surveying per SBMC 15. 40. 230E.

D. City Council Conditions:

I. N/A.

I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

III. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the

provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 19<sup>th</sup> day of November 2025, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

---

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA  
APN: 263-194-01-00  
SEPTEMBER 22, 2025  
DESIGN DEVELOPMENT

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

VICINITY MAP



PROJECT LOCATION

PERSPECTIVE VIEW



SOLANA BEACH FIRE DEPT. NOTES

- THIS PROPERTY IS LOCATED WITHIN THE VERY HIGH FIRE HAZARD SEVERITY ZONE AND SHALL COMPLY WITH THE CURRENT CALIFORNIA BUILDING CODE CHAPTER 7A REQUIREMENTS.
- ALL OUTDOOR FIRE APPLIANCES SHALL COMPLY WITH THE CLEARANCES TO COMBUSTIBLES IN THE SOLANA BEACH RECREATIONAL FIRE POLICY. PLEASE PROVIDE THE MANUFACTURER SPECIFICATIONS/INSTALLATION GUIDELINES UPON BUILDING PLAN SUBMITTAL.
- THE HOSE PULL EXCEEDS 150 FEET AND DOES NOT EXTEND TO ALL PORTIONS OF THE ADU. PLEASE SHOW PLANS TO MEET HOSE PULL. A. THE MITIGATION WOULD BE TO PLACE FIRE SPRINKLER IN AREAS THEY WOULD OTHERWISE BE OMITTED – ALL BATHROOMS AND CLOSETS REGARDLESS OF SIZE, ATTICS, AND OVERHANGS EXTENDING 10 FEET OR MORE.
- BUILDINGS AND FACILITIES:** APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY PER THE 2022 CALIFORNIA FIRE CODE CHAPTER 5 SECTION 503.1.1. HOSE PULL EXCEEDS 150 FEET, FIRE SPRINKLERS IN AREAS OTHERWISE OMITTED ARE REQUIRED FOR MITIGATION.

SOLANA BEACH FIRE DEPT. NOTES

- ADDRESS NUMBERS FOR STRUCTURES LOCATED OFF ROADWAY:** Where structures are located off a roadway on long easements/driveways, a monument marker shall be placed at the entrance where the easement/driveway intersects the main roadway. Permanent address numbers with height conforming to Fire Department standards shall be affixed to this marker per 2022 California Fire Code Chapter 5 Section 505.2.
- AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS:** Structures shall be protected by an automatic fire sprinkler system designed and installed by a C-16 licensed contractor. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).

GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SPECIFIED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CURRENT FEDERAL, STATE, COUNTY, AND CITY ORDINANCES HAVING JURISDICTION, AND IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS ISSUED HEREWITH. THE CONTRACTOR SHALL OBTAIN AND COORDINATE AND THE OWNER SHALL PAY FOR ALL REQUIRED PERMITS.
- WORK SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR THE SAFETY AND PROTECTION OF ALL PERSONNEL, EXISTING SURFACES, MATERIALS, AND EQUIPMENT. PROTECTIVE DEVICES SHALL BE INSTALLED AND MAINTAINED AS NECESSARY, AND AS REQUIRED BY THE OWNER OR AUTHORITIES.
- THE CONTRACTOR SHALL REVIEW DOCUMENTS, FIELD VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. THE CONTRACTOR SHALL REPORT ANY CONFLICTS OR DISCREPANCIES IN WRITING TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT ARCHITECTURAL OR ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S, ENGINEER'S, OR OWNER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE, AND LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER DETAILS.
- SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE, OF POTENTIALLY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE CLIENT FOR INSTRUCTIONS PRIOR TO CONTINUING WORK.
- NO PRODUCTS CONTAINING ASBESTOS SHALL BE USED ON THIS PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ASBESTOS FOUND IN ANY ITEM CALLED FOR IN THE DRAWINGS AND SPECIFICATIONS.
- GENERALLY, ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- ALL CONDUITS AND PIPING SHALL BE CONCEALED.
- SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT THE PRIOR ACCEPTANCE OF THE ARCHITECT. ALL REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN THE JOBSITE IN A CLEAN CONDITION AT ALL TIMES AND SHALL NOT LEAVE CONSTRUCTION DEBRIS ON THE PROPERTY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN ADVANCE OF INTERRUPTING UTILITIES SUCH AS WATER, POWER OR HEATING, AND MUST SCHEDULE SUCH WORK WITH THE OWNER.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING LANDSCAPING OR SITEWORK THAT IS DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE HIS OWN RESTROOM FACILITIES. THE CONTRACTOR IS ALLOWED TO USE OWNER'S ELECTRICITY. THE CONTRACTOR IS NOT TO USE THE OWNER'S TELEPHONE.
- CONTRACTOR WORK HOURS SHALL BE FROM 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 8:00 PM SATURDAY, SUNDAY AND HOLIDAYS.
- THE CONTRACTOR SHALL BE INSURED AND HAVE WORKMAN'S COMPENSATION.
- THE CONTRACTOR SHALL ACQUIRE AND REVIEW THE TENANT HANDBOOK AND ANY OTHER LANDLORD DOCUMENTS AS APPLICABLE.

PROJECT TEAM

|                |                                                                                                                                                                                                 |
|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| OWNER          | DAN AND ELIZABETH BAKER<br>453 CANYON DR<br>SOLANA BEACH, CA 92075<br>CONTACT: DAN AND ELIZABETH BAKER<br>PHONE: 410.218.5257<br>EMAIL: DANNYBAKER@GMAIL.COM<br>ELIZABETHANNE.HERBERT@GMAIL.COM |
| ARCHITECT      | T7 ARCHITECTURE, INC.<br>646 VALLEY AVENUE, SUITE C2<br>SOLANA BEACH, CA 92075<br>CONTACT: ANDREW E. CROCKER, AIA<br>PHONE: 858.345.1295<br>ANDY@T7ARCHITECTURE.COM                             |
| SURVEY & CIVIL | RANCHO COASTAL ENGINEERING & SURVEYING, INC.<br>310 VIA VERA CRUZ, #205<br>SAN MARCOS, CA 92078<br>CONTACT: JAKE D. LOGAN, PLS 9042<br>PHONE: 760.510.3152<br>EMAIL: JAKE@RCESD.COM             |
| SOILS          | SKYLINE GEOTECHNICAL<br>7040 AVENIDA ENCINAS STE 104<br>CARLSBAD, CA 92011<br>CONTACT: RODNEY JONES   RCE, GE<br>PHONE: 760.828.8663<br>EMAIL: RODNEY@SKYLINEGEOTECHNICAL.COM                   |

SUBMITTAL AND SHOP DRAWINGS

THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTALS AND SHOP DRAWINGS FOR THE FOLLOWING ITEMS: MILLWORK, LIGHTING, ROOFING

GOVERNING CODES

2022 CALIFORNIA BUILDING CODE (CBC)  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2022 CALIFORNIA ELECTRICAL CODE (CEC)  
2022 CALIFORNIA MECHANICAL CODE (CMC)  
2022 CALIFORNIA PLUMBING CODE (CPC)  
2022 CALIFORNIA FIRE CODE (CFCO)  
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE

THE CITY OF SOLANA BEACH MUNICIPAL CODE  
COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR BUILDING OWNER.

DEFERRED SUBMITTAL

TBD

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

DRAWING ISSUANCE

CITY OF SOLANA BEACH PLANNING DEPT 09-22-2025

DRAWING INDEX

|       |                                 |
|-------|---------------------------------|
| G000  | TITLE SHEET                     |
| G001  | ABBREVIATIONS, LEGEND           |
| G006  | FAR PLAN                        |
| T1    | TOPOGRAPHIC SURVEY              |
| C1    | GRADING PLAN                    |
| C2    | SITE SECTIONS                   |
| A100  | SITE PLAN                       |
| A101  | EXISTING FIRST LEVEL FLOOR PLAN |
| A102  | EXISTING ROOF PLAN              |
| A103  | PROPOSED FIRST LEVEL FLOOR PLAN |
| A104  | PROPOSED ROOF PLAN              |
| A105  | ADU FLOOR AND ROOF PLAN         |
| A300  | EXISTING ELEVATIONS             |
| A301  | EXISTING ELEVATIONS             |
| A302  | PROPOSED ELEVATIONS             |
| A303  | PROPOSED ELEVATIONS             |
| A304  | PROPOSED ADU ELEVATIONS         |
| A400  | SECTIONS                        |
| A401  | SECTIONS                        |
| A402  | SECTIONS                        |
| A900  | RENDERS                         |
| L-1.0 | CONCEPTUAL LANDSCAPE PLAN       |

LANDSCAPE TABLE

|                         | EXIST. SF | PROPOSED SF |
|-------------------------|-----------|-------------|
| NON-LANDSCAPED AREA     | 6,151     | 7,469       |
| NON-IRRIGATED LANDSCAPE | 0         | 786         |
| IRRIGATED LANDSCAPE     | 2,442     | 2,618       |
| WATER FEATURES          | 0         | 512         |
| DECORATIVE HARDSCAPE    | 4,200     | 1,407       |
| TOTAL LOT AREA          | 12,792    | 12,792      |

|                          | AREA OF WORK (SF) |
|--------------------------|-------------------|
| IRRIGATED LANDSCAPE      | 2,618             |
| WATER FEATURES           | 512               |
| DECORATIVE HARDSCAPE     | 1,407             |
| AGGREGATE LANDSCAPE AREA | 4,537             |

SCOPE OF WORK

THE PROJECT PROPOSES AN ADDITION AND REMODEL TO THE SINGLE LEVEL HOME WITH TOTAL ADDED NEW AREA CALCULATED AT **783 SF** INCLUDING A PRIMARY SUITE, BATHROOM, CLOSET AND BEDROOM. THE ADDITION ALSO INCLUDES A NEW, SINGLE LEVEL, **800 SF ADU** CONSISTING OF TWO BEDROOMS, A KITCHEN AND ONE BATHROOM. NO PORTION OF THE NEWLY ADDED SQUARE FOOTAGE IS OVER 16'-0". THE PROJECT PROPOSES NEW LANDSCAPING AND A POOL UNDER A SEPARATE PERMIT. MINOR GRADING IS PROPOSED FOR BOTH THE ADDITION AND ADU.

PROJECT DATA

|                                |                                                                                                              |
|--------------------------------|--------------------------------------------------------------------------------------------------------------|
| APN:                           | 263-194-01-00                                                                                                |
| LEGAL DESCRIPTION:             | TR 2829 BLK J*LOT 11*                                                                                        |
| LOT AREA:                      | 12,600 SF   .29 ACRES                                                                                        |
| ZONE:                          | LRd - LOWE RESIDENTIAL 3 DU/ACRE                                                                             |
| OCCUPANCY GROUP:               | R3   U                                                                                                       |
| CONSTRUCTION TYPE:             | V-A                                                                                                          |
| OVERLAY ZONE:                  | COASTAL ZONE<br>SCALED RESIDENTIAL OVERLAY ZONE                                                              |
| FLOOR AREA RATIO [SCALED RES.] | 0.5 X (FIRST 6,000 SF) = 3,000 SF<br>0.175 X (6,001-15,000 SF) = 1,155 SF<br><b>4,155 SF ALLOWED MAX FAR</b> |

PROJECT F.A.R. CALCULATIONS

|                                         |                 |
|-----------------------------------------|-----------------|
| EXISTING FLOOR LIVING AREA              | 2,431 SF        |
| FIRST FLOOR LIVING AREA ADDITION        | 789 SF          |
| EXISTING GARAGE                         | 0 SF            |
| GARAGE ADDITION                         | 481 SF          |
| COVERED & ENCLOSED PATIO                | 0 SF            |
| ACCESSORY DWELLING UNIT (ADU)           | 800 SF          |
| SUBTOTAL OF FLOOR AREA                  | 4,501 SF        |
| OFF-STREET PARKING EXEMPTION (2 SPACES) | -400 SF         |
| ACCESSORY DWELLING UNIT EXEMPTION       | -800 SF         |
| <b>TOTAL PROPOSED FLOOR AREA</b>        | <b>3,301 SF</b> |

|                   |                                                                                                                              |
|-------------------|------------------------------------------------------------------------------------------------------------------------------|
| PARKING REQUIRED: | 2 OFF-STREET                                                                                                                 |
| PARKING PROVIDED: | 2 OFF-STREET                                                                                                                 |
| SETBACKS:         | FRONT YARD: 25'-0"<br>INTERIOR SIDE YARD: 5'-0" & 4'-0" FOR ADU<br>STREET SIDE YARD: NA<br>REAR YARD: 25'-0" & 4'-0" FOR ADU |
| HEIGHT:           | SFR: 14' - 4 9/16"<br>ADU: 15' - 7 1/16"                                                                                     |
| FIRE SPRINKLERS:  | SFR: EXISTING<br>ADU: PROPOSED                                                                                               |
| YEAR BUILT:       | 1956                                                                                                                         |

UTILITIES

|                   |                                                                             |
|-------------------|-----------------------------------------------------------------------------|
| JURISDICTION:     | THE CITY OF SOLANA BEACH                                                    |
| FIRE DISTRICT:    | SOLANA BEACH FIRE DEPARTMENT                                                |
| WATER:            | SANTA FE IRRIGATION DISTRICT                                                |
| SCHOOL DISTRICTS: | SAN DIEGUITO UNION HIGH SCHOOL DISTRICT<br>SOLANA BEACH ELEMENTARY DISTRICT |
| SEWER OR SEPTIC:  | SEWER                                                                       |
| WATER METER SIZE: | TBD                                                                         |
| ELEC. METER SIZE: | TBD                                                                         |
| NATURAL GAS:      | TBD                                                                         |

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 1 | 05/30/2025 |
| 2   | Revision 2 | 07/11/2025 |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

|              |             |
|--------------|-------------|
| SHEET TITLE: | TITLE SHEET |
| SHEET NO:    | G000        |

|                       |         |                           |        |                                            |         |
|-----------------------|---------|---------------------------|--------|--------------------------------------------|---------|
| ANCHOR BOLT           | A.B.    | PENNY (NAIL)              | D.     | FACE OF (ITEM)                             | F.O.    |
| ASPHALT CONCRETE      | A.C.    | DOUBLE                    | DBL    | FACE OF BRICK                              | F.O.B.  |
| AIR CONDITIONING      | A.C.    | DETAIL                    | DET    | FACE OF CONCRETE                           | F.O.C.  |
| ACOUSTIC              | ACOUS.  | DIAMETER                  | DIA    | FACE OF MASONRY                            | F.O.M.  |
| ACCESS DOOR           | A.D.    | DIAGONAL                  | DIAG.  | FACE OF PANEL                              | F.O.P.  |
| ADDENDUM              | ADD.    | DIAPHRAGM                 | DIAPH. | FACE OF STUD                               | F.O.S.  |
| ADJUSTABLE            | ADJ.    | DOUGLAS FIR               | D.F.   | FIREPROOFING                               | F.P.    |
| ABOVE FINISH FLOOR    | A.F.F.  | DIMENSION                 | DIM.   | FOOT OR FEET                               | FT      |
| ALUMINUM              | AL.     | DEAD LOAD                 | D.L.   | FIELD VERIFY                               | F.V.    |
| ALTERNATIVE           | ALT.    | DOWN                      | DN.    |                                            |         |
| ANODIZED              | ANOD.   | DOWNSPOUT                 | D.S.   | GAUGE                                      | GA      |
| ARCHITECTURAL         | ARCH.   | DRAWING                   | DWG.   | GALVANIZED                                 | GALV    |
| ASPHALT               | ASPH.   | DOWELS                    | DWLS   | GLASS                                      | GL      |
| AT                    | @       | DRAWER                    | DWR.   | GLUE LAMINATED BEAM                        | GLB     |
|                       |         |                           |        | GROSS FLOOR AREA                           | G.F.A.  |
|                       |         |                           |        | GYPSUM BOARD                               | GYP.BD. |
| BOARD                 | BD.     | EAST                      | E      |                                            |         |
| BETWEEN               | BET.    | EACH                      | EA.    |                                            |         |
| BOTTOM OF FOOTING     | B.F.    | EXPANSION BOLT            | E.B.   | HOSE BIBB                                  | H.B.    |
| BUILDING              | BLDG.   | EXPANSION JOINT           | E.J.   | HOLLOW CORE                                | H.C.    |
| BLOCKING              | BLKG.   | ELEVATOR                  | EL     | HEADER                                     | HDR     |
| BEAM                  | BM.     | ELEVATION                 | ELEV   | HARDWARE                                   | HDWR    |
| BOUNDARY NAIL         | BN.     | ELECTRICAL                | ELEC   | HANGER                                     | HGR     |
| BOTTOM                | BOT.    | EDGE NAIL                 | E.N.   | HOLLOW METAL                               | H.M.    |
| BEARING               | BRG.    | ENCLOSURE                 | ENC.   | HORIZONTAL                                 | HORIZ.  |
| BASEMENT              | BSMT.   | EQUAL                     | EQ     | HEIGHT                                     | HT      |
| BUILT UP              | B.U.    | EACH WAY                  | E.W.   | HEATING, VENTILATING &<br>AIR CONDITIONING | H.V.A.C |
|                       |         | EXTERIOR                  | EXT.   |                                            |         |
|                       |         | EXISTING                  | EX.    | HOT WATER                                  | H.W.    |
| CABINET               | CAB.    |                           |        |                                            |         |
| CENTERLINE            | C.L.    |                           |        |                                            |         |
| CERAMIC               | CER.    | FLAT BAR                  | F.B.   | INSIDE DIAMETER                            | I.D.    |
| CONTROL JOINT         | C.J.    | FLOOR DRAIN               | F.D.   | INCH                                       | IN.     |
| CEILING               | CLG.    | FINISH FLOOR              | FF.    | INCLUDED                                   | INCL    |
| CONCRETE MASONRY UNIT | CMU.    | FOUNDATION                | FON.   | INVERT ELEVATION                           | I.E.    |
| COLUMN                | COL.    | FIRE EXTINGUISHER         | F.E.   | INSULATION                                 | INSUL.  |
| CONCRETE              | CONC.   | FIRE EXTINGUISHER CABINET | F.E.C. | INTERIOR                                   | INT     |
| CONSTRUCTION          | CONSTR. | FINISH                    | FIN    |                                            |         |
| CONTINUOUS            | CONT.   | FINISH FLOOR ELEVATION    | F.F.E. | JANITOR                                    | JAN     |
| COORDINATE            | COORD   | FINISH SURFACE ELEVATION  | F.S.E. | JOIST                                      | JST     |
| CORRIDOR              | CORR.   | FLOOR                     | FLR    | JOINT                                      | JT      |
| COUNTERSINK           | CSK.    | FLOOR AREA RATIO          | F.A.R. |                                            |         |
| CENTER                | CTR.    | FLUORESCENT               | FLUOR  | KITCHEN                                    | KIT     |
| CHANNEL               | C.      | FIELD NAILING             | F.N.   |                                            |         |

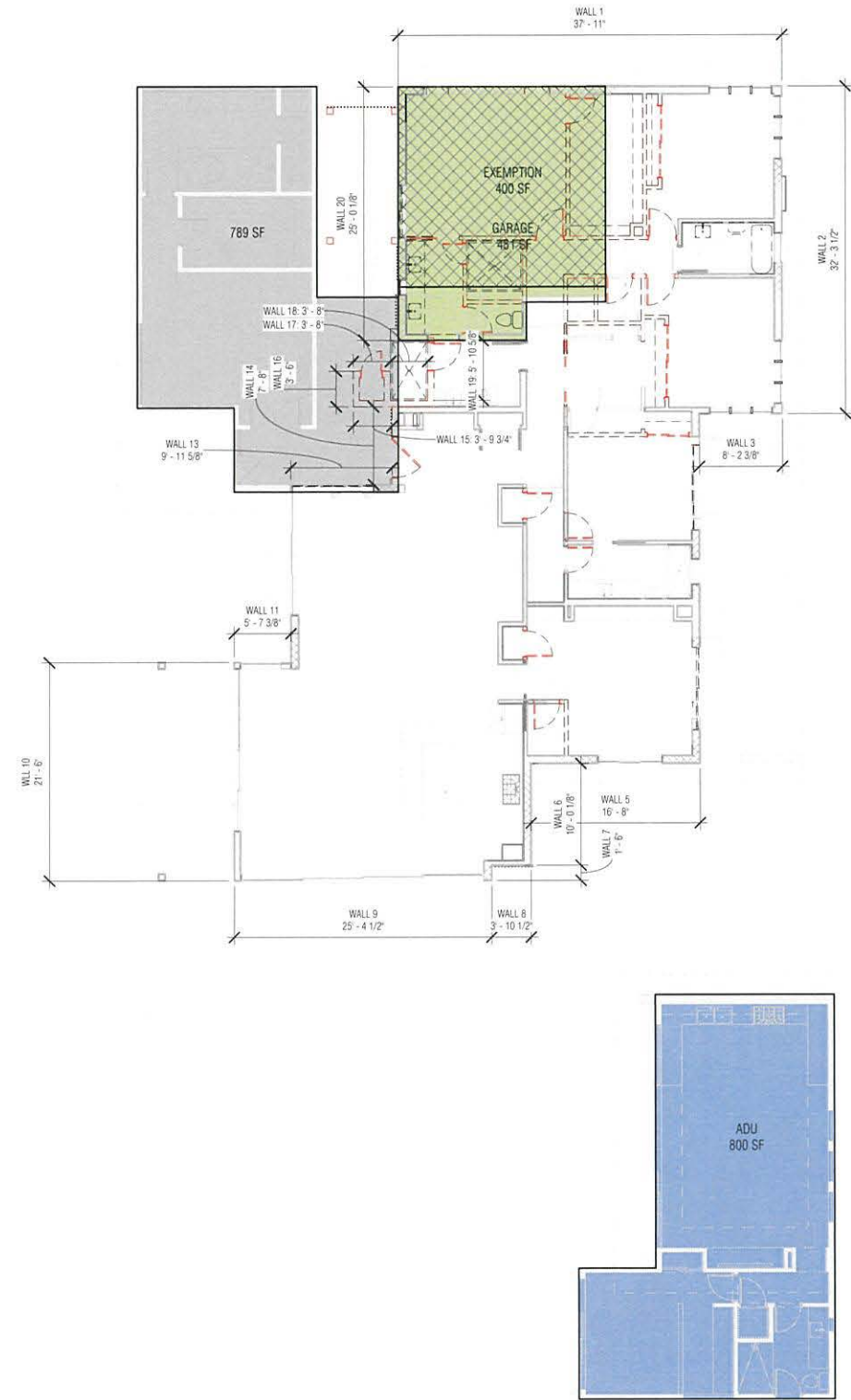
**LEGEND**

- NORTH ARROW
- COLUMN GRID REFERENCE NUMBER
- COLUMN GRID LINES AND REFERENCE NUMBER
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW WALL
- EGRESS PATH PRIMARY
- EGRESS PATH SECONDARY
- DETAIL NUMBER
- SHEET NUMBER
- DESCRIPTION OF SIMILAR OR OPPOSITE
- DETAIL AREA
- DIRECTION OF ELEVATION
- NUMBER OF EXTERIOR ELEVATION ON SHEET
- SHEET WHERE ELEVATION IS SHOWN
- LOCATION ON ROW WHERE INTERIOR ELEVATION IS SHOWN
- DIRECTION OF ELEVATION
- NUMBER OF ELEVATION ON SHEET
- SHEET NUMBER WHERE ELEVATION IS SHOWN
- SECTION CUT REFERENCE
- ELEVATION DATUM REFERENCE
- NAME ELEVATION
- CEILING HEIGHT ABOVE F.F.
- REVISION REFERENCE NUMBER
- REVISION CLOUD DEPICTING AREA REVISED
- ROOM NAME
- ROOM NUMBER
- WALL TYPE REFERENCE
- DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
- WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)
- ALIGN WITH ESTABLISHED SURFACES
- MILLWORK REFERENCE SECTION (REFER TO MILLWORK SCHEDULE)

|                                                                                       |                                         |
|---------------------------------------------------------------------------------------|-----------------------------------------|
|  | FIRE WARDEN STATION SYMBOL              |
|  | WALL MOUNTED FIRE ALARM STROBE SYMBOL   |
|  | FIRE ALARM PULL SYMBOL                  |
|  | WALL MOUNTED, FIRE EXTINGUISHER CABINET |
|  | WALL MOUNTED FIRE EXTINGUISHER          |
|  | WALL MOUNTED FIRE HOSE CABINET          |
|  | WALL MOUNTED FIRE VALVE                 |
|  | WALL MOUNTED FIRE VALVE CABINET         |

|                                                                                       |                                             |
|---------------------------------------------------------------------------------------|---------------------------------------------|
|  | FINISH CALLOUT; PAINT, TILE, WOOD, ETC.     |
|  | EXTENT OF WALL, WAINSCOT, BASE FINISH, ETC. |
|  | CHANGE IN FLOOR FINISH                      |
|  | MILLWORK                                    |

9/22/2025 10:00:18 AM



1 FAR PLAN  
1/8" = 1'-0"

AREA PLAN GENERAL NOTES

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.
- EXTERIOR AREA THAT IS SURROUNDED BY THREE OR MORE WALLS AND COVERED SHALL COUNT TOWARDS FLOOR AREA.

PROJECT AREA CALCULATIONS

|                                         |          |
|-----------------------------------------|----------|
| EXISTING FLOOR LIVING AREA              | 2,431 SF |
| FIRST FLOOR LIVING AREA ADDITION        | 789 SF   |
| EXISTING GARAGE                         | 0 SF     |
| GARAGE ADDITION                         | 481 SF   |
| COVERED & ENCLOSED PATIO                | 0 SF     |
| ACCESSORY DWELLING UNIT (ADU)           | 800 SF   |
| SUBTOTAL OF FLOOR AREA                  | 4,501 SF |
| OFF-STREET PARKING EXEMPTION (2 SPACES) | -400 SF  |
| ACCESSORY DWELLING UNIT EXEMPTION       | -800 SF  |
| TOTAL PROPOSED FLOOR AREA               | 3,301 SF |

WALL CALCULATIONS

LEVEL 1: TOTAL EXISTING WALLS: 278'-0 7/8"

REMAINING WALLS: [[[NONE TO REMAIN]]]

DEMO WALLS:

|          |              |
|----------|--------------|
| WALL 1:  | 37'-11"      |
| WALL 2:  | -16'-3"      |
| WALL 3:  | 32'-3 1/2"   |
| WALL 4:  | 8'-2 3/8"    |
| WALL 5:  | 34'-8"       |
| WALL 6:  | 16'-8"       |
| WALL 7:  | 10'-0 1/8"   |
| WALL 8:  | 1'-6"        |
| WALL 9:  | 3'-10 1/2"   |
| WALL 10: | 25'-4 1/2"   |
| WALL 11: | 21'-6"       |
| WALL 12: | 5'-7 3/8"    |
| WALL 13: | 17'-5 15/16" |
| WALL 14: | 9'-11 5/8"   |
| WALL 15: | -7'-8"       |
| WALL 16: | -3'-9 3/4"   |
| WALL 17: | -3'-6"       |
| WALL 18: | -3'-8"       |
| WALL 19: | -3'-8"       |
| WALL 20: | -5'-10 5/8"  |
| WALL 21: | 25'-0 1/8"   |

REMAINING: 237'-5 1/4"

TOTAL % TO REMAIN: 85%  
TOTAL % DEMO: 15%

HATCH LEGEND

|                        |                                    |
|------------------------|------------------------------------|
| [Hatched Box]          | PROPOSED ADDITION SF               |
| [Solid Box]            | EXISTING AREA                      |
| [Cross-hatched Box]    | GARAGE EXEMPTION AREA: 400 SF      |
| [Green Box]            | GARAGE AREA                        |
| [Diagonal-hatched Box] | EXTERIOR COVERED AREA: TOWARDS FAR |
| [Blue Box]             | ADU AREA                           |

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

Architecture

ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T. 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 1 | 05/30/2025 |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

SHEET TITLE: FAR PLAN

SHEET NO: G006

**OWNER:**  
ELIZABETH AND DAN BAKER

**ADDRESS:**  
453 CANYON DRIVE  
SOLANA BEACH, CA, 92075

**APN:**  
263-194-01

**BENCHMARK:**

POINT ID NO. 2005, DESIGNATED AS SOLB-5, A 2.5" CITY OF SOLANA BEACH BRASS DISC SET IN CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT IN THE CITY OF SOLANA BEACH, CA.

ELEVATION = 107.122'  
DATUM = NAVD83

**LEGAL DESCRIPTION:**

LOT 11 IN BLOCK "J" OF MARVIEW HEIGHTS UNIT NO.4 IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1991.

**TOPOGRAPHIC SURVEY  
PREPARED BY:**

RANCHO COASTAL  
ENGINEERING & SURVEYING  
310 VIA VERA CRUZ #205  
SAN MARCOS, CA 92078  
760-510-3152

DATE OF SURVEY: 3-24-24

**EARTHWORK:**

GRADING:  
120 CUBIC YARDS EXCAVATION (CUT)  
80 CUBIC YARDS EMBANKMENT (FILL)  
40 CUBIC YARDS EXPORT

REMEDIAL GRADING:  
555 CUBIC YARDS (REMOVE & RECOMPACT)

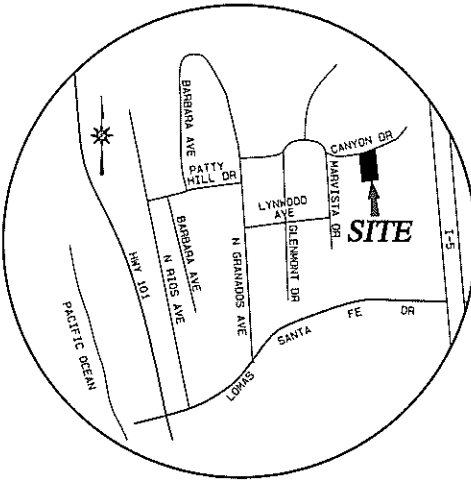
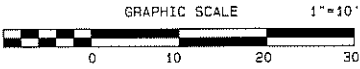
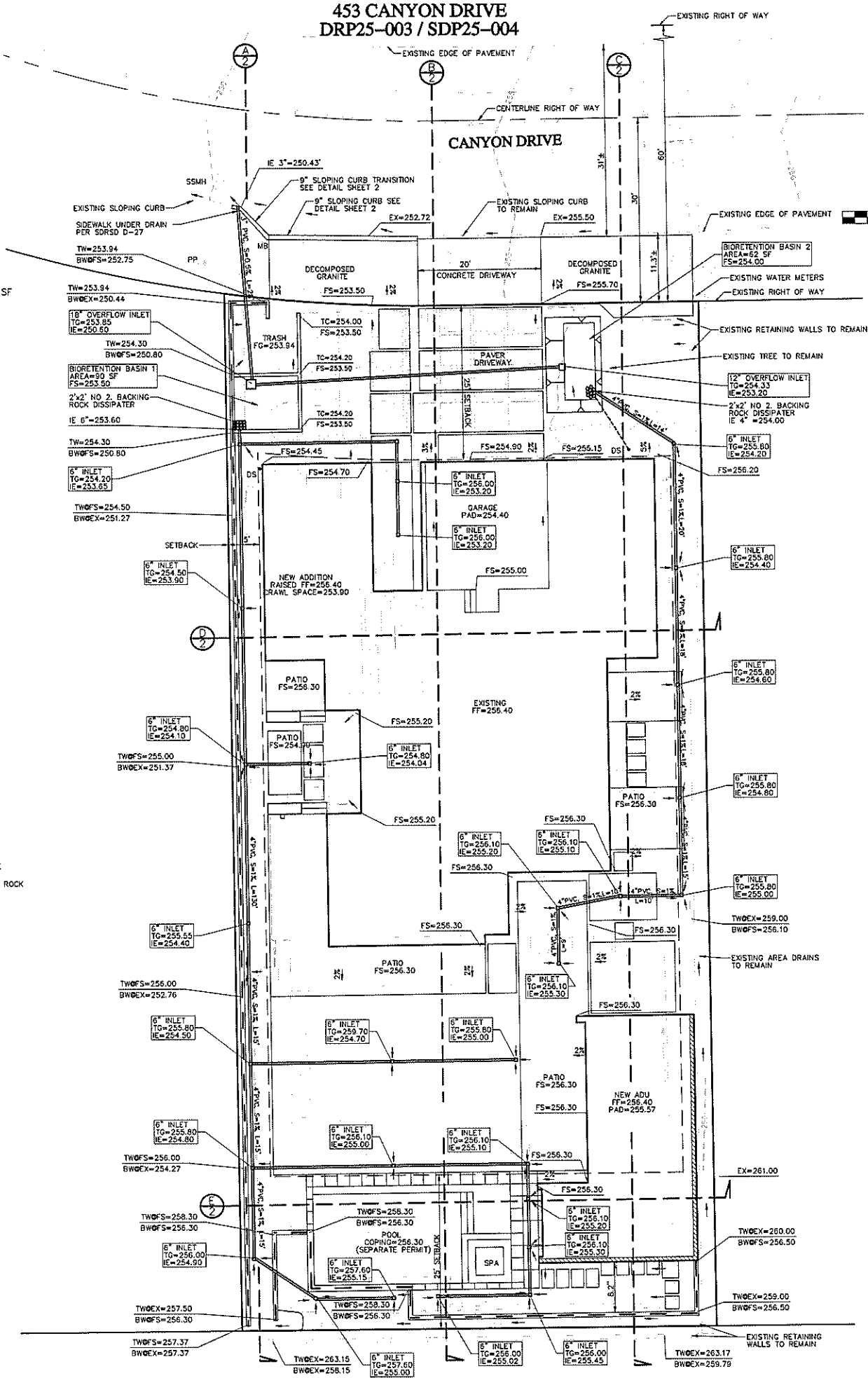
MAX. CUT: 5'  
MAX. FILL: 4'

**IMPERVIOUS AREA:**

EXISTING IMPERVIOUS AREA = 5,647 SF  
PROPOSED IMPERVIOUS AREA = 6,551 SF  
NEW & REPLACED IMPERVIOUS AREA = 3,640 SF  
NET INCREASE = 904 SF

**PRELIMINARY GRADING AND DRAINAGE PLAN**

453 CANYON DRIVE  
DRP25-003 / SDP25-004



**VICINITY MAP**

**ABBREVIATIONS**

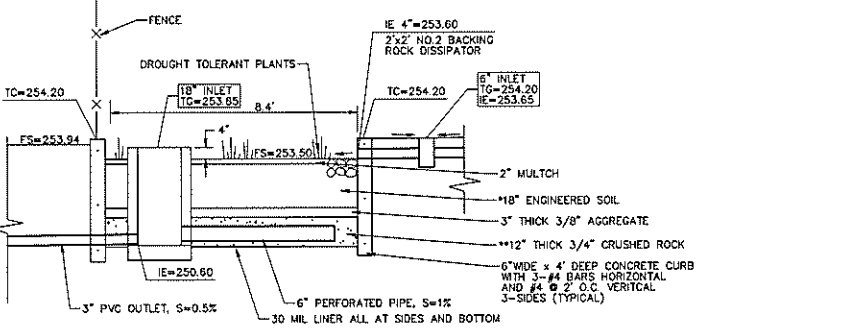
FS= FINISH SURFACE  
FG= FINISH GRADE  
FF= FINISH FLOOR  
EX= EXISTING  
TW= TOP OF WALL  
TWFS= TOP OF WALL AT FINISH SURFACE  
BW= BOTTOM OF WALL  
BWFS= BOTTOM OF WALL AT FINISH SURFACE  
AT= AT  
R/W= RIGHT OF WAY  
P/L= PROPERTY LINE  
IE= INVERT ELEVATION  
TG= TOP OF GRATE  
WM= WATER METER  
SSMH= SANITARY SEWER MANHOLE  
FT= FEET  
APN= ASSESSORS PARCEL NUMBER  
W/= WITH  
ETW= EDGE OF TRAVELED WAY  
EP= EDGE OF PAVEMENT  
PCC= PORTLAND CEMENT CONCRETE  
W= WATER  
S= SEWER  
E= ELECTRIC  
S= SLOPE  
PVC= POLYVINYL CHLORIDE  
DS= DOWNSPOUT  
CMU= CONCRETE MASONRY UNIT  
SB= SETBACK  
EA= EACH  
CY= CUBIC YARDS  
DG=DECOMPOSED GRANITE

**LEGEND:**

- PROPERTY BOUNDARY
- LOT LINE
- SETBACK
- CENTERLINE ROW
- PROPOSED CONTOURS
- EXISTING CONTOURS
- EXISTING WALL
- EXISTING BUILDING
- EXISTING WATER
- EXISTING SEWER
- EXISTING ELECTRICAL
- EXISTING FENCE
- CENTERLINE
- FOOTPRINT
- CONTOUR
- CONCRETE CURB PER SDRSD G-1
- AREA DRAIN WITH 4" PVC DRAIN PIPE
- DOWNSPOUT
- BASIN OVERFLOW INLET AND DRAIN PIPE
- 2'x2' NO. 2 BACKING ROCK DISSIPATER
- FLOWLINE SWALE
- DRAINAGE DIRECTION
- PROPOSED MASONRY BLOCK RETAINING WALL PER SDRSD C-4
- PROPOSED MASONRY SCREEN WALL WITH WOOD FENCE (SEE BUILDING PLAN)
- PROPOSED PCC HARDSCAPE AREA
- PERMEABLE PAVER DRIVEWAY
- BIORETENTION BASIN
- DECOMPOSED GRANITE

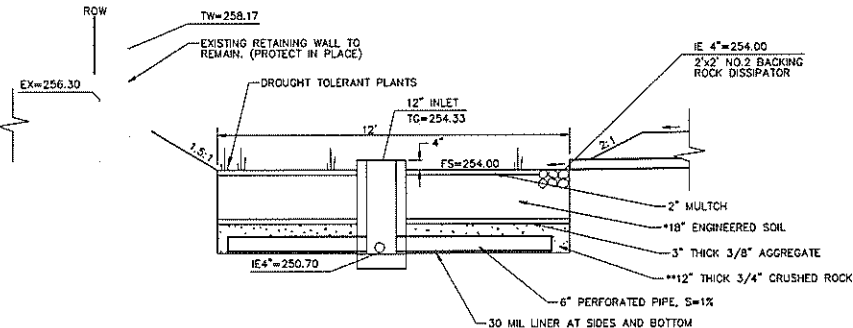
**BIORETENTION BASIN 1**

SCALE: 1"=3'



**BIORETENTION BASIN 2**

SCALE: 1"=3'



**BIORETENTION BASIN NOTES:**

\*BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 65% SAND, 15% COMPOST OR HARDWOOD MULCH, AND 20% TOPSOIL.

\*\*3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEPENDENT TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE BASIN.

THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CITY BEST MANAGEMENT PRACTICE DESIGN MANUAL SECTION 5, APPENDIX B.5.3. TYPICALLY THE SURFACE AREA OF THE BIORETENTION BASIN IS 4% OF THE IMPERVIOUS AREA DRAINING TO IT.

INSTALL 6" PERFORATED PIPE AT THE BOTTOM ROCK LAYER. CONNECT TO DRAIN INLET. 4 ROWS OF 1/2" PERFORATIONS MIN. 4" HOLE SPACING, PER ASTM 3034 OR ASHTO 252M.

INSTALL 30 MIL IMPERMEABLE LINER AT SIDES AND BOTTOM OF BASIN.

**CLS** COASTAL LAND SOLUTIONS, INC.  
5900 LA PLAZA COURT, SUITE 140  
CARLSBAD, CA 92008  
PH (760) 230-6025

CLS#2010

**NOT FOR CONSTRUCTION**  
STEVEN R. JONES DATE

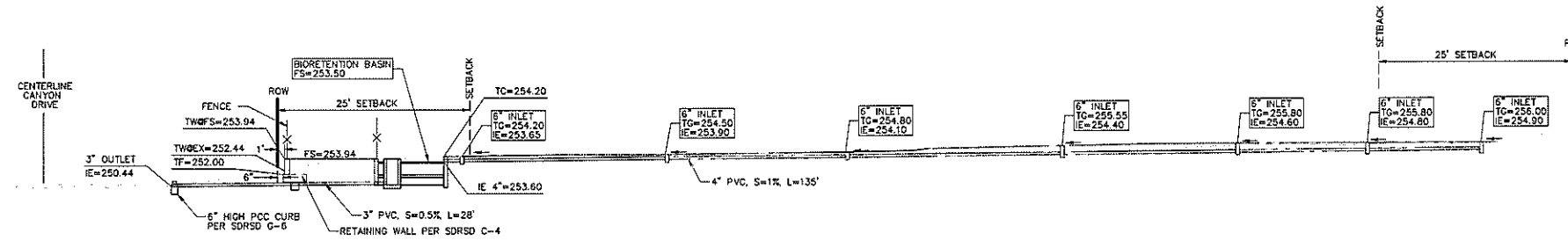
**SITE PLAN**  
SCALE: 1"=10'



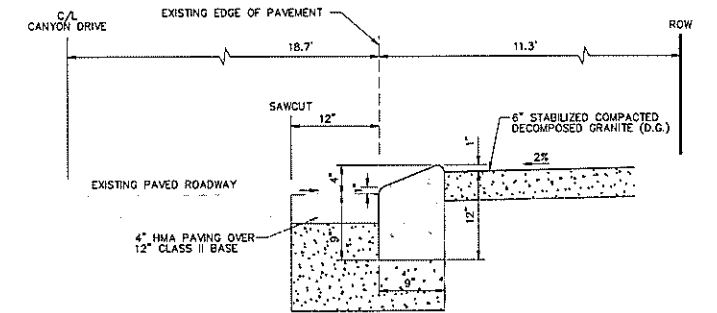
**C-1**  
1 OF 2

# PRELIMINARY GRADING AND DRAINAGE PLAN

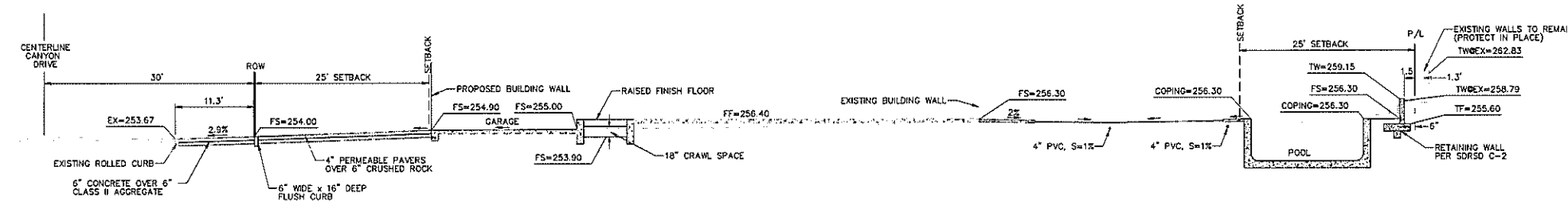
453 CANYON DRIVE  
DRP25-003 / SDP25-004



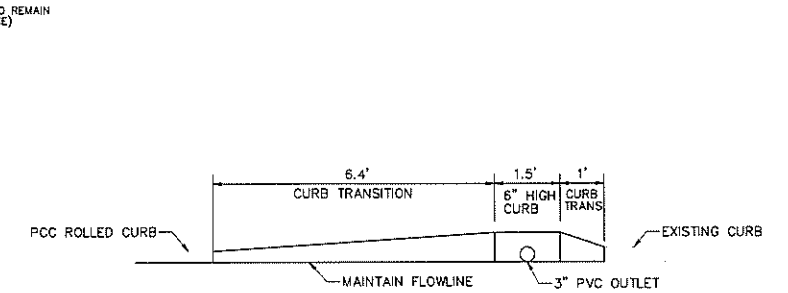
**SECTION A**  
SCALE: 1"=10'



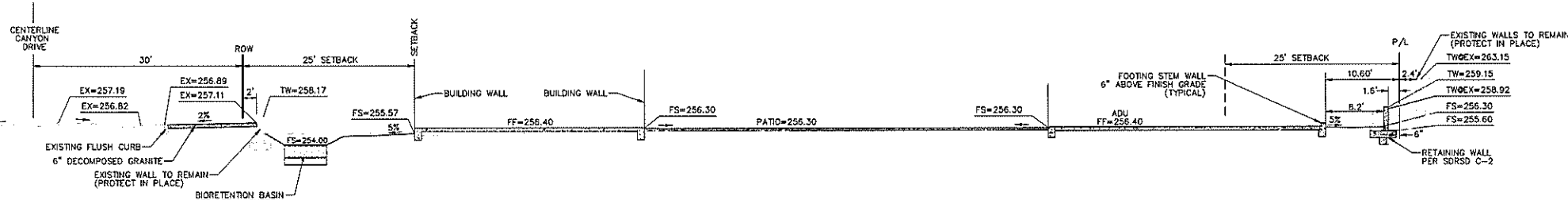
**9\" SLOPED CURB DETAIL**  
NOT TO SCALE



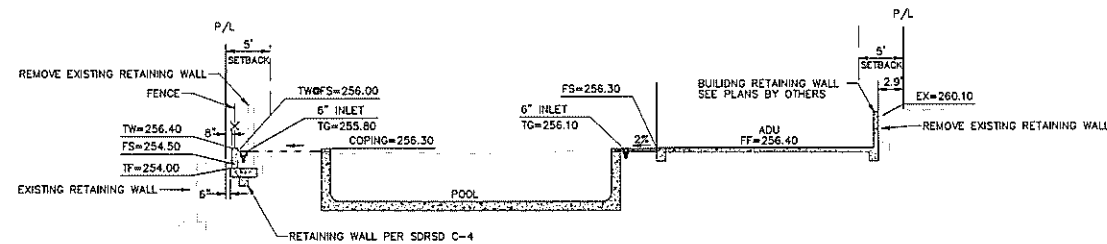
**SECTION B**  
SCALE: 1"=10'



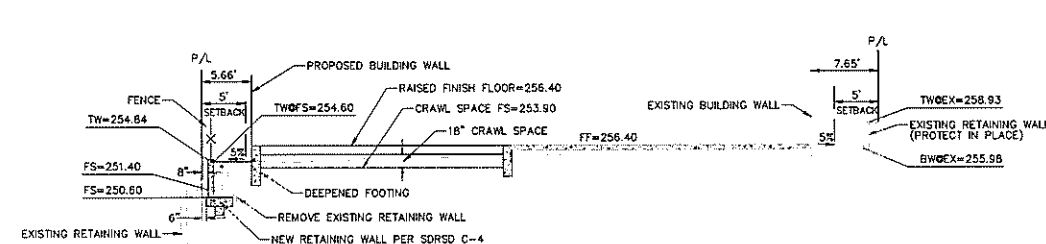
**CURB TRANSITION DETAIL**  
NOT TO SCALE



**SECTION C**  
SCALE: 1"=10'

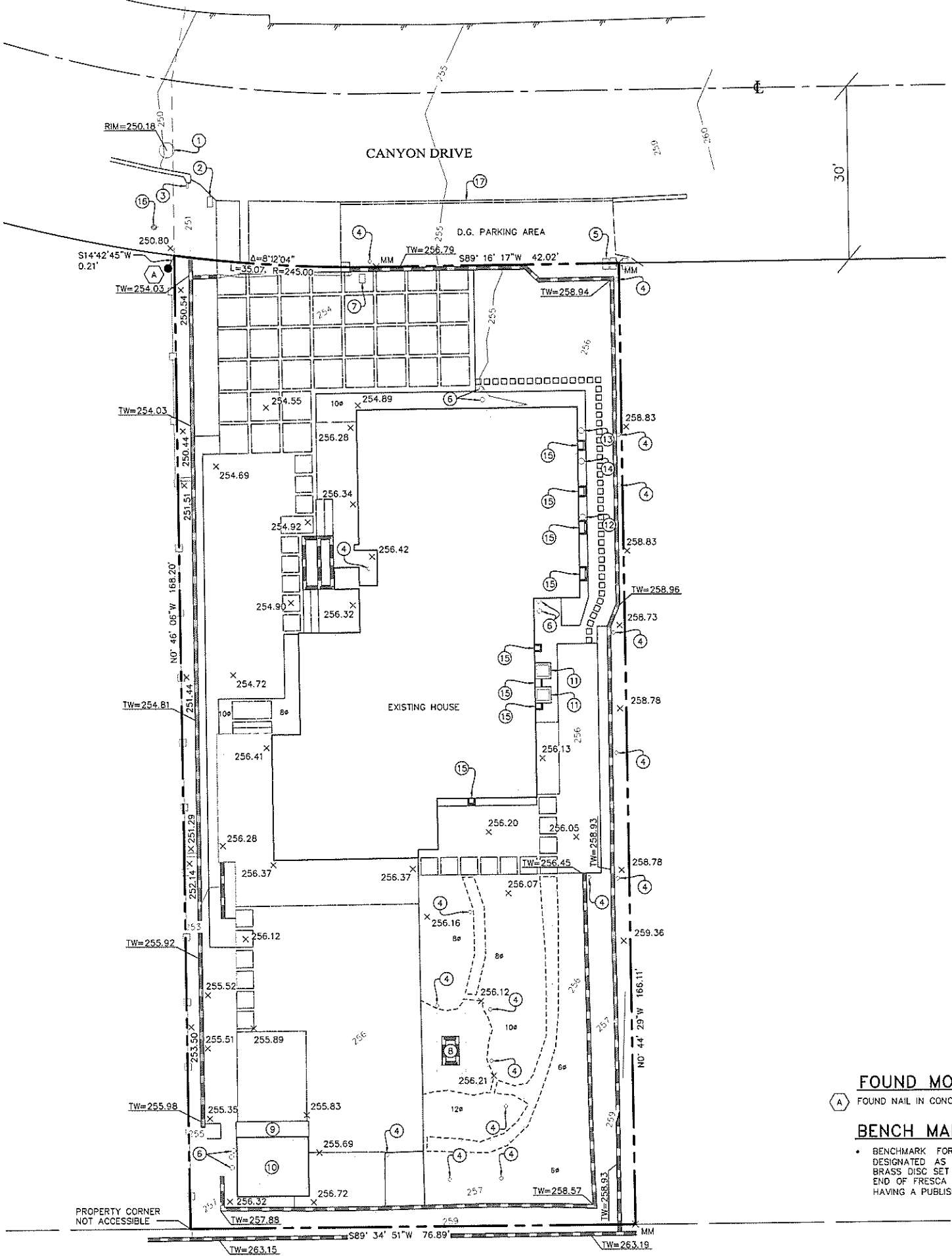
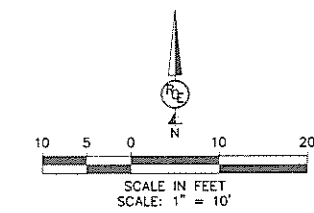


**SECTION E**  
SCALE: 1"=10'



**SECTION D**  
SCALE: 1"=10'

TOPOGRAPHIC SURVEY



**LEGEND**

--- PROPERTY LINE  
--- EDGE OF PAVEMENT  
--- CONCRETE  
--- FLAGSTONE  
--- WOOD FENCE  
--- WOOD GARDEN DIVIDER  
--- CMU WALL  
--- GATE  
  
[Pattern] CONCRETE  
[Pattern] FLAGSTONE  
[Pattern] TURF  
  
① SEWER MANHOLE  
② MAILBOX  
③ PIPE  
④ DRAIN  
⑤ WATER METER  
⑥ IRRIGATION CONTROL VALVE  
⑦ GATE MOTOR  
⑧ FIRE PIT  
⑨ BBQ AREA  
⑩ SHED  
⑪ AC  
⑫ TANK  
⑬ GAS METER  
⑭ ELECTRIC METER  
⑮ CRAWL SPACE VENT  
⑯ POWER POLE  
⑰ PCC MOW CURB  
MM MONUMENT MISSING

**LEGAL DESCRIPTION**  
LOT 11 IN BLOCK "J" OF MARVIEW HEIGHTS UNIT NO.4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951.

- BOUNDARY NOTE**
- BOUNDARY PLOTTED PER RECORD INFORMATION PROVIDED IN MAP NO. 2829 & FOUND MONUMENTS PER OTHER RECORDED SURVEYS AROUND THE AREA.
  - THIS IS NOT A PRECISE BOUNDARY SURVEY.**
  - DUE TO MISSING PROPERTY CORNER MONUMENTS, IF PROPERTY LINES, PROPERTY CORNERS, AND/OR PROPERTY LINE SETBACKS ARE CRITICAL FOR THIS PROJECT THE MISSING MONUMENTS WILL NEED TO BE SET AND A CORNER RECORD FILED WITH THE COUNTY OF SAN DIEGO MUST BE PERFORMED.
  - A PRELIMINARY TITLE REPORT WAS NOT MADE AVAILABLE AT THE TIME OF THIS SURVEY THEREFORE EXISTING EASEMENTS, IF ANY, HAVE NOT BEEN PLOTTED HEREON.

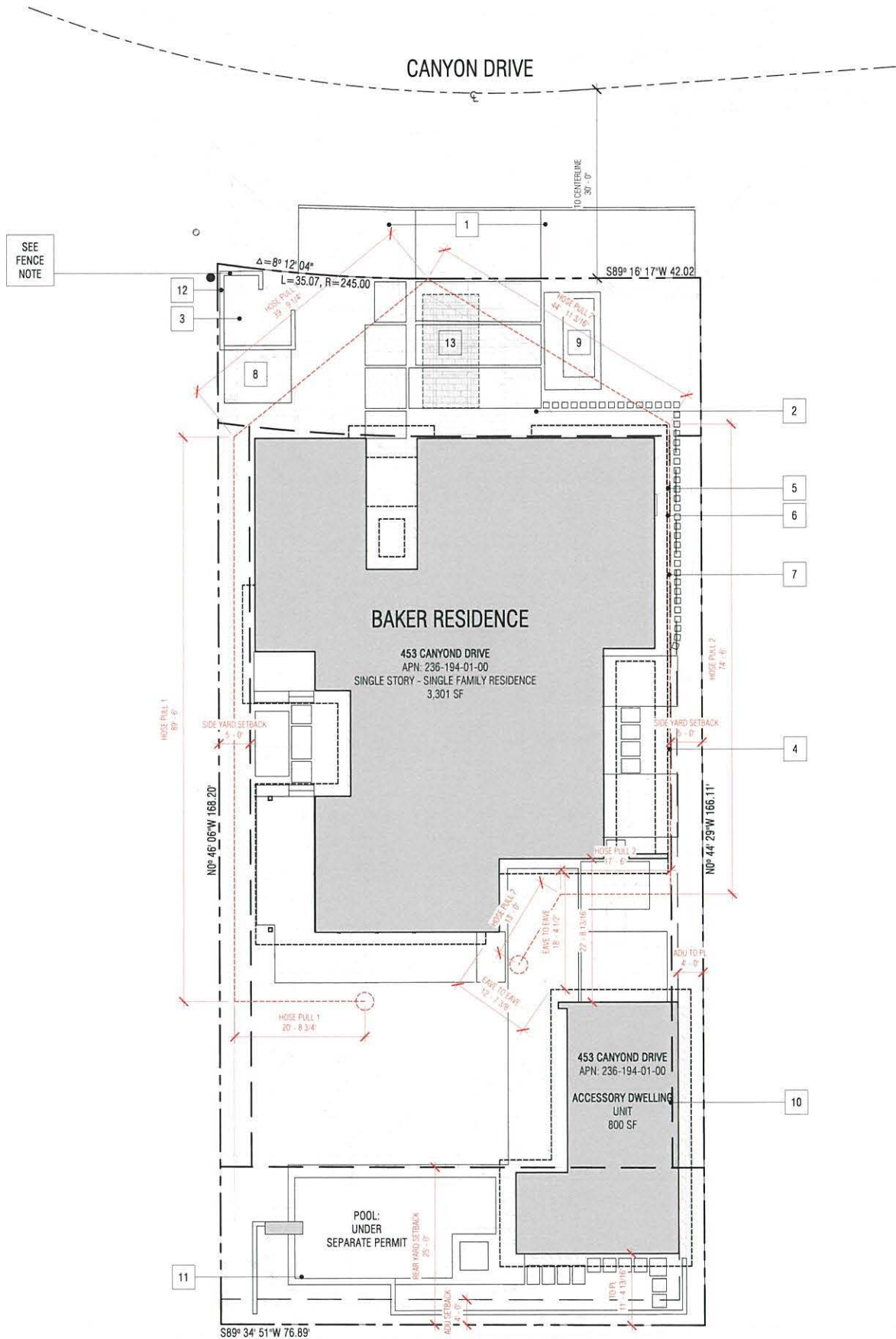
**FOUND MONUMENTS**  
① FOUND NAIL IN CONCRETE FOOTING, NO RECORD, NOT ACCEPTED.

**BENCH MARK**  
• BENCHMARK FOR THIS SURVEY IS POINT ID NO. 2005, DESIGNATED AS SOLB-5, A 2.5" CITY OF SOLANA BEACH BRASS DISC SET IN CONCRETE DRAINAGE INLET AT THE EAST END OF FRESCA COURT IN THE CITY OF SOLANA BEACH, CA., HAVING A PUBLISHED NAVD 88 ELEVATION OF 107.12'.

| PRIVATE CONTRACT                |                     |              |  |
|---------------------------------|---------------------|--------------|--|
| SHEET 1                         | COUNTY OF SAN DIEGO | 1 SHEETS     |  |
| APN. 263-194-01                 |                     |              |  |
| TOPOGRAPHIC SURVEY              |                     |              |  |
| ELIZABETH & DAN BAKER           |                     |              |  |
| 453 CANYON DRIVE                |                     |              |  |
| SOLANA BEACH, CA 92075          |                     |              |  |
| MAILING ADDRESS:                |                     | TELEPHONE:   |  |
| SURVEYOR OF WORK: JAKE D. LOGAN |                     | CHECKED BY:  |  |
| P.L.S. 8042                     |                     | JOB NO. 8256 |  |



**RANCHO COASTAL**  
**ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 VIA VERA CRUZ, #205  
SAN MARCOS, CA. 92078  
(760) 510-3152 Ph / (760) 510-3153 Fax



LANDSCAPE TABLE

|                         | EXIST. SF | PROPOSED SF |
|-------------------------|-----------|-------------|
| NON-LANDSCAPED AREA     | 6,151     | 7,469       |
| NON-IRRIGATED LANDSCAPE | 0         | 786         |
| IRRIGATED LANDSCAPE     | 2,442     | 2,618       |
| WATER FEATURES          | 0         | 512         |
| DECORATIVE HARDSCAPE    | 4,200     | 1,407       |
| TOTAL LOT AREA          | 12,792    | 12,792      |

|                          | AREA OF WORK (SF) |
|--------------------------|-------------------|
| IRRIGATED LANDSCAPE      | 2,618             |
| WATER FEATURES           | 512               |
| DECORATIVE HARDSCAPE     | 1,407             |
| AGGREGATE LANDSCAPE AREA | 4,537             |

SITE PLAN GENERAL NOTES

- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK BEFORE COMMENCING ANY SITE FOUNDATION EXCAVATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES, AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONTRACTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY), UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- PROTECT EXISTING VEGETATION AND MARK PERIMETER OF CONSTRUCTION ZONE. REMOVE ALL TREES AND VEGETATION WITHIN 5' OF PROPOSED NEW STRUCTURES, UNLESS OTHERWISE SHOWN. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. DRAINAGE SWALES ARE TO BE DIRECTED AS SHOWN, PROVIDE 2% SLOPE.
- LOCATE REFUSE BIN AT APPROVED ON SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR ANY OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

DIMENSIONING NOTE

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

QUANTITY OF GRADING

GRADING:  
120 CUBIC YARDS EXCAVATION (CUT)  
80 CUBIC YARDS EMBANKMENT (FILL)  
40 CUBIC YARDS EXPORT

REMEDIAL GRADING:  
555 CUBIC YARDS (REMOVE & RECOMPACT)

MAX CUT: 5'-0"  
MAX FILL: 4'-0"

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.

ADDRESS NUMBERS

NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE:  
4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS.

HOSE PULL: 150'-0" MAXIMUM

- 150'-0"
- 150'-0"

SITE PLAN KEY NOTES

XX

- ROW IMPROVEMENTS, SEE CIVIL SHEETS
- PERVIOUS DRIVE WAY
- TRASH ENCLOSURE
- COVERED PATIO
- ELECTRICAL METER
- WATER METER
- GAS METER
- BIORETENTION BASIN 1
- BIORETENTION BASIN 2
- ADU
- POOL: SEPARATE PERMIT
- 42" TALL RETAINING WALL: SEE C1
- REQUIRED ADU PARKING SPOT: 9'-0"X18'-0"

FENCE NOTES

SBMC 17.20.040(O): WITHIN REQUIRED FRONT AND STREET SIDE YARDS, NO FENCE, WALL, RETAINING WALL OR COMBINATION THEREOF SHALL BE HIGHER THAN 42 INCHES, EXCEPT FOR THE FOLLOWING:

A. AN ADDITIONAL 24 INCHES OF FENCE HEIGHT (TO A MAXIMUM HEIGHT OF 66 INCHES) SHALL BE PERMITTED, PROVIDED THE ADDITIONAL PORTION OF THE FENCE IS CONSTRUCTED OF A MATERIAL THAT IS AT LEAST 80 PERCENT OPEN TO LIGHT.

B. POSTS LOCATED NOT LESS THAN FIVE FEET APART SHALL BE PERMITTED TO A MAXIMUM HEIGHT OF FIVE FEET.

PROJECT:  
**BAKER RESIDENCE**  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:  
**T architecture**  
ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T. 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 3 | 08/13/2025 |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL, UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |

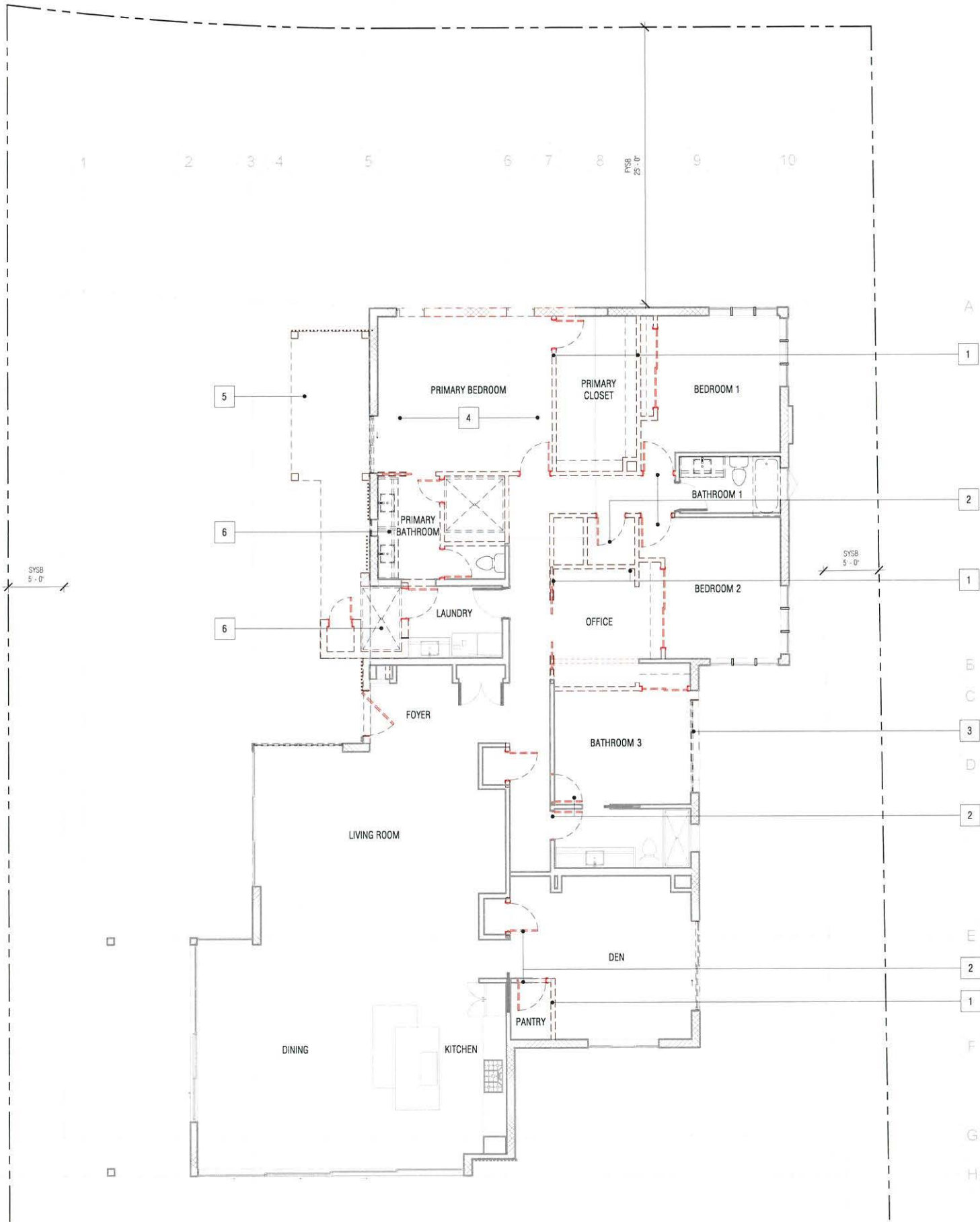
PHASE:

DESIGN DEVELOPMENT

SHEET TITLE: SITE PLAN

SHEET NO:

A100



1 EXISTING FIRST LEVEL FLOOR PLAN  
3/16" = 1'-0"

5.1

DIMENSIONING NOTE

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

DEMO PLAN KEY NOTES

XX

1. DEMO WALL  
2. DEMO DOOR  
3. DEMO WINDOW  
4. DEMO FLOOR - PREP FOR CONCRETE GARAGE FLOOR  
5. DEMO PATIO COVER  
6. DEMO PLUMBING

WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED  
— EXISTING WALL TO REMAIN  
— NEW WALL  
— ADDITION AREA

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

architecture

ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858 345 1295

CONSULTANT:

NO: REVISION: DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

PROJECT NAME: BAKER RESIDENCE  
JOB NO: 2320  
DRAWN BY: RV  
CHECKED BY: AC  
ISSUE DATE: 09/22/2025  
DRAWING FILE: DD\_BAKER RESIDENCE - SUB 3.RVT  
PHASE:

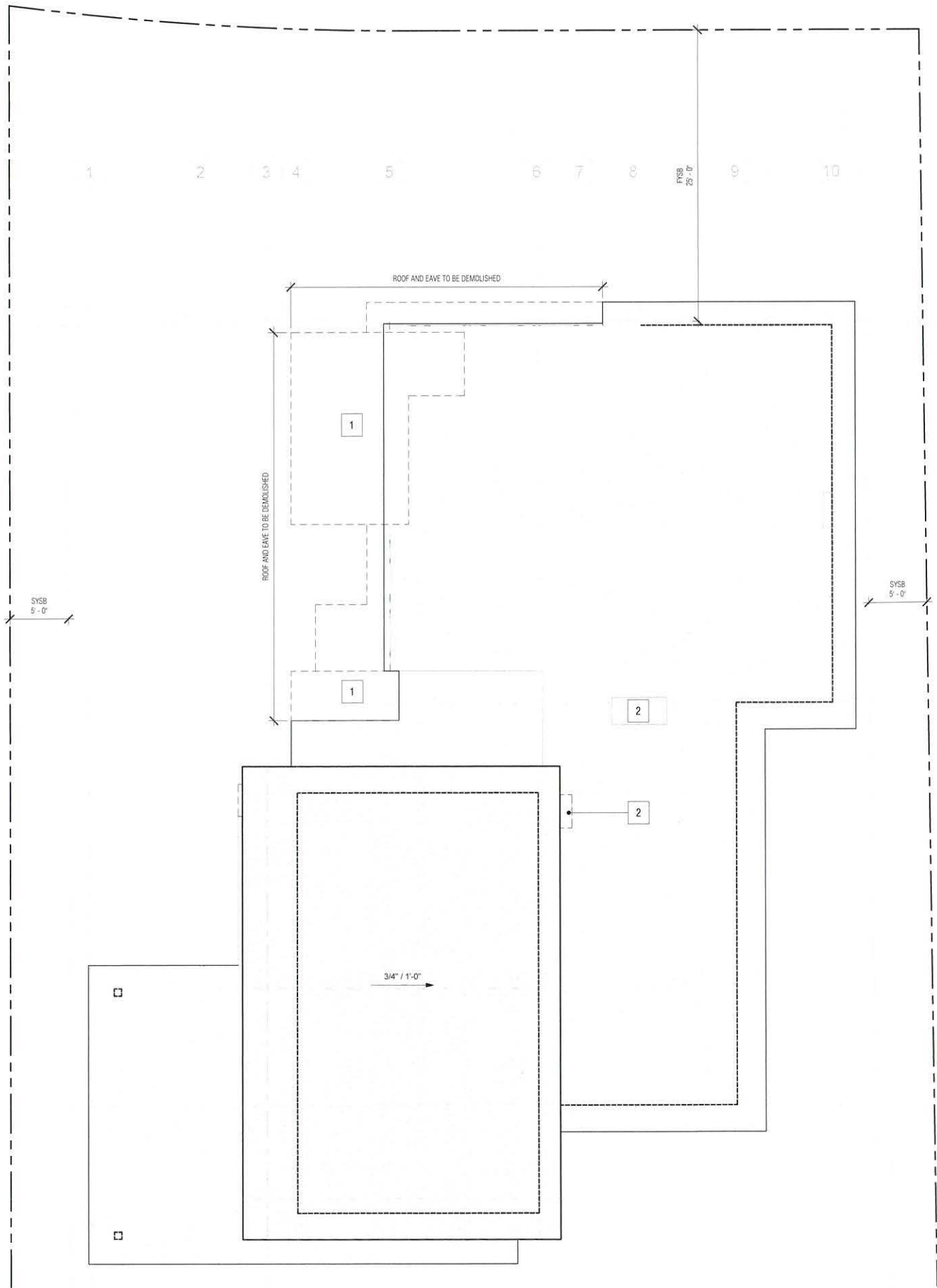
DESIGN DEVELOPMENT

SHEET TITLE: EXISTING FIRST LEVEL FLOOR PLAN

SHEET NO: A101

9/22/2025 9:59:20 AM

1 EXISTING ROOF PLAN  
3/16" = 1'-0"



DIMENSIONING NOTE

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

ROOF PLAN KEY NOTES

XX

1. DEMO ROOF  
2. DEMO SKYLIGHT

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

NO: REVISION: DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL, UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

PROJECT NAME: BAKER RESIDENCE

JOB NO: 2320

DRAWN BY: RV

CHECKED BY: AC

ISSUE DATE: 09/22/2025

DRAWING FILE: DD\_BAKER RESIDENCE - SUB 3.RVT

PHASE:

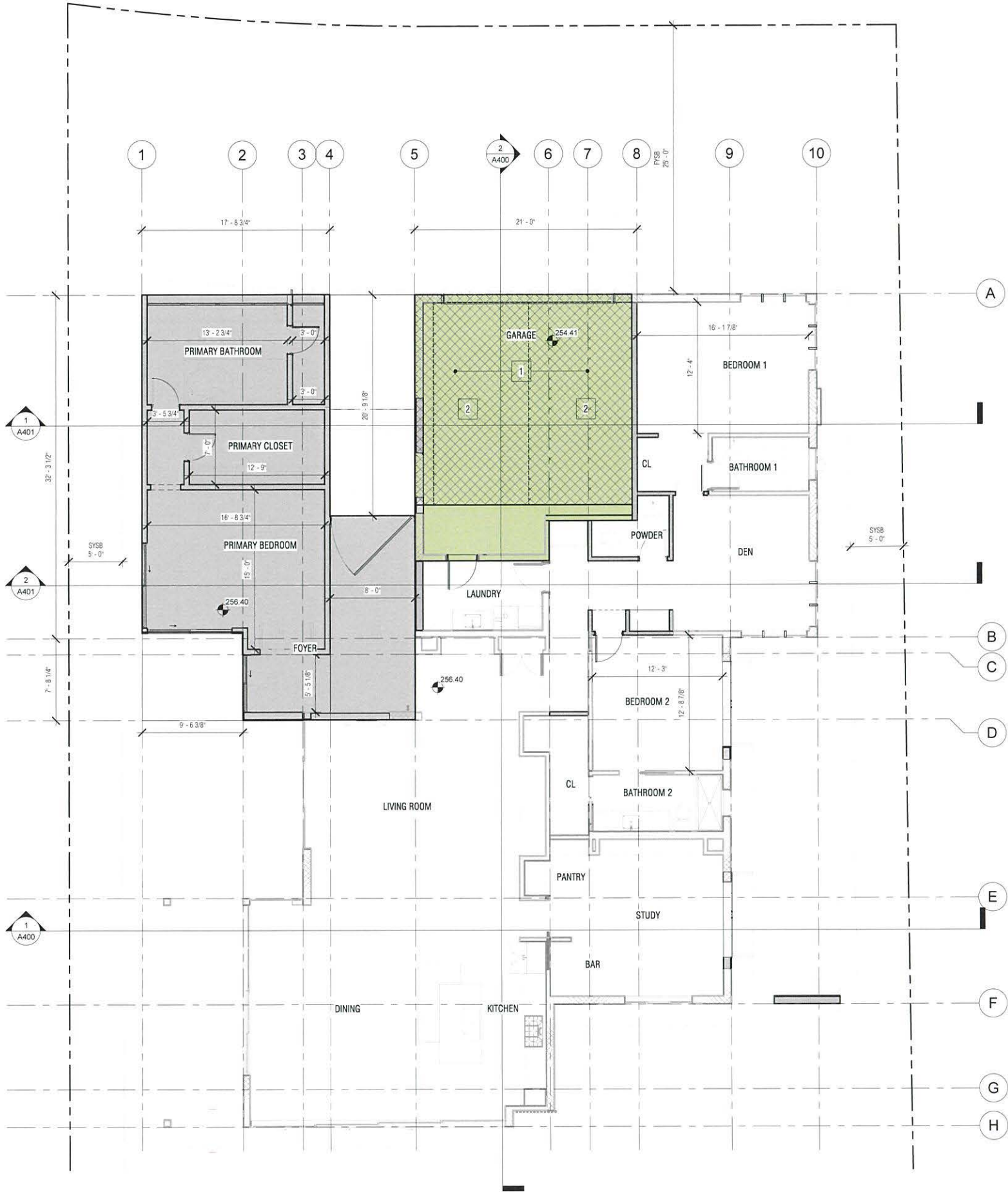
DESIGN DEVELOPMENT

SHEET TITLE: EXISTING ROOF PLAN

SHEET NO:

A102

9/22/2025 9:59:25 AM



1 PROPOSED FIRST LEVEL FLOOR PLAN  
3/16" = 1'-0"

DIMENSIONING NOTE

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN KEY NOTES

XX

1. NEW CONCRETE GARAGE FLOOR  
2. (2) REQUIRED 9'-0"X18'-0" PARKING

WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED  
EXISTING WALL TO REMAIN  
NEW WALL  
ADDITION AREA

HATCH LEGEND

- PROPOSED ADDITION SF  
EXISTING AREA  
GARAGE EXEMPTION AREA: 400 SF  
GARAGE AREA  
EXTERIOR COVERED AREA: TOWARDS FAR  
ADU AREA

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

NO: REVISION: DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

PROJECT NAME: BAKER RESIDENCE  
JOB NO: 2320  
DRAWN BY: RV  
CHECKED BY: AC  
ISSUE DATE: 09/22/2025  
DRAWING FILE: DD\_BAKER RESIDENCE - SUB 3.RVT  
PHASE:

DESIGN DEVELOPMENT

SHEET TITLE: PROPOSED FIRST LEVEL FLOOR PLAN

SHEET NO:

A103

9/22/2025 9:59:28 AM

ROOF PLAN GENERAL NOTES

- ALL NEWLY CONSTRUCTED ROOFS ARE TO BE CLASS "A" ROOFING ASSEMBLIES IN ACCORDANCE WITH UL 790 & ASTM E108.
- ROOFING UNDERLAYMENT AT ROOFS WITH SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD" BY W.R. GRACE (OR ARCHITECT'S APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL #40 FIBERGLASS REINFORCED FELT SHEET OVER.
- ROOFING UNDERLAYMENT: #40 FIBERGLASS REINFORCED FELT UNDERLAYMENT SHEET. INSTALL PER MANUFACTURER'S INSTRUCTIONS AS MANUFACTURED BY GS ROOFING PRODUCTS (OR ARCHITECT APPROVED EQUAL).
- SIDEWALL VENTS: WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT GALV. METAL MESH WITH OPENINGS OF 1/4" OPENINGS MAX.
- ROOF EDGE DRIP: METAL FLASHING AND COUNTER FLASHING. ALL EXTERIOR METAL FLASHING TO BE 16 OZ. GALV. METAL WITH MILL FINISH UNLESS OTHERWISE NOTED. HEM ALL EXPOSED EDGES. SOLDER AND/OR SEAL ALL SEAMS AND JOINTS.
- PARAPETS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING: MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTOR WRAP. EXTEND MEMBRANE A MINIMUM OF 6" UP SURFACE, AND BE OVERLAPPED WITH BUILDING WRAP. I.C.B.O. #4252.
- PLUMBING VENT: ABS PLASTIC WITH 16 OZ. GALV. SHEET METAL PRIMARY. SECONDARY FLASHING AND STORM COLLAR SEALED TO VENT. COMBINE VENTS IN CEILING/ATTIC TO MINIMIZE PENETRATIONS.
- BUILT UP ROOFS SHALL HAVE A MINIMUM STC RATING OF 47, AND ROOF DECKS TO BE A MINIMUM STC RATING OF 45.
- BUILDING WRAP: PER MANUFACTURERS RECOMMENDATION AT ALL NEW AREAS.

ROOF PLAN KEY NOTES

- NEW FLAT ROOF - CLASS A FIRE RATED
- EXISTING ROOF - CLASS A FIRE RATED
- NEW SLATTED SOFFIT
- DOWNSPOUT

DIMENSIONING NOTE

- ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

EXISTING VS. NEW ROOF

EXISTING ROOF TOTAL: 3,893 SF  
ROOF TO BE DEMOLISHED: 358 SF = 8%  
EXISTING ROOF TO REMAIN: 3,535 SF = 92%  
50% OF EXISTING: 1,947 SF

NEW ROOF TOTAL: 1,013 SF  
ROOF TOTAL: 4,548 SF

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

architecture

ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

XX

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 1 | 05/30/2025 |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

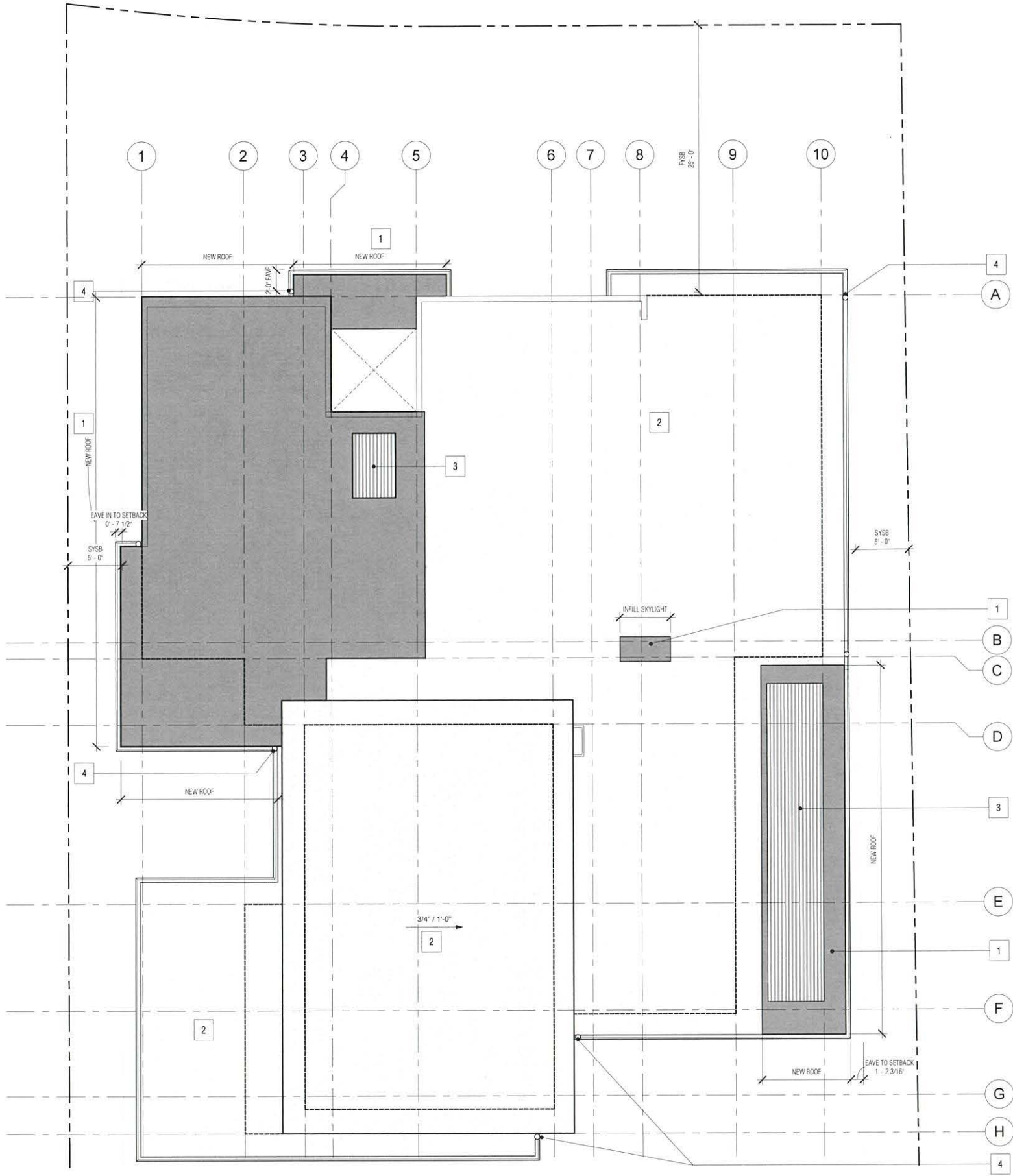
DESIGN DEVELOPMENT

SHEET TITLE: PROPOSED ROOF PLAN

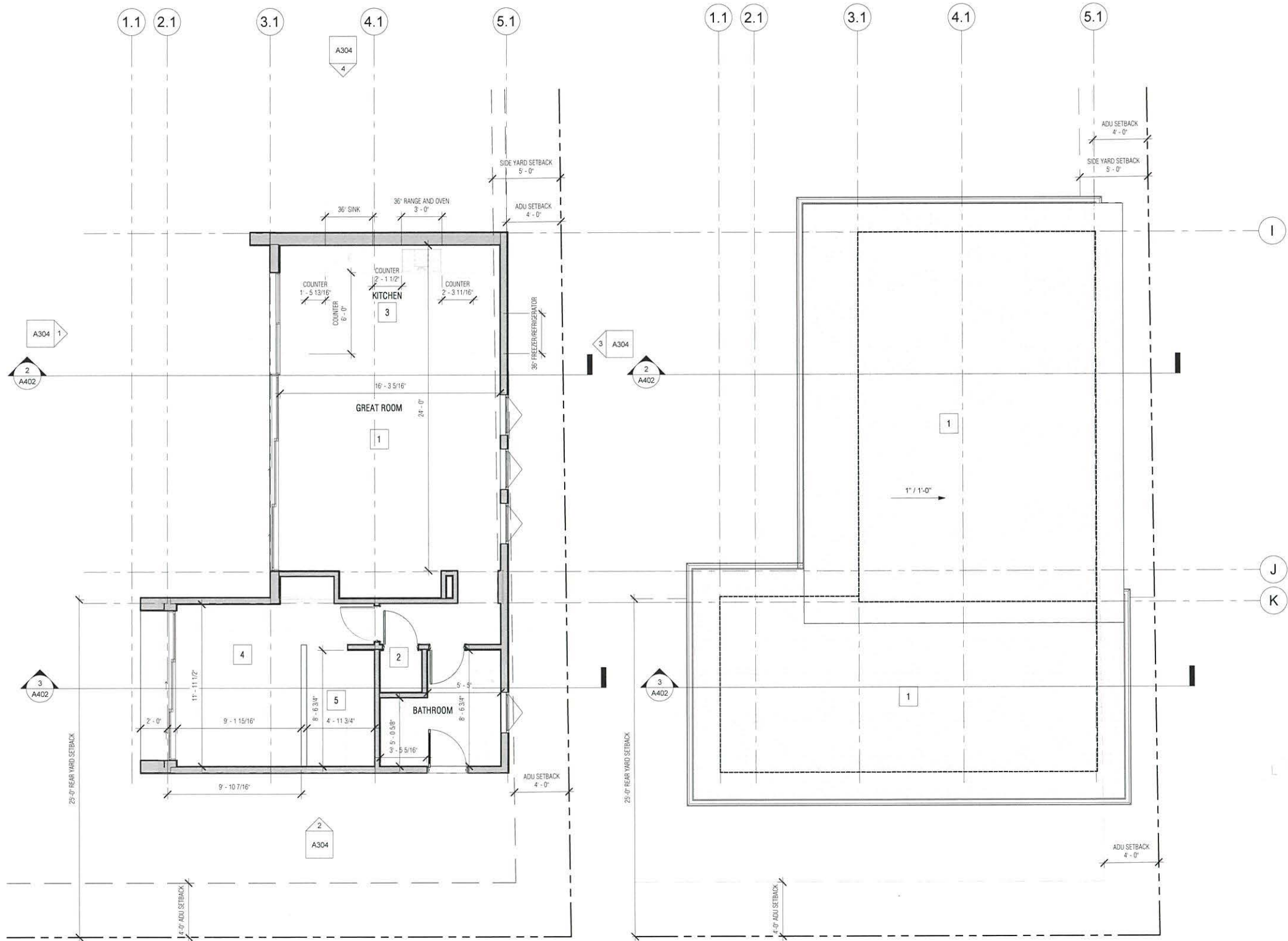
SHEET NO:

A104

9/22/2025 9:59:34 AM



1 PROPOSED ROOF PLAN  
3/16" = 1'-0"



1 PROPOSED FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"

2 PROPOSED FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"

DIMENSIONING NOTE

1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

FLOOR PLAN KEY NOTES

XX

1. ADU: 800 SF  
2. LAUNDRY CLOSET  
3. KITCHEN  
A. 26'-5" OF CABINETS  
B. 36" SINK  
C. 36" STOVE AND OVEN  
D. 36" REFRIGERATOR AND FREEZER  
E. 11'-11" OF COUNTER TOP  
4. BEDROOM  
5. OFFICE/BEDROOM

ROOF PLAN KEY NOTES

XX

1. NEW ROOF

ADU REQUIREMENTS

1. THE ADU SHALL NOT HAVE INTERIOR ACCESS TO THE PRIMARY RESIDENCE.  
2. THE ADU SHALL ONLY BE USED FOR RENTALS FOR TERMS OF 30 CONSECUTIVE DAYS OR MORE.  
3. ONE OFF-STREET PARKING SHALL BE REQUIRED FOR THE ADU IF IT IS LOCATED MORE THAN ONE-HALF MILE WALKING DISTANCE OF A PUBLIC TRANSIT STOP, PURSUANT TO SBMC SECTION 17.20.040.D.4.MI.  
4. FOR ACCESSORY DWELLING UNITS THAT HAVE A FLOOR AREA OF SEVEN HUNDRED FIFTY (750) SQUARE FEET OR MORE, IMPACT FEES SHALL BE CHARGED PROPORTIONATELY IN RELATION TO THE SQUARE FOOTAGE OF THE PRIMARY DWELLING UNIT.  
5. PER SBMC SECTION 17.20.040(D)(4)(O), ACCESSORY DWELLING UNITS SHALL PROVIDE A NEW OR SEPARATE UTILITY CONNECTION DIRECTLY BETWEEN THE ACCESSORY DWELLING UNIT AND THE UTILITY. THE CONNECTION MAY BE SUBJECT TO A CONNECTION FEE OR CAPACITY CHARGE THAT SHALL BE PROPORTIONATE TO THE BURDEN OF THE PROPOSED ACCESSORY DWELLING UNIT, BASED UPON EITHER ITS SIZE IN SQUARE FEET OR THE NUMBER OF ITS PLUMBING FIXTURES, UPON THE WATER OR SEWER SYSTEM; PROVIDED, HOWEVER, THAT THIS FEE OR CHARGE SHALL NOT EXCEED THE REASONABLE COST OF PROVIDING THIS SERVICE. A SUB-METER MAY BE ALLOWED TO MEET THIS REQUIREMENT.

ADU PROVISIONS FOR LIVING

AN ADU IS DEFINED AS A COMPLETE INDEPENDENT LIVING FACILITY WITH PERMANENT PROVISIONS FOR LIVING, SLEEPING, EATING, COOKING, AND SANITATION. THE FOLLOWING ADU KITCHEN REQUIREMENTS SHALL BE INCLUDED ON THE APPLICABLE FLOOR PLAN.

- COUNTER SURFACES AND WALL CABINETS - MINIMUM 10 FEET IN TOTAL LENGTH
- MINIMUM 24-INCH SINK, 1.5-INCH DRAIN, WITH A GARBAGE DISPOSAL.
- REFRIGERATOR WITH A MINIMUM CAPACITY OF 12 CUBIC FEET.
- MINIMUM TWO COOKING APPLIANCES: STOVE, RANGE, OVEN, MICROWAVE (HARD-WIRED WITH GAS OR 220-VOLT OUTLET).

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 1 | 05/30/2025 |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL, UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

SHEET TITLE: ADU FLOOR AND ROOF PLAN

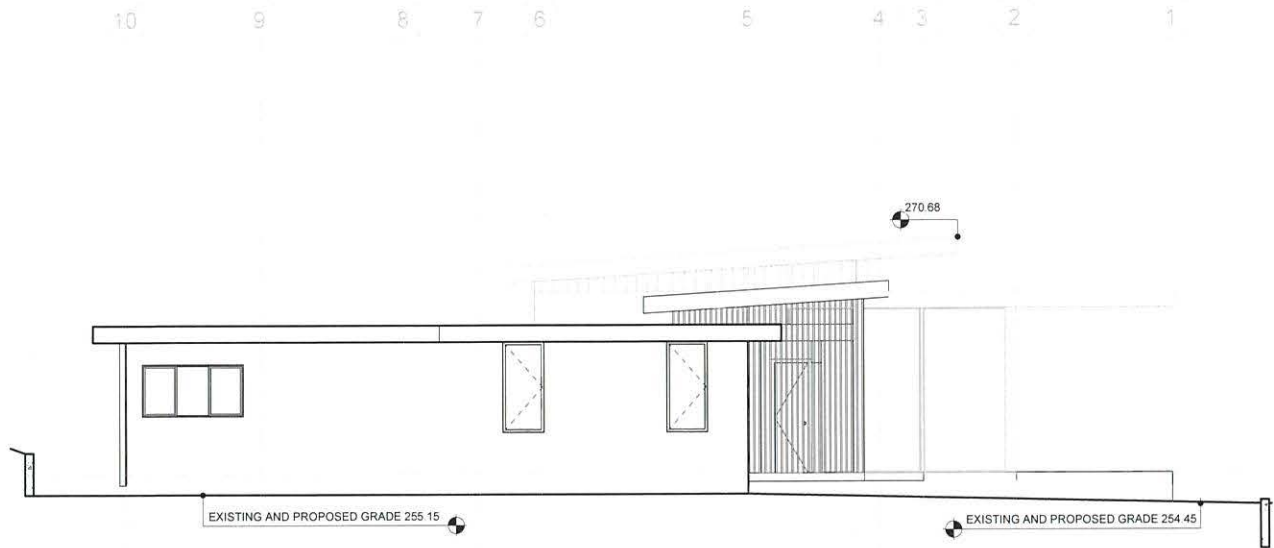
SHEET NO:

A105

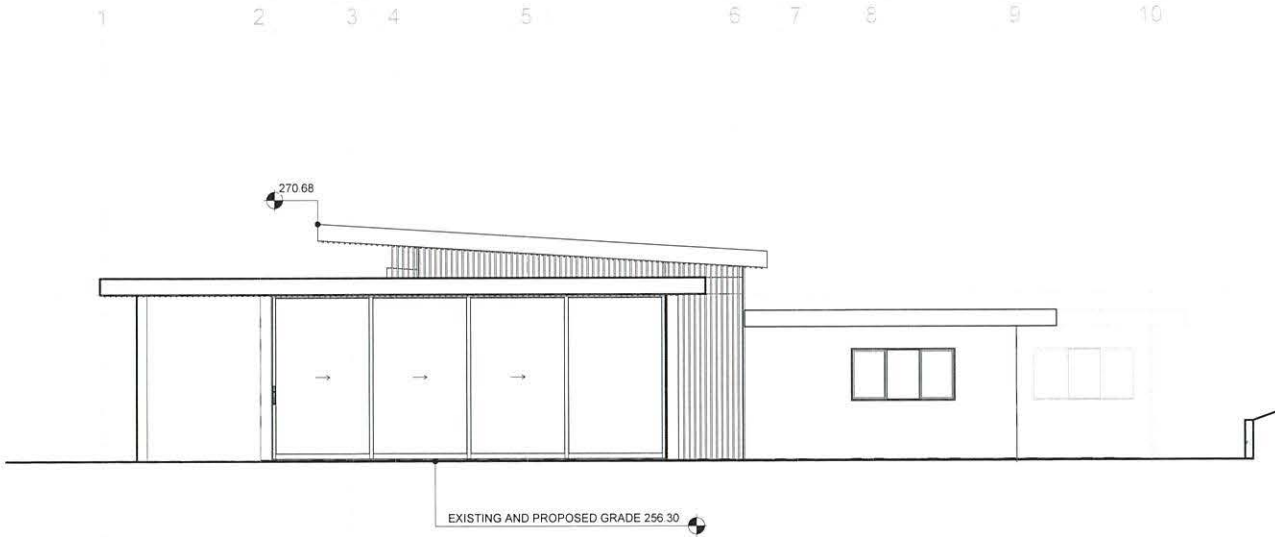
9/22/2025 9:59:38 AM

ELEVATION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED



1 EXISTING NORTH ELEVATION  
3/16" = 1'-0"



2 EXISTING SOUTH ELEVATION  
3/16" = 1'-0"

PROJECT:  
BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 3   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

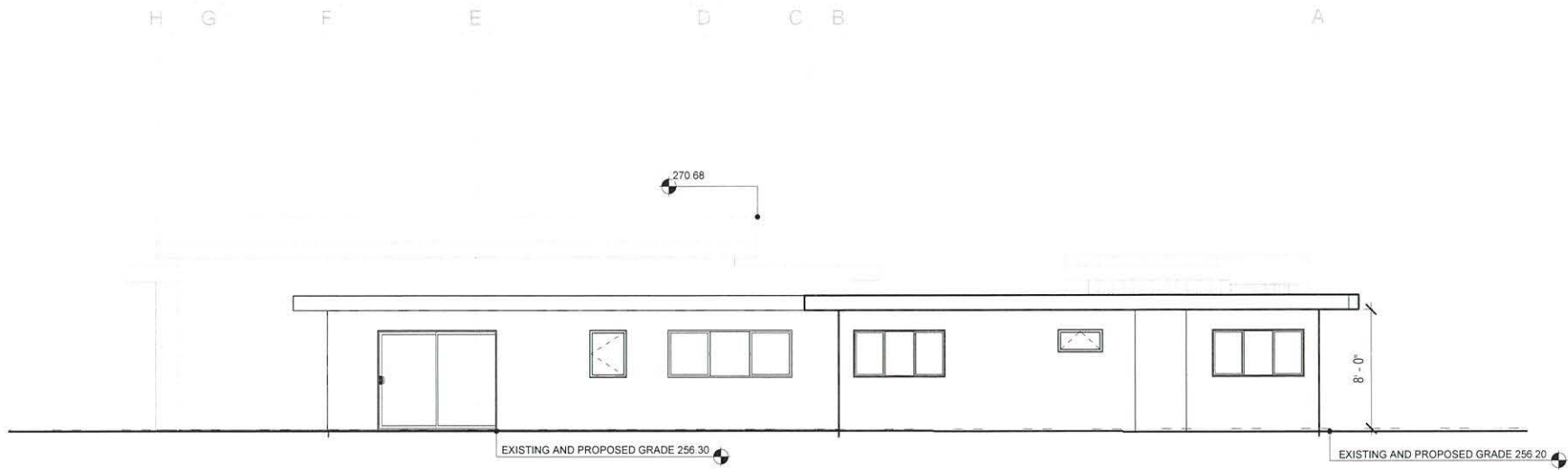
|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

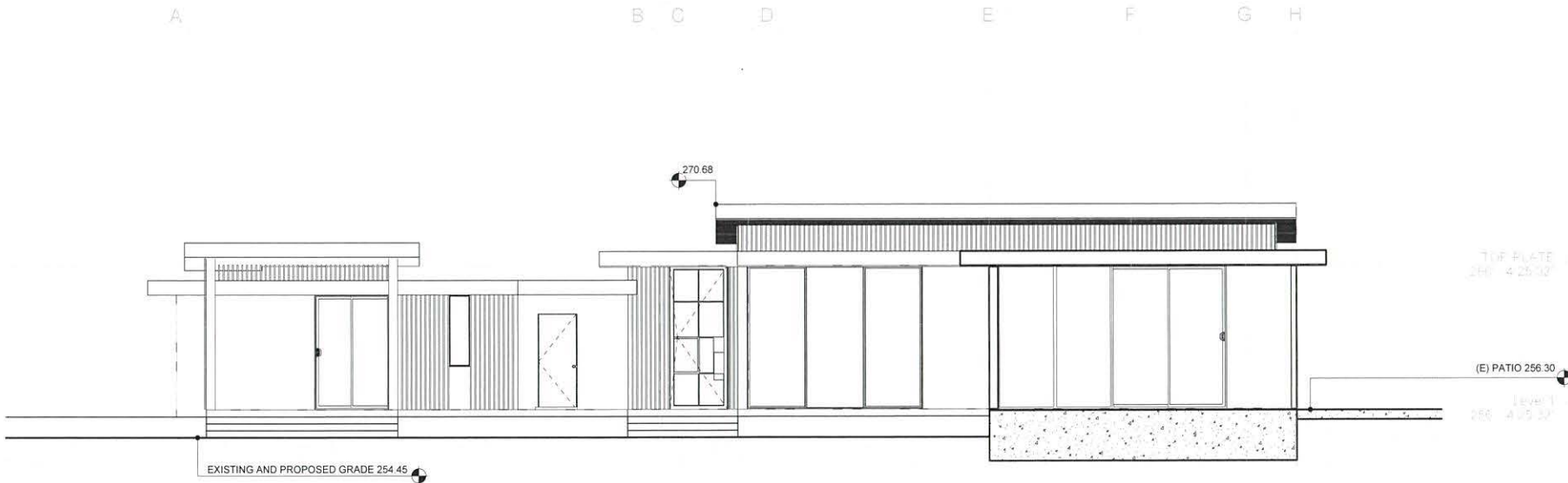
SHEET  
TITLE: EXISTING ELEVATIONS

SHEET  
NO:

A300



1 EXISTING EAST ELEVATION  
3/16" = 1'-0"



2 EXISTING WEST ELEVATION  
3/16" = 1'-0"

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 3   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

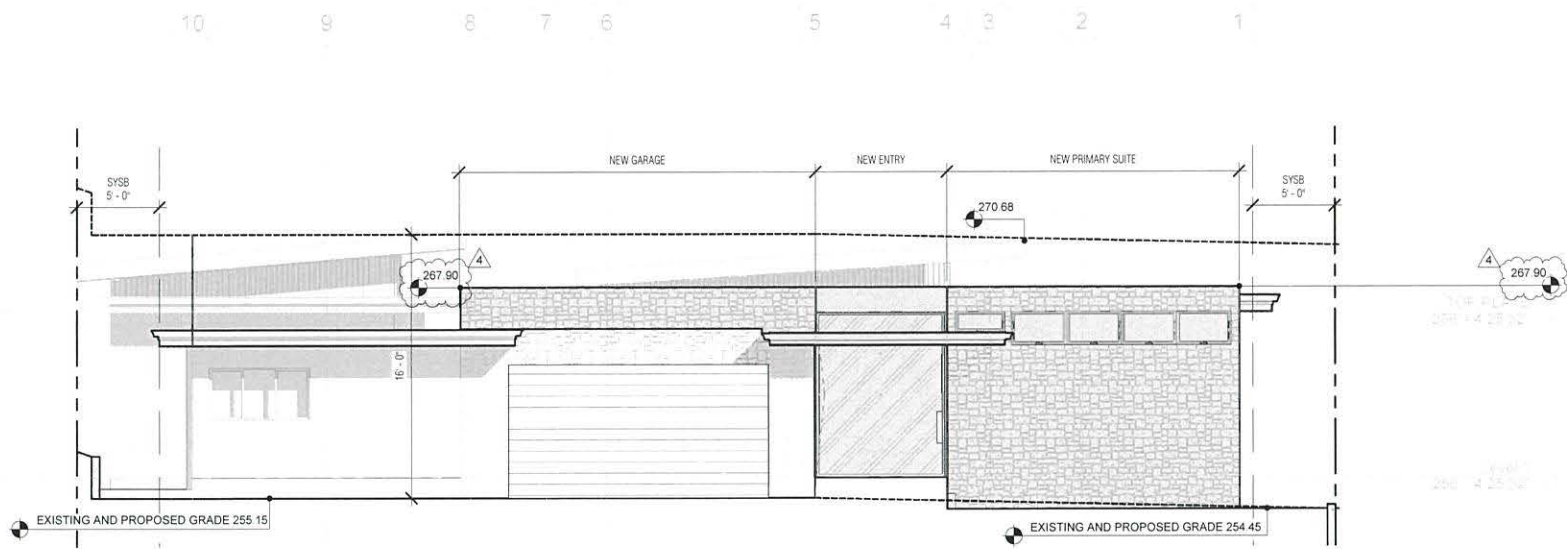
DESIGN DEVELOPMENT

SHEET TITLE: EXISTING ELEVATIONS

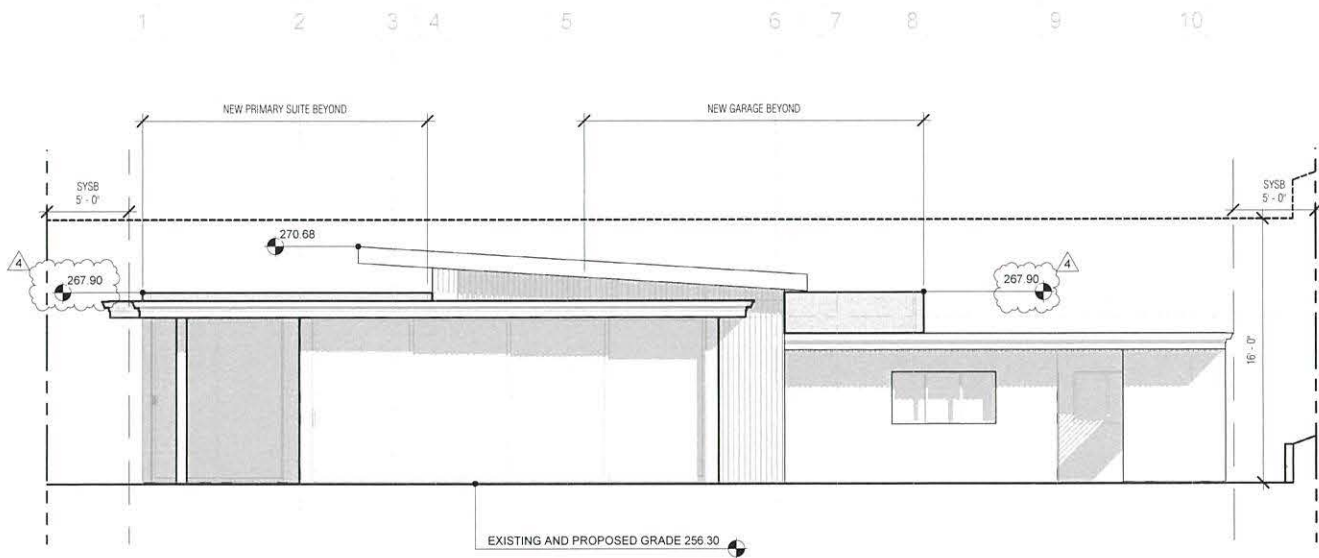
SHEET NO: A301



ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858 345 1295



1 PROPOSED NORTH ELEVATION  
3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 4 | 09/18/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

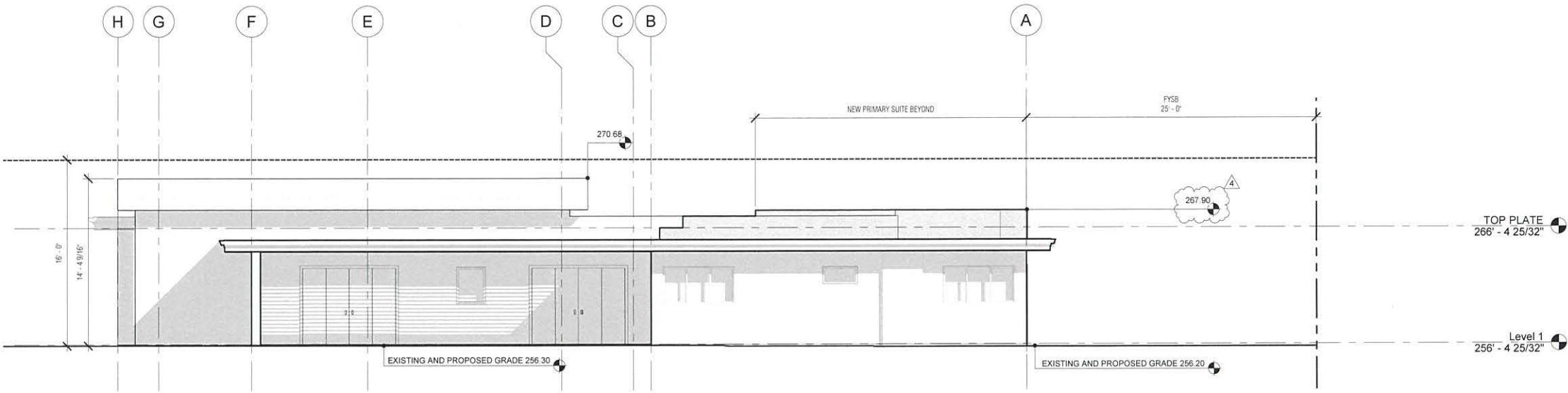
STAMP:

NOT FOR CONSTRUCTION

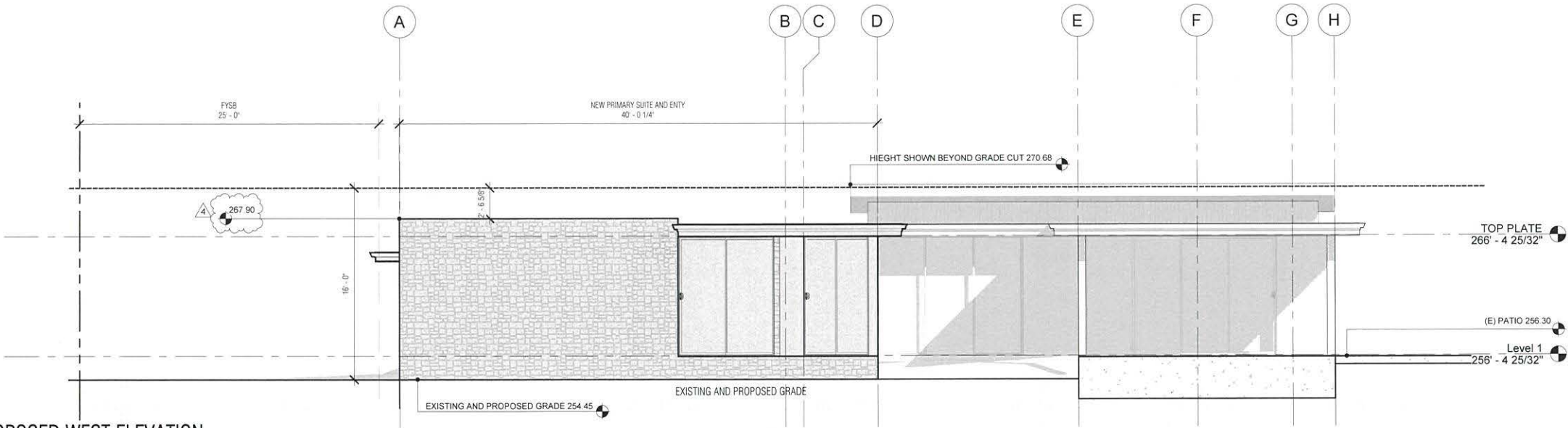
|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RRV                            |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT  
SHEET TITLE: PROPOSED ELEVATIONS

SHEET NO: A302



1 PROPOSED EAST ELEVATION  
3/16" = 1'-0"



2 PROPOSED WEST ELEVATION  
3/16" = 1'-0"

| NO. | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 4 | 09/18/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

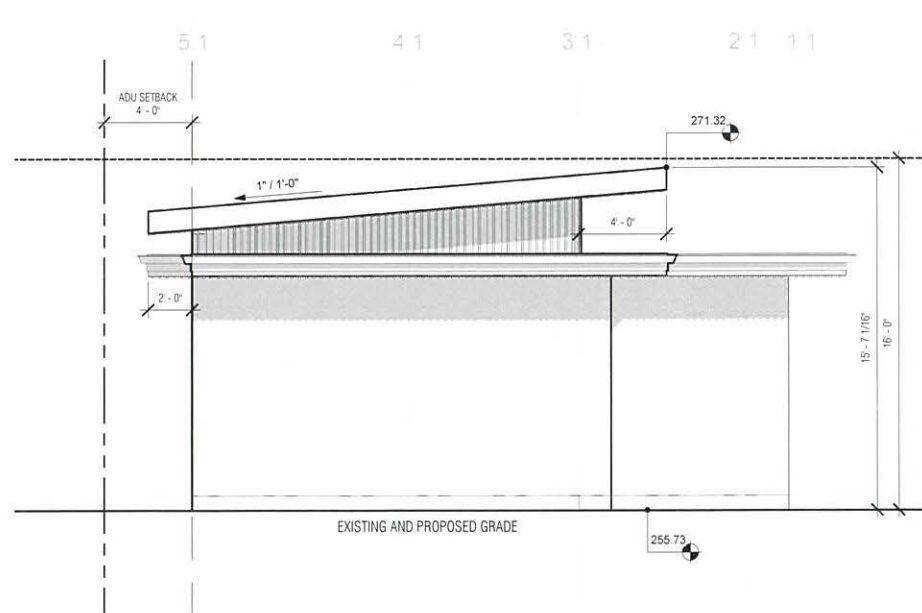
|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

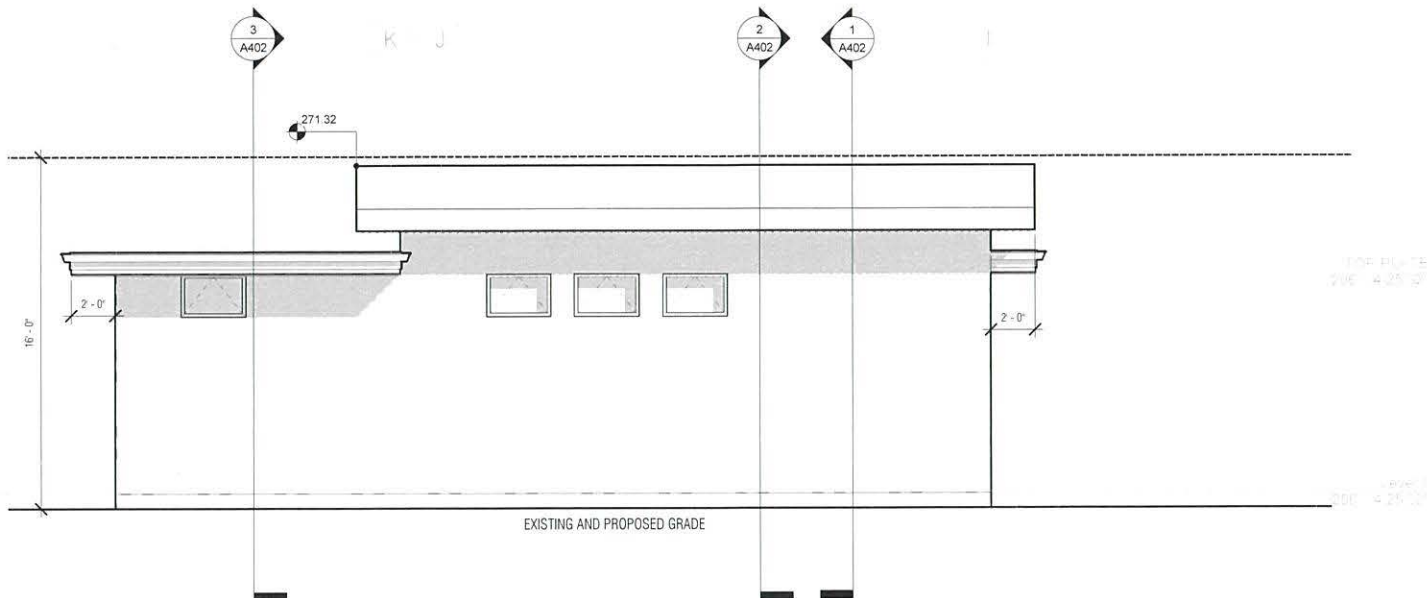
SHEET TITLE: PROPOSED ELEVATIONS

SHEET NO:

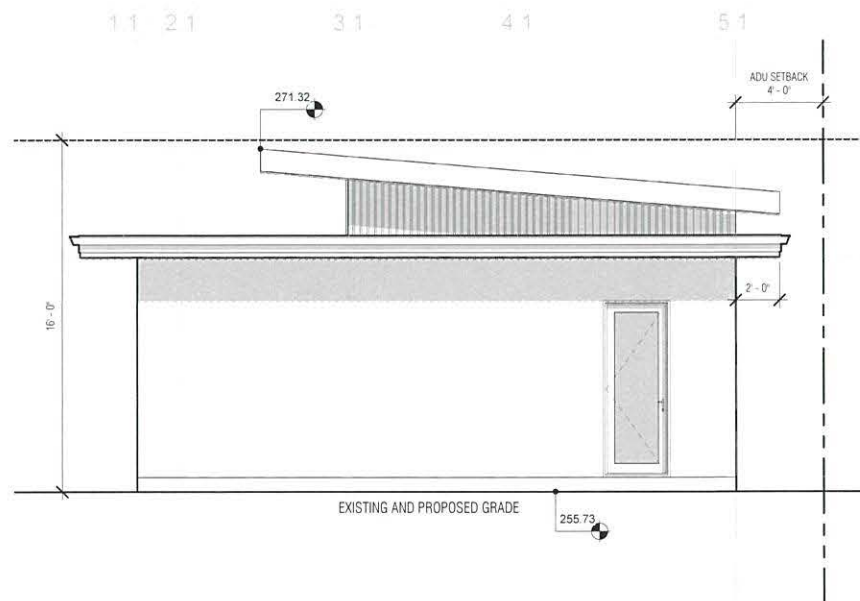
A303



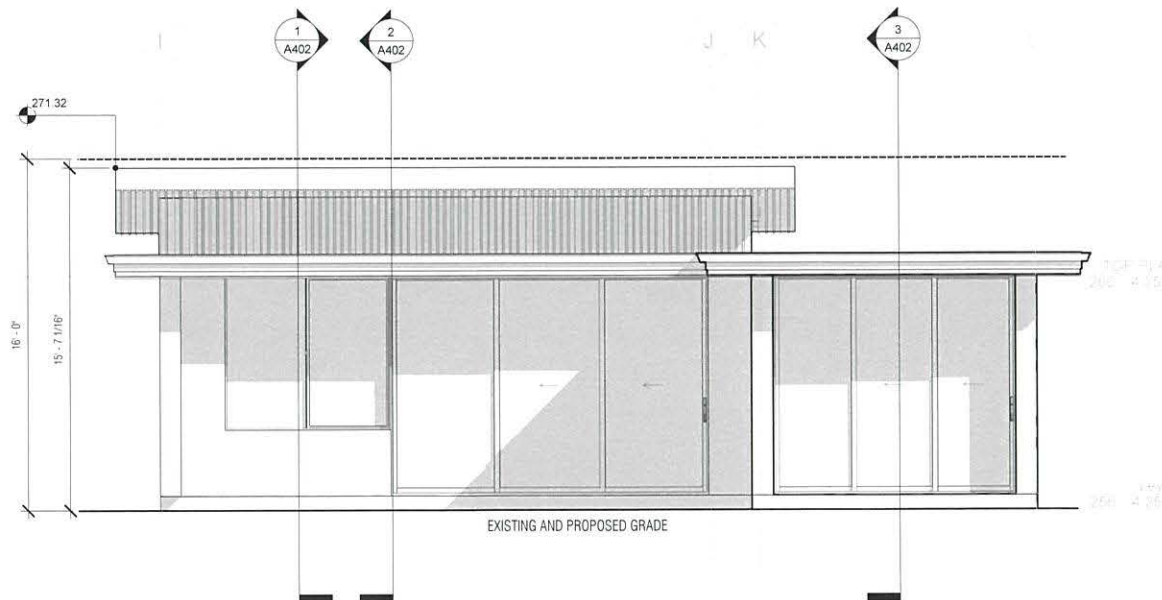
4 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



1 PROPOSED WEST ELEVATION  
1/4" = 1'-0"

PROJECT:  
**BAKER RESIDENCE**  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:  
**Tarchitect**  
ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 1   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:  
**NOT FOR CONSTRUCTION**

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT  
SHEET TITLE: **PROPOSED ADU ELEVATIONS**

SHEET NO: **A304**

SECTION GENERAL NOTES

- 1. FINISH FLOOR ELEVATIONS CALL-OUTS ARE SHOWN FROM TOP OF STRUCTURAL SLAB (TOS) OR SOP OF STRUCTURAL SHEATHING (TOS)
- 2. SEE SHEET AXXX-XXXX FOR EXTERIOR ELEVATION AND EXTERIOR FINISH NOTES.

SECTION KEY NOTES

XX

PROJECT:

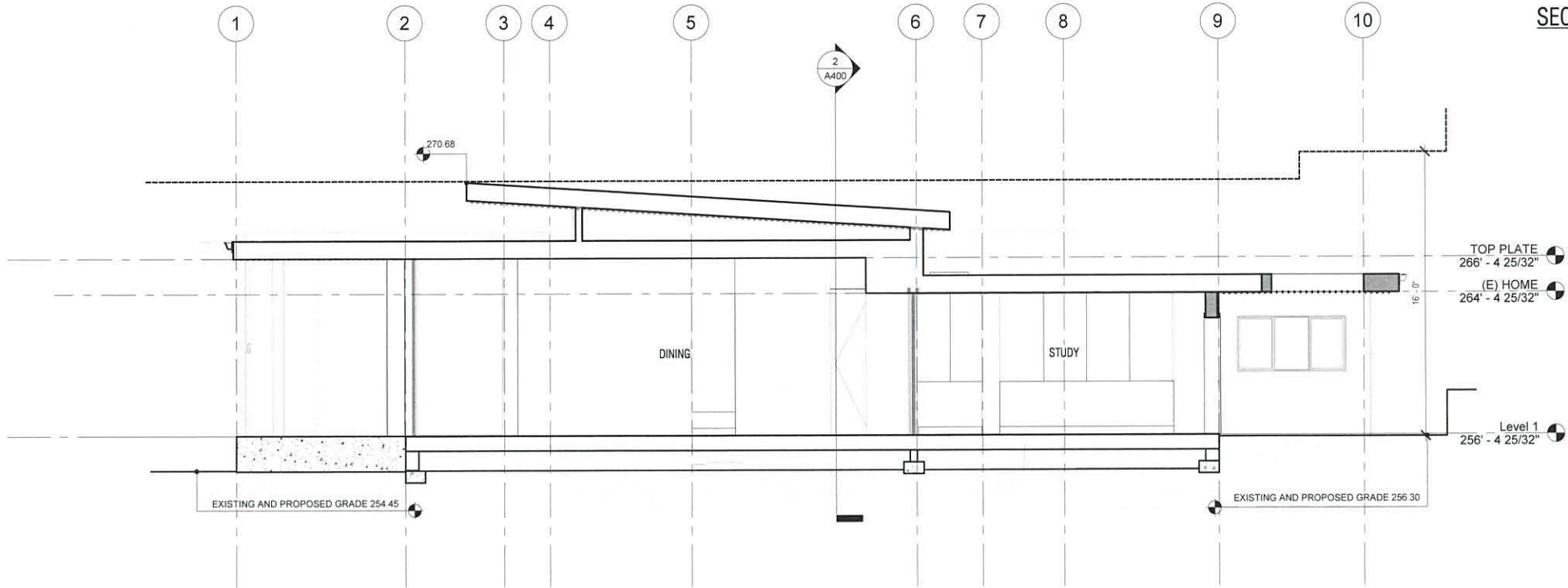
BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

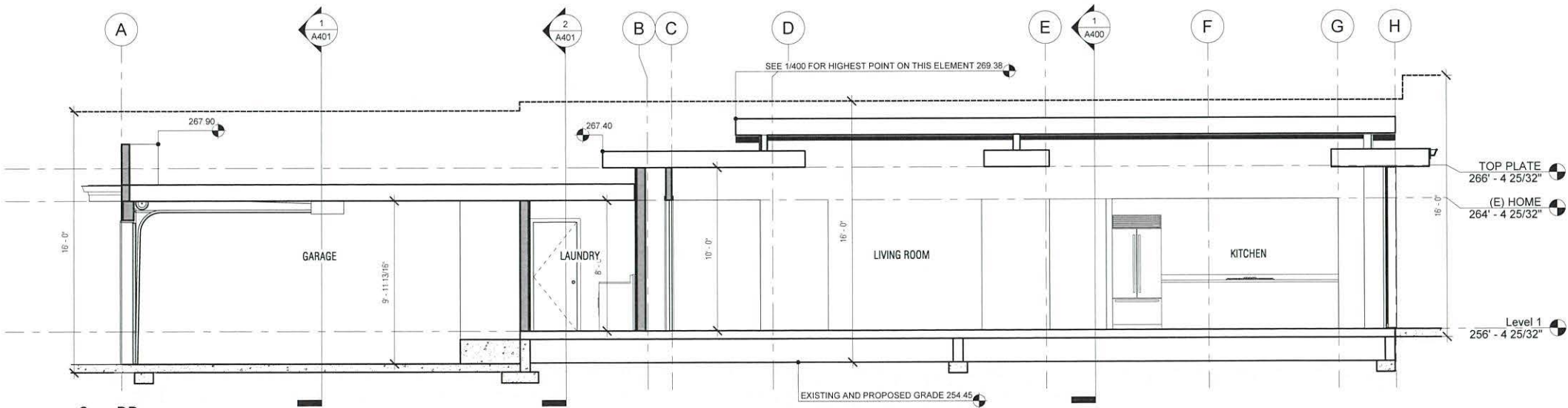


ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:



1 AA  
1/4" = 1'-0"



2 BB  
1/4" = 1'-0"

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 3   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

SHEET TITLE: SECTIONS

SHEET NO:

A400

SECTION GENERAL NOTES

- 1. FINISH FLOOR ELEVATIONS CALL-OUTS ARE SHOWN FROM TOP OF STRUCTURAL SLAB (TOS) OR SOP OF STRUCTURAL SHEATHING (TOSS)
- 2. SEE SHEET AXXX-AXXX FOR EXTERIOR ELEVATION AND EXTERIOR FINISH NOTES.

SECTION KEY NOTES

XX

PROJECT:

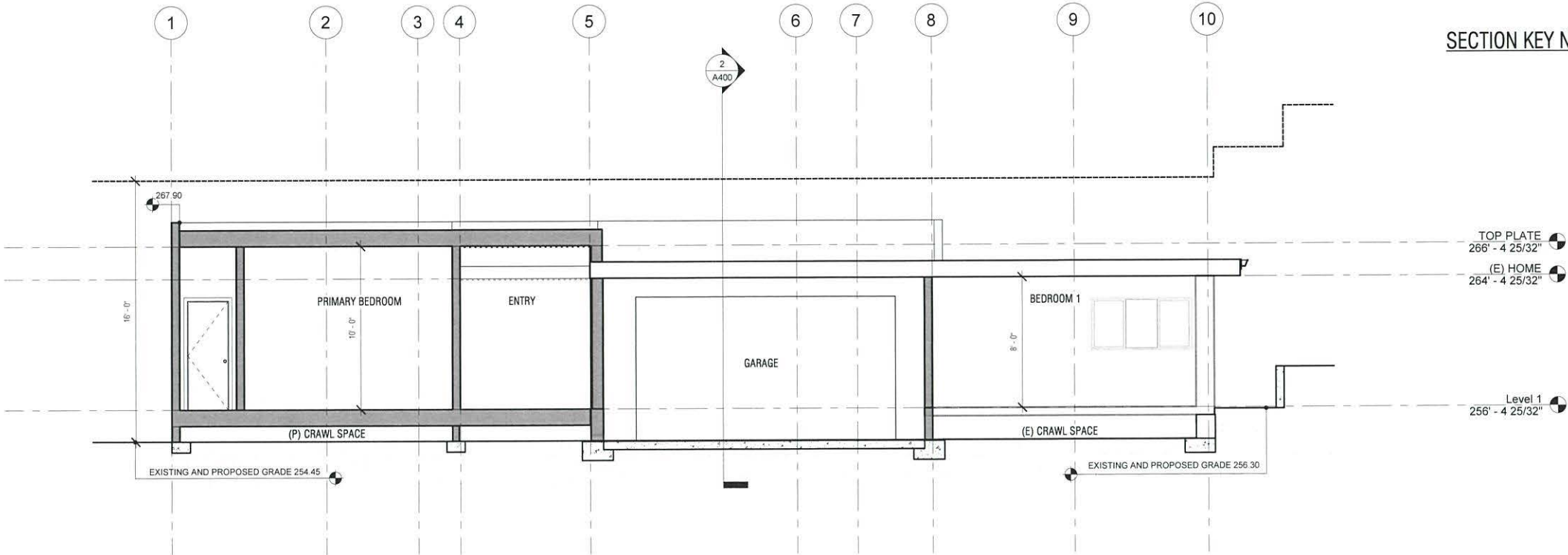
BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

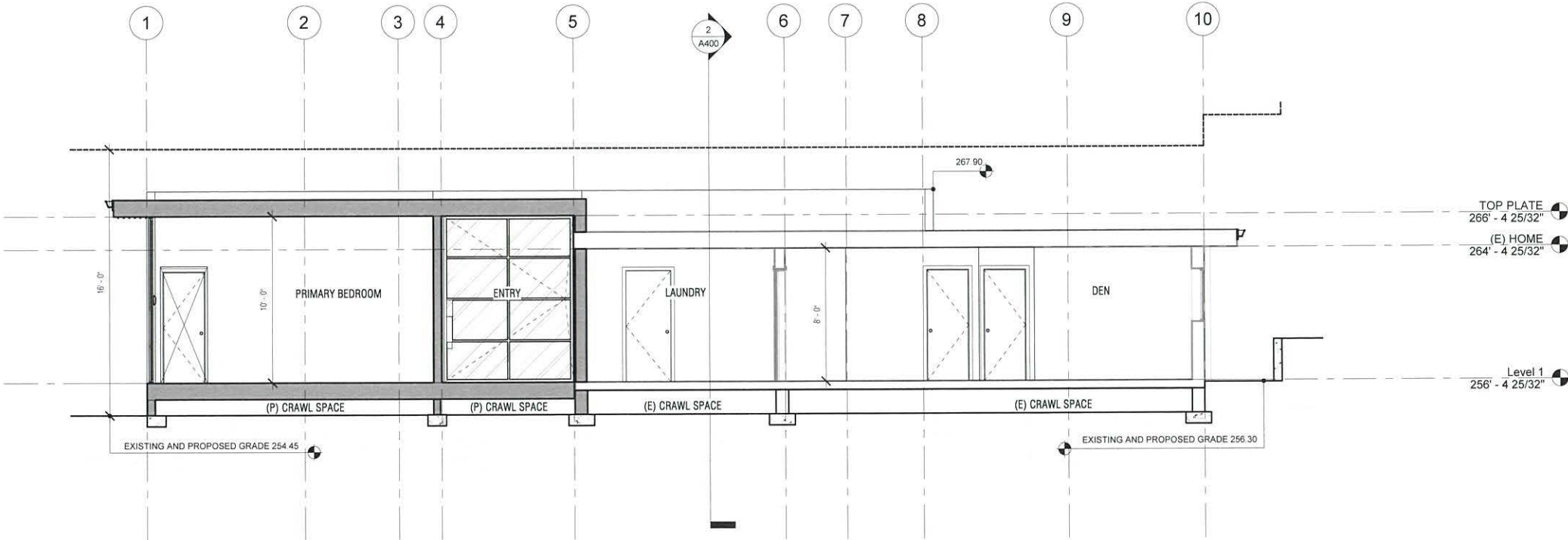


ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:



1 CC  
1/4" = 1'-0"



2 DD  
1/4" = 1'-0"

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 3   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

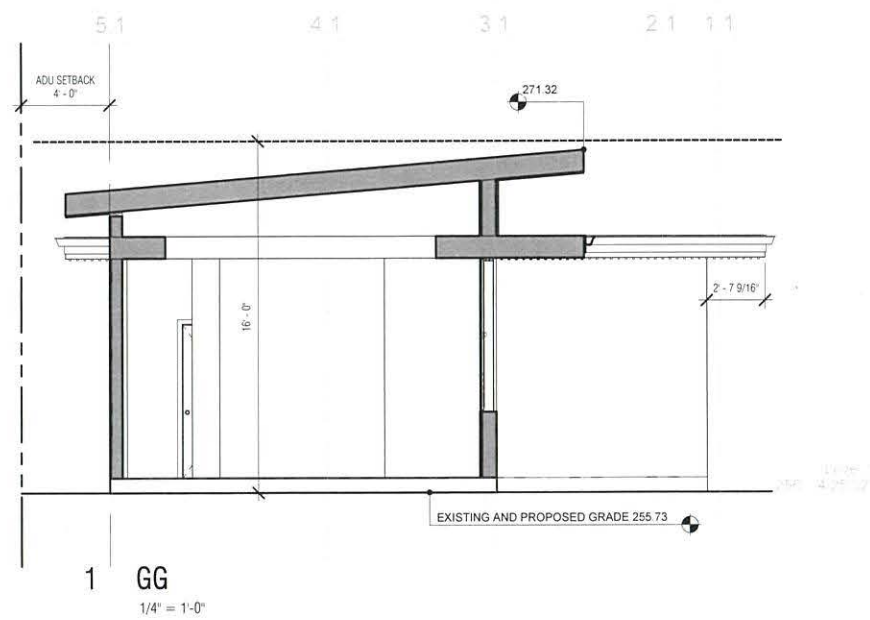
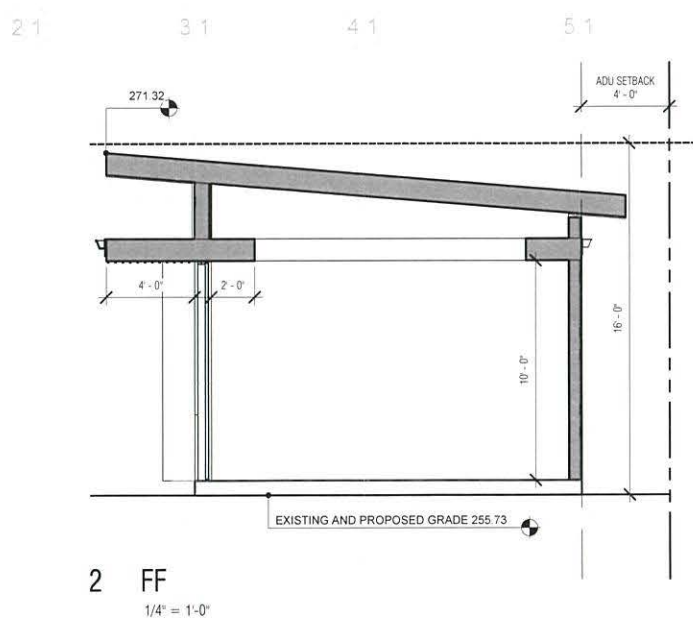
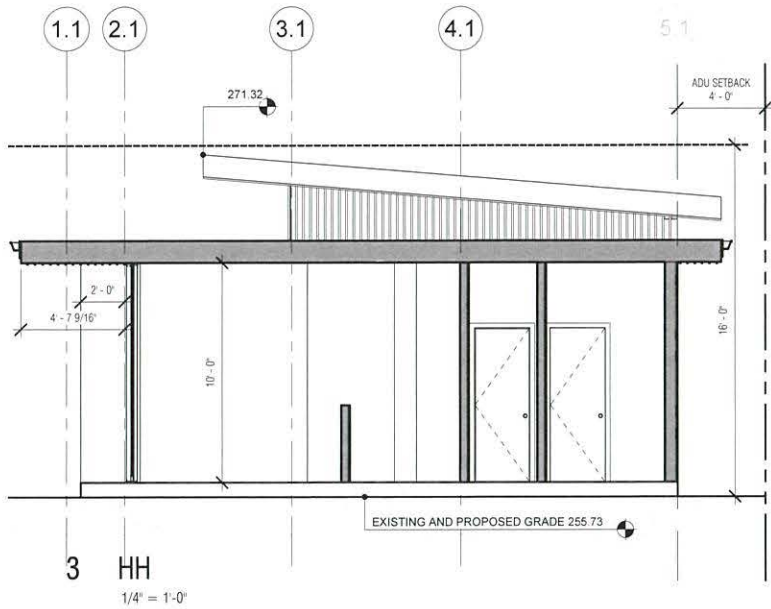
NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

SHEET TITLE: SECTIONS

SHEET NO: A401



PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

**T**architecture

ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

| NO: | REVISION:  | DATE:      |
|-----|------------|------------|
| 3   | Revision 3 | 08/13/2025 |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |
|     |            |            |

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

|               |                                |
|---------------|--------------------------------|
| PROJECT NAME: | BAKER RESIDENCE                |
| JOB NO:       | 2320                           |
| DRAWN BY:     | RV                             |
| CHECKED BY:   | AC                             |
| ISSUE DATE:   | 09/22/2025                     |
| DRAWING FILE: | DD_BAKER RESIDENCE - SUB 3.RVT |
| PHASE:        |                                |

DESIGN DEVELOPMENT

SHEET TITLE: SECTIONS

SHEET NO: A402



RENDER(S) AND/OR 3D VIEW(S) ARE FOR REPRESENTATION ONLY. FINAL MATERIALS, PAINT SELECTIONS, AND FINAL FINISHES ARE TO BE DETERMINED WITH TANGIBLE MATERIAL SAMPLES AND PAINT SWATCHES TESTED ON STRUCTURE PRIOR TO APPROVAL. FINAL SELECTION REQUIRES CLIENT APPROVAL.

PROJECT:

BAKER RESIDENCE  
453 CANYON DR., SOLANA BEACH, CA

ARCHITECT:

**T**architecture

ANDREW E. CROCKER, AIA  
646 VALLEY AVENUE, SUITE C2  
SOLANA BEACH, CA 92075  
T: 858.345.1295

CONSULTANT:

NO: REVISION: DATE:

THESE DRAWINGS, SPECIFICATIONS AND THE CONCEPTS EMBODIED IN THEM ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT, AND MAY NOT BE USED, DISCLOSED, OR DUPLICATED WITHOUT THE WRITTEN CONSENT WHETHER THE PROJECT FOR WHICH THEY WERE MADE IS EXECUTED OR NOT, UNLESS OTHERWISE AGREED BY CONTRACT.

STAMP:

NOT FOR CONSTRUCTION

PROJECT NAME: BAKER RESIDENCE

JOB NO: 2320

DRAWN BY: Author

CHECKED BY: AC

ISSUE DATE: 09/22/2025

DRAWING FILE: XX/XX/23

PHASE:

DESIGN DEVELOPMENT

SHEET TITLE: RENDERS

SHEET NO: A900

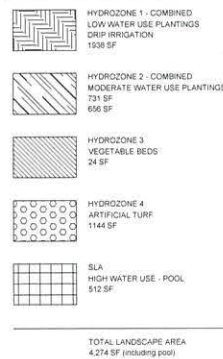
9/22/2025 10:00:13 AM

|            |                                           |      |           |
|------------|-------------------------------------------|------|-----------|
| 25.42      | [(ETAF x _____) + (1-ETAF x _____)] =     | MAWA | 58,453.29 |
| April 2024 | 25.42 [(55x3762) + (.45x512)] = 58,453.29 |      |           |



SCALE: 1/16" = 1' - 0"

## HYDROZONES



|                                      | Existing<br>(SF) | Proposed<br>Total (SF) |
|--------------------------------------|------------------|------------------------|
| Non-landscaped Area <sup>a</sup>     | 6,151            | 7,469                  |
| Non-irrigated Landscape <sup>b</sup> | 0                | 786                    |
| Irrigated Landscape                  | 2,442            | 2,618                  |
| Water Features <sup>c</sup>          | 0                | 512                    |
| Decorative Hardscape <sup>d</sup>    | 4,200            | 1,407                  |
| <b>Total Lot Area</b>                | <b>12,792</b>    | <b>12,792</b>          |

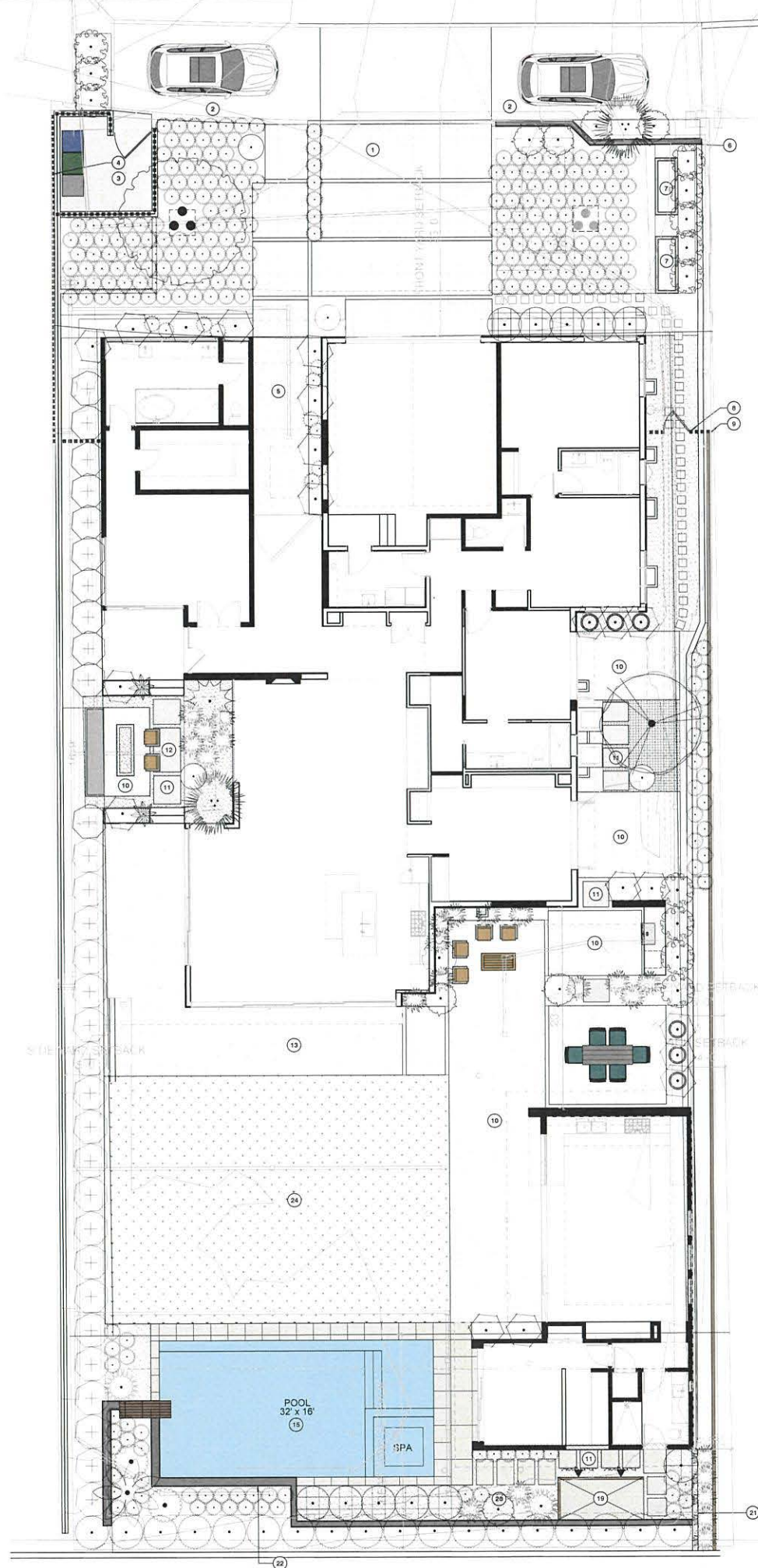
|                                             | Area of Work <sup>e</sup><br>(SF) |
|---------------------------------------------|-----------------------------------|
| Irrigated Landscape                         | 2,618                             |
| Water Features <sup>c</sup>                 | 512                               |
| Decorative Hardscape <sup>d</sup>           | 1,407                             |
| <b>Aggregate Landscape Area<sup>a</sup></b> | <b>4,537</b>                      |

### APPLICANTS STATEMENT OF COMPLIANCE

I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SOLANA BEACH WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER. UNDER PENALTY OF PERJURY, I AFFIRM THAT THE FOREGOING IS TRUE AND CORRECT.

SIGNATURE

Mark Southern



## REFERENCE NOTES SCHEDULE

| <u>CODE</u> | <u>DESCRIPTION</u>                                                                                                |
|-------------|-------------------------------------------------------------------------------------------------------------------|
| 1           | (P) PERMEABLE PAVER DRIVEWAY - OVER 6" THK CRUSHED ROCK BASE                                                      |
| 2           | CRUSHED ROCK/DECOMPOSED GRANITE PARKING PAD                                                                       |
| 3           | TRASH ENCLOSURE W/ WOOD SCREEN                                                                                    |
| 4           | CEDAR TIMBER 'POST FENCE' ATTACH TO (E) WALL                                                                      |
| 5           | ENTRY - TILE OVER REINFORCED CONCRETE BASE                                                                        |
| 6           | EDIT EXISTING WALL TO ACCOMMODATE NEW DRIVEWAY                                                                    |
| 7           | RAISED GARDEN BEDS - CONCEAL W/ ADJACENT PLANTINGS                                                                |
| 8           | (P) 'POST FENCE' & GATE - PER POOL CODE                                                                           |
| 9           | (P) PROPERTY LINE FENCE - PER POOL CODE                                                                           |
| 10          | (P) FLAGSTONE PATIO OVER REINFORCED CONCRETE BASE                                                                 |
| 11          | CONCRETE STEPPERS - EXPOSED AGGREGATE SAND FINISH                                                                 |
| 12          | FIRE PIT / LOUNGE                                                                                                 |
| 13          | (E) CONCRETE PATIO/WALK TO REMAIN                                                                                 |
| 15          | POOL W/ INTEGRATED SPA                                                                                            |
| 19          | POOL EQUIPMENT W/ WOOD SCREEN                                                                                     |
| 20          | CRUSHED ROCK - OVER PREPARED BASE                                                                                 |
| 21          | REMOVE (E) RETAINING WALL - RELOCATE NEW AND ALIGN W/ POOL/ADU<br>24-30" HT ABOVE FS - FINISH TO BE SMOOTH STUCCO |
| 22          | 18" HT. RAISED BOND BEAM - TILE FACE - COPING TO MATCH POOL                                                       |
| 24          | ARTIFICIAL TURF - TBS                                                                                             |

## PLANT SCHEDULE

| SYMBOL        | BOTANICAL / COMMON NAME                                                         | SIZE       | QTY      | WATER USE | MATURE HEIGHT     |               |
|---------------|---------------------------------------------------------------------------------|------------|----------|-----------|-------------------|---------------|
| TREES         |                                                                                 |            |          |           |                   |               |
|               | Acer palmatum 'Sango-kaku'<br>Coral Bark Japanese Maple                         | 24" Box    | 1        | Medium    | 20 - 25 - ft. ht. |               |
|               | Dracaena marginata<br>Dracaena                                                  | Existing   | 2        | Very Low  | 10 - 20 ft. ht.   |               |
|               | Olea europaea 'Wilsoni'<br>Wilson Olive                                         | Existing   | 1        | Low       | 25 - 40ft. ht.    |               |
|               | Olea europaea 'Wilsoni'<br>Wilson Olive                                         | 36"        | 1        | Low       | 25 - 40ft. ht.    |               |
| SHRUBS        |                                                                                 |            |          |           |                   |               |
|               | Acacia cognata 'ACCOG01'<br>Cousin Itt Little River Wattle                      | Existing   | 10       | Low       | 18 - 36in. ht.    |               |
|               | Aloe rubroviolacea<br>Arabian Aloe                                              | 5 gal      | 2        | Low       | 24 - 36in. ht.    |               |
|               | Aloe x 'Hercules'<br>Hercules Aloe                                              | TRANSPLANT | 1        | Low       | 15 - 25ft. ht.    |               |
|               | Buxus microphylla japonica 'Winter Gem'<br>Winter Gem Japanese Boxwood          | 15 gal     | 4        | Medium    | 18 in - 6ft. ht.  |               |
|               | Carer divisa<br>European Grey Sedge                                             | 1 gal      | 265      | Low       | 6 - 18in. ht.     |               |
|               | Euphorbia ammak 'Variegata'<br>Variegated Candelabra Spurge                     | Existing   | 1        | Low       | 20 - 30 ft. ht.   |               |
|               | Festuca mairei<br>Atlas Fescue                                                  | 1 gal      | 24       | Low       | 18 - 36in. ht.    |               |
|               | Ficus nida<br>Weeping Fig                                                       | 15 gal     | 18       | Medium    | 25 - 30 - ft. ht. |               |
|               | Ficus pumila<br>Creeping Fig                                                    | 5 gal      | 2        | Low       | 10 - 15ft. ht.    |               |
|               | Lomandra longifolia 'Arctic Frost'<br>Arctic Frost Rush                         | 1 gal      | 31       | Low       | 18 - 36in. ht.    |               |
|               | Opuntia ficus-indica 'Burbank Spineless'<br>Burbank Spineless Indian Fig Cactus | 15 gal     | 1        | Very Low  | 10 - 18ft. ht.    |               |
|               | Philodendron x 'Xanadu'<br>Xanadu Philodendron                                  | 5 gal      | 20       | Medium    | 18 - 36in. ht.    |               |
|               | Phlebodium aureum<br>Rabbit's Foot Fern                                         | 5 gal      | 10       | Medium    | 24 - 30in. ht.    |               |
|               | Podocarpus gracilior<br>Fern Pine                                               | Existing   | 8        | Medium    | 25 - 40ft. ht.    |               |
|               | Podocarpus gracilior 'Column'<br>Fern Pine                                      | 15 gal     | 4        | Medium    | 25 - 40ft. ht.    |               |
|               | Salvia apiana<br>White Sage                                                     | 1 gal      | 1        | Very Low  | 3 - 6ft. ht.      |               |
|               | Salvia leucantha 'Santa Barbara'<br>Santa Barbara Mexican Bush Sage             | 1 gal      | 2        | Low       | 18 - 36in. ht.    |               |
|               | Salvia x 'Pozo Blue'<br>Pozo Blue Sage                                          | 1 gal      | 7        | Low       | 3 - 6ft. ht.      |               |
|               | Westringia fruticosa 'NFL25'<br>Mundi™ Coast Rosemary                           | 1 gal      | 2        | Low       | 18 - 36in. ht.    |               |
| SYMBOL        | BOTANICAL / COMMON NAME                                                         | SIZE       | SPACING  | QTY       | WATER USE         | MATURE HEIGHT |
| GROUND COVERS |                                                                                 |            |          |           |                   |               |
|               | Ophiopogon japonicus<br>Monks' Cloth                                            | 1 gal      | 12" o.c. | 65        | Medium            | 6 - 18in. ht. |



**TORREY PINES**  
LANDSCAPE COMPANY

5560 EASTGATE MALL | SAN DIEGO, CA 92121 | 858.454.1433  
TPTLANDSCAPE.COM | STATE LICENSE # 437912 | EST 1983



**CONCEPTUAL PLAN**  
(NOT FOR CONSTRUCTION)

## BAKER RESIDENCE

453 Canyon Drive  
Solana Beach, CA 92075  
APN #:263 19 40 100



Drawn by: MS  
 Checked by: \_\_\_\_\_  
 Date: 06/02/2025  
 Scale: 1/8" = 1' - 0"

| Revisions |             |
|-----------|-------------|
| Date      | Description |
|           |             |
|           |             |
|           |             |
|           |             |
|           |             |
|           |             |

Sheet

# L-1.0



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** City Manager's Department  
**SUBJECT:** **Fire, Marine Safety and Sheriffs Office End of Year Presentations**

---

## **BACKGROUND:**

Each year the City's public safety related departments provide Council with an update on the respective department's activities. Staff from the respective departments are also available to answer any questions.

This item is before the City Council to provide an update on each of our public safety related departments – Fire, Marine Safety and Sheriff.

## **DISCUSSION:**

Below is an overview of each department's presentation.

### **Fire Department**

The Solana Beach Fire Department 2025 Year-to-Date Report (January–October) presentation will provide a comprehensive overview of emergency response activity, operational performance, and interagency aid trends for the department.

Overall, the data shows that medical emergencies dominate service demand, accounting for roughly two-thirds of all incidents (65–66%), followed by vehicle collisions (8–10%), alarms (~8%), and fires (~8%). The year-to-date total reached 2,252 incidents. The department continues to maintain strong mutual-aid relationships, providing significant support to Encinitas and Del Mar while also receiving assistance from Rancho Santa Fe and regional partners. Solana Beach units were dispatched to nearly 1,400 incidents outside city limits in 2025, showing a substantial regional role.

COUNCIL ACTION:

---

---

Operationally, response performance remains consistent with an average turnout time of about 1 minute 10 seconds, travel times averaging 4½ to 5 minutes, and 70% of Code 3 responses within 8 minutes. Call processing was efficient, with over 90% of calls dispatched within 90 seconds in October and nearly 87% year-to-date.

In summary, the data highlights a stable operational tempo, strong interagency collaboration, and continued service reliability—though the high volume of medical calls and regional commitments underscore ongoing system demands and the importance of sustained staffing and resource coordination.

### Marine Safety

The Marine Safety presentation will provide an overview of the department's safety activities, Junior Lifeguard Program, and community outreach.

Marine Safety operates 365 days of the year with staff comprised of seven full-time lifeguards supplemented by fifty to sixty seasonal employees. Attendance levels continued to grow as indicated by an increase in calls for service for rescues, medical aids, code compliance etc.

The Solana Beach Junior Lifeguard Program remained one of the biggest programs in the county with over 1,200 participants ranging from ages seven to fifteen along with paid intern assistants for participants sixteen to eighteen years old. The program has also become a proven recruitment tool for seasonal staffing.

Marine Safety's community outreach has expanded with participation at several job fairs, safety presentations at local schools and teaching sidewalk CPR. The department has continued to be an active member in regional training and meetings to ensure the highest levels of service to the community. Over the last year, Marine Safety has hosted and assumed responsibility for one of the three San Diego Regional Lifeguard Academies, has continued to have instructor and student level participation in the regional lifeguard vehicle operations and rescue watercraft courses. The department has supplemented regional training with continued collaboration in swift water rescue and SCUBA operations with neighboring departments in addition to intradepartmental first aid training.

### Sheriff

The Sheriff's Department will present its quarterly report to the City Council, providing a comprehensive overview of public safety activity within the City of Solana Beach. The presentation will include statistical data highlighting crime trends and offenses reported within city limits over the past quarter. In addition, the presentation will cover traffic and roadway safety, including data on collisions and arrests related to driving under the influence. The Sheriff's Office will also discuss current crime trends and outline the strategic priorities that will guide operations at the North Coastal Station in the coming months. This presentation is intended to inform the Council and community about ongoing law enforcement efforts and emerging public safety concerns in Solana Beach.

**CEQA COMPLIANCE STATEMENT:**

This item is informational, and is not a project under CEQA.

**FISCAL IMPACT:**

There is no fiscal impact of this report.

**WORK PLAN:**

This item is included in the 2025/26 Work Plan under IV. Youth, Senior, and Community Well-being, 8. Healthy and Livable Communities, FY2025/26 Action C. "Continue to work with our Public Safety Departments to ensure a safe and welcoming community. This includes fire safety, law enforcement participation and Marine Safety involvement to ensure residents and visitors feel safe, businesses have access to resources and feel secure, and residents have tools to ensure the protection of their property."

**OPTIONS:**

- Receive report.
- Provide direction to Staff.

**CITY STAFF RECOMMENDATION:**

City Council receive presentation and file this report.



---

Alyssa Muto, City Manager



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Alyssa Muto, City Manager  
**MEETING DATE:** November 19, 2025  
**ORIGINATING DEPT:** City Manager's Department – Dion Akers, Government Affairs Manager  
**SUBJECT:** **State Legislative Update**

---

### **BACKGROUND:**

Since 2019, the City of Solana Beach has retained Emanuels Jones and Associates (EJA) to provide State legislative advocacy, reporting and tracking related to bills and regulations with potentially significant impacts on the City and its operations. As part of their consultant services, EJA provides regular reports to the City on priority issues and bill development, engages in conference calls with city staff to provide timely updates on current and proposed legislation affecting the City, and assists in developing strategies to successfully implement the City's legislative and budgetary priorities, as identified in the Council-approved Legislative Policy and Work Plan.

With the close of the state legislative session on September 13, 2025, EJA will provide an update that will focus on a review of the 2025 legislative cycle, legislative issues, legislative implementation, advocacy efforts and a preview of what to expect with the state's 2026 legislative session.

### **DISCUSSION:**

In recent years, the City of Solana Beach has sought to update and clarify the process by which the City establishes legislative priorities, state budgetary strategies and advocacy efforts. This process was used in 2025 to adopt the City's council-approved Legislative Policy. This policy conveys the Council's direction on policy, projects, and budget issues to legislators, policymakers, and the public. The 2025–2026 Legislative Policy was adopted on March 26, 2025 and outlines the five key areas of focus aimed at enhancing public safety, supporting sustainable community growth, promoting resident well-being, and ensuring efficient, accountable governance. The city has used the Council-approved Legislative Policy to guide the advocacy efforts and work of EJA in the 2025 state legislative cycle.

COUNCIL ACTION:

---

---

In addition to advocating for priorities established in the City's Legislative Policy, the city also works directly with our state assembly and senate representatives to recommend and partner on new legislation proposals that may further support the policy.

It is the intent of the City to continue to refine and improve the process by which the Legislative Policy is updated annually, and to further integrate the development of priorities and strategies for implantation of the Legislative Policy with the development of the City's Work Plan and budget each year. Reviewing the successes, impacts, and potential improvements in advocacy from the previous legislative session is a critical step in improving the City's Legislative Policy process and serves as the first opportunity to discuss potential priorities for the coming year's legislative session.

Today, representatives from the City's state legislative consulting firm will provide an update that will focus on the 2025 legislative cycle, legislative issues, legislative implementation, and a preview of what to expect with the state's 2026 legislative session.

**CEQA COMPLIANCE STATEMENT:**

This discussion is not a project under California Environmental Quality Act (CEQA) pursuant.

**FISCAL IMPACT:**

None.

**WORK PLAN:**

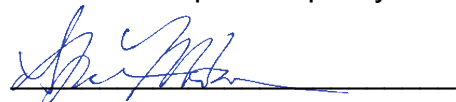
The project is included in the 2025/26 Work Plan under General Governance and Fiscal Responsibility, Legislative Platform and Lobbying, B. "Continue to work with lobbyists to promote City agenda and priorities."

**OPTIONS:**

- Receive report.
- Provide direction to Staff.

**CITY STAFF RECOMMENDATION:**

Discuss and provide policy direction to Staff.



Alyssa Muto, City Manager