

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MODIFIED AGENDA

Joint REGULAR Meeting
Wednesday, February 28, 2024 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).



PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual

who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u>CITY COUNCILMEMBERS</u>		
Lesa Heebner Mayor		
Jewel Edson Deputy Mayor / Councilmember District 3		Kristi Becker Councilmember District 2
Jill MacDonald Councilmember District 4		David A. Zito Councilmember District 1

Dan King
Interim City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

None at the posting of this agenda

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes.

Recommendation: That the City Council

1. Approved the City Council Meetings' Minutes of January 24, 2024.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for January 27, 2024 – February 09, 2024.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Deferred Compensation Retirement Account for Active Employees with the California Public Employees Retirement System (CalPERS). (File 0520-50)

Recommendation: That the City Council

1. Adopt of **Resolution 2024-019** authorizing the establishment of an additional 457 Deferred Compensation Plan by approving the Adoption Agreement between the City and the California Public Employees Retirement System (CalPERS).

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 512 Via de La Valle #102, Applicant: Brandon Rogers, Ranch 45, Case: CUP23-002, APN: 298-560-03. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a CUP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-011** conditionally approving a CUP to allow the sale of alcoholic beverages for off-site consumption at 512 Via de La Valle #102, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.2. Public Hearing: 504 S. Nardo, Applicant: Ocean Ranch Estates, Case DRP22-025; APN: 298-121-26. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-002** conditionally approving the construction of new single-story single-family residence, with an attached garage, and perform associated site improvements at 504 South Nardo Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.3. Public Hearing: 411 N. Acacia, Applicant: Lenihan, Case DRP22-019, SDP22-017, APN: 263-052-07 (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-018** conditionally approving a DRP and SDP to construct a new 2,840 square foot, single-family residence with a subterranean basement and a detached garage and perform associated site improvements at 411 N. Acacia.

[Item B.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. – C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. 1005 Highland, Applicant: Novak, DRP21-016, Landscape Plan, APN: 298-391-04.
(File 0600-40)

Recommendation: That the City Council

The proposed landscape plan has been reviewed by the City's landscape architect, who has determined that the plans meet the minimum objective requirements of SBMC. Therefore, Staff recommends that the City Council:

1. Adopt **Resolution 2024-022** approving the proposed landscape plan for DRP21-016.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. This item was removed from the agenda.

C.3. Citizen Commission Appointments to 1) Public Arts Commission and 2) Parks and Recreation Commission. (File 0120-06) – added 02/22/24

1. Appoint one (1) member to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for a two-year or one-year term.
2. Appoint one (1) member to the **Public Arts** Commission nominated/appointed by *Council-at-large* for a two-year term.

[Item C.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 28, 2023

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald

- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Edson
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is March 13, 2024

Always refer to the City's website Event Calendar for an updated schedule or contact City Hall. www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA
 COUNTY OF SAN DIEGO
 CITY OF SOLANA BEACH } §

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the February 28, 2024 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on February 21, 2024 at 2:45 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., February 28, 2024, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
 City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**

CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MINUTES

Joint Meeting - Closed Session

Wednesday, January 24, 2024 5:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

CITY COUNCILMEMBERS

Lesa Heebner

Mayor

Jewel Edson

Deputy Mayor / Councilmember District 3

Jill MacDonald

Councilmember District 4

Kristi Becker

Councilmember District 2

David A. Zito

Councilmember District 1

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito
Absent: None
Also Present: Greg Wade, City Manager
Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session.

CLOSED SESSION:

1. CONFERENCE WITH REAL PROPERTY NEGOTIATOR

Pursuant to Government Code section 54956.8

Property: APN 298-010-63-00 (Distillery Lot)

City Negotiators: City Manager Greg Wade and City Attorney Johanna Canlas

Negotiating Parties: Marc R. Brutton

Under negotiation: Lease Price and Terms

2. CONFERENCE WITH REAL PROPERTY NEGOTIATORS

Pursuant to Government Code section 54956.8

Property: APN is 263-160-17

City Negotiators: City Manager Greg Wade and City Attorney Johanna Canlas

Negotiating Parties: Al Lau, General Manager

Under negotiation: Lease Price and Terms

3. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION

Pursuant to Government Code Section 54956.9(d)(4)

Two (2) cases

4. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9 (d)(2), (e)(3)

One (1) case

ACTION: No reportable action.

ADJOURN:

Mayor Heebner adjourned the meeting at 6:15 p.m.

Angela Ivey, City Clerk

Approved:

CITY OF SOLANA BEACH
**SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY**



MINUTES

Joint REGULAR Meeting
Wednesday, January 24, 2024 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
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CITY COUNCILMEMBERS

Lesa Heebner
Mayor

Jewel Edson
Deputy Mayor / Councilmember District 3

Kristi Becker
Councilmember District 2

Jill MacDonald
Councilmember District 4

David A. Zito
Councilmember District 1

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:20 p.m.

Present: Lesa Heebner, Jewel Edson, Kristi Becker, Jill MacDonald, David A. Zito

Absent: None

Also: Greg Wade, City Manager

Present: Johanna Canlas, City Attorney
Angela Ivey, City Clerk
Dan King, Assistant City Manager
Mo Sammak, City Engineer/Public Works Dir.
Rachel Jacobs, Finance Dir.
Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

PRESENTATIONS/ PROCLAMATIONS/CERTIFICATES:

Ceremonial items that do not contain in-depth discussion and no action/direction.

- Farewell and Thank You to City Manager Gregory Wade

Mayor Heebner read a proclamation from the City of Solana Beach.

City Council made comments acknowledging Greg Wade and presented a gift to Belly Up.

Greg thanked current and past City Councils, Staff, the community, family and friends.

Mo Sammak, Dir. Engineering/Public Wks, presented Greg with a City street sign in his name from Staff.

Shannon Bradley, Mike Levin's office, presented a proclamation.

Matt Rubel, State Senator Catherine Blakespear's office, and Ross Tritt, Tasha Boerner's office, presented a proclamation.

Cipriana Vargas, Supervisor Terra Lawson-Remer's office, presented a proclamation.

Peter Zahn spoke about his time working with Greg on Council and his accomplishments.

Pete Cohen spoke about Greg's history and contributions.

Mayor Heebner recessed the meeting at 6:56 p.m. for a break and reconvened at 7:00 p.m.

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Becker and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Wallace Cook asked the City Council to front the money for underground utilities and would like to get his underground district completed.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar

is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes.

Recommendation: That the City Council

1. Approved the City Council Meeting's Minutes of November 29, 2023.

Approved Minutes <https://www.cityofsolanabeach.org/en/government/public-meetings/agendas-minutes-videos>

Motion: Moved by Deputy Mayor Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for December 16, 2023 – January 05, 2024.

[Item A.2. Report \(click here\)](#)

Motion: Moved by Deputy Mayor Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.3. General Fund Adopted Budget for Fiscal Year 2023/2024 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2023-2024 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Motion: Moved by Deputy Mayor Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

A.4. Ocean Ranch Estates Final Subdivision Map. (File 0600-40)

Recommendation: That the City Council

1. **Resolution 2024-009:**
 - a. Approving the Ocean Ranch Estates final map.
 - b. Authorizing the City Engineer, City Attorney, City Treasurer and City Clerk to sign the final map.
 - c. Authorize the recordation of the final map.

[Item A.4. Report \(click here\)](#)

Motion: Moved by Deputy Mayor Edson and second by Councilmember Zito to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 1435 Highland Dr., Applicant: Karen and Steven Gray, Case: DRP23-009, SDP23-011. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2024-003** conditionally approving a DRP and SDP for construction of 1,416 square-foot second-floor addition to an existing one-story, single-family residence with an attached garage at 1435 Highland Dr., Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

John Delmer, Assistant Planner, presented a PowerPoint (on file).

Mayor Heebner opened the public hearing.

Council disclosures.

Andrew Crocker, Applicant's Representative, T7 Architecture, and Karen Gray, Applicant, thanked Council and Staff and stated that they had no presentation.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Edson to close the public hearing. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Motion: Moved by Councilmember Zito and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.1. – C.5.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Revised Design for the Marine Safety Center, Review of Photo Simulations, and PSA Design Amendment of the Project. (File 0730-30)

Recommendation: That the City Council

1. Receive this report and provide input and direction on the revised Marine Safety Center design and potential view impacts to the public and surrounding residents.
2. Consider adoption of **Resolution 2024-014** authorizing the City Manager to execute an amendment to the Professional Services Agreement with Domusstudio Architecture to complete environmental studies, obtain discretionary permits and complete the final design package.

[Item C.1. Report \(click here\)](#)

[Item C.1. Updated Report #1 \(added 1-22-24\)](#)

[Item C.1. Supplemental Docs \(updated 1-24-24 at 5:15pm\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, presented a PowerPoint (on file).

Maureen Finklestein spoke about her objection to any obstruction to her view of the water.

Ron Kassan (time donated by Dana Kassan) stated that he appreciated the new updates, his support for rebuilding the station, questioned whether all of the space was necessary, potential offsite storage, he submitted an alternative plan that lowered the tower, that the newly proposed tower was still too high, the LUP stating that the height of structure shall not block neighborhood views, and that if the tower could be lowered it would reach their objective.

Vip Patel stated that the purpose of the Marine Safety Center focused on saving lives, the devastation of the bluff erosions, concerns about disrupting the bluffs, that he was willing to donate cameras or drone delivered flotation devices, and whether it needed to be a 2-story building.

Mac and Astrid Vaccaro said they live just above this project, that they appreciated the work so far, that it feels like the structure was very close, that the building tucks into their front yard, to consider a more natural rooftop so it does not reflect the sun as a beam of light up to those behind it, questions about the lowest point of the large roof structure over the parking garage, concerns about digging into the bluff, story poles, and that they appreciated all the efforts in taking the public comments seriously.

Council and Staff discussed that the structure in the hillside would project up but not above the slope, which continues to rise behind the structure, so the building would never exceed the bluff.

Jon Dominy, Domusstudio, stated that they have welcomed the various reiterations, that they have moved the structure back farther than it ideally should be and that alternative shading options would need to be considered, that they had Captain Shook raised up on a scissor lift to assess the views from various heights to find the minimal point for functional observation, that the bluff issues on the west side would not be touched as part of this project, that they had pulled back the front door and made way for more public space, that the space for the meeting rooms, bathrooms, and the office was reduced slightly, that there was 500 ft. under the tower where there is public entry and first aid, and the observation tower was 133 sq. ft..

Council and Captain Shook discussed the number of Staff using the space which changes throughout the year with seasonal, weekend, weekday, staffing as well as programs such as the Jr. Guard Staff, and that the benefits of the sand replenishment project increase the number of visitors.

Council discussed that they are faced with many objectives including some that compete, such as public v. private views, impacts on the well-used park space, that the goal was to meet the operational needs for many years, honoring the Coastal Commission obligations, approval by Coastal Commission, authorizing enough of the design to move forward with story poles, happy that this project has moved along and improved, story poles will tell us more, the view assessment process being handled by Council, and how this project affects so many facets of the community.

Council stated that the view ordinance does not allow a right to an unobstructed view, but it does provide for a process to address all feasible solutions to find the best balance with the needs of those impacted with the goal of the project.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Edson to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

Mayor Heebner recessed the meeting at 8:29 p.m. for a break and reconvened at 8:34 p.m.

C.2. 2024 Annual Citizen Commissions Appointments. (File 0120-06)

Recommendation: That the City Council

1. Appoint two (2) members to the **Budget and Finance** Commission nominated/appointed by individual members (Councilmember Becker and Councilmember MacDonald) for two-year terms.

Motion: Moved by Councilmember Becker and second by Councilmember MacDonald to appoint Scott Hermes (Becker) and Larry Marmon (MacDonald). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

2. Appoint four (4) members to the **Climate Action** Commission nominated/appointed by *Council-at-large* for the following positions:
 - a. Three (3) *Resident* appointments for two-year terms. Or consider appointing two residents and reinstate a Councilmember to fill the residents and the Councilmember positions.
 - b. One (1) *Professional* appointment for a member of the environmental and/or scientific community (*resident or non-resident*) for a two-year term.

Motion: Moved by Councilmember Zito and second by Councilmember Becker to appoint resident positions to Heidi Dewar and Lane Sharman. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

3. Appoint three (3) members to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for two-year terms.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Edson to appoint Shane Noroozi and Michael Budelsky. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

4. Appoint three (3) members to the **Public Arts** Commission nominated/appointed by *Council-at-large* for two-year terms.

Motion: Moved by Deputy Mayor Edson and second by Mayor Heebner to appoint Sharon Klein, Shawn Hethcock, Mark Mennie. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

5. Appoint four (4) members to the **View Assessment** Commission: two (2) positions for two-year terms by individual members (Councilmember MacDonald and Councilmember Zito) and two (2) positions for two-year terms nominated/appointed by *Council-at-large*.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Edson to appoint Frank Stribling (Council), Pat Coad (Council), Bob Zajac (MacDonald), Linda Najjar (Zito). **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.3. Funding for AT&T Design and District Boundary Map for the Pacific Avenue – Phase II UUD and Providing Updates and Options for Council’s Consideration for the Glenmont/Mar Vista/Marview UUD and the Nardo/Granados/Rios UUD. (File 1010-90)

Recommendation: That the City Council

1. Adopt **Resolution 2024-005:**

- a. Authorizing payment of \$45,360 from the CIP Fund - Engineering Design Account 4596510.66600 to AT&T for design work for the Pacific Avenue – Phase II Utility Underground District.
- b. Approving the District Boundary Map for the Pacific Avenue – Phase II UUD subject to final voting approval from the District property owners as outlined in the “Steps to Forming a Private Residential Utility Underground District” brochure.
- c. Authorizing the City Treasurer to amend the FY 2023/24 & 2024/25 Adopted Budget accordingly.

~~2. Adopt **Resolution 2024-006**:~~

~~3. Adopt **Resolution 2024-007**:~~

4. Adopt **Resolution 2024-012**:

- a. Authorizing the City Manager to execute an amendment to the Professional Services Agreement with NV5, Inc. for assessment engineering services in the amount of \$40,000 for the Glenmont/Mar Vista/Marview Utility Underground District and \$48,000 for the Nardo/Granados/Rios Utility Underground District to be charged to CIP Fund - Engineering Design Account 4596510.66600.
- b. Authorizing the City Treasurer to amend the FY 2023/24 & 2024/25 Adopted Budget accordingly.

[Item C.3. Report \(click here\)](#)

[Item C.3. Supplemental Docs \(updated 1-22-24\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Councilmember Becker recused herself due to her property proximity within one of the districts.

Greg Wade, City Manager, presented the item.

Joe Gabaldon, SDG&E Sr. Public Affairs Manager for the coastal communities, said that Rule 20 has funded many undergrounding projects over six decades, that the Public Utilities Commission (PUC) embarked on another overhaul of the tariff, despite issues and concerns that were raised by SDG&E, the League of Cities, City of San Diego, County of San Diego, and various cities across the state, where the commission voted to significantly modify the tariff. He said that these recent decisions had impacted municipalities, that the PUC is the overseer of Rule 20A and SDG&E must comply with those requirements, that they had initially interpreted the new tariff as preventing the use of 20A credits or funds for the design of Glenmont, Nardo, and Granados/Rios, and that their legal and regulatory teams were re-reviewing their analysis of the modified tariff to see if 20A funds could be used for these projects and hoped to deliver their response shortly. He stated that design costs had not been completed for the Glenmont district redesign but they hoped to send it soon. He said that the number one issue remaining was the status of the easements and that they had worked with City Staff to send correspondence, personal calls and visits to connect with the participants.

Council, Staff, and Mr. Gabaldon discussed that a redesign would assume that an initial design had taken place when design fees were initially used from 20A, that the utilities provide allocation in terms of credits, the credits are equal to dollars but the credits do not hit the rate

base until after the project is complete, that no funds had been received for this project since the project was not complete but would be reimbursed once it was completed, not including any 20A funds that were expended previously for the current designs since they would be rolled into the rate base after the completion of the project, funds rolled into the general rate base are paid for by every rate payer, and that any changes to the Glenmont District, adding or subtracting properties, cause the need for a redesign.

Council, Staff, and Mr. Gabaldon discussed the allocation process for 20A funds that is determined by some formula to populations for 20A projects, which has accumulated to 1.4 million allocated to our City, that this project is a 20B project and then after completion can be reimbursed by 20A funds, the tariff being a territory wide tariff, that credits cannot be used for redesign, which was caused by removal of some properties, and that is the estimated cost provided for this redesign.

Council and Mr. Gabaldon discussed seeking determinations from SDG&E whether these very old projects could be grandfathered in prior to this new tariff modification, whether a new project at this time could use 20A funds, and whether it is fair to call this a redesign when the easement or equipment requirements are unknown and may cause the need for modifications.

Council and Staff discussed that the projects have been going for so long, that the City had concerns spending taxpayer dollars that are not guaranteed in case the district does not form, that the benefit would be limited to participating residents, but are entirely beneficial to SDG&E by undergrounding utilities. They discussed that the rules keep changing over time making it difficult to accomplish completion while properties may have turned over ownership.

Council and Staff discussed that the assessment engineer was allocating a benefit cost to each property looking at the frontage and the aesthetic benefit to assess the cost benefit, and that a cost benefit and design is needed to determine a cost estimate.

Council discussed that they should wait on paying SDG&E, only passing Resolution 2024-005 for Pacific Avenue and Resolution 2024-012 for the assessment engineering for the Glenmont/Mar Vista/Marview and the Nardo/Granados/Rios projects, and work with SDG&E for more clarity on design cost estimates.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Edson to adopt Resolutions 2024-005 and 2224-012. **Approved 4/0/1.** Ayes: Heebner, Edson, MacDonald, Zito. Noes: None. Absent: Becker (recused). Motion carried.

C.4. Interim City Manager Appointment. (File 0560-25)

Recommendation: That the City Council

1. Adopt **Resolution 2024-016** appointing Daniel King as the Interim City Manager and authorizing the Mayor to execute an employment agreement with Mr. King with an annual salary of \$250,000, monthly automobile allowance of \$450.00, deferred compensation contribution of \$884.62 per pay period in addition to the employee benefit programs and plans for which the Executive Management Group is eligible,

adopt the corresponding salary schedule and authorize the Mayor to execute the Interim City Manager Agreement.

[Item C.4. Report \(click here\)](#)

Johanna Canlas, City Attorney, read the resolution title reporting out the salary and benefits.

Motion: Moved by Councilmember Zito and second by Deputy Mayor Edson to approve. **Approved 5/0.** Ayes: Heebner, Edson, Becker, MacDonald, Zito. Noes: None. Motion carried unanimously.

C.5. Army Corps Beach Sand Project Presentation.

No recommendation or report.

Greg Wade, City Manager, presented a PowerPoint (on file).

Mayor Heebner reported more details about the status and phases.

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

Deputy Mayor Edson reported her reimbursement from North County Transit District.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 9:48 p.m.

Angela Ivey, City Clerk

Approved: _____



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands: 01/27/2024 through 02/09/2024

Check Register - Disbursement Fund (Attachment 1)		\$ 1,181,428.09
Net Payroll Retiree Health	February 9, 2024	3,276.00
Net Payroll Council	February 8, 2024	6,830.99
Net Payroll Staff O16	February 2, 2024	298,769.72
TOTAL		\$ <u>1,490,304.80</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for January 27, 2024 through February 9, 2024 reflects total expenditures of \$1,490,304.80 from various City sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read "Daniel King". The signature is fluid and cursive, with a large initial "D" and "K".

Daniel King, Interim City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

1/27/2024 - 2/9/2024

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant O16	02/01/2024	9001265	\$24,846.74
MISSION SQUARE PLAN 302817	OC8 CONTRIBUTION	02/09/2024	9001275	\$4,640.65
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant O16	02/01/2024	9001270	\$900.00
AFLAC	JANUARY 24	02/01/2024	106233	\$789.70
SAN DIEGO COUNTY SHERIFF'S DEPT.	NOV 23-CR TOW FEE	02/01/2024	106246	(\$218.84)
SAN DIEGO COUNTY SHERIFF'S DEPT.	DEC 23-CR TOW FEE	02/09/2024	106281	(\$333.55)
DANE SODERBERG	RFND-SBGR-376/536 GLENMONT	02/09/2024	106264	\$24,979.09
STERLING HEALTH SERVICES, INC.	O16 FSA/DCA CONTRIBUTIONS	02/09/2024	9001279	\$2,054.98
STERLING HEALTH SERVICES, INC.	O16 FSA/DCA CONTRIBUTIONS	02/09/2024	9001279	\$1,325.04
FIDELITY SECURITY LIFE INSURANCE COMPANY	FEB 24-VISION	02/01/2024	106243	\$488.54
IAFF-MERP	DEC 23-FF TRUST	02/01/2024	9001271	\$4,850.00
IAFF-MERP	JAN FF TRUST	02/09/2024	9001282	\$4,850.00
SELF INSURED SERVICES COMPANY	FEB 24-DENTAL	02/01/2024	9001264	\$3,027.40
RELIASTAR LIFE INSURANCE COMPANY	FEBRUARY 24-LIFE&ADD INS	02/01/2024	106251	\$1,248.80
RELIASTAR LIFE INSURANCE COMPANY	FEBRUARY 24-SUPP LIFE INS	02/01/2024	106251	\$291.25
RELIASTAR LIFE INSURANCE COMPANY	FEBRUARY 24-LTD	02/01/2024	106251	\$1,154.21
SCOTT ANDREW GILLIN MD INC	RFND-BC-010654 ANNUAL FIRE INSPECTION FEE	02/01/2024	106248	\$109.00
ZAKLINA JONES	RFND-01/20/24-FCCC	02/09/2024	106286	\$500.00
CHARLES CHRISTENSON	RFND-01/26/24-FCCC	02/09/2024	106260	\$500.00
AUSTIN DERFUS OR GAYLE DERFUS	RFND-DRP22-006 / SDP22-004/150 S GRANADOS	02/09/2024	106258	\$2,679.50
AUSTIN DERFUS OR GAYLE DERFUS	RFND-DRP22-006 / SDP22-004/150 S GRANADOS	02/09/2024	106258	\$281.00
AUSTIN DERFUS OR GAYLE DERFUS	RFND-DRP22-006 / SDP22-004/150 S GRANADOS	02/09/2024	106258	\$566.00
TOTAL GENERAL FUND				\$79,529.51
1005150 - CITY CLERK				
IRON MOUNTAIN	JAN 24- STORAGE/SHREDDING	02/09/2024	106272	\$2,100.59
IRON MOUNTAIN	FEB 24- STORAGE/SHREDDING	02/09/2024	106272	\$2,028.15
PITNEY BOWES GLOBAL FINANCIAL SVC	OCT 23 - JAN 24-LEASE-0012725773	02/09/2024	9001277	\$794.45
CORODATA RECORDS MANAGEMENT, INC	DEC 23-STORAGE/SHREDDING	02/09/2024	106263	\$1,221.66
STAPLES CONTRACT & COMMERCIAL	PAPER/PENS/TAPE/SHEET PROTECTOR	02/09/2024	106283	\$108.03
STAPLES CONTRACT & COMMERCIAL	PAPER/PENS/TAPE/SHEET PROTECTOR	02/09/2024	106283	\$ 0.00
TOTAL CITY CLERK				\$6,252.88
1005250 - LEGAL SERVICES				
HOGAN LAW APC	OCT 23-GENERAL LEGAL	02/09/2024	106270	\$357.50
HOGAN LAW APC	OCT 23-GENERAL LEGAL	02/09/2024	106270	\$0.00
BURKE WILLIAMS & SORENSEN	96-0006-DEC 23-PROF SVC	02/09/2024	9001272	\$1,531.20
BURKE WILLIAMS & SORENSEN	96-0006.001-DEC 23-PROF SVC	02/09/2024	9001272	\$1,399.20
BURKE WILLIAMS & SORENSEN	96-0014-DEC 23-PROF SVC	02/09/2024	9001272	\$2,038.80
BURKE WILLIAMS & SORENSEN	96-0023-DEC 23-PROF SVC	02/09/2024	9001272	\$69.30
BURKE WILLIAMS & SORENSEN	96-0037.003-DEC 23-PROF SVC	02/09/2024	9001272	\$105.60
BURKE WILLIAMS & SORENSEN	96-0038-DEC 23-PROF SVC	02/09/2024	9001272	\$3,405.60
BURKE WILLIAMS & SORENSEN	96-0040.002-DEC 23-PROF SVC	02/09/2024	9001272	\$245.60
BURKE WILLIAMS & SORENSEN	96-0040.004-DEC 23-PROF SVC	02/09/2024	9001272	\$92.40

BURKE WILLIAMS & SORENSEN	DEC 23-RETAIN	02/09/2024	9001272	\$13,024.00
BURKE WILLIAMS & SORENSEN	96-0006-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0006.001-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0014-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0023-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0037.003-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0038-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0040.002-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	96-0040.004-DEC 23-PROF SVC	02/09/2024	9001272	\$0.00
BURKE WILLIAMS & SORENSEN	DEC 23-RETAIN	02/09/2024	9001272	\$0.00
TOTAL LEGAL SERVICES				\$22,514.80
1005300 - FINANCE				
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - CALENDARS	02/01/2024	9001263	\$42.36
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - NOTE PADS/PENS	02/01/2024	9001263	\$43.73
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - HEADSET	02/01/2024	9001263	\$61.96
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - SCISSORS/TAPE DISPENSER	02/01/2024	9001263	\$40.99
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - SCANNER	02/01/2024	9001263	\$690.56
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - POST IN HOLDER	02/01/2024	9001263	\$14.86
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - LABELS/CALCULATOR	02/01/2024	9001263	\$96.96
STAPLES CONTRACT & COMMERCIAL	POST ITS/ORGINIZER/CHAIRMAT	02/09/2024	106283	\$92.93
STAPLES CONTRACT & COMMERCIAL	POST ITS/ORGINIZER/CHAIRMAT	02/09/2024	106283	\$0.00
TOTAL FINANCE				\$1,084.35
1005350 - SUPPORT SERVICES				
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - COFFEE PODS	02/01/2024	9001263	\$50.80
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - CREAMER	02/01/2024	9001263	\$61.13
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - LAMINATING SHEETS	02/01/2024	9001263	\$34.73
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - LAMINATE POUCHES/SOAP/AIR FRE	02/01/2024	9001263	\$64.51
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - KLEENEX	02/01/2024	9001263	\$42.40
TOTAL SUPPORT SERVICES				\$253.57
1005400 - HUMAN RESOURCES				
KAYLA MOSHKI	FY24-PUBLIC ADMIN TUITION	02/09/2024	9001276	\$2,000.00
TOTAL HUMAN RESOURCES				\$2,000.00
1005550 - PLANNING				
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - PENS/PAPER/TAGS	02/01/2024	9001263	\$71.58
CONSTRUCTION TESTING & ENGINEERING, INC.	JAN 24-COSB SAND CALCS	02/09/2024	9001281	\$280.00
CONSTRUCTION TESTING & ENGINEERING, INC.	JAN 24-CUP23-001 GEOTECH REVIEW DEL M	02/09/2024	9001281	\$280.00
TOTAL PLANNING				\$631.58
1005560 - BUILDING SERVICES				
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - MARKERS	02/01/2024	9001263	\$15.68
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - CALENDAR	02/01/2024	9001263	\$18.44
TOTAL BUILDING SERVICES				\$34.12
1005590 - CODE ENFORCEMENT				
DATATICKET INC.	DEC 23-PARKING CITATION	02/01/2024	106239	\$836.22
DATATICKET INC.	DEC 23-PARKING CITATION	02/01/2024	106239	\$778.99
AMAZON.COM SALES, INC	INV:1NF4-4K19-WJTW - PENS	02/01/2024	9001263	\$16.06
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$129.42
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$128.73
TOTAL CODE ENFORCEMENT				\$1,889.42
1006110 - LAW ENFORCEMENT				

SAN DIEGO COUNTY SHERIFF'S DEPT.	NOV 23-LAW ENFORCEMENT	02/01/2024	106246	\$399,200.40
SAN DIEGO COUNTY SHERIFF'S DEPT.	DEC 23-LAW ENFORCEMENT	02/09/2024	106281	\$399,200.40
SAN DIEGO COUNTY SHERIFF'S DEPT.	DEC 23-LAW ENFORCEMENT	02/09/2024	106281	\$1,495.30
TOTAL LAW ENFORCEMENT				\$799,896.10
1006120 - FIRE DEPARTMENT				
SANTA FE IRRIGATION DISTRICT	11/02/24-01/02/24-SANTA FE IRRIGATION	02/01/2024	106247	\$921.41
DAY WIRELESS SYSTEMS (20)	HEADSETS/MIC PROTECTORS	02/09/2024	106266	\$1,739.54
VERIZON WIRELESS-SD	962428212-11/29/23-12/28/23	02/01/2024	106250	\$563.08
REGIONAL COMMS SYS, MS 056 - RCS	NOV 23-CAP CODE	02/09/2024	106280	\$32.50
REGIONAL COMMS SYS, MS 056 - RCS	DEC 23-FIRE RADIOS	02/09/2024	106280	\$1,368.00
REGIONAL COMMS SYS, MS 056 - RCS	DEC 23-SHERIFF RADIOS	02/09/2024	106280	\$769.50
AT&T CALNET 3	9391059865 - 11/01/23-11/30/23	02/01/2024	106236	\$399.96
AT&T CALNET 3	9391059865 - 12/01/23-12/31/23	02/01/2024	106236	\$399.96
NORTH COUNTY DISPATCH (JPA)	FY23/24-Q3-NORTH COUNTY DISPATCH	02/09/2024	106277	\$28,825.25
ENTENMANN-ROVIN CO. INC	BADAGES/WALLETS-FS	02/09/2024	9001274	\$679.98
MUNICIPAL EMERGENCY SERVICES, INC	SCBA REPAIR/BATTERY REPLACEMENT	02/09/2024	106276	\$270.68
TOTAL FIRE DEPARTMENT				\$35,969.86
1006130 - ANIMAL CONTROL				
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	FEB 24-ANIMAL SERVICES	02/09/2024	106282	\$7,603.00
TOTAL ANIMAL CONTROL				\$7,603.00
1006170 - MARINE SAFETY				
VERIZON WIRELESS-SD	962428212-11/29/23-12/28/23	02/01/2024	106250	\$152.04
AT&T CALNET 3	9391012281 - 06/25/23-07/24/23	02/09/2024	106257	\$102.63
AT&T CALNET 3	9391053651 - 06/25/23-07/24/23	02/09/2024	106257	\$283.35
AT&T CALNET 3	9391012281 -07/25/23-08/24/23	02/09/2024	106257	\$107.03
AT&T CALNET 3	9391053651 - 07/25/23-08/24/23	02/09/2024	106257	\$300.70
BILL SMITH FOREIGN CAR SERVICE INC	RADIATOR CAP/PRESSURE TEST/RADIATOR RPR	02/09/2024	106259	\$760.42
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$518.27
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$564.38
TOTAL MARINE SAFETY				\$2,788.82
1006510 - ENGINEERING				
GEOPACIFICA, INC	INSPECTION OF SEAWALL/BLUFF CONST 325-327 PACIFIC	02/09/2024	106269	\$2,512.50
GEOPACIFICA, INC	INSPECTION OF SEAWALL/BLUFF CONST 325-327 PACIFIC	02/09/2024	106269	\$2,512.50
BILL SMITH FOREIGN CAR SERVICE INC	OIL/FILTER	02/09/2024	106259	\$48.19
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$110.60
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$168.04
TOTAL ENGINEERING				\$5,351.83
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	02/01/2024	106244	\$14.80
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	02/09/2024	106275	\$14.80
CLEAN EARTH ENVIROMENTAL SOLUTIONS	DEC 24- HHW COLLECTION	02/09/2024	106262	\$1,015.72
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$525.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$525.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$525.00
IDRAINS LLC	B SEWER-51,098	02/01/2024	106232	\$35,768.60
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$0.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$0.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$0.00
IDRAINS LLC	B SEWER-51,098	02/01/2024	106232	\$0.00

WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$321.77
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$488.83
TOTAL ENVIRONMENTAL SERVICES				\$39,199.52
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	02/01/2024	106244	\$24.07
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	02/09/2024	106275	\$24.07
SDG&E CO INC	12/01/23-01/08/24-UTILITIES	02/01/2024	106249	\$574.16
SDG&E CO INC	12/06/24-01/08/24-UTILITIES	02/01/2024	106249	\$1,059.27
NISSHO OF CALIFORNIA	DEC 23-LANDSCAPE MAINTENANCE SERVICES	02/01/2024	9001267	\$2,293.62
BILL SMITH FOREIGN CAR SERVICE INC	OIL & FILTER	02/09/2024	106259	\$64.52
NORTH COUNTY DISPATCH (JPA)	Q3 FY24 PW NORTH COUNTY DISPATCH JPA	02/01/2024	106245	\$93.75
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$291.61
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$443.01
TOTAL STREET MAINTENANCE				\$4,868.08
1006540 - TRAFFIC SAFETY				
ONE DAY SIGNS	GOLF CART DECALS	02/09/2024	106278	\$148.16
ONE DAY SIGNS	GOLF CART DECALS	02/09/2024	106278	\$0.00
SDG&E CO INC	12/01/23-01/08/24-UTILITIES	02/01/2024	106249	\$699.92
SDG&E CO INC	12/06/24-01/08/24-UTILITIES	02/01/2024	106249	\$1,492.36
DEPARTMENT OF TRANSPORTATION	JUL - SEP 23-I-5 TRAFFIC SIGNAL	02/01/2024	106241	\$589.40
DEPARTMENT OF TRANSPORTATION	JUL - SEP 23-I-5 TRAFFIC SIGNAL	02/01/2024	106241	\$4,253.53
ALL CITY MANAGEMENT SERVICES, INC	01/07/24-01/20/24-CROSSING GUARD SERVICES	02/01/2024	9001262	\$10,702.80
TOTAL TRAFFIC SAFETY				\$17,886.17
1006560 - PARK MAINTENANCE				
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	02/01/2024	106244	\$17.59
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	02/09/2024	106275	\$17.59
RANCHO SANTA FE SECURITY SYS INC	FEB 24-SECURITY PTRL/ALARM MONITORING	02/09/2024	106279	\$331.20
SANTA FE IRRIGATION DISTRICT	005506-015-11/16/23-01/15/24	02/01/2024	106247	\$249.04
SANTA FE IRRIGATION DISTRICT	005506-016-11/16/23-01/15/24	02/01/2024	106247	\$835.40
SANTA FE IRRIGATION DISTRICT	005979-003-11/16/23-01/15/24	02/01/2024	106247	\$471.04
NISSHO OF CALIFORNIA	DEC 23-LANDSCAPE MAINTENANCE SERVICES	02/01/2024	9001267	\$8,816.43
WEST COAST ARBORISTS, INC.	JAN 24- TREE MAINTENANC	02/01/2024	106252	\$2,545.60
WEST COAST ARBORISTS, INC.	JAN 24- CITY-WIDE TREE MAINTENANC	02/09/2024	106284	\$2,147.85
ARTURO ZERMENO	MILEAGE- 01/15/24	02/01/2024	106235	\$69.68
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$60.34
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$91.66
TOTAL PARK MAINTENANCE				\$15,653.42
1006570 - PUBLIC FACILITIES				
DIXIELINE LUMBER CO INC	DROP CLOTH/ROLLERS	02/01/2024	106242	\$66.62
DIXIELINE LUMBER CO INC	PAINT BRUSHS/MASK/PLIERS	02/01/2024	106242	\$70.44
DIXIELINE LUMBER CO INC	SQUEEGEE	02/01/2024	106242	\$23.47
DIXIELINE LUMBER CO INC	ANT KILLER	02/09/2024	106268	\$19.55
DIXIELINE LUMBER CO INC	TAPE	02/09/2024	106268	\$25.44
SDG&E CO INC	12/01/23-01/08/24-UTILITIES	02/01/2024	106249	\$2,061.66
SDG&E CO INC	12/06/24-01/08/24-UTILITIES	02/01/2024	106249	\$7,367.67
LEE'S LOCK & SAFE INC	DOOR REPAIR	02/09/2024	106274	\$158.44
LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$3,185.00
LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$455.00
LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$6,760.00
LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$0.00
LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$0.00

LALLEY CONSTRUCTION	ON-CALL AS-NEEDED REPAIR SERVI	02/09/2024	106273	\$0.00
NISSHO OF CALIFORNIA	DEC 23-LANDSCAPE MAINTENANCE SERVICES	02/01/2024	9001267	\$2,984.80
BILL SMITH FOREIGN CAR SERVICE INC	BRAKE PADS/BRAKE DISCS/WHELL SEAL	02/09/2024	106259	\$2,219.98
CINTAS CORPORATION NO. 2	MEDICAL SUPPLIES	02/01/2024	106238	\$145.11
CINTAS CORPORATION NO. 2	FIRST AID SUPPLIES-PW	02/09/2024	106261	\$157.36
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$100.55
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$152.76
TOTAL PUBLIC FACILITIES				\$25,953.85
1007110 - GF-RECREATION				
ONE DAY SIGNS	PICKLEBALL SIGN	02/09/2024	106278	\$30.17
ONE DAY SIGNS	PICKLEBALL SIGN	02/09/2024	106278	\$0.00
1 STOP TONER & INKJET, LLC	TONER-LC	02/01/2024	9001268	\$85.41
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$21.74
DEBBIE DAY	REIMB-SANTA SLEIGH RIDE SUPPLIES	02/01/2024	106240	\$277.56
TOTAL GF-RECREATION				\$414.88
120 - SELF INSURANCE RETENTION				
CATHERINE WONG	REISSUE-CK 101062 - 12/23/21	02/09/2024	9001273	\$480.00
BURKE WILLIAMS & SORENSEN	96-0040.003-DEC 23-PROF SVC	02/09/2024	9001272	\$1,533.50
BURKE WILLIAMS & SORENSEN	96-0040.003-DEC 23-PROF SVC	02/09/2024	9001272	\$1,533.50
ANDREW STRASNER	REISSUE CK#100253 - 01/19/21	02/01/2024	106234	\$3,481.08
JASON TOVAR	CLAIM 2402.TOVAR	02/05/2024	106255	\$4,000.00
DEAN GAZZO ROISTACHER LLP	OCT 23-2308.MACDONALD PROF SVC	02/09/2024	106267	\$4,436.95
DEAN GAZZO ROISTACHER LLP	NOV 23-2308.MACDONALD PROF SVC	02/09/2024	106267	\$2,890.50
DEAN GAZZO ROISTACHER LLP	DEC 23-2308.MACDONALD PROF SVC	02/09/2024	106267	\$2,793.00
TOTAL SELF INSURANCE RETENTION				\$21,148.53
135 - EQUIPMENT REPLACEMENT				
AUSTIN DERFUS OR GAYLE DERFUS	RFND-DRP22-006 / SDP22-004/150 S GRANADOS	02/09/2024	106258	\$35.27
TOTAL EQUIPMENT REPLACEMENT				\$35.27
1605360 - OPEB OBLIGATION				
MIDAMERICA	FEBRUARY 2024	02/01/2024	9001266	\$7,610.00
TOTAL OPEB OBLIGATION				\$7,610.00
2037510 - HIGHWAY 101 LANDSC #33				
SANTA FE IRRIGATION DISTRICT	005979-004-11/16/23-01/15/24	02/01/2024	106247	\$605.24
SANTA FE IRRIGATION DISTRICT	007732-000-11/16/23-01/15/24	02/01/2024	106247	\$199.27
SDG&E CO INC	12/06/24-01/08/24-UTILITIES	02/01/2024	106249	\$3,602.69
NISSHO OF CALIFORNIA	DEC 23-LANDSCAPE MAINTENANCE SERVICES	02/01/2024	9001267	\$1,456.03
TOTAL HIGHWAY 101 LANDSC #33				\$5,863.23
2087580 - COASTAL RAIL TRAIL MAINT				
NISSHO OF CALIFORNIA	DEC 23-LANDSCAPE MAINTENANCE SERVICES	02/01/2024	9001267	\$6,408.89
TOTAL COASTAL RAIL TRAIL MAINT				\$6,408.89
2117600 - STREET LIGHTING DISTRICT				
SDG&E CO INC	12/01/23-01/08/24-UTILITIES	02/01/2024	106249	\$9,042.33
TOTAL STREET LIGHTING DISTRICT				\$9,042.33
2196110 - COPS PROGRAM				
SAN DIEGO COUNTY SHERIFF'S DEPT.	NOV 23-LAW ENFORCEMENT	02/01/2024	106246	\$12,027.76
SAN DIEGO COUNTY SHERIFF'S DEPT.	DEC 23-LAW ENFORCEMENT	02/09/2024	106281	\$12,027.76
TOTAL COPS PROGRAM				\$24,055.52
2505570 - COASTAL BUSINESS/VISITORS				
SOLANA BEACH CHAMBER OF COMMERCE	Q3-CHAMBER OF COMMERCE VISITORS	02/09/2024	9001278	\$7,500.00
HOLIDAY GOO	EGGS FOR EGGHUNT	02/09/2024	106271	\$415.38

TOTAL COASTAL BUSINESS/VISITORS**\$7,915.38****2556180 - CAMP PROGRAMS**

ORIGINAL WATERMEN, INC	JG UNIFORMS	02/01/2024	106254	\$15,418.54
BOARDRIDERS WHOLESALE, LLC	JG UNIFORMS MENS	02/01/2024	106237	\$5,734.20
BOARDRIDERS WHOLESALE, LLC	JG UNIFORMS MENS	02/01/2024	106237	\$829.95

TOTAL CAMP PROGRAMS**\$21,982.69****2706120 - PUBLIC SAFETY- FIRE**

VERIZON WIRELESS-SD	962428212-11/29/23-12/28/23	02/01/2024	106250	\$114.03
VERIZON WIRELESS-SD	962428212-11/29/23-12/28/23	02/01/2024	106250	\$160.04
AMR	CSA17-MEDICAL SUPPLIES	02/09/2024	106256	\$609.54
DANIEL DROGICHEN	REIMB-BATTERIES FOR CERT ACTIVITIES	02/09/2024	106265	\$484.39

TOTAL PUBLIC SAFETY- FIRE**\$1,368.00****4506190 - SAND REPLNSHMNT/RETENTION**

SUMMIT ENVIROMENTAL GROUP, INC.	JAN 24-9926-PROF SVC	02/09/2024	9001280	\$5,375.00
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TOTAL SAND REPLNSHMNT/RETENTION**\$5,375.00****5097700 - SANITATION**

MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	02/01/2024	106244	\$9.26
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	02/09/2024	106275	\$9.26
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$525.00
IDRAINS LLC	FY24 SEWER-STORMDRAIN MAINT	02/01/2024	106232	\$0.00
WEX FLEET UNIVERSAL	12/08/23-01/07/24-AUTO FUEL	02/01/2024	106253	\$120.66
WEX FLEET UNIVERSAL	01/08/24-02/07/24-AUTO FUEL	02/09/2024	106285	\$183.31

TOTAL SANITATION**\$847.49****REPORT TOTAL:****\$1,181,428.09**



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2023-24

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget. The information provided in this Staff Report lists the changes made through February 14, 2024.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 28, 2023 (Resolution 2023-089) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of 02/14/2024						
General Fund - Operations						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	24,472,918	(23,078,124)	(980,000)	\$ 414,794
11/29/2023	Reso 2023-128	Engineering Survey Services		(100,000)		\$ 314,794
						314,794
General Fund - Measure S						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/28/2023	Reso 2023-089	Adopted Budget	4,400,000	(1,124,000)	(733,400)	\$ 2,542,600
						2,542,600
Combined General Fund Net Surplus						\$ 2,857,394

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

COUNCIL ACTION:

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2023-2024 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation

A handwritten signature in blue ink, appearing to read "Daniel King".

Daniel King, Interim City Manager



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Human Resources/Finance Department
SUBJECT: **City Council Consideration of Resolution 2024-019 Approving the Establishment of a Deferred Compensation Retirement Account for Active Employees with the California Public Employees Retirement System (CalPERS)**

BACKGROUND:

The City of Solana Beach (City) currently contracts with MissionSquare Retirement (formerly ICMA Retirement) to provide both a Roth and a Traditional 457 Deferred Compensation retirement plan to its employees.

A 457 Deferred Compensation Plan is a supplemental retirement savings program that allows employees to make contributions on a pre-tax basis to a Traditional 457 Plan, or a post-tax contribution to a Roth 457 Plan. Each calendar year, employees can choose to contribute to the Plan up to an amount established by the Internal Revenue Code Section 457 (e) (15) plus Age 50 Catch-Up and Special Section 457 Catch-Up Limitation, if applicable. The City currently contributes up to \$2,000 match per year to an employee's Traditional 457 Plan if the employee is also actively contributing to their account.

This item is before the City Council to consider approving Resolution 2024-019 (Attachment 1) adding the California Public Employees Retirement System (CalPERS) as an additional 457 Deferred Compensation Plan provider for all City employees.

DISCUSSION:

Currently, the City offers one 457 plan option to City employees through MissionSquare Retirement (formerly ICMA Retirement). Staff has explored the viability of adding an additional deferred compensation plan provider and, after some research, has decided to recommend the California Public Employees Retirement System (CalPERS) as the additional 457 plan provider for all employees. The City will continue to provide

COUNCIL ACTION:

MissionSquare Retirement as a 457 provider and employees are under no obligation to switch to the new plan under CalPERS.

The CalPERS 457 Plan is recommended due to its lower management fees and additional alternative carriers. Additionally, the City already has a relationship and contracts with CalPERS to provide both retirement and health insurance benefits to its employees.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The City currently contributes up to \$2,000 match per employee. If any non-participating employees enroll under the new or old 457 plans, the City would be responsible for contributing up to \$2,000 match per employee. All plan fees are borne by the City employees, if they chose to enroll in a plan.

WORK PLAN:

This item is not mentioned in the Work Plan.

OPTIONS:

- Approve Staff recommendation.
- Deny Staff recommendation.
- Provide alternate direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2024-019 authorizing the establishment of an additional 457 Deferred Compensation Plan by approving the Adoption Agreement (Attachment 2) between the City and the California Public Employees Retirement System (CalPERS).

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-019
2. Adoption Agreement – CalPERS 457 Deferred Comp Plan

RESOLUTION 2024-019

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE ADOPTION OF CALPERS 457 PLAN

WHEREAS, the City of Solana Beach desires to establish an additional deferred compensation plan for the benefit of its employees; and

WHEREAS, the Board of Administration (the "Board") of the California Public Employees' Retirement System ("CalPERS") has established the CalPERS 457 Plan (the "CalPERS 457 Plan") which may be adopted by a governmental employer, the employees of which are public employees; and

WHEREAS, the City of Solana Beach believes that the CalPERS 457 Plan and the investment options available thereunder will provide valuable benefits to its employees; and

WHEREAS, the Board has appointed Voya Financial® (the Plan Recordkeeper) to perform recordkeeping and administrative services under the CalPERS 457 Plan and to act as the Board's agent in all matters relating to the administration of the CalPERS 457 Plan;

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council adopts the CalPERS 457 Plan for the benefit of its employees.
3. That the City Council authorizes and directs the City Manager to execute the attached adoption agreement on behalf of the City of Solana Beach and to provide CalPERS or any successor agent duly appointed by the Board with such information and cooperation as may be needed on an ongoing basis in the administration of the CalPERS 457 Plan.

PASSED AND ADOPTED this 28th day of February 2024, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

Employer Adoption Agreement

The employer identified below (the “Employer”) adopts the CalPERS 457 Plan (the “CalPERS 457 Plan” or the “Plan”) for the benefit of its employees and agrees to be bound by and subject to the terms of the Plan, as it may be amended from time to time.

The Employer further agrees and represents as follows:

1. The Employer is a political subdivision of the State of California and is eligible to adopt the Plan.
2. The Employer has duly adopted a resolution (copy attached) or taken such other official action as required for its lawful adoption and implementation of the Plan and has authorized the undersigned to execute this Agreement on its behalf.
3. The Employer has received and has had the opportunity to review the following documents and information:
 - The Plan document;
 - A description of the optional provisions of the Plan;
 - A description of the investment options available to Plan participants and historical performance data for those investment options;
 - A complete description of fees and expenses that will or may be charged to Plan participants including, but not limited to, investment fees and administrative expenses; and
 - The Enrollment Kit for eligible employees, which includes forms and information for employees to participate in the Plan.

Contributions

4. The Employer understands that its employees will have the opportunity to defer their own compensation by designating an amount or percentage to be withheld from each paycheck and contributed to the Plan on the employee’s behalf.
5. The Employer understands that the Plan must be made available to all employees and agrees to offer all employees the opportunity to participate in the Plan.
6. The Employer understands that the Plan cannot be made available to individuals who are not the Employer’s common law employees and agrees not to offer such individuals the opportunity to participate in the Plan.
7. The Employer understands that each employee’s deferrals under the Plan and any other eligible deferred compensation plan maintained by the Employer are subject to certain limits imposed by the Plan and the federal tax code. The Employer agrees to limit employees’ deferrals under all plans maintained by the Employer to amounts that do not exceed applicable limitations.
8. The Employer agrees to deduct deferral amounts from employees’ salaries and wages in accordance with the employees’ elections, to remit all amounts deducted to the Plan as soon as reasonably practicable after such amounts are withheld, and to accurately report the amounts remitted.
9. The Employer understands and agrees that all amounts deferred under the Plan shall be 100% vested and shall be deposited in the Public Employees’ Deferred Compensation Fund (the “Fund”), a trust established to hold such amounts, for the exclusive benefit of participants and their beneficiaries. The Employer shall have no right to Fund assets or to sell, redeem, or otherwise liquidate Fund assets, except as provided Plan section 10.6.

Investments

- 10. The Employer understands and agrees that employees who defer compensation under the Plan will have the right to direct the investment of their individual Plan accounts by choosing among the investment options selected by the CalPERS Board of Administration (the "Board") and offered under the Plan. The Employer further understands and agrees that any employee who does not provide timely directions for investing his or her account will be deemed to have selected the Plan's default investment. The Plan's default investment is currently the CalPERS Target Retirement Fund designated for an employee, based on his or her expected retirement date. The Employer understands and agrees that the Board, in its sole discretion, may add, eliminate, or consolidate investment options offered under the Plan, including the Plan's default investment option.
- 11. The Employer further understands and agrees that certain fees are charged to Plan participants for investment and administration expenses, and that such fees will be offset against investment returns or deducted from participants' Plan accounts periodically.

Administration

- 12. The Employer understands and agrees that, except as specifically set forth in the Plan, the administration of the Plan and Fund is subject to the exclusive control of the Board and that the Board has the authority to retain third parties to provide investment services, record keeping, accounting, or other services for the Plan.
- 13. The Employer agrees to assist and cooperate in providing Plan information to employees and to follow administrative procedures established by the Board or its designee(s) from time to time.
- 14. The Employer has completed the attached New Employer Data Sheet, which is incorporated by reference. The Employer hereby certifies that all information provided in connection with its adoption of the Plan is true and accurate.
- 15. The Employer understands and agrees that the Board has retained the power and authority to amend the Plan from time to time, subject to limitations set forth in the California Government Code and the Plan. The Employer may not amend the Plan.
- 16. The Employer understands and agrees that its participation in the Plan may be terminated by the Employer or by the Board upon sixty (60) days advance written notice. Upon termination, all amounts held for participants will continue to be held in the Fund for the exclusive benefit of participants and their beneficiaries, except for distributions or transfers permitted under the Plan terms.

Name of Employer: _____

By: _____ Title: _____

Date: _____

Accepted by CalPERS (or an agent duly appointed by the Board) on behalf of the Board of Administration of the California Public Employees' Retirement System.

To be completed by CalPERS

Signature: _____

Print Name: _____

Title: _____

Date: _____



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: CUP for Sale of Alcoholic Beverages for Off-Site Consumption at 512 Via de La Valle #102 (Case # CUP 23-002 Applicant: Brandon Rodgers, Ranch 45, APN: 298-560-03-00; Resolution No. 2024-011)**

BACKGROUND:

The Applicant, Brandon Rodgers of Ranch 45, is requesting the approval of a Conditional Use Permit (CUP) for the sale of alcoholic beverages for on- and off-site consumption as an accessory use to a retail food establishment (butcher shop). All retail activities will occur inside the tenant space. The property is zoned Office Professional (OP). The Applicant has a current type 41 License from the Alcohol Beverage Control (ABC). A CUP is required by Solana Beach Municipal Code (SBMC) Section 17.12.020 for alcohol sales for off-site consumption.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request for a Conditional Use Permit as contained in Resolution 2024-011. (Attachment 1)

DISCUSSION:

The property is a 1.11-acre lot with approximately 159 feet of frontage on the north side of Via De La Valle and approximately 400 feet of frontage on the west of Pimlico Drive, which is a private road. The property is developed with a 28,877 square-foot, three story multi-tenant commercial office building. The property has parking on the first level, under the building, as well as surface parking on the north and east side of the building.

COUNCIL ACTION:

The Applicant is proposing to expand the existing retail food establishment into a neighboring suite for a proposed total of 4,086 square-feet. The Applicant intends to improve and utilize the two existing tenant spaces located in the southernmost portion of the first level. The Applicant will be combining and occupying both of the retail spaces on the first level. The proposed use would include retail sales activities and food preparation and service, located entirely inside the building, except for two tables and eight chairs located on the patio. The project does not propose any indoor dining area. The remaining tenant spaces are office uses on the second and third level of the building and are not included in the scope of work for this application. The project plans are provided in Attachment 2.

The property is located within the Office Professional (OP) zone. The proposed use would be classified as a retail trade establishment which is a permitted use with limitations within the OP Zone. Retail trade establishments, restaurants, and accessory food service/concession stands identified as “PL” in Table 17.12.020-A, shall be allowed in the OP zone as accessory uses; provided, that all accessory uses combined do not occupy more than 25 percent of the total gross floor area of the principal structures. Ranch 45 would be the only retail trade establishment in the building, and it would occupy 14% of the total gross floor area. The OP Zone is intended to provide professional office and service centers and retail accessory uses which are complementary to office development.

Resolution 2024-011 provides the full text of the pertinent CUP regulations. Staff has prepared draft findings for approval of the project for Council’s consideration based upon the information in this report and Staff’s analysis of the proposed project. It provides the applicable SBMC sections in italicized text. Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions as it deems appropriate as a part of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent Council meeting.

The following is a discussion of the development standards established by the Zoning Ordinance and the findings for a CUP as each applies to the proposed project.

Conditional Use Permit Compliance

The following is a discussion of the required findings set forth in Title 17 (Zoning) of the SBMC necessary for the Council to approve a CUP for sale of alcoholic beverages for off-site consumption.

In accordance with Section 17.68.010 (Conditional Use Permits) of the SBMC, the City Council must make the following findings to approve a Conditional Use Permit for the site:

1. That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located;

2. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity;
3. That the proposed use complies with each of the applicable provisions of the zoning ordinance, unless a variance is granted pursuant to SBMC 17.68.020.

The proposed use could be found to be in accordance with the General Plan, the general intent of Title 17 of the Solana Beach Municipal Code (Zoning Ordinance), and the purposes of the Office Professional (OP) zone, which allow for alcohol sales for on- and off-site consumption as an accessory to the retail trade establishment use. Furthermore, the Applicant's request is in accordance with the spirit and intent of the General Plan, Zoning Ordinance and the purposes of the OP zone, which are intended to provide for professional office and service centers and retail accessory uses which are complementary to office development. The Applicant proposes to operate a retail butcher shop. The sale of alcoholic beverages for off-site consumption is permitted within the OP zone as an accessory to the retail food establishment with City Council approval of a Conditional Use Permit.

The project site has 92 parking spaces in total, which includes 30 covered spaces and 62 surface level parking spaces. The existing retail trade establishment is expanding into a tenant space previously used as a beauty salon (commercial) and therefore will not be increasing the demand for parking. The proposed project will not require any modifications to the existing building in terms of height, setbacks, or floor area. As conditioned, approval of the Conditional Use Permit shall not allow additional use of the site, which may result in the requirement to provide additional onsite parking without the applicable approval.

Sale of Alcoholic Beverages for Off-Site Consumption

The request for a retail store that sells alcoholic beverages for on- and off-site consumption in conjunction with a retail food establishment is in accordance with the spirit and intent of the General Plan and is a permitted use with limitations in the OP zone, provided the Applicant receives approval of a CUP. The project as discussed in this report could be found to be in compliance with the provisions of the Zoning Ordinance.

The 4,086 square-foot retail store is proposed in the southern portion of the lower level of the mixed-use development. As indicated by the Applicant, the proposed retail store would be a butcher shop that sells food and wine. The hours of operation would be from 7:00 a.m. to 7:00 p.m. daily.

The proposed use will not result in an over-concentration of on- or off-site alcoholic beverages sales establishments in the area. Within 300 feet of the proposed location, there are three (3) establishments that sell alcohol for on-site consumption (Pamplemousse, Red Tractons, & Fish Market), and none of these establishments sell alcohol for off-site consumption.

The proposed use is not located within close proximity to a school. The closest school is St. James Academy which is located approximately 2,112 feet or 0.40 of a mile from the proposed location. Earl Warren Middle School (public) is approximately 6,864 feet or 1.3 miles from the proposed location. Skyline Elementary School (public) is 7,392 feet or 1.4 miles away and Santa Fe Christian School (private) is 6,336 feet or 1.2 miles from the from the subject property as measured by public street.

The proposed use is not within close proximity to any public parks or beach access points. La Colonia Park and Del Mar Shores Beach Access are over 4,224 feet or 0.8 miles away from the proposed location by public street.

A condition of the project approval will require that the Applicant submit an application and receive conditional approval of a Department of Alcoholic Beverage Control (ABC) license to sell alcoholic beverages for on- and off-site consumption from the ABC prior to occupancy. The Applicant shall abide by all ABC conditions. Should the conditions of approval imposed by the ABC be more restrictive than those of this CUP, the ABC condition(s) shall prevail.

The Applicant is not proposing to have live entertainment on the premises; if they decide to propose this in the future, a modification to the CUP would be required. In addition, should the project be approved, the proposed conditions require that any modifications to their ABC license shall be subject to the prior review and approval of the Community Development Director for conformance with this Condition Use Permit (CUP).

As conditioned, the Council may find that the proposed use of the site as a retail food establishment would not be detrimental to public health, safety or materially injurious to properties or improvements in the vicinity.

Parking

The project site has 92 parking spaces in total, which includes 30 covered spaces and 62 surface level parking spaces. The existing retail trade establishment is expanding into a tenant space previously used as a beauty salon (commercial) and therefore will not be increasing the demand for parking. As conditioned, approval of the Conditional Use Permit shall not allow additional use of the site, which may result in the requirement to provide additional onsite parking without the required approval.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners within 300 feet of the proposed project site on January 15, 2024. Staff has not received any correspondence in support of or opposition to the proposed project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2024-011 for Council's consideration

based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines. Class 1 consists of the minor alteration of existing private structures involving negligible or no expansion to the existing use including additions to existing structures that will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2024-011.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a CUP.
- Deny the project if all required findings for the CUP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a CUP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2024-011 conditionally approving a CUP to allow the sale of alcoholic beverages for off-site consumption at 512 Via de La Valle #102, Solana Beach.

CITY MANAGER’S RECOMMENDATION:

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read "Daniel King". The signature is fluid and cursive, with a large initial "D" and "K".

Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-011
2. Project Plans

RESOLUTION 2024-011

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A CONDITIONAL USE PERMIT FOR SALE OF ALCOHOLIC BEVERAGES FOR OFF-SITE CONSUMPTION AT 512 VIA DE LA VALLE #102.

APPLICANTS: Brandon Rodgers, Ranch 45
APPLICATION: CUP23-002

WHEREAS, Brandon Rodgers (hereinafter referred to as “Applicant”) has submitted an application for a Conditional Use Permit (CUP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 28, 2024, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the project requested in the application exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Public Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a Conditional Use Permit for the sale of alcoholic beverages for off-site consumption for 512 Via De La Valle #102 on file with the Community Development Department, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

In accordance with Section 17.68.010 (Conditional Use Permits) of the City of Solana Beach Municipal Code (SBMC), the City Council must make the following findings to approve a use for the sale of alcoholic beverages for off-site consumption as an accessory use to a retail food establishment on a property within the Office Professional (OP) zone:

- I. *That the proposed use is in accord with the general plan, the general intent of this title, and the purposes of the zone in which the site is located;*

The proposed use could be found to be in accordance with the General Plan, the general intent of Title 17 of the SBMC (Zoning Ordinance), and the purposes of the Office Professional (OP) zone, which allows for alcohol sales for off-site consumption as an accessory to a retail food establishment. Furthermore, the Applicant's request is in accordance with the spirit and intent of the General Plan, Zoning Ordinance and the purposes of the Office Professional (OP) zone, which are intended to provide for professional office and service centers and retail accessory uses which are complementary to office development. The Applicant proposes to operate a retail butcher shop. The sale of alcoholic beverages for off-site consumption is permitted within the OP zone as an accessory to the retail food establishment with City Council approval of a Conditional Use Permit.

- II. *That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity;*

No outdoor activities related to this use are permitted unless a special event permit has been issued by the City.

The Applicant has a current type 41 License from the Alcohol Beverage Control (ABC). The project approval is conditioned to indicate that any modifications to their ABC license shall be subject to the prior review and approval of the Community Development Director for conformance with this Conditional Use Permit (CUP).

As conditioned, the proposed use of the tenant space as a retail food establishment that includes the retail sale of alcoholic beverages for on- and off-site consumption will not be detrimental to the public health, safety, or materially injurious to properties or improvements in the vicinity.

- III. *That the proposed use complies with all applicable provisions of the zoning ordinance, including each of the three required provisions of Zoning Ordinance Section 17.60.030.A (Alcoholic Beverage Sales for off-premises consumption):*

SBMC Section 17.60.030 indicates that when evaluating a CUP for alcohol sales for off-site consumption, the City Council should consider whether establishment of the use will result in an over concentration of off-site and on-site alcoholic beverage sales establishments in the area within 300 feet of the proposed location, the proximity of the proposed use to public and private schools for minors, and the proximity of the proposed use to public parks and beach accesses.

- a. *Establishment of the use will not result in an over concentration of off-site and onsite alcoholic beverages sales establishments in the area within 300 feet of the proposed location.*

The proposed use will not result in an over-concentration of on- or off-site alcoholic beverages sales establishments in the area. Within 300 feet of the proposed location, there are three (3) establishments that sell alcohol for on-site consumption, and none of these establishments sell alcohol for off-site consumption.

- b. *The use is not located within close proximity to public and private schools for minors.*

The closest school is St. James Academy (Private) which is located approximately 2,112 feet or 0.4 of a mile from the proposed location. Earl Warren Middle School (public) is approximately 6,864 feet or 1.3 miles from the proposed location. Skyline Elementary School (public) is 7,392 feet or 1.4 miles away and Santa Fe Christian School (private) is 6,336 feet or 1.2 miles from the from the subject property as measured by public street.

- c. *The use will not be within close proximity to any public parks or beach access points.*

The proposed use is not within close proximity to any public parks or beach access points. La Colonia Park and Del Mar Shores Beach Access are over 4,224 feet or 0.8 miles away from the proposed location by public street.

The property is sited far enough away from such institutions as well as public parks and beach access to negate any harmful or injurious impacts establishment of the use at this location might create.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. Any change to the alcohol sales license issued by the Department of Alcoholic Beverage Control (ABC) shall be subject to the prior review and approval of the Community Development Director for conformance with this Conditional Use Permit (CUP).
- II. All on-site signage shall be regulated pursuant to the Sign Regulations contained in SBMC Section 17.64.
- III. All of the conditions of this Conditional Use Permit are continuing conditions. Failure of the Applicant to comply with any or all of said conditions at any time may result in the revocation of the permit granted for the use of the property.
- IV. The operation hours shall be as follows:
 - a. Daily from 7:00 a.m. to 7:00 p.m.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Conditional Use Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents,

officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney’s fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney’s fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 28th day of February 2024, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

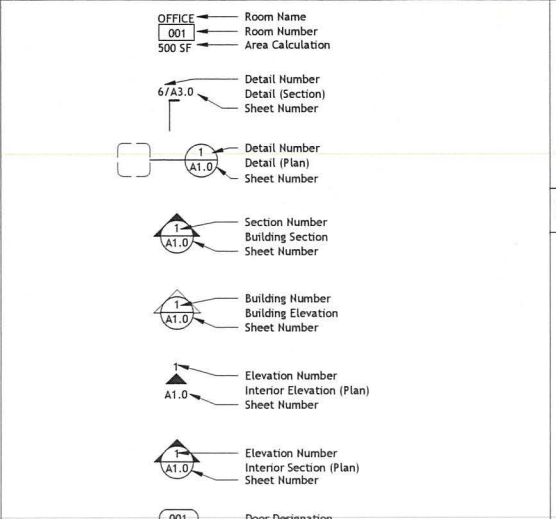
APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

⊕	And	HT	Height
<	Angle	HYAC	Heating, Ventilation, and Air Conditioning
⊙	Centerline	H.W.	Hot Water
⊖	Diameter or Round	I.D.	Inside Diameter
⊥	Perpendicular	INCL	Including
#	Number	INSUL	Insulation
(E)	Existing	INT	Interior
AB	Anchor Bolt	JAN	Janitor
A/C	Air Conditioning	JST	Joist
A.C.	Asphaltic Concrete	JT	Joint
ACT	Accoustical Tile	KIT	Kitchen
ACOUS	Acoustical	LAM	Laminate
ADJ	Adjustable	LAV	Lavatory
A.F.F.	Above Finish Floor	L.F.	Linear Foot
ALT	Alter or Alternate	L.H.	Left Hand
ALUM	Aluminum	LKR	Locker
ANOD	Anodized	L.R.	Living Room
A.P.	Access Panel	LVR	Louver
APPROX.	Approximately	MATL	Material
ARCH	Architectural	MAX	Maximum
BD	Board	M.B.	Machine Bolt
BITUM	Bituminous	MECH	Mechanical
BLDG	Building	MEMB	Membrane
BLK	Block	MET	Metal
BM	Beam	MFR	Manufacturer
BOT	Bottom	MH	Manhole
BR	Bedroom	MIN	Minimum
BSMT	Basement	MIR	Mirror
B.U.R.	Built-Up Roofing	MISC	Miscellaneous
CAB	Cabinet	M.O.	Masonry Opening
CARP	Carpet	M.R.	Moisture Resistant
C.B.	Catch Basin	MTD	Mounted
CEM	Cement	MUL	Mullion
CER	Ceramic	N	North
C.I.	Cast Iron	N.T.S.	Not To Scale
CLG	Ceiling	O	Over
CLO	Closet	OA	Overall
CLR	Clear	OBSC	Obscure
C.M.U.	Concrete Masonry Unit	O.C.	On Center
CNTR	Counter	O.D.	Outside Diameter
COL	Column	O.F.D.	Overflow Drain
CONC	Concrete	OFF	Office
COND	Condition or Condenser	O.H.	Overhang
CONN	Connection	OPNG	Opening
CONSTR	Construction	OPP	Opposite
CONT	Continuous	PC	Price
CONTR	Contractor	P.D.	Planter Drain
CORR	Corridor	PL	Plate
C.T.	Ceramic Tile	P.L.	Property Line
CTR	Center	PLMG	Plumbing
CTSK	Countersunk	PLAM	Plastic Laminate
C.W.	Cold Water	PLAS	Plaster
D	Deep, Depth	PLYWD	Plywood
DBL	Double	PR	Fair
DET	Detail	PT	Paint
D.F.	Drinking Fountain	P.T.D.	Paper Towel Dispenser
DIA	Diameter	PTN	Partition
DIM	Dimension	R	Riser
DISP	Dispenser	RAD	Radius
DN	Down	R.D.	Roof Drain
D.O.	Door Opening	REF	Reference
DR	Door	REFR	Refrigerator
DS	Downspout	REINF	Reinforced, Reinforcing
D.S.P.	Dry Standpipe	REQ	Required
DWG	Drawing	RESIL	Resilient
DWR	Drawer	REV	Revised
E	East	RFG	Right Hand
EA	Each	R.H.	Room
EJ	Expansion Joint	RM	Room
EL	Elevation	R.O.	Rough Opening
ELEC	Electrical	RWD	Redwood
ELEV	Elevation	S	South
EMER	Emergency	S.C.	Solid Core
ENCL	Enclosure	SCHED	Schedule
E.O.S.	Edge of Slab	SECT	Section
EQ	Equal	SEP	Separation, Separate
EQUIP	Equipment	SH	Shelf
E.W.	Each Way	SHR	Shower
E.W.C.	Electric Water Cooler	SHT	Sheet
EXST	Existing	SIM	Similar
EXP	Expansion	SLDG	Sliding
EXPO	Exposed	SPEC	Specification
EXT	Exterior	SQ	Square
F.A.	Fire Alarm	S.S.	Stainless Steel
F.D.	Fire Alarm	S.S.K.	Service Sink
FDM	Foundation	STD	Standard
F.E.	Fire Extinguisher	STL	Steel
F.E.C.	Fire Extinguisher Cabinet	STOR	Storage
F.G.	Finish Grade	STRUC	Structural
F.H.C.	Fire Hose Cabinet	SUSP	Suspended
FIN	Finish	SW	Switch
FLASH	Flashing	SYM	Symmetrical
FLR	Floor	SYS	System
FLUOR	Fluorescent	T	Tread
F.O.C.	Face of Concrete	T.B.	Towel Bar
F.O.F.	Face of Finish	T&G	Tongue & Groove
F.O.M.	Face of Masonry	T.O.C.	Top of Curb
F.O.S.	Face of Stud	T.O.D.	Top of Drain
FRF	Fireproof	TEL	Telephone
FR	Frame	TEMP	Tempered, Temperature
FS	Full Size	THK	Thick, Thickness
FT	Foot, Feet	THR	Threshold
FTG	Footing	T.O.P.	Top of Pavement
FTG	Footing	T.O.S.	Top of Slab
FURR	Furring, Furred	T.P.D.	Toilet Paper Dispenser
FUT	Future	T.S.	Top of Steel
GA	Gauge	TV	Television
GALV	Galvanized	T.O.W.	Top of Wall
G.B.	Grab Bar	TYP	Typical
G.I.	Galvanized Iron	UNF	Unfinished
GND	Ground	U.O.N.	Unless Otherwise Noted
GR	Grade	VERT	Vertical
GYP	Gypsum	V.I.F.	Verify in Field
H	High	W	West
H.B.	Hose Bibb	W/J	With
H.C.	Hollow Core	W.H.	Water Heater
HCP	Handicapped	W/O	Without
HDWR	Hardware	W.C.	Water Closet
HDWD	Hardwood	WD	Wood
H.M.	Hollow Metal	WP	Waterproof
HORIZ	Horizontal	WPM	Waterproof Membrane
HR	Hour	W.S.P.	Wet Standpipe
		WT	Weight



001	Door Designation
1	Equipment Designation
1	Partition Designation
X.XX	Window Designation
01	Sheet or Work Note
MTRL	Finish Type
align	Alignment with Established Element
⊥	Perpendicular to Established Element
	Parallel to Established Element
+10.0'	Elevation above Grade (Section or Elevation)
+10.0'	Elevation Above Finished Floor (Plan)
☁	Revision Cloud
~	Level Change

SYMBOLS LEGEND		SCALE	07	
		N/A		
20	19	18	17	16
15	14	13	12	11
10	09	08	07	06
05	04	03	02	01

OWNER: ONE WORLD VENTURES, LLC
512 Via de la Valle #310
Solana Beach, CA 92075
T: 855.551.2333

CONTRACTOR: ELLIS CONTRACTING, INC
4010 Morena Blvd #210
San Diego, CA 92117
T: 858.581.1160

KEC CONSULTANT: ORNESS DESIGN GROUP, INC
5955 Mira Mesa Blvd, Suite H
San Diego, CA 92121
T: 858.457.5955

ARCHITECT / DESIGNER: SAINT, PC
8633 Washington Blvd
Culver City, CA 90232
T: 202.905.8215

MEP ENGINEER: ALM CONSULTING ENGINEERS
8330 Juniper Creek Lane
San Diego, CA 92126
T: 858.792.1700

PROJECT DIRECTORY

PROJECT ADDRESS: 512 VIA DE LA VALLE SOLANA BEACH, CA 92075

APPLICABLE BLDG CODES: 2019 CALIFORNIA BUILDING CODE, 2018 INTERNATIONAL BUILDING CODE, 2019 CALIFORNIA BUILDING CODE

ACCESSIBILITY CODE: (BASED ON 2018 INTERNATIONAL BUILDING CODES & 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN)

MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE, 2018 INTERNATIONAL MECHANICAL CODE

PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE, 2018 INTERNATIONAL PLUMBING CODE

FUEL GAS CODE: 2021 INTERNATIONAL FUEL GAS CODE

ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE, (BASED ON 2008 NATIONAL ELECTRICAL CODES)

FIRE CODE: 2019 CALIFORNIA FIRE CODE, 2018 INTERNATIONAL FIRE CODE

ENERGY CODE: 2019 CALIFORNIA ENERGY CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE

GREEN BUILDING CODE: 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

BUILDING DATA: USE GROUP: MIXED USE, SEPARATED - OFFICE (B), RETAIL (M), COVERED PARKING (S2)

CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLERED PER CBC TABLE 601 & 602: STRUCTURAL FRAME 0 HR BEARING WALLS - EXT. 0 HR, INT. 0 HR NON BEARING WALLS - EXT. 0 HR, INT. 0 HR FLOOR CONSTRUCTION 0 HR

EXISTING BUILDING AREA: L1-4,086SF: OFFICE (B), RETAIL (M), COVERED PARKING (S2)
L2-12,364SF: OFFICE (B)
L3-12,427SF: OFFICE (B)
TOTAL - 28,877SF

PROPOSED BUILDING AREA: L1-4,086SF: OFFICE (B), RETAIL (M), COVERED PARKING (S2)

ZONING: OFFICE/PROFESSIONAL (OP)

ALLOWABLE AREA: S2 = 40,500 SF
B = 27,000 SF
M = 27,000 SF

ACTUAL AREA PER OCCUPANCY: S2 = 14,309 SF
B = 2,131 SF
M = 1,955 SF

FOR MIXED OCCUPANCIES: (ACTUAL BUILDING AREA/ALLOWABLE BUILDING AREA) < 1 TO COMPLY S2 (ACTUAL)/(ALLOWABLE) + B (ACTUAL)/(ALLOWABLE) + M (ACTUAL)/(ALLOWABLE) < 1
(S2) 14,309 SF/40,500 SF + (B) 2,291 SF/27,000 SF + (M) 1,790 SF/27,000 SF < 1
0.50 < 1
**AREAS FOR L1 (B) & (M) SHOWN ON DETAIL 06/A1.00

ALLOWABLE HEIGHT: 45 FT ABOVE GRADE PLANE (SBMC 17.24.030(D))
ALLOWABLE HEIGHT: 3 STORIES (TABLE 504.4)
ACTUAL BUILDING HEIGHT/STORIES: +/- 44 FT PER EXISTING DWGS, 3 STORIES

FIRE SEPARATION: NO FIRE SEPARATION REQUIRED BETWEEN B & M OCCUPANCIES. 1 HR FIRE SEPARATION REQUIRED BETWEEN S2 & B OCCUPANCY (TABLE 508.4)

SHAFT ENCLOSURES: ALL SHAFTS INCL. EGRESS STAIRS, ELEV. 1HR (SEC. 713)

PENETRATIONS: ALL PENETRATIONS THRU FIRE RATED CONST. TO BE SEALED WITH UL APPROVED DESIGN

FIRE EXTINGUISHERS: YES - PER SECTION F 906

EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250 FT W/ SPRINKLERS-USE GROUP M (TABLE 1017.2)

CORRIDORS: FIRE RESISTANCE RATINGS FOR USE GROUP B & M (TABLE 1020.1) 0HR

OCCUPANT LOAD: SEE CALCULATIONS ON A0.11 PER SBMC17.52, 2 INCIDENTAL TABLES AND 8 CHAIRS ARE ALLOWED FOR RETAIL FOOD ESTABLISHMENT

PROPOSED OCCUPANT LOAD: TOTAL OCCUPANT LOAD INTERIOR: 30 OCCUPANTS

EGRESS WIDTH: (TABLE 1005.1) STAIRS/DOORS - BASED ON LARGEST OCCUPANT LOAD ON LEVEL 1 - 30 OCCUPANTS
REQUIRED: DOORS @ 30 X 0.2 = 6"
REQUIRED: 36"
REQUIRED: CORRIDORS @ 30 X 0.2 = 6"
REQUIRED: CORRIDORS 44" MIN.
REQUIRED: AISLES @ 30 X 0.2 = 6"
REQUIRED: AISLES 44" MIN.

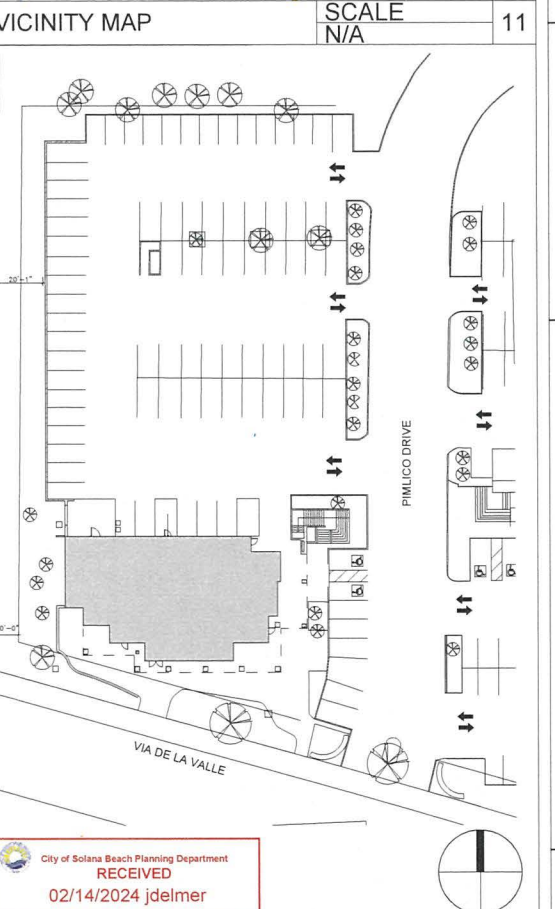
DEFERRED SUBMITTALS REQUIRED: FIRE SPRINKLERS, KITCHEN HOOD

SCOPE: SCOPE OF WORK UNDER CUP23-002: APPLICATION FOR CONDITIONAL USE PERMIT FOR OFF-SITE SALES OF ALCOHOL.
SCOPE OF WORK UNDER 821-0590: FIRST FLOOR TENANT IMPROVEMENT OF APPROXIMATELY 4,086 SF. WORK TO INCLUDE INTERIOR DEMOLITION, NEW NON-LOAD BEARING INTERIOR PARTITIONS, FRAMED CEILINGS, NEW FINISHES, NEW MECHANICAL, ELECTRICAL, PLUMBING, NEW AND RELOCATED KITCHEN EQUIPMENT AS REQUIRED FOR PROPOSED RETAIL. LIMITED EXTERIOR STOREFRONT ALTERATIONS TO INCLUDE PARTIAL REMOVAL AND REPLACEMENT OF ALUMINUM STOREFRONT AND GLAZING, REPLACEMENT OF GLASS ENTRY DOORS, INSTALLATION OF OPERABLE COFFEE PICK UP WINDOW.

PLANNING DEPARTMENT CONDITION: THE ESTABLISHMENT SHALL NOT PROVIDE AN INDOOR OR OUTDOOR DINING AREA. EXCEPTION TO HAVE UP TO 2 INCIDENTAL TABLES AND 8 CHAIRS FOR ALL RETAIL FOOD ESTABLISHMENTS AND RESTAURANTS.

SHEET #	SHEET NAME	PLANNING / 11.04.2021	PLANNING REV. 1 / 12.14.2021	PLAN CHECK / 01.04.2022	PLAN CHECK REV. 1 / 03.07.2022	PLAN CHECK REV. 2 / 04.11.2022	PLAN CHECK REV. 3 / 04.26.2022	PLAN CHECK REV. 4 / 07.18.2022	PLAN CHECK REV. 5 / 08.15.2023
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ARCHITECTURAL	A0.00	DRAWING INDEX AND CODE ANALYSIS							
	A0.11	OCCUPANCY LOAD, EGRESS PLANS, & PLUMBING FIXT. COUNTS							
	AB1.00	EXISTING SITE PLAN							
	AB1.01	AS-BUILT FLOOR PLAN							
	A1.00	PROPOSED SITE PLAN							
	A1.10	FLOOR PLAN							



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project name

RANCH 45 LOCAL PROVISIONS
512 VIA DE LA VALLE SOLANA BEACH, CA 92075

project no: 2108

issue / description:

PLANNING	11.04.21
PLANNING REV. 1	12.14.21
PLAN CHECK	01.04.22
PLAN CHECK REV. 1	03.07.22
PLAN CHECK REV. 2	04.11.22
PLAN CHECK REV. 3	04.26.22
PLAN CHECK REV. 4	07.18.22
PLAN CHECK REV. 5	06.15.23
PLAN CHECK REV. 6	10.02.23

drawn by: AH
checked by: MF

sheet title

DRAWING INDEX AND CODE ANALYSIS

sheet no.

A0.00

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project name

**RANCH 45 LOCAL
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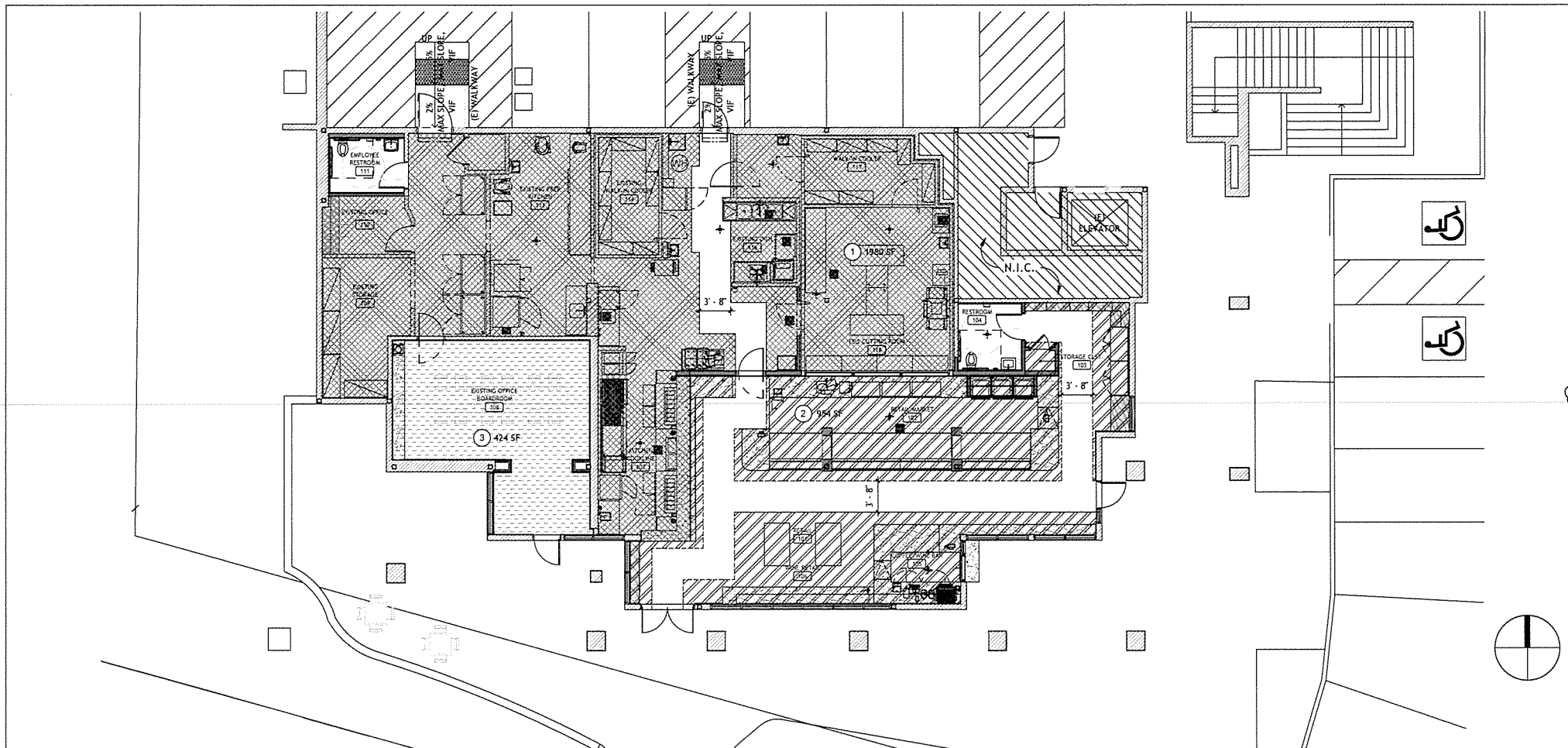
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checked by: MF

sheet title

**OCCUPANCY LOAD, EGRESS
PLANS, & PLUMBING FIXT.
COUNTS**

sheet no.

A0.11



AREA PLAN SCALE 1/8" = 1'-0" 05

MEANS OF EGRESS MEASUREMENTS

	COMMON PATH OF TRAVEL	TRAVEL DISTANCE TO EXIT #1	TRAVEL DISTANCE TO EXIT #2	TRAVEL DISTANCE TO EXIT #3	TRAVEL DISTANCE TO EXIT #4	TRAVEL DISTANCE TO EXIT #5
REMOTE POINT (A)	-	82' - 1"	-	-	56' - 1 1/2"	-
REMOTE POINT (B)	-	-	77' - 5 1/4"	36' - 10 1/4"	-	-
REMOTE POINT (C)	-	-	64' - 1 3/4"	34' - 7 1/4"	-	-
REMOTE POINT (D)	-	-	-	-	58' - 9"	-
REMOTE POINT (E)	-	-	-	-	-	36' - 10"

OCCUPANT LOAD: MAX FLOOR AREA ALLOWANCE PER OCC. (TABLE 1004.1.1)

	AREA	LINEAR FT	MULTIPLIER	OCCUPANTS	METHOD	ACTUAL
KITCHEN	1980 SF	-	1 / 200	10	HET	10
RETAIL	954 SF	-	1 / 60	16	HET	16
OFFICE	314 SF	-	1 / 150	3	HET	3
TOTAL ALLOWABLE OCCUPANTS =						30

EXISTING OCCUPANCY (SUITE 102): 25 OCCUPANTS
EXISTING OCCUPANCY (SUITE 103): 18 OCCUPANTS

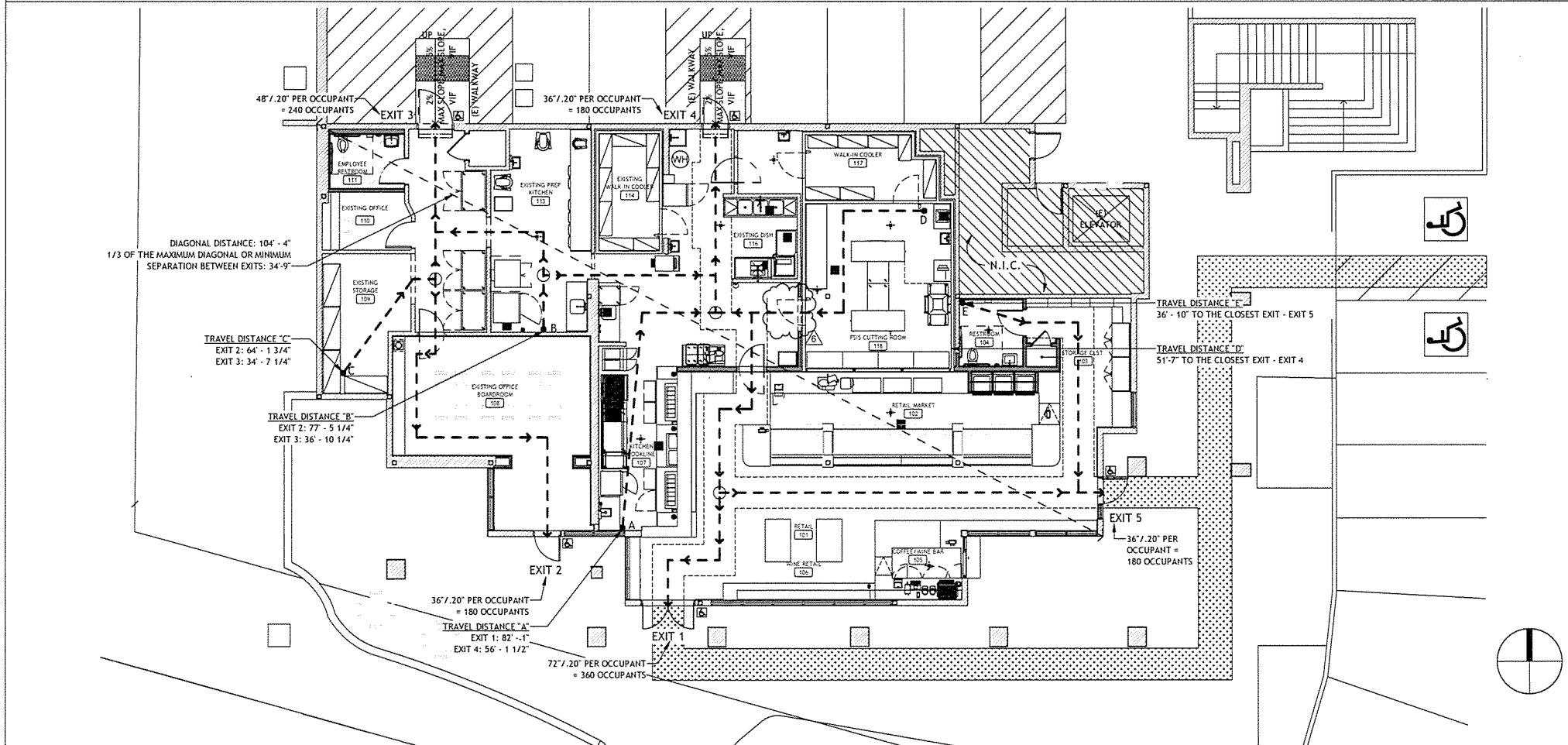
RESTROOM FIXTURES

	MULTIPLIER	REQUIRED	PROVIDED	MEN	WOMEN
OCCUPANT LOAD (30)				15	15
WC FIXTURES	1 / 500	2	2	1	1
LAV FIXTURES	1 / 750	2	2	1	1

M OCCUPANCY (ALL FLOORS) - MIN NO. OF BATHROOM FIXTURES PER TABLE 403.1 - 2019 California plumbing code

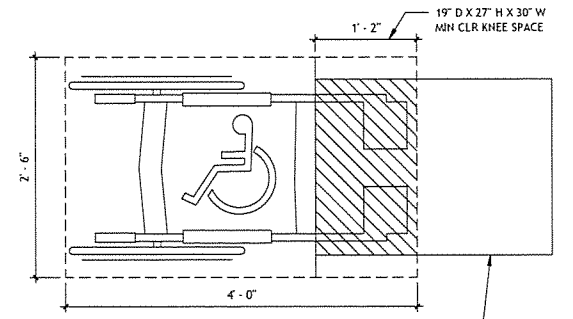


THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
POST AT ALL ACCESSIBLE ENTRANCES AND COMPLY WITH ALL ADA REQUIREMENTS FOR SIZE, COLOR, AND LOCATION.



EGRESS PLAN SCALE 1/8" = 1'-0" 02

ACCESSIBLE SIGNAGE SCALE N/A 06



ACCESSIBLE SEATING SCALE N/A 01



[Handwritten signature]

project name

RANCH 45 LOCAL PROVISIONS

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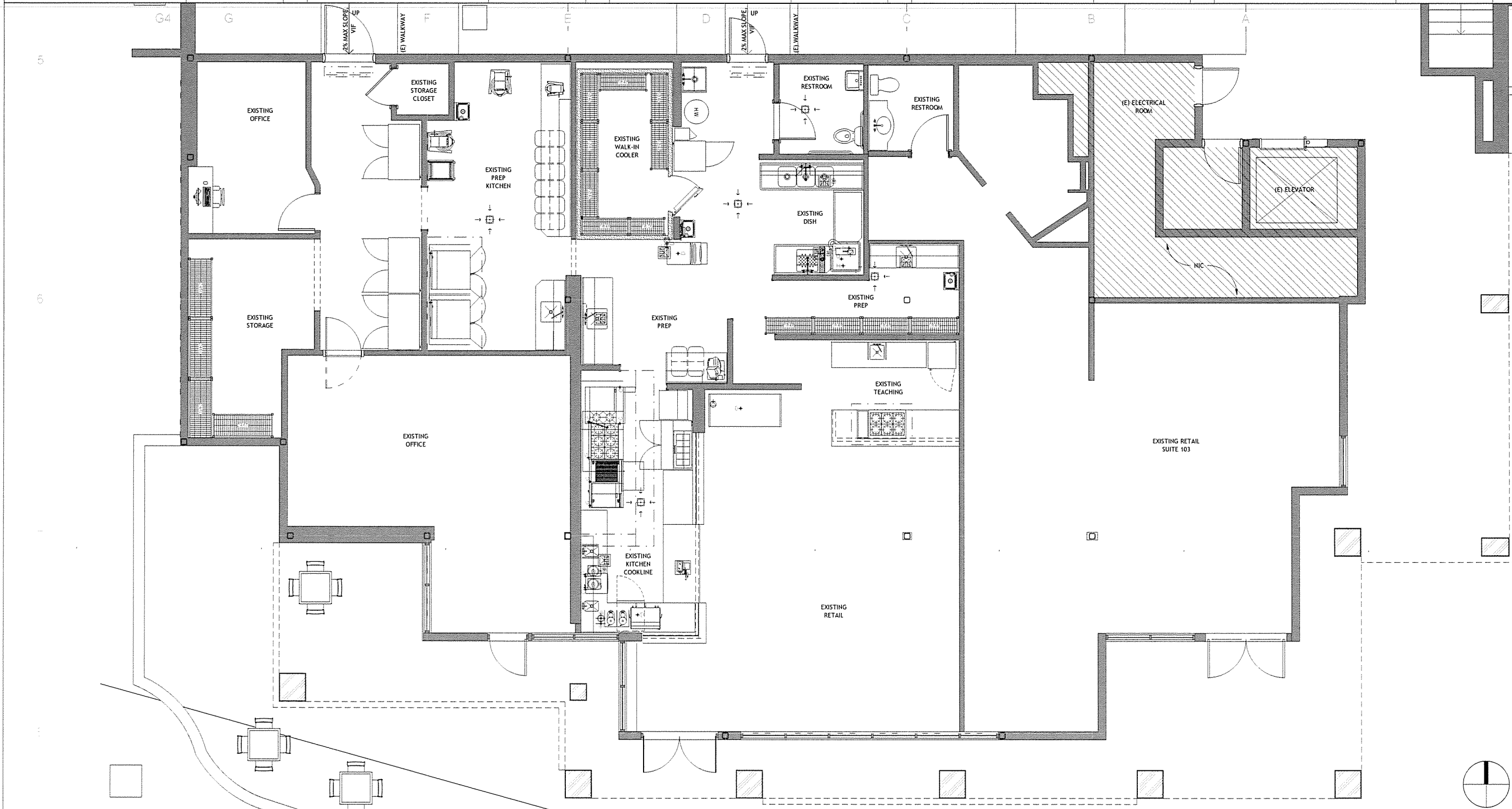
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checked by: MF

sheet title

AS-BUILT FLOOR PLAN

sheet no.

AB1.01



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EXISTING FLOOR PLAN

SCALE
1/4" = 1'-0" 01





PROJECT NAME

RANCH 45 LOCAL PROVISIONS

512 VIA DE LA VALLE SOLANA BEACH, CA 92075

PROJECT NO: 2108

ISSUE / DESCRIPTION:

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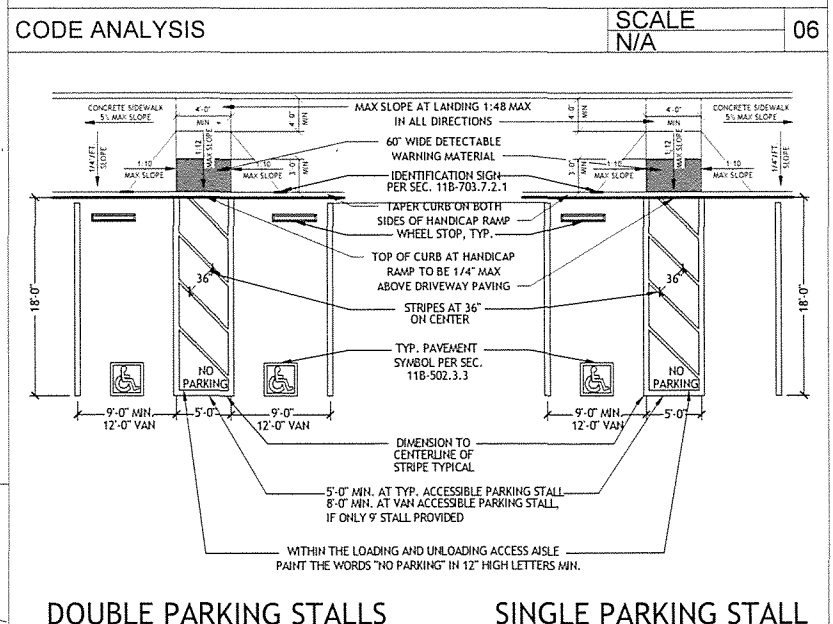
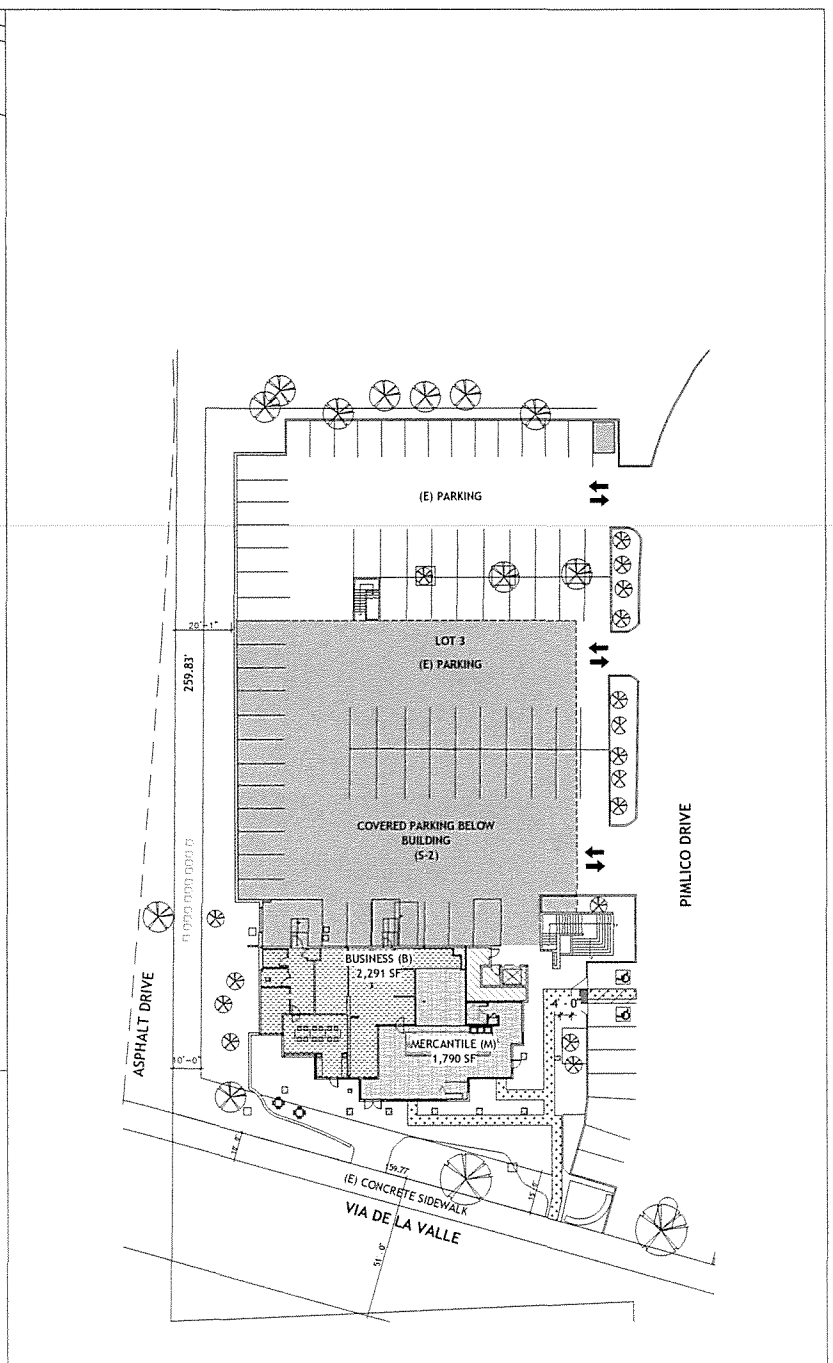
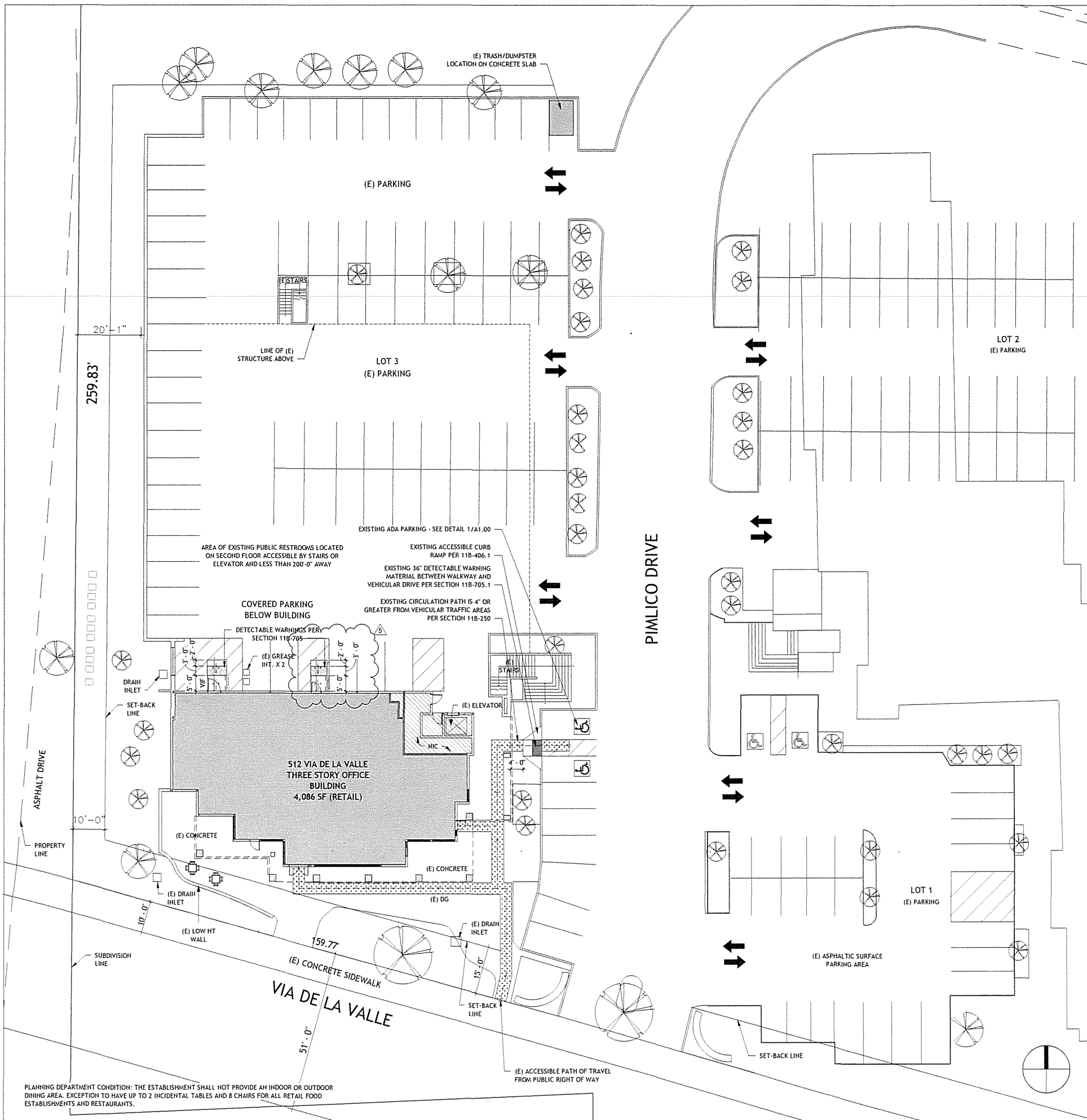
DRAWN BY: AH
CHECKED BY: MF

SHEET TITLE

PROPOSED SITE PLAN

SHEET NO.

A1.00



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- CLEAN AND PREPARE BASE BUILDING PARTITIONS FOR PROPOSED TENANT CONSTRUCTION PER REVIEW OF ARCHITECT AND G.C. ALL AREAS SCHEDULED WITH GYPSUM SHALL BE PAINT READY.
- ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLAN AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
- G.C. TO NOTIFY ARCHITECT OF DATE FOR PARTITION LAYOUT. LAYOUT TO BE APPROVED BY ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- PARTITION TYPES ABOVE DOORS TO SAME AS THAT OF ADJACENT PARTITION U.O.N.
- ALL PARTITION JOINTS TO BE TAPED, BLENDED AND SANDED AS REQUIRED TO ACHIEVE SMOOTH SURFACE WITH NO VISIBLE JOINTS, BUMPS, WARPING OR OTHER DISTORTIONS.
- ALL OUTSIDE CORNERS OF GYPSUM BOARD TO RECEIVE METAL CORNER BEADS, U.O.N. SUPPLY OTHER METAL TRIM AT GYPSUM BOARD JOINTS AND TRANSITION EDGES (CASING BEADS ETC.) PER MANUFACTURERS RECOMMENDATIONS.
- ALL DIMENSIONS SHOWN FROM FACE OF FRAMING U.O.N.
- ALL DIMENSIONS INDICATED AS CLEAR OR "CLR" SHALL BE MAINTAINED. ANY DISCREPANCY OR VARIATION IN SUCH A DIMENSION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. ANY DIMENSION INDICATED TO BE VERIFIED IN THE FIELD OR "VIF" WILL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- ALL PARTITIONS AND MILLWORK ABUTTING EXISTING CONSTRUCTION SHALL BE FABRICATED TO ALIGN WITH FINISH FACE OF CONSTRUCTION, U.O.N.
- PROVIDE BRACING TO DECK ABOVE AT ALL DOOR JAMBS, WINDOWS, MILLWORK AND ALL OTHER CONSTRUCTIONS WHICH INTERRUPT CONTINUITY OF WALL OR OTHERWISE PRODUCE EXCESSIVE STRESS.

- PROVIDE ADDITIONAL STUDS AS REQUIRED FOR SECURE INSTALLATION OF OUTLET GROUPINGS. COORDINATE WITH ENGINEERING DRAWINGS.
- ALL PARTITIONS WITHIN SIX FEET OF WET AREAS (KITCHENS, RESTROOMS, JANITOR CLOSETS, ETC.) SHALL BE OF MOISTURE RESISTANT GYPSUM BOARD.
- G.C. TO PROVIDE AND INSTALL FIRE CONCEALED BLOCKING AT ALL LOCATIONS WHERE NEW AND RECONFIGURED MILLWORK ARE TO BE FASTENED. COORDINATE WITH MILLWORKER TO ACHIEVE SECURE AND RIGID INSTALLATION OF THESE COMPONENTS.
- ALL GYPSUM BOARD CONSTRUCTION SHALL CONFORM TO STANDARDS DETAILED IN GYPSUM ASSOCIATION DOCUMENT #GA-216-2000 APPLICATION AND FINISHING OF GYPSUM BOARD.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXTINGUISHERS MUST BE LOCATED AT A MAXIMUM DISTANCE OF 75 FEET FROM ANY PART OF THE FACILITY AND FINAL NUMBER, TYPE, AND LOCATIONS SHALL BE AT THE SOLE DISCRETION OF THE LOCAL FIRE MARSHALL.
- MAINTAIN EXISTING FIRE SEPARATION WHERE OCCURS. CONSULT WITH ARCHITECT IF FIELD CONDITIONS VARY FROM CODE ANALYSIS.

- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 0.5". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. SEE FIRE CODE CHAPTER 5, SECTION 505.1.
- THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE UNDER NORMAL POWER AND EMERGENCY POWER. SEE FIRE CODE CHAPTER 10, SECTION 1008.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 604. SEE FIRE CODE CHAPTER 10, SECTION 1013.6.3.
- ILLUMINATED EXIT SIGNS ARE REQUIRED WHENEVER TWO EXITS ARE REQUIRED. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. EXIT SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN. SEE FIRE CODE CHAPTER 10, SECTION 1013.1.
- PROVIDE KEYS TO FIRE DEPT. TO PLACE IN KNOX BOX FOR EMERGENCY ACCESS. SEE FIRE CODE CHAPTER 5.

EXISTING WALL CONSTRUCTION TO REMAIN

NEW CONSTRUCTION PARTITION

DASHED LINE INDICATES ABOVE

MILLWORK

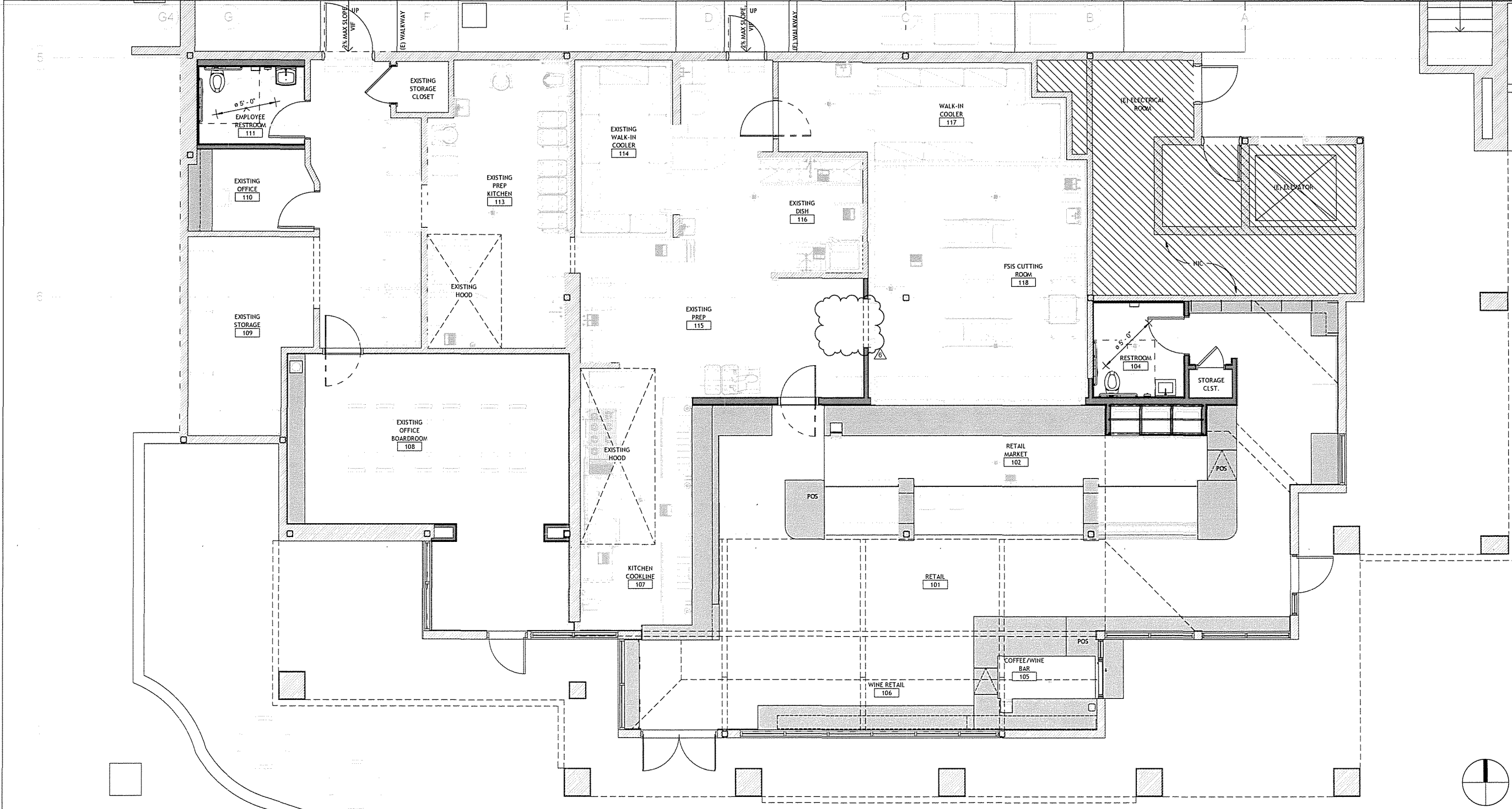
GENERAL NOTES

SCALE N/A 18

SCALE N/A 17

WALL TYPE LEGEND

SCALE N/A 16



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PLAN CHECK REV. 6	10.02.23

drawn by: AH
checked by: MF

sheet title

FLOOR PLAN

sheet no.

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STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for a DRP for the Construction of a Single-Story, Single-Family Residence with an Attached Garage and Perform Associated Site Improvements on a Vacant Lot at 504 South Nardo Avenue. (Applicant: Ocean Ranch Estates, LLC; Application: DRP22-025; APN: 298-121-26; Resolution No. 2024-002)**

BACKGROUND:

The Applicant, Ocean Ranch Estates, LLC, is requesting City Council approval of a Development Review Permit (DRP) to construct a new single-story single-family residence, an attached garage, and perform associated site improvements. The 16,052 square-foot lot is located in the Low Residential (LR) Zone and Scaled Residential Overlay Zone (SROZ) north of the new Ocean Ranch Estates development. The project includes grading in the amount of 275 cubic yards of cut, 255 cubic yards of fill, 14 cubic yards of excavation for footings, 680 cubic yards of removal and recompaction for a total grading quantity of 1,224 cubic yards. The maximum building height of the proposed addition would be 15.83 feet above the existing grade or 204.53 feet above Mean Sea Level (MSL).

A DRP is required for: 1) a structure that exceeds 60% of the maximum allowable floor area, and 2) for grading in excess of 100 cubic yards.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2024-002 (Attachment 1).

DISCUSSION:

The subject 16,052 square-foot lot is located three lots east of S. Nardo Avenue and fronts on the north side of a private road easement that is accessed from the east side of S.

CITY COUNCIL ACTION:

Nardo Avenue, south of the intersection of Lirio Street. The existing rectangular lot is vacant and relatively flat with 111-foot front and rear property lines and 144.56-foot side yard property lines. As a condition of the proposed project, the Applicant is dedicating the southeast corner of the lot to complete the circular cul-de-sac at the terminus of Bell Ranch Road that will be constructed with the development of the Ocean Ranch Estates Subdivision.

The Applicant is proposing to construct a single-story 3,620 square foot residence with a 21 square foot covered porch that is included in the calculation of floor area, an attached garage of 666 square feet, and a 619 square foot patio in the rear of the proposed residence that would not be included in the calculation of floor area. The Applicant is also proposing site improvements including grading, landscaping, hardscape, and fencing. Project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicant’s proposed design.

Table 1			
LOT INFORMATION			
Property Address:	504 S Nardo Ave	Zoning Designation:	LR (3 du/ac)
Lot Size (Gross):	16,052 sf	# Units Allowed:	1 D/U, 1 ADU, 1 JADU
Max. Allowable Floor Area:	4,680 sf	# Units Ex/Proposed:	1 D/U,
Proposed Floor Area:	3,907 sf	Setbacks:	Required Proposed
Below Max. Floor Area by:	773 sf	Front (S)	25 ft 25 ft
Max. Allowable Height:	25 ft	Interior Side (W)	10 ft 10 ft
Max. Proposed Height:	15.83 ft	Interior Side (E)	10 ft 10 ft
Highest Point/Ridge:	204.53 MSL	Rear (N)	25 ft 25 ft
PROPOSED PROJECT INFORMATION			
Proposed Floor Area Breakdown:		Required Permits:	
Proposed First Floor Living Area	3,620 sf	DRP for proposed total floor area to exceed 60% of maximum allowable and an aggregate grading quantity in excess of 100 cubic yards.	
Proposed Covered Porch	21 sf		
Proposed Attached Garage	666 sf		
Subtotal	4,307 sf		
Off-Street Parking Exemption	- 400 sf		
Total Proposed Floor Area:	3,907 sf	Existing Development:	Vacant
Required/Proposed Parking: 2 (SFR) / 2 Garage			
Proposed Fences and Walls: Yes			
Proposed Accessory Structure: No			
Proposed Grading: 275 yd³ cut, 255 yd³ fill, 14 yd³ for footings, 680 yd³ for removal and recompaction for a total of 1,224 yd³ of grading			

Staff has prepared draft findings for approval of the project in the attached Resolution 2024-002 for Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process.

If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2024-002.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the total proposed floor area would exceed 60 percent of the maximum allowable for the property and for grading in excess of 100 cubic yards. The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. If the findings cannot be made, the Council shall deny the DRP. Resolution 2024-002 provides a full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

DRP Finding #1

General Plan Consistency

The proposed project may be found consistent with the General Plan, which designates the property as Low Density Residential and is intended for single-family residential development at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays

The property is also located in the SROZ, which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional

scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area. The proposed project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency

SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach Official Zoning Map. The setback designator for the subject property is “c”, which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The project includes allowable two-foot encroachments into the setbacks for roof eaves. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 16,052 square-foot lot is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.100 for 15,000 to 20,000 ft ²	105 ft ²
<u>Maximum Allowable Floor Area:</u>	<u>4,680 ft²</u>

The existing development includes a 3,641 square-foot, single-story single-family residence and a 666 square-foot attached two-car garage. The subtotal of the gross floor area with the project would be 4,307 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 666 square-foot garage provides two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the off-street parking exemption, the total gross floor area of the project would be 3,907 square feet, which is 773 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the proposed addition would be 15.83 feet above the existing grade or 204.53 feet above

MSL. As a condition of approval, the Applicant would be required to submit a height certification to certify that the proposed living area additions would not exceed 15.83 feet in height (or 204.53 feet above MSL).

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the proposed garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade. Currently, the plans show a proposed 6-foot wood fence starting at the west side of the garage that follows the side yard property line to the rear yard property line, and the eastern side yard property line ending at the exterior of the front bedroom in the southeast corner of the residence. The fence shown on the plans is in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan. In addition, the City's consultant will perform an inspection during the construction phase of the project.

DRP Finding #2

The development review criteria topics referenced in DRP Finding #2 are listed below with further discussion as to how they relate to the proposed Project:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas

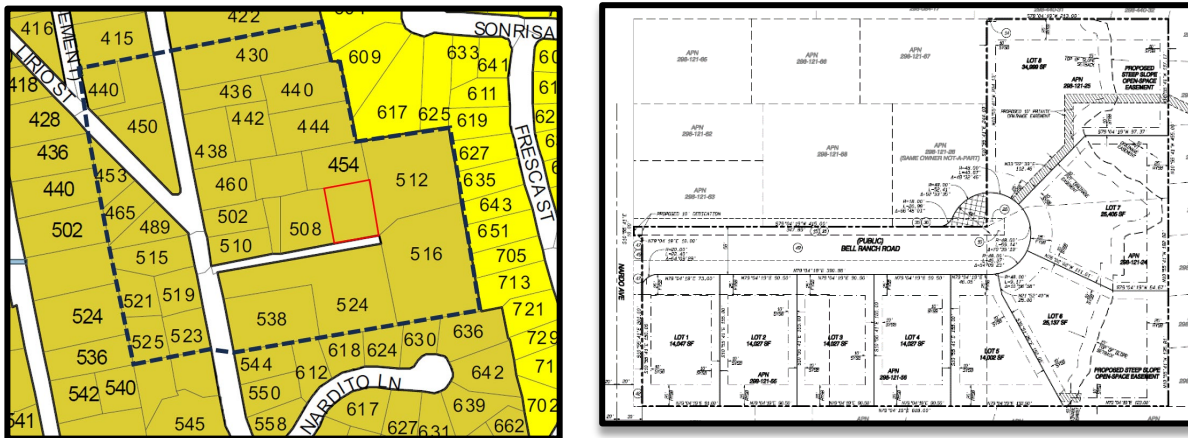
5. Grading
6. Lighting
7. Usable Open Space

Relationship with Adjacent Land Uses:

The property and the surrounding neighborhood are located in the LR Zone. Surrounding properties are also located within the LR Zone and are developed with one- and two-story single-family residences. The property is located immediately northwest of the approved Ocean Ranch Subdivision, which consists of eight LR lots that are intended to be developed with single-family homes after the Tentative Map is recorded.

Neighborhood Comparison:

Staff compared the proposed project to 27 nearby properties located on S. Nardo Avenue and Lirio Street, as shown on the following map (left) and the 8 proposed lots associated with the Ocean Ranch Subdivision (right).



The properties evaluated in this comparison are also located in the LR Zone and are also developed with single-family homes ranging in size from 650 square feet to 6,201 square feet. The existing square footage information is obtained through the County Assessor records. It should be noted that the County Assessor does not include garages, covered patios or enclosed exterior areas, accessory buildings, or unfinished basements in the total square footage. However, ADU's and Junior Accessory Dwelling Units (JADU) are included in the square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the garage and covered porch area:

Project Gross Building Area:	4,307 ft ²
Delete Attached Garage:	- 666 ft ²
Delete Covered Porch	- 21 ft ²
<hr/>	<hr/>
Project Area for Comparison to Assessor's Data:	3,620 ft ²

Table 2, below, is based upon the County Assessor’s data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	430 S Nardo Ave	37,462	6,201		5,948	LR
2	436 S Nardo Ave	12,524	924		4,142	LR
3	438 S Nardo Ave	14,000	3,031		4,400	LR
4	440 S Nardo Ave	20,000	2,457		5,450	LR
5	442 S Nardo Ave	14,062	3,774		4,411	LR
6	444 S Nardo Ave	20,000	2,379		5,075	LR
7	460 S Nardo Ave	13,723	3,085		4,352	LR
8	456 S Nardo Ave	12,736	3,920		4,179	LR
9	454 S Nardo Ave	14,500	1,764		4,488	LR
10	502 S Nardo Ave	10,500	2,379		3,788	LR
11	510 S Nardo Ave	10,500	1,659		3,788	LR
12	508 S Nardo Ave	21,971	2,972	4,362 / 3,404	5,174	LR
13	0 S Nardo Ave	16,052	Vacant	3,620	4,680	LR
14	512 S Nardo Ave*	43,700	Vacant		6,260	LR
15	516 S Nardo Ave*	54,500	1,646		6,800	LR
16	524 S Nardo Ave*	52,708	650		6,710	LR
17	538 S Nardo Ave*	28,750	1,968		5,513	LR
18	440 Lirio St	10,400	1,423		3,770	LR
19	425 S Nardo Ave	12,715	Vacant		4,175	LR
20	450 Lirio St	20,513	2,635		5,101	LR
21	453 Lirio St	9,000	2,865		3,525	LR
22	465 Lirio St	10,000	3,296		3,700	LR
23	489 Lirio St	9,600	2,654		3,630	LR
24	515 S Nardo Ave	15,050	2,293		4,580	LR
25	519 S Nardo Ave	10,600	3,384		3,805	LR
26	521 S Nardo Ave	10,000	2,462		3,700	LR
27	523 S Nardo Ave	10,500	2,376		3,788	LR
28	525 S Nardo Ave	10,200	1,908		3,735	LR
29	Ocean Ranch Lot 1	14,047			4,408	LR
30	Ocean Ranch Lot 2	14,027			4,405	LR
31	Ocean Ranch Lot 3	14,027			4,405	LR
32	Ocean Ranch Lot 4	14,027			4,405	LR
33	Ocean Ranch Lot 5	14,002			4,400	LR
34	Ocean Ranch Lot 6	25,137			5,332	LR
35	Ocean Ranch Lot 7	25,405			5,345	LR
36	Ocean Ranch Lot 8	34,999			5,825	LR

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone

*512, 516, 524, and 538 South Nardo Avenue are the existing lots that would be subdivided into 8 lots under the Ocean Ranch Subdivision.

Building and Structure Placement:

The proposed project includes the construction of a new single-story, single-family residence with an attached garage and site improvements on a vacant lot. The residence is located in the buildable area of the property and will not exceed 16 feet in height as measured from the existing grade. The residence would consist of an open concept kitchen, dining, and great room that has an attached 619 square foot covered patio to the north behind the residence. Off the open concept room there is a den/library, the primary bedroom suite as well as three other bedrooms with their own ensuite bathrooms. The Applicant is also proposing a powder room near the main entry and a laundry room near where the garage has interior access to the kitchen.

Landscape:

The proposed landscape plan also includes two new trees with a mature height of 25 feet located in front of the proposed residence and ground cover.

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the planting plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Roads, Pedestrian Walkways, Parking, and Storage Areas:

The two required off-street parking spaces would be located within the proposed garage, which would be accessed by a new driveway located at the southwest corner of the property. A new pedestrian walkway would follow the east side of the proposed driveway and access the main entry to the primary residence.

Grading:

The proposed project includes 275 cubic yards of cut, 255 cubic yards of fill, 14 cubic yards of cut for footings, 680 cubic yards of removal and recompaction for a total aggregate grading quantity of 1,224 cubic yards.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a single-family residence on a vacant residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

Property Frontage and Public Right-of-Way Improvements:

The access for the existing property is currently provided by a private access easement that does not meet the minimum standards for emergency access. In lieu of upgrading the existing access, the Applicants are proposing to wait for construction of the future Bell Ranch Road, which has been assured by permits and bonds but not yet constructed at this time. Prior to the occupancy of this project, Bell Ranch Road must be constructed by the developer of the Ocean Ranch Subdivision and accepted by the City Engineering Department. If Bell Ranch road is not constructed and accepted as a public road prior to occupancy of the proposed development, the Applicant shall submit a request to City Council to modify the DRP and upgrade the existing access to the satisfaction of the Fire Marshal and City Engineer.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on February 15, 2024. Staff has not received any correspondence in support or opposition to the proposed project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2024-002 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures including One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2024-002.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2024-002 conditionally approving the construction of new single-story single-family residence, with an attached garage, and perform associated site improvements at 504 South Nardo Avenue, Solana Beach.

CITY MANAGER’S RECOMMENDATION:

Approve Department Recommendation.

A handwritten signature in blue ink, appearing to read 'Daniel King', written over a horizontal line.

Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-002
2. Project Plans

RESOLUTION 2024-002

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT TO CONSTRUCT A 3,641 SQUARE-FOOT SINGLE-STORY RESIDENCE WITH A 666 SQUARE FOOT ATTACHED GARAGE, AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 504 SOUTH NARDO AVENUE, SOLANA BEACH.

**APPLICANT: OCEAN RANCH ESTATES, LLC
CASE NO.: DRP22-025**

WHEREAS, Ocean Ranch Estates, LLC (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 28, 2024, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP to construct a 3,641 square-foot single family residence with an attached 666 square-foot two-car garage, and perform associated site improvements at 504 South Nardo Avenue, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential in the General Plan and intended for single-family residential development with a maximum density of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Specific Plans and Special Overlays: The property is located in the Scenic Area Overlay Zone (SROZ), which specifies development standards to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character, traditional scale, and seaside orientation of established residential neighborhoods. The project, as designed, complies with the SROZ maximum allowable floor area.

The proposed project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Zoning Ordinance Consistency: SBMC Section 17.20.010(C) specifies that the LR Zone is intended for residential development in areas characterized primarily by detached single-family homes on both older and newer subdivided lots. SBMC Section 17.20.030 outlines property development regulations, which are analyzed below.

Minimum Yards/Setbacks:

Minimum yard dimensions (setbacks) for the LR Zone are determined by the setback designator indicated on the City of Solana Beach Official Zoning Map. The setback designator for the subject property is "c", which requires 25-foot front and rear yard setbacks and 10-foot street and interior side yard setbacks. The proposed residence will be constructed entirely within the buildable area of the property and includes allowable two-foot encroachments into the setbacks for roof eaves. As designed, the project meets all required setbacks.

Maximum Floor Area Ratio:

The maximum allowable floor area calculation for 16,052 square-foot lot is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.100 for 15,000 to 20,000 ft ²	150 ft ²
<hr/> Maximum Allowable Floor Area:	4,680 ft ²

The existing development includes a 3,641 square-foot, single-story single-family residence and a 666 square-foot attached two-car garage. The subtotal of the gross floor area with the project would be 4,307 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. When required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 666 square-foot garage provides two unobstructed parking spaces, and two spaces are required in total for the project; therefore, the project is afforded a 400 square-foot exemption from gross floor area calculation. With the off-street parking exemption, the total gross floor area of the project would be 3,907 square feet, which is 773 square feet below the maximum allowable for the property.

Maximum Building Height:

The maximum building height for the LR Zone is 25 feet. The maximum height of the proposed addition would be 15.83 feet above the existing grade or 204.53 feet above MSL. As a condition of approval, the Applicant would be required to submit a height certification to certify that the proposed living area additions would not exceed 15.83 feet in height (or 204.53 feet above MSL).

Required Off-Street Parking:

A single-family residence requires two off-street parking spaces, pursuant to SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM). A total of two off-street parking spaces are required by the project and two unobstructed 9-foot by 19-foot parking spaces are accommodated in the proposed garage.

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air. Fence and wall height is measured from the pre-existing grade. Currently, the plans show a proposed 6 foot wood fence starting at the west side of the

garage that follows the side yard property line to the rear yard property line, and the eastern side yard property line ending at the exterior of the front bedroom in the southeast corner of the residence. The fence shown on the plans is in compliance with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to comply with the Municipal Code.

Water Efficient Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan. In addition, the City's consultant will perform an inspection during the construction phase of the project.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

- a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property and the surrounding neighborhood are located in the LR Zone. Surrounding properties are also located within the LR Zone and are developed with one- and two-story single-family residences. The property is located immediately northwest of the approved Ocean Ranch Subdivision, which consists of eight LR lots that are intended to be developed with single-family homes after the Tentative Map is recorded. The proposed project is comparatively within range of the existing development in the immediate surrounding neighborhood.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The proposed project includes the construction of a new single-story, single-family residence with an attached garage and site improvements on a vacant lot. The residence is located in the buildable area of the property and will not exceed 16 feet in height as measured from the existing grade. The residence would consist of an open concept kitchen, dining, and great room that has an attached 619 square foot covered patio to the north behind the residence. Off the open concept room there is a den/library, the primary bedroom suite as well as three other bedrooms with their own ensuite bathrooms. The Applicant is also proposing a powder room near the main entry and a laundry room near where the garage has interior access to the kitchen.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The proposed landscape plan also includes two new trees with a mature height of 25 feet located in front of the proposed residence and ground cover.

In addition to complying with the water efficient landscape regulations, the Applicant would also be required to submit a landscape construction plan in substantial conformance with the planting plan presented to the City Council should the City Council approve the project. Generally, any alternative tree and shrub species proposed during the plan check or construction phase shall have the same (or lesser) mature height and location as the planting plan approved by the City Council in order to be approved ministerially by Staff. Otherwise, increases in trees or shrub mature heights or adding new planting locations would require City Council approval of a Modification to the DRP. Additionally, any replaced plant species must be typical of the

water use requirements of the plants replaced, provided that the replaced vegetation does not result in mixing high water use plants with low water use plants in the same hydro-zone. A condition has also been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The two required off-street parking spaces would be located within the proposed garage, which would be accessed by a new driveway located at the southwest corner of the property. A new pedestrian walkway would follow the east side of the proposed driveway and access the main entry to the primary residence.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The Applicant is proposing 275 cubic yards of cut, 255 cubic yards of fill, 14 cubic yards of cut for footings, 680 cubic yards of removal and recompaction for a total aggregate grading quantity of 1,224 cubic yards. The proposed grade would follow the existing topography.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations

of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a single-family residence on a vacant residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant shall obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.
- II. The Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on February 28, 2024, and located in the project file with a submittal date of

November 16, 2023.

- III. Prior to requesting a framing inspection, the Applicant shall be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with City Council approval on February 28, 2024, and that the maximum height of the proposed addition will not exceed 15.83 feet above the existing grade (or 204.53 feet above MSL).
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. The Applicant shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 and in substantial conformance with the approved landscape plan included in the project plans presented to the City Council on February 28, 2024, prior to Building Permit issuance and consistent with the building construction plan. The landscape plan and installation will be reviewed and inspected by the City's third-party landscape professional. Prior to final inspection of the building permit (and occupancy), the landscape installation shall pass inspection by the City's third-party landscape professional.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon

as feasible to the satisfaction of the City.

- IV. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. **RESPONSE MAPS:** Any new development, which necessitates updating of emergency response maps by virtue of new structures, hydrants, roadways or similar features, shall be required to provide map updates in one of the following formats (AutoCad DWG, DXF, ESRI shapefile, ESRI personal geodatabase, or XML format) and shall be charged a reasonable fee for updating all response maps per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.010 Section 104.12.
- II. **CONSTRUCTION MATERIALS:** Prior to delivery of combustible building construction materials to the project site, all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2019 California Fire Code Chapter 33:
1. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
 2. As a minimum, the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 3. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- III. **POSTING OR STRIPING ROADWAYS “NO PARKING FIRE LANE”:** Fire Department access roadways, when required, shall be properly identified as per Solana Beach Fire Department standards. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.170 Section 503 Section 503.3 and 503.4.3.
- IV. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All

roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.

- V. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.210 Section 507 Section 507.5.1 to 507.5.1.02.
- VI. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.
- VII. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.
- VIII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.

C. Engineering Department Conditions:

- I. The access for the existing property is provided by a private access easement that does not meet the minimum standards for emergency

access. In lieu of upgrading the existing access, the Applicant is proposing to wait and use the future Bell Ranch Road, which has not been constructed at this time. Prior to the occupancy of this project, Bell Ranch Road must be constructed and accepted by the City Engineering Department. If Bell Ranch road is not constructed and accepted as a public road prior to final of the building permit for the proposed development, the Applicant shall submit a request to City Council to modify the DRP and upgrade the existing access to the satisfaction of the Fire Marshal and City Engineer.

- II. All right of way improvements are to conform with approved CG-3181 plans.
- III. Per current rates, the Applicant shall pay in full the one-time sewer capacity fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit Issuance. The EDU assignment is determined by SBMC 14.08.060.
- IV. The Applicant shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
 - a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for the detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to the release of the Grading Bond and Security Deposit.

- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development Department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.
- i. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping

sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.

- k. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. No increased cross lot drainage shall be allowed.
- n. Prior to obtaining a building permit, the Applicant shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E. If a demolition permit is required for removing existing structures before grading, the Applicant shall obtain the demolition permit separately in order to certify the grading prior to issuance of the Building Permit.

D. City Council Conditions:

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney’s fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney’s fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 28th day of February, 2024, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



PLAN 4 - APN 298-121-26
DRIFT @ OCEAN RANCH

SHEET INDEX

A.1	COVER SHEET
C.1	SITE PLAN - CIVIL/ARCHITECTURAL
L.1	LANDSCAPE PLANS
A.2	FLOOR PLAN
A.3	FAR CALCULATIONS
A.4	ROOF PLAN
A.5	BUILDING SECTIONS
A.6	BUILDING ELEVATIONS
A.7	BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: 11/06/2023

ATTACHMENT 2

A.1

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
UNDERGROUND S.A. 811
- THE SOILS REPORTS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCES CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL SURFACES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY INCLUDING SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SLITTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE PERMITTEE SHALL BE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 2:1 FILL 2:1
CUT: 250 CY FILL: 250 CY IMPORT: 0 CY
REMEDIAL GRADING: 795 CY± REMOVAL/RECOMPACTION
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)
** THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 859.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL APPROVAL AND/OR RELEASE OF SECURITY, THE GRADING UNDER PERMIT NO. SBGR-391 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN. THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.
LBS/ACRE % PURITY/ACRE SEED SPECIES
20 70% PLUS ATRIPLEX GLAUCA
50 PLANTAGE INSULARIS
8 ENCELIS FARINOSA
6 LOTUS SCOPARIUS
7 ECHSCHOLTZIA CALIF.
91
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS: DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS: SELF FENCING, FIBER ROLL OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE DUST BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

IMPERVIOUS AREA TABULATION

TOTAL EXISTING IMPERVIOUS AREA ON-SITE: 0 SF
TOTAL PROPOSED IMPERVIOUS AREA ON-SITE: 6010 SF
NET INCREASE IN IMPERVIOUS AREA: 6010 SF

REFERENCE DRAWINGS

MAP 1749
FM 3803
SBGR-391
CG-3181

PRELIMINARY GRADING PLAN DRP22-025

LEGAL DESCRIPTION

THE EASTERLY 111' OF THAT PORTION OF LOT 2 IN BLOCK 1 OF SOLANA BEACH ACCORDING TO MAP THEREOF NO. 1749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, 3/5/1982, AND OF THE SW QUARTER OF THE NE QUARTER OF SECTION 2, TOWNSHIP 14 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, APPROVED 1/18/1876.

A.P.N.

298-121-26-00

SITE ADDRESS

S NARDO AVENUE
SOLANA BEACH CA 92075

OWNER/APPLICANT

OCEAN RANCH ESTATES, LLC
3345 MIRA MESA BLVD.
SAN DIEGO CA 92126
(658) 653-5952

TOPOGRAPHIC SURVEY

GENERATED BY AERIAL AND HAND SHOT METHODS, GATHERED IN 2016, 2017 & 2018 BY PASCO LARET SUTTER & ASSOCIATES, 119 ABERDEEN DRIVE CAROLLE, CA 92007 656-259-8212

LOT INFORMATION

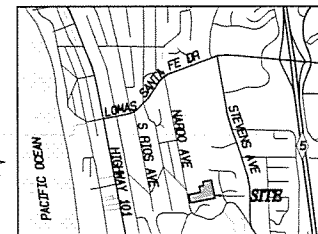
15,052 SF (0.37 AC) GROSS
14,725 SF (0.34 AC) NET

ZONING INFORMATION

GENERAL PLAN DESIGNATION: LFC
PERM CODE 17.20.030.6
MINIMUM PARCEL SIZE: 14,000 SF

PARKING INFORMATION

REQUIRE 2 PROPOSED 3 IN ATTACHED GARAGE



VICINITY MAP
NTS

EARTHWORK QUANTITIES:

- X: GRADING ASSOCIATED WITH PROJECT: 275 CY CUT & 255 CY FILL
 - X: EXCAVATION FOR FOOTINGS: 14 CY±
 - Y: REMOVAL/RECOMPACTION FOR SLABS: 680 CY±
 - Z: TOTAL GRADING: 1,224 CY
- * EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (2% PLACED) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.

AREA CALCULATIONS (SEE SHEET A.2)

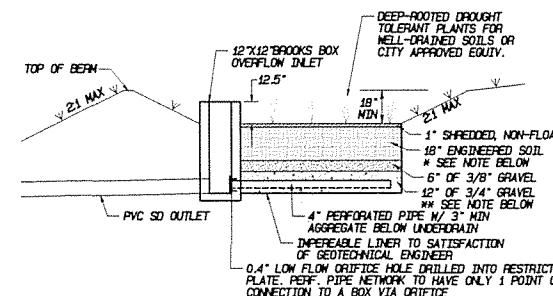
FIRST FLOOR FINISHED AREA	3,620 SF
TOTAL FINISHED AREA	3,620 SF
COVERED PORCH GROSS AREA	666 SF
COVERED OUTDOOR ROOM GROSS AREA	21 SF
GARAGE GROSS AREA	619 SF
TOTAL GROSS AREA	4,926 SF

FAR CALCULATIONS (SEE SHEET A.3)

GROSS LOT AREA	16,052 SF
LIVABLE GROSS AREA	3,620 SF
COVERED PORCH GROSS AREA	619 SF
GARAGE GROSS AREA	666 SF
GARAGE DEDUCT (200 FT. PER SPACE)	-400 SF
TOTAL GROSS BUILDING AREA ALLOWABLE	4,526 SF

	EXISTING (SF)	PROPOSED (SF)
NON-IRRIGATED LANDSCAPE	0	6,010
IRRIGATED LANDSCAPE	14,725	7,426
WATER FEATURES	0	1,289
DECORATIVE HARDSCAPE	0	0
TOTAL LOT AREA	14,725	14,725

	AREA OF WORK (SF)
IRRIGATED LANDSCAPE	1,289
WATER FEATURES	0
DECORATIVE HARDSCAPE	0
AGGREGATE LANDSCAPE AREA	1,289



BIORETENTION BASIN DETAIL
NOT TO SCALE

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

STANDARD SPECIFICATIONS

- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION	SYMBOL
SUBDIVISION BOUNDARY	---
ADJACENT PROPERTY LINE	---
PROPOSED SETBACKS	---
CENTERLINE OF RIGHT-OF-WAY	---
FORM	---
EXISTING SPOT ELEVATION	189.0
EXISTING CONTOUR	---
EXISTING WATER MAIN	W
EXISTING SEWER MAIN	S
EXISTING SPOT ELEVATION	(FS XXX.XX)
PROPOSED SPOT ELEVATION	FS XXX.XX
PROPOSED CONTOUR	---
PROPOSED BUILDING FOOTPRINT	---
PVC DRAINAGE PIPE (SIZE PER PLAN)	=====
DRAINAGE DIRECTION	---
DRAINAGE DITCH	---
PCP PAVING	---
BIORETENTION BASIN	---
SITE WALL PER OTHERS	---
COBBLE RIP-RAP	---
6" FENCE PER LANDSCAPE	---
LIMIT OF PAD	---
8" PVC SEWER MAIN PER CG-3181	---
6" WATER MAIN PER CG-3181	---
1" PVC WATER SERVICE PER CG-3181	---
1" PVC FIRE SERVICE PER CG-3181	---
4" SEWER LATERAL PER CG-3181	---
ROLLED CURB PER CG-3181	---
OG SIDEWALK PER CG-3181	---
CONCRETE PER CG-3181	---

GENERAL NOTES:

- UTILITIES ARE KNOWN TO EXIST IN THE AREA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE.
- TRASH CANS TO BE STORED IN GARAGE

OWNER'S CERTIFICATE

I, _____ AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE TO THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

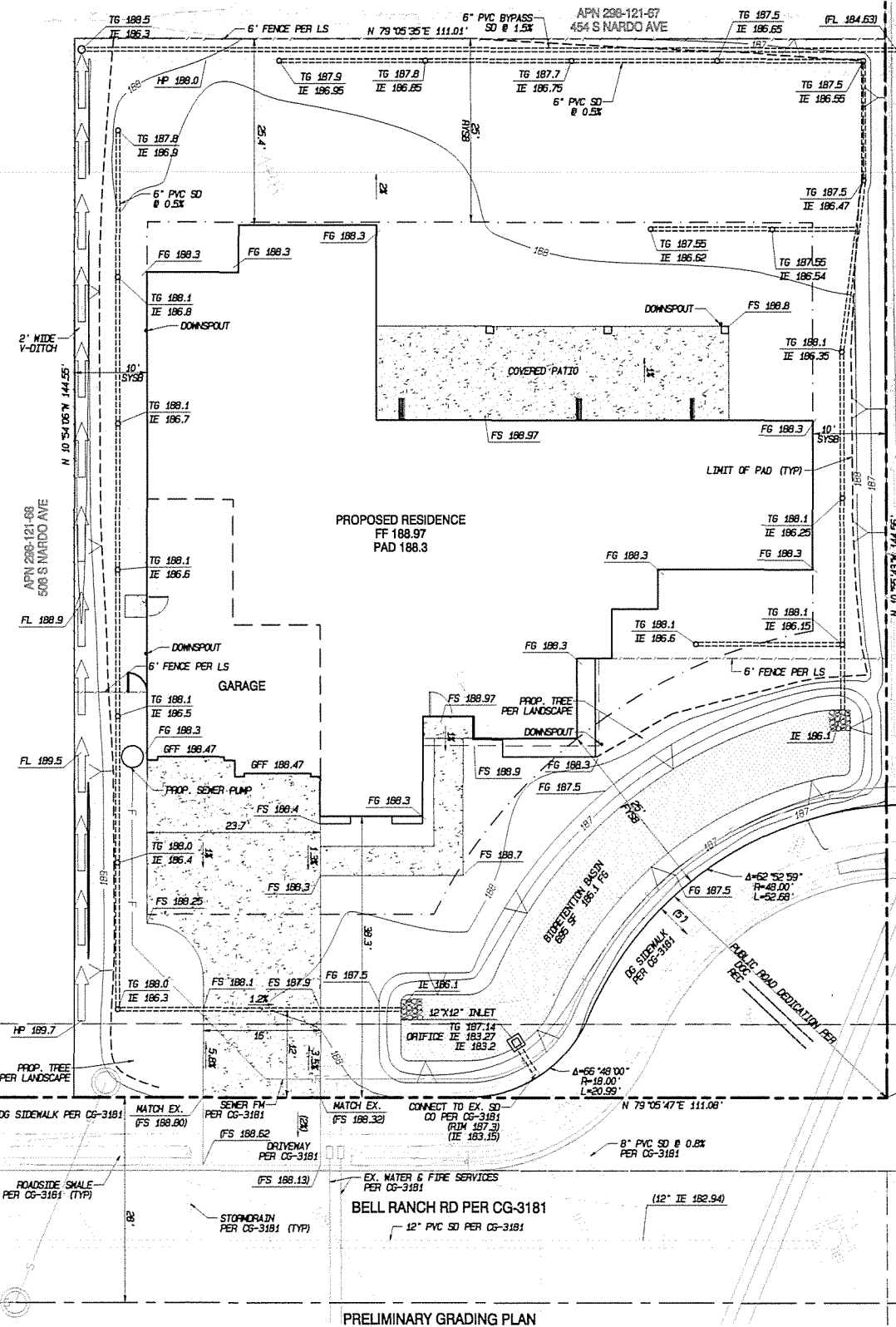
NICHOLAS P. NICHOLAS DATE

DECLARATION OF RESPONSIBLE CHARGE

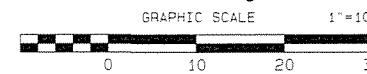
I, _____ HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2016-043.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

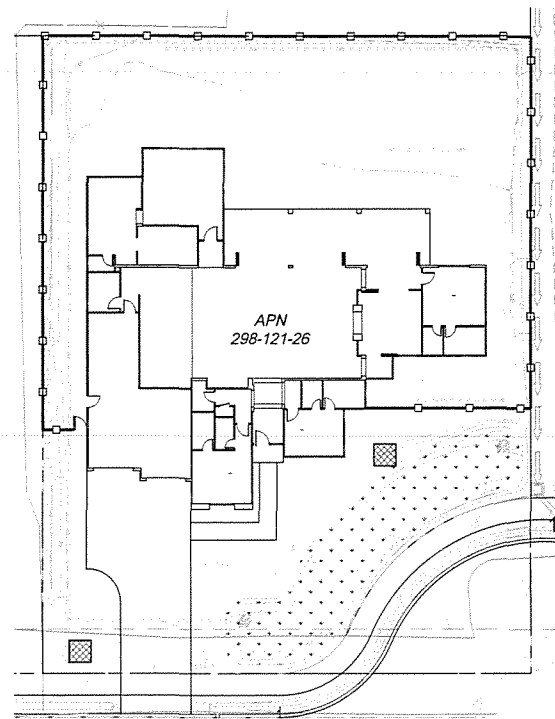
BY: _____
N. JUSTIN SUTTER
RCE No. 68964 EXP 12/31/2023
PASCO LARET SUTTER & ASSOCIATES



PRELIMINARY GRADING PLAN
SCALE: 1"=10'



ENGINEER OF WORK PASCO LARET SUTTER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.pascoengineering.com	CITY APPROVED CHANGES APPD DATE	RECOMMENDED FOR APPROVAL By: _____ Review Engineer	APPROVED FOR CONSTRUCTION By: MOHAMMAD SAMNAK, City Engineer R.C.E. 37146 Date: 6/30/22	BENCH MARK ELEVATION: 2.5' DISC. ON CONCRETE DRAINAGE INLET AT EAST END OF PASELA CT LOCATION: CONCRETE DRAINAGE INLET 800 FEET SOUTHEASTLY OF PASELA ST. IN FRONT OF 754 PASELA CT RECORD FROM: BGS NO. 18971 ELEV.: 107.122 DATUM: NAVD 88	CITY OF SOLANA BEACH APN: 298-121-26-00 S NARDO AVENUE	DRAWING NO. C.1 SHEET 1 OF 1
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WATER CONSERVATION PLAN LEGEND

SYMBOL	ZONE	DESCRIPTION	AREA	%
	1	STREET TREES / LOW WATER USE BUBBLER IRRIGATION	50 S.F.	10%
	2	BIOFILTRATION BASINS / LOW WATER USE / DRIP IRRIGATION	1,234 S.F.	87%

NO RECYCLED WATER USE PROPOSED. THE SITE SHALL HAVE A DEDICATED POTABLE WATER SUB-METER FOR HOMEOWNER LANDSCAPE

Water Conservation Plan

ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = (ETo) \times 0.62 \times [(PF \times HA) / (IE) + SLA]$$

- ETWU - Maximum Applied Water Allowance in gallons per year
- ETo - Evapotranspiration in inches per year
- PF - Plant Factor (see requirements in chart)
- HA - Hydrozone Area (square feet) Define hydrozones by water use: very low, low, moderate and high
- SLA - Special Landscape Area (square feet) Edible plants, irrigated with recycled water, & turf used for active play
- 0.62 - Conversion factor to gallons per square foot
- IE - Irrigation Efficiency (see requirements in chart)

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET						
Line	Hydrozone Number (1-4 Below - use as many tables as necessary to complete all hydrozones)	Hydrozone				SLA
		1	2	3	4	
Evapotranspiration Rate (ETo)* 51.1 for Vista area	1			41		
Conversion Factor - 0.62	2			0.62		
(Line 1 x Line 2)	3			25.42		
Plant Factor (PF)**	4	0.3	0.3			
Hydrozone Area (HA) - in square feet	5	50	1,239			
(Line 4 x Line 5)	6	15	372			
Irrigation Efficiency (IE)***	7	0.75	0.81			
(Line 6 / Line 7)	8	20	459			
TOTAL all Line 8's + SLA	9				479	
Line 3 x Line 9	10					12,173
Estimated Total Water Use - ETWU (gallons per year)						12,173

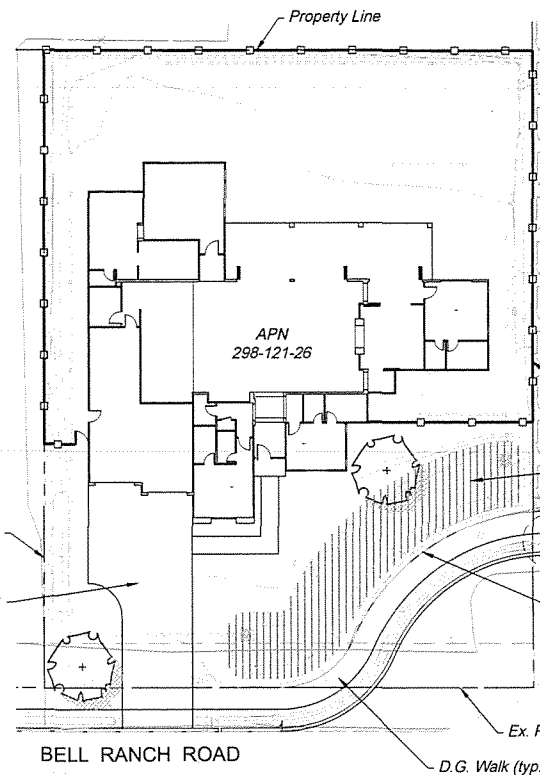
MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation
 ETAF - Evapotranspiration adjustment factor (use .55 residential, .45 non-residential)

$$31,682 [(ETAF \times \dots) / (1-ETAF) \times \dots]$$

MAWA 18,022

WATER CONSERVATION NOTES

- ALL IRRIGATION SHALL INCLUDE EFFECTIVE AND EFFICIENT WATERING METHODS UTILIZING HUNTER MP ROTATOR LOW-FLOW IRRIGATION HEADS AND IN-LINE DRIP TUBING.
- ALL IRRIGATION CONTROLLERS SHALL HAVE AUTOMATIC RAIN SHUT-OFF SENSORS.
- ALL PLANT MATERIAL UTILIZED IS CLASSIFIED AS 'LOW OR MODERATE WATER USE' BY NUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES).
- 100% OF THE LANDSCAPED AREA IS PLANTING ZONE 3, NATURALIZING/TRANSITIONAL.
- ALL PLANTING AREAS SHALL RECEIVE REGULAR MAINTENANCE AND MANAGEMENT DESIGNED TO MAXIMIZE HEALTHY GROWTH.
- ALL PLANTING AREAS SHALL RECEIVE COMPLETE AND APPROPRIATE SOIL PREPARATION.
- ONLY LOW VOLUME OR SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE.
- PLANTING AREAS SHADED BY BUILDINGS SHALL BE AMENDED TO IMPROVE DRAINAGE AND AVOID REMAINING WET BETWEEN IRRIGATION CYCLES.



Planting Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE NUCOLS HEIGHT	ZONE 3
TREES				
	STREET TREE (PRIVATE) - 24" BOX SIZE	Laurus nobilis	20'-30'	L
GROUND COVERS				
	BASIN BIO-FILTRATION GROUND COVER - (1 GAL. AT 2" O.C.)	Carex tumulicola		L
	FOOTHILL SEDGE			

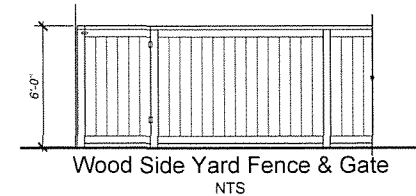
MINIMUM TREE SEPARATION	
IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	10 FEET FROM C.L.
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, UTILITY POLES, ETC.)	8 FEET
FIRE HYDRANTS, MAIL BOXES	5 FEET
DRIVENAYS	10 FEET
STREET LIGHTS	15 FEET
INTERSECTIONS	25 FEET

Landscape Concept Plan

LANDSCAPE AND SLOPE EROSION CONTROL NOTES:

- ALL SLOPES (4:1 OR STEEPER) WILL BE PROVIDED WITH REINFORCED STRAW MATS (SC 150 MANUFACTURED BY NORTH AMERICAN GREEN, 1-800-473-1965, OR CITY APPROVED EQUAL).
- ALL LANDSCAPED AREAS, INCLUDING SLOPES (4:1 OR STEEPER) THAT ARE GRADED OR DISTURBED AS PART OF THIS PROJECT WILL BE PROVIDED WITH PERMANENT IRRIGATION TO MEET CITY REQUIREMENTS.
- NO OVERHEAD IRRIGATION SHALL BE INSTALLED WITHIN 24" OF ANY NON-PERMEABLE SURFACE.
- TREES ARE PROHIBITED WITHIN 10' OF ANY DRIVEWAY.
- PLANT MATERIALS OVER 30" HT. OR WITHOUT AN 8' MINIMUM CLEARANCE ARE PROHIBITED WITHIN STREET INTERSECTION SIGHT TRIANGLES.
- AREAS SHALLOWER THAN 3:1 SHALL RECEIVE 3 INCHES OF BARK MULCH, BIO-FILTRATION BASINS SHALL NOT RECEIVE BARK MULCH. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. PRIVATE STREET TREES SHALL RECEIVE A 40 S.F. MIN AREA OF BARK MULCH.
- ALL SLOPES 4:1 OR GREATER MUST MEET THE FOLLOWING REQUIREMENTS THIS APPLIES TO ALL SLOPES EVEN THOSE NOT SHOWN ON THE PLANS:
 - ALL GRADED SLOPES MUST BE PERMANENTLY IRRIGATED WITH A CENTRALLY CONTROLLED SYSTEM WITH NO OVER SPRAY.
 - GROUND COVERS MUST BE PLANTED FROM LINERS OR FLATS AT 12" O.C. OR 1 GALLONS AT 18" O.C.
 - PROVIDE 1 ONE GALLON SHRUB FOR EACH 100 SF OF SLOPE AND 1 FIVE GALLON SHRUB FOR EVERY 200 SF OF SLOPE.
 - PROVIDE TREES ON ALL SLOPES AT A RATE OF ONE 15 GALLON TREE PER 500 SF OF SLOPE ON ALL SLOPES 5' OR GREATER VERTICAL HEIGHT. ON ALL SLOPES 8' OR GREATER VERTICAL HEIGHT, PROVIDE ON 15 GALLON TREE PER 500 SF OR SLOPE PLUS ONE 5 GALLON TREE PER EACH 1,000SF OF SLOPE.
 - REINFORCED STRAW MATS (SC 150 MANUFACTURED BY NORTH AMERICAN GREEN 1-800-473-1965 OR CITY APPROVED) MUST BE INSTALLED ON ALL SLOPES 3:1 OR GREATER.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET PAVED SURFACES IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOT BALL. ROOT BARRIERS SHALL BE 'BIO-BARRIER'. ALL STREET TREES SHALL RECEIVE ROOT BARRIERS.
- FRONT AND REAR YARD LANDSCAPING SHALL BE INSTALLED BY PRIVATE HOMEOWNER.

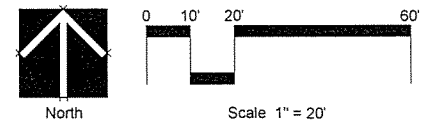
ANY AREAS THAT ARE GRADED OR DISTURBED MUST BE LANDSCAPED OR MULCHED TO PREVENT EROSION. PLANTING AND IRRIGATION MUST COMPLY WITH THE CITY'S WATER EFFICIENT REGULATIONS.



Wood Side Yard Fence & Gate NTS

I am familiar with and agree to comply with the requirements for landscape improvements as described in City of Solana Beach Ordinance 467 - Water Efficient Landscape Regulations, Sec 17.56 SBMC and the Landscape Manual. This plan has been prepared in compliance with those regulations. I certify that the plan implements the regulations to provide efficient landscape water use.

Applicant: *[Signature]* Date: 10-13-2023
 Landscape Architect: *[Signature]* Date: 10-13-2023

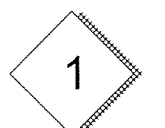


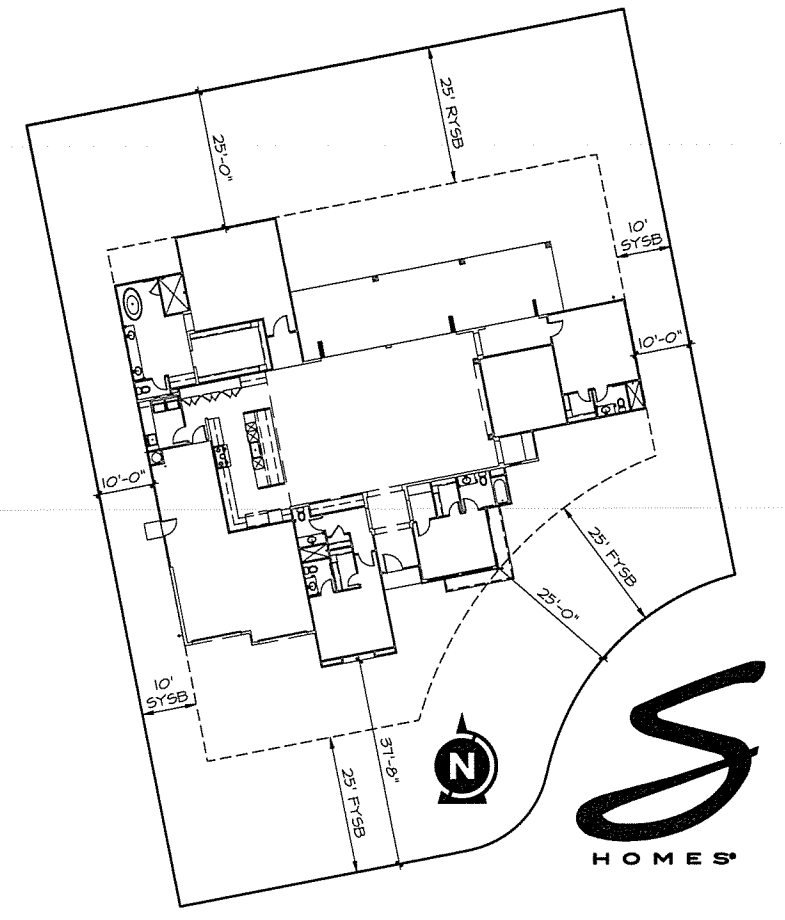
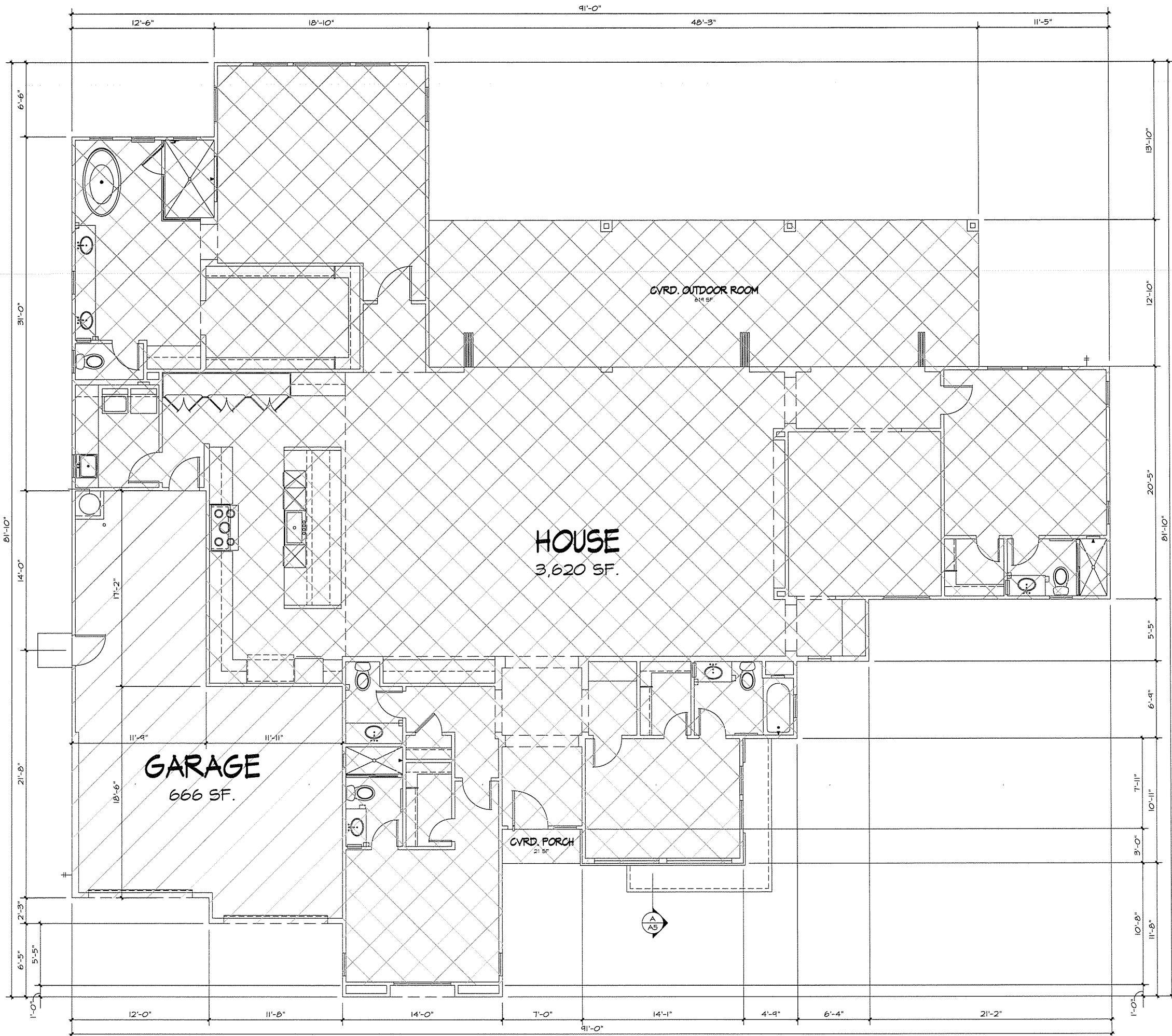
HOWARD ASSOCIATES
 landscape architecture
 1951 Fourth Avenue, #302 San Diego, CA 92101 (619) 718-9660

SHEET TITLE
 LANDSCAPE CONCEPT PLAN

PROJECT NAME
 LOT 9
 Ocean Ranch
 538 S. Nardo Avenue
 Solana Beach, CA 92075

DATE: 11/10/2023
 DRAWN BY: JH/BG
 JOB NUMBER: 21096
 FILE:
 REVISIONS:



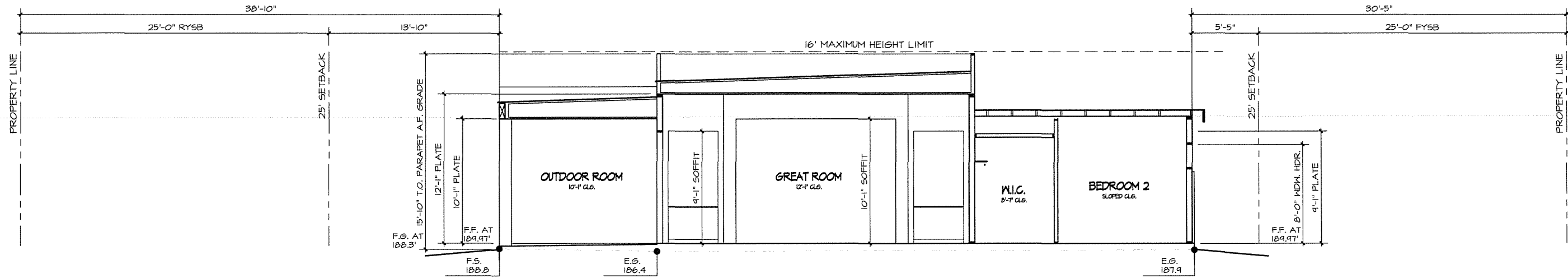


PLAN 4 - APN 298-121-26
DRIFT @ OCEAN RANCH

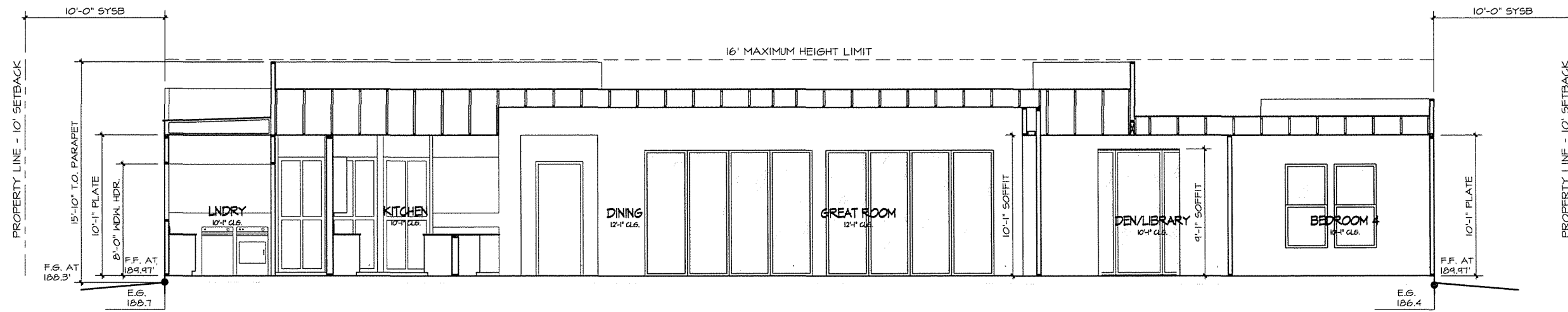
FAR CALCULATIONS	
GROSS LOT AREA	16,052 SF
LIVABLE GROSS AREA	3,620 SF
COVERED PORCH GROSS AREA	27 SF
COVERED OUTDOOR ROOM GROSS AREA	614 SF
GARAGE GROSS AREA	666 SF
GARAGE DEDUCT (200 FT. PER SPACE)	-400 SF
TOTAL GROSS BUILDING AREA	4,526 SF

SCALE: 1/4" = 1'-0"
 DATE: 11/06/2023

A.3



ARCHITECTURAL BUILDING SECTIONS - A



ARCHITECTURAL BUILDING SECTIONS - B

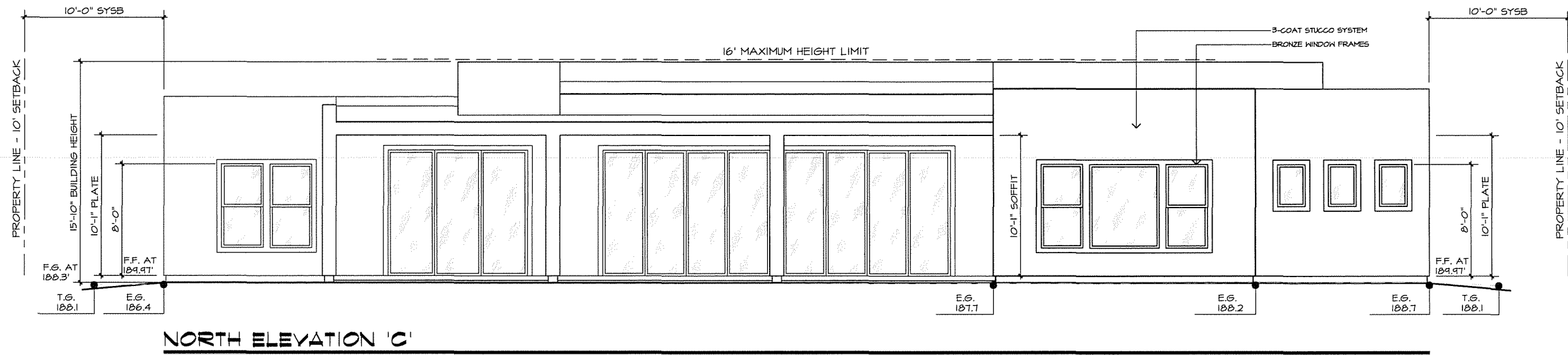


**PLAN 4 - APN 298-121-26
DRIFT @ OCEAN RANCH**

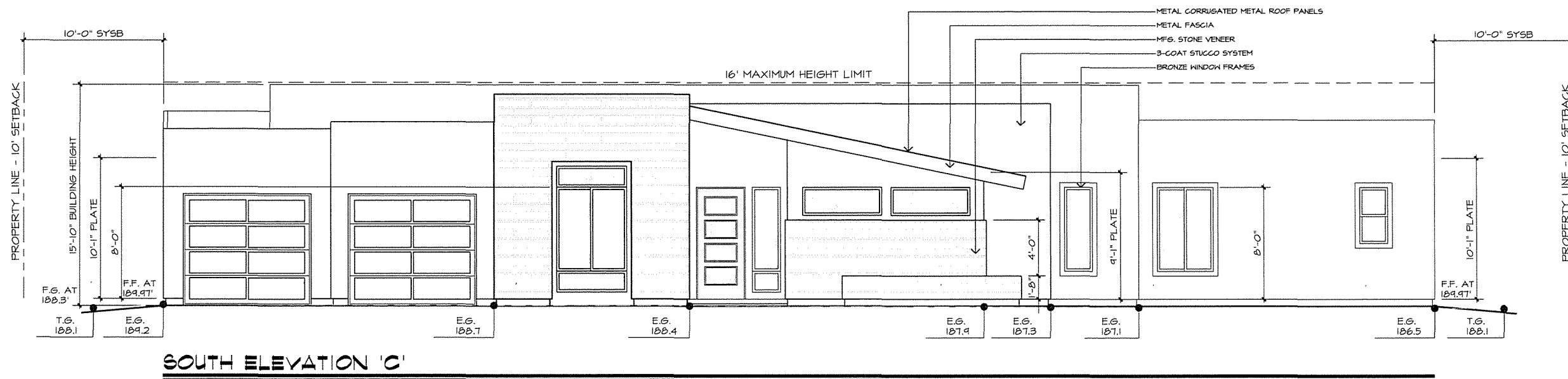
SCALE: 1/4" = 1'-0"

DATE: 11/06/2023

A.5



NORTH ELEVATION 'C'



SOUTH ELEVATION 'C'



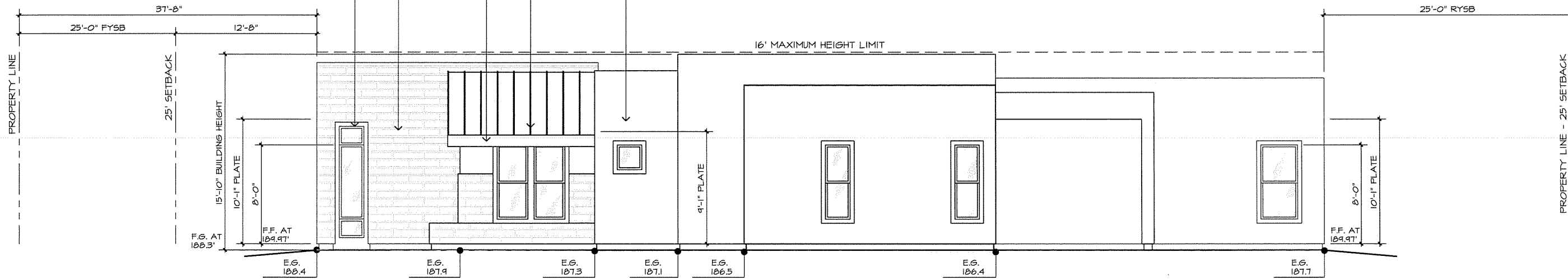
PLAN 4 - APN 298-121-26
DRIFT @ OCEAN RANCH

SCALE: 1/4" = 1'-0"

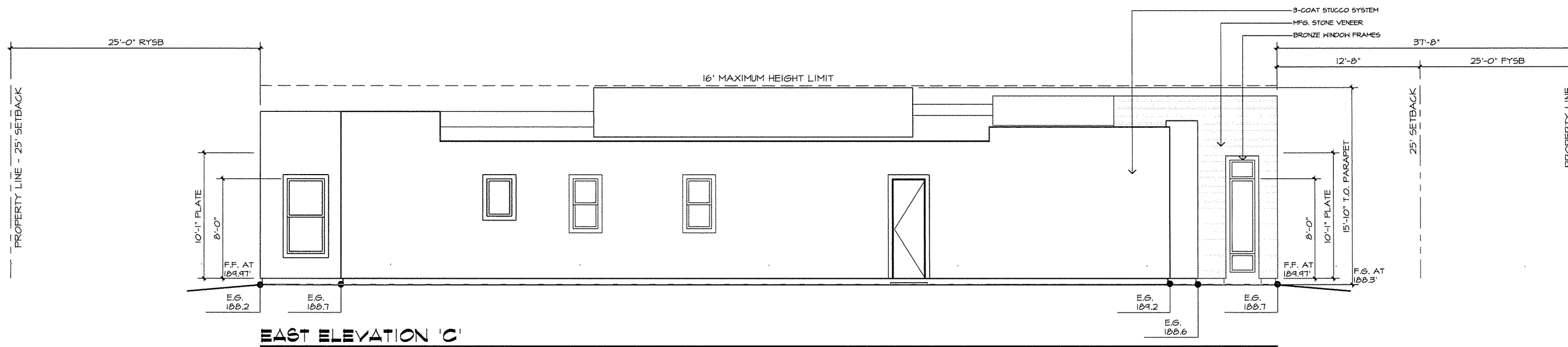
DATE: 11/06/2023

A.6

- 3-COAT STUCCO SYSTEM
- METAL CORRUGATED METAL ROOF PANELS
- METAL FASCIA
- MFG. STONE VENEER
- BRONZE WINDOW FRAMES



WEST ELEVATION 'C'



EAST ELEVATION 'C'



PLAN 4 - APN 298-121-26
DRIFT @ OCEAN RANCH

SCALE: 1/4" = 1'-0"

DATE: 11/06/2023

A.7



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for Development Review Permit and Structure Development Permit to Demolish the Existing Residence and Construct a New Two-Story, Single-Family Residence with a Detached Single-Car Garage and a Subterranean Basement and Perform Associated Site Improvements at 411 N. Acacia Avenue (Case #: DRP22-019, SDP22-017; Applicant: Patrick Lenihan; APN: 263-052-07; Resolution No. 2024-018)**

BACKGROUND:

The Applicant, Patrick Lenihan, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish the existing residence and construct a new two-story, single-family residence with a detached single-car garage and a basement and perform associated site improvements. The 5,721 square-foot lot is located at 411 N. Acacia Avenue within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The Applicant is proposing a 1,487 square foot subterranean basement, a 1,370 square foot main level, a detached 293 square foot main level garage, and a 1,368 square foot second floor. The proposed development includes landscaping and grading in the amount of 32 yd³ cut for site grading, 10 yd³ of fill, 10 yd³ of excavation for footings, 635 yd³ for removal and recompaction, and 667 yd³ of export. The maximum building height of the residence is proposed at 24.83 feet above the proposed grade with the highest pole at 81.63 MSL. The project meets three thresholds for the requirement of a DRP, including: 1) grading in excess of 100 cubic yards, 2) construction in excess of 60 percent of the maximum allowable floor area, and 3) construction of a second story that exceeds 40 percent of the floor area of the first floor. The project requires an SDP because the proposed development exceeds 16 feet in height above existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2024-018 (Attachment 1).

CITY COUNCIL ACTION: <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/> <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/>
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DISCUSSION:

The subject property is located on the west side of N. Acacia Avenue, three properties north of the intersection of N. Acacia Avenue and Cliff Street. The lot is almost a rectangle with just over 55 feet of frontage on N. Acacia Avenue (the eastern property line), a 55-foot rear property line, a 106.03-foot southern property line and a 103.15-foot northern property line. The property is relatively flat and slopes upward approximately one foot as you move west across the lot. The elevation at the front property line is approximately 56.5 feet above Mean Seal Level (MSL) and the rear property line is approximately 57.8 MSL. Currently, the driveway is in the southeastern corner of the lot. Under the proposed project, the driveway would move to the northeastern corner of lot and would extend along the northern property line, behind the proposed residence to the detached one-car garage that is proposed in the rear yard area in the southwest corner of the lot. The other required parking space would be located in the proposed driveway, outside of the required front and side yard setbacks and would be screened by a six-foot fence or wall. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicant’s proposed design.

Table 1																	
LOT INFORMATION																	
Property Address:	411 N Acacia Ave	Zoning Designation: MR (5-7 du/ac)															
Lot Size (Net):	5,721 ft ²	# of Units Allowed: 1 Dwelling Unit, 1 ADU, 1 JADU															
Max. Allowable Floor area:	2,861 ft ²	# of Units Requested: 1 Dwelling Unit															
Proposed Floor area:	2,840 ft ²	<table border="1"> <thead> <tr> <th>Setbacks:</th> <th>Required</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Front (E)</td> <td>25 ft.</td> <td>25 ft.</td> </tr> <tr> <td>Interior Side (N)</td> <td>5 ft.</td> <td>17 ft.</td> </tr> <tr> <td>Interior Side (S)</td> <td>5 ft.</td> <td>5 ft.</td> </tr> <tr> <td>Rear (W)</td> <td>25 ft.</td> <td>25 ft.*</td> </tr> </tbody> </table>	Setbacks:	Required	Proposed	Front (E)	25 ft.	25 ft.	Interior Side (N)	5 ft.	17 ft.	Interior Side (S)	5 ft.	5 ft.	Rear (W)	25 ft.	25 ft.*
Setbacks:	Required		Proposed														
Front (E)	25 ft.		25 ft.														
Interior Side (N)	5 ft.		17 ft.														
Interior Side (S)	5 ft.		5 ft.														
Rear (W)	25 ft.	25 ft.*															
Below Max. Floor area by:	21 ft ²																
Max. Allowable Height:	25 ft.																
Max. Proposed Height:	24.83 ft.																
Highest Point/Ridge:	81.63 MSL																
Overlay Zone(s):	SROZ	* 25 feet to the residence, 5 feet to the garage.															
PROPOSED PROJECT INFORMATION																	
Floor Area Breakdown:		Requested Permits:															
Proposed Subterranean Basement:	1,487 ft ²	DRP: A DRP is required for a structure that exceeds 60% of the maximum allowable floor area, a new second story that exceeds 40% of the existing first floor, and grading that exceeds 100 cubic yards.															
Proposed Main Level:	1,379 ft ²																
Proposed Detached Garage:	293 ft ²	SDP: An SDP is required for a new structure that exceeds 16 feet in height from the existing grade															
Proposed Upper-Level:	1,368 ft ²																
Subtotal:	4,527 ft ²																
Basement Exemption:	- 1,487 ft ²																
Off-Street Parking Exemption:	- 200 ft ²																
Total Floor Area	2,840 ft²																
Proposed Grading: 32 yd ³ cut for site grading, 10 yd ³ of fill, 10 yd ³ of excavation for footings, 635 yd ³ for removal and recompaction, and 667 yd ³ of export																	
Proposed Parking: 1-Car Garage		Existing Development:															
Proposed Fences and Walls: Yes		Single-Family Residence and a detached Garage to be demolished and replaced															
Proposed Accessory Structure: Garage																	

The following is a discussion of the findings for a DRP and SDP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2024-018.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for a structure that exceeds 60% of the maximum allowable floor area. The total floor area proposed is 2,840 square feet and 2,861 is the maximum. Therefore, the proposal is 99% of the allowable floor area. In addition, the total square footage of the second floor will exceed 40% of the floor area of the first floor.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2024-018 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP.

In addition to meeting zoning requirements, the project must also be found in compliance with the development review criteria. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the MR Zone. Surrounding properties are also located within the MR Zone and are developed with one- and two-story, single-family residences.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for detached single-family residences developed at a maximum density of five to seven (5-7) dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this report. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

Building and Structure Placement:

The site is currently developed with a 1,042 square-foot single-family residence and a detached garage. The Applicant is proposing to demolish the existing residence and construct a new 2,840 square foot, single family residence with a subterranean basement and a second floor as well as a 293 square foot detached single-car garage.

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. The proposed residence would have a basement consisting of a bedroom suite, bonus room, gym, powder room and mechanical room. Pursuant to the SROZ regulations, the basement is considered a subterranean basement because the lower of existing or proposed grade adjacent to the basement level is not more than three feet lower than the finished floor of the main level. Therefore, the entire 1,487 square foot basement level can be exempt from the calculation of FAR.

The 1,379 square foot main level would consist of a kitchen, laundry room, great room, powder room, and office. The 1,368 square foot second floor would consist of the primary bedroom suite, two additional bedroom suites, an additional laundry room and two balconies totaling 342 square feet in area.

The SBMC parking regulations require two (2) off-street parking spaces, 9' x 19' clear, per single-family residence. The SBMC sections 17.48.040 and 17.20.030 indicate that when required parking spaces are provided within a garage, up to 200 square feet of floor area is exempted for each required space. The Applicant is proposing to construct a detached 293 square foot one-car garage in the rear yard area. The other parking space would be within the rear yard setback area on the proposed driveway, screened by a

proposed 6-foot fence. As designed, the garage would provide one (1) required parking space, therefore, the project is afforded a 200 square-foot exemption.

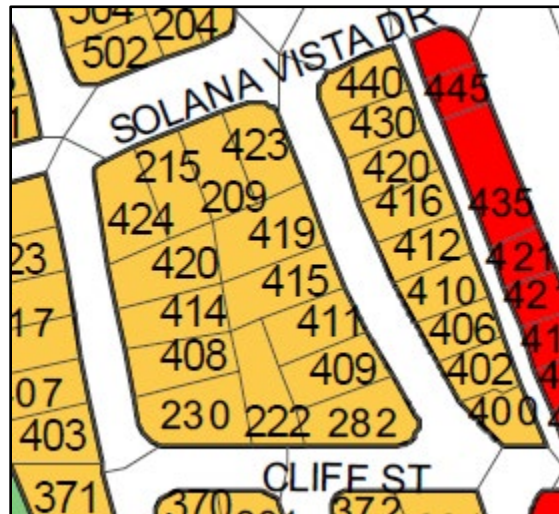
The maximum floor area for a lot of 5,721 square feet would be calculated as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
Total Allowable Floor area:	2,861 ft ²

The proposed residence including the 1,487 square foot basement exemption and the 200 square foot garage exemption would have proposed floor area of 2,840 square feet which is 21 square feet below the maximum allowable FAR. In addition, the proposed design meets the minimum required setbacks and the maximum building height for the property.

Neighborhood Comparison:

Staff compared the proposed project to 22 other properties within the surrounding area. This area includes properties along both sides of N. Acacia Avenue and the east side of Pacific Avenue between Solana Vista Drive and Cliff Street as shown on the following map:



The properties evaluated in this comparison are located in the MR Zone and the SROZ. The existing homes range in size from 983 square feet to 4,816 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage but including the basement as follows:

Project Gross Building Area:	4,527 ft ²
Delete Garage:	- 293 ft ²
Project Area for Comparison to Assessor's Data:	4,234 ft ²

Table 2, below, is based upon the County Assessor’s data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft ² (GIS)	Existing ft ² Onsite (Assessor’s)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	230 Cliff Street	9,625	2,061		3,459	MR
2	222 Cliff Street	6,900	3,242		3,158	MR
3	282 Cliff Street	7,100	2,691		3,193	MR
4	400 N Acacia Ave	5,400	1,656		3,070	MR
5	402 N Acacia Ave	4,366	2,058		2,183	MR
6	406 N Acacia Ave	4,324	1,841		2,162	MR
7	409 N Acacia Ave	4,900	1,716		2,450	MR
8	410 N Acacia Ave	6,040	1,424		3,007	MR
9	411 N Acacia Ave	5,721	1,042	4,234	2,861	MR
10	412 N Acacia Ave	5,000	2,464		2,500	MR
11	415 N Acacia Ave	7,000	4,816		3,175	MR
12	416 N Acacia Ave	5,000	1,764		2,500	MR
13	419 N Acacia Ave	8,500	3,208		3,438	MR
14	420 N Acacia Ave	5,000	1,046		2,500	MR
15	423 N Acacia Ave	6,166	3,238		3,029	MR
16	430 N Acacia Ave	5,000	983		2,500	MR
17	440 N Acacia Ave	5,400	1,646		3,070	MR
18	209 Solana Vista Dr	6,000	1,076		3,000	MR
19	215 Solana Vista Dr	6,000	1,080		3,000	MR
20	408 Pacific Ave	6,000	2,165		3,000	MR
21	414 Pacific Ave	6,000	3,155		3,000	MR
22	420 Pacific Ave	7,300	1,986		3,228	MR
23	424 Pacific Ave	7,100	1,026		3,193	MR

Fences, Walls and Retaining Walls:

Within the front yard setback, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional 2 feet that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to 6 feet in height with an additional 2 feet that is 50% open to light and air.

The Applicant is proposing to construct a new 6-foot fence along the southern property line, at the southwestern corner of the property along the western property line to the northwestern corner the fence will be a combination retaining wall with a fence on top that

will not exceed 6 feet in height. Along the northern property line, the Applicant proposes to maintain the existing 6-foot fence.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval requires compliance with the Municipal Code.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan. In addition, the City's consultant will perform an inspection during the construction phase of the project.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. Currently, the property is accessed from the southeastern corner of the lot. With the proposed design, the proposed driveway would move to the northeast corner of the lot and would follow the northern property line behind the proposed residence to the southwest corner of the property where the new single-car detached garage is proposed to be constructed. The second required parking space would be located on the proposed driveway within the rear yard setback so screening from a 6-foot-tall fence or wall is required. The Applicant is also proposing the construction of a paved pedestrian entry walkway south of the driveway in the required front yard setback to the proposed front entry of the residence. A fenced trash enclosure is proposed on the northwest corner of the residence outside of the required setbacks.

The project would provide one parking space inside the proposed 293 square foot detached garage and therefore would be afforded a 200 square-foot exemption.

Grading:

The project includes grading in the amount of 32 yd³ cut for site grading, 10 yd³ of fill, 10 yd³ of excavation for footings, 635 yd³ for removal and recompaction, and 667 yd³ of export. The excavation and export are required for the construction of the fully subterranean basement level and proposed lightwells for egress.

The site grading is proposed to relocate the driveway, provide a paved pedestrian entry and other site improvements including landscaping and other hardscape.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of demolition of an existing single-family residence and the construction of a new residence with a detached garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite and the Story Pole Height Certification was issued by a licensed land surveyor on October 16, 2023, which showed the highest story pole certified at 81.63 MSL and 24.83 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on January 3, 2024. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed residence will not exceed 24.83 ft. or 81.63 MSL above the proposed grade, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary findings to approve the project.

Property Frontage and Public Right-of-Way Improvements

The existing property frontage is improved with curb, gutter and sidewalk. There is also a picket fence immediately behind the sidewalk. This fence is proposed to be removed from the public right of way. If approved, the Applicant will repair any damaged curb, gutter and sidewalk. A 12-foot-wide driveway approach conforming to City standards would also be required. The Applicant will be required to maintain their property frontage improvements under an Encroachment Maintenance and Removal Agreement.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the Public Hearing. The same public notice was mailed

to property owners and occupants within 300 feet of the proposed project site on February 15, 2024. As of the date of preparation of this Staff Report, Staff has not received any formal correspondence from neighbors or interested parties in support of, or in opposition to, the proposed project.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2024-018 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in the italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. Additionally, as a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2024-018.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2024-018 conditionally approving a DRP and SDP to construct a new 2,840 square foot, single-family residence with a subterranean basement and a detached garage and perform associated site improvements at 411 N. Acacia Avenue, Solana Beach.

CITY MANAGER’S RECOMMENDATION:

Approve Department Recommendation.



Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-018
2. Project Plans

RESOLUTION 2024-018

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH THE EXISTING STRUCTURES ONSITE AND CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE WITH A SUBTERRANEAN BASEMENT AND A DETACHED SINGLE-CAR GARAGE AND PERFORM ASSOCIATED SITE IMPROVEMENTS AT 411 N. ACACIA AVENUE, SOLANA BEACH.

**APPLICANTS: PATRICK LENIHAN
CASE NO.: DRP22-019/SDP22-017**

WHEREAS, Patrick Lenihan (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 28, 2024, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, the City Council found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish the existing residence and construct a new 2,840 square foot, two story, single-family residence with a 293 square foot detached garage, a subterranean basement, and perform associated site improvements at 411 N. Acacia Avenue is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential in the General Plan and intended for single-family residential development with a maximum density of 5-7 dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (LMR) Zone and cited by SBMC Section 17.020.030.

The project meets the minimum number of off-street parking spaces and the required front-, side- and rear-yard setbacks and is below the maximum allowable structure height and gross floor area for the property.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and complementary to existing development in the immediate vicinity of the project site and the surrounding neighborhood. The development as proposed shall also be compatible in scale, apparent bulk, and massing with such existing development in the surrounding neighborhood. Site planning on or near the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects.*

The property is located within the MR Zone. Properties to the north, south, east, and west are also located within the MR Zone.

Surrounding properties are developed with one- and two-story, single-family residences.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for detached single-family residences developed at a maximum density of five to seven (5-7) dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this resolution. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed to minimize adverse impacts on the surrounding properties and designed in a manner which visually and functionally enhance their intended use and complement existing site topography. Multi-family residential buildings shall be sited to avoid crowding and to allow for a functional use of the space between buildings.*

The site is currently developed with a 1,042 square-foot single-family residence and a detached garage. The Applicant is proposing to demolish the existing residence and construct a new 2,840 square foot, single family residence with a subterranean basement and a second floor as well as a 293 square foot detached single-car garage.

The MR Zone requires a 25-foot front-yard setback, 25-foot rear-yard setback and 5-foot interior side-yard setbacks. The proposed residence would have a basement consisting of a bedroom suite, bonus room, gym, powder room and mechanical room. Pursuant to the SROZ regulations, the basement is considered a subterranean basement because the lower of

existing or proposed grade adjacent to the basement level is not more than three feet lower than the finished floor of the main level. Therefore, the entire 1,487 square foot basement level can be exempt from the calculation of FAR.

The 1,379 square foot main level would consist of a kitchen, laundry room, great room, powder room, and office. The 1,368 square foot second floor would consist of the primary bedroom suite, two additional bedroom suites, an additional laundry room and two balconies totaling 342 square feet in area.

The SBMC parking regulations require two (2) off-street parking spaces, 9' x 19' clear, per single-family residence. The SBMC sections 17.48.040 and 17.20.030 indicate that when required parking spaces are provided within a garage, up to 200 square feet of floor area is exempted for each required space. The Applicant is proposing to construct a detached 293 square foot one-car garage in the rear yard area. The other parking space would be within the rear yard setback area on the proposed driveway, screened by a proposed 6-foot fence. As designed, the garage would provide one (1) required parking space, therefore, the project is afforded a 200 square-foot exemption.

The maximum floor area for a lot of 5,721 square feet would be calculated as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
Total Allowable Floor area:	2,861 ft ²

The proposed residence including the 1,487 square foot basement exemption and the 200 square foot garage exemption would have a proposed floor area of 2,840 square feet, which is 21 square feet below the maximum allowable FAR. In addition, the proposed design meets the minimum required setbacks and the maximum building height for the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. To the maximum extent practicable, landscaping and plantings shall be used to screen parking areas, storage areas, access roads, and other service uses of the site. Trees and other large plantings shall not obstruct significant views when installed or at maturity. Drought tolerant plant materials and water conserving irrigation systems shall be incorporated into all landscaping plans.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check, or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the approved plan. In addition, the City's consultant will perform an inspection during the construction phase of the project.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. Currently, the property is accessed from the southeastern corner of the lot. With the proposed design, the proposed driveway would move to the northeast corner of the lot and would follow the northern property line behind the proposed residence to the southwest corner of the property where the new single-car detached garage is proposed to be constructed. The second required parking space would be located on the proposed driveway within the rear yard setback so screening from a 6-foot-tall fence or wall is required. The Applicant is also proposing the construction of a paved pedestrian entry walkway south of the driveway in the required front yard setback to the proposed front entry of the residence. A fenced trash enclosure is proposed on the northwest corner of the residence outside of the required setbacks.

The project would provide one parking space inside the proposed 293 square foot detached garage and therefore would be afforded a 200 square-foot exemption.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned*

and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.

The project includes grading in the amount of 32 yd³ cut for site grading, 10 yd³ of fill, 10 yd³ of excavation for footings, 635 yd³ for removal and recompaction, and 667 yd³ of export. The excavation and export are required for the construction of the fully subterranean basement level and proposed lightwells for egress.

The site grading is proposed to relocate the driveway, provide a paved pedestrian entry and other site improvements including landscaping and other hardscape.

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures shall comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of demolition of an existing single-family residence and the construction of a new residence with a detached garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicant will be required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including the Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicant shall obtain approval from the California Coastal Commission prior to issuance of Building or Grading Permits.

- B. In accordance with Chapter 17.63 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite and the Story Pole Height Certification was issued by a licensed land surveyor on October 16, 2023, which showed the highest story pole certified at 81.63 MSL and 24.83 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on January 3, 2024. No applications for View Assessment were received. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

A condition of approval has been added to the Draft Resolution of Approval (Attachment 1) to require that the Applicant submit a height certification prepared by a licensed land surveyor prior to the framing inspection certifying that the maximum height of the proposed residence will not exceed 24.83 ft. or 81.63 MSL above the proposed grade, which is the maximum proposed structure height reflected on the project plans, should the City Council make the necessary findings to approve the project.

V. CONDITIONS:

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.

- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on February 28, 2024, and located in the project file with a submittal date of February 20, 2024.
- III. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.
- IV. Prior to requesting a framing inspection, the Applicant shall be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with City Council approval on February 28, 2024, and that the maximum height of the proposed residence will not exceed 24.83 feet above the proposed grade or 81.63 feet above MSL, which is the maximum proposed structure height reflected on the project plans.
- V. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- VI. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a grading or building permit.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC 17.60.060.
- IX. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.
- X. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on N. Acacia Avenue and minimize impact to the surrounding neighbors.

XI. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.

B. Fire Department Conditions:

- I. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 503.6. All Knox Box products shall be purchased through the Solana Beach Fire website.
- II. CONSTRUCTION MATERIALS: Prior to delivery of combustible building construction materials to the project site all the following conditions shall be completed to the satisfaction of the Solana Beach Fire Department and per the 2022 California Fire Code Chapter 33:
 1. All wet and dry utilities shall be installed and approved by the appropriate inspecting department or agency.
 2. As a minimum, the first lift of asphalt paving shall be in place to provide a permanent all-weather surface for emergency vehicles; and
 3. Water supply for fire protection (fire hydrants and standpipes) shall be installed, in service and accepted by the Fire Department and applicable water district.
- III. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per the 2022 California Fire Code Chapter 5 Section 503.4 and 503.2.1.
- IV. FIRE HYDRANTS AND FIRE FLOWS: The Applicant shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 507.5.1 to 507.5.1.02.
- V. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and

at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2022 California Fire Code Chapter 5 Section 505.1.

- VI. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2 (NEW) or Section 903.2.01 (ADDITIONS, REMODELS) or Section 903.2.02 (NEW COMMERCIAL).
- VII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2022 California Building Code Chapter 15 Section 1505.
- VIII. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per Solana Beach Fire Department requirements and per the 2022 California Fire Code Chapter 12 Section 1204.
- IX. Basement:
- All basements shall be designed and equipped with emergency exit systems consisting of operable windows, window wells or exit door that's leads directly outside via staircase and exit door or exit door at grade.
 - Window wells/Light wells that intrude into side yard or backyard setbacks of five feet or less, shall require a hinged grating covering the window well/lightwell opening. The grating shall be capable of supporting a weight of 250lb person; yet must be able to be opened by someone of minimal strength with no special knowledge, effort or use of key or tool. Any modification of previously approved plans related to this condition shall be subject to re-submittal and review by City Staff (Fire, Building, Planning)

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for any work performed in the public right of way. This includes, but is not limited to, removal of the existing driveway and construction of the proposed concrete driveway apron, removal of the existing fence, installation of under sidewalk drain and repairs to damaged curb, gutters and sidewalks.
- II. An Encroachment Maintenance Removal Agreement (EMRA) shall be recorded against this property for all improvements in the public right of way including, but not limited to, the 5-foot wide decomposed granite (DG) area, under sidewalk drain, landscaping and irrigation.
- III. Stormwater best management practices shall be developed and implemented to manage stormwater and non-stormwater discharges from the site at all times during construction of the project. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during construction. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- IV. The Applicant shall provide a drainage study and storm water management plan prepared by a registered civil engineer that addresses the following storm water issues. A Miscellaneous Engineering Permit will be required before a building permit can be issued.
 - a. A detention area for the added impervious area is required. This detention area must show the detention location and the outflow characteristics. The detention area shall be sized to accommodate the increase in runoff generated on the property due to the new impervious area. An easement shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity
 - b. The drainage study shall indicate the amount of impervious area proposed to be added by the project. The study shall also detail where new impervious areas will be added and where existing impervious areas will be converted to pervious areas.
 - c. Construction best management practices (BMPs) and the general drainage pattern of the property need to be shown on the site plan.

- d. Roof drains need to flow into landscaped areas before being collected and draining to the street. All roof drains (both existing and proposed) for the property must be shown on the site plan.
- V. The Applicant shall record a Hold Harmless Agreement prior to Final Inspection of the Building Permit. The document will hold the City of Solana Beach harmless in case of a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property. The Applicant shall record the Hold Harmless Agreement document prior to Final Inspection of the Building Permit.
- VI. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VII. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

D. City Council Conditions:

I.

IV. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

V. EXPIRATION

The Development Review Permit for the project shall expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VI. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this

development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 28th day of February, 2024, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

LENIHAN RESIDENCE

□ Indicate the amount of grading in cubic yards for cut, fill, re-compaction and cut for footings as follows:

W C.Y. - Site Grading.
 X C.Y. - Excavation for the footings of new construction.
 Y C.Y. - Removal and Re-Compaction for construction.
 Z C.Y. - Total Grading (W + X + Y).

□ Provide a breakdown of the property square footage as follows:

	Existing (SF)	Proposed Total (SF)
Non-landscaped Area*		4,220
Non-irrigated Landscape*		0
Irrigated Landscape		1,416
Water Features	0	0
Decorative Hardscape*	0	0
Total Lot Area	5,222	5,222

	Area of Work (SF)
Irrigated Landscape	1,416
Water Features	0
Decorative Hardscape*	0
Aggregate Landscape Area*	1,416

(WATER USE CAN INCLUDE 212 S.F. OF PAVEMENT (GRASSY AREA))

New development projects: If aggregate landscape area > 500 sf, a landscape package is required. Rehabilitated Landscape: If aggregate landscape area > 2,500 sf, a landscape package is required.

* A landscaped area does not include the footprint of a building, docks, patio, sidewalk, driveway, parking lot, or other hardscape that does not meet the criteria in SB340, 17.55.150.
 * An area without irrigation designated for nondevelopment such as designated open space area with existing native vegetation.
 * A design element where open water performs an aesthetic or recreational function. A water feature includes a pond, lake, waterfall, fountain, artificial streams, spa and swimming pool.
 * Rock and stone or previous design features, such as decomposed granite ground cover, that are adjacent to a vegetated area.
 * Area of replacement and/or new irrigated landscape, water features, and/or decorative hardscape associated with the project.

2. Floor Plans

The floor plan shows the use, location and the size of the interior spaces in a building. All dimensions must be measured from the exterior wall surfaces.

□ Dimension the entire floor plan showing the dimensions to the exterior finished surface of the structure.
 □ Label the use of all existing and proposed areas, including living room, bedrooms, baths, kitchen, hallways, etc.
 □ All entrance and exit points, including doors, windows, stairways, etc.
 □ All enclosed and/or covered parking areas.
 □ On a separate sheet, shade and dimension all areas that have been included in the FAR. A note needs to be on the plans stating "All dimensions are measured from the exterior wall surfaces."
 □ Provide the required setback lines on each floor plan.

January 2020 Page 7 of 26

PROJECT TEAM

OWNER/APPLICANT:
 PATRICK LENIHAN
 415 NORTH ACACIA
 SOLANA BEACH, CA 92075

ARCHITECT:
 JOHN P. JENSEN ARCHITECT
 130 S. GEDROS #220
 SOLANA BEACH, CA 92075
 P: (858) 756-2526 PHONE
 jjensen@johnjensenarchitect.com

GENERAL CONTRACTOR:
 TBD

LANDSCAPE ARCHITECT:
 AHLES LANDSCAPE ARCHITECT
 STEVE AHLES #2538
 RANCHO SANTA FE, CA 92057
 P: (858) 756-8963
 steve@ahlesland.com

ENERGY CONSULTANT:
 TBD

STRUCTURAL ENGINEER:
 TBD

GOVERNING CODES

THESE PLANS SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND THE FOLLOWING COUNTY OF SAN DIEGO AMENDMENTS:

- 2019 SOLANA BEACH MUNICIPAL CODE
- 2019 CALIFORNIA RESIDENTIAL CODE AND/OR 2019 CALIFORNIA BUILDING CODE AS APPLICABLE.
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

BEDROOM AREA TABLE

	PROPOSED AREA (SF)
BEDROOM 1	144 S.F.
BEDROOM 2	140 S.F.
BEDROOM 3	205 S.F.
MASTER BEDROOM	300 S.F.

NOTE: BEDROOM AREA ONLY INCLUDES LIVING/SLEEPING AREA, NOT CLOSETS

SHEET INDEX

SHEET #	TITLE
ARCHITECTURAL	
TS	TITLE SHEET
A-1	1"=20'-0" SITE PLAN/BMP PLAN
A-2	1/8"=1'-0" FLOOR PLAN
A-2.1	1/4"=1'-0" ENLARGED FLOOR PLAN
A-2.2	1/4"=1'-0" ENLARGED FLOOR PLAN
A-2.3	1/4"=1'-0" ENLARGED FLOOR PLAN
A-3	1/8"=1'-0" ROOF PLAN
A-4	1/4"=1'-0" WEST /EAST ELEVATIONS
A-4.1	1/4"=1'-0" NORTH / SOUTH ELEVATIONS
A-6	1/4" = 1'-0" BUILDING SECTIONS

CIVIL

C-1	GRADING PLAN
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LANDSCAPE

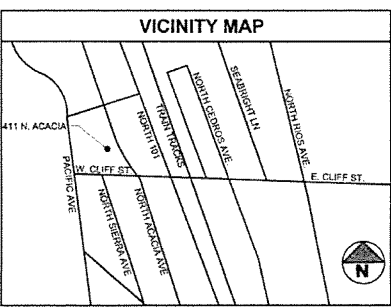
L-1	WATER CONSERVATION PLAN
L-2	PLANTING PLAN

SCOPE OF WORK

NEW TWO STORY SINGLE FAMILY HOUSE WITH BASEMENT AND DETACHED GARAGE

SCOPE OF WORK

NEW TWO STORY SINGLE FAMILY HOUSE WITH BASEMENT AND DETACHED GARAGE



PROJECT INFORMATION

OWNER: PATRICK LENIHAN
 415 NORTH ACACIA
 SOLANA BEACH, CA 92075

SITE ADDRESS: 411 NORTH ACACIA
 SOLANA BEACH, CA 92075

A.P.N.: 263-052-07-00

LEGAL DESCRIPTION: TR 2143 BLK 4' LOT 11 *

OCCUPANCY: R-3

TYPE OF CONSTRUCTION: VB

YEAR CONSTRUCTED:

TYPE OF FIRE SPRINKLERS: NFPA13D

ZONING: Sro2
LOT AREA: (.13 AC) 5,721 S.F.

ZONING INFORMATION

BASE ZONE: MRD

SETBACKS:	REQUIRED	PROPOSED
FRONT:	25'-0"	25'-0"
SIDE YARD (N):	5'-0"	17'-0"
SIDE YARD (S):	5'-0"	5'-0"
REAR:	25'-0"	25'-0"

MAXIMUM BUILDING HEIGHT: 25'-0"
 (From Grade, subject to daylight plane height limitation subsection H)

MAXIMUM DWELLING UNIT DENSITY: 0-2 DWELLING UNITS/ NET AREA

MAXIMUM FLOOR AREA RATIO:

50 FIRST 6,000 S.F.	(3,000 S.F.)
TOTAL MAX FLOOR AREA & ALLOWED:	(2,860 S.F.)

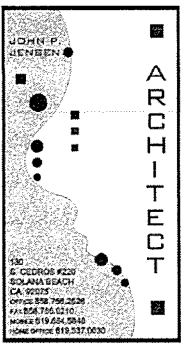
PROJECT FAR CALCULATIONS:

BASEMENT LIVING AREA: -1,487 S.F. (excluded from FAR)
DETACHED GARAGE AREA: 292.67 S.F.
FIRST FLOOR LIVING AREA: 1,379.25 S.F.
SECOND FLOOR LIVING AREA: 1,356.25 S.F.
SUBTOTAL GROSS FLOOR AREA: 3,038.17 S.F.

BALCONY AREA (NOT PART OF GFA): 342 S.F.

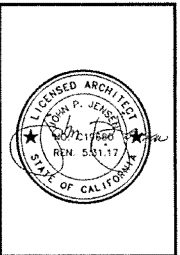
GARAGE FAR EXEMPTION: -200 S.F. (excluded from FAR)

TOTAL FLOOR AREA PROPOSED: 2,838.17 S.F.
MAX FLOOR AREA ALLOWED: 2,860.5 S.F.



PLOT DATE

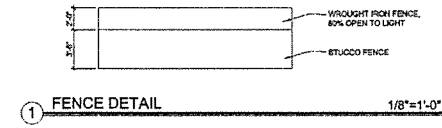
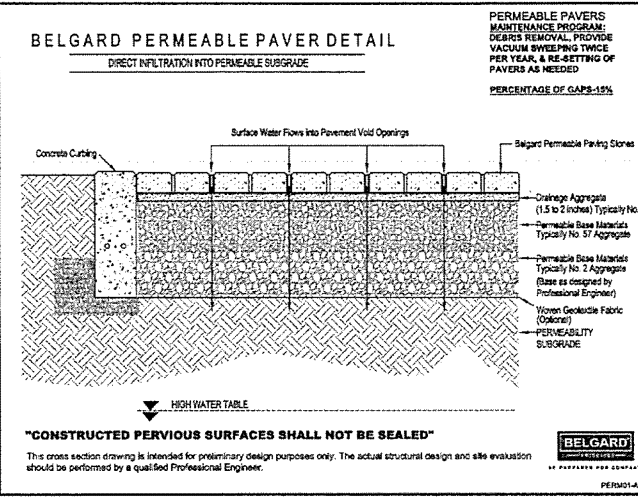
REVISIONS



LENIHAN RESIDENCE

411 NORTH ACACIA
 SOLANA, CA 92075
 A.P.N.: 263-052-07-00

TS



- ### SITE PLAN NOTES
- 1) THIS STRUCTURE USES NATURAL GAS.
 - 2) THIS STRUCTURE WILL CONNECT TO A SEWER SYSTEM.
 - 3) THIS STRUCTURE WILL CONNECT TO AN ELECTRICAL GRID.
 - 4) THIS PROJECT WILL COMPLY WITH THE SAN DIEGO LIGHTING ORDINANCE.
 - 5) FENCES LOCATED WITHIN THE FRONT YARD SETBACK SHALL COMPLY WITH SECTION 6708.B OF THE COUNTY ZONING ORDINANCE. ON LOTS OF ONE (1) GROSS ACRE OR LARGER IN SIZE IN THE A70, A72, RR, S92, S98, S99 AND S92 USE REGULATIONS, OPEN FENCES CONSISTING OF WOVEN OR BARBED WIRE, WROUGHT IRON, PIPE CORRAL, OR RAILS MAY BE 72 INCHES HIGH. POSTS/PILASTERS OR OTHER SUPPORT ELEMENTS FOR SUCH FENCES OR WALLS SHALL NOT EXCEED 24 INCHES IN ANY HORIZONTAL MEASUREMENT, SHALL BE SPACED A MINIMUM OF 8 FEET APART (EDGE TO EDGE), AND SHALL NOT EXCEED A HEIGHT OF 72 INCHES.
 - 6) AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED FOR THE FOLLOWING (COUNTY BUILDING CODE 92.2.R313): BOTH DWELLINGS
 - a) NEW ONE - TWO-FAMILY DWELLINGS AND TOWNHOUSES.

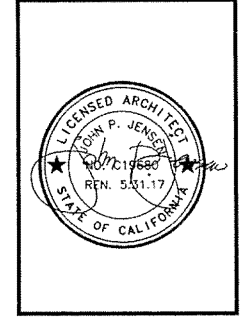
LEGEND

PROPERTY LINES	
SETBACK LINES	
STREET CENTER LINE	
PROPOSED STRUCTURE	

JOHN P. JENSEN ARCHITECT

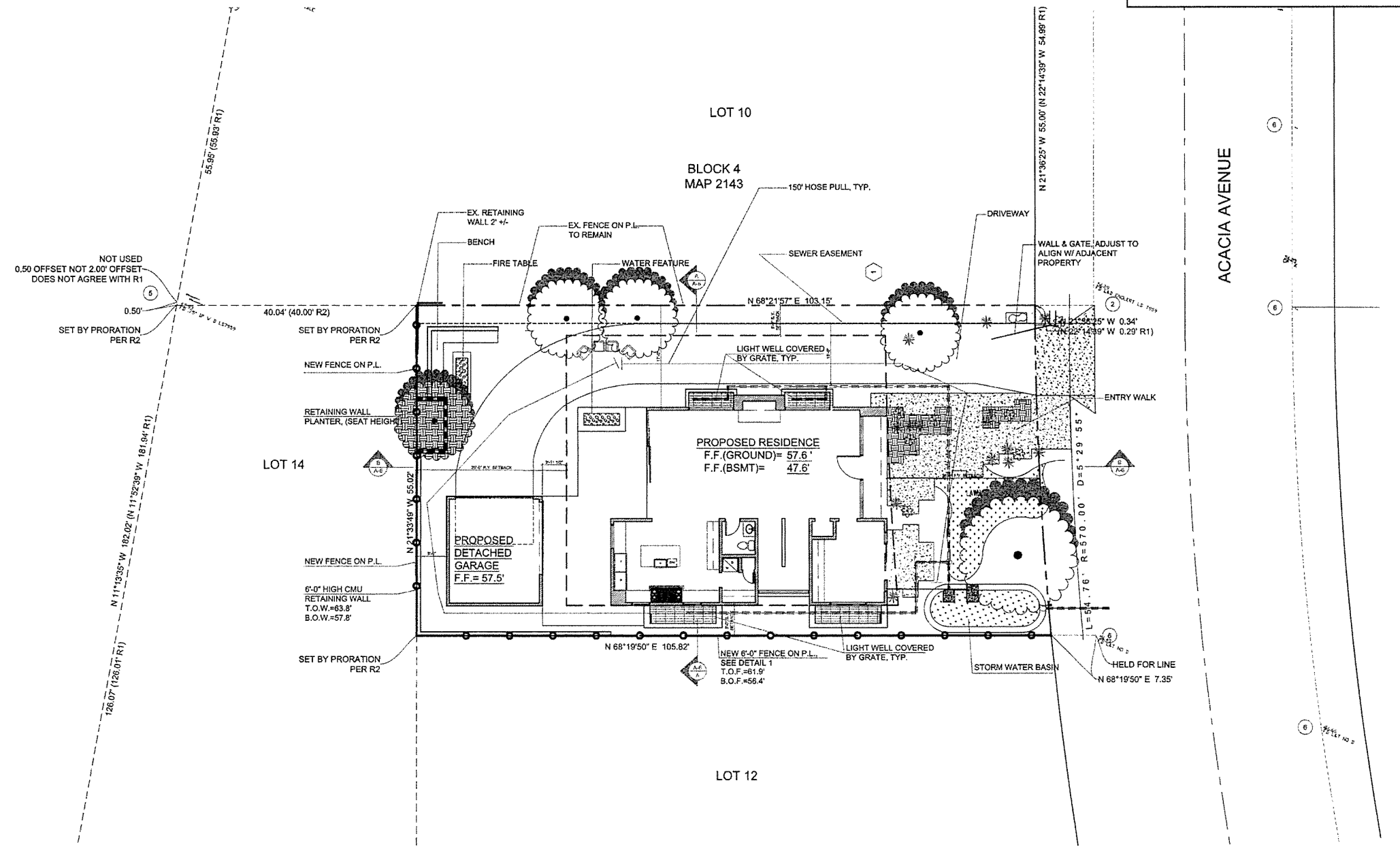
130 CEDROS #220
SOLANA BEACH
CA 92075
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MOBILE 619.884.5849
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PLOT DATE
REVISIONS



LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA, CA 92075
A.P.N.: 263-052-07-00



SITE PLAN

1" = 10'-0"

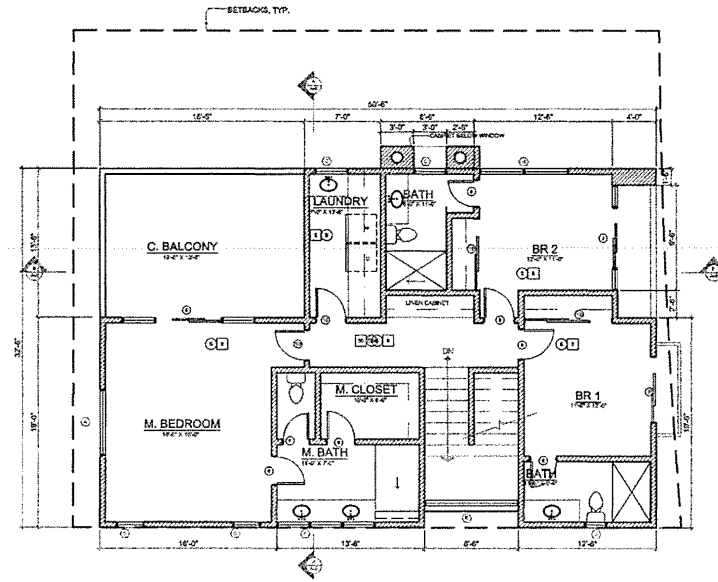
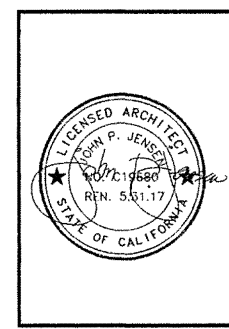
A-1

JOHN P. JENSEN
ARCHITECT

730
S. GEORGE ROAD
SOLANA BEACH
CA 92075
PH: 949 755-2028
FAX: 949 758-0210
MOBILE: 619 584-5565
HOME OFFICE: 619 537-9300

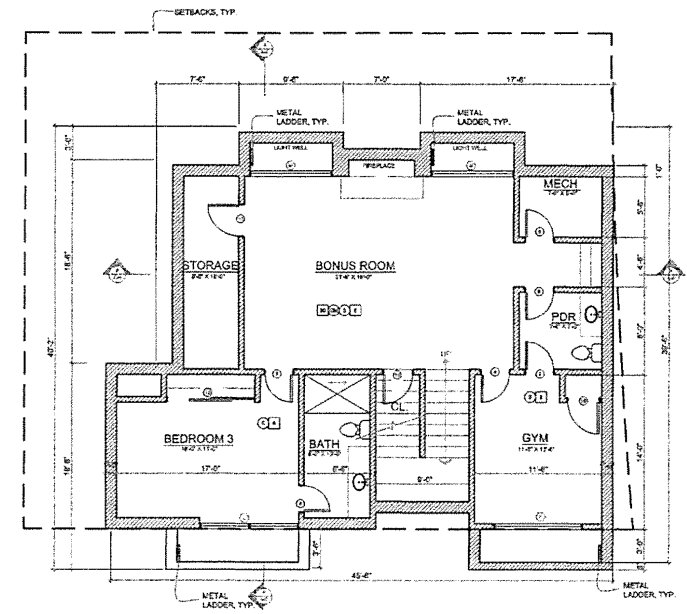
PLOT DATE

REVISIONS



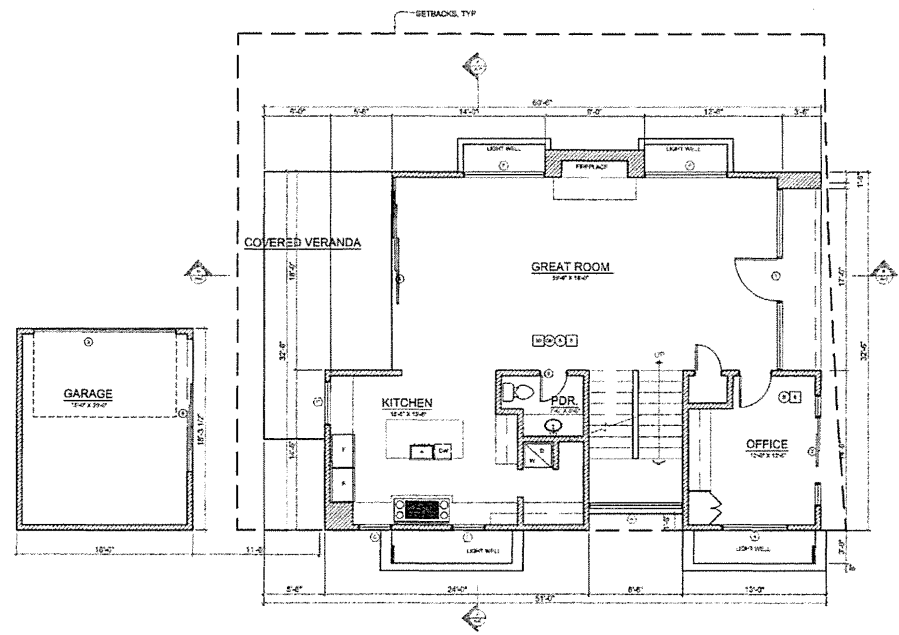
SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0"



BASEMENT FLOOR PLAN

SCALE: 1/8" = 1' - 0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1' - 0"



LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA, CA 92075
A.P.N.: 263-052-07-00

A-2

FLOOR PLAN NOTES

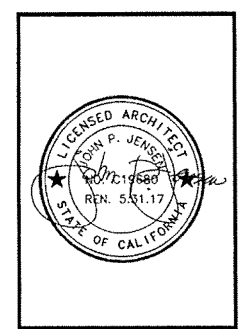
- ALL DIMENSIONS ARE TO BE FACE OF STUD, U.N.O.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD FROM THE FLOOR TO THE ROOF SHEATHING AT GARAGE/DWELLING SEPARATION WALLS ON THE GARAGE SIDE. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL ELEMENTS SUPPORTING FLOOR ABOVE GARAGE ON THE GARAGE SIDE.
- OCCUPANCY SEPARATION BETWEEN DWELLING AND GARAGE OR CARPORT. EXCEPTION - DOOR ONLY REQUIRED TO BE SELF-CLOSING & SELF-LATCHING IF GARAGE & DWELLING UNSPRINKLERED. (SOLID CORE, 20 MINUTE NOT REQUIRED) (CRC R302.5/302.6)
- PROVIDE A MINIMUM 18" HIGH PLATFORM (FROM SOURCE OF IGNITION) FOR WATER HEATER AND/OR HEATING OR COOLING EQUIPMENT CAPABLE OF IGNITING FLAMMABLE VAPORS (UNLESS LISTING REPORT NUMBER PROVIDED SHOWING IGNITION RESISTANT APPLIANCE). (CPC 508.14(1) AND CMC 308.1)
- PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR.
- FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "PIT" OR SUMP CONFIGURATIONS.
- MASONRY FIREPLACES TO BE CONSTRUCTED PER SHEET FP DETAIL 1.
- PROVIDE PERMANENTLY WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH SLEEPING ROOM, AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND AT OTHER LOCATIONS AS SPECIFIED IN (CRC SECTION R314.3, CRC SECTION R314.4). ALL SMOKE ALARMS SHALL BE LISTED WITH UL 217.
- SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE.
- BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET (2.8 M²) AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22 INCHES WIDE BY 30 INCHES HIGH. WHEN THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES (762 MM) AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE THE CALIFORNIA MECHANICAL CODE FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS (CRC SEC. 807.1)
- HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK FLOW PREVENTION DEVICE.
- PROVIDE A MECHANICAL VENTILATION SYSTEM. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE (24 L/S) FOR INTERMITTENT VENTILATION OR 25 CUBIC FEET PER MINUTE (12 L/S) FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (CRC SEC. R303.3 EXCEPTION)
- PROVIDE EGRESS WINDOW PER (CRC SEC. R310.1)
- PROVIDE FLOOR DRAIN UNDER WASHER AT LAUNDRY ROOM. SLOPE FLOOR TO DRAIN. THE DRAIN INTO APPROVED PLUMBING SYSTEM.
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.6 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2.
- ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A THERM-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. PROVIDE A MINIMUM OF 3/4" X 24" GAUGE STRAPS WITH 1/4" X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING. (CPC 508.2)
- GUARDS TOP RAIL ALSO SERVES AS A HANDRAIL: WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. (SEC. R312.2, EXCEPTION 2)
- THE HAND GRIP PORTION OF ALL HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS DIMENSION. (R311.7.3)
- SHOW A MINIMUM CLEARANCE OF 16 INCHES FROM THE CENTER LINE ON BOTH SIDES OF WATER CLOSETS AND A MINIMUM CLEARANCE OF 24 INCHES IN FRONT OF WATER CLOSETS.
- PER 2013 CGC SEC 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- SURFACES REGULATED BY SECTION 704A.4.1.1 SHALL PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4, PART A, 12-7A-4.7.5.1 ONLY WITH A NET PEAK HEAT RELEASE RATE OF 28KW/SQ-FT FOR A 40-MINUTE OBSERVATION PERIOD AND, -S. DECKING SURFACE MATERIAL SHALL PASS THE ACCELERATED WEATHERING TEST AND BE IDENTIFIED AS EXTERIOR TYPE, IN ACCORDANCE WITH ASTM D 2898 AND ASTM D 3201, AND THE EXTERIOR WALL COVERING TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL BE INSTRUCTED OF APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL. (CSC SEC. 704A.4.1)
- EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2 (B) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS S FLAME SPREAD. (CSC SEC. 704A.4.1)
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PER SEC 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS WHERE APPLICABLE. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- PER SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- PER SEC 4.507.2, A SIGNED AFFIDAVIT FROM INSTALLER STATING METHOD USED FOR THE SELECTION OF HEATING AND AIR CONDITIONING EQUIPMENT AND THAT SUCH EQUIPMENT WAS INSTALLED IN ACCORDANCE TO THAT METHOD, IS REQUIRED; THIS AFFIDAVIT SHALL BE PRESENTED TO THE BUILDING INSPECTOR BEFORE FINAL INSPECTION.
- IF THE SPRINKLERS WILL BE SERVED THROUGH THE DOMESTIC WATER SERVICE, PROVIDE THE MAXIMUM GALLONS PER MINUTE FOR THE FIRE FLOW ALONE ON THE WATER METER DATA CARD.
- CARBON MONOXIDE ALARM SHALL BE INSTALLED PER (CRC SECTION R315.1). ALL CARBON MONOXIDE ALARMS SHALL BE LISTED WITH UL 2034 AND CARBONMONOXIDE DETECTORS PER UL 2075.
- ALL ABS AND PVS PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).
- SHOW THE ROUTING AND LENGTH OF THE VENT(S) FOR THE CLOTHES DRYER(S). THE MAXIMUM HORIZONTAL AND VERTICAL LENGTH IS 14 FEET WITH TWO OFFSETS. THE MAXIMUM LENGTH IS REDUCED 2 FEET FOR EACH ADDITIONAL BEND. EXCEPTION NO. 1: PROVIDE AN IN-LINE FAN. THE APPROVAL AGENCY REPORT NUMBER IS REQUIRED ON THE PLANS. EXCEPTION NO. 2: THE MAXIMUM LENGTH FOR A 5 INCH DUCT IS 25 FEET. EXCEPTION NO. 3: PROVIDE CALCULATIONS AND COMPLETE DETAILS.
- THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

JOHN P. JENSEN ARCHITECT

150 S. CEDRO RD #200
SOLANA BEACH, CA 92075
OFFICE 956 766 2528
FAX 956 756 0210
MOBILE 919 884 5848
HOME OFFICE 919 337 2030

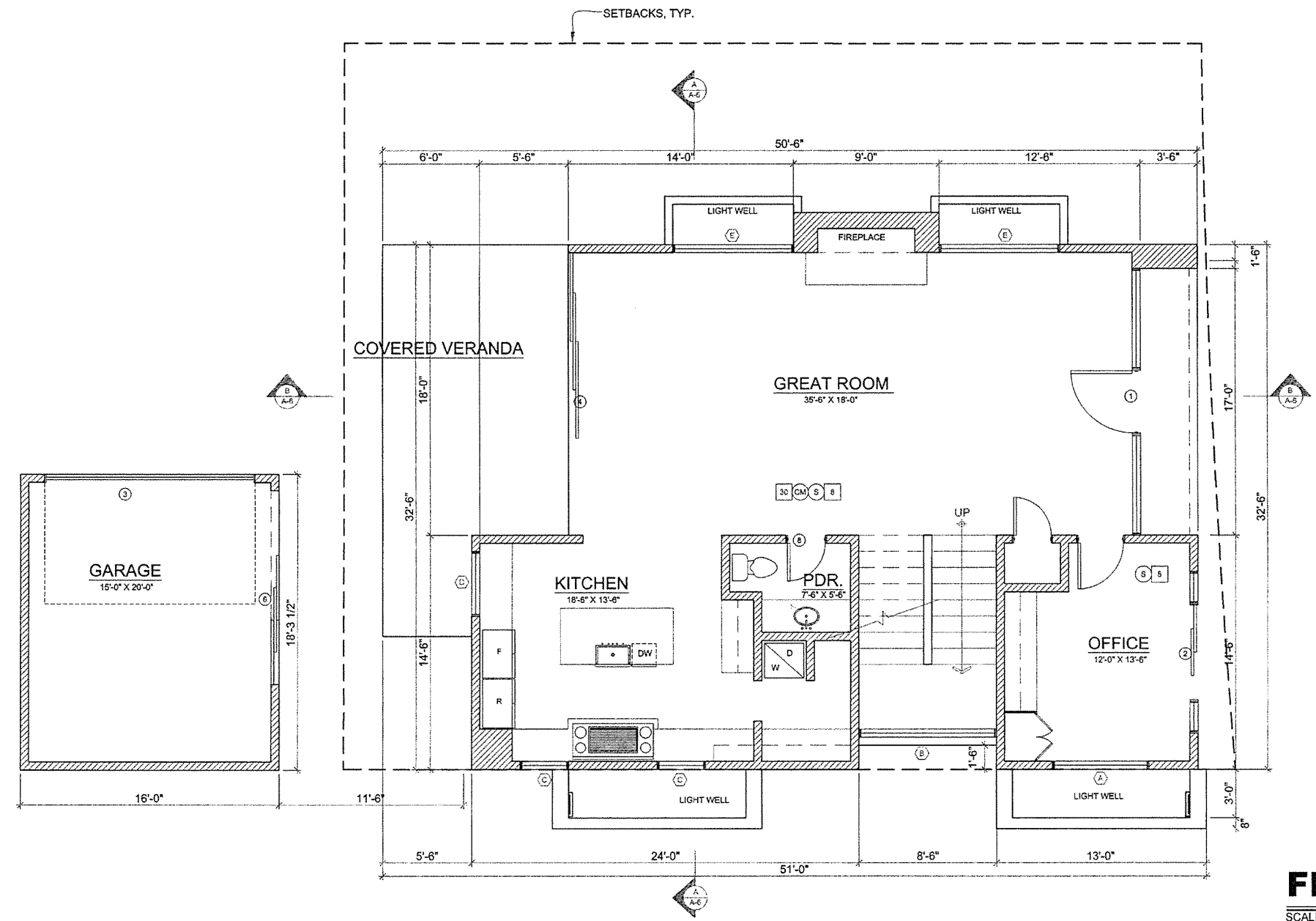
PLOT DATE

REVISIONS



LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA, CA 92075
A.P.N.: 263-052-07-00



FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"

A-2.1

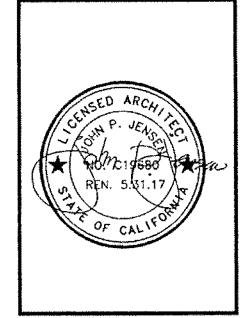
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO BE FACE OF STUD, U.N.O.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD FROM THE FLOOR TO THE ROOF SHEATHING AT GARAGE/DWELLING SEPARATION WALLS ON THE GARAGE SIDE. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL ELEMENTS SUPPORTING FLOOR ABOVE GARAGE ON THE GARAGE SIDE.
- OCCUPANCY SEPARATION BETWEEN DWELLING AND GARAGE OR CARPORT. EXCEPTION - DOOR ONLY REQUIRED TO BE SELF-CLOSING & SELF-LATCHING IF GARAGE & DWELLING UNSPRINKLERED. (SOLID CORE, 20 MINUTE NOT REQUIRED) (CRC R302.5.302.6)
- PROVIDE A MINIMUM 18" HIGH PLATFORM (FROM SOURCE OF IGNITION) FOR WATER HEATER AND/OR HEATING OR COOLING EQUIPMENT CAPABLE OF IGNITING FLAMMABLE VAPORS (UNLESS LISTING REPORT NUMBER PROVIDED SHOWING IGNITION RESISTANT APPLIANCE). (CPC 509.14(1) AND CMC 309.1)
- PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR.
- FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "PIT" OR SUMP CONFIGURATIONS.
- MASONRY FIREPLACES TO BE CONSTRUCTED PER SHEET FP DETAIL 1.
- PROVIDE PERMANENTLY WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH SLEEPING ROOM, AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND AT OTHER LOCATIONS AS SPECIFIED IN (CRC SECTION R314.3, CRC SECTION R314.4). ALL SMOKE ALARMS SHALL BE LISTED WITH UL 217.
- SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE.
- BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET (2.9 MF) AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22 INCHES WIDE BY 30 INCHES HIGH. WHEN THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES (762 MM) AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE THE CALIFORNIA MECHANICAL CODE FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS (CRC SEC. 807.1)
- HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK FLOW PREVENTION DEVICE.
- PROVIDE A MECHANICAL VENTILATION SYSTEM. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE (24 L/S) FOR INTERMITTENT VENTILATION OR 25 CUBIC FEET PER MINUTE (12 L/S) FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (CRC SEC. R303.3 EXCEPTION)
- PROVIDE EGRESS WINDOW PER (CRC SEC. R310.1)
- PROVIDE FLOOR DRAIN UNDER WASHER AT LAUNDRY ROOM. SLOPE FLOOR TO DRAIN. TIE DRAIN INTO APPROVED PLUMBING SYSTEM.
- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.6 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2.
- ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A THERM-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. PROVIDE A MINIMUM OF 3/4" X 24" GAUGE STRAPS WITH 1/4" X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING. (CPC 508.2).
- GUARDS TOP RAIL ALSO SERVES AS A HANDRAIL. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. (SEC. R312.2, EXCEPTION 2)
- THE HAND GRIP PORTION OF ALL HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS DIMENSION. (R311.7.7.3)
- SHOW A MINIMUM CLEARANCE OF 15 INCHES FROM THE CENTER LINE ON BOTH SIDES OF WATER CLOSETS AND A MINIMUM CLEARANCE OF 24 INCHES IN FRONT OF WATER CLOSETS.
- PER 2013 CGCBC SEC 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- SURFACES REGULATED BY SECTION 704A.4.1.1 SHALL PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4, PART A, 12-7A-4.7.5.1 ONLY WITH A NET PEAK HEAT RELEASE RATE OF 25 KW-SQ-FT FOR A 40-MINUTE OBSERVATION PERIOD AND, S, DECKING SURFACE MATERIAL SHALL PASS THE ACCELERATED WEATHERING TEST AND BE IDENTIFIED AS EXTERIOR TYPE, IN ACCORDANCE WITH ASTM 0 2898 AND ASTM 0 3201, AND THE EXTERIOR WALL COVERING TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL BE INSTRUCTED TO APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL. (CSC SEC. 704A.4.1)
- EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2 (B) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS S FLAME SPREAD. (CSC SEC. 704A.4.1)
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PER SEC 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS WHERE APPLICABLE. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- PER SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- PER SEC 4.507.2, A SIGNED AFFIDAVIT FROM INSTALLER STATING METHOD USED FOR THE SELECTION OF HEATING AND AIR CONDITIONING EQUIPMENT AND THAT SUCH EQUIPMENT WAS INSTALLED IN ACCORDANCE TO THAT METHOD. IS REQUIRED; THIS AFFIDAVIT SHALL BE PRESENTED TO THE BUILDING INSPECTOR BEFORE FINAL INSPECTION.*
- IF THE SPRINKLERS WILL BE SERVED THROUGH THE DOMESTIC WATER SERVICE, PROVIDE THE MAXIMUM GALLONS PER MINUTE FOR THE FIRE FLOW ALONE ON THE WATER METER DATA CARD.
- CARBON MONOXIDE ALARM SHALL BE INSTALLED PER (CRC SECTION R315.1). ALL CARBON MONOXIDE ALARMS SHALL BE LISTED WITH UL 2034 AND CARBON MONOXIDE DETECTORS PER UL 2075.
- ALL ABS AND PVS PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).
- SHOW THE ROUTING AND LENGTH OF THE VENT(S) FOR THE CLOTHES DRYER(S). THE MAXIMUM HORIZONTAL AND VERTICAL LENGTH IS 14 FEET WITH TWO OFFSETS. THE MAXIMUM LENGTH IS REDUCED 2 FEET FOR EACH ADDITIONAL BEND. EXCEPTION NO. 1: PROVIDE AN IN-LINE FAN. THE APPROVAL AGENCY REPORT NUMBER IS REQUIRED ON THE PLANS. EXCEPTION NO. 2: THE MAXIMUM LENGTH FOR A 5 INCH DUCT IS 25 FEET. EXCEPTION NO. 3: PROVIDE CALCULATIONS AND COMPLETE DETAILS.
- THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

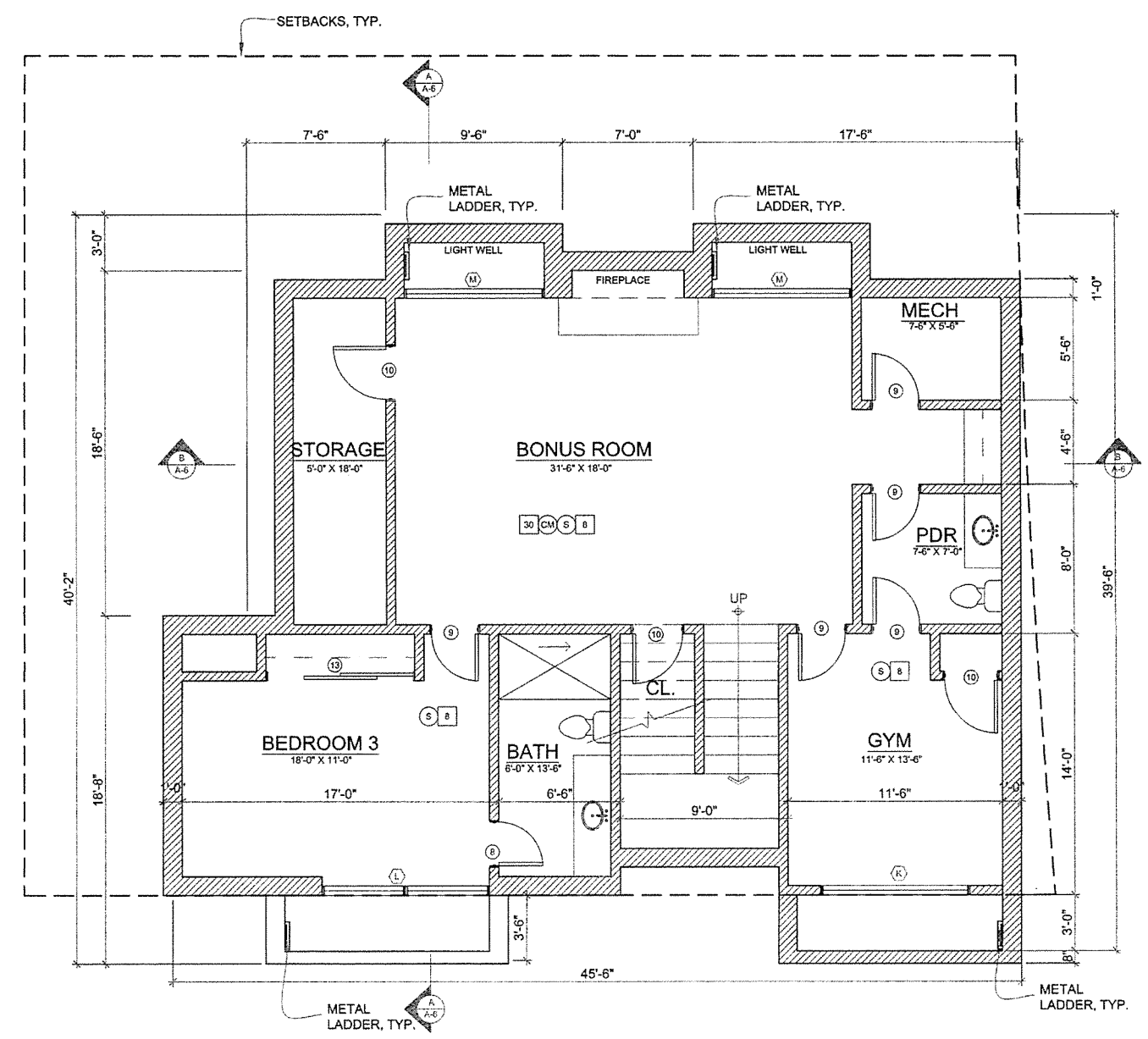
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PLOT DATE

REVISIONS



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 411 NORTH ACACIA
 SOLANA, CA 92075
 A.P.N.: 263-052-07-00



BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1' - 0"

A-2.2

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO BE FACE OF STUD, U.N.O.
2. PROVIDE 5/8" TYPE "X" GYPSUM BOARD FROM THE FLOOR TO THE ROOF SHEATHING AT GARAGE/DWELLING SEPARATION WALLS ON THE GARAGE SIDE. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL ELEMENTS SUPPORTING FLOOR ABOVE GARAGE ON THE GARAGE SIDE.
3. OCCUPANCY SEPARATION BETWEEN DWELLING AND GARAGE OR CARPORT. EXCEPTION - DOOR ONLY REQUIRED TO BE SELF-CLOSING & SELF-LATCHING IF GARAGE & DWELLING UNSPRINKLERED. (SOLID CORE, 20 MINUTE NOT REQUIRED) (CRC R302.5/302.6)
4. PROVIDE A MINIMUM 18" HIGH PLATFORM (FROM SOURCE OF IGNITION) FOR WATER HEATER AND/OR HEATING OR COOLING EQUIPMENT CAPABLE OF IGNITING FLAMMABLE VAPORS (UNLESS LISTING REPORT NUMBER PROVIDED SHOWING IGNITION RESISTANT APPLIANCE). (CPC 508.14(1) AND CMC 308.1)
5. PROVIDE P&T VALVE, ROUTE DISCHARGE LINE TO EXTERIOR.
6. FIREPLACES WITH GAS LOG LIGHTERS REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH L.P. LOG LIGHTERS ARE TO HAVE NO "PIT" OR SUMP CONFIGURATIONS.
7. MASONRY FIREPLACES TO BE CONSTRUCTED PER SHEET FP DETAIL 1.
8. PROVIDE PERMANENTLY WIRED SMOKE DETECTORS WITH BATTERY BACKUP IN EACH SLEEPING ROOM, AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND AT OTHER LOCATIONS AS SPECIFIED IN (CRC SECTION R314.3, CRC SECTION R314.4). ALL SMOKE ALARMS SHALL BE LISTED WITH UL 217.
9. SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE.
10. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET (2.8 M²) AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22 INCHES WIDE BY 30 INCHES HIGH. WHEN THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES (762 MM) AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE THE CALIFORNIA MECHANICAL CODE FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS (CRC SEC. 807.1)
11. HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK FLOW PREVENTION DEVICE.
12. PROVIDE A MECHANICAL VENTILATION SYSTEM. THE MINIMUM VENTILATION RATES SHALL BE 50 CUBIC FEET PER MINUTE (24 L/S) FOR INTERMITTENT VENTILATION OR 25 CUBIC FEET PER MINUTE (12 L/S) FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (CRC SEC. R303.3 EXCEPTION)
13. PROVIDE EGRESS WINDOW PER (CRC SEC. R310.1)
14. PROVIDE FLOOR DRAIN UNDER WASHER AT LAUNDRY ROOM. SLOPE FLOOR TO DRAIN. TIE DRAIN INTO APPROVED PLUMBING SYSTEM.
15. NEW WATER CLOSETS SHALL USE NO MORE THAN 1.6 GAL. PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2.
16. ALL NEW GLAZING (FENESTRATION) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
17. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A THERM-RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR WALL OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
18. WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. PROVIDE A MINIMUM OF 3/4" X 24" GALV. STRAPS WITH 1/4" X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING. (CPC 508.2).
19. GUARDS TOP RAIL ALSO SERVES AS A HANDRAIL. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. (SEC. R312.2, EXCEPTION 2).
20. THE HAND GRIP PORTION OF ALL HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS DIMENSION. (R311.7.7.3)
21. SHOW A MINIMUM CLEARANCE OF 15 INCHES FROM THE CENTER LINE ON BOTH SIDES OF WATER CLOSETS AND A MINIMUM CLEARANCE OF 24 INCHES IN FRONT OF WATER CLOSETS.
22. PER 2013 CGSBC SEC 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
23. SURFACES REGULATED BY SECTION 704A.4.1.1 SHALL PASS THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-4, PART A, 12-7A-4.7.5.1 ONLY WITH A NET PEAK HEAT RELEASE RATE OF 25KW/50-FT FOR A 40-MINUTE OBSERVATION PERIOD AND, S. DECKING SURFACE MATERIAL SHALL PASS THE ACCELERATED WEATHERING TEST AND BE IDENTIFIED AS EXTERIOR TYPE, IN ACCORDANCE WITH ASTM D 2898 AND ASTM D 3201, AND THE EXTERIOR WALL COVERING TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL BE INSTRUCTED TO APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL. (CSC SEC. 704A.4.1)
24. EXTERIOR BUILDING WALL COVERING OF BUILDING WALL TO WHICH THE DECK IS ATTACHED AND WITHIN 10 (3048 MM) FEET OF THE DECK SHALL NOT BE REQUIRED TO COMPLY WITH SUBSECTION 2 (B) IF THE DECKING SURFACE MATERIAL CONFORMS TO ASTM E-84 CLASS S FLAME SPREAD. (CSC SEC. 704A.4.1)
25. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
26. PER SEC 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS WHERE APPLICABLE. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
27. PER SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
28. PER SEC 4.507.2, A SIGNED AFFIDAVIT FROM INSTALLER STATING METHOD USED FOR THE SELECTION OF HEATING AND AIR CONDITIONING EQUIPMENT AND THAT SUCH EQUIPMENT WAS INSTALLED IN ACCORDANCE TO THAT METHOD, IS REQUIRED; THIS AFFIDAVIT SHALL BE PRESENTED TO THE BUILDING INSPECTOR BEFORE FINAL INSPECTION.
29. IF THE SPRINKLERS WILL BE SERVED THROUGH THE DOMESTIC WATER SERVICE, PROVIDE THE MAXIMUM GALLONS PER MINUTE FOR THE FIRE FLOW ALONE ON THE WATER METER DATA CARD.
30. CARBON MONOXIDE ALARM SHALL BE INSTALLED PER (CRC SECTION R315.1). ALL CARBON MONOXIDE ALARMS SHALL BE LISTED WITH UL 2034 AND CARBON MONOXIDE DETECTORS PER UL 2075.
31. ALL ABS AND PVS PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
32. MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
33. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
34. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
35. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).
36. SHOW THE ROUTING AND LENGTH OF THE VENT(S) FOR THE CLOTHES DRYER(S). THE MAXIMUM HORIZONTAL AND VERTICAL LENGTH IS 14 FEET WITH TWO OFFSETS. THE MAXIMUM LENGTH IS REDUCED 2 FEET FOR EACH ADDITIONAL BEND. EXCEPTION NO. 1: PROVIDE AN IN-LINE FAN. THE APPROVAL AGENCY REPORT NUMBER IS REQUIRED ON THE PLANS. EXCEPTION NO. 2: THE MAXIMUM LENGTH FOR A 5 INCH DUCT IS 25 FEET. EXCEPTION NO. 3: PROVIDE CALCULATIONS AND COMPLETE DETAILS.
37. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4
38. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

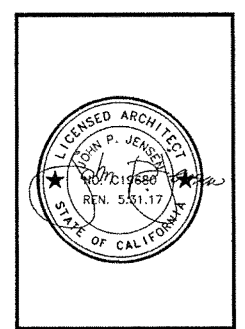
ARCHITECT

JOHN P. JENSEN ARCHITECT

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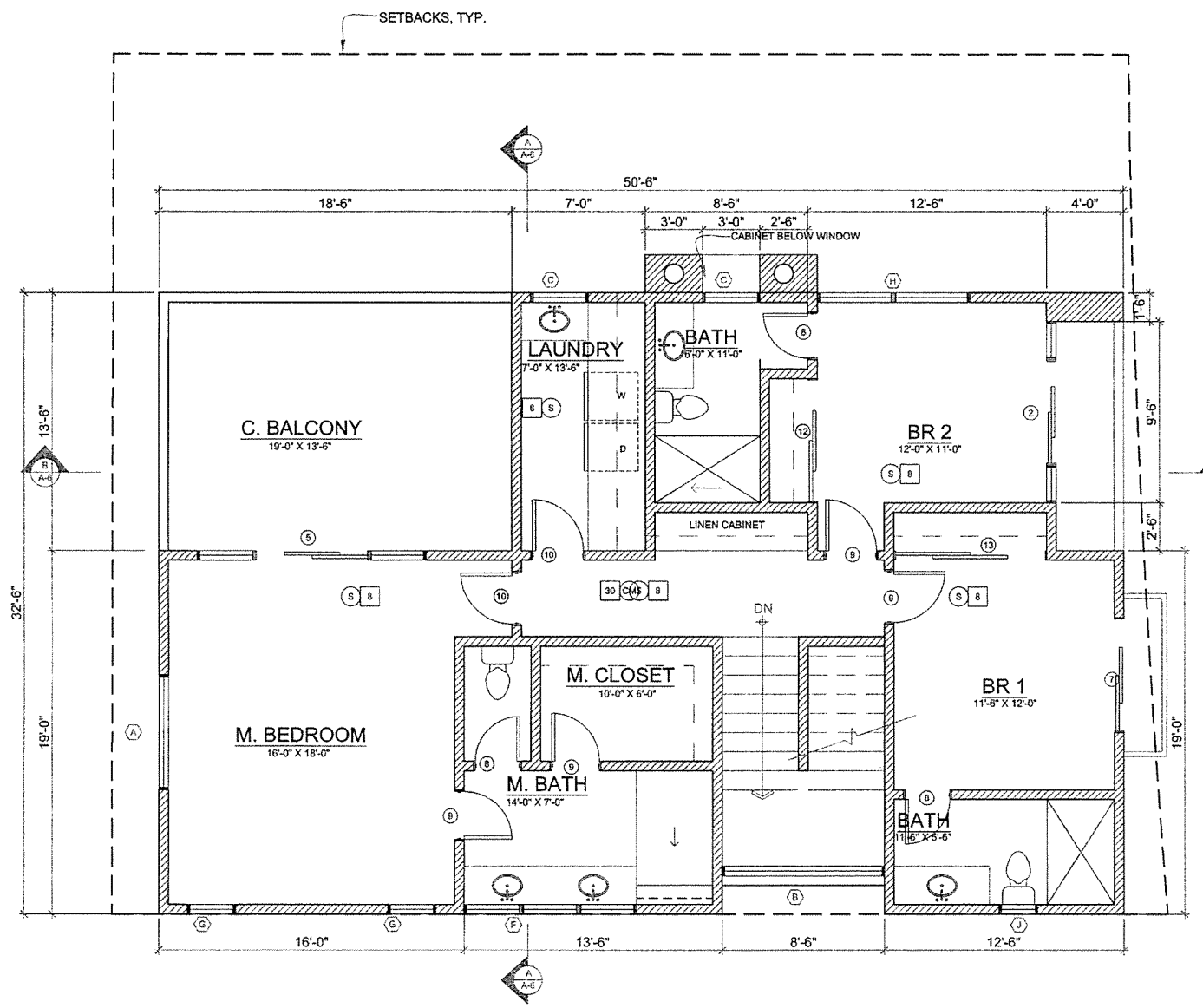
PLOT DATE

REVISIONS



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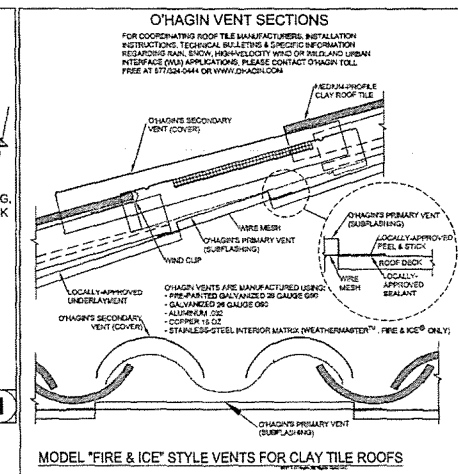
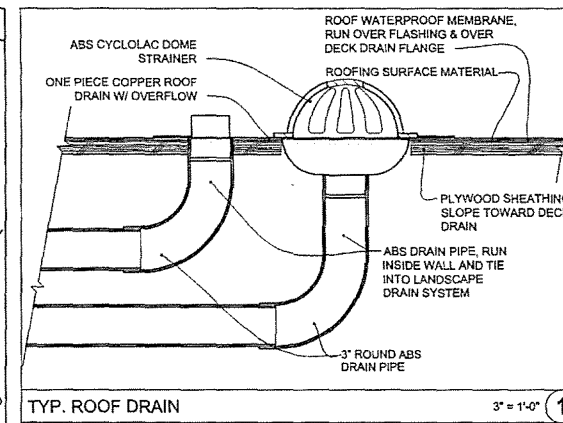
SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

A-2.3

- ### ROOF PLAN NOTES
- 1 CHIMNEY, FLUES, OR STOVEPIPE ATTACHED TO ANY FIREPLACE, STOVE, BARBECUE, OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. (CRC Q327.11)
 - 2 PROVIDE ROOF GUTTERS IF USED, WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTER AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. (CRC R327.5.4). GUTTERS & DOWNSPOUTS TO BE TIED INTO EXISTING DRAINAGE SYSTEM.
 - 3 DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. (CRC R327.5.5)
 - 4 VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. (CRC R327.5.3)
 - 5 SHOW ALL VENTED OPENINGS (ATTIC, UNDERFLOOR, COMBUSTION AIR, ETC) PROTECTED BY NONCOMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS (CRC R327.6):
 - INDIVIDUAL VENT OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES.
 - THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16-INCH AND SHALL NOT EXCEED 1/8-INCH.
 - 6 ATTIC VENTILATION OPENINGS SHALL NOT BE LOCATED IN SOFFITS, EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANG AREAS. (CRC R327.6.3)
 - 7 VENTILATION ON STRUCTURES LOCATED IMMEDIATELY ADJACENT TO BRUSH MANAGEMENT ZONE ONE, AS DEFINED IN SDMC SECTION 142.0142. SHOW ALL VENTILATION OPENINGS DIRECTED AWAY FROM BRUSH MANAGEMENT ZONE ONE. (CRC R227.6 2(5))
 - 8 PAPER-FACED INSULATION IS PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES. (COUNTY BUILDING CODE 92.1.711A.1)
 - 9 PROVIDE R-30 INSULATION AT VAULTED CEILINGS.
 - 10 CHIMNEY SHROUDS ARE PART OF THE APPROVED FIREPLACE ASSEMBLY.

- ### SOLAR NOTES
- NEWLY CONSTRUCTED SINGLE-FAMILY DWELLINGS SHALL COMPLY WITH THE FOLLOWING SOLAR READY MEASURES (COUNTY BUILDING CODE 92.2.R332):
- A. MANDATORY:**
- DIMENSION ON ROOF PLAN DEDICATED SOLAR ZONE AREA COMPLYING WITH ALL OF THE FOLLOWING:
 - MINIMUM 250 S.F. CUMULATIVE AREA COMPRISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS
 - LOCATED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH (INDICATE NORTH ARROW ON ROOF PLAN)
 - NO OBSTRUCTIONS - INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE
 - ANY OBSTRUCTION PROJECTING ABOVE SOLAR ZONE SHALL BE LOCATED AWAY FROM SOLAR ZONE AT LEAST TWO TIMES THE HEIGHT DIFFERENCE BETWEEN THE HIGHEST POINT OF THE OBSTRUCTION AND THE NEAREST POINT OF THE SOLAR ZONE
 - ADEQUATE FIREFIGHTER ACCESS PATHWAYS AND SMOKE VENTILATION CLEARANCES PROVIDED ADJACENT TO - BUT NOT WITHIN - EACH SOLAR ZONE PER THE FOLLOWING (CRC R331.2, CBC 311.2.2):
 - HIP ROOFS: MINIMUM 3-FOOT-WIDE CLEAR ACCESS PATHWAY PROVIDED FROM EAVE TO RIDGE ON EACH ROOF SLOPE WHERE SOLAR ZONE(S) LOCATED
 - SINGLE-RIDGE ROOFS: AT LEAST TWO MINIMUM 3-FOOT-WIDE CLEAR ACCESS PATHWAYS PROVIDED FROM EAVE TO RIDGE ON EACH ROOF SLOPE WHERE SOLAR ZONE(S) LOCATED
 - SOLAR PANELS ARE REQUIRED TO BE INSTALLED A MINIMUM 18" FROM HIP AND VALLEYS AND MINIMUM 36" FROM RIDGES.

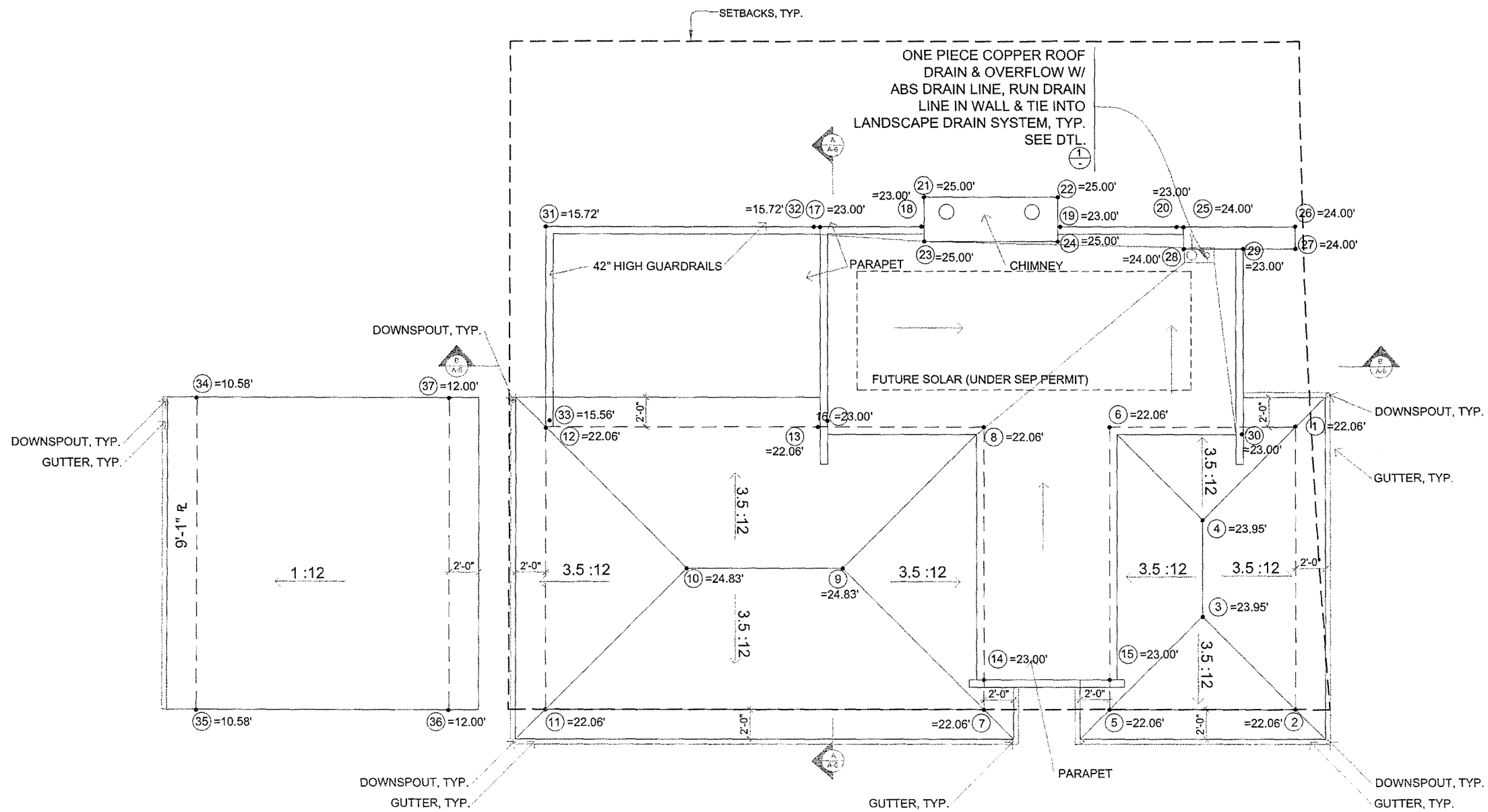


ARCHITECT

LENIHAN P. JENSEN

1301 CEDROS #220
SOLANA BEACH
CA 92075
OFFICE 952.2520
FAX 952.758.0210
HOME 919.894.5648
MOBILE 919.897.1939

NOTE: COOL ROOF REQUIRED



PLOT DATE

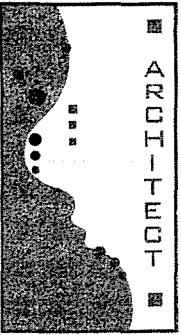
REVISIONS

LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA, CA 92075
A.P.N.: 263-052-07-00

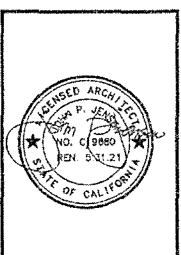
STORY POLE/ROOF PLAN

SCALE: 1/4" = 1' - 0"
NOTE: ALL STORY POLE ELEVATIONS ARE REFERENCED TO 56.8' FIN. / EXISTING GRADE ELEVATION

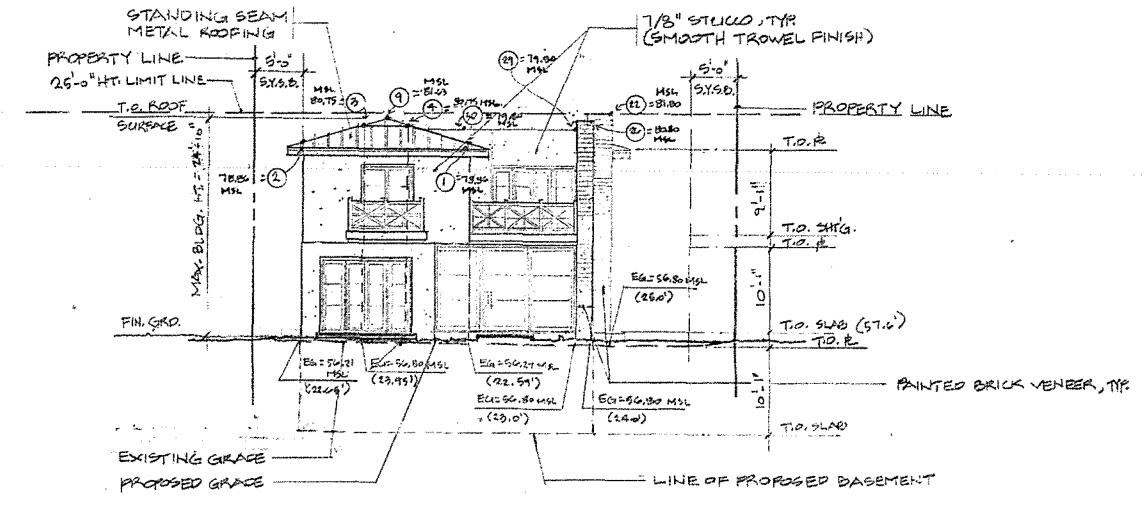


PLOT DATE

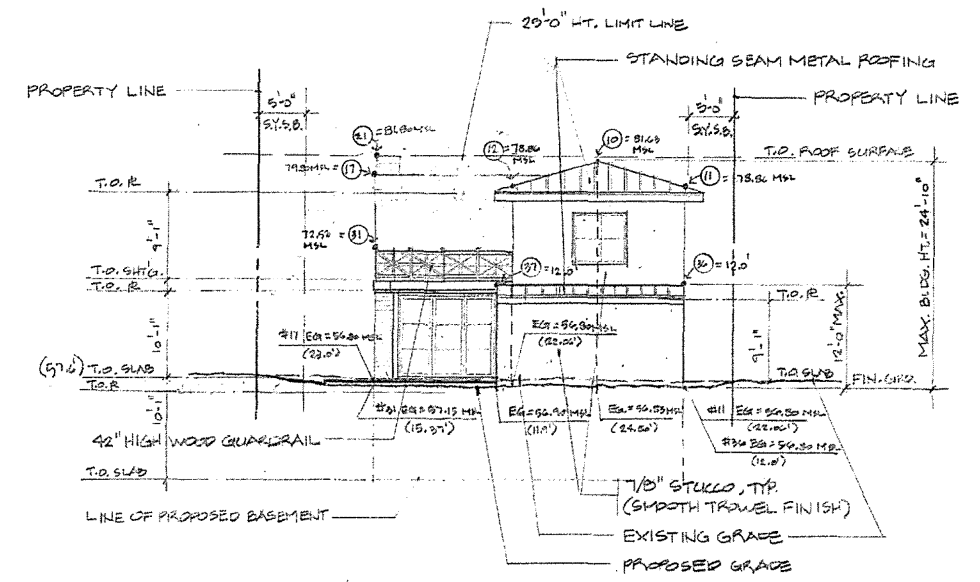
REVISIONS



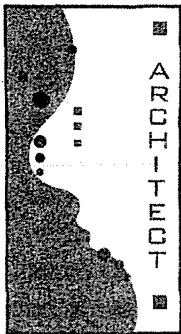
CUSTOM RESIDENCE
 411 N. ACACIA,
 SOLANA BEACH, CA. 92075.
 APN: 263-052-07-00



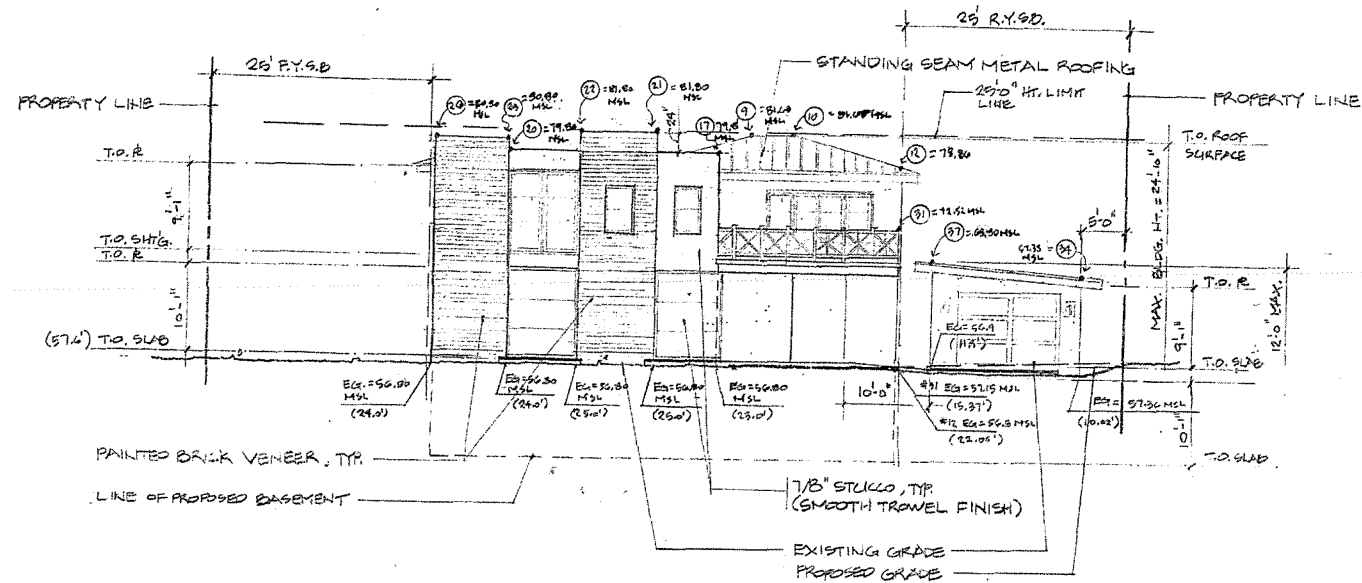
EAST ELEVATION



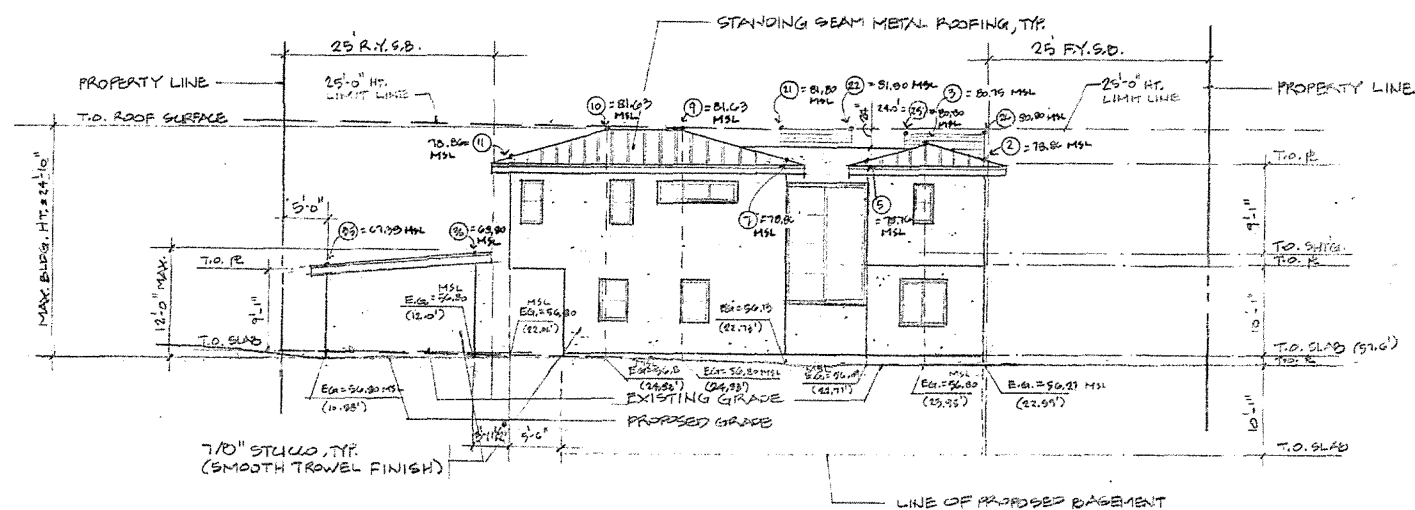
WEST ELEVATION



ARCHITECT



NORTH ELEVATION



SOUTH ELEVATION

PLOT DATE

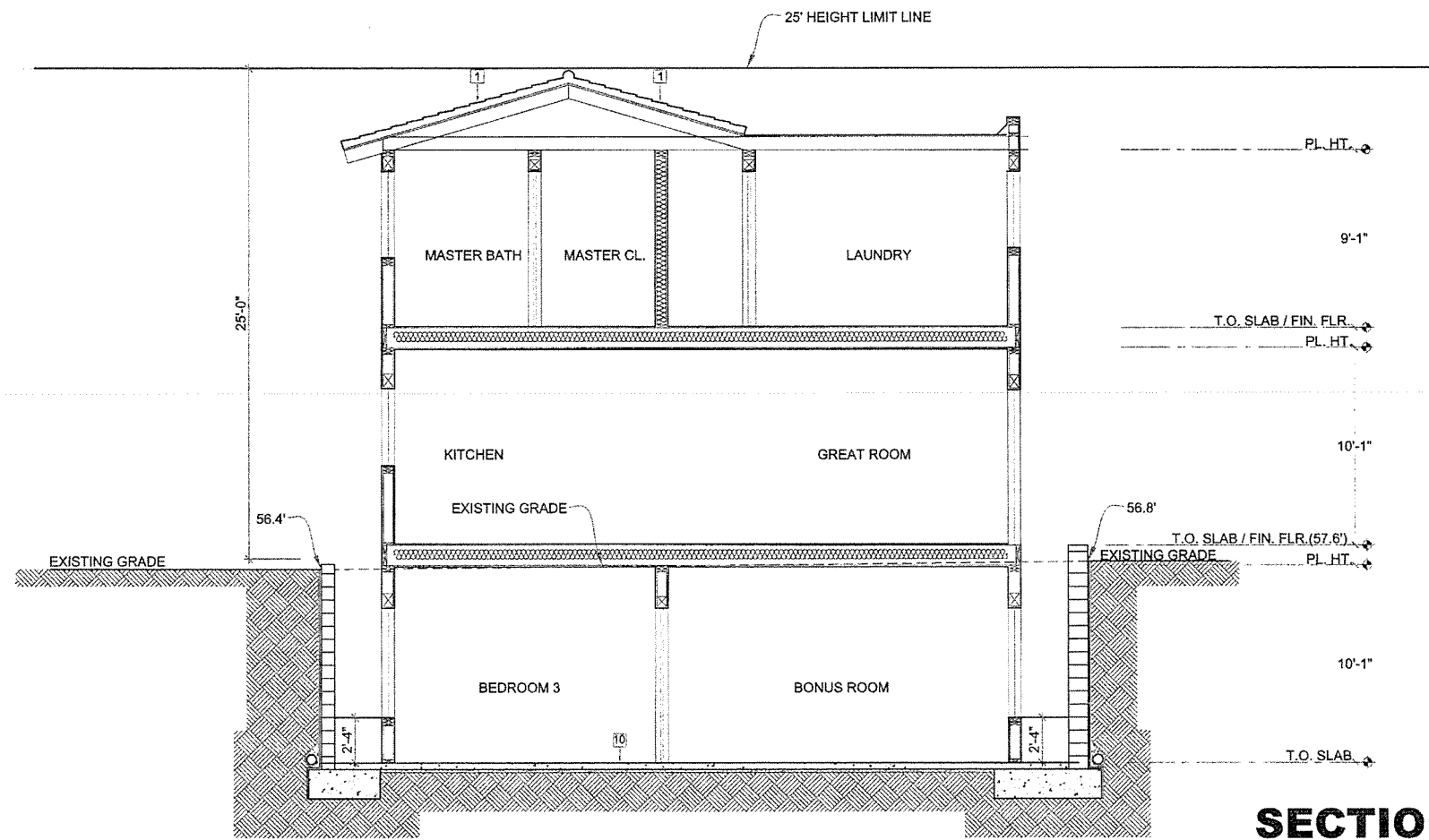
REVISIONS



CUSTOM RESIDENCE
411 N. ACACIA,
SOLANA BEACH, CA. 92075.
APN: 263-052-07-00

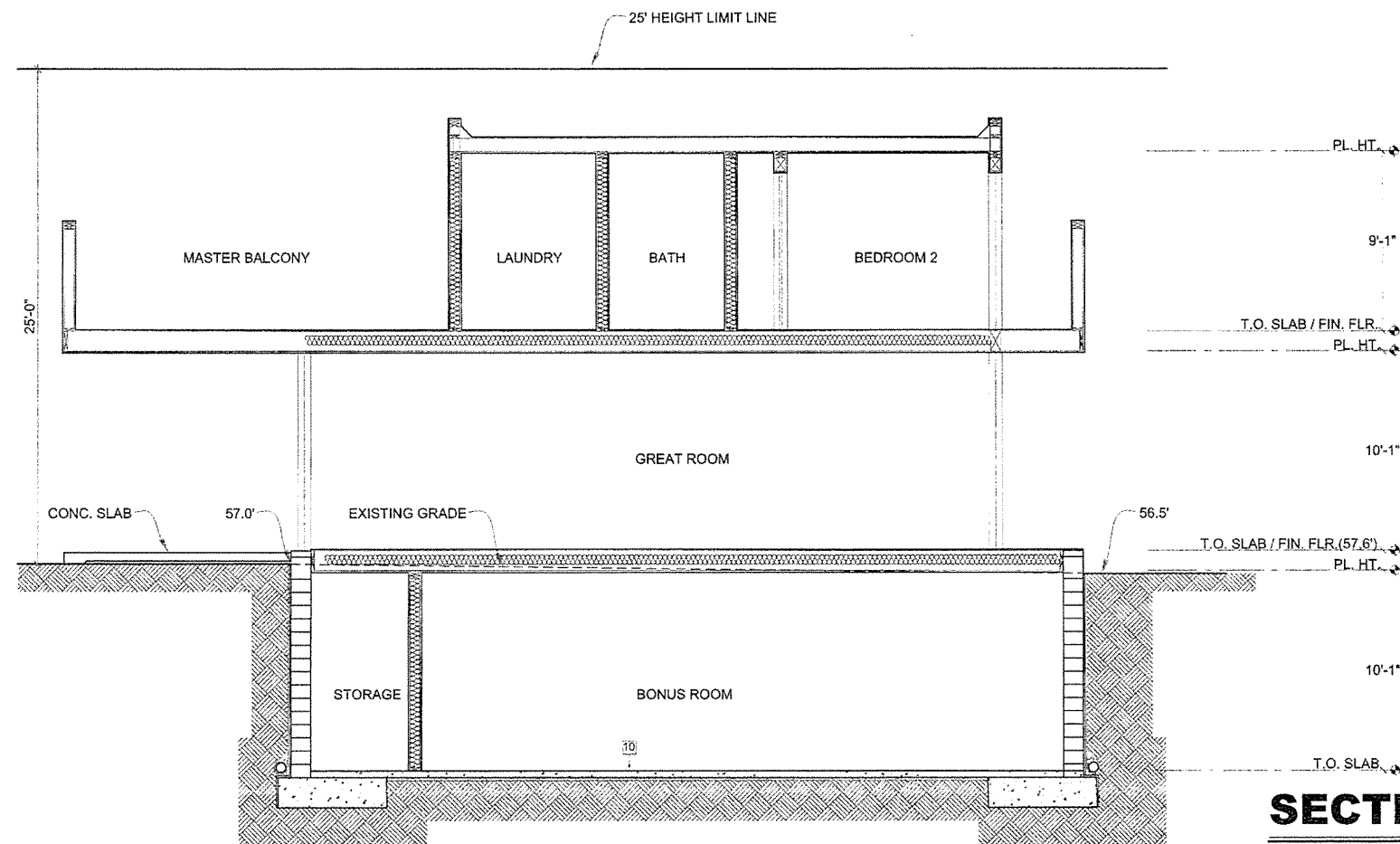
ELEVATIONS
SCALE: 1" = 10'-0"

A-4.1



SECTION - A

SCALE: 1/4" = 1' - 0"



SECTION - B

SCALE: 1/4" = 1' - 0"

BUILDING SECTION NOTES

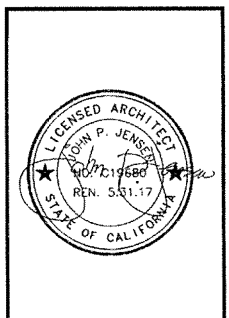
1. Roof sheathing per roof framing plan.
2. Roof Joists per roof framing plan.
3. Roof Trusses per roof framing plan.
4. Ceiling joists per wall & ceiling framing plan.
5. Header per wall & ceiling framing plan.
6. Concrete slab per foundation plan and/or soils engineer's recommendations.

JOHN P. JENSEN
ARCHITECT

130
S. GERRIES #220
SOLANA BEACH
CA 92075
Office: 949.799.2500
1-800-734-0210
SCALE: 1/8" = 1'-0"
NEW: 018.997.0000

PLOT DATE

REVISIONS



LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA, CA 92075
A.P.N.: 263-052-07-00

A-6

PRELIMINARY GRADING PLAN

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
UNDERGROUND S.A. (800)-227-2600
- A SOILS REPORT SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 1:2 FILL 1:2
CUT: 677 CY FILL: 10 CY EXPORT: 667 CY
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)
** THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGLE UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBGR-216 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN". THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.
LBS/ACRE: 20, 50, 8, 6, 7, 91
% PURITY/ACRE: 70% PLUS, SCARIFIED, 50% PLUS
SEED SPECIES: AIRPLEX GLAUCA, PLANTAGE INSULARIS, ENCELIS FARINOSA, LOTUS SCOPARIUS, EXCHSCHOLTZIA CALIF.
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE Diked OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

ABBREVIATIONS

CENTER LINE
PROPERTY LINE
INVERT ELEVATION
FINISHED FLOOR
FINISHED GRADE
FLOW LINE
PROPOSED ELEVATION
EXISTING ELEVATION
TOP OF STEP
PLANTER AREA
TOP OF CURB
TOP OF GRATE
TOP OF WALL
FRONT YARD SETBACK
REAR YARD SETBACK
SIDE YARD SETBACK
TOP OF WALL AT FINISHED GRADE
BOTTOM OF WALL AT FINISHED GRADE
ROOF DOWN SPOUT

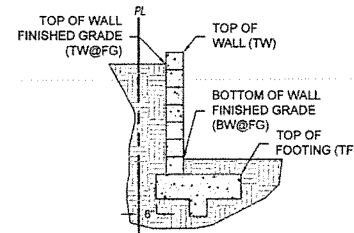
CL
PL
IE
FF
FG
FL
XXXXX
(XXXXX)
TS
BS
P.A.
T.C.
T.G.
T.W.
FYSB
FYSB
FYSB
TW@FG
BW@FG
DS

EXISTING CONDITION

IMPERVIOUS: 3,218 SF
PERVIOUS: 2,503 SF

PROPOSED CONDITION

IMPERVIOUS: 3,540 SF
PERVIOUS: 2,181 SF



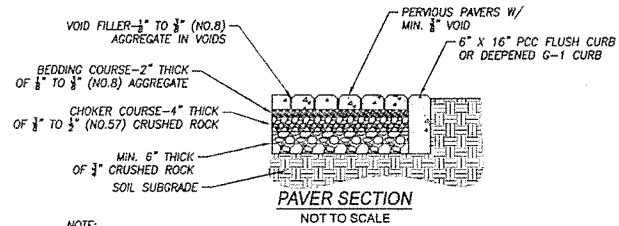
TYPICAL WALL CROSS SECTION,
ELEVATIONS SHOWN ON PLAN
NOT TO SCALE

EASEMENTS

EASEMENT FOR SANITARY SEWER AS SHOWN ON MAP 2143 RECORDED DECEMBER 17, 1928 PER FILE NO 75834 OF OFFICIAL RECORDS.

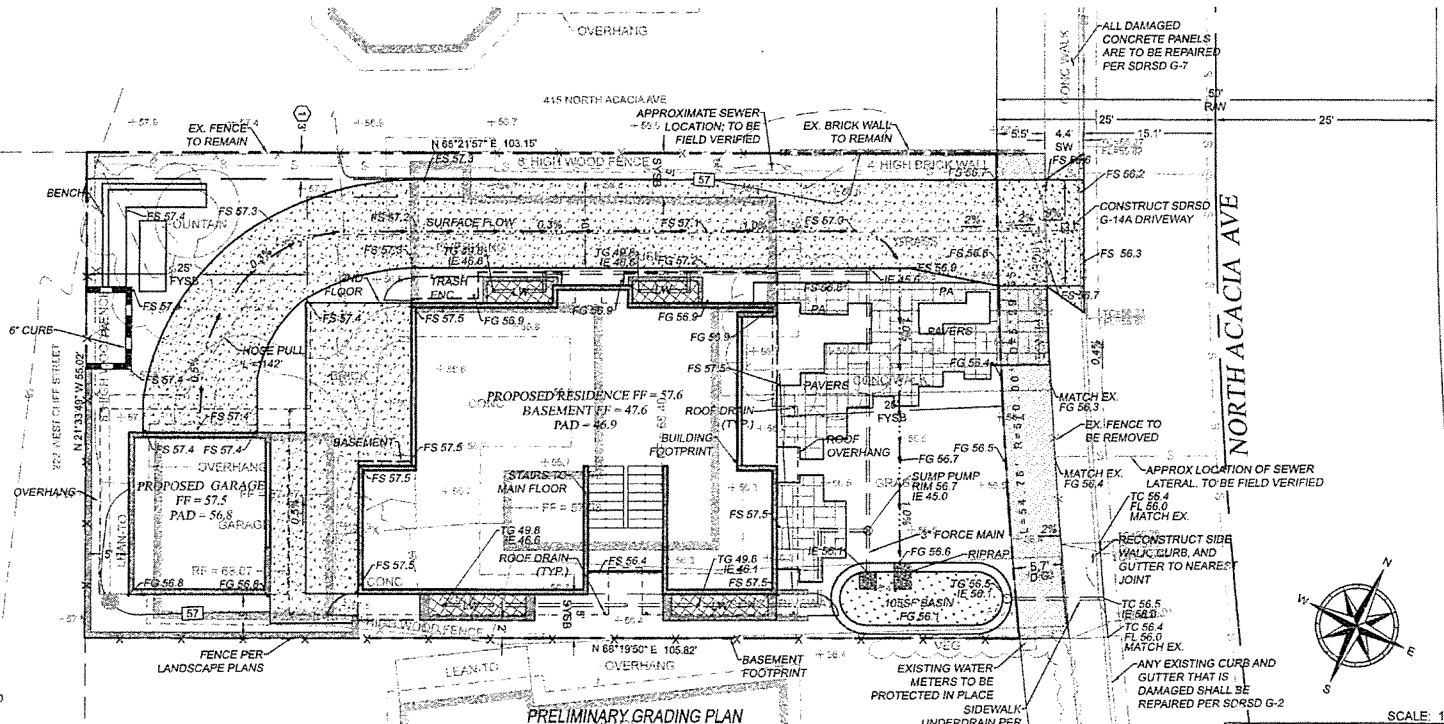
NOTES

1. ALL ROOF DRAINS MUST FLOW INTO LANDSCAPED AREAS BEFORE BEING COLLECTED AND DISCHARGED TO THE STREET



NOTE:
-ALL AGGREGATE MUST BE CLEAN/WASHED AND FREE OF FINES (SAND, SILT, ETC.)
-THE PAVERS SHALL NOT BE SEALED ONCE THE VOID FILLER HAS BEEN ADDED
-EACH COURSE SHALL BE VIBRATORY COMPACTED BEFORE PLACEMENT OF NEXT COURSE
-NO IMPERVIOUS LINER OR FILTER FABRIC IS TO BE USED
-SPECIAL APPROVAL REQUIRED FOR USE IN HIGHLY EXPANSIVE SOIL - SUBDRAIN MAY BE REQUIRED

**CONSTRUCTION NOTE:
-PAVERS TO BE COVERED AND PROTECTED DURING CONSTRUCTION



BENCH DETAIL
SCALE 1\"/>

LEGAL DESCRIPTION

LOT 11 IN BLOCK 4 OF SOLANA BEACH VISTA, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2143, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 17, 1928.

A.P.N.:

263-052-07

SITE ADDRESS:

411 NORTH ACACIA AVE.
SOLANA BEACH, CA 92075

OWNER/PERMITTEE:

PATRICK AND ANSLEY LENIHAN
411 N ACACIA AVE
SOLANA BEACH, CA 92075

TOPOGRAPHIC SURVEY:

PASCO LARET SUITER AND ASSOCIATES
DATE: SEPTEMBER 2021
(858) 259-8212

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

STANDARD SPECIFICATIONS

- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
- CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED SETBACKS	---
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
PROPOSED MASONRY RETAINING WALL PER PLAN	---
EXISTING MASONRY RETAINING WALL	---
PROPOSED PLANTER AREA	---
PROPOSED 4-INCH STORM DRAIN	---
FLOW LINE	---
PROPOSED LIGHTWELL W/ GRATE	---
HOSE PULL	---
ROOF OVERHANG	---
BASEMENT	---

OWNER'S CERTIFICATE

I, AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED BY MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

PATRICK AND ANSLEY LENIHAN
411 N ACACIA AVE
SOLANA BEACH, CA 92075

DECLARATION OF RESPONSIBLE CHARGE

I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION No. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

By: WILLIAM SUITER
RCE No. 68964 EXP 12/31/2023
PASCO LARET SUITER & ASSOCIATES



EARTHWORK QUANTITIES:

SITE GRADING (OUTSIDE OF STRUCTURE):
CUT: 32 CY
FILL: 10 CY
EXCAVATION FOR FOOTINGS: 10 CY
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 635 CY
TOTAL GRADING (CUT AND FILL OUTSIDE & BELOW STRUCTURE): 687 CY
TOTAL EXPORT: 667 CY

* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.

COASTAL COMMISSION PERMIT NO.

ENGINEER OF WORK		CITY APPROVED CHANGES		APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
SEL	By: <u>WILLIAM J. SUITER</u> Date: <u>12/31/23</u>				By: <u>Review Engineer</u>	By: <u>City Engineer</u> R.C.E. <u>Exp: 12/31/23</u>	DESCRIPTION: "SOLB-2" PER SOLANA BEACH SURVEY CONTROL LOCATION: 0.1' SOUTH OF THE INTERSECTION OF LOMAS SANTA FE DRIVE AND STEVENS AVE. IN FRONT OF THE LIBRARY. RECORD FROM: ROS NO. 18971 ELEV: 110.412' DATUM: NAVD 88	PRELIMINARY GRADING PLAN FOR: 411 NORTH ACACIA AVE	DRP 22-019 SDP 22-017 SITE 1 OF 1

LANDSCAPE PLANS FOR:

LENIHAN RESIDENCE

411 NORTH ACACIA
SOLANA BEACH, CA 92075

DRAWING INDEX

SHEET	CONTENTS
L-1	TITLE SHEET, NOTES WATER CONSERVATION PLAN
L-2	CONCEPTUAL LANDSCAPE PLAN, LEGEND

OWNER

PATRICK LENIHAN

DRAWN BY:

AHLES LANDSCAPE ARCHITECTURE
P.O. BOX 1502
RANCHO SANTA FE, CA 92067

CONTACT: STEVE AHLES
PH: 858-756-8463

**LANDSCAPE ARCHITECT
COMPLIANCE STATEMENT**

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE WATER REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

BY: *Steve Ahles*
LANDSCAPE ARCHITECT
DATE: JI. 2022

AHLES
LANDSCAPE
ARCHITECTURE INC.

P.O. Box 1502
Rancho Santa Fe, CA 92067
858.756.8463
ala@ahlesland.com



CA# 2538

LANDSCAPE
PLANS
FOR:

**LENIHAN
RESIDENCE**

411 N. ACACIA STREET
SOLANA BEACH, CA

APN: 265-052-07

ALA PROJECT NO.: 221

ISSUE:	DATE:
	DEC 21
	4 JAN 22
	21 FEB 23
	0 JUL 23
	14 AUG 23
	28 AUG 23

SHEET:

L-1

OF

MAINTENANCE PROGRAM

CONTINUOUSLY MAINTAIN ALL LANDSCAPE AREAS WITHIN THE PROJECT. LANDSCAPE MAINTENANCE SHALL INCLUDE THE FOLLOWING SCOPE OF WORK:

1. MAINTAIN THE PROJECT IN A SAFE AND HAZARD-FREE CONDITION AT ALL TIMES.
2. PROVIDE APPROPRIATE WATERING OF ALL PLANT MATERIAL, INCLUDING PROPER SCHEDULING AND MAINTENANCE OF THE IRRIGATION SYSTEM.
3. PROVIDE FERTILIZATION, AS NECESSARY, TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
4. CONTINUALLY REMOVE ALL WEEDS, TRASH AND DEBRIS.
5. REPLACE ANY DEAD, DYING OR DAMAGED SHRUBS OR TREES.
6. PRUNE TREES AND SHRUBS TO SHAPE, REMOVE WEAK OR CROSSED BRANCHES, MAINTAINING NATURALISTIC PLANT SHAPE. DO NOT TOP TREES. TREES OVER 15 FEET TALL SHOULD BE REVIEWED BY A CERTIFIED ARBORIST PRIOR TO PRUNING WITH PRUNING MADE PER ARBORIST RECOMMENDATIONS. AVOID SHEARING OF SHRUBS INDIVIDUALLY, ALLOWING MASSINGS TO FORM INFORMAL GROUPINGS OF LIKE SPECIES. LIMIT HEDGES TO APPROPRIATE LOCATIONS.
7. PROVIDE ALL NECESSARY PEST CONTROL, PER RECOMMENDATIONS OF A CERTIFIED PEST CONTROL ADVISOR.
8. REPLENISH MULCH AS NECESSARY TO MAINTAIN SPECIFIED DEPTH.
9. WHERE PRESENT, MOW LAWNS AS REQUIRED, NO LESS THAN WEEKLY IN ACTIVE GROWING SEASON, TO MAINTAIN PROPER HEIGHT. REMOVE GRASS CLIPPINGS FROM THE SITE.
10. RE SOO DEAD OR DAMAGED TURF AREAS.
11. CLEAN, ADJUST, REPAIR, AND REPLACE IRRIGATION SYSTEM COMPONENTS AS NECESSARY TO MAINTAIN THE IRRIGATION SYSTEM IN EXCELLENT CONDITION. TO THE EXTENT POSSIBLE, REPLACE EQUIPMENT WITH ORIGINALLY SPECIFIED PRODUCT.
12. MAINTAIN ALL DRAINAGE FACILITIES IN EXCELLENT CONDITIONS. CONTINUOUS CLEAN DRAIN INLETS AND SURFACE FLOW LINES. FLUSH AND CLEAN SUBSURFACE DRAINS ONCE A YEAR (MINIMUM), IN SEPTEMBER/OCTOBER, WITH CLEAR WATER TO AVOID BUILDUP OF SILT AND DEBRIS. ALSO CHECK DRAINAGE SYSTEMS AFTER HEAVY RAIN.
13. MAINTAIN ACCURATE RECORDS FOR ALL MAINTENANCE ACTIVITIES, INCLUDING LOSS OF ALL PESTICIDE AND FERTILIZER APPLICATION.

ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Project Name: LENIHAN, Project/Plot/Block Number: 441 N. ACACIA, Project Address: 441 N. ACACIA

The project's Estimated Total Water Use is calculated using the following formula: $ETWU = (ET \times EA) \times (PF \times EF) + SLA$

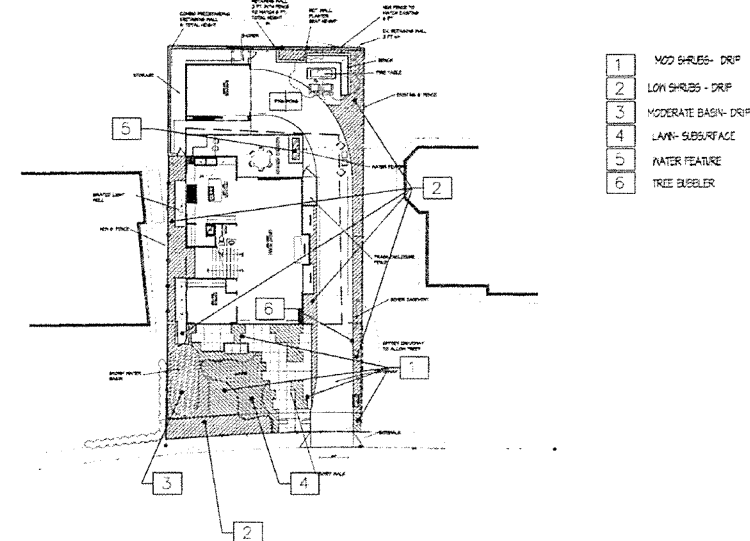
ETWU = Estimated total water use per year (gallons per year)
 ET = Evapotranspiration rate (gallons per year)
 PF = Plant Factor from WUCOLS (see Definitions)
 EA = Evapotranspiration Area (square feet)
 SLA = Special Landscape Area (square feet) (See Definitions)
 EF = Irrigation Efficiency Factor (see Definitions)
 IE = Irrigation Efficiency

CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

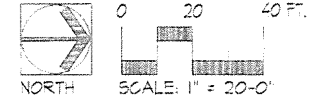
Line	Hydrozone Number (1-4 below - use as many letters as necessary to complete all hydrozones)	1	2	3	4	SLA	E	IE	ETWU
Evapotranspiration Rate (EPR)	See "A" below	1	2	3	4	SLA	1.0	0.75	750000
Conversion Factor - 0.62		2							465000
Line 1 x Line 2		3	25.42						220295
Plant Factor (PF)	See "B" below	4	0.6	0.5	0.6		1.0		0.6
Evapotranspiration Area (EA) - in square feet		5	345	667	50	209	12		23
Line 4 x Line 5		6	207.4	260.1	90	129.0			12.0
Irrigation Efficiency (IE)	See "C" below	7	0.61	0.5	0.61		1.0		1.0
Line 6 x Line 7		8	258.6	321.1	111.1	15.4			12.0
TOTAL of all Line 8 boxes + SLA		9							866.6
Line 3 x Line 9		10							220295
Estimated Total Water Use - ETWU (gallons per year)									220295
Total shall not exceed MAWA below:									

MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:
 ETWU (gallons per year) / 365 (days per year) / 3.1536 (conversion factor) = 220295 / 365 / 3.1536 = 193.5 GPD

January 2016 Page 3 of 9

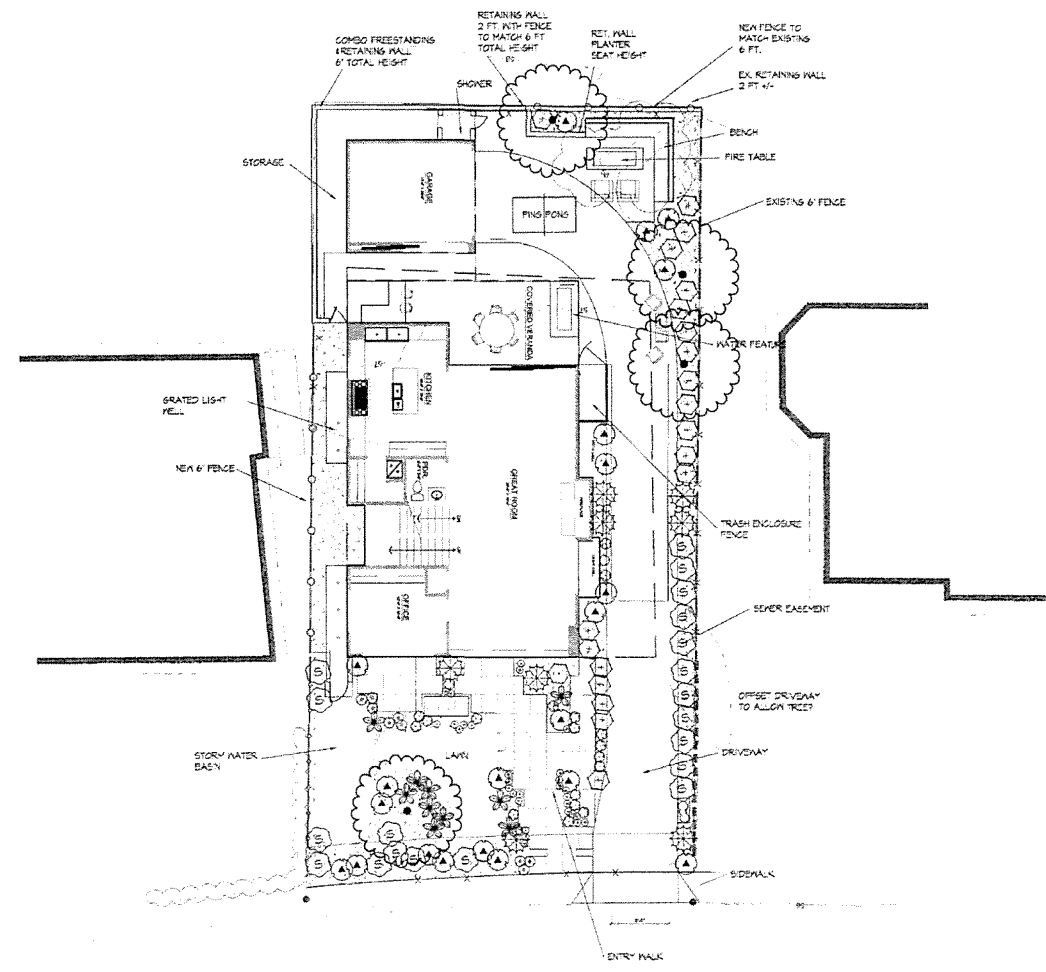


WATER CONSERVATION PLAN

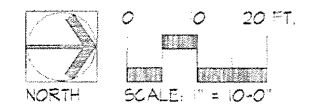


PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	QTY	
	AREBUTUS UNDOO STRAWBERRY TREE - STANDARD FORM MATURE HEIGHT - 20 TO 25 FEET WATER USE - LOW	48 IN BOX		4	
SHRUBS	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	QTY	
	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE WATER USE - LOW	5 GALLON		23	
	ASPARAGUS DENSIFLORUS MYERSII MYERS ASPARAGUS FERN WATER USE - MODERATE	5 GAL		1	
	CAREX DIVULSA BERKELEY SEDGE WATER USE - MODERATE	1 GALLON		18	
	CORDYLINE AUSTRALIS 'ATROPURPUREA' BRONZE DRAGONIA WATER USE - LOW	5 GAL		8	
	CRASSULA ARSENTEA 'CROSBY' MINIATURE JADE PLANT WATER USE - LOW	5 GALLON		20	
	DIANELLA CAERULEA 'CASSA BLUE' CASSA BLUE FLAX LILY WATER USE - MODERATE	5 GAL		10	
	ECHEVERIA IMBRICATA BLUE ROSE ECHEVERIA WATER USE - LOW	5 GAL		21	
	SALVIA LEUCANTHA 'SANTA BARBARA' MEXICAN BUSH SAGE WATER USE - LOW	1 GALLON	8' X 8'	20	
	SENECIO VITALIS BLUE CHALK FINGERS WATER USE - LOW	5 GAL		21	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	SPACING	QTY
	CAREX PRAECRACILIS SLENDER SEDGE WATER USE - MODERATE	4 IN POTS		12" o.c.	156
MULCH/D.S.	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	SPACING	QTY
	DECOMPOSED GRANITE CALIFORNIA GOLD COLOR STABILIZED	6" DEPTH			140 SF
NON-LIVING	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	SPACING	QTY
	BARK MULCH BARK MULCH	6" DEPTH			1270 SF
SOD/SEED	BOTANICAL / COMMON NAME	CONT	INCOLS (KG)	SPACING	QTY
	PLATINUM PASPALUM SEASHORE PASPALUM HAWY SEASON SOD WATER USE - MODERATE	SOD			184 SF



PLANTING PLAN



**AHLES
LANDSCAPE
ARCHITECTURE INC.**
P.O. Box 1503
Rancho Santa Fe, CA 92067
858.756.8963
ahles@ahlesland.com

CA# 2538

**LANDSCAPE
PLANS
FOR:**

**LENIHAN
RESIDENCE**

411 N. ACACIA STREET
SOLANA BEACH, CA

APN:	263-052-07
ALA PROJECT NO.:	221
ISSUE:	DATE:
	06.02
	19 JUL 22
	21 FEB 23
DRIVEWAY	0 JUL 23
DRIVEWAY	14 AUG 23
LIGHT WELL	25 AUG 23

SHEET:

L-2



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: Community Development Department
SUBJECT: **City Council Review of Proposed Landscape Plans for
DRP21-016 (Applicants: Kimberly and John Novak; APN:
298-391-04-00; Resolution 2024-022)**

BACKGROUND:

The Applicants, Kimberly and John Novak, are requesting City Council (Council) approval of the landscape plan for Development Review Permit (DRP) 21-016 to construct a 1,786 square foot detached garage with a 676 square foot art studio and perform associated site improvements on an existing developed single-family lot. The 35,719 square-foot lot is located at 1005 Highland Drive and is within the Estate Residential (ER-2) Zone and Dark Sky Overlay Area.

On July 13, 2022, the Council conditionally approved DRP 21-016 requiring that the Applicants modify and resubmit the landscape plan prior to building permit issuance.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' modified landscape plan as submitted.

DISCUSSION:

The subject property is located on the east side of Highland Drive. The 35,719 square-foot lot is irregularly shaped, with residential properties to the north, south and east. The topography of the subject site slopes down from the rear of the property westerly to Highland Drive with an approximately 30-foot grade differential.

The site is currently developed with a 2,803 square-foot two-story, single-family residence with an attached 442 square-foot garage. The proposed 1,728 square-foot garage would allow for two (2) conforming parking spaces. Since the parking spaces provided in the proposed garage would comply with the Off-Street Parking Design Manual (OSPDM), the project would qualify for a 400 square foot floor area exemption. Therefore, the total proposed floor area would be 5,249 square feet. The maximum proposed building height

CITY COUNCIL ACTION:

was 15.8 feet above existing grade. The project would also include associated site improvements including grading, improving the existing driveway to the new garage, and landscaping. The project plans are provided in Attachment 2.

As noted earlier, the Council conditionally approved the Novak DRP application with an added condition to modify the landscape plan and resubmit the landscape plan for Council consideration prior to building permit issuance. The Council further required that the Applicants conduct outreach to surrounding property owners, including owners on Ramona Place, regarding the revised landscape plan prior to Council consideration.

Since the Council's conditional approval in 2022, the Applicants have modified their landscape plan to further address the neighbor's view concerns, conducted outreach with surrounding neighbors, and decided to remove the second story studio above the partially subterranean garage to further address the neighbor's view concerns.

The Applicants have submitted plans for a building permit that are being reviewed by Staff. Those plans are consistent with the landscape plan that is being reviewed by Council. Additionally, the building plans under review do not include the studio above the proposed garage.

A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Section 15303 is a Class 3 exemption for new construction or the conversion of small structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2024-022.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed landscape plan has been reviewed by the City's landscape architect, who has determined that the plans meet the minimum objective requirements of SBMC. Therefore, Staff recommends that the City Council consider approving the proposed landscape plan for DRP21-016 and approve Resolution 2024-022.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Daniel King, Interim City Manager

Attachments:

1. Resolution 2024-022
2. Landscape Plans
3. Novak (Applicant) Letter
4. Juma (Neighbor) Letter

RESOLUTION 2024-022

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING THE LANDSCAPE PLAN FOR DEVELOPMENT REVIEW PERMIT 21-016 LOCATED AT 1005 HIGHLAND DRIVE, SOLANA BEACH

APPLICANTS: John and Kimberly Novak
CASE NO.: DRP 21-016

WHEREAS, Kimberly and John Novak (hereinafter referred to as the “Applicants”) have submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, a Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on July 13, 2022, the City Council received and considered evidence concerning the proposed application and conditionally approved DRP 21-016; and

WHEREAS, the Applicants were required to modify the landscape plan and resubmit the landscape plan for City Council consideration prior to building permit issuance; and

WHEREAS, the Applicants have conducted neighborhood outreach and submitted a modified landscape plan for City Council consideration; and

WHEREAS, the Applicants have removed the studio above the garage to address neighbor’s concerns; and

WHEREAS, this decision is based upon the evidence and information presented to the City Council, and information the City Council gathered by viewing the site and the area as disclosed.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the project is exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines.
3. That the proposed landscape plan for DRP 21-016 is conditionally approved based upon the following Findings and subject to the following Conditions:
4. That the City Council finds that the proposed landscape plan is consistent with the City’s current water efficient landscaping regulations of SBMC Chapter 17.56.
5. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. All conditions contained in Resolution 2022-086 shall also apply in addition to the conditions below.
- II. Building Permit plans must be in substantial conformance with the plans presented to the City Council on July 13, 2022, and the modified landscape plans presented to the City Council on February 28, 2024.
- III. The Applicants have agreed to remove the studio above the garage to address neighbor's concerns.
- IV. Any additional changes to the approved plans for DRP 21-016 and subsequent landscape plan shall require a DRP modification.

B. City Council Conditions:

I.

6. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.16 and 1.18 in addition to any applicable revocation proceedings.
7. EXPIRATION: The DRP for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council, subject to SBMC Section 17.72.110.
8. INDEMNIFICATION AGREEMENT: The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants

regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANT: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 28th day of February, 2024, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

NOVAK RESIDENCE

LANDSCAPE DEVELOPMENT REVIEW PERMIT

1005 HIGHLAND DRIVE
DEL MAR, CALIFORNIA 92014

SHEET INDEX

LANDSCAPE SHEETS

SHEET #	SHEET NAME
1	L1.0 TITLE SHEET
2	L1.1 HARDSCAPE PLAN
3	L1.2 HARDSCAPE PLAN ENLARGEMENT NORTHWEST
4	L1.3 HARDSCAPE PLAN ENLARGEMENT MAIN AMENITY
5	L1.4 HARDSCAPE PLAN ENLARGEMENT WEST AMENITY
6	L1.5 HARDSCAPE LEGEND
7	L1.6 DIMENSIONING PLAN
8	L1.7 HARDSCAPE DETAILS
9	L1.8 HARDSCAPE DETAILS
10	L1.9 HARDSCAPE DETAILS
11	L1.10 HARDSCAPE DETAILS
12	L1.11 HARDSCAPE DETAILS
13	L1.12 HARDSCAPE DETAILS
14	L1.13 HARDSCAPE DETAILS
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16	L1.15 HARDSCAPE DETAILS
17	L2.0 HYDRAULIC MAP
18	L2.1 IRRIGATION PLAN
19	L2.2 IRRIGATION LEGEND
20	L2.3 IRRIGATION DETAILS
21	L2.4 IRRIGATION DETAILS
22	L3.0 PLANTING PLAN
23	L3.1 PLANTING PLAN
24	L3.2 PLANTING LEGEND
25	L3.3 PLANTING NOTES
26	L3.4 PLANTING IMAGES
27	L3.5 PLANTING DETAILS



GENERAL NOTES

- VISIT SITE PRIOR TO SUBMITTING BIDS.
 - VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS.
 - DO NOT SCALE DRAWINGS.
 - ALL WORK CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE LOCATION OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
 - REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
 - DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE LANDSCAPE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT, WHETHER OF MATERIAL OR WORK AND WHETHER PERFORMED BEFORE, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS BUT THEY DO NOT GUARANTEE GENERAL CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
 - A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED DURING CONSTRUCTION CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE.
 - MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
 - THE GENERAL CONTRACTOR WARRANTS TO THE OWNER AND THE LANDSCAPE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER.
 - PROVIDE FACILITIES FOR THE PHYSICALLY HANDICAPPED IN ACCORDANCE WITH C.A.C. TITLE 24 AND AS REQUIRED BY THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE.
 - IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
 - PAVING, MASONRY AND CONCRETE SUBCONTRACTORS ARE TO COORDINATE WITH THE ELECTRICAL, DRAINAGE, SUBCONTRACTOR AND IRRIGATION SUBCONTRACTOR FOR SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH HARDSCAPE ELEMENTS.
 - VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
 - IN THE CASE OF DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS TAKE PRECEDENCE OVER DETAILS AND DETAILS TAKE PRECEDENCE OVER PLANS.
 - SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER.
 - THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL TRADES ARE PROVIDED WITH CURRENT DRAWINGS AND SPECIFICATIONS APPROVED FOR CONSTRUCTION. DO NOT ALLOW DOCUMENTS NOT APPROVED FOR CONSTRUCTION TO BE USED IF SEEN ON SITE. KEEP ONE SET OF AGENCY-APPROVED STAMPED PLANS ON SITE IN CASE CITY INSPECTORS REQUIRE PROOF OF CITY-APPROVED PLANS.
 - REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.
 - LOCATIONS OF ALL C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRAULIC TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
 - PROVIDE THE OWNER WITH ALL WARRANTIES, GUARANTEES AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.
 - NOTIFY THE CITY'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
 - CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING AND ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
 - LANDSCAPE ARCHITECT SHALL HAVE FINAL SAY ON INTERPRETATION OF ALL INFORMATION CONTAINED IN THE LANDSCAPE CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND ASSOCIATED REPORTS FOR THE PROJECT.
- NOTE: ANY DEPICTED WATER FEATURES OR FOUNTAINS ARE NO LONGER PART OF THE DRP SCOPE. PRIOR DRP SUBMITTALS INCLUDED WATER FEATURES, BUT THEY HAVE BEEN REMOVED.

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HATCHWORKS
3745 Trudy Ln.
San Diego, CA 92106
619-356-8582

REV	DATE	DESCRIPTION
6	01/18/2024	CITY RE-SUBMITTAL
7	01/08/2024	CITY RE-SUBMITTAL
8	08/11/2023	CITY RE-SUBMITTAL
5	05/03/2022	CITY RE-SUBMITTAL
4	04/03/2022	CITY RE-SUBMITTAL
3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL

NO	DATE	ISSUE NOTE
1	01/18/2024	NTS

Project Manager: Andrew Hatch
Checked By: AH

Date: 01/18/2024

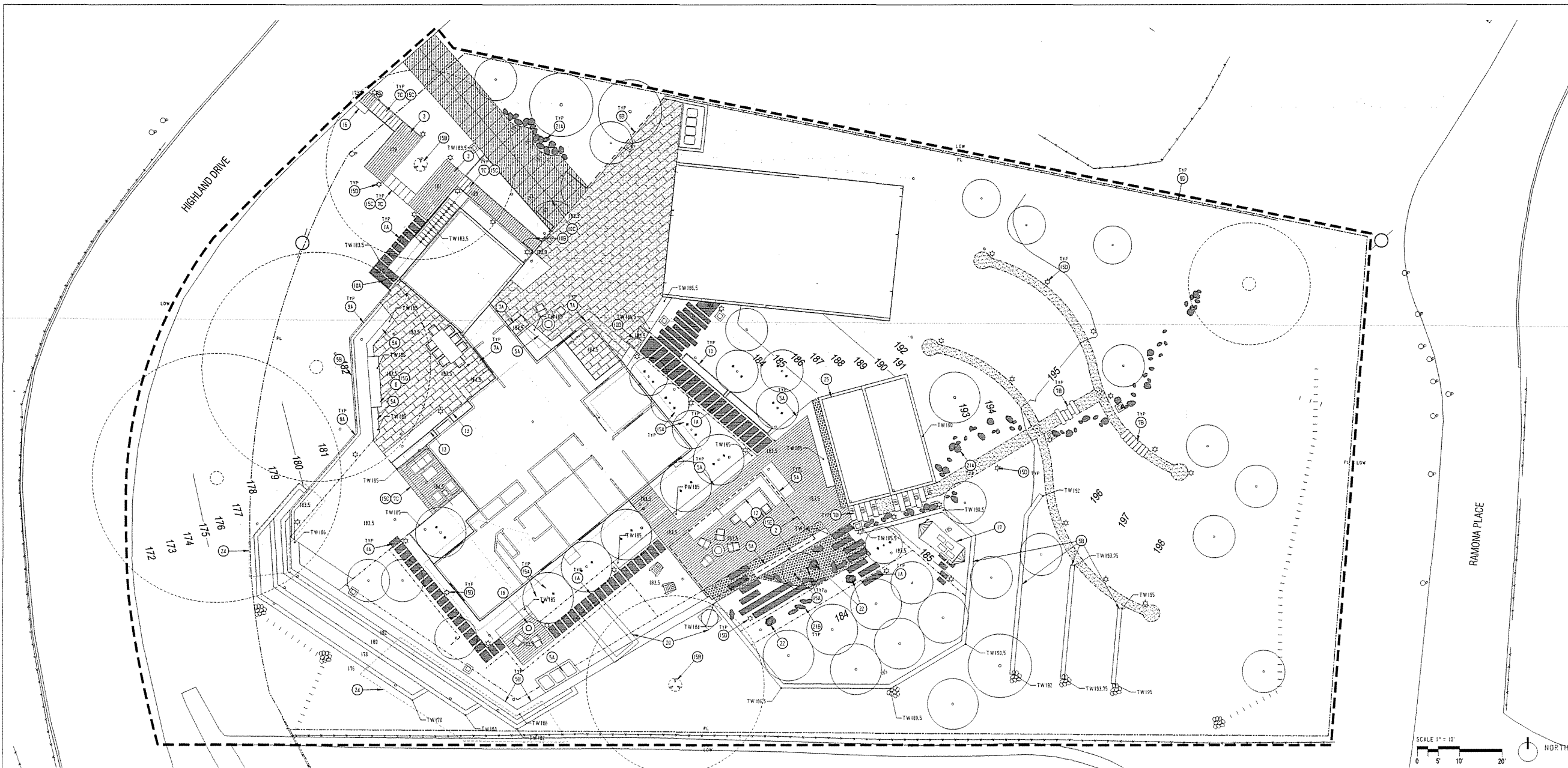
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Sheet Title: TITLE SHEET

ATTACHMENT 2

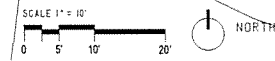
L1.0

City of Solana Beach Planning Department
RECEIVED
02/05/2024 jdelmer



NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HARDSCAPE LEGEND

See sheet L1.5 for full legend

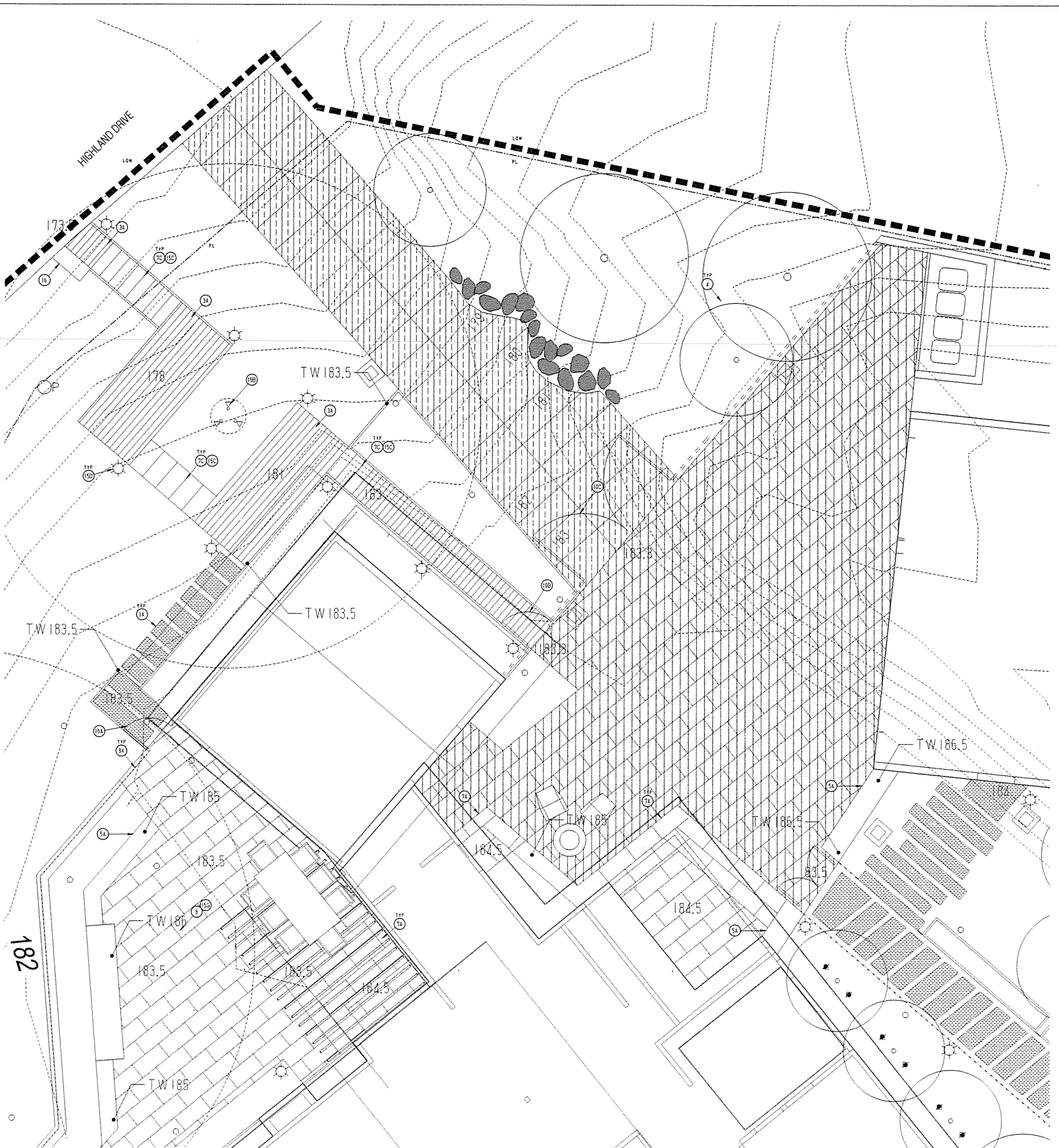
ITEM	DETAIL	DESCRIPTION	ITEM	DETAIL	DESCRIPTION	ITEM	DETAIL	DESCRIPTION
		PAVING CIP CONCRETE PAVING			STONE WALL TYPE 1 FREE-STANDING			NOT USED
		STONE PAVING			STONE WALL TYPE 2 RETAINING WALL			NOT USED
		WOOD DECK ON GRADE			WEATHERING STEEL WALL TYPE 1 RETAIN UP TO 30"			NOT USED
		WOOD DECK ON STRUCTURE			WEATHERING STEEL WALL TYPE 2 RETAINS MORE THAN 30"			NOT USED
		DECOMPOSED GRANITE PAVING			STEPS TYPE 1 STONE TILES			NOT USED
		CONCRETE PAVER TYPE 1 AT GARDEN			STEPS TYPE 2 STONE STAIRS UP ROCK FEATURES			NOT USED
		NOT USED			STEPS TYPE 3 DECK STEPS			NOT USED
		NOT USED			BUILT-IN CONCRETE COUNTER			LIGHTING & ELECTRICAL TREE UP LIGHTS
		ROCK MULCH TYPE 1			FENCE TYPE 1 STEEL PICKETS			MOONLIGHTS
		ROCK MULCH TYPE 2			FENCE TYPE 2 WOOD CLADDING STEEL PICKETS			CONCEALED STEP LIGHTS
		METAL EDGING			FENCE TYPE 3 EXISTING CHAIN LINK TO REMAIN			BOLLARD PATH LIGHTS
		EXPANSION JOINT			FENCE TYPE 4 CHAIN LINK FENCE			OVERHEAD SHADE STRUCT. LIGHTS
		SAWCUT JOINT			GATE TYPE 1 STEEL PICKETS PED. SWING GATE			NOT USED
		SITE STRUCTURES SHADE STRUCTURE			GATE TYPE 2 WOOD CLADDING STEEL PICKETS PEDESTRIAN ENTRY GATE			SITE FURNISHINGS MAILBOX
		RAISED WOOD PLATFORMS			GATE TYPE 3 WOOD CLADDING STEEL PICKETS VEHICULAR DOUBLE SWING ENTRY GATE			HAMMOCK
		NOT USED			GATE TYPE 4 WOOD CLADDING STEEL PICKETS LOW DOUBLE SWING GATE			FIRE PIT
		NOT USED			NOT USED			MOVABLE FURNITURE
		NOT USED			CUSTOM SEATING CANTILEVER FROM STONE WALL WITH UPHOLSTERY			EXISTING TREE TO REMAIN
		NOT USED			CUSTOM METAL PLANTERS BY METAL FABRICATOR, 1/2" THICK STEEL PLANTER, OPEN BOTTOM			EXISTING SEPTIC SYSTEM TO REMAIN
		NOT USED						LANDSCAPE BOULDERS TYPE 1 HILLSIDE
		NOT USED						LANDSCAPE BOULDERS TYPE 2 ZEN GARDEN



HATCHWORKS
3745 Trudy Ln.
San Diego, CA 92116
619-356-6582

REV	DATE	DESCRIPTION
8	01/18/2024	CITY RE-SUBMITTAL
7	01/08/2024	CITY RE-SUBMITTAL
6	08/11/2023	CITY RE-SUBMITTAL
5	05/03/2023	CITY RE-SUBMITTAL
4	04/03/2023	CITY RE-SUBMITTAL
3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE
	01/18/2024	AS SHOWN

HARDSCAPE PLAN



NORTH WEST HARDSCAPE PLAN



- (1) EXISTING SEPTIC SYSTEM TO REMAIN PROTECT IN PLACE.
- (2) LANDSCAPE BOULDERS TYPE 1 HILLSIDE ANGULAR BOULDERS
- (3) LANDSCAPE BOULDERS TYPE 2 ZEN GARDEN DARK GRAY COLUMNAR BOULDERS, VARIOUS SIZES
- (4) SCULPTURES AT ZEN GARDEN PER OWNER, QTY. 3
- (5) 5' OR MORE CUT SLOPES STABILIZE SLOPES WITH REINFORCED STRAW HATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION
- (6) 2' OR MORE FILL SLOPES STABILIZE SLOPES WITH REINFORCED STRAW HATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION
- (7) EXISTING BLOCK WALL TO REMAIN TO MATCH PROPOSED STONE WALLS (SEE ITEMS 5A AND 5B)

HARDSCAPE LEGEND
See sheet L1.5 for full legend

ITEM	DETAIL	DESCRIPTION
(1) PAVING CIP CONCRETE PAVING	(1) L1.5	VEHICULAR DEPTH PER CIVIL, MIN 4", CIP INTEGRAL COLOR CONCRETE PAVING W/ TOPCAST FINISH #2, SAWCUT JOINTS, MATTE FINISH SEALANT
(2) STONE PAVING	(2) L1.5	MORTAR SET ON 4" CONCRETE PAD
(3) WOOD DECK ON GRADE	(3) L1.5	MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE FOOTINGS AND PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
(4) WOOD DECK ON STRUCTURE	(4) L1.5	MODIFIED PINE PLANKS ON PT SLEEPERS AND DRAINAGE BLOCKS OVER BUILDING SLAB, PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
(5) DECOMPOSED GRANITE PAVING	(5) L1.5	STABILIZED DG WITH METAL EDGING ON 4" OF CLASS II BASE
(6) CONCRETE PAVER TYPE 1 AT GARDEN	(6) L1.5	4" DEPTH, CIP INTEGRAL COLOR CONCRETE PAVER W/ TOPCAST FINISH #2, SAWCUT JOINTS, MATTE FINISH SEALANT
(7) NOT USED		
(8) NOT USED		
(9) ROCK MULCH TYPE 1	(9) L1.5	DECORATIVE STONE
(10) ROCK MULCH TYPE 2	(10) L1.5	DECORATIVE CRUSHED STONE
(11) METAL EDGING	(11) L1.5	ON GRADE: STEEL EDGING ON STRUCTURE: "L" SHAPE ALUMINUM EDGING
(12) EXPANSION JOINT	(12) L1.5	HIDDEN EXPANSION JOINTS, PER DETAIL
(13) SAWCUT JOINT	(13) L1.5	1/4" CUTS, NOT TOOLED, PER DETAIL
(14) SITE STRUCTURES SHADE STRUCTURE	(14) L1.5	STEEL AND WOOD STRUCTURE ON CONCRETE FOOTINGS
(15) RAISED WOOD PLATFORMS	(15) L1.5	MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
(16) NOT USED		
(17) NOT USED		
(18) STONE WALL TYPE 1 FREE-STANDING	(18) L1.5	STONE: 6" H X 4" DEEP X VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 8" H COPING SLAB
(19) STONE WALL TYPE 2 RETAINING WALL	(19) L1.5	STONE: 6" H, 4" DEEP, VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 8" H COPING SLAB
(20) WEATHERING STEEL WALL TYPE 1 UP TO 30" HIGH SHALL BE MOUNTED TO STEEL POSTS SET IN CONCRETE FOOTINGS	(20) L1.5	1/2" THICK WEATHERING STEEL WALLS UP TO 30" HIGH SHALL BE MOUNTED TO STEEL POSTS SET IN CONCRETE FOOTINGS
(21) WEATHERING STEEL WALL TYPE 2 RETAINS MORE THAN 30"	(21) L1.5	1/4" THICK WEATHERING STL WALLS OVER 30" H SHALL BE MOUNTED TO CONTINUOUS CMU CORE WALL
(22) STEPS TYPE 1 STONE TILES	(22) L1.5	MORTAR SET ON 4" CONCRETE BASE 18" WIDE X 36" LONG X 3" THICK STONE TILE
(23) STEPS TYPE 2 STONE STAIRS UP ROCK FEATURES	(23) L1.5	FULL DIMENSION STONE BLOCKS 6" HIGH X 4" DEEP X 30" LONG
(24) STEPS TYPE 3 DECK STEPS	(24) L1.5	MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
(25) BUILT-IN CONCRETE COUNTER	(25) L1.5	CIP INTEGRAL COLOR CONCRETE BASE WITH STONE COUNTERTOP
(26) FENCE TYPE 1 STEEL PICKETS	(26) L1.5	6" H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5' O.C. EMBEDDED ON CONTINUOUS CONCRETE FOOTING
(27) FENCE TYPE 2 WOOD CLADDING STEEL PICKETS	(27) L1.5	6" H X 3" W, 1.5" X 1.5" STL ANGLE FENCE, 5' O.C. EMBEDDED ON CONT. CONCRETE FOOTING, CEDAR SLATS AT EACH ANGLE, UNFINISHED
(28) FENCE TYPE 3 EXISTING CHAIN LINK TO REMAIN	(28) L1.5	PROTECT IN PLACE.
(29) FENCE TYPE 4 CHAIN LINK FENCE	(29) L1.5	6" H CHAIN LINK FENCE TO MATCH EXISTING
(30) GATE TYPE 1 STEEL PICKETS PED. SWING GATE	(30) L1.5	5' H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5' O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP
(31) GATE TYPE 2 WOOD CLADDING STEEL PICKETS PED. STRAN ENTRY GATE	(31) L1.5	5' H X 3" W, 1.5" X 1.5" STL ANGLE FENCE, 5' O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
(32) GATE TYPE 3 WOOD CLADDING STEEL PICKETS VEHICULAR DOUBLE SWING ENTRY GATE	(32) L1.5	5' H X 12" W, 1.5" X 1.5" STL ANGLE FENCE, 5' O.C. ON A 2" X 4" TUBE FRAME AND A 4" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
(33) GATE TYPE 4 WOOD CLADDING STEEL PICKETS LOW DOUBLE SWING GATE	(33) L1.5	2.5' H X 5' W, 3/4" X 2" FLAT BARS FENCE, 5' O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
(34) NOT USED		
(35) CUSTOM SEATING CANTILEVER FROM STONE WALL WITH UPHOLSTERY	(35) L1.5	STEEL AND WOOD STRUCTURE CANTILEVERED FROM STONE WALL WITH UPHOLSTERY
(36) CUSTOM METAL PLANTERS	(36) L1.5	BY METAL FABRICATOR, 1/2" THICK STEEL PLANTER, OPEN BOTTOM
(37) NOT USED		
(38) NOT USED		
(39) NOT USED		
(40) NOT USED		
(41) NOT USED		
(42) NOT USED		
(43) LIGHTING & ELECTRICAL TREE UP LIGHTS	(43) L1.5	2 UP LIGHTS PER NEW TREE, 4 AT LARGE PINE TREES, REFER TO ELECTRICAL, DIMMABLE
(44) MOONLIGHTS	(44) L1.5	HUNG DOWN LIGHTS FROM TREE, REFER TO ELECTRICAL, DIMMABLE 8 PER TREE
(45) CONCEALED STEP LIGHTS	(45) L1.5	AT DECK STEPS, REFER TO ELECTRICAL, DIMMABLE
(46) BOLLARD PATH LIGHTS	(46) L1.5	AROUND 12" O.C., REFER TO ELECTRICAL, DIMMABLE
(47) OVERHEAD SHADE STRUCT. LIGHTS	(47) L1.5	DOWN LIGHTS, PER ELECTRICAL, DIMMABLE
(48) NOT USED		
(49) COUNTER LIGHT	(49) L1.5	FLEXIBLE COUNTER LIGHT
(50) SITE FURNISHINGS TABLES	(50) L1.5	STEEL AND WOOD MATERIAL BOX FOR LETTERS AND PARCEL, ON 4" CONCRETE PAD
(51) HAMMOCK	(51) L1.5	PER OWNER
(52) FIRE PIT	(52) L1.5	MOVABLE WOOD BURNING FIRE PIT
(53) MOVABLE FURNITURE	(53) L1.5	PER OWNER
(54) OTHER PROPOSED TREE	(54) L1.5	SEE PLANTING PLAN
(55) EXISTING TREE TO REMAIN	(55) L1.5	PROTECT IN PLACE, SEE PLANTING PLAN AND TREE PROTECTION DETAIL.

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-356-8582

REV	DATE	DESCRIPTION
8	01/18/2024	CITY RE-SUBMITTAL
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3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

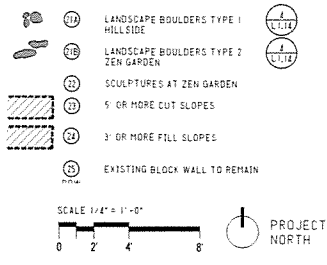
Project Manager: Andrew Hatch
Drawn by: AH
Date: 01/18/2024
Scale: AS SHOWN

HARDSCAPE PLAN ENLARGEMENT [NORTHWEST]



HARDSCAPE LEGEND
See sheet L1.5 for full legend

ITEM	DESCRIPTION	DETAIL	DESCRIPTION
	PAVING CIP CONCRETE PAVING		VEHICULAR DEPTH PER CIVIL, MIN 6"; CIP INTEGRAL COLOR CONCRETE PAVING W/ TOPCAST FINISH & SAWCUT JOINTS, MATTE FINISH SEALANT
	STONE PAVING		MORTAR SET ON 4" CONCRETE PAD
	WOOD DECK ON GRADE		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE FOOTINGS AND PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
	WOOD DECK ON STRUCTURE		MODIFIED PINE PLANKS ON PT SLEEPERS AND DRAINAGE BLOCKS OVER BUILDING SLAB, PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
	DECOMPOSED GRANITE PAVING		STABILIZED DG WITH METAL EDGING ON 4" OF CLASS II BASE
	CONCRETE PAVER TYPE 1 AT GARDEN		4" DEPTH, CIP INTEGRAL COLOR CONCRETE PAVER W/ TOPCAST FINISH & SAWCUT JOINTS, MATTE FINISH SEALANT
	NOT USED		
	NOT USED		
	ROCK MULCH TYPE 1		DECORATIVE STONE
	ROCK MULCH TYPE 2		DECORATIVE CRUSHED STONE
	METAL EDGING		ON GRADE - STEEL EDGING ON STRUCTURE - 1" SQUARE ALUMINUM EDGING
	EXPANSION JOINT		HIDDEN EXPANSION JOINTS, PER DETAIL
	SAWCUT JOINT		1/4" CUTS, NOT TOOLED, PER DETAIL
	SITE STRUCTURES SHADE STRUCTURE		STEEL AND WOOD STRUCTURE ON CONCRETE FOOTINGS
	RAISED WOOD PLATFORMS		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
	NOT USED		
	NOT USED		
	STONE WALL TYPE 1 FREE-STANDING		STONE, 6" H X 4" DEEP X VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 8" H COPING SLAB
	STONE WALL TYPE 2 RETAINING WALL		STONE, 6" H, 4" DEEP, VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 8" H COPING SLAB
	WEATHERING STEEL WALL TYPE 1 RETAIN UP TO 30"		1/2" THICK WEATHERING STEEL WALLS UP TO 30" HIGH SHALL BE MOUNTED TO STEEL POSTS SET IN CONCRETE FOOTINGS
	WEATHERING STEEL WALL TYPE 2 RETAINS MORE THAN 30"		1/4" THICK WEATHERING STL WALLS OVER 30" H SHALL BE MOUNTED TO CONTINUOUS CMU CORE WALL
	STEPS TYPE 1 STONE TILES		MORTAR SET ON 4" CONCRETE BASE 18" WIDE X 30" LONG X 3" THICK STONE TILE
	STEPS TYPE 2 STONE STAIRS UP ROCK FEATURES		FULL DIMENSION STONE BLOCKS 8" HIGH X 4" DEEP X 36" LONG
	STEPS TYPE 3 DECK STEPS		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
	BUILT-IN CONCRETE COUNTER		CIP INTEGRAL COLOR CONCRETE BASE WITH STONE COUNTERTOP
	FENCE TYPE 1 STEEL PICKETS		6" H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. EMBEDDED ON CONTINUOUS CONCRETE FOOTING
	FENCE TYPE 2 WOOD CLADDING STEEL PICKETS		6" H X 3" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. EMBEDDED ON CONT. CONCRETE FOOTING, CEDAR SLATS AT EACH ANGLE, UNFINISHED
	FENCE TYPE 3 EXISTING CHAIN LINK TO REMAIN		PROTECT IN PLACE.
	FENCE TYPE 4 CHAIN LINK FENCE		6" H CHAIN LINK FENCE TO MATCH EXISTING
	GATE TYPE 1 STEEL PICKETS PED. SWING GATE		5" H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP
	GATE TYPE 2 WOOD CLADDING STEEL PICKETS PEDESTRIAN ENTRY GATE		5" H X 3" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
	GATE TYPE 3 WOOD CLADDING STEEL PICKETS VEHICULAR DOUBLE SWING ENTRY GATE		5" H X 12" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. ON A 2" X 2" TUBE FRAME AND A 4" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
	GATE TYPE 4 WOOD CLADDING STEEL PICKETS LOW DOUBLE SWING GATE		25" H X 5" W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
	NOT USED		
	CUSTOM SEATING CANTILEVER FROM STONE WALL WITH UPHOLSTERY		STEEL AND WOOD STRUCTURE CANTILEVERED FROM STONE WALL WITH UPHOLSTERY
	CUSTOM METAL PLANTERS		BY METAL FABRICATOR, 1/2" THICK STEEL PLANTER, OPEN BOTTOM
	NOT USED		
	NOT USED		
	NOT USED		
	NOT USED		
	NOT USED		
	LIGHTING & ELECTRICAL TREE UP LIGHTS		2 UP LIGHTS PER NEW TREE, 2 AT LARGE PINE TREES, REFER TO ELECTRICAL, DIMMABLE
	MIDNIGHTS		HUNG DOWN LIGHTS FROM TREE, REFER TO ELECTRICAL, DIMMABLE
	CONCEALED STEP LIGHTS		AT DECK STEPS, REFER TO ELECTRICAL, DIMMABLE
	BOLLARD PATH LIGHTS		AROUND 10' O.C., REFER TO ELECTRICAL, DIMMABLE
	OVERHEAD SHADE STRUCT. LIGHTS		DOWN LIGHTS, PER ELECTRICAL, DIMMABLE
	NOT USED		
	COUNTER LIGHT		FLEXIBLE COUNTER LIGHT
	SITE FURNISHINGS MAILBOX		STEEL AND WOOD MAILBOX FOR LETTERS AND PARCEL, ON 4" CONCRETE PAD
	HAMMOCK		PER OWNER
	FIRE PIT		MOVABLE WOOD BURNING FIRE PIT
	MOVABLE FURNITURE		PER OWNER
	OTHER PROPOSED TREE		SEE PLANTING PLAN
	EXISTING TREE TO REMAIN		PROTECT IN PLACE, SEE PLANTING PLAN AND TREE PROTECTION DETAIL.
	EXISTING SEPTIC SYSTEM TO REMAIN		PROTECT IN PLACE.



MAIN AMENITY HARDSCAPE PLAN

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014

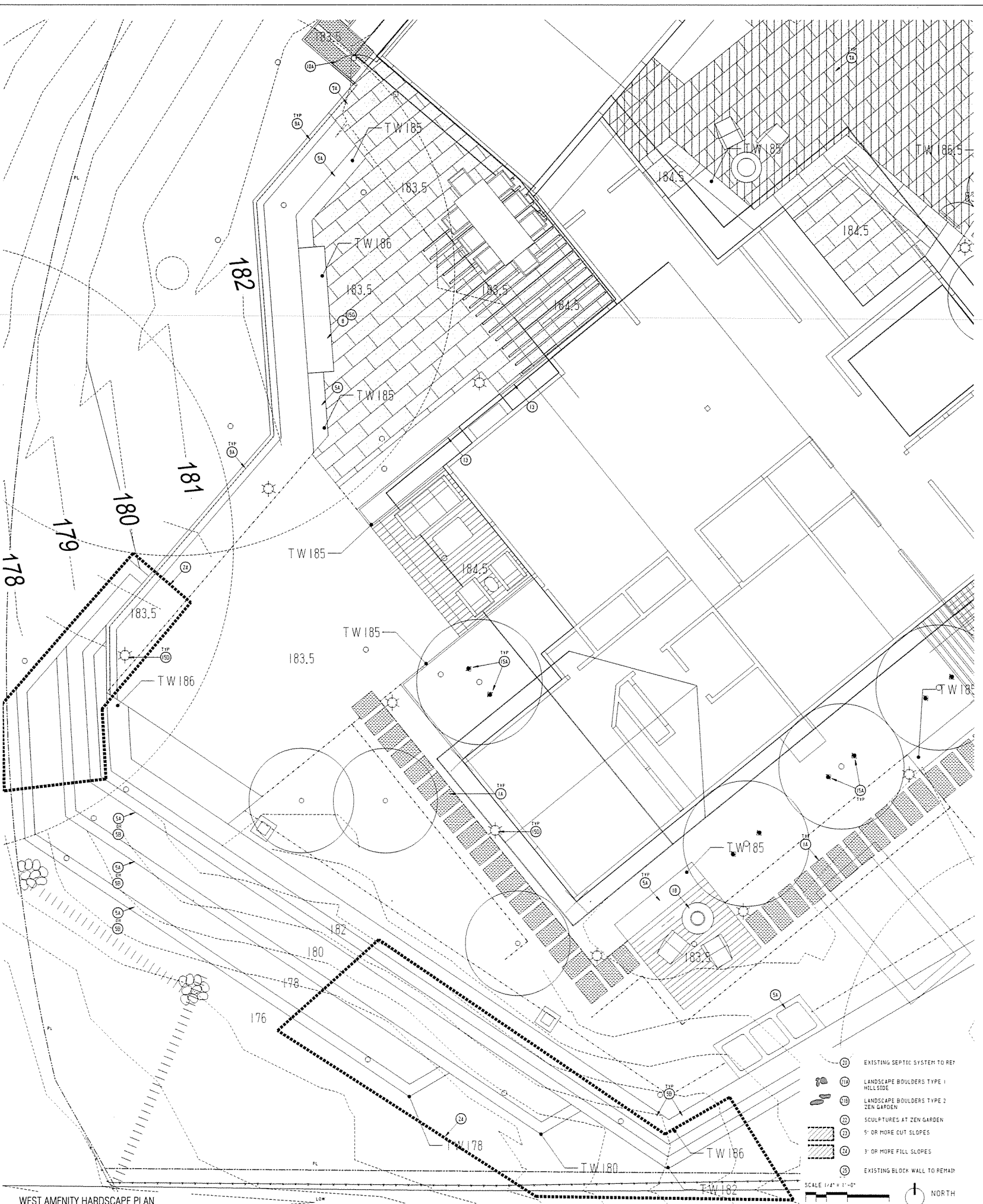


HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-396-8582

REV	DATE	DESCRIPTION
1	01/18/2024	CITY RE-SUBMITTAL
2	01/18/2024	CITY RE-SUBMITTAL
3	03/11/2024	CITY RE-SUBMITTAL
4	05/03/2024	CITY RE-SUBMITTAL
5	04/03/2024	CITY RE-SUBMITTAL
6	03/01/2024	CITY RE-SUBMITTAL
7	12/06/2023	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

Project Manager: Andrew Hatch
Drawn by: AH
Date: 01/18/2024
Scale: AS SHOWN

HARDSCAPE PLAN ENLARGEMENT (MAIN AMENITY)



HARDSCAPE LEGEND
See sheet L1.5 for full legend

ITEM	DETAIL	DESCRIPTION
		VEHICULAR DEPTH PER CIVIL, MIN 6", CIP INTEGRAL COLOR CONCRETE PAVING W/ TOPCAST FINISH & SAWCUT JOINTS, MATTE FINISH SEALANT
		MORTAR SET ON 4" CONCRETE PAD
		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE FOOTINGS AND PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
		MODIFIED PINE PLANKS ON PT SLEEPERS AND DRAINAGE BLOCKS OVER BUILDING SLAB. PAINTED STL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
		STABILIZED DG WITH METAL EDGING ON 4" OF CLASS II BASE
		4" DEPTH, CIP INTEGRAL COLOR CONCRETE PAVEMENT W/ TOPCAST FINISH & SAWCUT JOINTS, MATTE FINISH SEALANT
		NOT USED
		NOT USED
		DECORATIVE STONE
		DECORATIVE CRUSHED STONE
		ON GRADE - STEEL EDGING ON STRUCTURE - "L" SHAPE ALUMINUM EDGING
		HIDDEN EXPANSION JOINTS, PER DETAIL
		1/4" CUTS, NOT TOOLED, PER DETAIL
		STEEL AND WOOD STRUCTURE ON CONCRETE FOOTINGS
		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
		NOT USED
		NOT USED
		STONE, 6" H X 4" DEEP X VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 3" H COPING SLAB
		STONE, 5" H, 4" DEEP, VARIOUS LENGTHS, STONE MASONRY WALL ON CMU CONCRETE CORE WALL, ALL SIDES, 12" W X 3" H COPING SLAB
		1/2" THICK WEATHERING STEEL WALLS UP TO 30" HIGH SHALL BE MOUNTED TO STEEL POSTS SET IN CONCRETE FOOTINGS
		1/4" THICK WEATHERING STL WALLS OVER 30" H SHALL BE MOUNTED TO CONTINUOUS CMU CORE WALL
		MORTAR SET ON 4" CONCRETE BASE 18" WIDE X 30" LONG X 3" THICK STONE TILE
		FULL DIMENSION STONE BLOCKS 6" HIGH X 4" DEEP X 30" LONG
		MODIFIED PINE PLANKS ON PT SLEEPERS AND CONCRETE SUB-SLAB, WEATHERING STEEL FASCIA, CAMO FASTENERS, ALIGN VISIBLE FASTENERS
		CIP INTEGRAL COLOR CONCRETE BASE WITH STONE COUNTERTOP
		6" H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. EMBEDDED ON CONTINUOUS CONCRETE FOOTING
		6" H X 3" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. EMBEDDED ON CONT. CONCRETE FOOTING, CEDAR SLATS AT EACH ANGLE, UNFINISHED
		PROTECT IN PLACE.
		6" H CHAIN LINK FENCE TO MATCH EXISTING
		5' H X 3" W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP
		5' H X 3" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
		5' H X 12" W, 1.5" X 1.5" STL. ANGLE FENCE, 5" O.C. ON A 2" X 4" TUBE FRAME AND A 4" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
		2.5' H X 5' W, 3/4" X 2" FLAT BARS FENCE, 5" O.C. ON A 3/4" X 2" FLAT BARS FRAME AND A 2" SD TUBE POST AND CAP, CEDAR SLATS, UNFINISHED
		NOT USED
		STEEL AND WOOD STRUCTURE CANTILEVERED FROM STONE WALL WITH UPHOLSTERY
		BY METAL FABRICATOR, 1/2" THICK STEEL PLANTER, OPEN BOTTOM
		NOT USED
		NOT USED
		NOT USED
		NOT USED
		NOT USED
		NOT USED
		2 UP LIGHTS PER NEW TREE, 4 AT LARGE PINE TREES, REFER TO ELECTRICAL, DIMMABLE
		HUNG DOWN LIGHTS FROM TREE, REFER TO ELECTRICAL, DIMMABLE & PER TREE
		AT DECK STEPS, REFER TO ELECTRICAL, DIMMABLE
		AROUND 10" O.C., REFER TO ELECTRICAL, DIMMABLE
		DOWN LIGHTS, PER ELECTRICAL, DIMMABLE
		NOT USED
		FLEXIBLE COUNTER LIGHT
		STEEL AND WOOD TABLEX FOR LETTERS AND PARCEL, ON 4" CONCRETE PAD
		PER OWNER
		MOVABLE WOOD BURNING FIRE PIT
		PER OWNER
		SEE PLANTING PLAN
		PROTECT IN PLACE, SEE PLANTING PLAN AND TREE PROTECTION DETAIL.

WEST AMENITY HARDSCAPE PLAN

SCALE 1/4" = 1'-0"
NORTH

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-256-8528

REV	DATE	DESCRIPTION
8	01/18/2024	CITY RS-SUBMITTAL
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AS SHOWN

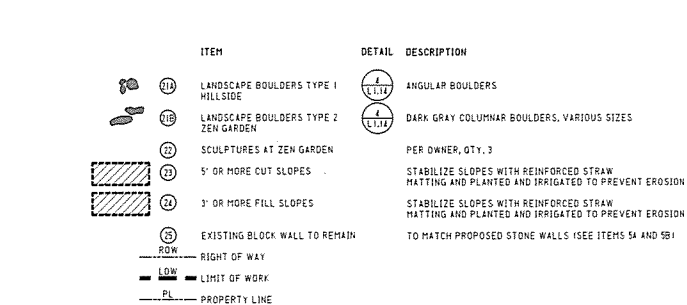
HARDSCAPE PLAN ENLARGEMENT (WEST AMENITY)

HARDSCAPE LEGEND



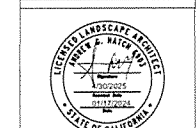
DETAIL	DESCRIPTION
	PAVING CIP CONCRETE PAVING
	STONE PAVING
	WOOD DECK ON GRADE
	WOOD DECK ON STRUCTURE
	DECOMPOSED GRANITE PAVING
	CONCRETE PAVER TYPE 1 AT GARDEN
	NOT USED
	NOT USED
	ROCK MULCH TYPE 1
	ROCK MULCH TYPE 2
	METAL EDGING
	EXPANSION JOINT
	SAWCUT JOINT
	SITE STRUCTURES SHADE STRUCTURE
	RAISED WOOD PLATFORMS
	NOT USED
	NOT USED
	STONE WALL TYPE 1 FREE-STANDING
	STONE WALL TYPE 2 RETAINING WALL
	WEATHERING STEEL WALL TYPE 1 RETAIN UP TO 30"
	WEATHERING STEEL WALL TYPE 2 RETAINS MORE THAN 30"
	STEPS TYPE 1 STONE TILES
	STEPS TYPE 2 STONE STAIRS UP ROCK FEATURES
	STEPS TYPE 3 DECK STEPS
	BUILT-IN CONCRETE COUNTER
	FENCE TYPE 1 STEEL PICKETS
	FENCE TYPE 2 WOOD CLADDING STEEL PICKETS
	FENCE TYPE 3 EXISTING CHAIN LINK TO REMAIN
	FENCE TYPE 4 CHAIN LINK FENCE
	GATE TYPE 1 STEEL PICKETS PED. SWING GATE
	GATE TYPE 2 WOOD CLADDING STEEL PICKETS PEDESTRIAN ENTRY GATE
	GATE TYPE 3 WOOD CLADDING STEEL PICKETS VEHICULAR DOUBLE SWING ENTRY GATE
	GATE TYPE 4 WOOD CLADDING STEEL PICKETS LOW DOUBLE SWING GATE
	NOT USED
	CUSTOM SEATING CANTILEVER FROM STONE WALL WITH UPHOLSTERY
	CUSTOM METAL PLANTERS
	NOT USED
	NOT USED
	NOT USED
	NOT USED
	NOT USED
	LIGHTING & ELECTRICAL TREE UP LIGHTS
	MOONLIGHTS
	CONCEALED STEP LIGHTS
	BOLLARD PATH LIGHTS
	OVERHEAD SHADE STRUCT. LIGHTS
	NOT USED
	COUNTER LIGHT
	SITE FURNISHINGS MAILBOX
	HAMMOCK
	FIRE PIT
	MOVABLE FURNITURE
	OTHER PROPOSED TREE
	EXISTING TREE TO REMAIN
	EXISTING SEPTIC SYSTEM TO REMAIN

MANUFACTURER	MODEL	COMMENTS
DAVIS COLORS, 800-356-4848 LATICRETE, 800-361-3331	COLOR: SANDSTONE SEALER BRIGADE MATTE	PROVIDE MOCK-UP
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE STONE SEALER PER MANUF. RECOMM.	PROVIDE MOCKUP
KEBONY ATTN: JON WILLINGHAM 714-743-2973 STL GALV. AND PAINTED ON SITE	CLEAR SQUARE S4S EZE (42225) SIZE: 5/4x6 FINISH: KEBONY CLEAR COLOR: SHERWIN W. 7020 BLACK FOX	PROVIDE MOCKUP PROVIDE SHOP DRAWINGS
KEBONY ATTN: JON WILLINGHAM 714-743-2973 STL GALV. AND PAINTED ON SITE	CLEAR SQUARE S4S EZE (42225) SIZE: 5/4x6 FINISH: KEBONY CLEAR COLOR: SHERWIN W. 7020 BLACK FOX	PROVIDE SHOP DRAWINGS
SOUTHWEST BOULDER AND STONE 877-782-7625	STABILIZED DESERT GOLD	PROVIDE MOCKUP
DAVIS COLORS, 800-356-4848 LATICRETE, 800-361-3331	COLOR: SANDSTONE SEALER BRIGADE MATTE	PROVIDE MOCK-UP
SOUTHWEST BOULDER 877-782-7625	COLOR: COPPER CANYON SIZE: 1'-3"	
SOUTHWEST BOULDER 877-782-7625	COLOR: CRUSHED JINGGO BASALT SIZE: 5/8 3/4" + 5/8 3/4"	
DURAEDGE, 800-888-7425 SURE-LOC, 800-781-2562	MODEL: DURA RUST A-58 STEEL 1/4" x 5" MODEL: AGGREGATE L-EDGE A3880M	
KEBONY 714-743-2973 STL GALV. AND PAINTED ON SITE	CLEAR SQUARE S4S EZE (42225) SIZE: 5/4x6 FINISH: KEBONY CLEAR SHERWIN W. 7020 BLACK FOX	PROVIDE SHOP DRAWINGS
KEBONY ATTN: JON WILLINGHAM 714-743-2973	CLEAR SQUARE S4S EZE (42225) SIZE: 5/4x6 FINISH: KEBONY CLEAR	PROVIDE SHOP DRAWINGS
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE	PROVIDE MOCKUP
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE	PROVIDE MOCKUP
	1/2" THICK WEATHERING STEEL	PROVIDE SHOP DRAWINGS
	1/4" THICK WEATHERING STEEL	PROVIDE SHOP DRAWINGS
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE	PROVIDE MOCKUP
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE	PROVIDE MOCKUP
KEBONY ATTN: JON WILLINGHAM 714-743-2973	CLEAR SQUARE S4S EZE (42225) SIZE: 5/4x6 FINISH: KEBONY CLEAR	PROVIDE SHOP DRAWINGS
MONARCH STONE INTERNATIONAL 877-289-4398, ANTHONY VAN LIEFDE	MODEL: OKLAHOMA SANDSTONE	PROVIDE MOCKUP
DAVIS COLORS, 800-356-4848 STL GALV. AND PAINTED	COLOR: SHERWIN W. 7020 BLACK FOX 1X4 CEDAR SLATS, UNFINISHED SMOOTH CUT	PROVIDE SHOP DRAWINGS
STL GALV. AND PAINTED 800-959-8663	COLOR: SHERWIN W. 7020 BLACK FOX 1X4 CEDAR SLATS, UNFINISHED SMOOTH CUT	PROVIDE SHOP DRAWINGS
STL GALV. AND PAINTED 800-959-8663	COLOR: SHERWIN W. 7020 BLACK FOX 1X4 CEDAR SLATS, UNFINISHED SMOOTH CUT	PROVIDE SHOP DRAWINGS
STL GALV. AND PAINTED 800-959-8663	COLOR: SHERWIN W. 7020 BLACK FOX 1X4 CEDAR SLATS, UNFINISHED SMOOTH CUT	PROVIDE SHOP DRAWINGS
STL GALV. AND PAINTED 800-959-8663	COLOR: SHERWIN W. 7020 BLACK FOX 2X4 CEDAR SLATS, UNFINISHED	PROVIDE SHOP DRAWINGS
STL GALV. AND PAINTED 800-959-8663	COLOR: SHERWIN W. 7020 BLACK FOX	PROVIDE SHOP DRAWINGS
FX LUMINAIRE 760-703-2474	MP UP LIGHT, DIM FINISH: WEATHERED IRON	
FX LUMINAIRE 760-703-2474	VE LED DOWN LIGHT, 1.27', DIM FINISH: WEATHERED IRON	
FX LUMINAIRE 760-703-2474	MO LED WALL LIGHT, DIM FINISH: WEATHERED IRON	
FX LUMINAIRE 760-703-2474	TO LED PATH LIGHT, DIM FINISH: WEATHERED IRON	
FX LUMINAIRE 760-703-2474	PS LED DOWN LIGHT FINISH: WEATHERED IRON	
FX LUMINAIRE 760-703-2474	BO LED SPECIALTY LIGHT, DIM FINISH: STAINLESS STEEL	
BOLD MFG + SUPPLY 877-289-4398	THE STAFFORD PARCEL MAILBOX 24X14 RED FLAG	
WAYFAIR.COM	FAISAL STAINLESS STEEL WOOD BURNING FIRE PIT	



ITEM	DETAIL	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
17		LANDSCAPE BOULDERS TYPE 1 HILLSIDE	SOUTHWEST BOULDER 877-782-7625	COLOR: COPPER CANYON SIZE: 1'-2', QTY. 48	
18		LANDSCAPE BOULDERS TYPE 2 ZEN GARDEN	SOUTHWEST BOULDER 877-782-7625	COLOR: RIM ROCK SIZE: 1'-3', QTY. 13	
19		SCULPTURES AT ZEN GARDEN		PER OWNER, QTY. 3	
20		5' OR MORE CUT SLOPES		STABILIZE SLOPES WITH REINFORCED STRAW MATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION	
21		3' OR MORE FILL SLOPES		STABILIZE SLOPES WITH REINFORCED STRAW MATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION	
22		EXISTING BLOCK WALL TO REMAIN		TO MATCH PROPOSED STONE WALLS (SEE ITEMS 54 AND 58)	

NOVAK RESIDENCE
 1005 HIGHLAND DRIVE
 DEL MAR, CA 92014

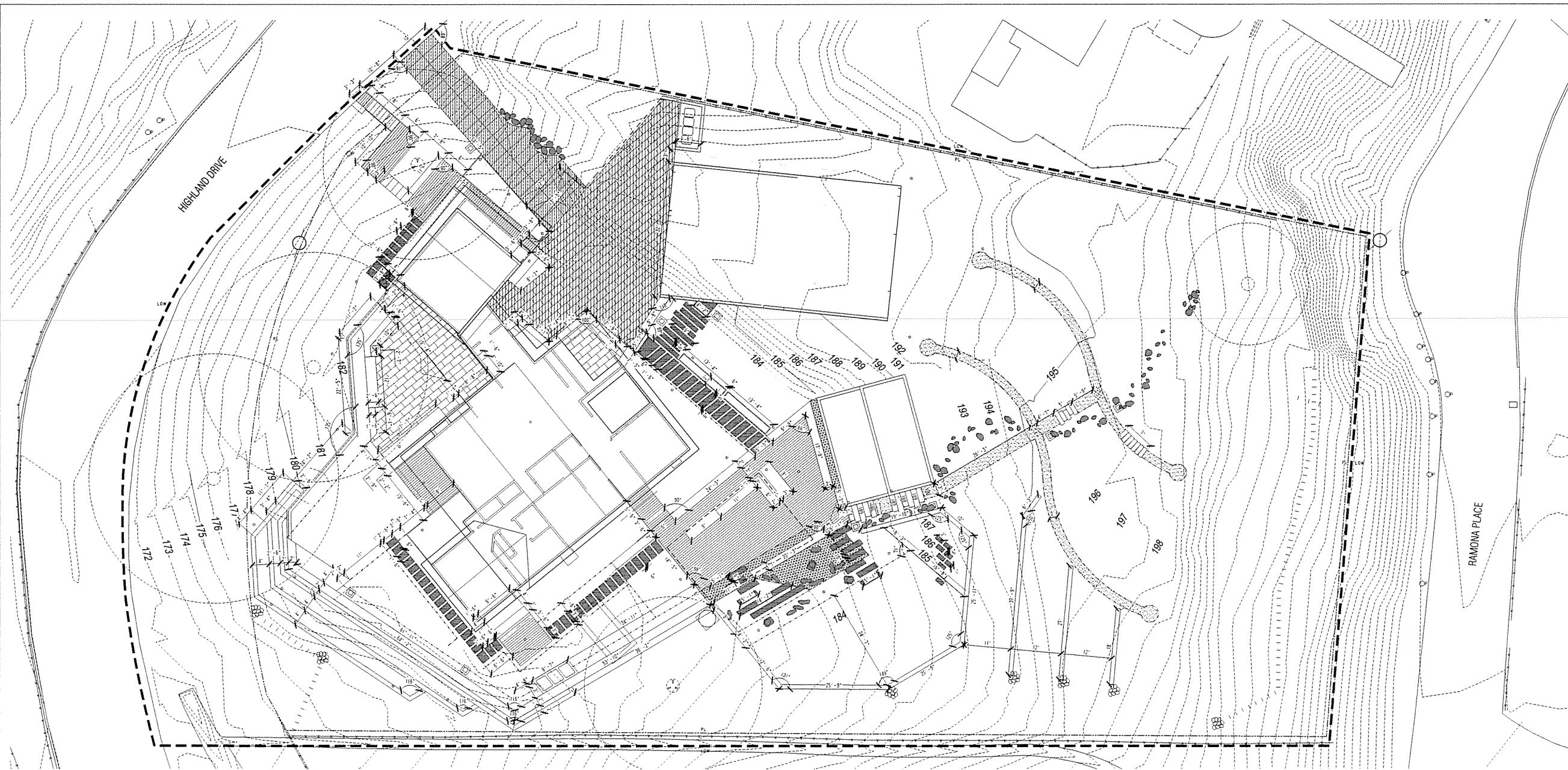


HATCHWORKS
 3745 Trouv Ln
 San Diego, CA 92106
 619-356-8582
 Company








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2	12/06/2021	CITY RE-SUBMITTAL

NO	DATE	ISSUE NOTE

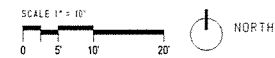
Project Manager: Andrew Hatch	Reviewed By: AK
Date: 01/18/2024	



DIMENSIONING LEGEND

-  ALIGN
-  CENTER LINE
-  POINT OF BEGINNING
-  POINT OF TANGENCY
-  LIMIT OF WORK
-  PROPERTY LINE
-  RIGHT OF WAY

NOTE
CONTRACTOR MAY REQUEST CAD FILE
FOR FIELD STAKING.



NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



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6	01/18/2024	CITY RE-SUBMITTAL
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3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL

NO	DATE	ISSUE NOTE

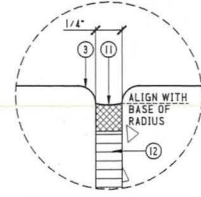
Project Manager: Andrew Hatch
Date: 01/18/2024
Scale: AS SHOWN

DIMENSIONING PLAN

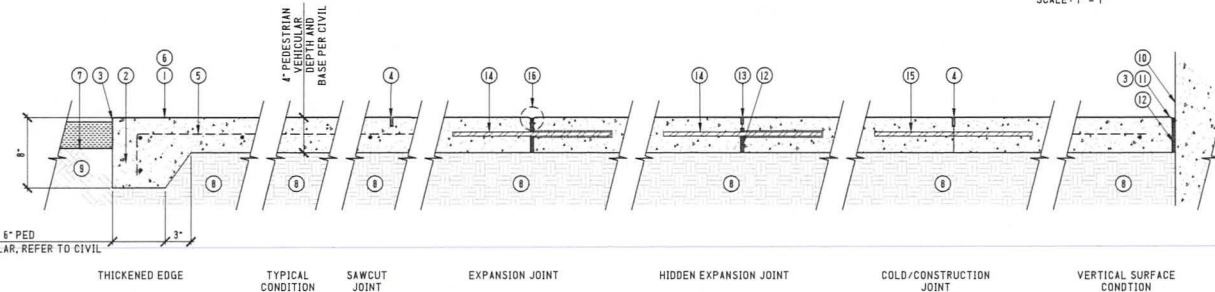
- 1 CONCRETE PAVING TYPE AND FINISH, PER PLAN
- 2 THICKENED EDGE
- 3 1/4" RADIUS TOOLED EDGE
- 4 1/8" WIDE SAWCUT SCORELINE, DEPTH TO BE 1/4 OF SLAB DEPTH. SAWCUT MUST SEVER REBAR WHERE INTENDED TO ACT AS FUNCTIONAL CONTROL JOINT.
- 5 REBAR REINFORCEMENT PER GEOTECHNICAL REPORT
- 6 FINISH SURFACE
- 7 FINISH GRADE
- 8 COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

- 9 AMENDED PLANTING SOIL
- 10 VERTICAL SURFACE SUCH AS CURB, WALL OR BUILDING
- 11 JOINT SEALANT W/ SAND COVERING, 1:1 WIDTH TO DEPTH RATIO. DO NOT EXTEND UNTIL UPPER PAVING JOINT RADI, AS THIS INCREASES WITH WIDTH OF THE JOINT.
- 12 1/4" FOAM EXPANSION JOINT FILLER
- 13 3/16" SAWCUT AT 3/4" DEPTH
- 14 #4 18" STEEL DOWEL # 18" O.C. SLEEVE ONE SIDE CENTER IN SLAB. SPEED DOWEL SLEEVE SYSTEM
- 15 #4 18" STEEL DOWEL # 18" O.C., NO SLEEVE
- 16 EXPANSION JOINT, SEE ENLARGEMENT

NOTES:
 1. PROVIDE EXPANSION JOINTS WHERE INDICATED ON THE DRAWINGS, AND WHERE PAVING ABUTS WALLS, CURBS, STEPS, TOP & BOTTOM OF RAMPS AND OTHER VERTICAL APPURTENANCES. OMIT DOWELS WHERE ABUTTING WALLS, BUILDINGS, & CURBS.
 2. ALL TOOLED EDGES OF JOINTS SHALL BE 1/4" RADIUS MAX.
 3. REFER TO CIVIL ENGINEER FOR PAVING DEPTH, REINFORCEMENT, AND BASE REQUIREMENTS FOR VEHICULAR AREAS.
 4. IN ABSENCE OF GEOTECHNICAL REPORT, ASSUME:
 4.1. #3 REBAR AT 24" O.C. EACH WAY
 4.2. MOISTURE CONDITION SUBGRADE ABOVE OPTIMAL AND COMPACT TO 95% RELATIVE DENSITY



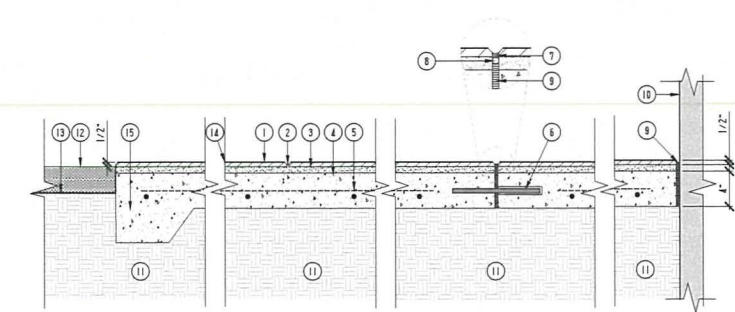
EXPANSION JOINT ENLARGEMENT
SCALE: 1" = 1'



6" PED FOR VEHICULAR, REFER TO CIVIL

1. CONCRETE PAVING

SCALE: 1 1/2" = 1'-0"



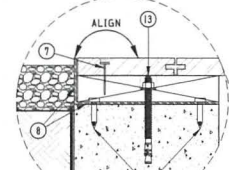
- 1 STONE PAVING, SEE SPECIFICATIONS
- 2 1/4" GROUT JOINT, SEE SPECIFICATIONS
- 3 THICK-SET MORTAR SETTING BED AND BONDING AGENT, SEE SPECIFICATIONS
- 4 CONCRETE SUB-SLAB
- 5 #3 REBAR # 18" O.C. EACH WAY
- 6 #4 X 18" SLIP DOWELS # 12" O.C.
- 7 JOINT SEALANT, COLOR TO MATCH STONE
- 8 BACKER ROD
- 9 1/4" FOAM EXPANSION JOINT
- 10 ADJACENT WALL
- 11 COMPACTED SUBGRADE
- 12 FINISH SURFACE FOR MULCH, PER PLANS AND SPECIFICATIONS
- 13 FINISH GRADE AT PLANTING
- 14 FINISH SURFACE AT HARDSCAPE
- 15 THICKENED EDGE

2. STONE PAVING

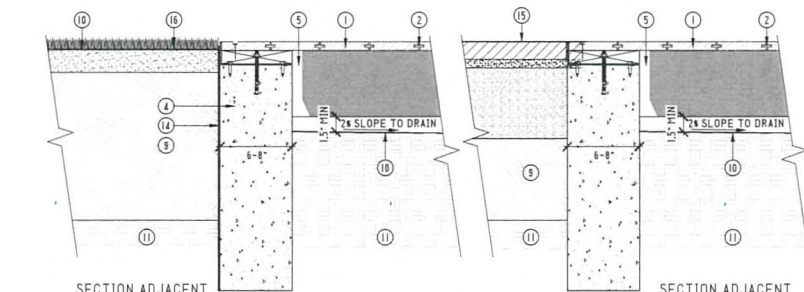
SCALE: 1 1/2" = 1'-0"

- 1 DECKING, SEE HARDSCAPE LEGEND FOR TYPE. IF SPECIES TYPE IS MODIFY MORE AIR CIRCULATION MAY BE NEEDED UNDER THE DECK TO AVOID WARPING
- 2 HIDDEN METAL FASTENING SYSTEM, MANUFACTURER SUPPLIED
- 3 1X6" PT JOIST, 16" OC CENTER
- 4 8" WIDE CONCRETE RETAINING WALL AT PERIMETER WITH #4 REBAR VERTICAL AND HORIZONTAL # 18" OC. FOR SMALLER DECK PLATFORMS, USE DETAIL 4/L1.10 FOR RETAINING WALLS LESS THAN 30"
- 5 JOIST HANGER
- 6 INTERMEDIATE FOOTINGS, 12" DIA, 18" DEEP, AND JOIST HANGER
- 7 COUNTERSUNK SS SCREW WITH PLUG # 1/8" OC, TO MATCH DECKING MATERIAL
- 8 GALV FASTENERS
- 9 1/4" CORTEN ANGLE/FASCIA PLATE AROUND ENTIRE DECK PERIMETER
- 10 AMENDED PLANTING SOIL, PER SPECIFICATIONS
- 11 FINISH GRADE
- 12 COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- 13 AREA ATRIUM DRAIN, CONNECT TO STORM, SEE CIVIL
- 14 ANCHORBOLT PER STRUCTURAL
- 15 LIQUID APPLIED WATERPROOFING COATING ON RETAINING SIDE
- 16 ADJACENT CONCRETE PAVERS, SEE PLAN FOR TYPE
- 17 ADJACENT LAWN AREA
- 18 ADJACENT PLANTING AREA
- 19 MULCH PER PLAN
- 20 1/4" CORTEN STEP RISER FASCIA PLATE
- 21 CONCRETE STEP BASE AS PART OF THE PERIMETER WALL

2X ENLARGEMENT

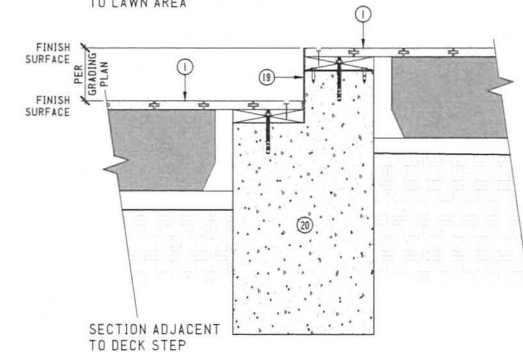


SECTION ADJACENT TO PLANTING AREA



SECTION ADJACENT TO LAWN AREA

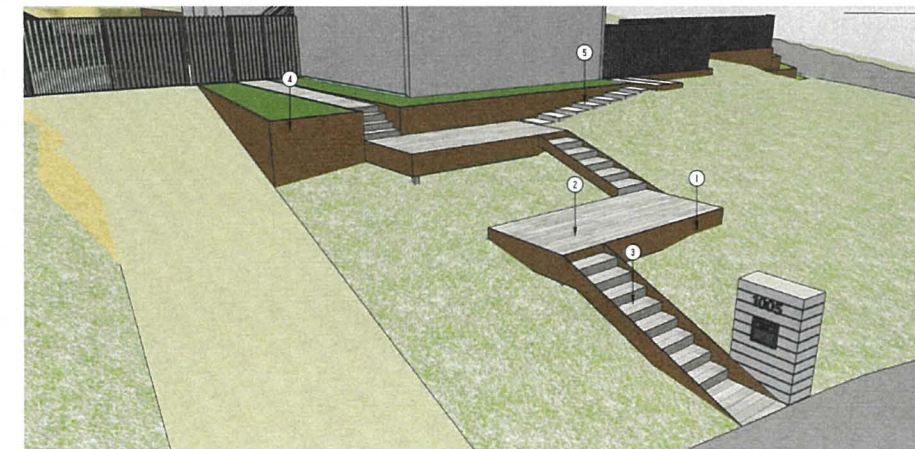
SECTION ADJACENT TO PAVERS



SECTION ADJACENT TO DECK STEP

3. WOOD DECKING

SCALE: 1 1/2" = 1'-0"



- 1 WEATHERING STEEL WALL PER 4/L1.10
- 2 WOOD DECK PER 3/L1.7
- 3 WOOD STEP PER 3/L1.7
- 4 WEATHERING STEEL PLANTERS PER 2/L1.12 & 4/L1.10
- 5 C.I.P. CONCRETE PAVERS PER 2/L1.8

4. DECK STEPS AND PLATFORM

SCALE: 1/4" = 1'-0"

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



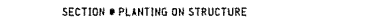
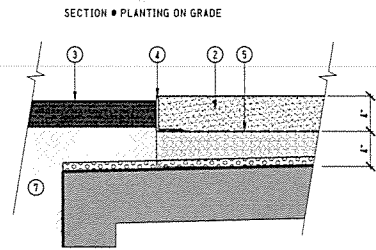
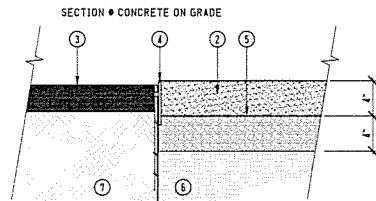
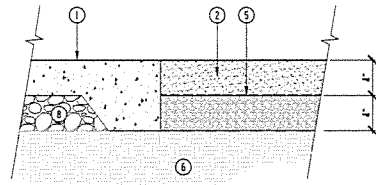
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 San Diego, CA 92106
 619-356-8582

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NO	DATE	ISSUE NOTE
Project Manager: Andrew Hatch		
Drawn By: AH		
Date: 01/18/2024		
Scale: AS SHOWN		

HARDSCAPE DETAILS

L1.7

- ① DEEPEDED CONCRETE PAVING TYPE AND FINISH PER PLAN
- ② STABILIZED DECOMPOSED GRANITE PAVING, REFER TO LEGEND FOR TYPE.
- ③ MULCH IN PLANTING AREA PER PLANS. TOP OF MULCH SHALL BE BETWEEN 1/4" AND 1/2" BELOW ADJACENT FINISH SURFACE OR HEADER
- ④ STEEL EDGING FOR ON GRADE CONDITIONS, REFER TO LEGEND
- ⑤ ALUMINUM EDGING FOR ON STRUCTURE CONDITIONS, REFER TO LEGEND
- ⑥ GEOTEXTILE PER SPECIFICATIONS
- ⑦ COMPACTED SUBGRADE AND BASE REQUIREMENTS PER GEOTECHNICAL REPORT
- ⑧ AMENDED SOIL PER SPECIFICATIONS
- ⑨ 4" MINIMUM CRUSHED ROCK PER GEOTECHNICAL REPORT
- ⑩ 4" THICK LAYER OF CLASS II AGGREGATE BASE FOR PEDESTRIAN APPLICATIONS, MOISTURE CONDITIONED AND COMPACTED - VERIFY WITH GEOTECHNICAL SOILS REPORT.



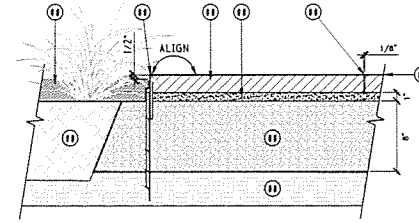
- NOTES:
1. EDGING: 16' SECTIONS DOUBLE STAKED AT OVERLAP JOINTS.
 2. IN ABSENCE OF GEOTECHNICAL REPORT, MOISTURE CONDITION SUBGRADE ABOVE OPTIMUM AND RECOMPACT TO 95% RELATIVE DENSITY.

1. DG PAVING AND METAL EDGING

SCALE: 1 1/2" = 1'-0"

2. CONCRETE PAVERS TYPE 1

SCALE: 1 1/2" = 1'-0"



- ① 3/4" GALVANIZED STEEL EDGING, 6' PANELS.
- ② 2"x2"x1/4" GALVANIZED STEEL ANGLE CLIP, WELDED TO EDGING • 24" O.C. DRILL HOLE TO RECEIVE STAKE. CENTER CLIP ON JOINT AND WELD TO EACH ADJACENT PANEL.
- ③ 111 #4 x 18" LONG REBAR STAKE • EACH CLIP
- ④ PLANTING AREA AND MULCH
- ⑤ ADJACENT SAND SET PAVERS PER PLAN
- ⑥ COMPACTED AGGREGATE BASE. EXTEND 6"-8" BEYOND EDGE OF PAVERS.
- ⑦ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- ⑧ AMENDED SOIL PER SPECIFICATION

- NOTES:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF STEEL EDGING INCLUDING PLAN, SIZE AND DETAILS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
 2. APPLY GALVANIZED PAINT TO ALL FIELD WELDS.
 3. IN ABSENCE OF GEOTECHNICAL REPORT, MOISTURE CONDITION SUBGRADE ABOVE OPTIMAL AND RECOMPACT TO 95% RELATIVE DENSITY.

- ① METAL HEADER. TOP OF HEADER TO BE FLUSH WITH ADJACENT PAVING, TYPE PER LEGEND
- ② PLANTING AREA AND GRAVEL MULCH
- ③ FINISH SURFACE OF PAVING
- ④ COMPACTED SUBGRADE AND BASE REQUIREMENTS PER GEOTECHNICAL REPORT
- ⑤ AMENDED SOIL PER SPECIFICATION
- ⑥ 16" LONG STEEL TAPERED STAKES BY HEADER MANUFACTURER. MATCH FINISH OF HEADER. SPACED APPROX. 30" O.C.

- NOTES:
1. 16' SECTIONS DOUBLE STAKED AT OVERLAP JOINTS.
 2. IN ABSENCE OF GEOTECHNICAL REPORT, MOISTURE CONDITION SUBGRADE ABOVE OPTIMUM AND RECOMPACT TO 95% RELATIVE DENSITY.

1. DG PAVING AND METAL EDGING

SCALE: 1 1/2" = 1'-0"

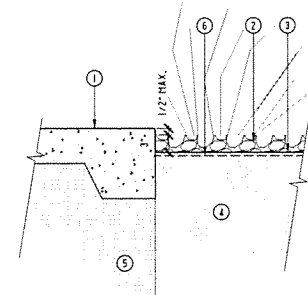
2. CONCRETE PAVERS TYPE 1

SCALE: 1 1/2" = 1'-0"

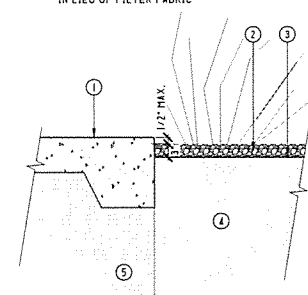
- ① ADJACENT PAVING PER PLAN
- ② CRUSHED AGGREGATE PER SPECIFICATIONS. TOP OF MULCH SHALL BE BETWEEN 1/4" AND 1/2" BELOW ADJACENT FINISH SURFACE OR HEADER
- ③ FINISH GRADE IN PLANTING AREA

- ④ AMENDED SOIL PER SPECS.
- ⑤ COMPACTED SUBGRADE AND BASE REQUIREMENTS PER GEOTECHNICAL REPORT
- ⑥ FILTER FABRIC PER SPECIFICATIONS. CONTRACTOR MAY INSTALL BASE LAYER OF MATCHING 3/4" OR SMALLER GRAVEL MULCH IN LIEU OF FILTER FABRIC

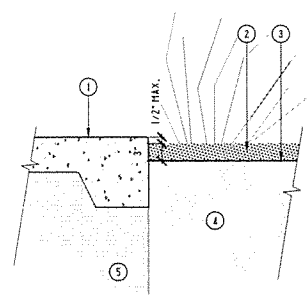
- NOTE:
1. ALL PLANTING AREAS WITHOUT AGGREGATE MULCH TO RECEIVE 3" OF BARK MULCH, SEE PLANTING DETAILS
 2. IN ABSENCE OF GEOTECHNICAL REPORT, MOISTURE CONDITION SUBGRADE ABOVE OPTIMUM AND RECOMPACT TO 95% RELATIVE DENSITY



1-3" CRUSHED GRAVEL MULCH



3/4" CRUSHED GRAVEL MULCH



BARK MULCH

4. MULCH

SCALE: 1 1/2" = 1'-0"

NOVAK RESIDENCE

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DEL MAR, CA 92014



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3	03/01/2022	CITY RE-SUBMITTAL
2	12/08/2021	CITY RE-SUBMITTAL

NO. DATE ISSUE NOTE

19/04/2024 Andrew Hatch Andrew Hatch

DATE 01/18/2024

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Sheet Title

HARDSCAPE
DETAILS

Sheet No. 9 of 27

L1.8

NOT USED

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



Landscape Architect
HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-356-8582
Consultant

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8	01/18/2024	CITY RE-SUBMITTAL
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6	06/11/2023	CITY RE-SUBMITTAL
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2	12/06/2021	CITY RE-SUBMITTAL

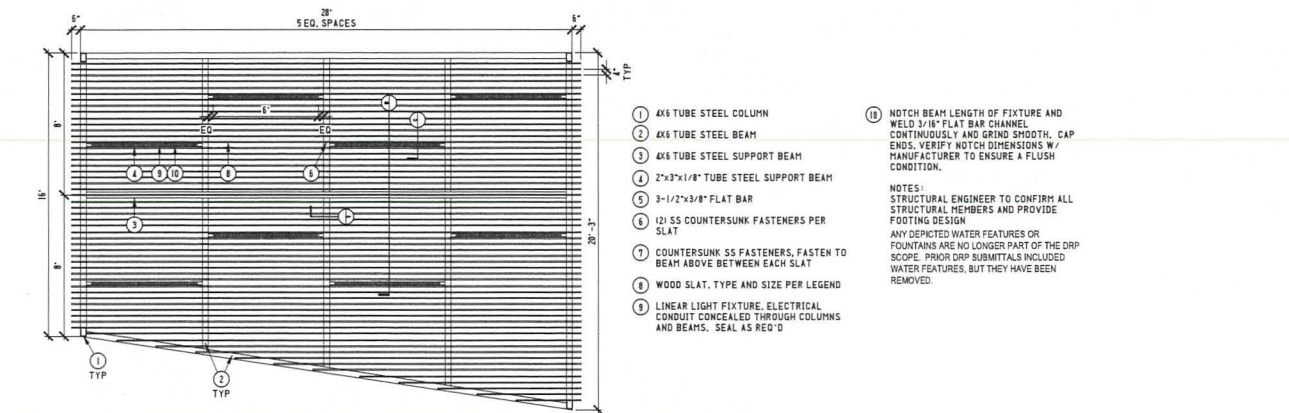
NO	DATE	ISSUE NOTE
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Project Manager: Andrew Hatch
Designer: AH
Date: 01/18/2024
Scale: AS SHOWN

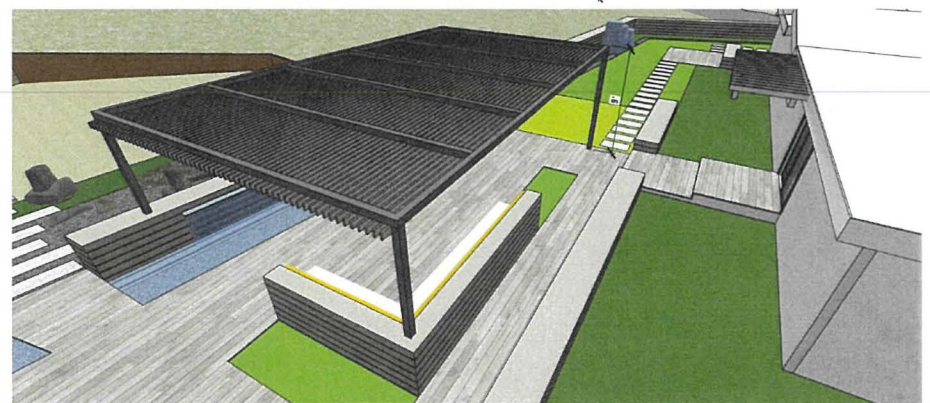
HARDSCAPE
DETAILS

Sheet No: 10 of 27

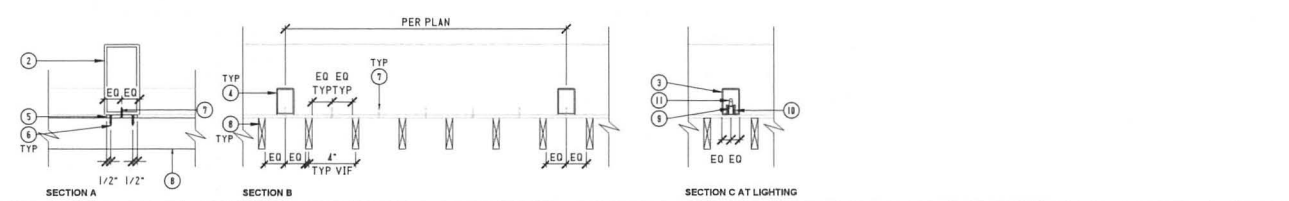
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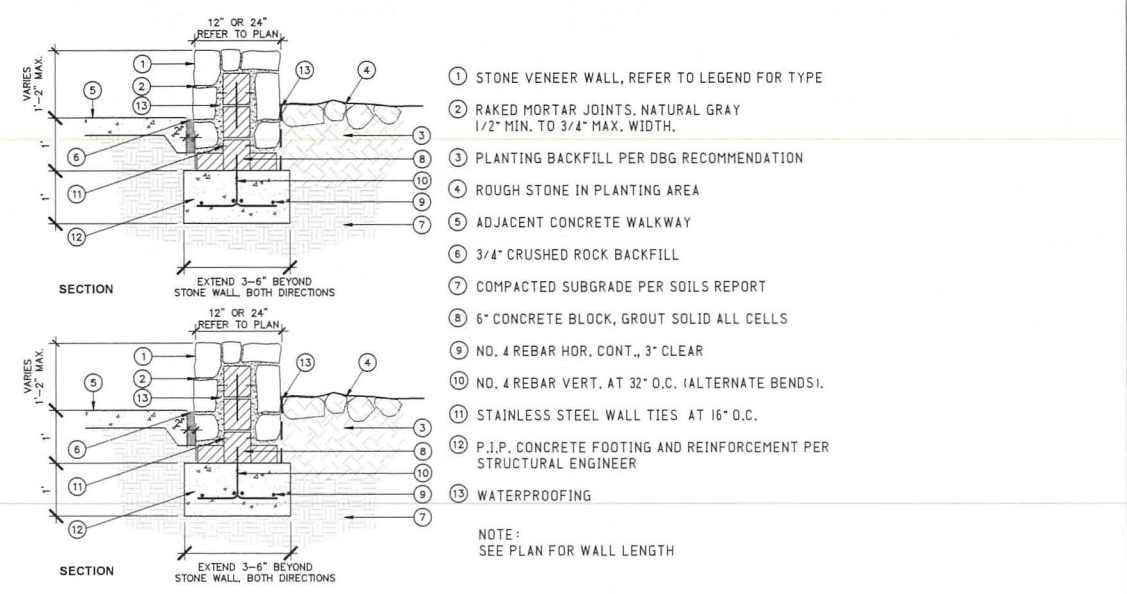
- 1 4x4 TUBE STEEL COLUMN
 - 2 4x4 TUBE STEEL BEAM
 - 3 4x4 TUBE STEEL SUPPORT BEAM
 - 4 2"x3"x1/4" TUBE STEEL SUPPORT BEAM
 - 5 3-1/2"x3/8" FLAT BAR
 - 6 1/2" SS COUNTERSUNK FASTENERS PER SLAT
 - 7 COUNTERSUNK SS FASTENERS, FASTEN TO BEAM ABOVE BETWEEN EACH SLAT
 - 8 WOOD SLAT, TYPE AND SIZE PER LEGEND
 - 9 LINEAR LIGHT FIXTURE, ELECTRICAL CONDUIT CONCEALED THROUGH COLUMNS AND BEAMS, SEAL AS RED 'D'
 - 10 NOTCH BEAM LENGTH OF FIXTURE AND WELD 3/16" FLAT BAR CHANNEL CONTINUOUSLY AND GRIND SMOOTH, CAP ENDS, VERIFY NOTCH DIMENSIONS W/ MANUFACTURER TO ENSURE A FLUSH CONDITION.
- NOTES:
STRUCTURAL ENGINEER TO CONFIRM ALL STRUCTURAL MEMBERS AND PROVIDE FOOTING DESIGN.
ANY DEPICTED WATER FEATURES OR FOUNTAINS ARE NO LONGER PART OF THE DRP SCOPE. PRIOR DRP SUBMITTALS INCLUDED WATER FEATURES, BUT THEY HAVE BEEN REMOVED.



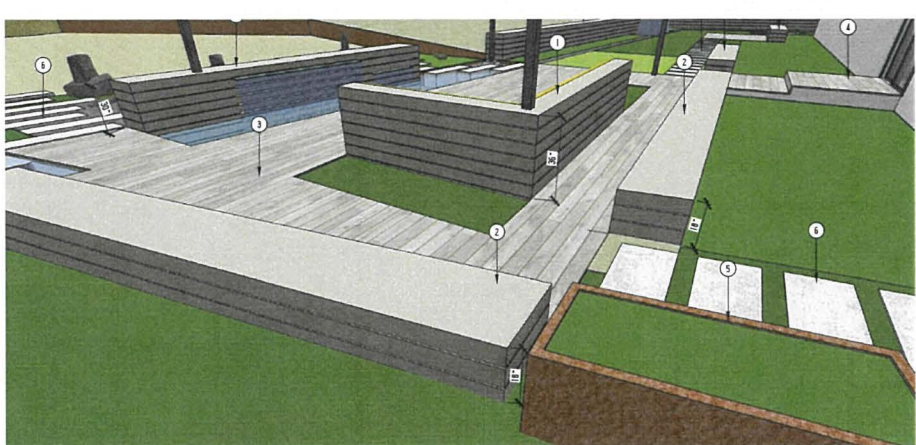
1. SHADE STRUCTURE SCALE: 1/4" = 1'-0"



2. SHADE STRUCTURE SECTIONS SCALE: 1 1/2" = 1'-0"

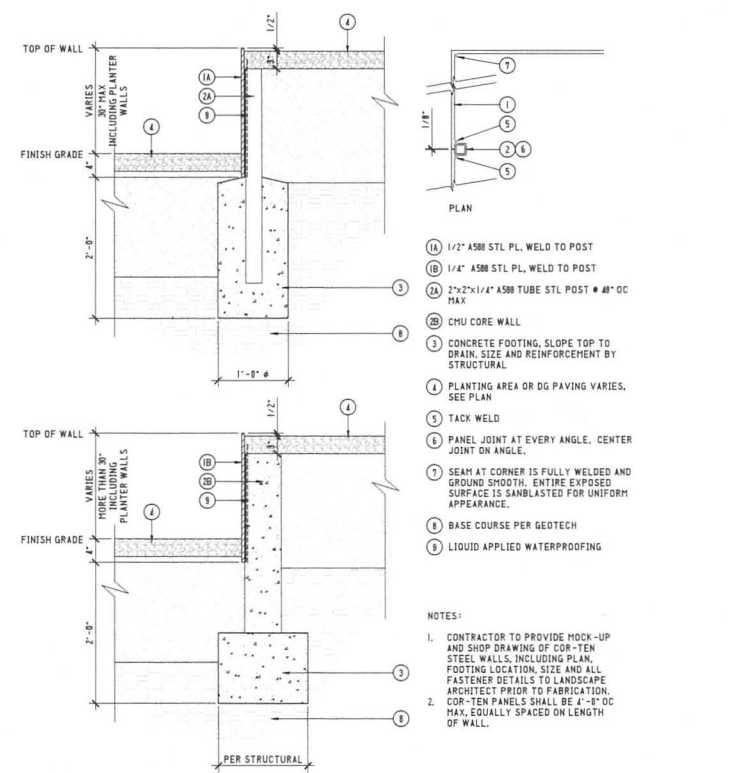


- 1 STONE VENEER WALL, REFER TO LEGEND FOR TYPE
 - 2 RAKED MORTAR JOINTS, NATURAL GRAY 1/2" MIN. TO 3/4" MAX. WIDTH.
 - 3 PLANTING BACKFILL PER DBG RECOMMENDATION
 - 4 ROUGH STONE IN PLANTING AREA
 - 5 ADJACENT CONCRETE WALKWAY
 - 6 3/4" CRUSHED ROCK BACKFILL
 - 7 COMPACTED SUBGRADE PER SOILS REPORT
 - 8 6" CONCRETE BLOCK, GROUT SOLID ALL CELLS
 - 9 NO. 4 REBAR HOR. CONT., 3" CLEAR
 - 10 NO. 4 REBAR VERT. AT 32" O.C. (ALTERNATE BENDS).
 - 11 STAINLESS STEEL WALL TIES AT 16" O.C.
 - 12 P.J.P. CONCRETE FOOTING AND REINFORCEMENT PER STRUCTURAL ENGINEER
 - 13 WATERPROOFING
- NOTE:
SEE PLAN FOR WALL LENGTH



- 1 12" WIDE STACKED LIMESTONE SLABS WALL, THERMAL TOP AND CHISELED SIDES
 - 2 24" WIDE STACKED LIMESTONE SLABS WALL, THERMAL TOP AND CHISELED SIDES
 - 3 WOOD DECK PER 3/L1.7
 - 4 WOOD STEP PER 3/L1.7
 - 5 WEATHERING STEEL PLANTERS PER 2/L1.10 + 4/L1.18
 - 6 C.I.P. CONCRETE PAVERS PER 2/L1.8
- NOTE: ANY DEPICTED WATER FEATURES OR FOUNTAINS ARE NO LONGER PART OF THE DRP SCOPE. PRIOR DRP SUBMITTALS INCLUDED WATER FEATURES, BUT THEY HAVE BEEN REMOVED.

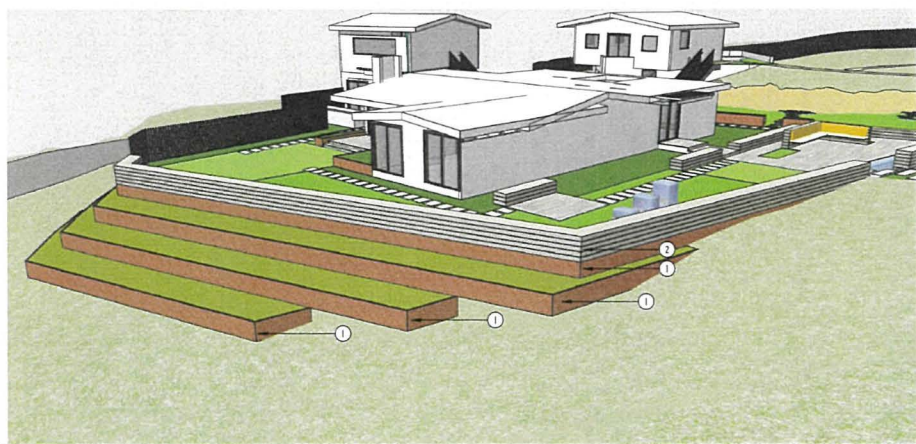
3. STACKED STONE WALL TYPES 1 AND 2 SCALE: 3/4" = 1'-0"



- (A) 1/2" A588 STL PL. WELD TO POST
 - (B) 1/4" A588 STL PL. WELD TO POST
 - (C) 2"x2"x1/4" A588 TUBE STL POST # 4" O.C MAX
 - (D) CHU CORE WALL
 - (E) CONCRETE FOOTING, SLOPE TOP TO DRAIN, SIZE AND REINFORCEMENT BY STRUCTURAL
 - (F) PLANTING AREA OR DG PAVING VARIES, SEE PLAN
 - (G) TACK WELD
 - (H) PANEL JOINT AT EVERY ANGLE, CENTER JOINT ON ANGLE.
 - (I) SEAM AT CORNER IS FULLY WELDED AND GROUND SMOOTH, ENTIRE EXPOSED SURFACE IS SANBLASTED FOR UNIFORM APPEARANCE.
 - (J) BASE COURSE PER GEOTECH
 - (K) LIQUID APPLIED WATERPROOFING
- NOTES:
1. CONTRACTOR TO PROVIDE MOCK-UP AND SHOP DRAWING OF COR-TEN STEEL WALLS, INCLUDING PLAN, FOOTING LOCATION, SIZE AND ALL FASTENER DETAILS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION. COR-TEN PANELS SHALL BE 4'-8" O.C MAX, EQUALLY SPACED ON LENGTH OF WALL.



- 1 WEATHERING STEEL WALL PER 4/L1.18, APPROXIMATELY 24" HIGH (EXPOSED)
 - 2 STONE WALL PER 3/L1.10
- NOTE: ANY DEPICTED WATER FEATURES OR FOUNTAINS ARE NO LONGER PART OF THE DRP SCOPE. PRIOR DRP SUBMITTALS INCLUDED WATER FEATURES, BUT THEY HAVE BEEN REMOVED.



4. WEATHERING STEEL WALLS TYPE 1 AND 2 SCALE: 1" = 1'-0"

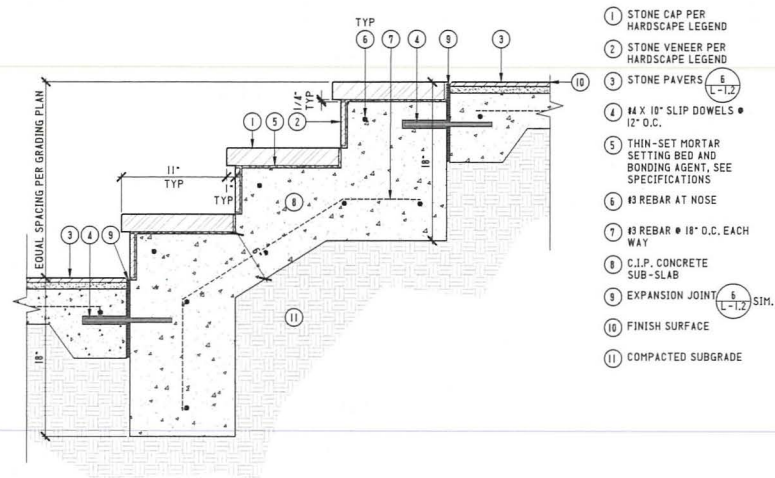
NOVAK RESIDENCE
1005 HIGHLAND DRIVE
DEL MAR, CA 92014

LANDSCAPE ARCHITECT
HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-356-8582

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3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

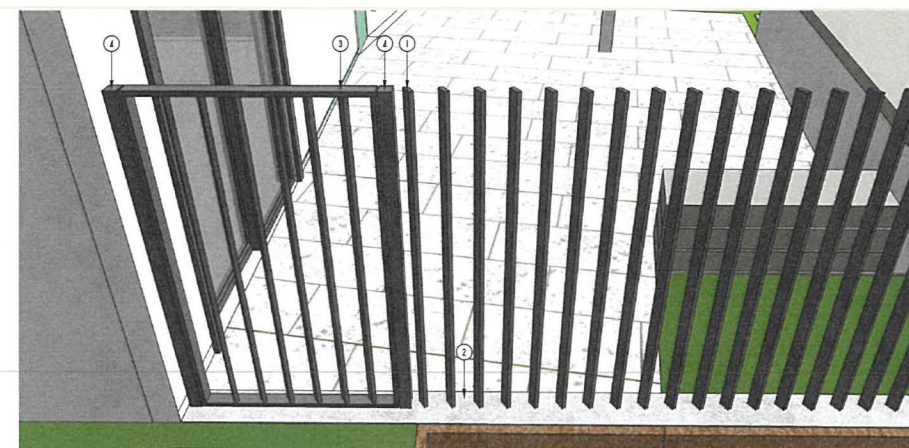
Project Manager: Andrew Hatch
Checked By: AH
Date: 01/18/2024
Scale: AS SHOWN

HARDSCAPE DETAILS
L1.10



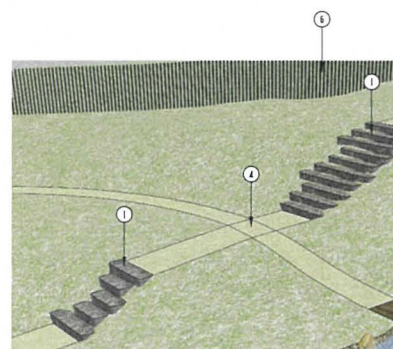
1. STONE TILES STEPS

SCALE: 1 1/2" = 1'-0"



2. FENCE AND GATE TYPE 1

SCALE: NTS



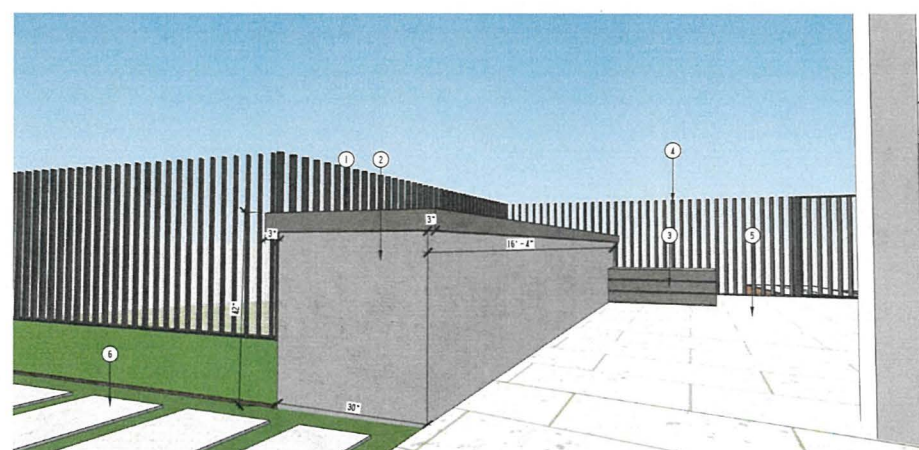
3. STONE STEPS TYPE 2

SCALE: NTS



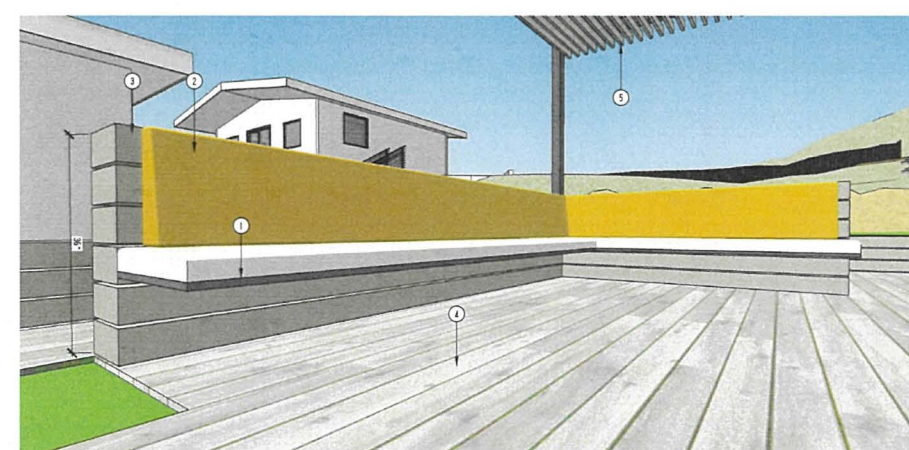
4. GATE TYPE 4

SCALE: NTS



5. CONCRETE COUNTER

SCALE: NTS

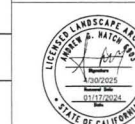


6. CUSTOM SEATING CANTILEVERED FROM STONE WALL

SCALE: NTS

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
 DEL MAR, CA 92014



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 619-356-8682

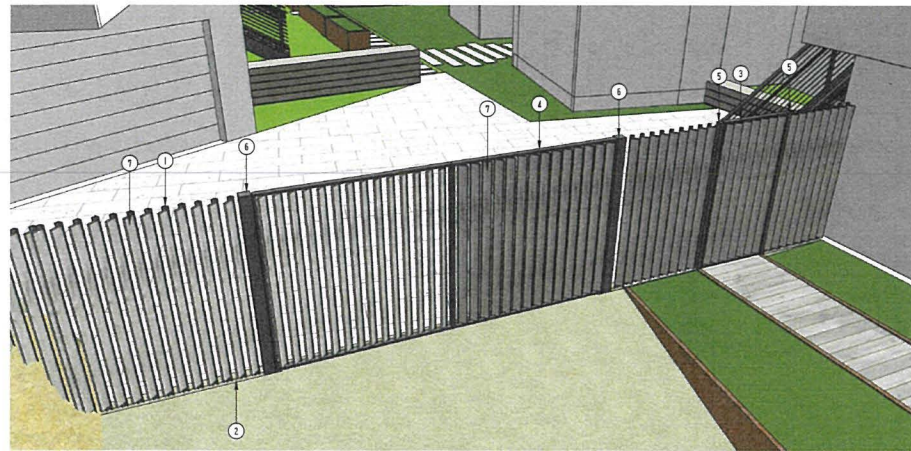
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2	12/06/2021	CITY RE-SUBMITTAL

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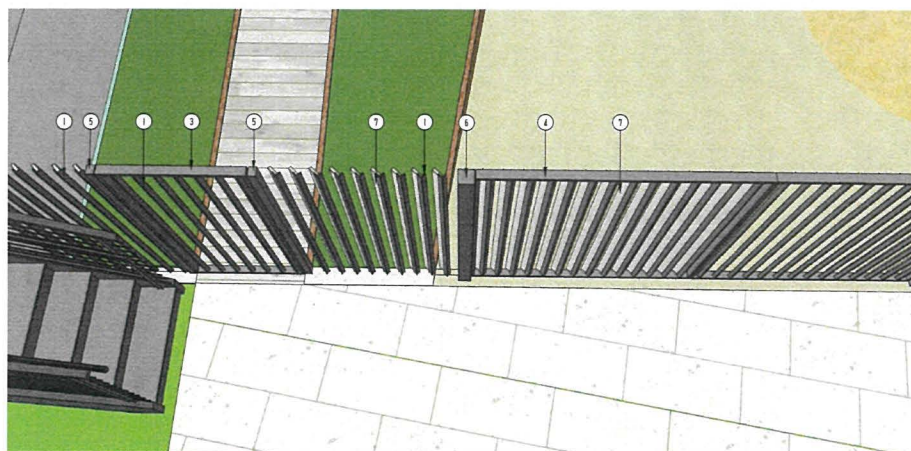
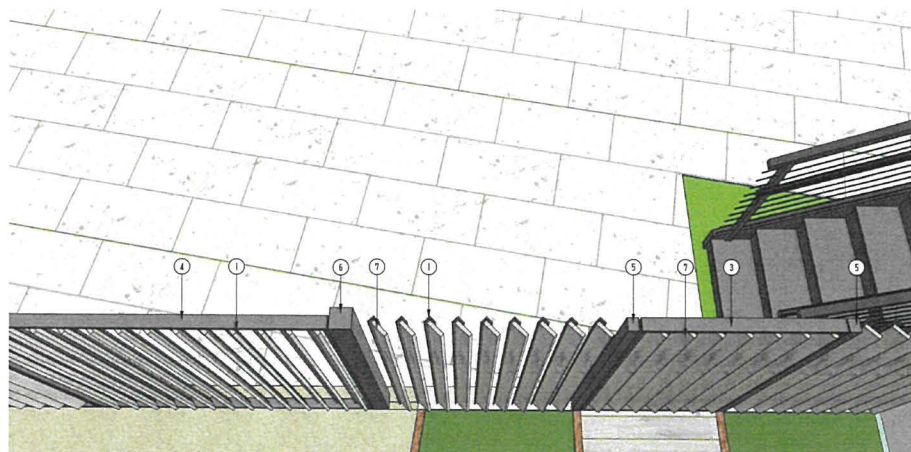
Project Manager: Andrew Hatch	Reviewed By: AH
Date: 01/18/2024	
Scale: AS SHOWN	

HARDSCAPE DETAILS
 Sheet No: 12 of 27

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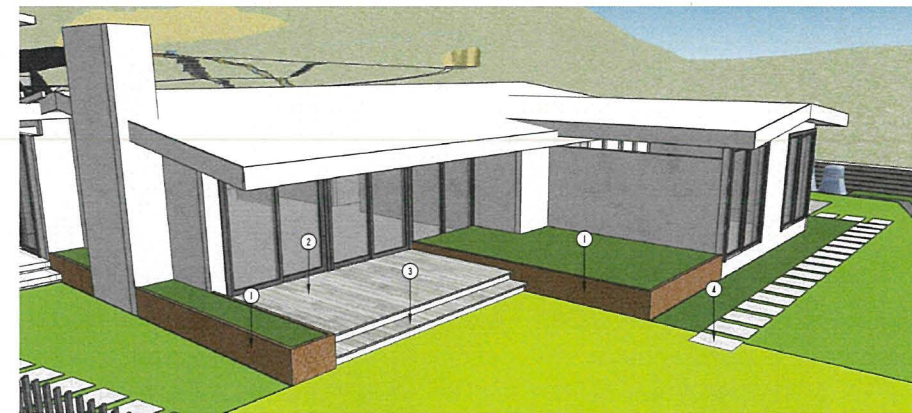


- ① 1.5" X 1.5" STL. ANGLE PICKET, 5" O.C.
 - ② CONTINUOUS CONCRETE FOOTING
 - ③ PEDESTRIAN GATE: 2" SQUARE STL. TUBE GATE, INFILL WITH 1.5" X 1.5" STL. ANGLE PICKETS, 5" O.C. INCLUDE GATE STOPPER, HEAVY DUTY HINGE AND HANDLE/LOCK (SILVER SATIN FINISH), USE S.S. SCREWS.
 - ④ VEHICULAR GATE: 2" SQUARE STL. TUBE GATE, INFILL WITH 1.5" X 1.5" STL. ANGLE PICKETS, 5" O.C. INCLUDE GATE STOPPER, HEAVY DUTY HINGE AND HANDLE/LOCK (SILVER SATIN FINISH), USE S.S. SCREWS.
 - ⑤ 2" SQUARE STL. TUBE POST
 - ⑥ 4" SQUARE STL. TUBE POST (OR LARGER IF RECOMMENDED BY MANUFACTURER)
 - ⑦ CEDAR SLATS
- NOTE:
FENCE AND GATE FINISH: PER LEGEND
WOOD SLATS FINISH: PER LEGEND

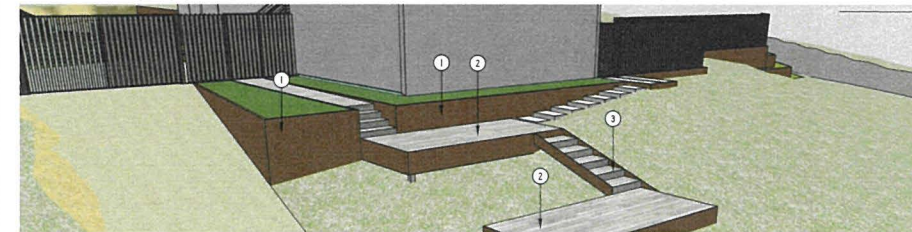
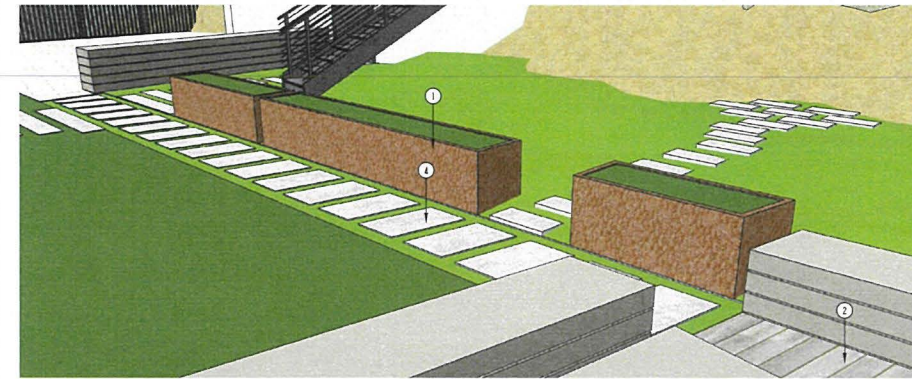


1. FENCE TYPE 2 AND GATES TYPES 2 AND 3

SCALE: NTS



- ① WEATHERING STEEL PLANTER WALL PER 4/L1.1.8, STONE WALL PER 3/L1.1.8
- ② WOOD DECK PER 3/L1.7
- ③ WOOD STEP PER 3/L1.7
- ④ C.I.P. CONCRETE PAVERS PER 2/L1.8



2. CUSTOM METAL PLANTERS

SCALE: NTS

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



LANDSCAPE ARCHITECT
HATCHWORKS
3745 Trudy Ln.
San Diego, CA 92106
619-356-8582

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4	04/03/2023	CITY RE-SUBMITTAL
3	03/01/2023	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL

NO.	DATE	ISSUE NOTE
Project Manager	Andrew Hatch	Drawn By
Drawn	01/18/2024	Checked By
Scale	AS SHOWN	

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HATCHWORKS

3745 Truist Ln
San Diego, CA 92106
619-356-6582

Company

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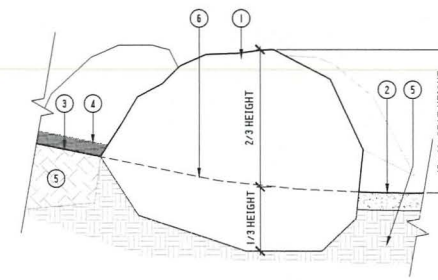
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Project Manager Andrew Hatch	Drawn By AH
Date 01/18/2024	
Scale AS SHOWN	

HARDSCAPE
DETAILS

Sheet No: 14 of 27

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- 1 BOULDER, LOCATION, TYPE AND SIZE PER PLAN AND LEGEND; PLACE SO THAT 1/3 OF TOTAL BOULDER HEIGHT IS BELOW GRADE AND FLATTEST SURFACE FACES UP
 - 2 FINISH SURFACE PER PLANS
 - 3 FINISH GRADE
 - 4 MULCH IN PLANTER AREA
 - 5 8% COMPACTED SUBGRADE AT BOULDER, 8% COMPACTION IN ADJACENT PLANTING AREAS, TYPICAL
- NOTE:
1. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE CORRECT LOCATIONS OF BOULDERS PRIOR TO INSTALLATION

4. BOULDER PLACEMENT

SCALE: 3/4" = 1'-0"

FXLuminaire Accent Lights



MP Up Light STANDARD PLUS


The MP is the smallest up light in the FX family. Accepts MR-11 lamps.

Quick Facts

- Die-cast zinc/aluminum alloy
- TSC powder coat finish
- MR-11 lamp type
- ProAim™ adjustability
- Tamper-resistant features
- Phase dimmable
- Input voltage: 10-15V



FXLuminaire LED Down Lights

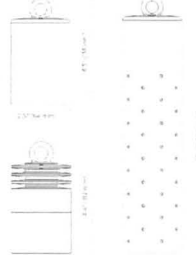


VE DESIGNER PREMIUM

Hanging down light for overhead illumination in 1 or 3 LED. Available in aluminum construction.

Quick Facts

- Die-cast aluminum with optional copper sleeve
- Two-layer mono-grade anodization and powder coat finish
- Clear integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



5. TREE UP LIGHT

SCALE: NTS

FXLuminaire LED Wall Lights



MO Wall Light DESIGNER PREMIUM

1 or 3 LED recessed wall light available in four brass faceplate styles for any application. RGBW version available with Luxor® technology.

Quick Facts


- Die-cast brass and aluminum construction
- Natural powder coated or antique brass
- Clear integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



6. MOONLIGHT

SCALE: NTS

FXLuminaire LED Path Lights




TD Path Light DESIGNER PREMIUM

Elegant styling with a large light pattern. Offered in 1, 3, 6, or 9 LED. Copper and brass construction. RGBW capable with Luxor® system.

Quick Facts

- Copper and brass construction
- Natural copper/brass, powder coat, or antique finishes
- Clear integrated LEDs
- ProAim™ adjustability
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



7. STEP LIGHT

SCALE: NTS

8. PATH LIGHT

SCALE: NTS

NOVAK RESIDENCE

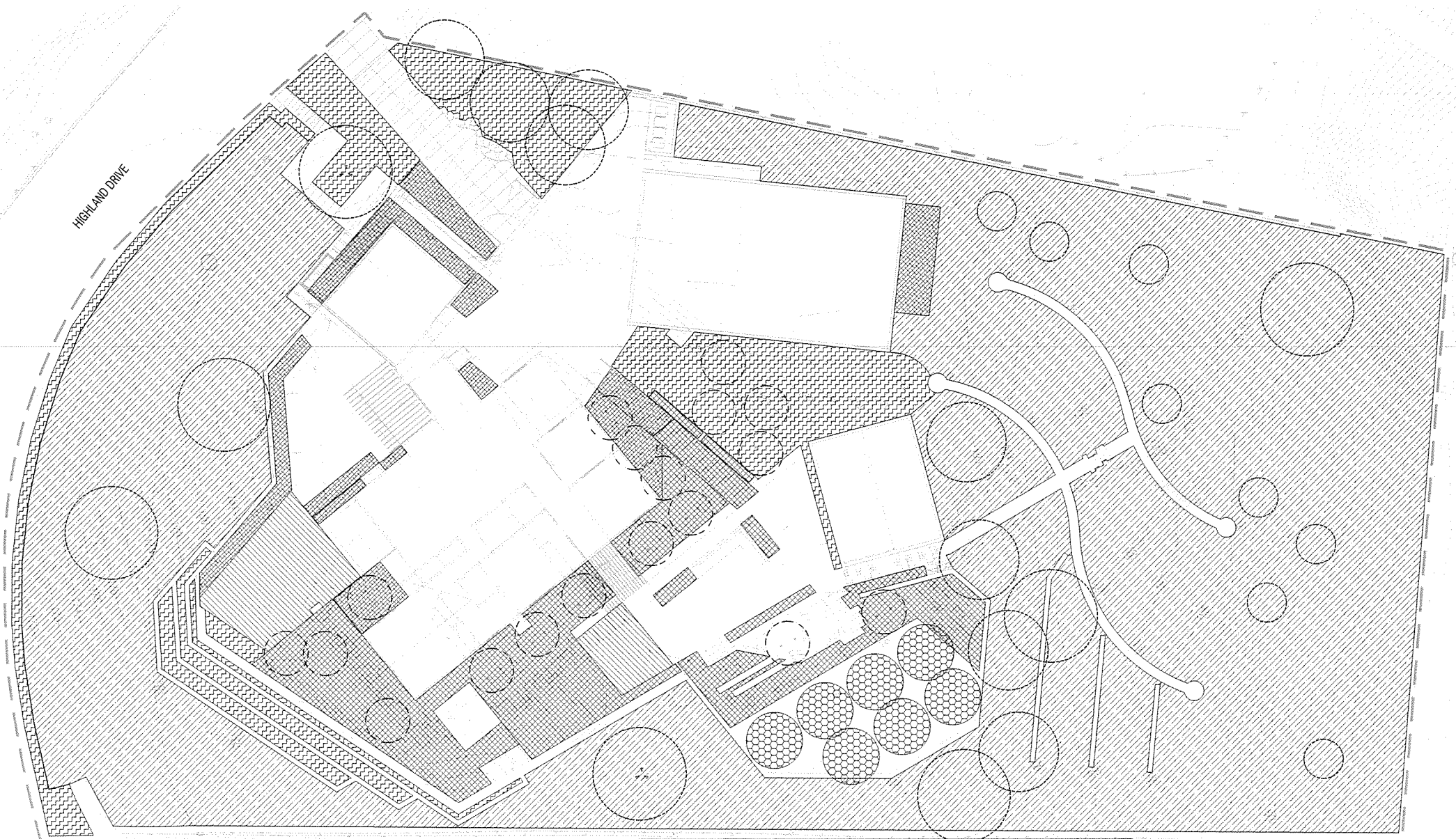
1005 HIGHLAND DRIVE
DEL MAR, CA 92014



Landscape Architect
HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-356-8582

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2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE
Project Manager: Andrew Hatch Designer: AH Date: 01/18/2024 Status: AS SHOWN Sheet No: HARDSCAPE DETAILS Total No: 15 of 27		

L1.14



RAMONA PLACE

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014

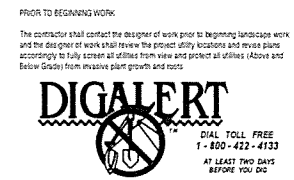
DECLARATION OF RESPONSIBLE CHARGE
I am familiar with the requirements for landscape and irrigation plans contained in the City of San Diego Water Efficient Landscape Regulations. I understand that construction drawings are to be prepared in compliance with those regulations and the Landscape Manual. I certify that the plans have been prepared implementing those regulations to provide efficient use of water.

I hereby declare that I am the licensed designer of work for this project and that I have exercised responsibilities charges over the design of this project as defined in Section 6703 of the Business and Professions Code and the design is consistent with current standards.

I understand that the check of project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as the licensed designer of work, of my responsibilities for project design.

HATCHWORKS STUDIO
3745 Trudy Lane
San Diego, CA 92106
(704) 958-0029

By: *Andrew Hatch* Date: 01/17/2024
ANDREW HATCH, RLA # 6903, Exp: 04/30/2025

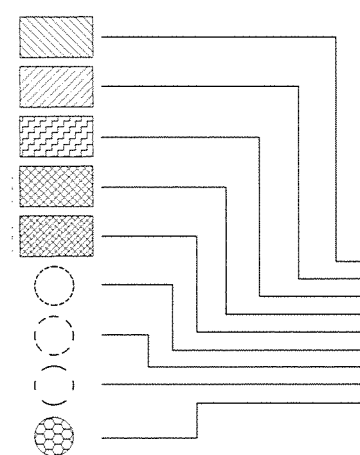


NOVAK RESIDENCE
CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

Line	Hydro-zone Number (1-7 Below - use as many tablets as necessary to complete all hydrozones)	Hydrozone								SLA
		1	2	3	4	5	6	7	8	
Evapotranspiration Rate (Eto) See "A" below	1	47	47	47	47	47	47	47	47	
Conversion Factor - 0.62	2	0.62	0.62	0.62	0.62	0.62	0.62	0.62	0.62	
(Line 1 x Line 2)	3	29.14	29.14	29.14	29.14	29.14	29.14	29.14	29.14	
Plant Factor (PF) See "B" below	4	0.60	0.30	0.30	0.60	0.60	0.60	0.60	1.00	
Hydrozone Area (Sq. Ft.)	5	725	19,404	3,081	2,566	1,092	4,035	953	192	665
(Line 4 x Line 5)	6	435	5821	924	1540	655	2421	572	192	
Irrigation Efficiency (E) See "C" below	7	75%	75%	81%	81%	81%	75%	81%	81%	
(Line 6 / Line 7)	8	580	7,762	1,141	1,901	809	3,228	706	237	
TOTAL of all Line 8 boxes + SLA	9	17,028								
Estimated Total Water Use ETWU (Gallon Per Year) Total shall not exceed MAWA below	10	496,205	GPY	92.8%	OF MAWA					

MAXIMUM APPLIED WATER APPLICATION (MAWA) Calculation:

47	[(.62 x 32,713)] + [(1-.45 x .665)] =	534,949
Eto	Const	Total Landscape Area
	ETAF	Total SLA
		OR
		1,6417
		OR
		71,517



A	B
Eto - Evapotranspiration rate = 41 (west of I-5) 47 (east of I-5)	PF - Plant Factor - WUCOLS values to determined the category for each species used. The highest water use PF must be used when more than one PF is shown in a hydro-zone 0.1 = VLW - Very Low Water Use Plants 0.3 = LW - Low Water Use Plants 0.6 = MW - Moderate Water Use Plants 1.0 = HW - High Water Use Plants

Plant factors per WUCOLS IV Landscape Manual: Not adjusted for environmental exposure

PLANT FACTOR	HZ #	PLANT TYPE	IRRIGATION METHOD	ENV. EXP.
MED CONSUMPTIVE	1	TURF	STREAM ROTATOR	SUN
LOW CONSUMPTIVE	2	SHRUB/G.C.	STREAM ROTATOR	SUN
LOW CONSUMPTIVE	3	SHRUB/G.C.	SUBSURFACE DRIP	SUN
MED CONSUMPTIVE	4	SHRUB/G.C.	SUBSURFACE DRIP	SUN
MED CONSUMPTIVE	5	SHRUB/G.C.	SUBSURFACE DRIP	SHADE
MED CONSUMPTIVE	6	TREES	MICRO-SPRAY	SUN
MED CONSUMPTIVE	7	TREES	SUBSURFACE DRIP	SUN
HIGH CONSUMPTIVE	8	TREES	SUBSURFACE DRIP	SHADE

7 FRUIT TREES AT 95 VOLUME PER TREE = 665 SQ FT DESIGNATED AS SPECIAL LANDSCAPE AREA (SLA) ASSIGNED TO HYDROZONE # 6



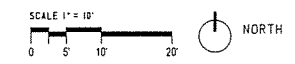
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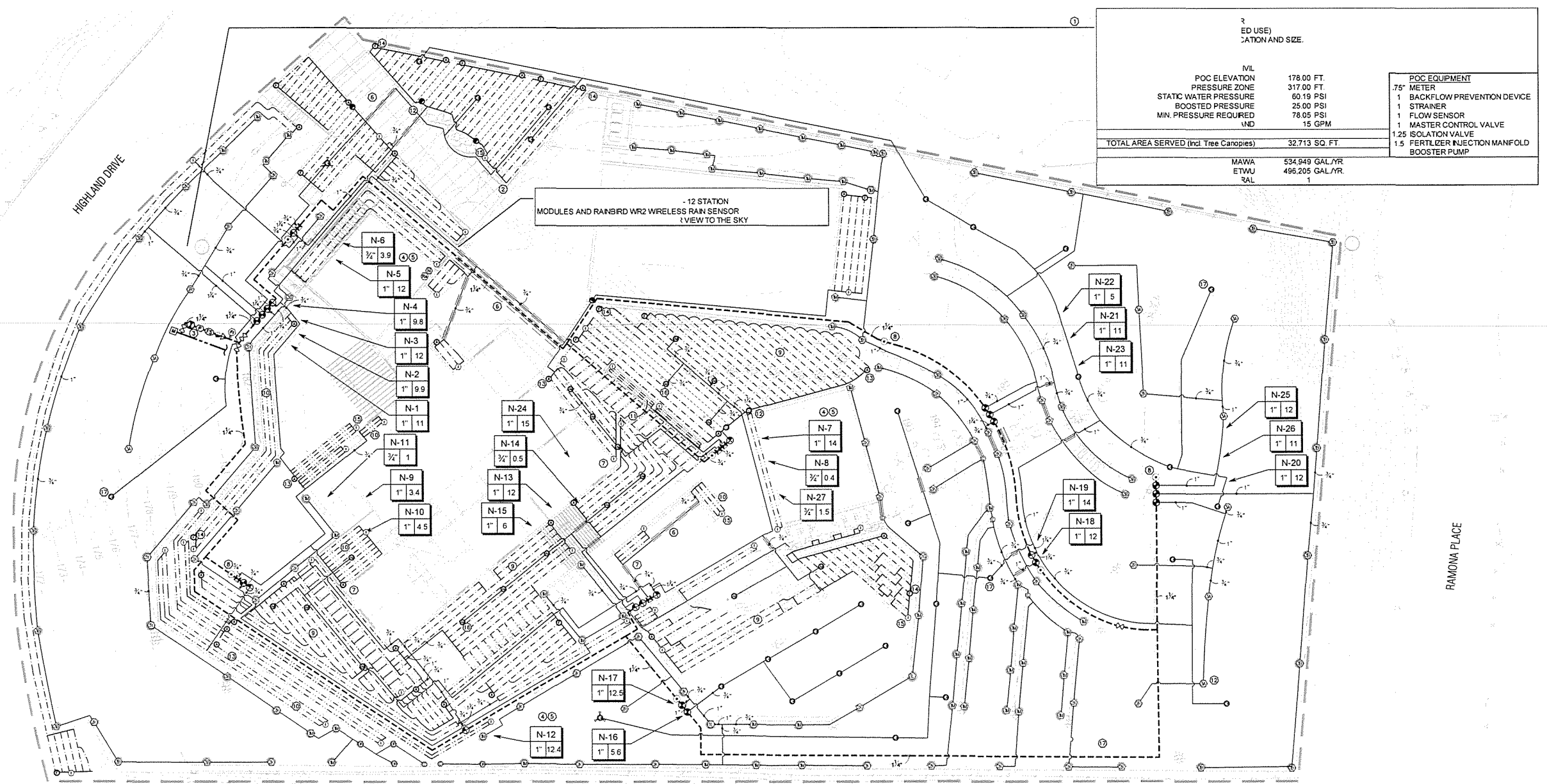
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Project Manager: Andrew Hatch
Date: 01/18/2024
Scale: AS SHOWN

HYDROZONE MAP

Sheet: 17 of 27
L2.0





ED USE) ATION AND SIZE.		POC EQUIPMENT	
MIL	178.00 FT.	.75" METER	
POC ELEVATION	317.00 FT.	1 BACKFLOW PREVENTION DEVICE	
PRESSURE ZONE	60.19 PSI	1 STRAINER	
STATIC WATER PRESSURE	25.00 PSI	1 FLOW SENSOR	
BOOSTED PRESSURE	78.05 PSI	1 MASTER CONTROL VALVE	
MIN. PRESSURE REQUIRED	15 GPM	1.25 ISOLATION VALVE	
		1.5 FERTILIZER INJECTION MANFOLD	
		BOOSTER PUMP	
TOTAL AREA SERVED (incl. Tree Canopies)		32,713 SQ. FT.	
MAWA	534,949 GAL/YR		
ETWU	496,205 GAL/YR		
RAL	1		

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014

RAMONA PLACE

IRRIGATION NOTES:

- POC - CONTRACTOR TO MAKE CONNECTION TO EXISTING SERVICE LINE APPROXIMATELY WHERE SHOWN. INSTALL A 1" REDUCED PRESSURE TYPE BACKFLOW PREVENTION DEVICE AND OTHER POC EQUIPMENT APPROXIMATELY AS SHOWN.
CONTRACTOR TO VERIFY IN-FIELD.
*STATIC WATER PRESSURE OF 60 PSI.
*SIZE, LOCATION AND MATERIAL OF PIPE LINE/ THIS INFORMATION TO BE ADDED TO AS-BUILT DRAWINGS.
- IRRIGATION CONTROLLER- HEATHER BASED IRRIGATION CONTROLLER AS LISTED IN THE IRRIGATION LEGEND. 120 VAC POWER SOURCE FOR EXISTING CONTROLLERS SHALL BE REUSED IN ACCORDANCE WITH LOCAL CODES.
- BOOSTER PUMP TO BE INSTALLED DUE TO LOW PRESSURE AVAILABLE AT THE SITE. THE CONTRACTOR SHALL VERIFY THE PRESSURE IN THE FIELD AND/OR WITH THE SANTA FE IRRIGATION DISTRICT BEFORE PURCHASING PUMP, AND NOTIFY THE OWNER'S REPRESENTATIVE WITH THE FINDINGS. THE CONTRACTOR SHALL STAKE THE LOCATION OF THE PUMP FOR THE LANDSCAPE ARCHITECT'S APPROVAL AND TO COORDINATE THE POWER WITH THE ELECTRICAL ENGINEER. ALL INSTALLATIONS TO BE IN ACCORDANCE WITH LOCAL CODES.
- LOCATIONS SHOWN DIAGRAMMATICALLY. ALL EQUIPMENT TO BE INSTALLED WITHIN PLANTING AREAS OR LOCATED AS DIRECTED BY OWNER'S REPRESENTATIVE.
*IRRIGATION MAINLINE INSTALLED 18"-24" FROM FACE OF CURB, WALK OR WALL.
*VALVE BOXES TO BE INSTALLED 12"-18" FROM FACE OF CURB OR WALK AND HIDDEN FROM CASUAL SIGHT WHEREVER POSSIBLE.
*VALVE BOX LID COLORS ARE AS FOLLOWS: GREEN IN TURF AREAS, TAN IN ROCK MULCH OR D.S. AREAS AND BLACK IN DARK MULCH OR GRASSCOVER AREAS. STAKE LOCATION OF ALL VALVES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. (TYP. ALL LOCATIONS)
- EXCEPT WHERE NOTED, SINGLE REMOTE CONTROL VALVES TO BE INSTALLED WITHIN A STANDARD RECTANGULAR VALVE BOX. INSTALL NO HOLE THRU VALVE BOXES IN ONE LOCATION. SEPARATE VALVE GROUPS BY FOUR FEET MIN.
- MAINLINE PIPE, CONTROL WIRE AND LATERAL LINE PIPE UNDER ALL PAVING TO BE SLEEVED. SLEEVES SHALL BE TWO TIMES DIA. OF PIPE OR WIRE BUNDLE, 2" MIN. (TYP.)
- DESIGN PROVIDES ZONE SEPARATION REQUIRED BY DIFFERENCES IN APPLICATION RATE, ENVIRONMENTAL EXPOSURE, TOPOGRAPHY AND PLANT WATER DEMAND.
- HOSE BIBS TO BE PLACED AT THIS APPROXIMATE LOCATION AND INSTALLED AS DESCRIBED BY THE IRRIGATION LEGEND.
- DRIP IRRIGATION FOR SHRUB AND GROUND COVER PLANTINGS. DRIP TUBING WITH PRE-INSERTED, 1/6 GPM PRESSURE COMPENSATING EMITTERS AT 18" O.C., TUBING TO BE UNIFORMLY SPACED 10' TO 12' O.C. IN GRID PATTERN AND/OR PARALLEL WITH TOPOGRAPHY AS SHOWN. SECURE WITH STAPLES 5' O.C. AND PROVIDE 2" TO 4" COVER. (AVG. APPLICATION RATE = .74 IN/HY TO .42 IN/HY)
- DRIP IRRIGATION FOR SHALLOW ROOTED PLANTINGS. DRIP TUBING WITH PRE-INSERTED, .85 GPM PRESSURE COMPENSATING EMITTERS AT 12" O.C., TUBING TO BE UNIFORMLY SPACED 10' TO 12' O.C. IN GRID PATTERN AND/OR PARALLEL WITH TOPOGRAPHY AS SHOWN. SECURE WITH STAPLES 5' O.C. AND PROVIDE 4" SOIL COVER TO AVOID DAMAGE WHEN ABRASING. APPLICATION RATE = .85 IN/HY TO 1.0 IN/HY
- DRIP IRRIGATION FOR RAISED PLANTERS. DRIP TUBING WITH PRE-INSERTED, 4 GPM PRESSURE COMPENSATING EMITTERS AT 6" O.C., TUBING TO BE SPACED BETWEEN FLAGSTONE AS SHOWN. SECURE WITH STAPLES 5' O.C. AND PROVIDE 2" TO 4" COVER. SEE LEGEND FOR DRIP SIZES. APPLICATION RATE = .74 IN/HY TO .42 IN/HY
- DRIP AND OVERHEAD IRRIGATION ON SLOPED AREAS - SLOPED AREAS ARE INTENDED TO BE IRRIGATED BY DRIP AND OVERHEAD METHODS. IN THESE AREAS THE SYSTEMS ARE ARRANGED AND PLUMBED TO PREVENT THE MAJORITY OF SYSTEM DRAINAGE TO THE LOWEST LOCALITY OF THE ZONE. THIS IS ACCOMPLISHED WITH THE USE OF CHECK VALVES INSTALLED WITHIN THE INLET MANIFOLD AND/OR AT THE SPRINKLER HEAD. SEPARATION OF THE EXHAUST MANIFOLD.
- CHECK VALVE IN INLET MANIFOLD.
- SEPARATION OF EXHAUST MANIFOLD.
- AIR/VACUUM RELIEF VALVE. LOCATION SHOWN DIAGRAMMATICALLY. VALVE SHALL BE INSTALLED AT HIGHEST LOCAL ELEVATION ON MANIFOLD TO ALLOW ACCESS OF AIR TO ALL LATERAL LINES. (TYP.)
- DRIP SYSTEM FLUSHING- STATION FLOW 10 GPM OR GREATER. MANUAL FLUSH VALVE AS DETAILED INSTALLED AT FLUSH MANIFOLDS.
STATION FLOW 6 GPM OR LESS- DRIP OPERATION INDICATOR WITH 6PM GPM-NOZZLE AT LATERAL ENDS ON TERMINAL MANIFOLDS
- DRIP OPERATION INDICATOR INSTALLED ON INLET MANIFOLD, NEAR CONTROL VALVE AND AT LATERAL ENDS OR ON FLUSH MANIFOLDS OF ALL DRIP SYSTEMS (TYP. 2 UNITS PER SYSTEM MINIMUM)
- DRIP IRRIGATION FOR TREES. DRIP TUBING WITH PRE-INSERTED, 1/6 GPM PRESSURE COMPENSATING EMITTERS AT 18" O.C., TUBING TO BE UNIFORMLY SPACED IN CONCENTRIC RINGS. SECURE WITH STAPLES 5' O.C. AND PROVIDE 2" TO 4" COVER. INSTALL ONE DRIP INDICATOR PER TREE AS HEADS OF FLUSHING THE SYSTEM AT EACH TREE. SEE DETAIL 'D' ON SHEET L2.4 (AVG. APPLICATION RATE = .74 IN/HY TO .42 IN/HY)
- MICRO-SPRAY IRRIGATION FOR TREES. RAINBRD 6" POP-UP BODY WITH SOF PATTERN NOZZLE ON A SEPARATE VALVE FOR ADDITIONAL WATER ON TREES. CONTRACTOR TO INSTALL 2 UNITS PER EACH TREE AND 4 UNITS FOR EACH EXISTING TREE. EVENLY SPACED AROUND THE TREE DRINKLINE. SEE DETAIL 'V' ON SHEET L2.3.

ALL BASE INFORMATION FOR THESE PLANS HAS BEEN OBTAINED FROM THE LANDSCAPE ARCHITECT, CIVIL AND/OR MECHANICAL ENGINEER. ACCURACY AND UPDATE OF THIS INFORMATION IS THE RESPONSIBILITY OF THE PROVIDING PARTY. THE IRRIGATION CONSULTANT DEPENDS ON ACCURACY OF THIS OBTAINED INFORMATION. CONTRACTOR MUST FIELD VERIFY ACTUAL LOCATIONS.

DECLARATION OF RESPONSIBLE CHARGE:

I am familiar with the requirements for landscape and irrigation plans contained in the City of San Diego Water Efficient Landscape Regulations. I understand that construction drawings are to be prepared in compliance with those regulations and the Landscape Manual. I certify that the plans have been prepared implementing those regulations to provide efficient use of water.

I hereby declare that I am the licensed designer of work for this project and that I have exercised responsibilities charges over the design of this project as defined in Section 6703 of the Business and Professions Code and the design is consistent with current standards.

I understand that the check of project drawings and specifications by the City of San Diego is confirmed to a review only and does not relieve me, as the licensed designer of work, of my responsibilities for project design.

HATCHWORKS STUDIO
3745 Trudy Lane
San Diego, CA 92106
(764) 968-0029
By: *[Signature]* Date: 01/17/2024
ANDREW HATCH, RLA # 6903 Exp 04/30/2025

DIGALERT
DIAL TOLL FREE
1-800-422-4133
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



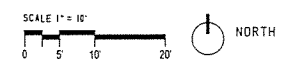
HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-358-8582

REV	DATE	DESCRIPTION
6	01/16/2024	CITY RE-SUBMITTAL
7	01/08/2024	CITY RE-SUBMITTAL
5	08/11/2023	CITY RE-SUBMITTAL
6	05/03/2022	CITY RE-SUBMITTAL
4	04/03/2022	CITY RE-SUBMITTAL
3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

Project Engineer: Andrew Hatch
Date: 01/18/2024
AS SHOWN

IRRIGATION PLAN

Sheet No. 18 of 27
L2.1



DOMESTIC WATER IRRIGATION EQUIPMENT LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	REMARKS	DETAIL
M	METER	DOMESTIC WATER METER EXISTING	BY OTHERS, SEE PLANS FOR DIAGRAMATIC LOCATIONS OF ALL POINTS OF CONNECTION. SEE ALSO CIVIL DRAWINGS FOR EXACT SERVICE LINE LOCATIONS.	A
B	BACKFLOW PREVENTION DEVICE	1" MILKINS 475XLVSR REDUCED PRESSURE TYPE	1" DEVICE INSTALLED WITH REDUCTION BUSHINGS ON 1" RISERS.	B
C	AUTOMATIC WEATHER BASED IRRIGATION CONTROLLER	RAINBIRD ESP12LXMEF WITH 2 EXPANSION MODULES	INSTALL APPROXIMATELY WHERE SHOWN AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE. POWER TO BE SUPPLIED BY THE OWNER.	E, I, E2
E	RAIN SENSOR (WIRELESS)	RAINBIRD WR2	INSTALL ON FASCIA BOARD OR FENCE RAIL. PROVIDE CLEAR VIEW OF SKY. FINAL LOCATION OUTSIDE OF INFLUENCE OF OVERHEAD IRRIGATION.	E, I, E2
F	BOOSTER PUMP	BARRETT ENGINEERED PUMPS SEE DETAIL DRAWINGS FOR SPECS.	PUMP ASSEMBLY WITH ALL REQUIRED CONTROLS. POWER TO BE PROVIDED BY OTHERS. SEE PUMP SPECIFICATIONS FOR CURRENT REQUIREMENTS AT VARIOUS VOLTAGES.	C
G	FERTILIZER INJECTOR	EZ-FLO MODEL #EZ001-CX WITH CBV-300 OR AS REQUIRED FOR PIPE SIZE.	PASSIVE TYPE. VENTURI DELIVERED.	I, M
H	1" MASTER CONTROL VALVE	SUPERIOR 3200	NORMALLY CLOSED CONTROL VALVE. INSTALL WITHIN STANDARD RECTANGULAR VALVE BOX.	G, I, M
I	FLOW SENSOR	1" CREATIVE SENSOR TECHNOLOGY FSI-100	TO BE INSTALLED WITHIN RAINBIRD VB-STDP AND VB-STD-6EXT-B VALVE BOX DOWNSTREAM OF THE BACKFLOW PREVENTION DEVICE. COMMUNICATION TO CONTROLLER VIA PAISE ELECTRIC FT162D CABLE WITHIN 1" SCH 40 PVC CONDUIT.	F, M
J	PRESSURE REGULATOR	1" ZURN/MILKINS 600 SERIES PRESSURE REGULATOR	CONTRACTOR TO INSTALL PRESSURE REGULATOR DOWNSTREAM OF THE PUMP, TO MITIGATE THE PRESSURE FLUCTUATIONS OF THE PUMP. INSTALL WITHIN A RECTANGULAR VALVE BOX AS DETAILED.	G2, M
NO SYMBOL	TRADITIONAL CONTROL WIRE	PAISE ELECTRIC OR EQUAL	COPPER, SINGLE CONDUCTOR, 600 VOLT WITH DIRECT BURIAL INSULATION, 14 AWG MINIMUM. CONTROL WIRE TO FOLLOW IRRIGATION MAINLINE IN COMMON TRENCH WHENEVER POSSIBLE.	E2
K	BALL VALVE ON MAINLINE 1/4" AND SMALLER	MILKINS 850-U	SIZED EQUAL TO PIPE SIZE. FOR MAINLINE AND MANIFOLD ISOLATION ON LINES 2-1/2" AND SMALLER.	D, M
L	HOSE BIBB	CHAMPION 1-AOI ON SCH 80 RISER	RISER AND HOSE BIBB ATTACHED TO 4"x4" REDWOOD STAKE LOCATED WITHIN GARDEN AREA TO PROVIDE COVERAGE WITH 25 FT HOSE.	H
M	REMOTE CONTROL VALVE	RAINBIRD MODEL PESBR-PRS-D	SIZE AS SHOWN. REMOTE CONTROL VALVE FOR OVERHEAD SYSTEMS. INSTALL RCV ASSEMBLY WITH STATION ID TAG, LID COLOR TO BE GREEN IN TURF, TAN IN ROCK MULCH AND D.S. BLACK IN G.C. OR BARK MULCH.	J, M
N	DRIP VALVE ASSEMBLY-REMOTE CONTROL VALVE, PRE-SET PRESSURE RED. VALVE, BASKET SCREEN FILTER, ISOLATION BALL VALVE.	RAINBIRD 100-DVF WITH GKCHK-100 FOR FLOWS 2 TO 4 GPM RAINBIRD 100-PESB-R WITH WITH GKCHK-100 FOR FLOWS 4 TO 15 GPM	ALL EQUIPMENT TO BE SIZED AS NOTED. INSTALL WITH STATION ID TAG AND WITHIN VALVE BOX AS FOLLOWS: LID COLOR TO BE GREEN IN TURF, TAN IN ROCK MULCH AND D.S. BLACK IN GROUND COVER OR BARK MULCH.	K, M
NO SYMBOL	DRIP START CONNECTION	CONTRACTOR FABRICATED AS DETAILED	TRANSITION FROM PVC TO POLY DRIP LINES.	Q SERIES
O	AIR / VACUUM RELIEF VALVE	NETAFIM TLAVRV	INSTALL WITHIN 6" ROUND VALVE BOX. INSTALL ON COMMON POLY MANIFOLD LOCATED AT HIGHEST LOCAL ELEVATION APPROXIMATELY WHERE SHOWN.	N
P	DRIP LINE FLUSH VALVE	NETAFIM TL50V	MANUAL SHUT-OFF VALVE WITHIN 10" ROUND VALVE BOX. INSTALL AT POLY LATERAL END OR PVC EXHAUST MANIFOLD APPROXIMATELY WHERE SHOWN AND CONSTRUCTED AS DETAILED.	O
Q	DRIP SYSTEM CHECK VALVE	HUNTER INDUSTRIES T5F-T5M	SPRINGS CHECK VALVE TO PREVENT LATERAL LINE DRAINAGE. TO BE USED WHERE OPERATIONAL FLOW IS TO LOWER ELEVATION. INSTALL PVC INLET BYPASS WITHIN 10" ROUND VALVE BOX.	T, M
R	DRIP SYSTEM CHECK VALVE	KBI KSC-1000-T	SPRINGS CHECK VALVE TO PREVENT LATERAL LINE DRAINAGE. TO BE USED WHERE OPERATIONAL FLOW IS TO HIGHER ELEVATION. INSTALL PVC INLET BYPASS WITHIN 10" ROUND VALVE BOX.	T, M
S	POLYETHYLENE DRIP LINE WITH PREINSERTED EMITTERS CURVED OR STRAIGHT SYMBOL	NETAFIM 17 MM TL4CVXR11-1205 (BROWN FOR USE WITH P.V.)	DRIP LINE 1/4" PRE-INSERTED 1.6 GPH EMITTERS @ 12" O.C. FOR SHRUBS AND GROUND COVER PLANTINGS. LINE SPACED 16" - 18" O.C. SECURE DRIP LINE WITH STAPLES 5' O.C. INSTALL 1/4" MIN. COVER. ALL TUBING CONNECTIONS TO BE WITH NETAFIM IT MM INSERT FITTINGS.	Q SERIES
T	POLYETHYLENE DRIP LINE WITH PREINSERTED EMITTERS CURVED OR STRAIGHT SYMBOL	NETAFIM 17 MM TL4CVXR6-1205 (BROWN FOR USE WITH P.V.)	DRIP LINE 1/4" PRE-INSERTED 0.6 GPH EMITTERS @ 12" O.C. FOR SHRUBS AND GROUND COVER PLANTINGS. LINE SPACED 16" - 18" O.C. SECURE DRIP LINE WITH STAPLES 5' O.C. INSTALL 1/4" MIN. COVER. ALL TUBING CONNECTIONS TO BE WITH NETAFIM IT MM INSERT FITTINGS.	Q SERIES
U	DRIP LINE FOR RAISED PLANTERS	NETAFIM 12 MM TL2ZA-605 (BROWN FOR USE WITH P.V.)	DRIP LINE 1/4" PRE-INSERTED 0.40 GPH EMITTERS @ 6" O.C. DRIP LINE IN CONCENTRIC RINGS FOR IRRIGATION IN POTS. SECURE DRIP LINE WITH STAPLES. INSTALL 1/4" MIN. COVER. ALL TUBING CONNECTIONS TO BE WITH NETAFIM IT MM INSERT FITTINGS.	R
V	DRIP OPERATION INDICATOR	RAINBIRD RD12 POP-UP BODY WITH 6PH 6DFF-NOZZLE	INSTALL AT LEAST TWO PER DRIP ZONE, ONE NEAR THE REMOTE CONTROL VALVE AND ONE AT THE DISTAL END. NEAR THE FLUSH MANIFOLD. INDICATORS TO BE VISIBLE FROM A PAVED SURFACE.	P
W	PVC MAINLINE PIPE 1/2" AND SMALLER	PACIFIC PLASTICS OR EQUAL. SOLVENT WELD JOINTS.	1" - 1/2" PVC SCH 40, 2"-3" PVC CLASS 315. ALL FITTINGS TO BE SCH 80 PVC. DEEP BELLED. (WHITE PVC PIPE FOR USE WITH POTABLE WATER)	L SERIES
X	PVC LATERAL LINE PIPE 1/2" AND SMALLER	PACIFIC PLASTICS CYCLE FLOW OR EQUAL. SOLVENT WELD JOINTS.	1/4" AND SMALLER LATERAL LINES TO BE INSTALLED WITH PVC SCH 40 FITTINGS AS NOTE AND DETAILED. (WHITE PVC PIPE FOR USE WITH POTABLE WATER)	L SERIES
Y	PVC SLEEVE	PACIFIC PLASTICS CYCLE FLOW	PVC SCH 40, SIZED 2X SLEEVED PIPE OR WIRE BUNDLE.	L SERIES
Z	POLYETHYLENE DRIP LINE WITH PREINSERTED EMITTERS SUPPLEMENTAL WATER TO TREES	NETAFIM 17 MM TL4CVXR5-1205 (BROWN FOR USE WITH P.V.)	DRIP LINE 1/4" PRE-INSERTED 5.9 GPH EMITTERS @ 12" O.C. FOR TURF PLANTINGS. LINE SPACED 10" - 12" O.C. SECURE DRIP LINE WITH STAPLES 5' O.C. INSTALL 1/4" MIN. COVER. ALL TUBING CONNECTIONS TO BE WITH NETAFIM IT MM INSERT FITTINGS.	Q SERIES
AA	MICROSPRAY 6" POP-UP	RAINBIRD 1806 WITH 50-SERIES NOZZLE FOR ADDITIONAL WATER ON TREES	INSTALL 2 UNITS PER EACH NEW TREE AND 4 UNITS PER EACH EXISTING TREE. SEE DETAIL.	U

IRRIGATION SPRINKLER HEAD LEGEND

360	210	120	45	DESCRIPTION	MANUFACTURER / MODEL	PSI	RAD.	SPEC. NOZ.	360	210	120	45	DETAIL
ARC	ARC	ARC	ARC					ARC	ARC	ARC	ARC		
0	0	0	0	6" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP800 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	6'-8"	0.66	0.35	0.33	0.17		S SERIES
0	0	0	0	6" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP1000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	8'-13"	0.64	0.48	0.40	0.34	0.17	S SERIES
0	0	0	0	6" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP2000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	13'-11"	1.28	0.95	0.75	0.64	0.38	S SERIES
0	0	0	0	6" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-12-PRS30-CV IV MP8000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	20'-27"	3.15	2.31	1.84	1.58	0.76	S SERIES
0	0	0	0	12" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-12-PRS30-CV IV MP800 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	6'-8"	0.66	0.35	0.33	0.17		S SERIES
0	0	0	0	12" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-12-PRS30-CV IV MP1000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	8'-13"	0.64	0.48	0.40	0.34	0.17	S SERIES
0	0	0	0	12" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-12-PRS30-CV IV MP2000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	13'-11"	1.28	0.95	0.75	0.64	0.38	S SERIES
0	0	0	0	12" POP UP WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-12-PRS30-CV IV MP8000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	20'-27"	3.15	2.31	1.84	1.58	0.76	S SERIES
0	0	0	0	HEAD ON RISER WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP800 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	6'-8"	0.66	0.35	0.33	0.17		S SERIES
0	0	0	0	HEAD ON RISER WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP1000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	8'-13"	0.64	0.48	0.40	0.34	0.17	S SERIES
0	0	0	0	HEAD ON RISER WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP2000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	13'-11"	1.28	0.95	0.75	0.64	0.38	S SERIES
0	0	0	0	HEAD ON RISER WITH STREAM ROTATOR NOZZ.	HUNTER IND. PROS-06-PRS30-CV IV MP8000 AND VARIABLE ARC NOZZLE AS FOLLOWS: 40-210-210-360	30	20'-27"	3.15	2.31	1.84	1.58	0.76	S SERIES

Novak Residence - POC "1" - Controller "H"
Station N-27 @ 13 GPM (Greatest Flow/Highest Elevation)

HYDRAULIC GRADELINE
ELEVATION AT P.O.C.
PRESSURE AVAILABLE AT P.O.C.
BOOSTED PRESSURE

PIPE TYPE	TYPE	CLASS	VELOCITY	I.O.	Q (GPM)	SIZE (IN)	LENGTH	LOSS
SEWERAGE LINE	PVC	SCH 40	1.50	2.01	1.029	12	0.75	2.0
CONSP. STOK AND SHUT-OFF (E) Eq. Pipe Length	IRREL.							0.13
METER (FV)	IRREL.							2.20
ISOLATION VALVE (Eq. length Pipe)	PVC	SCH 40	1.50	5.01	1.029	12	1.25	2
SERVICE EXTENSION TO BPP	PVC	SCH 40	1.50	5.01	1.029	12	1.25	3
BACKFLOW PREVENTION DEVICE (WATTS 809)								11
WYE, STRAINER (Watts 45776)								0.2
FLOW SENSOR (Flow Meter G5200) @ Eq. Pipe Length	PVC	SCH 40	1.50	5.01	1.029	12	1.25	2
FERTILIZER INJECTION MANIFOLD (Eq. length Pipe)	PVC	SCH 40	1.50	5.01	1.029	12	1.25	5
I/O C. P.L.U.B. (15% of device losses)	Manufacturer's data							2.20
MCV (Eaton 3200)								1.50
MANIFOLD TRUNK (Full station flow, Total Length)	PVC	SCH 40	1.50	2.10	1.50	12	1.25	19
MANIFOLD LOOP (Half station flow, Half Length)	PVC	SCH 40	1.50	0.97	1.50	12	1.25	6.75
ISOLATION VALVES (Eq. length Pipe) (1.75 x 30%)	PVC	SCH 40	1.50	2.10	1.50	12	1.25	200
RCV SHALE STATION (Rainbird PESD)								2.00
LATERAL (Asp. Calculated @ 10% Operation Pressure)	PVC	SCH 40				VAR	VAR	22.11
SUBTOTAL								27.62
+10% FOR FITTINGS								3.00
TOTAL LOSSES								30.62
Emission Device Operation Pressure								3.00
Elevation Change Meter to Control Head								-1.30
Pressure Differential								-5.00
Elevation Change-Control Head to RCV								-8.00
Pressure Differential								21.50
Elevation Change RCV to System								9.50
Pressure Differential								27.11
REQUIRED								10.08
RESIDUAL PRESSURE THIS STATION								16.03

WATER PRESSURE CALCULATIONS

IRRIGATION NOTES

THE PROJECT

1. IRRIGATION SYSTEMS DESCRIBED BY THESE PLANS ARE FOR THE SUPPORT OF EROSION CONTROL AND DECORATIVE LANDSCAPE PLANTINGS. SEPARATE IRRIGATION SYSTEMS DESCRIBED BY THESE PLANS ARE INTENDED FOR USE OF DOMESTIC WATER. ALL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE RULES AND REGULATIONS OF THE CITY OF SAN DIEGO AND THE SANTA FE IRRIGATION DISTRICT.

2. THIS IS A REFURBISHMENT PROJECT WHICH WILL REQUIRE AN INTERFACE WITH CONDITIONS OF EXISTING IRRIGATION EQUIPMENT. THE CONTRACTOR MUST BE AWARE OF THE NATURE OF RETROFIT WORK, THAT UNDERGROUND PIPE, WIRE AND OTHER EQUIPMENT IS OF UNKNOWN CONDITION, SIZE, ARRANGEMENT OR EXISTENCE.

3. THESE PLANS ARE PRODUCED WITHOUT ACTUAL AS-BUILT INFORMATION AND EXACT LOCATION OF CONNECTIONS TO EXISTING EQUIPMENT ARE UNKNOWN. LOCATIONS AND ARRANGEMENT OF ALL EQUIPMENT ARE APPROXIMATE AND/OR CONCEPTUAL. ALL PIPE AND CONTROL WIRE CONNECTIONS SHOWN ON THE PLAN ARE DIAGRAMMATIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING POINTS OF CONNECTION TO EXISTING WATER METER. THE CONTRACTOR SHALL STAKE THESE LOCATIONS, INTENDED ROUTING OF MAINLINE AND CONTROL WIRE AND LOCATION OF INTENDED RCV INSTALLATIONS FOR APPROVAL OF THE LANDSCAPE ARCHITECT WHICH MUST BE OBTAINED BEFORE PROCEEDING WITH INSTALLATIONS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL RECONNAISSANCE WORK REQUIRED TO COMPLETE THE INTENT OF THE DRAWINGS. TO INTERFACE WITH ALL EXISTING CONDITIONS THE CONTRACTOR MUST BECOME VERY FAMILIAR WITH THESE CONDITIONS. THE CONTRACTOR SHALL COORDINATE ALL WORK AFFECTED BY EXISTING CONDITIONS WITH APPROPRIATE ON-SITE LANDSCAPE MAINTENANCE PERSONNEL.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND MAINTENANCE OF EXISTING LANDSCAPE AND IRRIGATION EQUIPMENT OUTSIDE LIMITS-OF-WORK BUT AFFECTED BY THE SCOPE OF THIS PROJECT. THIS MAY INCLUDE BUT NOT BE LIMITED TO:
*TEMPORARY CONSTRUCTION AND BYPASS LINES TO AVOID AREAS OF DEMOLITION AND CONSTRUCTION.
*REPAIR AND/OR REPLACEMENT OF DAMAGED PLANTING AND/OR IRRIGATION EQUIPMENT.
*MANUAL AND/OR HAND WATERING LANDSCAPE AREAS LEFT TEMPORARILY WITHOUT AUTOMATIC IRRIGATION.
THE CONTRACTOR SHALL COORDINATE ALL WORK AFFECTED BY TEMPORARY INTERRUPTIONS OF WATER SERVICE WITH APPROPRIATE ON-SITE PERSONNEL.

6. THE CONTRACTOR SHALL OBTAIN STUDY AND COORDINATE ALL PERTINENT ENGINEERING AND/OR ARCHITECTURAL PLANS AND SPECIFICATION AND COORDINATE WITH THE WORK DESCRIBED BY THESE PLANS.

7. ALL IRRIGATION SYSTEMS FOR THE GENERAL LANDSCAPE WITHIN THE LIMITS OF THIS PROJECT ARE TO BE CONNECTED TO A P.O.C. INTENDED FOR USE OF DOMESTIC WATER. USE OF DOMESTIC WATER FOR LANDSCAPE IRRIGATION REQUIRES SPECIFIC ATTENTION FOR THE PROTECTION OF THIS RESOURCE. ALL INSTALLATIONS SHALL BE ACCORDING TO RULES AND REGULATIONS OF THE SERVING WATER DISTRICT AND ALL OTHER CODES AND ORDINANCES AFFECTING CONSTRUCTION AND WATER CONSERVATION.

WATER SOURCE

1. STATIC PRESSURE OF POTABLE SYSTEMS IS BASE ON INFORMATION OBSERVED ON SITE 02/04/2021 AS FOLLOWS:
POTABLE WATER - 60 PSI AT EXISTING POC.

2. THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT DYNAMIC PRESSURES AS FOLLOWS:
MULTI-STREAM ROTATORS - 30 PSI AT THE NOZZLE.
SUBSURFACE DRIP - 30 PSI AT THE EMITTER.

REQUIRED DYNAMIC PRESSURE:
POTABLE WATER POC, 77 PSI

3. THE CONTRACTOR SHALL VERIFY WATER PRESSURE BY DIRECT MEASUREMENT IN THE FIELD AND/OR CONTACTING THE RANCHO SANTA FE IRRIGATION DISTRICT. IF EXISTING PRESSURES ARE NOT AS STATED ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE PURCHASE OF EQUIPMENT AND/OR BEGINNING INSTALLATION. PURCHASE OF EQUIPMENT AND ANY INSTALLATIONS WHEN EXISTING STATIC PRESSURE IS BELOW THAT STATED ABOVE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

4. IRRIGATION POINTS OF CONNECTION SHALL BE DOWN STREAM OF NOTED DEDICATED IRRIGATION CONNECTION SEPARATED FROM THE POTABLE WATER SOURCE BY A REDUCED PRESSURE TYPE BACKFLOW PREVENTION DEVICE. THIS DEVICE SHALL BE SHALL BE TESTED BY A PERSON CERTIFIED BY LOCAL GOVERNING AGENCY. CERTIFICATION SHALL BE SUBMITTED TO THE OWNER OR AUTHORIZED OWNER REPRESENTATIVE AT THE CONCLUSION OF CONTRACT. CERTIFICATION TO BE WITHOUT ADDITIONAL COST TO THE OWNER.

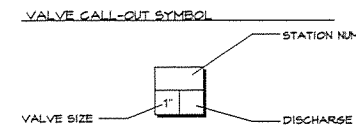
GENERAL

1. PLANS ARE DEVELOPED OVER BASE INFORMATION PROVIDED BY THE LANDSCAPE ARCHITECT. THIS INFORMATION AND ALL NEEDED UPDATES ARE THE RESPONSIBILITY OF THE PROVIDER.

2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ARRANGE FOR AND SCHEDULE A PRE-CONSTRUCTION MEETING AND ADHERE TO THE SPECIFICATIONS AND/OR STANDARD-OF-CARE REGARDING THE SCHEDULE OF SITE OBSERVATIONS.

3. UNOBSERVED, UNAPPROVED, INADEQUATE INSTALLATIONS ARE THE SOLE RESPONSIBILITY OF THE INSTALLING CONTRACTOR AND WILL BE SUBJECT TO REMOVAL AND REINSTALLATION WITH NEW MATERIAL AT NO ADDITIONAL COST TO THE BUILDER/OWNER.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK DESCRIBED BY THESE PLANS BEFORE BEGINNING WORK.



5A. THE CONTRACTOR SHALL OBTAIN, STUDY ALL PERTINENT ENGINEERING AND/OR ARCHITECTURAL PLANS AND SPECIFICATION AND COORDINATE WITH WORK DESCRIBED BY THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL RECONNAISSANCE WORK REQUIRED TO COMPLETE THE INTENT OF THE DRAWINGS. TO INTERFACE WITH ALL EXISTING CONDITIONS THE CONTRACTOR MUST BECOME VERY FAMILIAR WITH THESE CONDITIONS. THE CONTRACTOR SHALL COORDINATE ALL WORK AFFECTED BY EXISTING CONDITIONS WITH APPROPRIATE ON-SITE PERSONNEL.

5B. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES WITHIN WORK AREA PRIOR TO START OF CONSTRUCTION. AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST MARKOUT OF UNDERGROUND UTILITIES BY CALLING THE REGIONAL NOTIFICATION CENTER FOR AN INQUIRY IDENTIFICATION NUMBER. THE CONTRACTOR SHALL ALSO REFER TO ALL OTHER IMPROVEMENT PLANS FOR THIS PROJECT FOR UTILITY LOCATIONS.

6. THE CONTRACTOR SHALL NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS SUCH AS OBSTRUCTIONS, DIFFERENCES IN GRADINGS OR, IN SIZE AND SHAPE OF THE PLANTED AREAS MAY NOT HAVE BEEN ACCOMMODATED IN THE ORIGINAL DESIGN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SUCH CHANGE IN FIELD CONDITIONS. IF NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE INSTALLATION AND FOR ANY NEED OF SUBSEQUENT REVISIONS.

7. ALL LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF WORK DESCRIBED AND/OR DIRECTED BY THESE DRAWINGS ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS. THE CONTRACTOR SHALL PERFORM WORK ACCORDING TO PROVISIONS OF ALL GOVERNING LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS.

8. UNLESS OTHERWISE SPECIFIED ON THE PLANS:
* ALL LATERAL END RUNS ARE TO BE 9/4".
* ALL SUB-MAINS (NON-PRESSURE LINE CONNECTED DIRECTLY DOWNSTREAM OF THE REMOTE CONTROL VALVE) SHALL BE ONE SIZE LARGER THAN THAT REMOTE CONTROL VALVE.
* MAINLINE END RUNS ARE TO BE 1 1/2".
* ALL PIPE SHALL BE DOWN SIZED IN DIRECTION OF FLOW ONLY.
* MAINLINE LOCATION SHALL BE 12"-18" BEHIND SIDEWALKS, TOP OF SLOPES OR BROWN PATCHES.

9. THE PLANS AND DRAWINGS ARE DIAGRAMMATIC. THE SCALE OF THE PLANS SOMETIMES MAKES IT NECESSARY TO SHOW IRRIGATION PIPELINES WITHIN THE BUILDINGS, WALKS OR OTHERWISE OUTSIDE OF THE PLANTING AREAS. THIS IS ONLY FOR CLARITY OF THE PLANS. ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED IN PLANTER AREAS WHEREVER POSSIBLE. IN THE FOLLOWING PLANS THE IRRIGATION MAINLINE IS OFTEN SHOWN WITHIN THE PLAN VIEW OF SIDEWALKS, STREETS, DRIVES OR BUILDINGS. GENERALLY THE MAINLINE IS SHOWN ON THESE PLANS INDICATES AN EXISTING LINE TO BE PROTECTED IN PLACE FOR CONTINUED USE. REMOTE CONTROL VALVE SHOWN ARE TO BE INSTALLED IN PLACE OF THE EXISTING VALVE. THERE IS NO INTENTION OR DIRECTION WITHIN THESE PLANS TO INCLUDE THE INSTALLATION OF NEW MAINLINE. IF NEW MAINLINE NEEDS TO BE INSTALLED TO PROVIDE A VALVE AT A DIFFERENT LOCATION OR, FOR ANY OTHER REASON, THE FOLLOWING GUIDELINE ARE PROVIDED:
* 12" TO 18" FROM FACE OF WALKWAY OR MAINTENANCE PATH OR DRIVE.
* 48" BACK FROM THE TOP OF SLOPE.
* 24" BACK FROM TOE OF SLOPE.

10. ALL PIPE LINES AND CONTROL WIRE CONDUIT CROSSINGS UNDER NEW PAVING SHALL BE SLEEVED. SLEEVES SHALL BE PVC SCH 40 PIPE WITH BELLED ENDS AND SHALL BE INSTALLED UNDER PAVING BY THE SLEEVED PIPE OR WIRE CONDUIT (2" MINIMUM) OR SIZED AS SHOWN ON THE PLANS. CONTROL WIRE TO BE SLEEVED SEPARATELY FROM PIPE.

11. IN THE INTEREST OF WATER CONSERVATION, PUBLIC SAFETY OVER-SPRAY AND/OR RUN-OFF IS NOT ACCEPTABLE. THE CONTRACTOR SHALL ADJUST SPRINKLER HEAD SPACING, NOZZLES, RADIUS-OF-THROUGH, ARC OF COVERAGE, OPERATING PRESSURES TO PREVENT OVER-SPRAY BEYOND INTENDED AREAS OF COVERAGE.

12. IN THE INTEREST OF WATER CONSERVATION, PUBLIC SAFETY OVER-SPRAY AND/OR RUN-OFF IS NOT ACCEPTABLE. THE CONTRACTOR SHALL ADJUST SPRINKLER HEAD SPACING, NOZZLES, RADIUS-OF-THROUGH, ARC OF COVERAGE, OPERATING PRESSURES TO PREVENT OVER-SPRAY BEYOND INTENDED AREAS OF COVERAGE.

CONTROLS

1. SYSTEMS OF THIS PROJECT WILL BE CONTROLLED BY A SMART IRRIGATION CONTROLLER CAPABLE OF ETc BASED SCHEDULING. THE CONTRACTOR SHALL CONTACT RAINBIRD FOR SITE SPECIFIC TECHNICAL ASSISTANCE AND FINAL SPECIFICATION OF THE CONTROLLER. CONTRACTOR SHALL EXERCISE STRICT COMPLIANCE WITH THE MANUFACTURERS' INSTRUCTIONS FOR INSTALLATION AND GROUNDINGS.
RAINBIRD - (800) 724-6247

2. TO PREVENT UNNECESSARY IRRIGATION, RAIN SENSING DEVICES ARE USED TO DEFER SCHEDULED IRRIGATION EVENTS UPON MEASUREMENT OF SUBSTANTIAL RAINFALL.

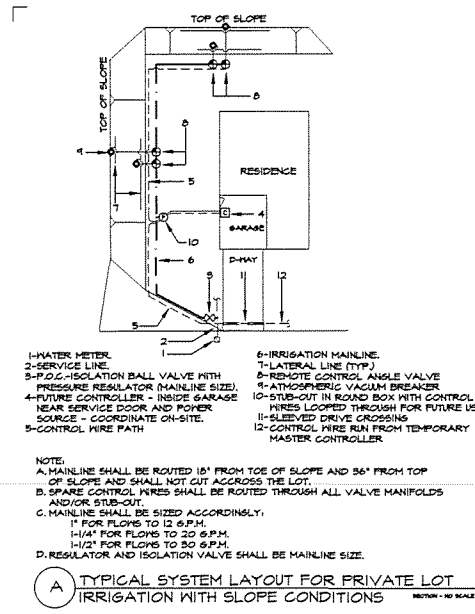
THE CONTROLLER IS AN OUTDOOR HALL MOUNTED UNIT. THIS WORK WILL INCLUDE THE REMOVAL OF EXISTING CONTROLLERS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. THE ELECTRICAL POWER TO THE CONTROLLER AT THE DESIGNATED LOCATION SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.

DRIP IRRIGATION

1. IN THE INTEREST OF WATER CONSERVATION, PUBLIC SAFETY AND THE STRICT CONTROL OF RECYCLED WATER APPLICATION, DRIP IRRIGATION METHODS AND TECHNIQUES ARE EMPLOYED PREDOMINANTLY ON THIS PROJECT. THE CONTRACTOR MUST BE QUALIFIED TO INSTALL DRIP IRRIGATION EQUIPMENT AND MUST ARRANGE AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH BOTH THE LANDSCAPE ARCHITECT AND THE DRIP EQUIPMENT MANUFACTURER (NETAFIM USA) PRIOR TO ANY INSTALLATIONS.

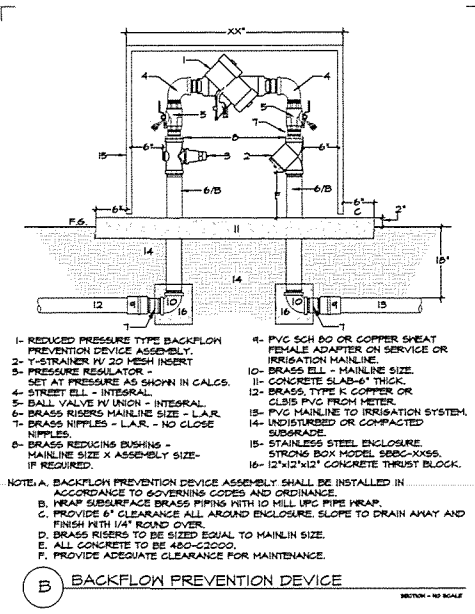
2. THE CONTRACTOR SHALL PRACTICE CAUTION WHEN INSTALLING DRIP IRRIGATION EQUIPMENT. ALL MANUFACTURERS ILLUSTRATIONS, DIRECTIONS, INSTRUCTIONS, RECOMMENDATIONS, WRITTEN LITERATURE AND VIDEO TAPE ILLUSTRATIONS SHALL BE FOLLOWED.

3. PVC SHAVINGS AND BURRS WILL NOT BE TOLERATED IN THE SYSTEM. ALL PVC PIPE SHALL BE CUT WITH THE APPROPRIATE PVC PIPE CUTTERS. USE OF ANY TYPE OF SAW FOR CUTTING PVC PIPE IS NOT ACCEPTABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DE



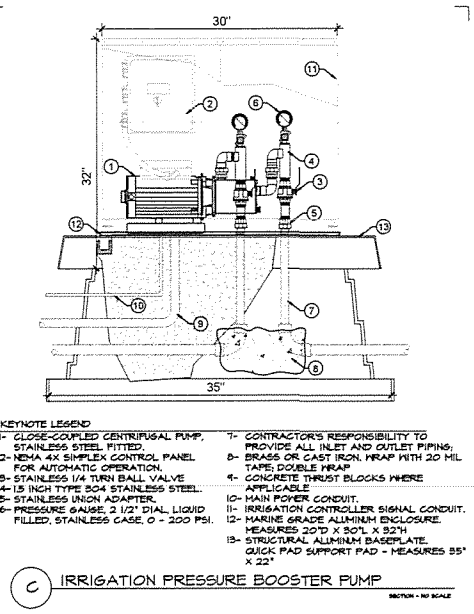
- 1-WATER METER
- 2-SERVICE LINE
- 3-1/2" ISOLATION BALL VALVE WITH PRESSURE REGULATOR (MAINLINE SIZE)
- 4-FUTURE CONTROLLER - INSIDE GARAGE NEAR SERVICE DOOR AND POWER SOURCE - COORDINATE ON-SITE
- 5-CONTROL WIRE PATH
- 6-IRRIGATION MAINLINE
- 7-LATERAL LINE (TYP.)
- 8-REMOTE CONTROL ANGLE VALVE
- 9-ATMOSPHERIC VACUUM BREAKER
- 10-5/8" STUB-OUT IN ROUND BOX WITH CONTROL WIRES LOOPED THROUGH FOR FUTURE USE
- 11-SLEEVED DRIVE CROSSING
- 12-CONTROL WIRE RUN FROM TEMPORARY MASTER CONTROLLER

A TYPICAL SYSTEM LAYOUT FOR PRIVATE LOT IRRIGATION WITH SLOPE CONDITIONS SECTION - NO SCALE



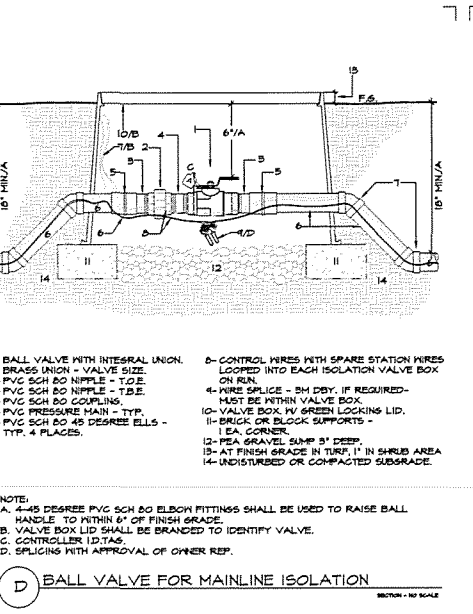
- 1- REDUCED PRESSURE TYPE BACKFLOW PREVENTION DEVICE ASSEMBLY
- 2- STRAINER 1/2" 20 MESH INSERT
- 3- PRESSURE REGULATOR - SET AT PRESSURE AS SHOWN IN CALCS.
- 4- STREET ELL - INTEGRAL
- 5- BALL VALVE 1/2" UNION - INTEGRAL
- 6- BRASS RISERS MAINLINE SIZE - L.A.R.
- 7- BRASS NIPPLES - L.A.R. - NO CLOSE NIPPLES
- 8- BRASS REDUCING BUSHING
- 9- MAINLINE SIZE X ASSEMBLY SIZE - IF REQUIRED
- 10- PVC SCH 80 OR COPPER SHEAT FEMALE ADAPTER ON SERVICE OR REGULATOR MAINLINE
- 11- BRASS ELL - MAINLINE SIZE
- 12- CONCRETE SLAB-6" THICK
- 13- BRASS TYPE F COPPER OR CLBS PVC FROM METER
- 14- UNDISTURBED OR COMPACTED SUBGRADE
- 15- STAINLESS STEEL ENCLOSURE STRONG BOX MODEL 586C-KXSS
- 16- 12"x12"x12" CONCRETE THRUST BLOCK, IF REQUIRED

B BACKFLOW PREVENTION DEVICE SECTION - NO SCALE



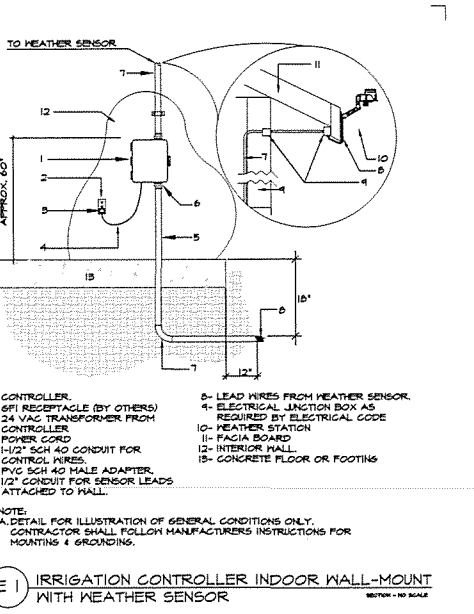
- KEYNOTE LEGEND**
- 1- CLOSE-COUPLED CENTRIFUGAL PUMP, STAINLESS STEEL, FITTED
 - 2- NEMA 4X SIMPLEX CONTROL PANEL FOR AUTOMATIC OPERATION
 - 3- STAINLESS 1/4" TURN BALL VALVE
 - 4- 1/2" INCH TYPE 304 STAINLESS STEEL
 - 5- STAINLESS UNION ADAPTER
 - 6- PRESSURE GAUGE 2 1/2" DIAL, LIQUID FILLED, STAINLESS CASE, 0 - 200 PSI
 - 7- CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL INLET AND OUTLET PIPING, BRASS OR CAST IRON, WRAP WITH 20 MIL TAPE, DOUBLE WRAP CONCRETE THRUST BLOCKS WHERE APPLICABLE
 - 8- MAIN POWER CONDUIT
 - 9- IRRIGATION CONTROLLER SIGNAL CONDUIT
 - 10- MARINE GRADE ALUMINUM ENCLOSURE, MEASURES 20"D X 30"L X 32"H
 - 11- STRUCTURAL ALUMINUM BASEPLATE, QUICK PAD SUPPORT PAD - MEASURES 35" X 22"

C IRRIGATION PRESSURE BOOSTER PUMP SECTION - NO SCALE



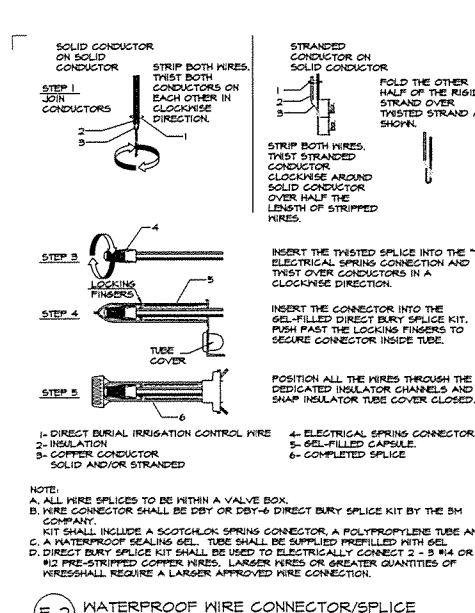
- 1- BALL VALVE WITH INTEGRAL UNION
- 2- BRASS UNION - VALVE SIZE
- 3- PVC SCH 80 NIPPLE - T.O.E.
- 4- PVC SCH 80 NIPPLE - T.B.E.
- 5- PVC SCH 80 COUPLING
- 6- PVC PRESSURE MAIN - TYP.
- 7- PVC SCH 80 45 DEGREE ELLS - TYP. 4 PLACES
- 8- CONTROL WIRES WITH SPARE STATION WIRES LOOPED INTO EACH ISOLATION VALVE BOX ON RUN
- 9- WIRE SPLICE - 5M DRY, IF REQUIRED - MUST BE WITHIN VALVE BOX
- 10- VALVE BOX 1/4" GREEN LOCKING LID, 1" BRICK OR CONCRETE SUPPORTS - 1 EA. CORNER
- 11- PEA GRAVEL, SUMP 3" DEEP
- 12- AT FINISH GRADE IN TURF, 1" IN SHRUB AREA
- 13- UNDISTURBED OR COMPACTED SUBGRADE

D BALL VALVE FOR MAINLINE ISOLATION SECTION - NO SCALE



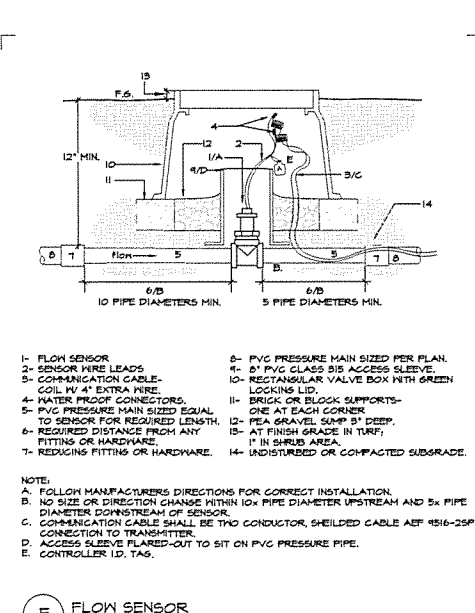
- 1- CONTROLLER
- 2- 6/11 RECEPTACLE (BY OTHERS)
- 3- 24 VAC TRANSFORMER FROM CONTROLLER
- 4- POWER CORD
- 5- 1/2" SCH 40 CONDUIT FOR CONTROL WIRES
- 6- 1/2" SCH 40 MALE ADAPTER
- 7- 1/2" CONDUIT FOR SENSOR LEADS ATTACHED TO WALL
- 8- LEAD WIRES FROM WEATHER SENSOR
- 9- ELECTRICAL JUNCTION BOX AS REQUIRED BY ELECTRICAL CODE
- 10- WEATHER STATION
- 11- FACIA BOARD
- 12- INTERIOR WALL
- 13- CONCRETE FLOOR OR FOOTING

E IRRIGATION CONTROLLER INDOOR WALL-MOUNT WITH WEATHER SENSOR SECTION - NO SCALE



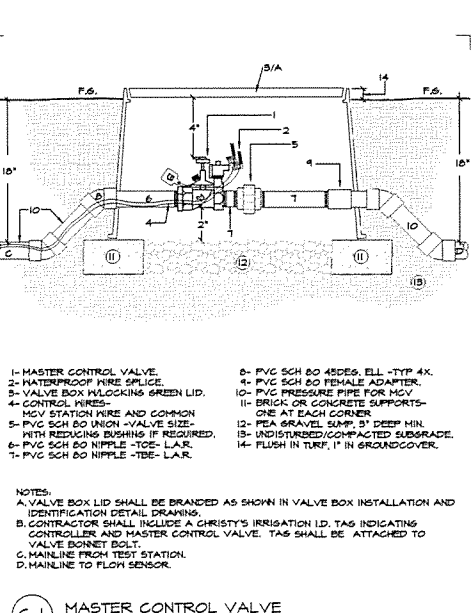
- 1- DIRECT BURIAL IRRIGATION CONTROL WIRE
- 2- INSULATION
- 3- COPPER CONDUCTOR SOLID AND/OR STRANDED
- 4- ELECTRICAL SPRING CONNECTOR
- 5- GEL-FILLED CAPSULE
- 6- COMPLETED SPLICE

E2 WATERPROOF WIRE CONNECTOR/SPLICE SECTION - NO SCALE



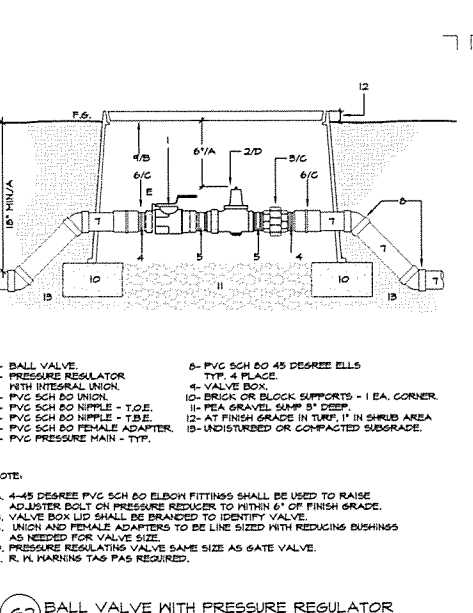
- 1- FLOW SENSOR
- 2- SENSOR WIRE LEADS
- 3- COMMUNICATION CABLE, COIL 1/4" EXTRA WIRE
- 4- WATER PROOF CONNECTORS
- 5- PVC PRESSURE MAIN SIZED EQUAL TO SENSOR FOR REQUIRED LENGTH
- 6- REQUIRED DISTANCE FROM ANY FITTING OR HARDWARE
- 7- REDUCING FITTING OR HARDWARE
- 8- PVC PRESSURE MAIN SIZED PER PLAN
- 9- 8" PVC CLASS B15 ACCESS SLEEVE
- 10- RECTANGULAR VALVE BOX WITH GREEN LOCKING LID
- 11- BRICK OR CONCRETE SUPPORTS - ONE AT EACH CORNER
- 12- PEA GRAVEL, SUMP 3" DEEP
- 13- AT FINISH GRADE IN TURF, 1" IN SHRUB AREA
- 14- UNDISTURBED OR COMPACTED SUBGRADE

F FLOW SENSOR SECTION - NO SCALE



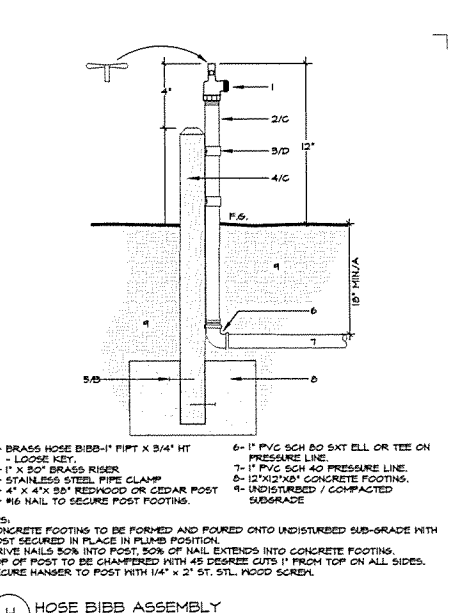
- 1- MASTER CONTROL VALVE
- 2- WATERPROOF WIRE SPLICE
- 3- VALVE BOX 1/4" GREEN LOCKING LID
- 4- CONTROL WIRES
- 5- 5/8" STATION WIRE AND COMMON WITH REDUCING BUSHING IF REQUIRED
- 6- PVC SCH 80 NIPPLE - T.B.E. - L.A.R.
- 7- PVC SCH 80 NIPPLE - T.B.E. - L.A.R.
- 8- PVC SCH 80 45 DEGREE ELL - TYP. 4X
- 9- PVC SCH 80 FEMALE ADAPTER
- 10- PVC PRESSURE PIPE FOR M.O.V.
- 11- BRICK OR CONCRETE SUPPORTS - ONE AT EACH CORNER
- 12- PEA GRAVEL, SUMP 3" DEEP MIN.
- 13- UNDISTURBED/COMPACTED SUBGRADE
- 14- FLUSH IN TURF, 1" IN GROUND COVER

G MASTER CONTROL VALVE SECTION - NO SCALE



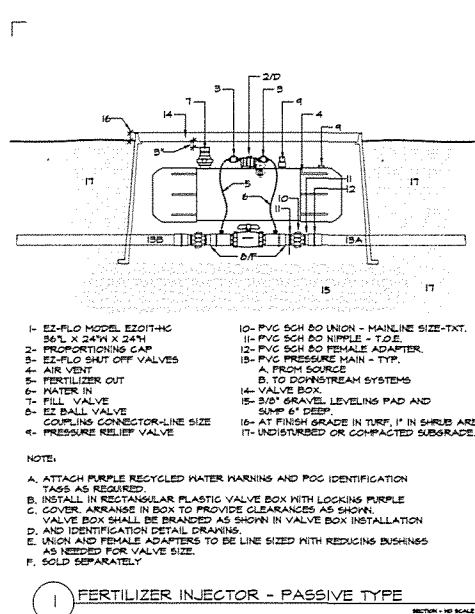
- 1- BALL VALVE
- 2- PRESSURE REGULATOR WITH INTEGRAL UNION
- 3- PVC SCH 80 UNION
- 4- PVC SCH 80 NIPPLE - T.O.E.
- 5- PVC SCH 80 NIPPLE - T.B.E.
- 6- PVC SCH 80 FEMALE ADAPTER
- 7- PVC PRESSURE MAIN - TYP.
- 8- PVC SCH 80 45 DEGREE ELLS TYP. 4 PLACES
- 9- VALVE BOX
- 10- BRICK OR CONCRETE SUPPORTS - 1 EA. CORNER
- 11- PEA GRAVEL SUMP 3" DEEP
- 12- AT FINISH GRADE IN TURF, 1" IN SHRUB AREA
- 13- UNDISTURBED OR COMPACTED SUBGRADE

G2 BALL VALVE WITH PRESSURE REGULATOR SECTION - NO SCALE



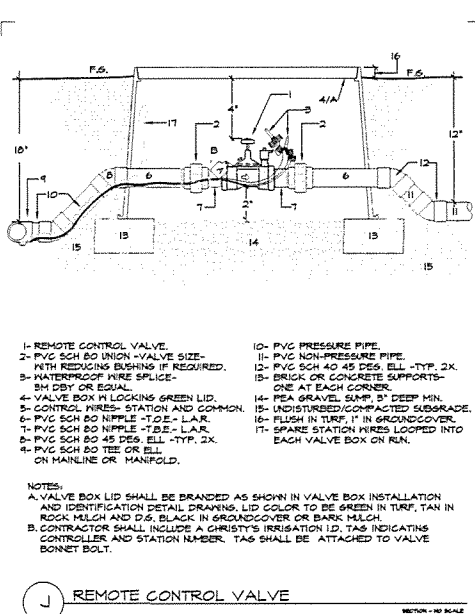
- 1- BRASS HOSE BIBB-1" FITT X 3/4" HT
- 2- 1" X 3/4" BRASS RISER
- 3- STAINLESS STEEL PIPE CLAMP
- 4- 4" X 8" REDWOOD OR CEDAR POST
- 5- #6 NAIL TO SECURE POST FOOTING
- 6- 1" PVC SCH 80 5KT ELL OR TEE ON PRESSURE LINE
- 7- 1" PVC SCH 40 PRESSURE LINE
- 8- 12"x12"x12" CONCRETE FOOTING
- 9- UNDISTURBED / COMPACTED SUBGRADE

H HOSE BIBB ASSEMBLY SECTION - NO SCALE



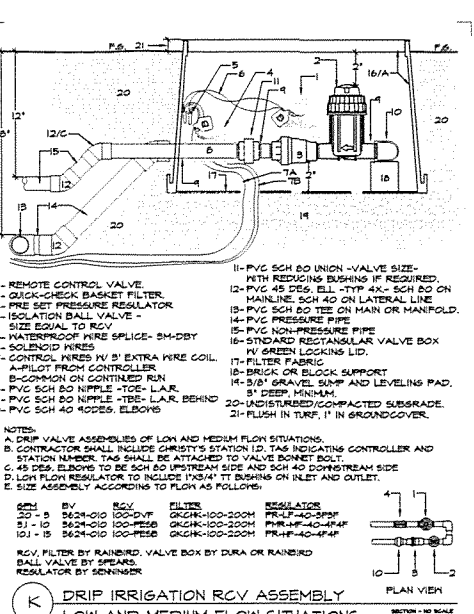
- 1- EZ-FLO MODEL EZDIT-1HC 36"L X 24"W X 24"H
- 2- PROTECTING CAP
- 3- EZ-FLO SHUT OFF VALVES
- 4- AIR VENT
- 5- FERTILIZER OUT
- 6- WATER IN
- 7- FILL VALVE
- 8- EZ BALL VALVE COUPLING CONNECTOR-LINE SIZE
- 9- PRESSURE RELIEF VALVE
- 10- PVC SCH 80 UNION - MAINLINE SIZE-TXT.
- 11- PVC SCH 80 NIPPLE - T.O.E.
- 12- PVC SCH 80 FEMALE ADAPTER
- 13- PVC PRESSURE MAIN - TYP.
- 14- AIR VENT
- 15- 3/8" GRAVEL LEVELING PAD AND SUMP 6" DEEP
- 16- AT FINISH GRADE IN TURF, 1" IN SHRUB AREA
- 17- UNDISTURBED OR COMPACTED SUBGRADE

I FERTILIZER INJECTOR - PASSIVE TYPE SECTION - NO SCALE



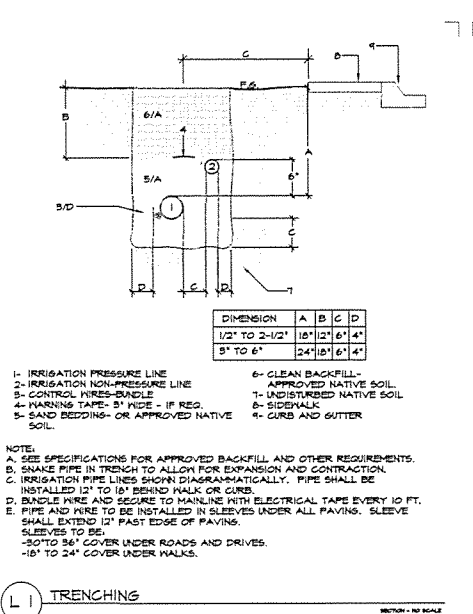
- 1- REMOTE CONTROL VALVE
- 2- PVC SCH 80 UNION - VALVE SIZE - WITH REDUCING BUSHING IF REQUIRED
- 3- WATERPROOF WIRE SPLICE - 5M DRY OR EQUAL
- 4- VALVE BOX 1/4" GREEN LOCKING LID
- 5- CONTROL WIRE STATION AND COMMON
- 6- PVC SCH 80 NIPPLE - T.O.E. - L.A.R.
- 7- PVC SCH 80 NIPPLE - T.B.E. - L.A.R.
- 8- PVC SCH 80 45 DEGREE ELL - TYP. 2X
- 9- PVC SCH 80 TEE OR ELL ON MAINLINE OR MANIFOLD
- 10- PVC NON-PRESSURE PIPE
- 11- PVC SCH 40 45 DEGREE ELL - TYP. 2X
- 12- BRICK OR CONCRETE SUPPORTS - ONE AT EACH CORNER
- 13- PEA GRAVEL, SUMP 3" DEEP MIN.
- 14- UNDISTURBED/COMPACTED SUBGRADE
- 15- FLUSH IN TURF, 1" IN GROUND COVER
- 16- SPARE STATION WIRES LOOPED INTO EACH VALVE BOX OR RUN

J REMOTE CONTROL VALVE SECTION - NO SCALE



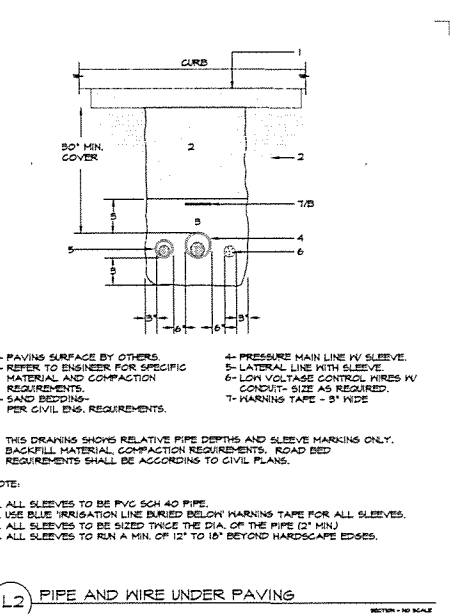
- 1- REMOTE CONTROL VALVE
- 2- QUICK-CHECK BASKET FILTER
- 3- 1/2" SET PRESSURE REGULATOR
- 4- ISOLATION BALL VALVE - SIZE EQUAL TO REG.
- 5- WATERPROOF WIRE SPLICE - 5M-DRY
- 6- SOLENOID WIRES
- 7- CONTROL WIRE 1/4" EXTRA WIRE COIL
- 8- 1/4" FITT FROM CONTROLLER
- 9- COMMON ON CONTINUED RUN
- 10- PVC SCH 80 NIPPLE - T.O.E. - L.A.R.
- 11- PVC SCH 80 NIPPLE - T.B.E. - L.A.R. BEHIND
- 12- PVC SCH 40 45 DEGREE ELBOWS
- 13- PVC SCH 80 UNION - VALVE SIZE - WITH REDUCING BUSHING IF REQUIRED
- 14- PVC 45 DEGREE ELL - TYP. 4X - SCH 80 ON MAINLINE, SCH 40 TEE ON MAIN OR MANIFOLD
- 15- PVC NON-PRESSURE PIPE
- 16- STANDARD RECTANGULAR VALVE BOX 1/4" GREEN LOCKING LID
- 17- FILTER FABRIC
- 18- BRICK OR CONCRETE SUPPORT
- 19- 5/8" GRAVEL SUMP AND LEVELING PAD, 3" DEEP MIN.
- 20- UNDISTURBED/COMPACTED SUBGRADE
- 21- FLUSH IN TURF, 1" IN GROUND COVER

K DRIP IRRIGATION RCV ASSEMBLY LOW AND MEDIUM FLOW SITUATIONS SECTION - NO SCALE



- 1- IRRIGATION PRESSURE LINE
- 2- IRRIGATION NON-PRESSURE LINE
- 3- CONTROL WIRE-BUNDLE
- 4- MARKING TAPE - 3" WIDE - IF REG.
- 5- SAND BEDDING - OR APPROVED NATIVE SOIL
- 6- CLEAR BACKFILL - APPROVED NATIVE SOIL
- 7- UNDISTURBED NATIVE SOIL
- 8- SIDEWALK
- 9- CURB AND GUTTER

L1 TRENCHING SECTION - NO SCALE



- 1- PAVING SURFACE BY OTHERS
- 2- REFER TO ENGINEER FOR SPECIFIC MATERIAL AND COMPACTION REQUIREMENTS
- 3- SAND BEDDING - PER CIVIL ENGR. REQUIREMENTS
- 4- PRESSURE MAIN LINE 1/4" SLEEVE
- 5- LATERAL LINE WITH SLEEVE
- 6- LOW VOLTAGE CONTROL WIRES 1/4" SLEEVE - SIZE AS REQUIRED
- 7- MARKING TAPE - 3" WIDE

L2 PIPE AND WIRE UNDER PAVING SECTION - NO SCALE

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014

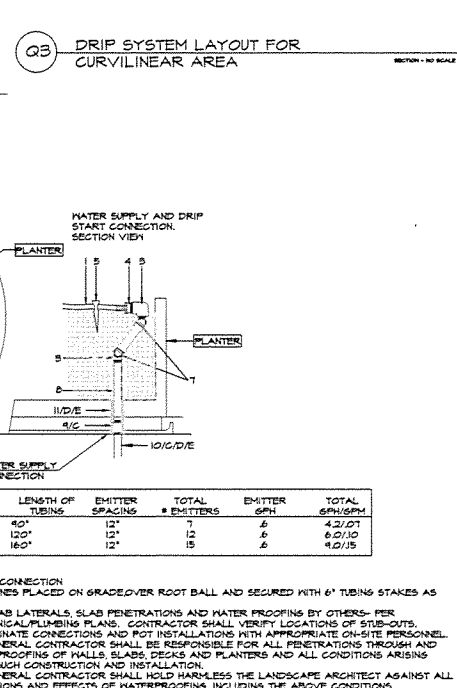
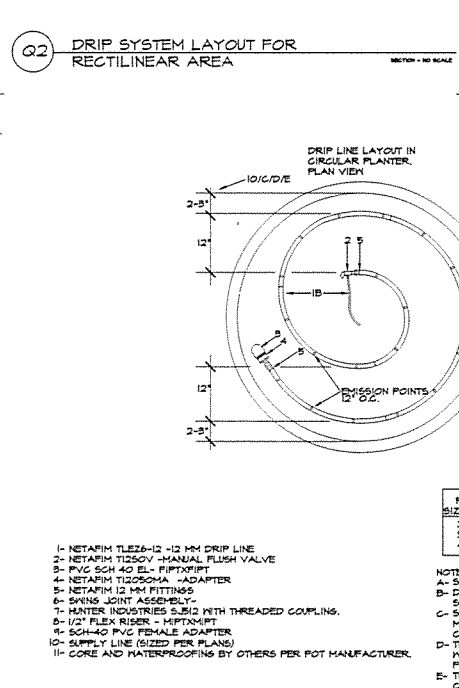
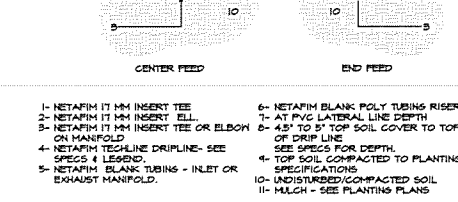
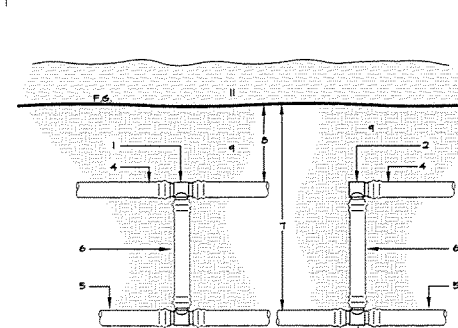
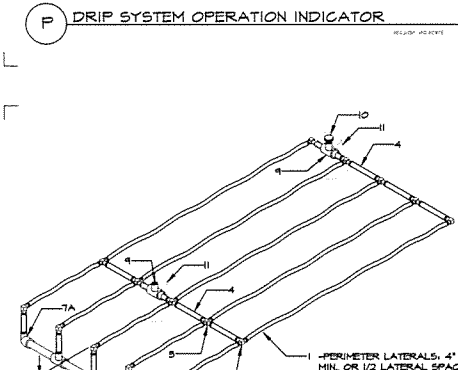
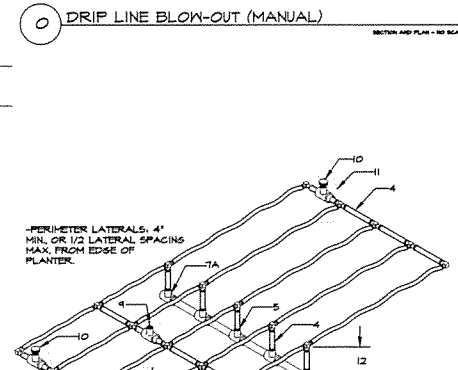
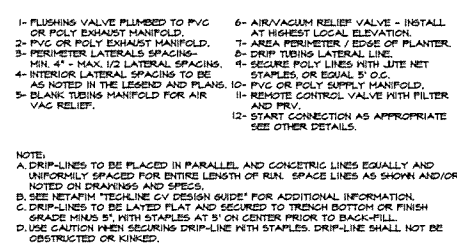
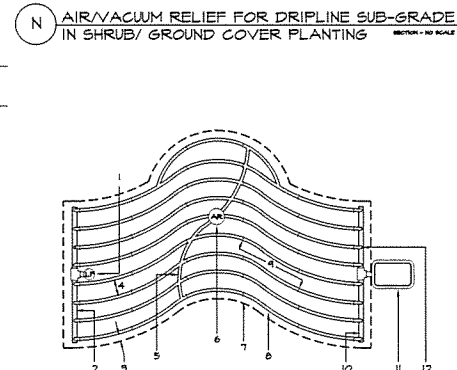
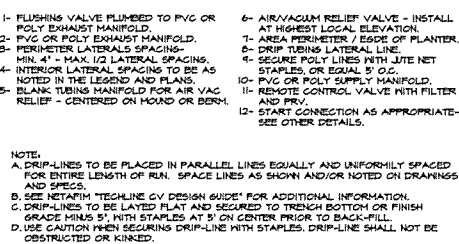
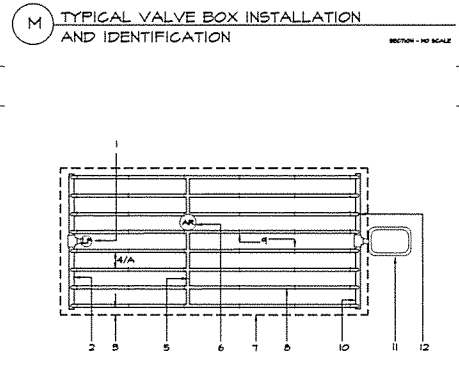
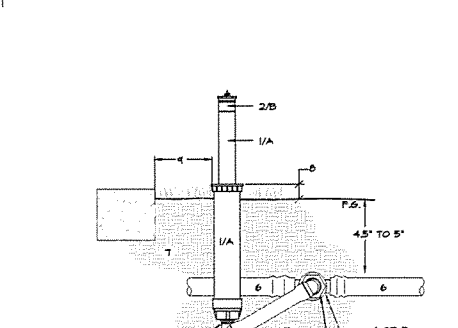
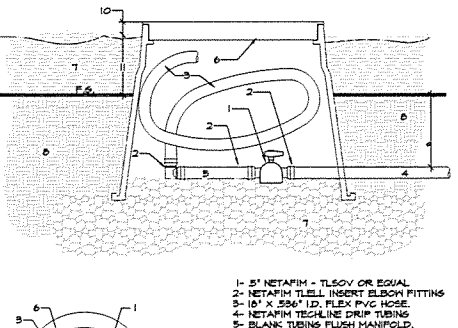
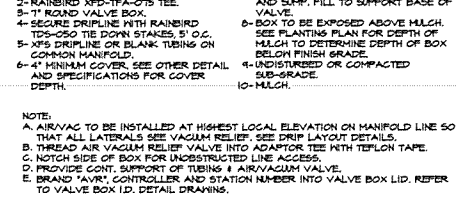
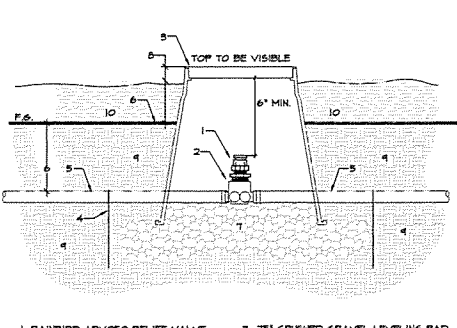
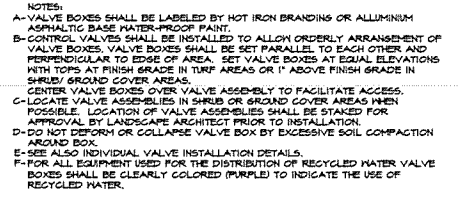
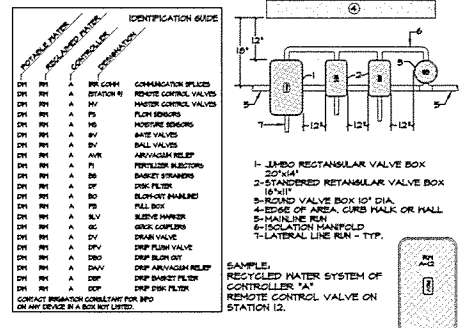


HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-356-8582

REV	DATE	DESCRIPTION
01	01/18/2024	CITY RE-SUBMITTAL
02	01/08/2024	CITY RE-SUBMITTAL
03	08/11/2021	CITY RE-SUBMITTAL
04	05/03/2022	CITY RE-SUBMITTAL
05	04/03/2022	CITY RE-SUBMITTAL
06	03/01/2022	CITY RE-SUBMITTAL
07	02/02/2021	CITY RE-SUBMITTAL

NO DATE ISSUE NOTE
AS SHOWN

IRRIGATION DETAILS



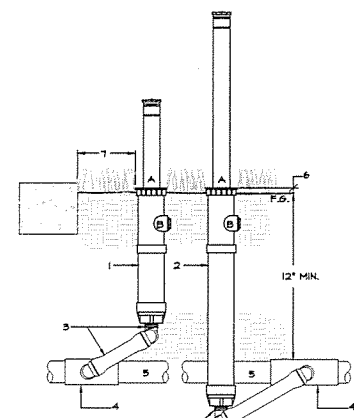
NOVAK RESIDENCE
 1005 HIGHLAND DRIVE
 DEL MAR, CA 92014



HATCHWORKS
 3745 Todd Ln
 San Diego, CA 92106
 619-356-8582

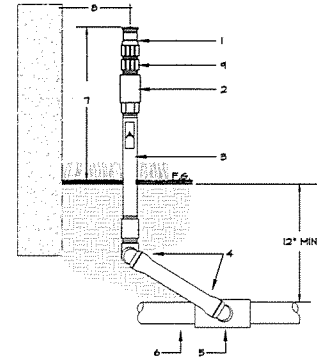
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7	01/08/2024	CITY RE-SUBMITTAL
6	08/11/2023	CITY RE-SUBMITTAL
5	05/03/2022	CITY RE-SUBMITTAL
4	04/03/2022	CITY RE-SUBMITTAL
3	03/07/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

IRRIGATION DETAILS
 21 - 27
L2.4



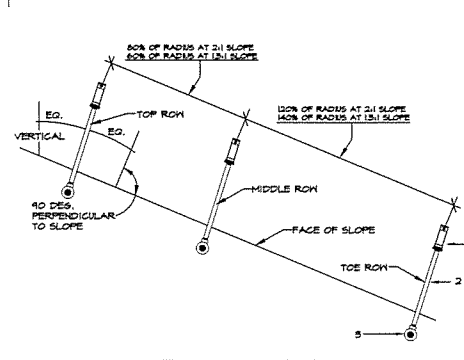
- 1- 6" POP-UP SPRAY HEAD
 - 2- 12" POP-UP SPRAY HEAD
 - 3- MANUFACTURED SPRING JOINT- HUNTER SPRING JOINT MODEL #S-J-312 OR RAINBIRD MODEL # SA-125050.
 - 4- PVC SCH 40 TEE-65T OR EL-5T.
 - 5- PVC NON-PRESSURE LATERAL.
- NOTE:
A. RECYCLED WATER WARNING CAP.
B. DO NOT USE SIDE INLET.

S1 POP-UP SPRAY HEAD PLAN - NO SCALE



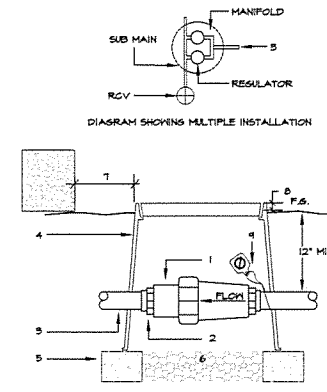
- 1- SPRAY OR BUBBLER HEAD PV ADAPTER. (HUNTER IND HCV FIPT X NEPT OR EQUAL)
 - 2- ANTI - DRAIN CHECK VALVE
 - 3- PVC SCH 80 RISER (1.5 IN)
 - 4- MANUFACTURED SPRING JOINT- HUNTER SPRING JOINT MODEL #S-J-312 OR RAINBIRD MODEL # SA-125050. WITH PVC SCH 40 COUPLING FIPT X FIPT.
 - 5- PVC SCH 40 TEE (65T) OR EL (5T)
 - 6- PVC NON-PRESSURE LATERAL
 - 7- 10" SPRAY HEAD-6" BUBBLER HEAD
- NOTE:
A. R.W. WARNING LABEL IF REQUIRED.

S2 SPRAY OR ROTATOR HEAD ON RISER PLAN - NO SCALE



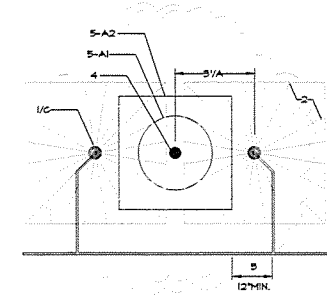
- 1- SPRINKLER HEAD AND CHECK VALVE.
 - 2- PVC SCH 80 RISER.
 - 3- PVC LATERAL.
- NOTE:
A. ANGLE OF HEAD AND RISER ASSEMBLY TO BE BETWEEN VERTICAL AND PERPENDICULAR TO SLOPE. THIS IS A GENERAL RULE AND ADJUSTMENTS MAY BE NECESSARY IN THE FIELD DEPENDING ON ANGLE OF SLOPE AND PERFORMANCE OF SPRINKLER. THE INTENTION IS TO MAXIMIZE UNIFORMITY OF COVERAGE.
B. RELATIVE LATERAL SPACINGS ON SLOPE WITH THE MIDDLE ROW OR ROWS CLOSER TO THE TOP OF SLOPE THAN THE TOE. THIS APPLIES TO ALL MIDDLE ROW LATERALS, BUT AS A UNIT, THE SPACINGS BETWEEN ALL MIDDLE ROW LATERALS IS TO BE UNIFORM AND ALL ARE TO BE ADJUSTED UP THE SLOPE EQUALLY.

S3 HEAD ANGLE AND PLACEMENT FOR SLOPE CONDITION SECTION - NO SCALE



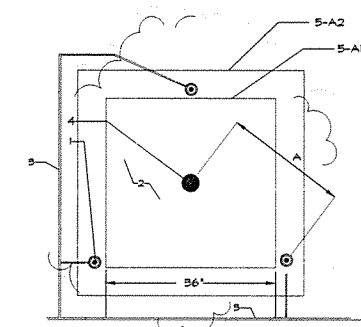
- 1- REGULATOR OR CHECK VALVE.
 - 2- PVC SCH 40 MALE ADAPTER.
 - 3- PVC LATERAL.
 - 4- 6" ROUND VALVE BOX.
 - 5- BRICK SUPPORTS - TWO.
 - 6- PEA GRAVEL SUMP 3" DEEP.
- NOTE:
7- 12" FROM WALL OR PAVING.
8- FLUSH IN TURF, 1" IN GROUND COVER.

T IN-LINE CHECK VALVE OR REGULATOR ON LATERAL SECTION - NO SCALE



- 1- 12" POP-UP OR HEAD ON RISER WITH RAINBIRD 50-SERIES SQUARE PATTERN NOZZLE.
 - 2- STREAM OF SPECIFIED 50-SERIES NOZZLE AT 2.5' RADIUS FOR A 24" AND 36" BOX TREE, 4' RADIUS FOR A 48" BOX TREE AND LARGER.
 - 3- LATERAL LINES, ROUTED TO SUFFICIENTLY AVOID TREE ROOT BALL.
 - 4- TREE TRUNK.
 - 5- ROOTBALL.
- NOTE:
A- DISTANCE FROM TREE TRUNK APPROXIMATELY 2' TO 3' WITH INTENTION TO PLACE HEADS OUTSIDE OF THE ROOT BALL. THIS ILLUSTRATION ASSUMES A 2.5' RADIUS OF THROW WHEN TREE IS NEWLY PLANTED AND 4' WHEN MATURE.
1- IS 6 GALLON ROOTBALL.
2- 24" BOX ROOTBALL.
B- AVOID SPRAYING DIRECTLY ONTO TREE TRUNK WHENEVER POSSIBLE.
C- HEADS TO BE LOCATED AND INSTALLED WITHOUT DISTURBING THE ROOT BALL.

U1 SQUARE PATTERN SPRAY HEAD LAYOUT FOR TREES IN LARGE PLANTER AREAS PLAN - NO SCALE



- 1- 12" POP-UP OR HEAD ON RISER WITH RAINBIRD 50-SERIES SQUARE PATTERN NOZZLE.
 - 2- STREAM OF SPECIFIED 50-SERIES SQUARE PATTERN NOZZLE AT 2.5' THROW FOR A 36" BOX TREE AND 4' FOR A 48" BOX TREE.
 - 3- LATERAL LINES, ROUTED TO AVOID TREE ROOT BALL.
 - 4- TREE TRUNK.
 - 5- ROOTBALL.
- NOTE:
A- DISTANCE FROM TREE TRUNK APPROXIMATELY 2' TO 3' WITH INTENTION TO PLACE THREE SPRAY HEADS FROM THE EDGE OF THE ROOT BALL. THIS ILLUSTRATION ASSUMES A 2.5' RADIUS OF THROW WHEN NEWLY PLANTED AND 4' WHEN MATURE.
1- 36" BOX ROOT BALL.
2- 48" BOX ROOT BALL.
B- AVOID SPRAYING DIRECTLY ONTO TREE TRUNK WHENEVER POSSIBLE.
C- HEADS TO BE LOCATED AND INSTALLED WITHOUT DISTURBING THE ROOT BALL.

U2 SQUARE PATTERN SPRAY HEAD LAYOUT FOR LARGE ESTABLISHED TREES PLAN - NO SCALE

NOVAK RESIDENCE
1005 HIGHLAND DRIVE
DEL MAR, CA 92014

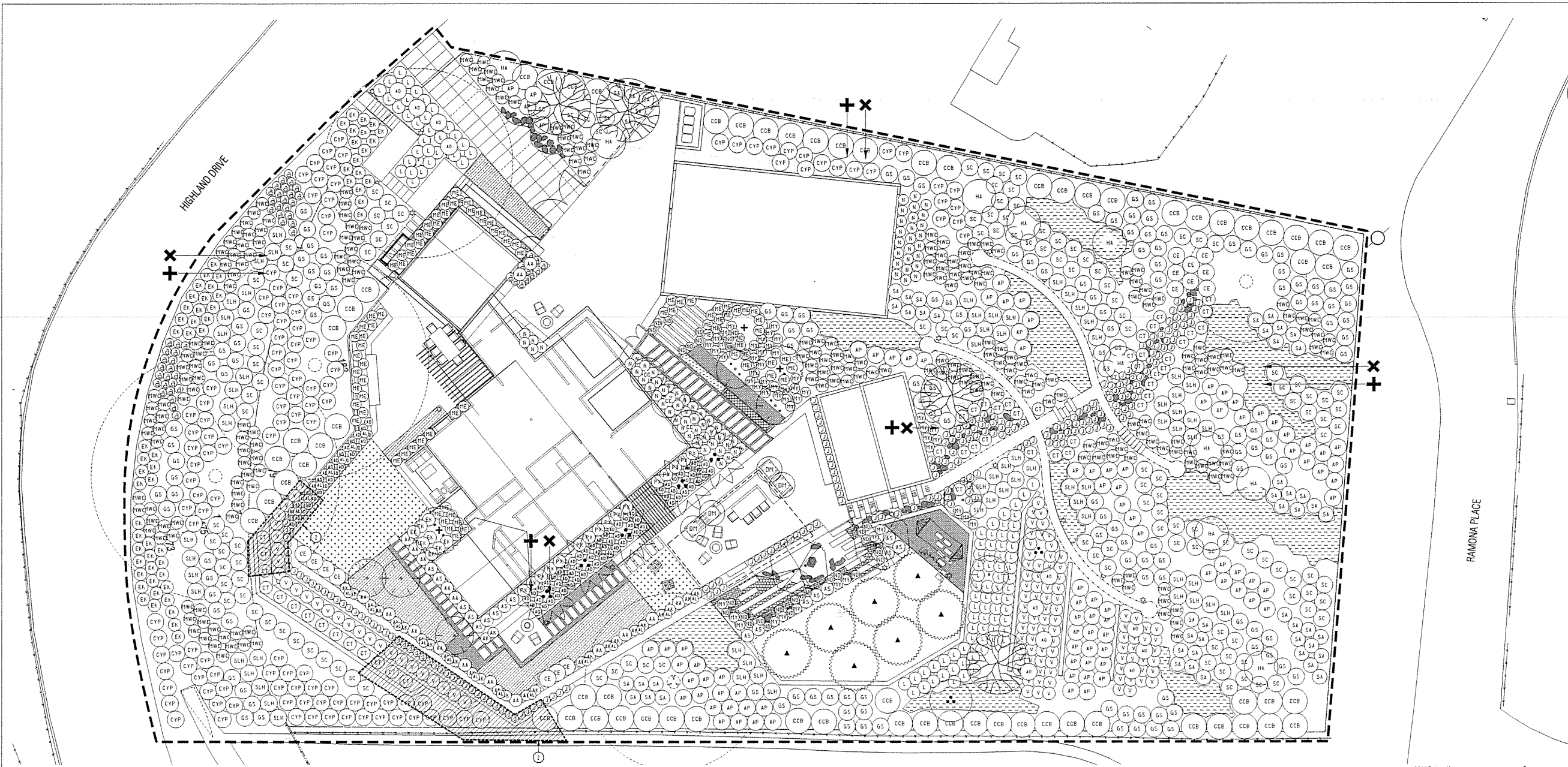


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REV	DATE	DESCRIPTION
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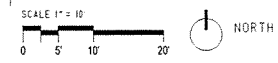
NO	DATE	ISSUE NOTE
1	01/18/2024	AS SHOWN

IRRIGATION DETAILS



NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME
PROPOSED TREES:											
	ACER PALMATUM 'GLOWING EMBERS'	GLOWING EMBERS MAPLE		ABUTILON STRIATUM	RED VEIN INDIAN MALLOW		MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE		EDIBLES:	
	CYATHEA COOPERI	AUSTRALIAN TREE FERN		AGAVE ATTENUATA 'BOUTIN BLUE'	BLUE FOXTAIL AGAVE		NANDINA DOMESTICA ALBA 'LEMON LIME'	LEMON LIME NANDINA		SHADE HERBS, MIXED IN RECTANGULAR PLANTERS	1 GAL
	DURANTA REPENS 'GOLDEN DEWDROP'	GOLDEN DEWDROP		AGAVE OVATIFOLIA 'FROSTY BLUE'	WHALE'S TONGUE AGAVE		NEPHROLEPIS CORDIFOLIA	SWORD FERN		CORIANDRUM SATIVUM	CILANTRO
	HETEROMELES ARBUTIFOLIA	TOYON		ALLIUM 'GLOBEMASTER'	GLOBEMASTER ALLIUM		OPHIODOGON JAPONICUS 'NANUS'	DWARF MONDO GRASS		LEMON BALM	MELISSA OFFICINALIS
	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA		ABUTILON PALMERI	PALMER'S MALLOW		PHILODENDRON KANADU	WINTERBOURN PHILODENDRON		ALYSSUM SCHEUCHZERIUM	CHIVES
	TRISTANDOPSIS LAURINA	WATER GUM		ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN		SALVIA CLEVELANDII	CLEVELAND SAGE		ALYSSUM CITRARDORA	LEMON VERBENA
	PLUMERIA OBTUSA	SINGAPORE PLUMERIA		ACHILLEA MILLEFOLIUM	COMMON YARROW		SALVIA APINA	WHITE SAGE		ANETHUM GRAVEOLENS	DILL
	CERCIS OCCIDENTALIS	WESTERN REDBUD		CAREX PANSA	CALIFORNIA MEADOW SEDGE		SPHAERALCEA AMBIGUA 'LOUIS HAMILTON'	LOUIS HAMILTON DESERT MALLOW		PETROSELINUM CRISPUM	PARSLEY
	SCHEFFLERA ACTINOPHYLLA	UMBRELLA TREE		CEANOETHUS 'CELESTIAL BLUE'	CELESTIAL BLUE CALIFORNIA LILAC		TRADESCANTIA SPATHEA 'TRICOLOR'	VARIEGATED MOSES IN THE BOAT		LAURUS NOBILIS	BAY LAUREL
	FRUIT TREES, VARIETY PER OWNER	SUCH AS LEMON, LIME, ORANGE, MANDARIN, PEACH, PEAR		CEANOETHUS G. H. 'YANKEE POINT'	YANKEE POINT CALIFORNIA LILAC		VERBENA LILACINA 'DE LA MINA'	CEDEROS ISLAND VERBENA		MENTHA PIPERITA	MINT
				CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH		SEASHORE PASPALUM SOD	PLATINUM TE PASPALUM		ARTEMISIA DRACUNCULUS	TARRAGON
				CHONDROPETALUM TECTORUM	SMALL CAPE RUSH					SUN HERBS, FRUITS AND VEGETABLES, MIXED IN RECTANGULAR PLANTERS	1 GAL
				DRACAENA MARGINATA	DRAGON TREE					ANY OF THE SHADE HERBS	
				ERIGERON KARWINSKIANUS	SANTA BARBARA DAISY					OCIMUM BASILICUM 'GENOVESE'	SWEET BASIL
				GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND SNAPDRAGON					ORIGANUM VULGARE	OREGANO
				IVA HAVASIANA	SAN DIEGO POVERTY WEED					THYMUS VULGARIS	COMMON THYME
				JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH					ROSMARINUS OFFICINALIS	ROSEMARY
				LIPIDO MUSCARI	LILY TURF					TOMATOES, PEPPERS, STRAWBERRIES, CARROTS, RADISHES, KALE, LETTUCE, SWISS CHARD, BEETS, SPINACH, ZUCCHINI, CUCUMBER	
				LOMANDRA LONGIFOLIA 'BREEZE'	DWARF HAT RUSH						
				MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA						
				MUHLENBERGIA 'WHITE CLOUD'	WHITE AWN MUHLY						



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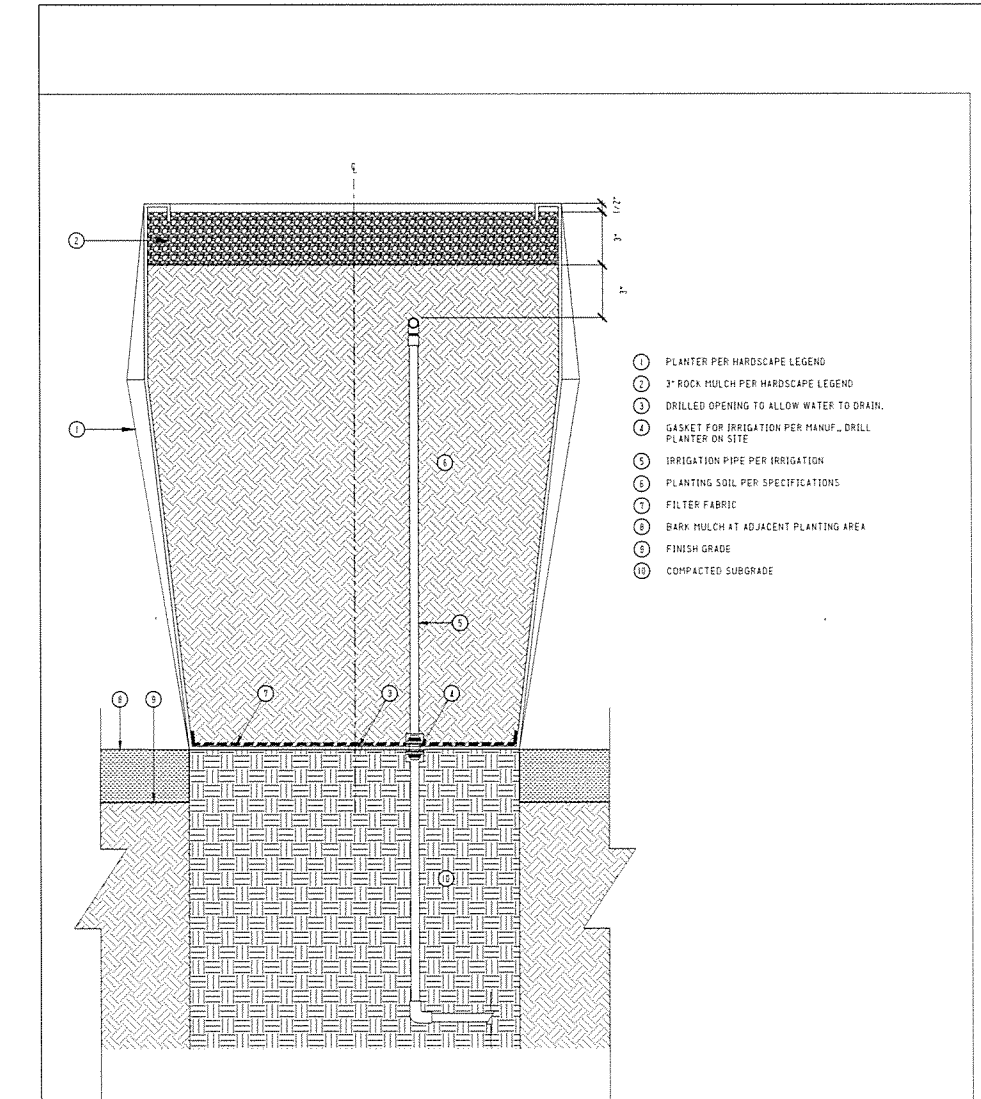
PLANTING PLAN

L3.1

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAIN. SIZE PLANTS	ON CENTER SPACING	MATURE SIZE H X W	SPACING FROM HARDSCAPE	QTY.	WUCOLS	SUN / SHADE REQUIREMENTS	TYPE
PROPOSED TREES:										
	ACER PALMATUM 'GLOWING EMBERS'	GLOWING EMBERS MAPLE	24" BOX	4.5 SHOWN	25-30' X 25-30'	4.5 SHOWN	2	MED	FULL SUN	
	CYATHEA COOPERI	AUSTRALIAN TREE FERN	15 GAL	8"	15X20' X 10-12'	4.5 SHOWN	3	MED	PART SUN	FERN
	DURANTA REPENS 'GOLDEN DEWDROP'	GOLDEN DEWDROP	24" BOX	4.5 SHOWN	10-15' X 6-10'	4.5 SHOWN	7	MED	FULL TO PART SHADE	
	HETEROMELES ARBUTIFOLIA	TOYON	60" BOX	4.5 SHOWN	8-10' X 8-8'	4.5 SHOWN	10	VERY LOW	SUN / SHADE	
	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	36" BOX	4.5 SHOWN	10-15' X 10-12'	4.5 SHOWN	3	MED	FULL SUN	
	TRISTANOPSIS LAURINA	WATER GUM	24" BOX	4.5 SHOWN	15-20' X 10-20'	4.5 SHOWN	4	MED	FULL SUN	
	PLUMERIA OBTUSA	SINGAPORE PLUMERIA	24" BOX	4.5 SHOWN	10-25' X 10-25'	4.5 SHOWN	5	LOW	FULL SUN	
	CERCIS OCCIDENTALIS	WESTERN REDBUOD	36" BOX	4.5 SHOWN	10-15' X 10-15'	4.5 SHOWN	2	LOW	FULL SUN	
	SCHEFFLERA ACTINOPHYLLA	UMBRELLA TREE	36" BOX	4.5 SHOWN	15-20' X 15-20'	4.5 SHOWN	2	LOW	SUN TO PART SHADE	
	FRUIT TREES, VARIETY PER OWNER	SUCH AS LEMON, LIME, ORANGE, MANDARIN, PEACH, PEAR	15 GAL	4.5 SHOWN			7			
SHRUBS, GRASSES, AND PERENNIALS:										
	ABUTILON STRIATUM	RED VEIN INDIAN MALLOW	15 GAL	36"	4-6' X 3-4'	24"	17	LOW	SUN / PART SHADE	FLOWERING SHRUB
	AEONIUM 'ALICE KECK PARK'	ALICE KECK PARK AEONIUM	3 GAL	36"	1-2' X 2-3'	18"	28	MED	SUN / SHADE	SUCCULENT
	AGAVE ATTENUATA 'BOUTIN BLUE'	BLUE FOXTAIL AGAVE	15 GAL	36"	3-4' X 3-4'	24"	18	LOW	SUN / SHADE	SUCCULENT
	AGAVE OVATIFOLIA 'FROSTY BLUE'	WHALE'S TONGUE AGAVE	15 GAL	48"	3-4' X 3-4'	36"	11	LOW	SUN / SHADE	SUCCULENT
	ALLIUM 'GLOBEMASTER'	GLOBEMASTER ALLIUM	2 BULBS 24" IN EACH SYMBOL		3' X 1-1.5'	9"	49 BULBS MED TOTAL	FULL SUN		BULB, INSTALL BETWEEN PLANTS AS THIS IS A TEMPORARY FLOWER
	ABUTILON PALMERI	PALMER'S MALLOW	5 GAL	48"	4-5' X 4-5'	30"	33	LOW	FULL SUN / LIGHT SHADE	FLOWERING NATIVE SHRUB
	ASPARGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	5 GAL	36"	2-3' X 3-4'	15"	90	LOW	SUN / SHADE	
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	24"	1-3' X 1-3'	18"	53	LOW	FULL SUN	NATIVE PERENNIAL
	CAREX PANSA	CALIFORNIA MEADOW SEDGE	2" POT	8"	6-8" X SPREAD	48"	1400	LOW	SUN OR PART SHADE	NATIVE SHRUB
	CEANOETHUS 'CELESTIAL BLUE'	CELESTIAL BLUE CALIFORNIA LILAC	15 GAL	72"	6-8' X 6-8'	48"	67	LOW	SUN OR PART SHADE	NATIVE SHRUB
	CEANOETHUS G. H. 'YANKEE POINT'	YANKEE POINT CALIFORNIA LILAC	5 GAL	48"	2-3' X 8-10'	60"	125	LOW	SUN OR PART SHADE	NATIVE SHRUB
	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	15 GAL	48"	3-5' X 4-5'	30"	15	LOW	SUN OR SHADE	GRASS-LIKE
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	36"	2-3' X 3-4'	24"	48	LOW	SUN OR SHADE	GRASS-LIKE
	DRACAENA MARGINATA	DRAGON TREE	15 GAL	6"	15' X 10'	4.5 SHOWN	4	MED	FULL SUN TO PART SHADE	SHRUB
	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	36"	1-2' X 3-4'	24"	71	LOW	SUN OR SHADE	NATIVE SHRUB
	GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND SNAPDRAGON	1 GAL	48"	3-4' X 4-5'	18"	145	VERY LOW	SUN OR SHADE	NATIVE SHRUB
	IVA HAYSIANA	SAN DIEGO POVERTY WEED	3 GAL	42"	2-3' X 3-5'	30"	177	VERY LOW	FULL SUN	NATIVE GROUNDCOVER
	JUNCUS PATENS 'ELK BLUE'	CALIFORNIA GRAY RUSH	1 GAL	21"	1-2' X 1-2'	12"	219	LOW	SUN OR SHADE	BIDSWALE
	LIMNOLOBOS MUSCARI	LILY TUFT	1 GAL	12"	15-18" X 12-18"	6"	57	MEDIUM	COOL SUN / SHADE	GRASS
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF HAT RUSH	3 GAL	36"	2-3' X 2-4'	2"	100	LOW	SUN / SHADE	GRASS-LIKE PERENNIAL
	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	3 GAL	36"	3' X 3'	18"	84	LOW	PART SUN / SHADE	SHRUB
	MUHLENBERGIA 'WHITE CLOUD'	WHITE AWN MUHLY	1 GAL	36"	3-4' X 3-4'	24"	229	LOW	FULL SUN	GRASS
	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GAL	2"	2-3' X 2-3'	2"	50	LOW	FULL SUN / LIGHT SHADE	MEDIUM SHRUB
	NANDINA DOMESTICA 'ALBA' 'LEMON LIME'	LEMON LIME NANDINA	3 GAL	24"	1'-3' X 1'-3'	18"	247	LOW	FULL SUN / PART SUN	SHRUB
	NEPHROLEPIS CORDIFOLIA	SWORD FERN	3 GAL	36"	2-3' X 2-3'	15"	74	MED	SUN / SHADE	SHRUB
	OPHIOPOGON JAPONICUS 'NANUS'	DWARF MONDO GRASS	2" POT	5"	4-6" X 4-6"	3"	366	MED	FILTERED SUN	NATIVE PERENNIAL
	PHILODENDRON XANADU	WINTERBOURN PHLODENDRON	5 GAL	36"	2-3' X 3-4'	24"	16	MED	COOL SUN / LIGHT SHADE	NATIVE PERENNIAL
	SALVIA APIANA	WHITE SAGE	3 GAL	42"	4-5' X 4-5'	30"	53	LOW	FULL SUN	NATIVE SHRUB
	SALVIA CLEVELANDII	CLEVELAND SAGE	3 GAL	48"	3-4' X 6'	48"	130	LOW	FULL SUN / LIGHT SHADE	NATIVE SHRUB
	SPHAERALCEA AMBIGUA 'LOUIS HAMILTON'	LOUIS HAMILTON DESERT MALLOW	1 GAL	48"	2-3' X 3-5'	30"	67	VERY LOW	FULL SUN	NATIVE FLOWERING SHRUB
	TRADESCANTIA SPATHULIFERA 'TRICOLOR'	VARIEGATED HOSES IN THE BOAT	1 GAL	12"	1' X 1'	6"	124	MED	P SUN / P SHADE	EVERGREEN PERENNIAL
	VERBENA LILACINA 'DE LA MINA'	CEDEOS ISLAND VERBENA	5 GAL	36"	1-3' X 3-4'	2"	111	LOW	COOL SUN / LIGHT SHADE	NATIVE SHRUB
LAWN										
	SEASHORE PASPALUM SOD	PLATINUM TE PASPALUM	SUPPLIER: WEST COAST TURF.COM				700 SF			

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.
EDIBLES:			
	SHADE HERBS, MIXED IN RECTANGULAR PLANTERS		1 GAL
	SUN HERBS, FRUITS AND VEGETABLES, MIXED IN RECTANGULAR PLANTERS		1 GAL
OTHER:			
	ROOT BARRIER	24" BIOBARRIER BY TYPAR AT ALL INSTANCES WHERE TREE IS CLOSER THAN 5' FROM ANY HARDSCAPE. EXTEND 5' FROM CENTER OF TREE IN BOTH DIRECTIONS	
	MULCH	ASSUME 3" OF BARK MULCH AT ALL NEW PLANT. SOURCE: AGRISERVICE TYPE: FOREST FINES	
	SOIL TEST	PER SPECIFICATIONS, AFTER ROUGH GRADING.	
	PERCOLATION TEST	PER SPECIFICATIONS, PERFORM AFTER ROUGH GRADING.	
	5' OR MORE CUT SLOPES	STABILIZE SLOPES WITH REINFORCED STRAW MATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION	
	3' OR MORE FILL SLOPES	STABILIZE SLOPES WITH REINFORCED STRAW MATTING AND PLANTED AND IRRIGATED TO PREVENT EROSION	



1. IRRIGATED PLANTER

SCALE: 3" = 1'-0"

NOVAK RESIDENCE
1005 HIGHLAND DRIVE
DEL MAR, CA 92014

LANDSCAPE ARCHITECT
HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-350-8582

REV	DATE	DESCRIPTION
8	01/18/2024	CITY RE-SUBMITTAL
7	01/04/2024	CITY RE-SUBMITTAL
6	08/11/2023	CITY RE-SUBMITTAL
5	05/03/2022	CITY RE-SUBMITTAL
4	04/03/2022	CITY RE-SUBMITTAL
3	03/01/2022	CITY RE-SUBMITTAL
2	12/08/2021	CITY RE-SUBMITTAL
NO	DATE	ISSUE NOTE

PLANTING LEGEND

PLANTING NOTES

PLANTING NOTES

GENERAL REQUIREMENTS

- IF THE MOISTURE CONTENT OF THE SOIL SHOULD REACH SUCH A LEVEL THAT WORKING IT WOULD DESTROY SOIL STRUCTURE, SPREADING AND GRADING OPERATIONS SHALL BE SUSPENDED UNTIL, IN THE OPINION OF THE OWNERS REPRESENTATIVE, THE MOISTURE CONTENT IS INCREASED OR REDUCED TO ACCEPTABLE LEVELS AND THE DESIRED RESULTS ARE LIKELY TO BE OBTAINED.
- ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED AGRICULTURAL PRACTICE AS APPROVED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ONLY INSTALL AS MANY PLANTS PER CAN BE PLANTED AND WATERED ON THAT SAME DAY.
- ALL SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND SHALL IMMEDIATELY INFORM THE OWNERS REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS.
- PROTECTION OF EXISTING TREES, SHRUBS, AND GROUND COVER
 - THE OWNERS REPRESENTATIVE SHALL IDENTIFY EXISTING TREES AND SHRUBS OF WHICH ARE TO BE PRESERVED WITHIN THE PROJECT LIMITS. PRIOR TO THE START WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH PLANT MATERIAL TO BE PRESERVED, RELOCATED, AND REMOVED.
 - ALL PLANTING TO REMAIN SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY STAFF AND EQUIPMENT. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY AN AIR SPADE. TUNNELING UNDER ROOTS 2 INCH AND LARGER SHALL BE DONE AND ONLY DONE AFTER RECEIPT OF WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE. KEEP THE SIDE OF EXCAVATION ADJACENT TO TREE SHAVED WITH MOIST BURLAP OR CANVAS. ALL MINOR DAMAGE BY CONTRACTOR TO EXISTING TREES AND SHRUBS SHALL BE REPAIRED AT HIS EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL.
 - EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
 - DAMAGE TO A TREE OR SHRUB, WHICH RESULTS IN DEATH OR PERMANENT DISFIGURATION, SHALL RESULT IN THE CONTRACTORS COMPLETE REMOVAL OF SAID TREE OR SHRUB, INCLUDING ROOTS, FROM THE SITE. THE CONTRACTOR SHALL REPLACE THE TREE OR SHRUB AS ESTABLISHED BY THE OWNERS REPRESENTATIVE WITH ONE OF EQUAL VALUE AT HIS OWN EXPENSE OR SHALL REIMBURSE TO THE OWNER THE COST OF SAID REPLACEMENT. THE OWNERS REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE CONDITION OF ANY TREE OR SHRUB.
 - ALL PLANTS TO REMAIN ON-SITE WILL BE IRRIGATED AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
- PRUNING SHALL NOT BE DONE EXCEPT BY APPROVAL OF OWNERS REPRESENTATIVE.
- PLANT LOCATIONS SHALL BE CHECKED FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND PIPING, PRIOR TO EXCAVATION OF HOLES. IF UNDERGROUND CONSTRUCTION OR UTILITY LINES ARE ENCOUNTERED IN THE EXCAVATION OF PLANTING AREAS, NOTIFY THE OWNER. EXPENSES FOR REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. MINIMUM TREE SEPARATION DISTANCES ARE AS FOLLOWS:
 - TRAFFIC SIGNALS (STOP SIGNS) - 30 FEET
 - UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAY ENTRIES - 10 FEET
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

- EXCAVATE PLANTING PITS AT LEAST TWICE THE DIAMETER FOR CONTAINER-GROWN STOCK ROOTBALL. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL LESS ONE INCH FOR SHRUBS AND 2 INCHES FOR TREES, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL, IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO THE CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.
- BID PRICE SHALL BE BASED ON TREE AND PLANTING DETAILS SHOWN ON THE PLANS.

DEEP WATER LEACHING

- FILL IN ALL DEPRESSIONS, VOIDS, EROSION SCARS, OR SETTLED TRENCHES GENERATED BY THE DEEP LEACHING WITH CONDITIONED SOIL, LEAVING A FINAL FINISH GRADE SMOOTH AND EVEN.
- LEACHING OF THE SOIL IS OFTEN REQUIRED, AS INDICATED BY THE RESULTS OF THE SOIL TESTS.
 - LEACH THE SOIL PER THE SOIL LABORATORY'S AND LANDSCAPE ARCHITECT'S RECOMMENDATIONS, AND THE LANDSCAPE SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE A POST-LEACHING SOIL TEST TO THE LANDSCAPE ARCHITECT FOR REVIEW, AND TO RE-LEACH AND RE-AMEND THE SOIL IF RECOMMENDED IN THE NEW TEST RESULTS.
 - LEACHING IS CONSIDERED LONG LEAD TIME ITEM.
 - MULTIPLE ROUNDS MAY BE REQUIRED, TYPICALLY WITH MIN. 6 DAYS OF LEACHING. TIMES VARY PER SOIL LABORATORY RECOMMENDATIONS.
 - CONTRACTOR TO PROVIDE ADEQUATE TIME BETWEEN ROUGH GRADING AND PLANTING TO REMEDIATE THE SOIL.
 - PLANTING SHALL NOT COMMENCE UNTIL A POST-LEACHING SOIL REPORT VERIFIES THAT NO FURTHER LEACHING IS REQUIRED.
 - CONTRACTOR TO INCLUDE MULTIPLE ROUNDS OF LEACHING AND SUBSEQUENT SOIL TESTS IN THE SCHEDULE AND BID PRICE.

FINAL GRADES

- MINOR MODIFICATIONS TO GRADE MAY BE REQUIRED TO ESTABLISH THE FINAL GRADES.
- ALL UNDULATIONS AND IRREGULARITIES IN THE PLANTING SURFACES RESULTING FROM TILLAGE, ROTOTILLING, AND ALL OTHER OPERATIONS SHALL BE LEVELED AND FLOATED OUT BEFORE PLANTING.
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND AVOID DAMAGE TO SPRINKLER HEADS, IRRIGATION LINES, AND OTHER UNDERGROUND UTILITIES DURING GRADING AND CONDITIONING OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL DRAINAGE WORK WITH ALL OTHER TRADES. ESTABLISHED SITE DRAINAGE SHALL BE MAINTAINED BY CONTRACTOR DURING ALL PHASES OF LANDSCAPE CONSTRUCTION.
- FINAL FINISH GRADES SHALL INSURE POSITIVE DRAINAGE OF THE SITE WITH ALL SURFACE DRAINAGE AWAY FROM BUILDINGS, WALLS AND TOWARD DRAINS AND CATCH BASINS.
- FINAL GRADES SHALL BE APPROVED IN WRITING BY THE OWNERS REPRESENTATIVE BEFORE PLANTING OPERATIONS WILL BE ALLOWED TO BEGIN.

PERCOLATION TESTING AND DRAINAGE

- SOILS PERCOLATION TESTS SHALL BE PERFORMED PER THE SPECIFICATIONS.
 - WITH A SHOVEL, AUGER, OR POSTHOLE DIGGER, DIG HOLE 18 INCHES DEEP. HOLE DIAMETER SHOULD BE A MINIMUM OF 4 INCHES. THE DIAMETER OF THE HOLE SHOULD BE UNIFORM FROM TOP TO BOTTOM WITH THE BOTTOM BEING FLAT.
 - FILL HOLE WITH WATER TO THE TOP AND LET STAND FOR AT LEAST AN HOUR TO PRE-WET THE SOIL.
 - REFILL HOLE TO WITHIN A COUPLE INCHES OF THE TOP. DON'T ALLOW WATER TO OVERFLOW THE HOLE.
 - TO AID IN MEASUREMENT, PLACE A STICK ACROSS THE TOP OF THE HOLE AND USE A RULER OR MEASURING TAPE TO MARK PERIODIC DROPS IN WATER LEVEL.
 - ALLOW THE HOLE TO DRAIN FOR AT LEAST ONE HOUR. A LONGER PERIOD (2 TO 3 HOURS) WILL GIVE A MORE ACCURATE READING OF AVERAGE PERCOLATION RATES.
 - SEE SPECIFICATIONS FOR TEST RESULT ANALYSIS.
 - UPON FAILURE, CONTACT OWNERS REPRESENTATIVE FOR REMEDIAL MEASURES.

WEED CONTROL

- PRIOR TO PLANTING, ERADICATE WEEDS WITHIN THE LIMITS OF WORK IN THE FOLLOWING ORDER:
 - IRRIGATE TWICE EACH DAY FOR APPROXIMATELY 5 TO 10 MINUTES EACH WATERING TIME (AS APPROPRIATE TO SITE CONDITIONS) FOR A PERIOD OF 30 CALENDAR DAYS.
 - APPLY POST-EMERGENT HERBICIDE (SUCH AS ROUND-UP PRO) PER CALIFORNIA LICENSED PEST CONTROL ADVISOR AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. TAKE CARE TO PROTECT EXISTING PLANT MATERIAL WHICH IS TO REMAIN AS SHOWN ON THE PLANS.
 - WAIT THE REQUIRED PERIOD FOR THE HERBICIDE TO TAKE EFFECT (APPROXIMATELY 7-14 DAYS).
 - PHYSICALLY REMOVE WEEDS DEAD OR ALIVE WITHIN THE LIMITS.
- EXISTING NATIVE VEGETATION SHALL NOT BE IRRIGATED AND IRRIGATION RUN-OFF SHALL NOT SPREAD TO AREAS WITH EXISTING NATIVE PLANTS (LOCALLY INDIGENOUS).
- CLEAN ALL PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES, REMOVING ALL WEEDS, DEBRIS, ROCKS, OR OTHER DELETERIOUS MATTER 1 INCH DIAMETER OR LARGER FROM THE SITE.

SOIL CONDITIONING AND FERTILIZING

- GRUB / CLEAN AND ROTOTILL ALL PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES, REMOVING ALL WEEDS, DEBRIS, ROCKS, OR OTHER DELETERIOUS MATTER 1 INCH DIAMETER OR LARGER FROM THE SITE (UNLESS SPECIFIED OTHERWISE). THEN BLEND IN CONDITIONERS PER THE SPECIFICATIONS.
- PERFORM SOIL TESTS PER LANDSCAPE SPECIFICATIONS.
 - IF SOIL IS IMPROPERLY COLLECTED, TESTS SHALL BE REJECTED AND RE-DONE USING CORRECT PROCEDURES AT NO ADDITIONAL COST TO THE OWNER.
 - SEE PLANS FOR TEST LOCATIONS.
 - SEE LANDSCAPE SPECIFICATIONS FOR THE TYPES OF SOIL TO BE TESTED.
 - TESTING OF MULTIPLE SOIL TYPES MAY BE REQUIRED.
 - FOR IMPORT SOIL, A SOIL TEST FROM THE SOIL SUPPLIER SHALL NOT BE ACCEPTED UNLESS PERFORMED ON THE ACTUAL STOCKPILE TO BE USED, WITH MULTIPLE SAMPLES TAKEN FROM THE STOCKPILE, AND DONE WITHIN A MAXIMUM OF 1 MONTH PRIOR TO DELIVERY ON SITE.
 - SUBMIT TEST RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW AS PART OF THE PLANTING SUBMITTAL. AMEND SOIL PER THE SOIL LABORATORY'S AND LANDSCAPE ARCHITECT'S RECOMMENDATIONS.
 - LEACHING MAY ALSO BE REQUIRED. SEE "DEEP WATER LEACHING" SECTION ABOVE.
 - SUBMIT A POST-AMENDED SOIL TEST TO THE LANDSCAPE ARCHITECT FOR REVIEW, AND RE-AMEND THE SOIL IF RECOMMENDED IN THE NEW TEST RESULTS.
 - REPEAT UNTIL ALL ISSUES HAVE BEEN CORRECTED.
 - SOIL TESTING, AMENDING, AND RE-TESTING ARE CONSIDERED LONG LEAD TIME ITEMS.
 - MULTIPLE ROUNDS MAY BE REQUIRED.
 - TESTS MAY BE DELAYED DUE TO LEACHING REQUIREMENTS.
 - CONTRACTOR TO PROVIDE ADEQUATE TIME BETWEEN ROUGH GRADING AND PLANTING TO COMPLETE ALL TESTS AND REMEDIATION.
 - PLANTING SHALL NOT COMMENCE UNTIL SOIL TREATMENTS ARE COMPLETE AND A POST-AMENDING SOIL TEST INDICATED THAT FURTHER TREATMENTS ARE NOT REQUIRED.
 - CONTRACTOR TO INCLUDE MULTIPLE ROUNDS OF SOIL TESTS AND AMENDING IN THE SCHEDULE AND BID PRICE.

PLANT AVAILABILITY

- THE ACT OF PROVIDING A BID FOR THIS PROJECT ESTABLISHES THE CONTRACTOR'S UNDERSTANDING THAT THE PLANTS SPECIFIED HEREIN MAY BE UNUSUAL AND MORE DIFFICULT TO LOCATE THAN THE INDUSTRY STANDARD AND THAT THE CONTRACTOR AGREES TO THE FOLLOWING:
 - THE CONTRACTOR SHALL SEARCH FOR EACH PLANT SPECIFIED. PROVIDED IN THESE DRAWINGS ARE A LIST OF PLANT NURSERY SOURCES TO BE CONTACTED DURING CONTRACTORS SEARCH. IF ANY OF THE LISTED NURSERIES, OR ANY NURSERIES IN CALIFORNIA OR ARIZONA HAVE THE SPECIFIED PLANTS IN THE CONTAINER SIZES SPECIFIED, THE CONTRACTOR SHALL BE OBLIGATED TO PURCHASE AND OBTAIN DELIVERY OF SAID PLANTS.
 - WITHIN TWENTY-ONE (21) DAYS AFTER AWARD OF CONTRACT, CONTRACTOR SHALL SUBMIT A PLANT LIST WITH NURSERY SOURCES, PLANT QUANTITIES AND PLANT SIZES. PLANT LIST SHALL INDICATE ALL UNAVAILABLE PLANTS AND WHICH NURSERIES WERE CONTACTED DURING CONTRACTORS SEARCH. INCOMPLETE SUBMITTALS THAT ARE MISSING PLANTS SHALL BE REJECTED, LANDSCAPE ARCHITECT SHALL SUGGEST PLANT SUBSTITUTION BASED UPON INFORMATION IN CONTRACTOR SUBMITTAL.
 - UPON ACCEPTANCE OF CONTRACTOR PLANT SUBMITTAL BY LANDSCAPE ARCHITECT, CONTRACTOR SHALL SECURE PLANTS WITHIN FIVE (5) DAYS AND ARRANGE FOR DELIVERY FROM NURSERIES.

TREES, SHRUBS, AND VINES

- EACH TREE AND SHRUB SHALL BE PLACED IN THE CENTER OF THE HOLE AND SHALL BE SET PLUMB AND HELD RIGIDLY IN POSITION UNTIL THE PLANTING BACKFILL HAS BEEN TAMPED DOWN AROUND EACH ROOTBALL.
- ALL PLANTS SHALL BE SET AT SUCH A LEVEL THAT THEY WILL NOT SETTLE. OTHERWISE THEY WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL PLANTS SHALL BE THOROUGHLY WATERED INTO THE FULL DEPTH OF EACH PLANTING HOLE IMMEDIATELY AFTER PLANTING.
- ROOT BARRIERS: ROOT CONTROL BARRIERS SHALL BE INSTALLED WHERE TREE TRUNK IS WITHIN FIVE FEET OF HARDSCAPE (OR CLOSER). INSTALL ROOT BARRIERS ADJACENT AND PARALLEL TO EDGE OF HARDSCAPE. LINEAR APPLICATION AND NOT ENCIRCLING ROOTBALL. BARRIERS SHALL BE 10 - FT. MIN. LENGTH. CENTER STRIP OF ROOT BARRIER ON THE TREE TRUNK.

PLANTING SOO TURF

- SEE SPECIFICATIONS FOR LAWN AREA SOIL PREPARATION AND SOO INSTALLATION.

MAINTENANCE PERIOD

- LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS, NOXIOUS GRASS, AND ALL OTHER UNDESIRABLE VEGETATIVE GROWTH AND DEBRIS.
- PLANT MATERIALS SHALL BE KEPT IN A HEALTHY, OPTIMUM GROWING CONDITION AND IN A VISUALLY PLEASING APPEARANCE BY WATERING, PRUNING, MOWING, FERTILIZING, RESTAINING, PEST AND DISEASE CONTROLLING, SPRAYING, WEEDING, CLEAN-UP AND ANY MAINTENANCE OPERATION NECESSARY TO INSURE A HEALTHY, VIGOROUS STAND OF PLANTS AT THE TIME OF FINAL INSPECTION.
- SEE SPECIFICATIONS FOR APPLICATION OF THE POST-PLANTING FERTILIZER AT THE RATE SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR THE LANDSCAPE MAINTENANCE FOR ALL PLANTED AND/OR IRRIGATED AREAS SHOWN ON THE PLANS FOR THE MAINTENANCE PERIOD INDICATED IN THE SPECIFICATIONS.

IRRIGATION

- AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY CITY OF SAN DIEGO LAND DEVELOPMENT CODE - GENERAL PLANTING AND IRRIGATION SECTION 142.030 (C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

PERMIT NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM TREE SEPARATION DISTANCE
 - IMPROVEMENTS / MINIMUM DISTANCE TO STREET TREE
 - TRAFFIC SIGNALS / STOP SIGNS - 20 FT
 - UNDERGROUND UTILITY LINES - 5 FT (EXCEPT SEWER)
 - SEWER LINE - 10 FT
 - ABOVE GROUND UTILITY STRUCTURES - 10 FT
 - DRIVEWAY ENTRIES - 10 FT
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FT
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN THE FOLLOWING MEASURES WILL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
 - THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
 - ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS WILL BE SEALED WITH WOOD PAINT AS MANUFACTURED BY PLINTKOTE OR APPROVED EQUAL.
 - A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 4-IN OR GREATER IN DIAMETER.
 - MAINTAIN AND DOCUMENT A TREE WATER SCHEDULE DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FT, PER SAN DIEGO MUNICIPAL CODE SECTION 142.030(B)(9).
- MAINTENANCE- ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT OR WITHIN 30 DAYS OF A FINAL LANDSCAPE INSPECTION.

NURSERY LIST

BUSINESS NAME PHONE NUMBER

ABC NURSERY	(602) 954-8052
ALTHAN SPECIALTY PLANTS	(760) 744-3333
ARBOR NURSERY	(626) 337-4233
AUSTRALIAN NATIVE PLANTS	(951) 647-3362
B & B NURSERY TOWN	(951) 305-1154
BARON BROTHERS NURSERY, INC.	(805) 484-0095
BARKELS & BRANCHES	(760) 755-2822
BERYLWOOD TREE FARM	(805) 485-1611
BIG TREES NURSERY, INC.	(604) 487-5553
BLOOMING TREES AND FARMS	(619) 853-7222
BOTANICAL PARTNERS	(760) 758-6181
BRIGGS TREE NURSERY	(760) 727-2727
BUEHLER GREEN GARDENS	(760) 744-3516
CALIFORNIA CACTUS CENTER	(626) 795-2788
CAL-TONYO NURSERY	(951) 204-9534
CELOSIA GARDENS	(951) 795-9646
CHIA NURSERY	(805) 684-2382
CHOICE NURSERY	(951) 481-4151
CLAUSON NURSERY	(760) 724-3143
COLOR CONNECTION	(951) 927-1231
CYCLOS W PALMS	(760) 728-4834
DURLING NURSERY	(760) 728-9532
EAK GROUND COVER	(760) 786-0024
EL NATIVO GROWERS	(626) 909-9449
ELLIS FARMS	(760) 767-5234
ETERA-NORTHWEST HORTICULTURE	(604) 752-1634
FOUR SEASONS WHOLESALE	(760) 755-7025
FOXTAIL FARMS OF CALIFORNIA	(619) 668-7242
GARDENS	(760) 728-4372
GOOD EARTH NURSERY	(760) 728-5177
GREELEE NURSERY	(909) 629-8045
GREEN MEADOW GROWERS	(760) 751-2713
GRIGSBY CACTUS	(760) 727-1323
GROWEST	(714) 529-0751
HINES FALL BROOK	(609) 295-1472
HORAHK NURSERY	(760) 743-2118
HUNTER'S NURSERY	(619) 463-8341
JANGLE MUSIC	(619) 291-4055
KINGS RIVER NURSERY	(951) 781-3072
LAS FILITAS NURSERY	(760) 749-5020
LEAS GARDENS	(604) 840-8246
MIRAMAR WHOLESALE	(951) 551-9559
MIRAMAR WHOLESALE NURSERY	(951) 551-7999
MITSUWA NURSERY	(609) 874-0544
MONROVIA NURSERY	(760) 409-3222
MOOSA CREEK NURSERY	(760) 743-2114
MOUNTAIN HERB GARDEN	(619) 445-8352
NATIVE SONG W/IL NURSERY	(609) 481-5556
NATIVE WEST NURSERY (FORMERLY RECON)	(619) 423-2284
NORRANS NURSERY	(609) 295-3729
ORANGE COUNTY NURSERY	(951) 555-9149
OTTO & SONS NURSERY	(805) 524-2123
PACIFIC WEST TREE CO.	(559) 805-9959
PARDEE TREE NURSERY	(760) 630-5420
PARKWAY NURSERY (PALMS)	(760) 629-4642
PERENNIAL ADVENTURE	(619) 500-9531
PERFORMANCE NURSERY	(951) 573-5446
PIERGROSSI LANDSCAPE	(760) 598-4882
PRICE'S NURSERY & GARDEN	(760) 777-7325
RANCHO SOLEDAD NURSERY	(951) 755-3111
ROADRUNNER TREE FARM	(760) 767-3110
ROSSELAND NURSERY	(760) 759-8663
SANJOA WHOLESALE NURSERY	(714) 898-8245
SAN JACOB'S GROWERS	(951) 683-7551
SANTA CATALINA NURSERY	(760) 751-4020
SERRA GARDENS	(619) 456-1572
SHERMAN NURSERY	(760) 471-9988
SILHOUETTES OF THE DESERT	(760) 727-2935
SOIL AND SUCCEULENTS	(609) 259-4548
SOUTH COAST WHOLESALE	(951) 596-4485
SULIN AND WHITNEY ROBINSON	(760) 758-3913
SUNCREST NURSERIES	(609) 849-5044
SUNNY SLOPE	(714) 532-9550
SWAN HILL NURSERY, LLC	(627) 925-0545
THEODORE PAYNE FOUNDATION	(619) 768-1822
THEME LINE TREES	(626) 447-5630
TOMLINSON SELECT NURSERIES	(760) 727-2233
TREE OF LIFE NURSERY	(626) 728-6685
TREE SOURCE, THE	(949) 347-1191
UPPER CHASE NURSERY	(951) 776-2668
VALLEY CREST TREE COMPANY	(951) 524-3333
VENTURA COUNTY NURSERY, INC.	(951) 644-7577
VILLAGE NURSERIES, HIRAMAR	(714) 963-5372
VILLAGE NURSERIES, MIRAMAR	(951) 551-9552
W D YOUNG & SONS	(760) 347-7936
WALKER-VICE NURSERY	(619) 748-1615
WALTER ANDERSON'S	(619) 274-9271
WALTER ANDERSON'S	(951) 513-4920
WEIDNER'S GARDENS	(760) 426-3184
WEST COAST NURSERIES	(760) 426-1252
WESTERN CACTUS	(760) 705-1716
WISDOM TREE NURSERY	(619) 262-0595

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-256-8582

Project Manager: Andrew Hatch
Reviewed By: AM

REV	DATE	DESCRIPTION
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8	01/18/2024	CITY RE-SUBMITTAL
7	01/09/2024	CITY RE-SUBMITTAL
6	08/11/2023	CITY RE-SUBMITTAL
5	08/03/2022	CITY RE-SUBMITTAL
4	04/03/2022	CITY RE-SUBMITTAL
3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL

NO	DATE	ISSUE NOTE
----	------	------------

Project Manager:	Andrew Hatch	Reviewed By:	AM
Date:	01/18/2024		
Notes:	NTS		

PLANTING NOTES

PLANTING LEGEND

TREES



ACER PALMATUM 'GLOWING EMBERS' - GLOWING EMBERS MAPLE



CYATHEA COOPERI - AUSTRALIAN TREE FERN



DURANTA REPENS 'GOLDEN DEWDROP' - GOLDEN DEWDROP



HETEROMELES ARBUTIFOLIA - TOYON



PLUMERIA OBTUSA - SINGAPORE PLUMERIA



MAGNOLIA STELLATA 'ROYAL STAR' - ROYAL STAR MAGNOLIA



CERCIS OCCIDENTALIS - WESTERN REDBUCK



TRISTANOPSIS LAURINA - WATER GUM



ABUTILON STRIATUM - RED VEIN INDIAN MALLOW



AEONIUM 'ALICE KECK PARK' - ALICE KECK PARK Aeonium



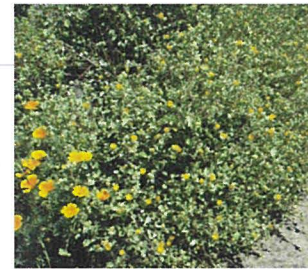
AGAVE ATTENUATA 'BOUTIN BLUE' - BLUE FOXTAL AGAVE



AGAVE OVATIFOLIA 'FROSTY BLUE' - WHALE TONGUE AGAVE



ALLIUM GLOBEMASTER - GLOBEMASTER ALLIUM



ABUTILON PALMERI - PALMER'S MALLOW



ASPARAGUS DENSIFLORUS 'MYERS' - FOXTAL FERN



ACHILLEA MILLEFOLIUM - COMMON YARROW



CAREX PANSA - CALIFORNIA MEADOW SEDGE



CEANOTHUS CELESTIAL BLUE - CELESTIAL BLUE CALIFORNIA LILAC



CEANOTHUS G. H. 'YANKEE POINT' - YANKEE POINT CALIFORNIA LILAC



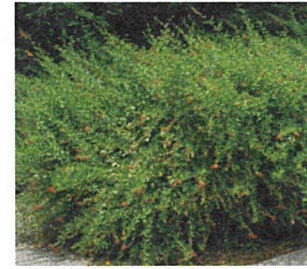
CHONDROPETALUM TECTORUM - SMALL CAPE RUSH



DRACAENA MARGINATA - DRAGON TREE



ERIGERON KARWINSKIANUS - SANTA BARBARA DAISY



GALVEZIA SPACIOSA 'FIRECRACKER' - ISLAND SNAPDRAGON



IVA HAYESIANA - SAN DIEGO POVERTY WEED



JUNCUS PATENS 'ELK BLUE' - CALIFORNIA GRAY RUSH



LIRIOPE MUSCARI - LILY TURF



LOMANDRA LONGIFOLIA 'BREEZE' - DWARF MAT RUSH



MAHONIA 'SOFT CARESS' - SOFT CARESS MAHONIA



MUHLENBERGIA WHITE CLOUD - WHITE AIN MURLY



MYRTUS COMMUNIS 'COMPACTA' - DWARF MYRTLE



NANDINA DOMESTICA 'ALBA LEMON LIME' - LEMON LIME NANDINA



NEPHROLEPIS CORDIFOLIA - SWORD FERN



OPHIOPOGON JAPONICUS 'NANUS' - DWARF MONDO GRASS



PHILODENDRON XANADU - WINTERBOURN PHILODENDRON



SPHAERALCEA AMBIGUA 'LOUIS HAMILTON' - LOUIS HAMILTON DESERT MALLOW



SALVIA APIANA - WHITE SAGE



SALVIA CLEVELANDII - CLEVELAND SAGE



TRADESCANTIA SPATHACEA 'TRICOLOR' - VAREGATA MOSES IN THE BOAT

NOVAK RESIDENCE

1005 HIGHLAND DRIVE
DEL MAR, CA 92014



Landscape Architect
HATCHWORKS
3745 Trusty Ln
San Diego, CA 92106
619-356-8582

REV	DATE	DESCRIPTION
8	01/18/2024	CITY RE-SUBMITTAL
7	01/08/2024	CITY RE-SUBMITTAL
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3	03/01/2022	CITY RE-SUBMITTAL
2	12/06/2021	CITY RE-SUBMITTAL

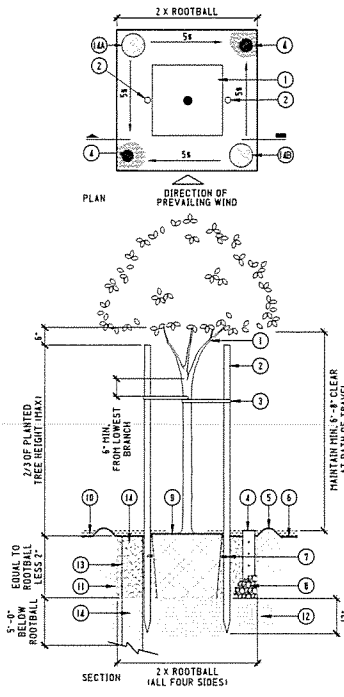
NO	DATE	ISSUE NOTE
1	01/18/2024	

Prep'd By: Andrew Hatch
Reviewed By: AH
Date: 01/18/2024
Scale: NTS

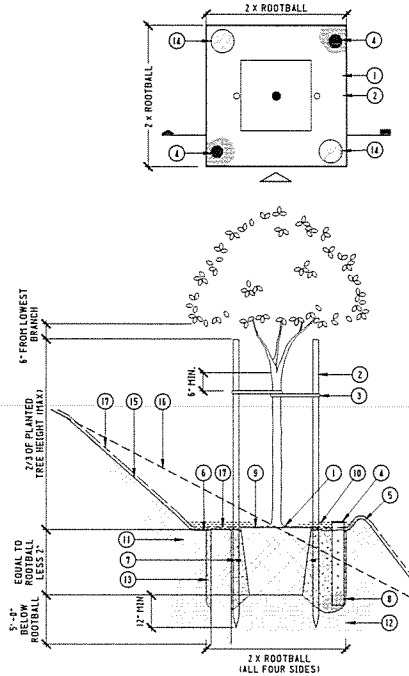
PLANTING IMAGES

Sheet No: 26 of 27

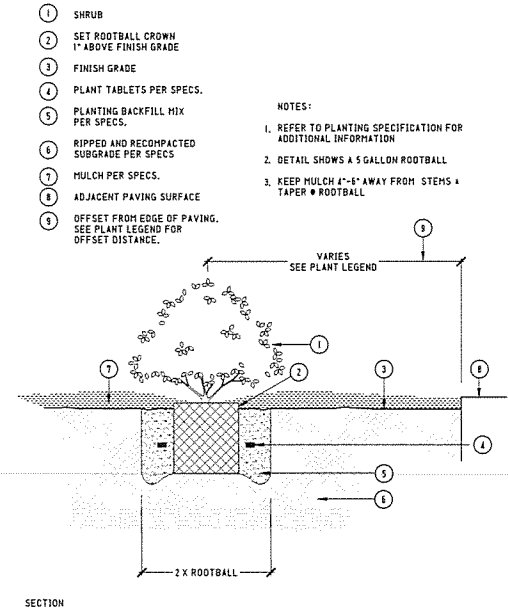
L3.4



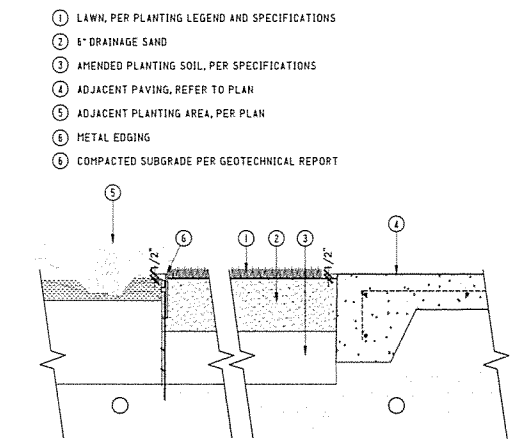
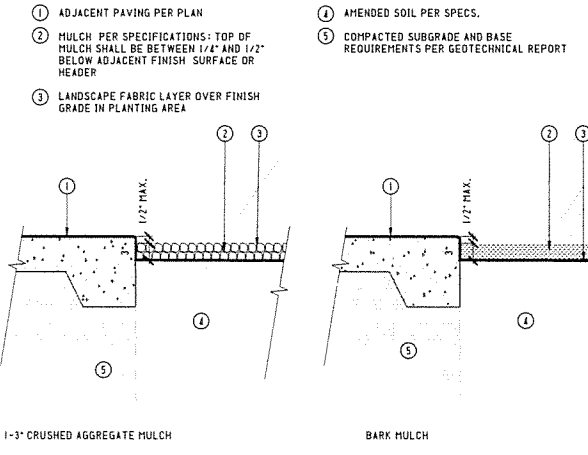
- 1 TREE AND ROOTBALL
 - 2 TREE STAKES (2) PER SPECIFICATIONS; LOCATE ON WINDWARD SIDE OF TREE
 - 3 TREE TIES PER SPECIFICATIONS
 - 4 (2) 4" DIA. PERFORATED PIPE WITH 90° ELL FITTING AT BOTTOM AND FLAT GRATE AT TOP; COLOR PER SPECIFICATIONS. WRAP PIPE IN FILTER FABRIC SOCK (1" HANCOCK - NO KNOWN ED.) LEAVE PIPE HOLLOW.
 - 5 4" HIGH EARTH BERM - EDGE OF PLANT PIT, FIRMLY COMPACTED.
 - 6 FINISHED GRADE
 - 7 PLANT TABLETS PER SPECIFICATIONS 8" BELOW GRADE.
 - 8 1 CU. FT. CRUSHED AGGREGATE
 - 9 REMOVE EXCESS SOIL AND MULCH IN PLANTING BOX TO EXPOSE ROOT FLARE AND SET ROOTBALL 2" ABOVE FINISH GRADE
 - 10 MULCH PER SPECIFICATIONS
 - 11 RIPPED AND RECOMPACTED SUBGRADE OR AMENDED SOIL PER SPECIFICATIONS. DO NOT LOOSEN SOIL BENEATH ROOTBALL.
 - 12 EXISTING SOIL
 - 13 PLANTING BACKFILL MIX PER SPECIFICATIONS
 - 14 AUGER (1) 8" DIA. PERCOLATION PIT PER TREE LOCATION TO 5'-0" DEPTH BELOW ROOTBALL AND FILL WITH NON-COMPACTED NATIVE SOIL.
 - 15 IF PERCOLATION TEST FAILS, PROCEED TO AUGER (1) ADDITIONAL 8" DIA. FOR 5'-0" DEPTH BELOW ROOTBALL (PERCOLATION PITS).
- NOTES:
1. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
 2. DETAIL SHOWS A 24" BOX TREE, MODIFY DETAIL IF LARGER TREE IS PROPOSED
 3. KEEP MULCH 4"-8" AWAY FROM STEMS + TAPER - ROOTBALL
 4. MINIMUM BRANCHING HEIGHT 72" ABOVE ACCESSIBLE SURFACE
 5. 24" AND 36" BOX TREES SHALL HAVE TREE STAKES PER SPECIFICATIONS. 48" BOX TREES OR LARGER SHALL HAVE GUY WIRING STABILIZATION PER SPECIFICATIONS.
 6. REFER TO SPECIFICATIONS FOR SUPPLEMENTAL CORRECTION IN THE EVENT OF MAJOR SOIL PERCOLATION CONCERNS.



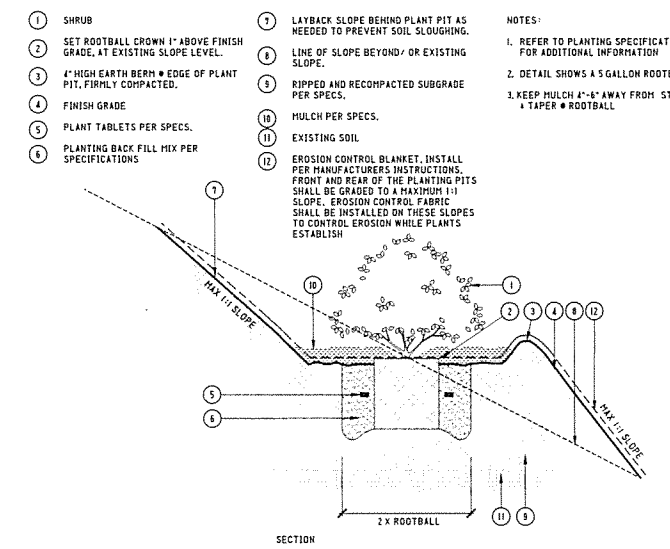
- 1 TREE AND ROOTBALL
 - 2 TREE STAKES (2) PER SPECIFICATIONS; LOCATE ON WINDWARD SIDE OF TREE
 - 3 TREE TIES PER SPECIFICATIONS
 - 4 (2) 4" DIA. PERFORATED PIPE WITH 90° ELL FITTING AT BOTTOM AND FLAT GRATE AT TOP. WRAP PIPE IN FILTER FABRIC SOCK (1" HANCOCK - NO KNOWN ED.) LEAVE PIPE HOLLOW.
 - 5 4" HIGH EARTH BERM - EDGE OF PLANT PIT, FIRMLY COMPACTED.
 - 6 FINISHED GRADE
 - 7 PLANT TABLETS PER SPECIFICATIONS 6" BELOW GRADE.
 - 8 1 CU. FT. CRUSHED AGGREGATE
 - 9 SET ROOTBALL 2" ABOVE FINISH GRADE, AT EXISTING SLOPE LEVEL.
 - 10 MULCH PER SPECIFICATIONS
 - 11 RIPPED AND RECOMPACTED SUBGRADE OR AMENDED SOIL PER SPECIFICATIONS. DO NOT LOOSEN SOIL BENEATH ROOTBALL.
 - 12 EXISTING SOIL
 - 13 PLANTING BACKFILL MIX PER SPECIFICATIONS
 - 14 AUGER (1) 8" DIA. PERCOLATION PIT PER TREE LOCATION TO 5'-0" DEPTH BELOW ROOTBALL AND FILL WITH NON-COMPACTED NATIVE SOIL. POSITION OPPOSITE OF 4" PERFORATED PIPE. ENSURE COVERAGE OF 3" MULCH. IF PERCOLATION TEST FAILS, PROCEED TO AUGER (2) 8" DIA. X 5'-0" DEPTH BELOW ROOTBALL PERCOLATION PITS.
 - 15 LAYBACK SLOPE BEHIND PLANT PIT AS NEEDED TO PREVENT SOIL SLOUGHING.
 - 16 LINE OF SLOPE BEYOND/ OR EXISTING SLOPE
 - 17 EROSION CONTROL BLANKET, WHERE OCCURS - INSTALL PER MANUFACTURERS INSTRUCTIONS
- NOTES:
1. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION.
 2. DETAIL SHOWS A 24 BOX TREE, MODIFY DETAIL IF LARGER TREE IS PROPOSED.
 3. KEEP MULCH 4"-8" AWAY FROM STEMS + TAPER - ROOTBALL.
 4. MINIMUM BRANCHING HEIGHT 72" ABOVE ACCESSIBLE SURFACE.
 5. 24" AND 36" BOX TREES SHALL HAVE TREE STAKES PER SPECIFICATIONS. 48" BOX TREES OR LARGER SHALL HAVE GUY WIRING STABILIZATION PER SPECIFICATIONS.
 6. REFER TO SPECIFICATIONS FOR SUPPLEMENTAL CORRECTION IN THE EVENT OF MAJOR SOIL PERCOLATION CONCERNS.
 7. ALL MULCH FROM NURSERY SHOULD BE REMOVED ENTIRELY PRIOR TO PLANT INSTALLATION TO ENSURE ROOTBALL IS PLANTED AT CORRECT LOCATION.



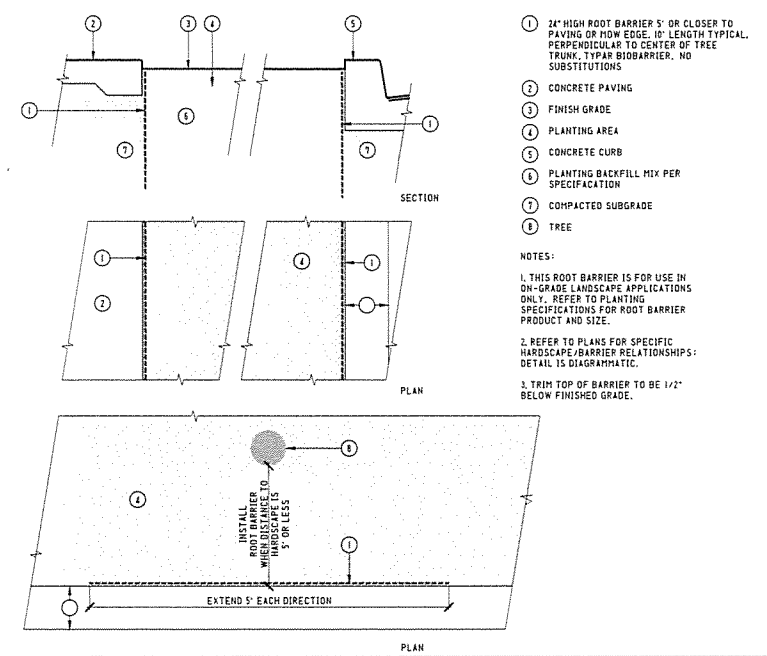
- 1 SHRUB
 - 2 SET ROOTBALL CROWN 1" ABOVE FINISH GRADE
 - 3 FINISH GRADE
 - 4 PLANT TABLETS PER SPECS.
 - 5 PLANTING BACKFILL MIX PER SPECS.
 - 6 RIPPED AND RECOMPACTED SUBGRADE PER SPECS
 - 7 MULCH PER SPECS.
 - 8 ADJACENT PAVING SURFACE
 - 9 OFFSET FROM EDGE OF PAVING. SEE PLANT LEGEND FOR OFFSET DISTANCE.
- NOTES:
1. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
 2. DETAIL SHOWS A 5 GALLON ROOTBALL
 3. KEEP MULCH 4"-8" AWAY FROM STEMS + TAPER - ROOTBALL



- 1 LAWN, PER PLANTING LEGEND AND SPECIFICATIONS
- 2 8" DRAINAGE SAND
- 3 AMENDED PLANTING SOIL, PER SPECIFICATIONS
- 4 ADJACENT PAVING, REFER TO PLAN
- 5 ADJACENT PLANTING AREA, PER PLAN
- 6 METAL EDGING
- 7 COMPACTED SUBGRADE PER GEOTECHNICAL REPORT



- 1 SHRUB
 - 2 SET ROOTBALL CROWN 1" ABOVE FINISH GRADE, AT EXISTING SLOPE LEVEL.
 - 3 4" HIGH EARTH BERM - EDGE OF PLANT PIT, FIRMLY COMPACTED.
 - 4 FINISH GRADE
 - 5 PLANT TABLETS PER SPECS.
 - 6 PLANTING BACK FILL MIX PER SPECIFICATIONS
 - 7 LAYBACK SLOPE BEHIND PLANT PIT AS NEEDED TO PREVENT SOIL SLOUGHING.
 - 8 LINE OF SLOPE BEYOND/ OR EXISTING SLOPE.
 - 9 RIPPED AND RECOMPACTED SUBGRADE PER SPECS.
 - 10 MULCH PER SPECS.
 - 11 EXISTING SOIL
 - 12 EROSION CONTROL BLANKET, INSTALL PER MANUFACTURERS INSTRUCTIONS. FRONT AND REAR OF THE PLANTING PITS SHALL BE GRADED TO A MAXIMUM 1:1 SLOPE. EROSION CONTROL FABRIC SHALL BE INSTALLED ON THESE SLOPES TO CONTROL EROSION WHILE PLANTS ESTABLISH
- NOTES:
1. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
 2. DETAIL SHOWS A 5 GALLON ROOTBALL
 3. KEEP MULCH 4"-8" AWAY FROM STEMS + TAPER - ROOTBALL



- 1 3/4" HIGH ROOT BARRIER 5' OR CLOSER TO PAVING OR HDW EDGE. 10' LENGTH TYPICAL, PERPENDICULAR TO CENTER OF TREE TRUNK. TYPAR BARRIER, NO SUBSTITUTIONS
 - 2 CONCRETE PAVING
 - 3 FINISH GRADE
 - 4 PLANTING AREA
 - 5 CONCRETE CURB
 - 6 PLANTING BACKFILL MIX PER SPECIFICATION
 - 7 COMPACTED SUBGRADE
 - 8 TREE
- NOTES:
1. THIS ROOT BARRIER IS FOR USE IN ON-GRADE LANDSCAPE APPLICATIONS ONLY. REFER TO PLANTING SPECIFICATIONS FOR ROOT BARRIER PRODUCT AND SIZE.
 2. REFER TO PLANS FOR SPECIFIC HARDSCAPE/BARRIER RELATIONSHIPS; DETAIL IS DIAGRAMMATIC.
 3. TRIM TOP OF BARRIER TO BE 1/2" BELOW FINISHED GRADE.

NOVAK RESIDENCE
1005 HIGHLAND DRIVE
DEL MAR, CA 92014



HATCHWORKS
3745 Trudy Ln
San Diego, CA 92106
619-355-8562

REV	DATE	DESCRIPTION
0	01/18/2024	CITY RE-SUBMITTAL
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6	12/06/2021	CITY RE-SUBMITTAL

Project Manager: Andrew Hatch
Reviewed By: AH
Date: 01/18/2024
Plan: AS SHOWN

PLANTING DETAILS

February 19, 2024

Hon. Mayor Heebner
Councilmembers
Solana Beach City Council
635 S Highway 101
Solana Beach, CA 92075

DRP 21-016
Novak Residence

Hon. Mayor Heebner and Councilmembers,

This letter is to summarize the changes we've made to our proposed improvements at 1005 Highland Drive and address the feedback from our neighbor at 1009 Highland Dr.

In July 2022, the Council approved our building plan but postponed approval of the landscape plan until we could get input from our neighbors. At least one Councilmember pointed out that we had proposed several species that could grow quite large over the decades to come.

On reflection after that July 2022 hearing, we agreed that planting sycamores and coastal oaks could eventually impair views for several of our neighbors and we should refine our plan to avoid adversely impacting our neighbors with very large trees.

Since originally appearing before the Council in July 2022, we approached all our neighbors with our approved building plan and a revised landscaping plan. Except for our neighbor at 1009 Highland, nobody has taken issue with our approved building plan or the new proposed landscape plan.

Through the process of working with our neighbor at 1009 Highland, we have made the decision to eliminate the second story of the building that was approved by the Council in July 2022. Furthermore, we intend to keep our plan of incurring over \$100,000 in excavation and increased construction costs to essentially bury most of the garage building into the slope, such that our neighbor will see very little of the building.

To the best of our understanding, he appears to believe he has an immutable right to the airspace above our property such that we should not be allowed to interfere with that space where it might infringe his view. He has stated this as a specific mean sea level (MSL) he wants to protect.

In working with this neighbor, he provided us a marked up copy of our plan with two "cones" representing the areas of his view that he values, covering nearly two thirds of our property. Despite our agreement to remove the second story of the approved building in one of these "cones" and reduce to a minimum any trees in these areas (and use much shorter trees), he has rejected any plan we've presented that has anything, including trees or shrubs, in any of the areas he has designated as "his view corridor".

In short, despite removing the second story of the building, incurring significant cost to greatly reduce the impact of the building to his sightline, and proposing smaller trees sparingly, we received no goodwill from our neighbor who has become adamant that we are not allowed to put any trees in our backyard if they encroach on his view of the infield grass at the racetrack.

We are exhausted from our efforts with our neighbor, emotionally and financially. Every revision to our plan we presented has amounted to thousands of dollar in additional professional fees with our landscape architect, civil engineer and irrigation specialist. Equally important, we have lost many months in the process, further pushing into the future our enjoyment of the improvements this project will bring to our property and the neighborhood overall.

We feel we have significantly pared back the plan, well short of our original desire for the property. Unfortunately, our neighbor does not appear willing to accept anything unless he has a right to cut off tree tops above an arbitrary mean sea level he has proposed.

Our revised landscape plan will be heard by the Council on February 28, 2024. We pray for the Council to please approve the plan as now presented.

Thank you for your time and your service to our community.

Best regards,

Kim & John Novak
1005 Highland Dr

SAAD JUMA, M.D.
[REDACTED] Highland Drive
Del Mar, California 92014
Telephone: (858) [REDACTED]
E-mail: [REDACTED]

VIA E-MAIL to:

EMAILGRP-CityClerksOfc@cosp.org

September 8, 2023

CITY OF SOLANA BEACH
635 South Highway 101
Solana Beach, California 92075-2215

Re: Request Modifications be Made to Project before Permit is granted

- Applicant: Kimberly and John Novak
- Project Address: 1005 Highland Drive, Solana Beach, CA 92075
- Project Description: Landscape Development Review Permit

Dear Council Members:

This letter is respectfully submitted to the City Council of Solana Beach to set forth my request for the following:

- (i) That some restrictions be placed on, and modifications be made to, the above referenced Project with respect to the Project's height and location of the trees and plants proposed; and
- (ii) That any Development Review Permit to the Project only be granted upon and subject to the implementation of such additional restrictions and modifications.

Background

I ("Saad Juma") own and occupy the residence located in the City of Solana Beach, and that has the street address of [REDACTED] Highland Drive, Del Mar, California 92014 (the "Juma Residence"). The Juma Residence is adjacent to, and on a hillside above, the subject property that is owned by Kimberly and John Novak, and is located at 1005 Highland Drive, Solana Beach, California 92075 (the Novack's Residence). The Juma residence is located Northeast of the Novack's residence, and the Novack's residence is located Southwest of the Juma residence.

The Juma residence main living quarters is on the second floor of the property. It includes the Office (East), Kitchen (middle), and the Family room (West). All this living quarters area faces Southwest with a unique and beautiful "View Corridor." It is an integral part of the property (and its living quarters), and the value of the property is significantly impacted by any obstruction of this "View Corridor."

The "View Corridor" for the Juma residence includes a view of the Del Mar hills, the Race track with all its unique features including the green grass race track, the race track grounds, and the stands (see attachment I A&B). This "View Corridor" is positioned between 200°-240° as measured by a digital compass when viewed from the living quarters of the Juma residence. (See attachment II; Novack's Residence Landscape Plan. The red lines define the view corridor boundaries from the EAST {office} and WEST {family room} vantage points in the living quarters of the Juma residence). This view corridor starts at 200 feet MSL (mean sea level) elevation and extends upwards. Because of the slope of the ground of the Novack's residence, the best, consistent, and only reliable method to measure the height of the trees is in feet above MSL (mean sea level).

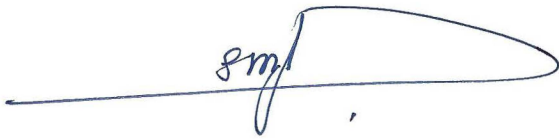
The current landscape plan for the Novack's residence includes several trees (up to 33 trees) {see attachment II & III} with height exceeding 200 feet MSL within my "View Corridor". The height, density, and the distribution of these trees within my "View Corridor" obstructs my "View Corridor" completely, and it obstructs completely my view including the green grass race track, the race track grounds, and the stands. These trees (see attachment II; The Trees that exceed the Juma residence View Corridor are highlighted in yellow on the map) height exceed the height of the Novack's residence, and block my "View Corridor." The Novack's residence landscape plan does not include any high trees that occlude or obstructs partially or complete the Novack's residence view of the race track.

There are numerous trees and plants that the Novack's can plant without obstructing my "View Corridor," yet provide them with the greenery and view they want. It is not clear to me the value of trees on the Novack Residence property that block my "View Corridor," and extend in height above the Novack's residence property roof.

The Novack's residence landscape plan as it stands will significantly obstruct my "View Corridor" and deny me the view that I enjoy from the living quarters of my residence. It will also significantly impact the value of my property. For this reason, I object to the landscape plan of the Novack's residence as it stands before

you, and request the council support my request to revise the plan to limit the height of the trees (when fully mature) in the Juma residence View Corridor {positioned between 200°-240° as highlighted in yellow in the attached map} not to exceed 200 feet MSL.

With Kindest regards,

A handwritten signature in blue ink, appearing to read 'smj', written over a horizontal line.

Saad Juma, MD

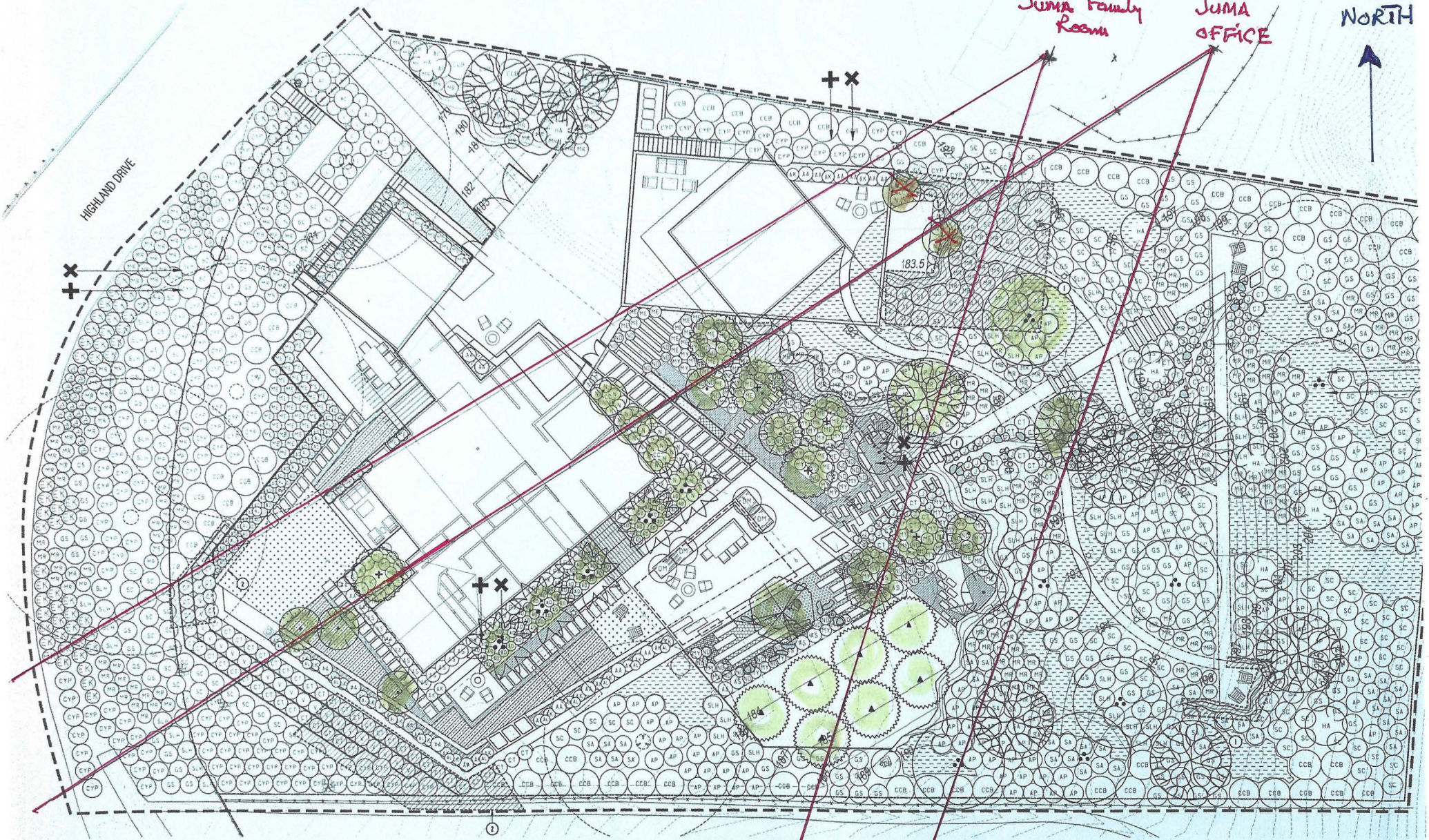
Attachments:

- I. Photo of the Juma residence “View Corridor” from the living quarters of the Juma residence.
- II. Map of the Novack’s Residence Proposed Landscape Plan (photo of the actual Novack’s residence landscape plan page L3.1). The Red Lines depict the boundaries of the “Juma Residence View Corridor” as viewed from the Juma residence Family room {West} and Office {East}. The Trees highlighted in yellow are the trees that when fully mature will obstruct the Juma Residence View Corridor as their height (when fully mature) exceed the 200 feet MSL.
- III. A table of the different planned plants and their height above ground (photo of the actual Novack’s residence landscape plan page L3.2).

ATTACHMENT - II

Juma Family Room
Juma Office

NORTH



SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	BOTANICAL NAME	COMMON NAME
PROPOSED TREES:											
	ACER PALMATUM 'GLOWING EMBERS'	GLOWING EMBERS MAPLE		CYATHEA COOPERI	AUSTRALIAN TREE FERN		DURANTA REPENS 'GOLDEN DEWDROP'	GOLDEN DEWDROP		METROSIDEROS ARBUSTIFOLIA	TIVIVI
SHRUBS, GRASSES, AND PERENNIALS:											
	ABUTILON STRIATUM	RED VEIN INDIAN MALLOW		AEONIUM 'ALICE KECK PARK'	ALICE KECK PARK AEONIUM		AGAVE ATTENUATA 'BOUIN BLUE'	BLUE FOXTAIL AGAVE		AGAVE OVATIFOLIA 'FROSTY BLUE'	WHALE'S TONGUE AGAVE
	ALLIUM 'GLOBEMASTER'	GLOBEMASTER ALLIUM		ABUTILON PALMERI	PALMER'S MALLOW		ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN		ACHILLEA MILLEFOLIUM	COMMON YARROW
	NANDINA DOMESTICA ALBA 'LEMON LIME'	LEMON LIME NANDINA		NEPHROLEPIS CORDIFOLIA	SWORD FERN		OPHIOPOGON JAPANICUS 'NANUS'	DWARF MONDO GRASS		PHILODENDRON XANADU	WINTERBOURN PHILODENDRON
	SALVIA APIANA	WHITE SAGE		SALVIA CLEVELANDII	CLEVELAND SAGE		SPHAERALCEA AMBIGUA 'LOUIS HAMILTON'	LOUIS HAMILTON DESERT MALLOW		SHADE HERBS, MIXED IN RECTANGULAR PLANTING	SHADE HERBS, MIXED IN RECTANGULAR PLANTING
	EDIBLES:			EDIBLES:			EDIBLES:			EDIBLES:	
	CORIANDE SATIVUM	CORIANDER		LEMON BALM	LEMON BALM		ALLIUM SCHOENOPRASUM	CHIVES		ALYSSA CITRODORA	FRYING PAN SAGE
	ANETHUM GRAVEOLENS	FRYING PAN SAGE		PETROSELINUM CRISPUM	FRYING PAN SAGE		LAURUS NOBILIS	SPICE BUSH		MENTHA X PIPERITA	PEPPERMINT
	ARTEMISIA DRACUNCULUS	FRYING PAN SAGE		SUN HERBS, FRUITS AND VEGETABLES, MIXED IN ANY OF THE SHADE HERBS			SUN HERBS, FRUITS AND VEGETABLES, MIXED IN ANY OF THE SHADE HERBS			SUN HERBS, FRUITS AND VEGETABLES, MIXED IN ANY OF THE SHADE HERBS	

PLANTING LEGEND

ATTACHMENT - III

SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAIN. SIZE PLANTS	ON CENTER SPACING	MATURE SIZE H X W	SPACING FROM HARDSCAPE	QTY.	WUCOLS	SUN / SHADE REQUIREMENTS
PROPOSED TREES:									
	ACER PALMATUM 'GLOWING EMBERS' SOURCE: PACIFIC COAST MAPLES	GLOWING EMBERS MAPLE	24" BOX	AS SHOWN	25-30' X 25-30'	AS SHOWN	2	MED	FULL SUN
	CYATHEA COOPERT	AUSTRALIAN TREE FERN	15 GAL	8'	15X20' X 10-12'	AS SHOWN	5	HIGH	PART SUN
	DURANTA REPENS 'GOLDEN DEWDROP'	GOLDEN DEWDROP	24" BOX	AS SHOWN	10-15' X 6-10'	AS SHOWN	8	MED	FULL TO PART SHADE
	HETEROMELES ARBUTIFOLIA	TOYON	60" BOX	AS SHOWN	6-10' X 6-8'	AS SHOWN	10	VERY LOW	SUN/SHADE
	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	36" BOX	AS SHOWN	10-15' X 10-12'	AS SHOWN	6	MED	FULL SUN
	TRISTANIOPSIS LAURINA	WATER GUM	24" BOX	AS SHOWN	15-20' X 10-20'	AS SHOWN	9	MED	SUN/SHADE
	PLUMERIA OBTUSA	SINGAPORE PLUMERIA	24" BOX	AS SHOWN	10'-25' X 10'25'	AS SHOWN	5	LOW	FULL SUN
	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	AS SHOWN	10-15' X 10-15'	AS SHOWN	16	LOW	SUN TO PARTIAL SHADE
	SCHEFFLERA ACTINOPHYLLA	UMBRELLA TREE	36" BOX	AS SHOWN	15-20" X 15-20"	AS SHOWN	7	MED	SUN TO PARTIAL SHADE
	FRUIT TREES, VARIETY PER OWNER	SUCH AS LEMON, LIME, ORANGE MANDARIN, PEACH, PEAR	15 GAL	AS SHOWN	??		7		
SHRUBS, GRASSES, AND PERENNIALS:									
	ABUTILON STRIATUM	RED VEIN INDIAN MALLOW	15 GAL	36"	4-6' X 3-4'	24"	17	MED	SUN / PARTIAL SHADE
	AEONIUM 'ALICE KECK PARK'	ALICE KECK PARK AEONIUM	3 GAL	30"	1-2' X 2-3'	18"	31	MED	SUN / SHADE
	AGAVE ATTENUATA 'BOUTIN BLUE'	BLUE FOXTAIL AGAVE	15 GAL	36"	3-4' X 3-4'	24"	26	LOW	SUN / SHADE
	AGAVE OVATIFOLIA 'FROSTY BLUE'	WHALE'S TONGUE AGAVE	15 GAL	48"	3-4' X 3-4'	36"	4	LOW	SUN / SHADE
		GILOBEMASTER ALLIUM	2 BULBS IN EACH SYMBOL	24"	3' X 1-1.5'	9"	46 BULBS TOTAL	MED	FULL SUN
						30"	115	LOW	FULL SUN / LIGHT SHA







STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Daniel King, Interim City Manager
MEETING DATE: February 28, 2024
ORIGINATING DEPT: City Clerk’s Office
SUBJECT: **Citizen Commission Appointments to 1) Public Arts Commission and 2) Parks and Recreation Commission**

BACKGROUND:

On January 24, 2024, Council made annual appointments to the 5 Citizen Commissions and authorized an application extension period for the remaining positions on the Climate Action Commission and the Parks and Recreation Commission. Due to a recent resignation, there is also a vacancy on the Public Arts Commission.

All appointments to Citizen Commissions are conducted in accordance with Council Policy No. 5 - *Appointment of Citizens to Boards, Commissions, Committees, and Task Forces* (Attachment 2) - and all persons interested in serving on the City’s Citizen Commissions are required to complete and file a Citizen Interest Form (application), with the required references, and submit it to the City Clerk for formal application processing. For those Commission members who may be reapplying for their position’s scheduled vacancy, a re-submittal application is made available for minor changes to their original full application, thus streamlining the application process. However, if the applicant applies for a new Commission or wants to modify any of the questionnaire sections, a new full application is required. The Application/Citizen Interest Form is available year-round at the City Clerk’s Office and on the City’s website. Any person interested in serving on a Citizen Commission may apply any time prior to or during the annual or other recruitment periods.

This item is before Council to consider appointments to the Public Arts Commission and Parks and Recreation Commission.

DISCUSSION:

A notice of vacancies for the Climate Action, Public Arts, and Parks and Recreation Commissions was posted on February 1st with an application deadline of February 20th. As of this deadline, a total of 2 applications were received for consideration and posted on the Worksheet. The City Clerks’ Office will post an extension notice for the remaining vacancies.

CITY COUNCIL ACTION: _____

Vacancies for which Applications were Submitted		
Vacancies	Term	Subject to Majority Vote Appointment by:
Parks and Recreation Commission: 2 vacancies total		
One (1) vacancy One (1) vacancy	2 Years – Until End of Jan 2026 1 Year – Until End of Jan 2025	Council-at-large
Public Arts Commission: 1 vacancy total		
One (1) vacancy	2 Years - Until End of Jan 2026	Council-at-large

Member Requirements

SBMC Sections 2.64, 2.72, 2.74, 2.84, Resolution 2007-160, and Resolution 2015-127 outline some of the duties of the Commissions; however, there are other duties and assignments provided in relation to various opportunities and issues that occur throughout the year. To carry out the Commission’s work, SBMC Section 2.60.010 outlines the requirements of meeting attendance. As a legislative body, like the City Council, Citizen Commissions are required to fulfill a responsibility of participating in each meeting for all matters brought before the Commission. In addition, the Commission Handbook, provided to each appointed/re-appointed member, and posted online, provides various other requirements, regulations, guidelines, and procedures for Commission members.

Member Appointment Term

The appointment date of Commission members triggers deadlines for required tasks and filing paperwork. The appointed member may begin participating in Commission work once they have been sworn in by taking their Official Oath, administered by the City Clerk’s Office. The swear-in may take place before or at the first meeting of the Commission as coordinated with the City Clerk’s Office. Member terms end on January 31 or once an appointment is made to their position, whichever occurs first.

FISCAL IMPACT:

There is no significant fiscal impact associated with this annual appointment process. Pursuant to City Council Policy 19 (*Background Check Requirements for Citizen Commissions*), new appointees are required to complete a background check for which the City pays for the cost at a designated location. The Human Resources Department incurs the cost for background checks for Commission members.

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation and proceed with appointments for vacancies.
- Do not approve Staff recommendation and extend deadline to receive new applications, allowing expiring positions to remain vacant until refilled.

DEPARTMENT RECOMMENDATION:

Staff recommends that City Council:

1. Appoint one (1) member to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for a two-year or one-year term.
2. Appoint one (1) member to the **Public Arts** Commission nominated/appointed by *Council-at-large* for a two-year term.

CITY MANAGER'S RECOMMENDATION:

Approve Department recommendation.



Daniel King, Interim City Manager

Attachments:

1. Vacancy Notification Flyer
2. Recruitment Efforts
3. Worksheet outlining openings and applicants' choice(s)
4. List of Applicants
5. Applications (in separate binder)



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PUBLIC NOTICE

CITY'S CITIZEN COMMISSION POSITION OPENINGS

CITY OF SOLANA BEACH VOLUNTEERS SERVING ON BEHALF OF THE CITY COUNCIL

Applications are being accepted through **Tuesday, February 20, 2024, 5:30 p.m.**
City Council is scheduled to make appointments at the February 28, 2024 City Council Meeting.

CLIMATE ACTION: *One (1) vacancy – term will expire end of January 2026*

Professional Position

This Commission participates in reviewing certain matters regarding reducing the City's greenhouse gas (GHG) emissions and implementing the Climate Action Plan.

- Regular Meeting Schedule: 3rd Wednesday of each month at 5:30 p.m.
- Composition: 9 members: 7 members each appointed by the Council At-Large, 2 Councilmembers (or 1 Councilmember & 1 citizen or professional)
- Position Requirements:
 - o Five Citizens/Residents - At least 18 yrs. old * *Resident of the City*
 - o Two Professionals - At least 18 yrs. old * Must be from the environmental or scientific community. * Resident or Non-resident
 - o Two Current Councilmembers (or one voting Councilmember and one person from another position, as determined by Council)

PARKS & RECREATION: *One (1) vacancy – term will expire end of January 2025*

One (1) vacancy – term will expire end of January 2026

This Commission participates in reviewing certain matters regarding the City's parks, programs, and conducts certain City events.

- Regular Meeting Schedule: 2nd Thursday of each month at 4:00 p.m.
- Composition: 7 members who are all appointed by the Council At-Large.
- Position's Requirements: At least 18 yrs. old * Resident of the City.

PUBLIC ARTS: *One (1) vacancy – term will expire end of January 2026*

This Commission participates in reviewing certain matters regarding community art opportunities and conducts certain City events.

- Regular Meeting Schedule: 4th Tuesday of each month at 5:30 p.m.
- Composition: 7 members who are all appointed by the Council At-Large.
- Position's Requirements: At least 18 yrs. old * Resident of the City.



Climate Action



Parks & Recreation



Public Arts

- ❖ Attend a Citizen Commission public meeting. Agendas are posted on the City's website.
- ❖ See the City's website for members, expiring positions, and further information.

[Citizen Interest Forms](#) (Applications) and additional information on the Commissions can be found on the City's website at www.cityofsolanabeach.org (Tabs: Government, Citizen Commissions) OR by contacting the City Clerk's Office (858) 720-2400. Please contact the [City Clerk](#) with any questions regarding the recruitment/appointment process.

Recruitment Efforts FOR 2024 Feb ANNUAL Appointments

Task

PRINTED FLYERS

City Hall Front Desk / City Hall Bulletin Board / La Colonia Bulletin Board / Library

WEBSITE

Flyer Posted to Commissions main web page

ANNOUNCEMENTS

City Council Mtg announcements

EMAIL OR MAILING

E-Blasts 1/30, 2/14 / Council notice / Liaison notice

Corresp. to: Past Applicants Not Appointed w/ Vacancy Notice AND last application

ORGANIZATIONS Contacted

Solana Beach Chamber of Commerce / Boys & Girls Club
Solana Beach Presbyterian Church / Calvary Lutheran / St. James / Unitarian Universalist Fellowship

Association of Women in Science
Environmental Health Coalition
Environmental Science Association
I Love a Clean San Diego
ICLEI - Local Governments Sustainability
San Diego Foundation
San Diego Science Alliance
SCS Engineers
UCSD Environmental Studies
University of San Diego - Arts/Science

City of Solana Beach Citizen Commissions 2024 Appointments

Applications DUE February 20, 2024

		Matt Linnik (Council)	Deborah Sweet (Council)
		Debbie Day (Council)	Halle Shilling (Council)
		Carol Jensen (Council)	Jeanie Grischy (Council)
		H. Shane Noroozi (Council)	Vicki Cypherd (Council)
		Michael Budelsky (Council)	Mark Mennie (Council)
Michael McClune (Council)	David Zito (Primary)	VACANT (Council) until Jan 2025	Shawn Hethcock (Council)
VACANT (Council) until Jan 2026	Kristi Becker (non-voting)	VACANT (Council) until Jan 2026	VACANT (Council) until Jan 2026

Climate Action

Parks & Recreation

Public Arts

1 Vacancy Professionals
Appointments by:
Council-at-large

0 Vacancies Council OR
Other Member Type.
As determined by Council

2 Vacancies
Appointments by:
Council-at-large

1 Vacancy
Appointments by:
Council-at-large

APPLICANTS
in order by 1st choices

Date Rcvd

First name Last Name

12-21-23	Mariel	Mayer				Only Choice
02-09-24	Roderick	Stewart				Only Choice

**City of Solana Beach
Citizen Commission Applicants
Deadline – February 20, 2024 by 5:30 p.m.**

LIST OF APPLICANTS

Applicants		Application Received	Application Complete
Last Name	First Name		
Mayer	Muriel	Reapplication 1/25	Yes
Stewart	Roderick	2/8	Yes